



AO.1

**Whistlestop** | BUILDING ENTRY AT THIRD AND BROOKS STREETS  
SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING

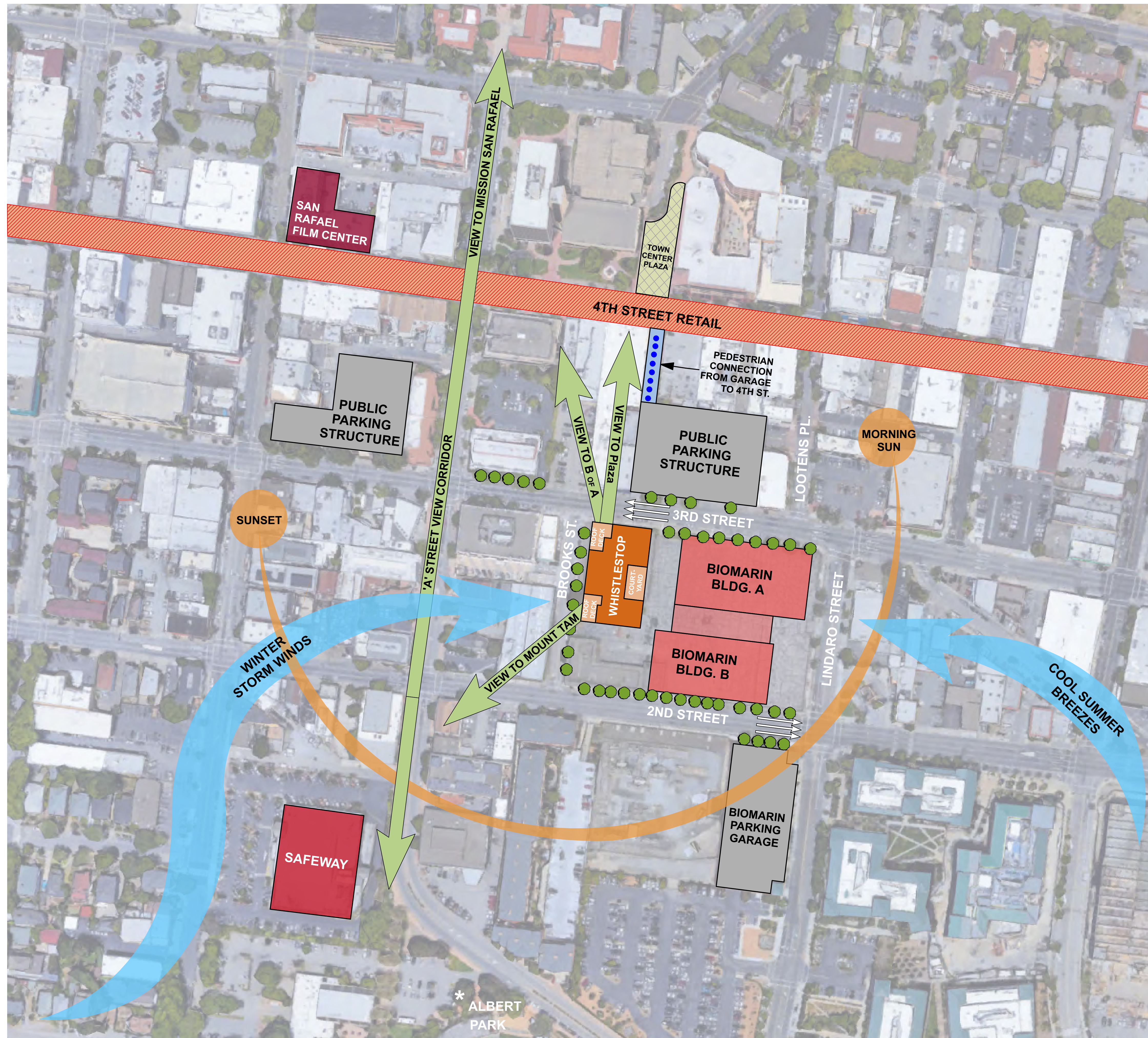




A0.2



A0.3



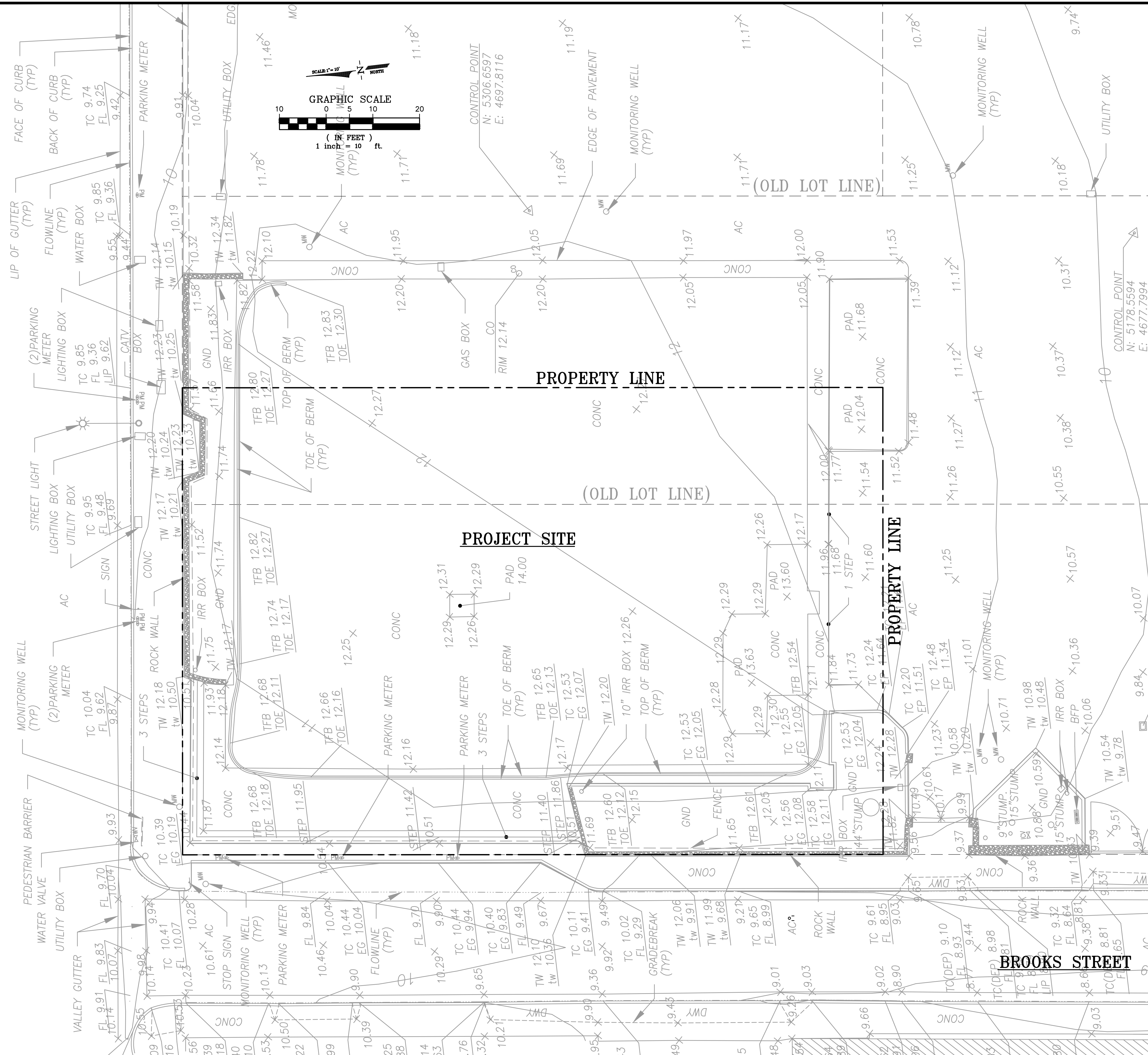
A0.5





A0.6

XXXXXXXXXXXXXXXXXXXX



**SURVEY BY OTHERS**

**CSW ST2**

**CSW/Stuber-Strooh Engineering Group, Inc.**  
 Civil & Structural Engineers | Surveying & Mapping | Environmental Planning  
 Land Planning | Construction Management

45 Leveroni Court, Novato, CA 94949 | Tel: 415.883.9850  
 Fax: 415.883.9835  
 http://www.cswst2.com | © 2018

Date:	4/27/2018
Project Number:	5.692.28

- NOTES**
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
  - BOUNDARY SHOWN HEREON IS BASED ON THAT CERTAIN RECORD OF SURVEY ENTITLED "RECORD OF SURVEY THE LANDS OF BIOMARIN PHARMACEUTICAL, INC" RECORDED IN BOOK 2016 OF MAPS, PAGE 131, MARIN COUNTY RECORDS..
  - VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 BASED ON CORPSCON CONVERSION FROM NGVD29, A COPY OF WHICH IS ON FILE AT THE OFFICE OF CSWST2.
  - TOPOGRAPHY SHOWN WAS PERFORMED BY FIELD SURVEY IN APRIL OF 2018.
  - OBSERVED SURFACE UTILITIES WERE COLLECTED. BURIED UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON.

**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE
BFP	BACK FLOW PREVENTER
BOT	BOTTOM
CATV	CABLE TELEVISION
CL	CENTER LINE
CO	CLEANOUT
CONC	CONCRETE
DEP	DEPRESSED
DI	DRAIN INLET
DWY	DRIVEWAY
E	EASTING
EB	EDGE OF BOX
EG	EXISTING GRADE
EL	ELEVATION
ELEC	ELECTRICAL
EOC	EDGE OF CONCRETE
EP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
FL	FLOW LINE
G	GAS
GND	GROUND
GV	GAS VALVE
HYD	HYDRANT
ICV	IRRIGATION CONTROL VALVE
IRR	IRRIGATION
N	NORTHING
PA	PLANTER AREA
PG&E	PACIFIC GAS & ELECTRIC
PNL	PANEL
PP	POWER POLE
SD	STORM DRAIN
SL	STREET LIGHT
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
TC	TOP OF CURB
TELECOM	TELECOMMUNICATIONS
TFB	TOP FACE OF BERM
TOE	TOE OF BERM
TYP	TYPICAL
TW	TOP OF WALL
tw	TOE OF WALL
W	WATER
WV	WATER VALVE

**LEGEND**

	BOUNDARY
	BUILDING
	CONTOUR MAJOR (5' INTERVAL)
	CONTOUR MINOR (1' INTERVAL)
	FENCE
	GRADE BREAK LINE
	RETAINING WALL
	TOE OF BANK
	TOP OF BANK

**Luk and Associates**  
 Civil Engineering  
 Land Planning  
 Land Surveying  
 738 Alfred Nobel Drive  
 Hercules, CA 94547  
 Phone (510) 724-3388  
 Fax (510) 724-3383

Seal:

**WHISTLESTOP**

999 THIRD STREET  
 SAN RAFAEL, CA

**REVISIONS**

NO.	DATE	DESCRIPTION

Title:

**EXISTING CONDITIONS**

Date: AUGUST 2018

Scale: 1"=10'

Drawn By: D.A.D.

Checked By: J.L.

Job No.: 18015A20

Drawing No.: MASTER.DWG

Plot Date: 09/19/2018

Sheet No.: **C-3.1**

Seal:

**WHISTLESTOP**  
 999 THIRD STREET  
 SAN RAFAEL, CA

REVISIONS		
NO.	DATE	DESCRIPTION

Title:  
**PRELIMINARY GRADING PLAN: ELEVATIONS**

Date:  
 AUGUST 2018

Scale:  
 1"=10'

Drawn By:  
 D.A.D.

Checked By:  
 J.L.

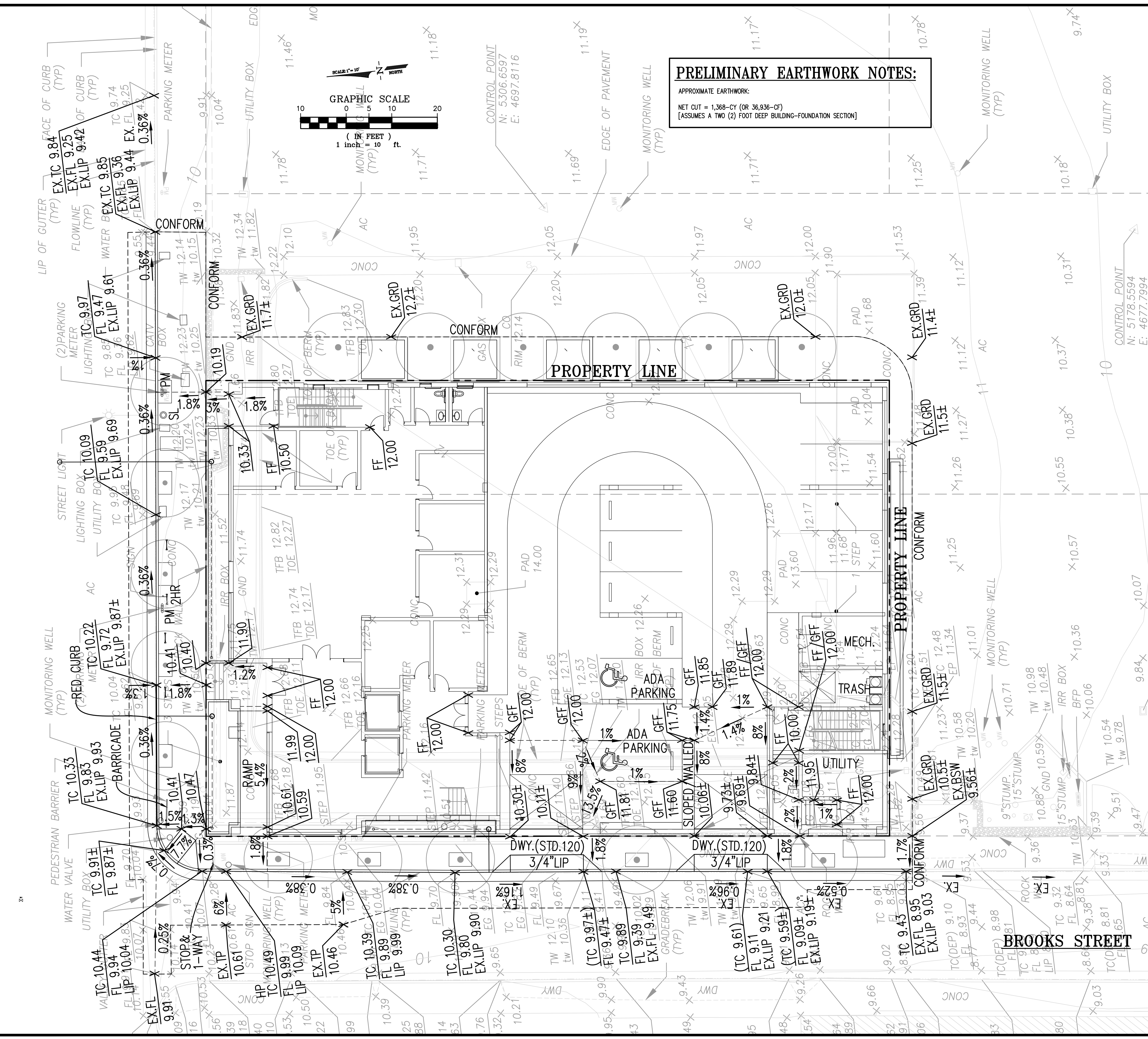
Job No.:  
 18015A20

Drawing No.:  
 MASTER.DWG

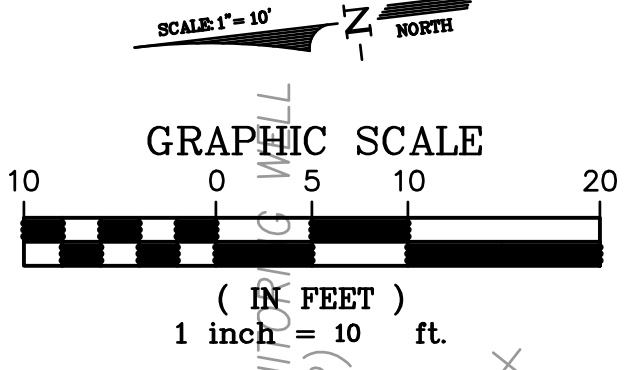
Plot Date:  
 09/19/2018

Sheet No.:

**C-4.1**



**PRELIMINARY EARTHWORK NOTES:**  
 APPROXIMATE EARTHWORK:  
 NET CUT = 1,368-CY (OR 36,936-CF)  
 [ASSUMES A TWO (2) FOOT DEEP BUILDING-FOUNDATION SECTION]



**LEGEND**

SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
FF	FINISH FLOOR
X 100.00	GARAGE FINISH FLOOR
X 100.00	TOP OF PAVEMENT ELEVATION
X 100.00	TOP OF CURB ELEVATION
X 100.00	FLOW LINE ELEVATION
X 100.00	LIP GUTTER ELEVATION
CONC	CONCRETE
GB	GROUND BOX
CATV	CABLE TELEVISION
EB	ELECTRIC BOX
GRD	GROUND
PGE	PACIFIC GAS ELECTRIC
PLTR	PLANTER
TFC	TOP FACE OF CURB
TW	TOP FACE OF WALL
DWY	DRIVEWAY
FDC	FIRE DEPARTMENT CONNECTION
BFP	BACK FLOW PREVENTOR
TRANS	TRANSFORMER
AD	AREA DRAIN
DI	DRAIN INLET
WM	WATER VALVE
WM	WATER METER
SDMH	STORM DRAIN MANHOLE
CB	CATCH BASIN
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TMH	TELEPHONE MANHOLE
FH	FIRE HYDRANT
SL	LITE/STEEL LIGHT
GM	GAS METER
GV	GAS VALVE
R/W	RIGHT OF WAY
AC	ASPHALT CONCRETE
FF	FINISH FLOOR
BLD	BUILDING
BSW	BACK OF SIDEWALK
ELEC	ELECTRIC
TEL	TELEPHONE BOX
PP	POWER POLE
RP	ROUND COLUMN
JP	JOINT POLE
SLB	STREET LIGHT BOX
COMM	COMMUNICATION BOX
GUY	GUY POLE
ADA	ACCESSIBILITY
DWY	DRIVEWAY
PV	POST INDICATED VALVE
FDC	FIRE DEPARTMENT CONNECTION
SS	SANITARY SEWER SYSTEM
SDS	STORM DRAIN SYSTEM
UT	UTILITY
IRRIG.	IRRIGATION
EX. (TC)	EXISTING
TC	PROJECTED TOP OF CURB ELEVATION
%	SLOPE PERCENTAGE

Seal:

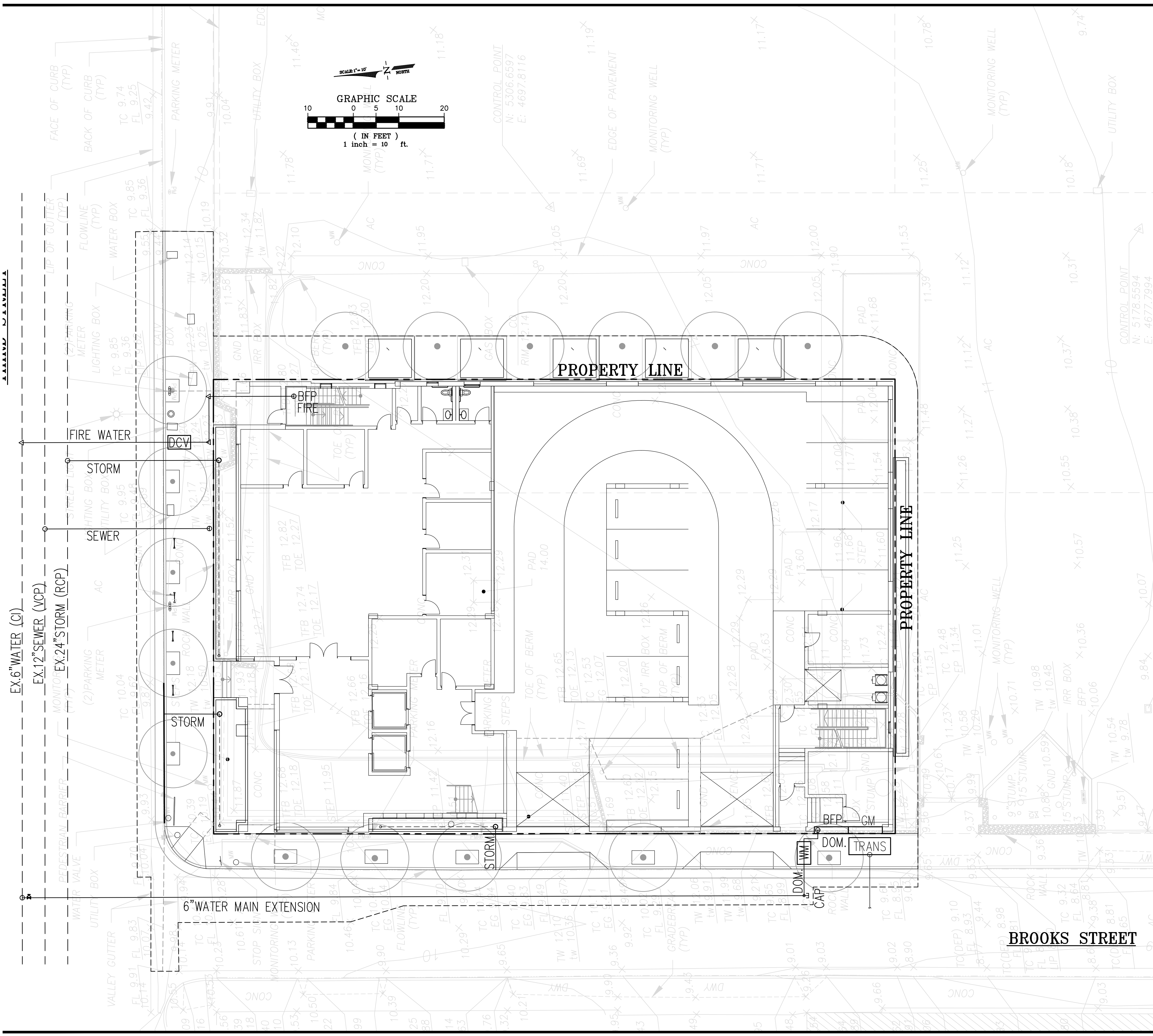
**WHISTLESTOP**  
 999 THIRD STREET  
 SAN RAFAEL, CA

REVISIONS		
NO.	DATE	DESCRIPTION

Title:	<b>PRELIMINARY UTILITY PLAN</b>
Date:	AUGUST 2018
Scale:	1"=10'
Drawn By:	D.A.D.
Checked By:	J.L.
Job No.:	18015A20
Drawing No.:	MASTER.DWG
Plot Date:	09/19/2018
Sheet No.:	<b>C-5.1</b>

**LEGEND**

SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
FF	FINISH FLOOR
X 100.00	GARAGE FINISH FLOOR
X 100.00	TOP OF PAVEMENT ELEVATION
X 100.00	TOP OF CURB ELEVATION
X 100.00	FLOW LINE ELEVATION
X 100.00	LIP GUTTER ELEVATION
CONC	CONCRETE
GB	GROUND BOX
CATV	CABLE TELEVISION
EB	ELECTRIC BOX
GRD	GROUND
PGE	PACIFIC GAS ELECTRIC
PLTR	PLANTER
TFC	TOP FACE OF CURB
TW	TOP FACE OF WALL
DWY	DRIVEWAY
FDC	FIRE DEPARTMENT CONNECTION
BFP	BACK FLOW PREVENTOR
TRANS	TRANSFORMER
AD	AREA DRAIN
DI	DRAIN INLET
WV	WATER VALVE
WM	WATER METER
SDMH	STORM DRAIN MANHOLE
CB	CATCH BASIN
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TMH	TELEPHONE MANHOLE
FH	FIRE HYDRANT
SL	LITE/STREET LIGHT
GM	GAS METER
GV	GAS VALVE
+	SIGN
R/W	RIGHT OF WAY
AC	ASPHALT CONCRETE
FF	FINISH FLOOR
BLD	BUILDING
BSW	BACK OF SIDEWALK
ELEC	ELECTRIC
TEL	TELEPHONE BOX
PP	POWER POLE
RP	ROUND COLUMN
JP	JOINT POLE
SLB	STREET LIGHT BOX
COMM	COMMUNICATION BOX
GUY	GUY POLE
ADA	ACCESSIBILITY
DWY	DRIVEWAY
PIV	POST INDICATED VALVE
FDC	FIRE DEPARTMENT CONNECTION
SS	SANITARY SEWER SYSTEM
SD	STORM DRAIN SYSTEM
UT	UTILITY
IRRIG.	IRRIGATION
EX.	EXISTING
(TC)	PROJECTED TOP OF CURB ELEVATION
3%	SLOPE PERCENTAGE





Seal:

**WHISTLESTOP**  
 999 THIRD STREET  
 SAN RAFAEL, CA

NO.	DATE	DESCRIPTION
△		
△		
△		
△		

Title:  
**PRELIMINARY  
 STORMWATER  
 TREATMENT PLAN**

Date:  
 AUGUST 2018

Scale:  
 1"=10'

Drawn By:  
 D.A.D.

Checked By:  
 J.L.

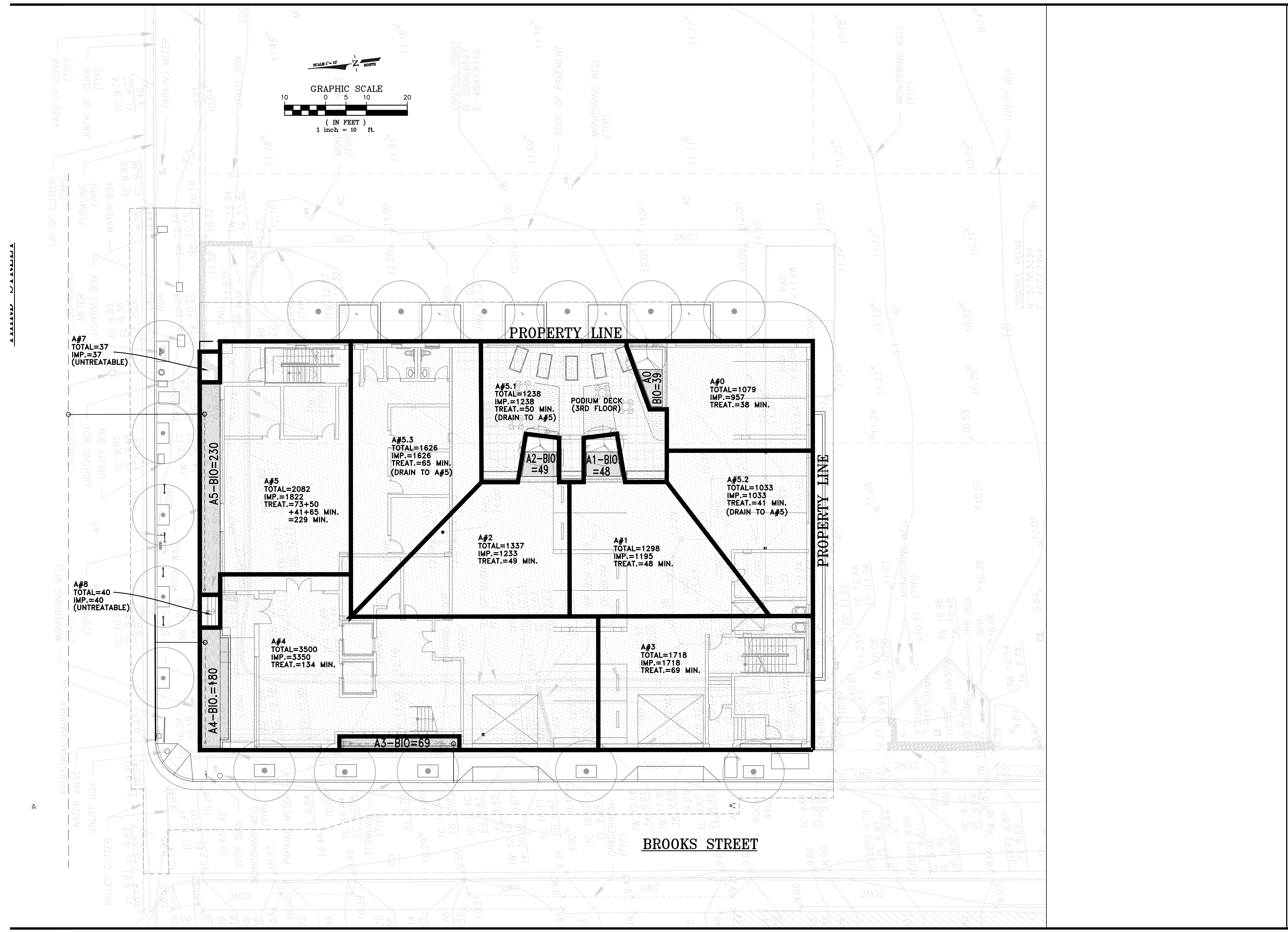
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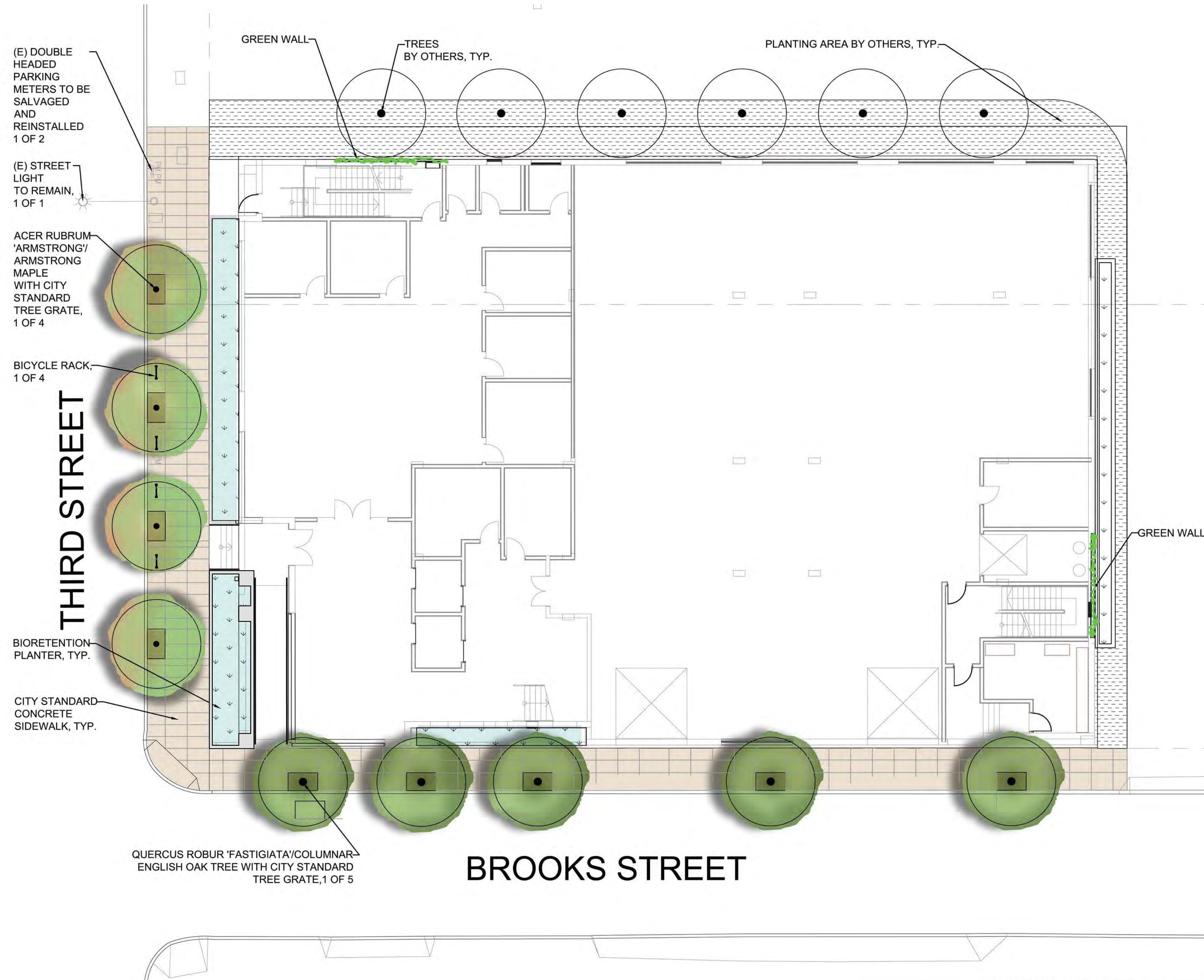
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 MASTER.DWG

Plot Date:  
 09/19/2018

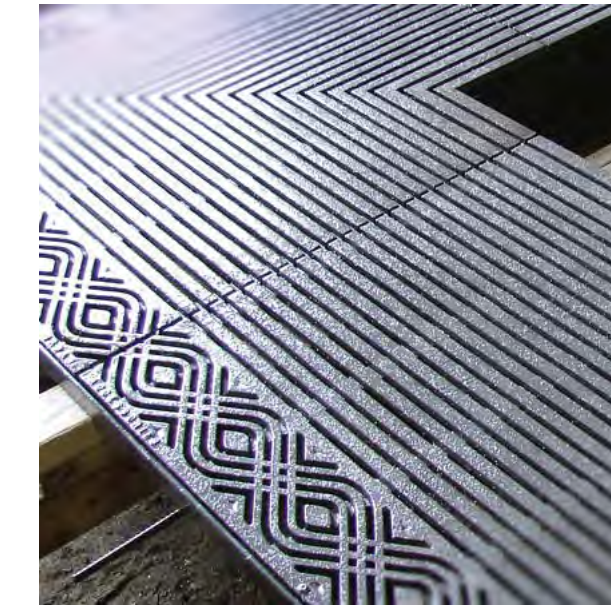
Sheet No.:

**C-6.1**





LANDSCAPE MATERIALS AND SITE FURNISHINGS IMAGERY



CITY STANDARD TREE GRATE 3'X5' URBAN ACCESSORIES



BICYCLE RACKS



CONCRETE SIDEWALK WITH TREE GRATE

PRELIMINARY PLANT PALETTE

TREES

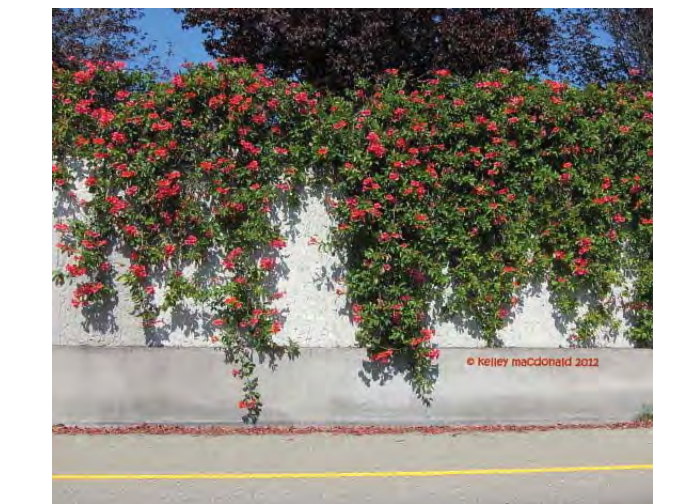


ACER RUBRUM 'ARMSTRONG' MAPLE



QUERCUS ROBUR 'FASTIGIATA' COLUMNAR ENGLISH OAK

VINES FOR GREEN WALL



DISTICTIS BUCCIANATORIA BLOOD RED TRUMPET VINE



WISTERIA SPP. WISTERIA

BIORETENTION PLANTS



CONDRPETALUM TECTORUM SMALL CAPE RUSH

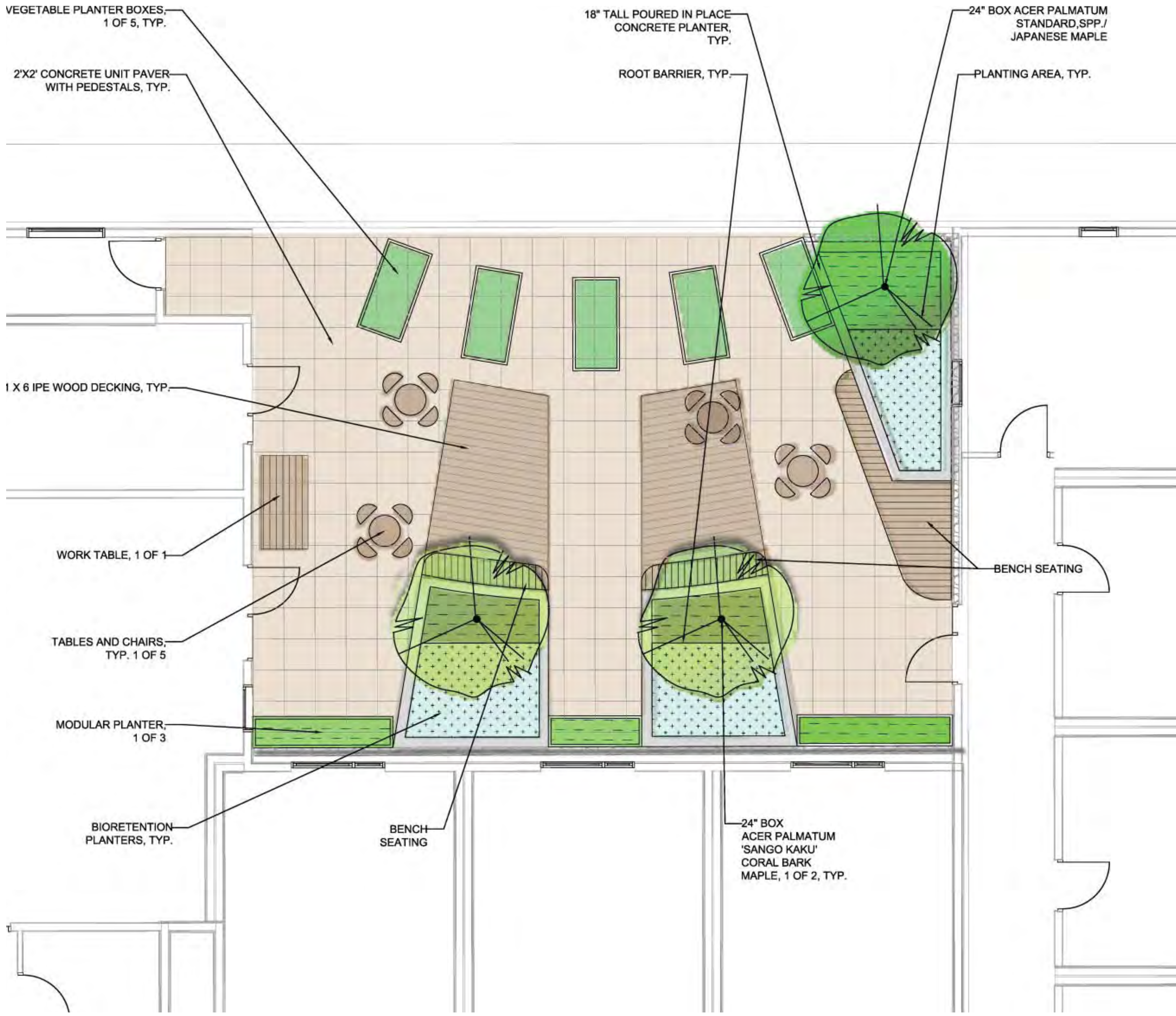


IRIS DOUGLASIANA DOUGLAS IRIS

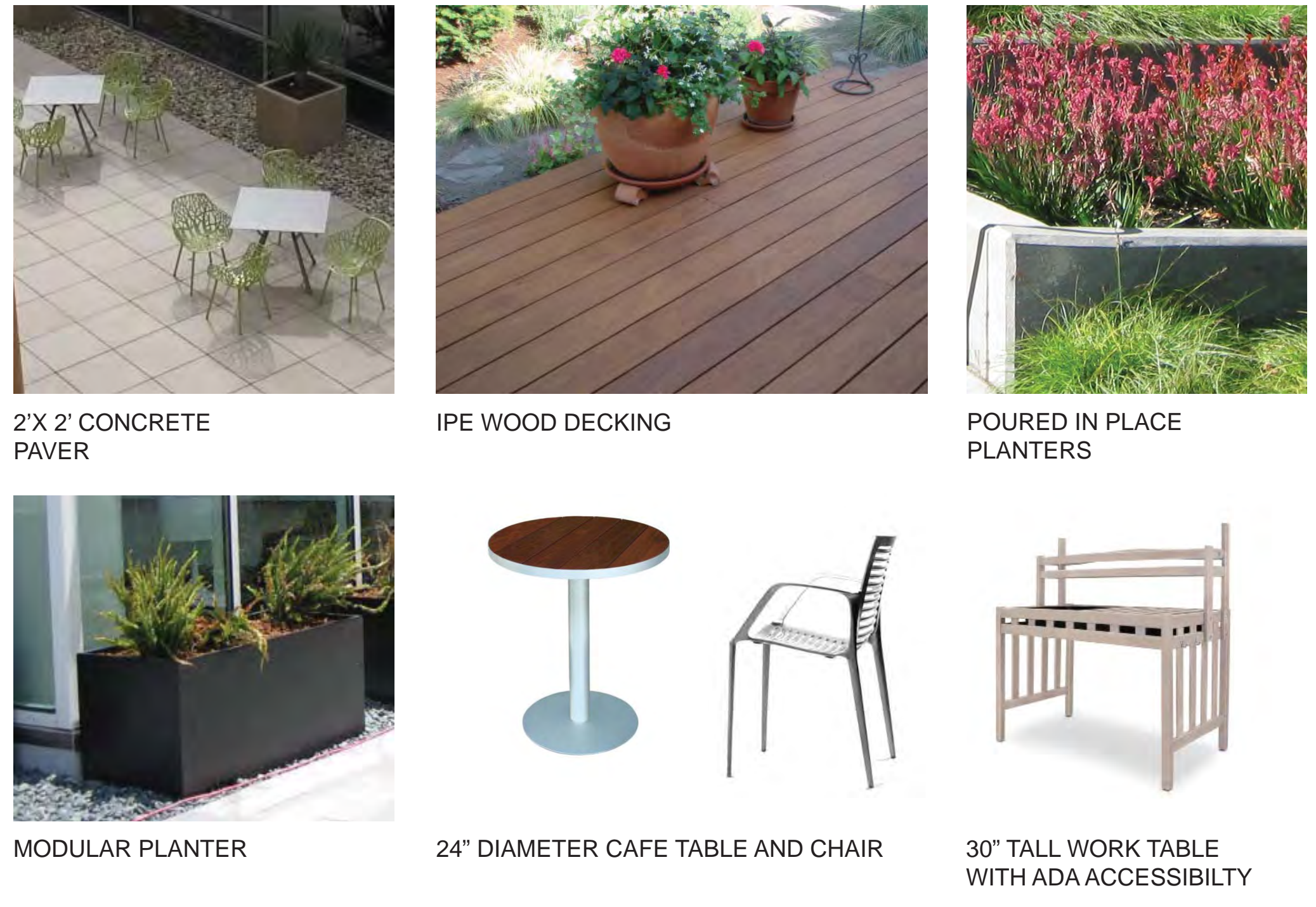


LEYMUS CONDENSATUS 'CANYON PRINCE' CANYON PRINCE WILD RYE





LANDSCAPE MATERIALS AND SITE FURNISHINGS IMAGERY



PRELIMINARY PLANT PALETTE



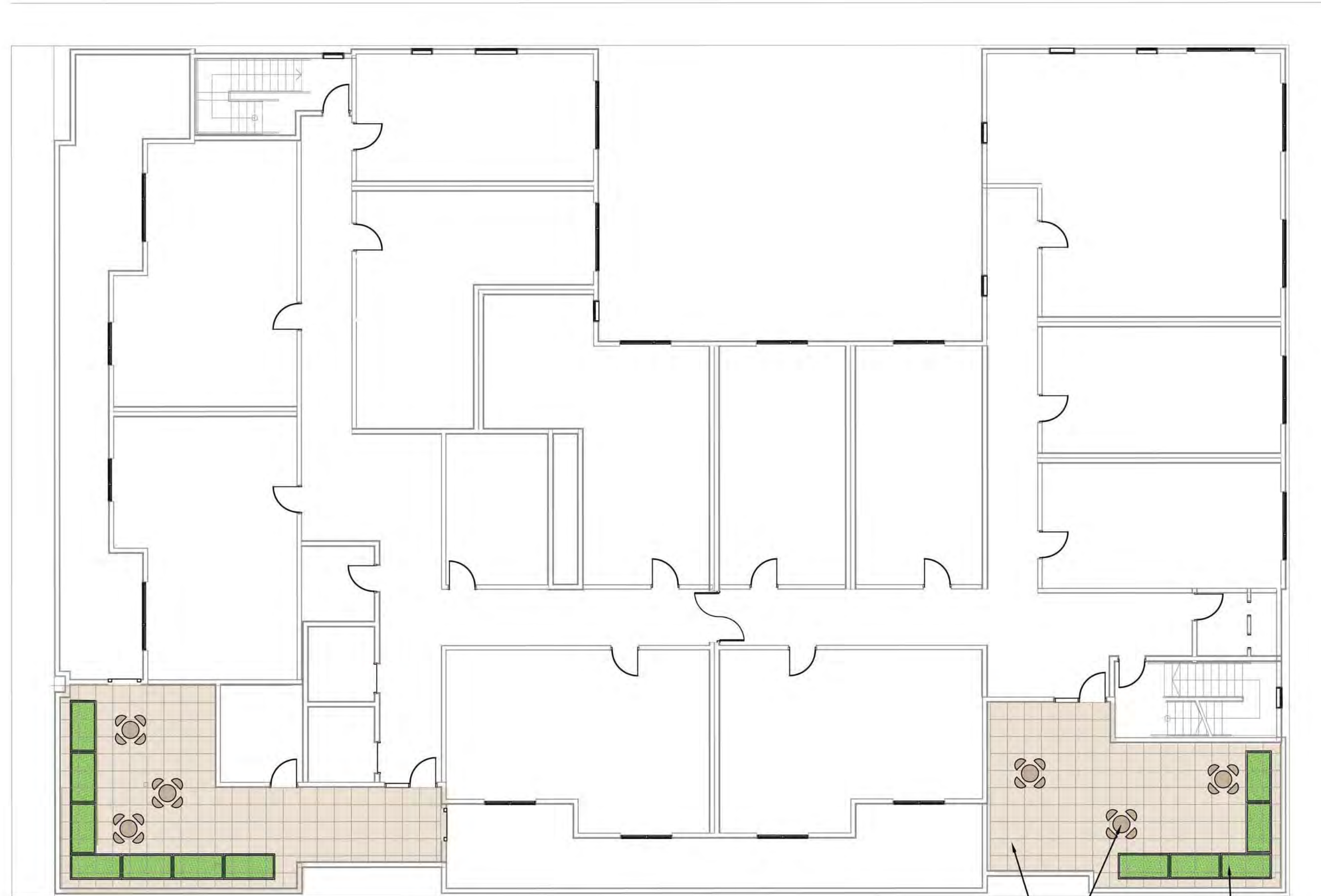
VEGETABLE PLANTER BOXES



BIORETENTION PLANTS



LANDSCAPE MATERIALS AND SITE FURNISHINGS IMAGERY



2'X 2' CONCRETE PAVER



MODULAR PLANTER

PRELIMINARY PLANT PALETTE

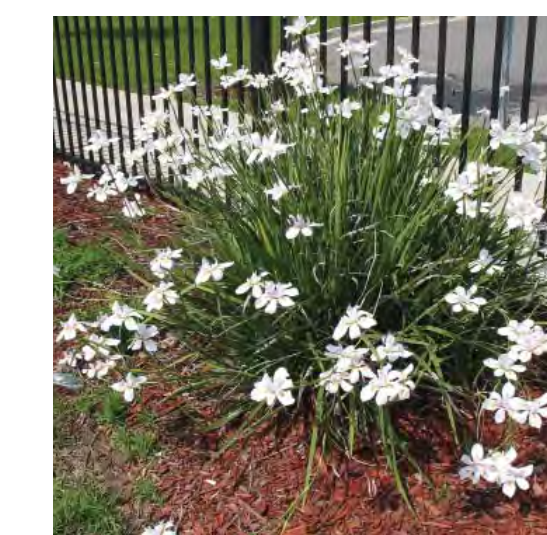
SHRUBS



ANIGOZANTHOS, SPP.  
KANGAROO PAWS



ASPIDISTRA ELATIOR  
CAST IRON PLANT



DIETES VEGATA  
FORTNIGHT LILY

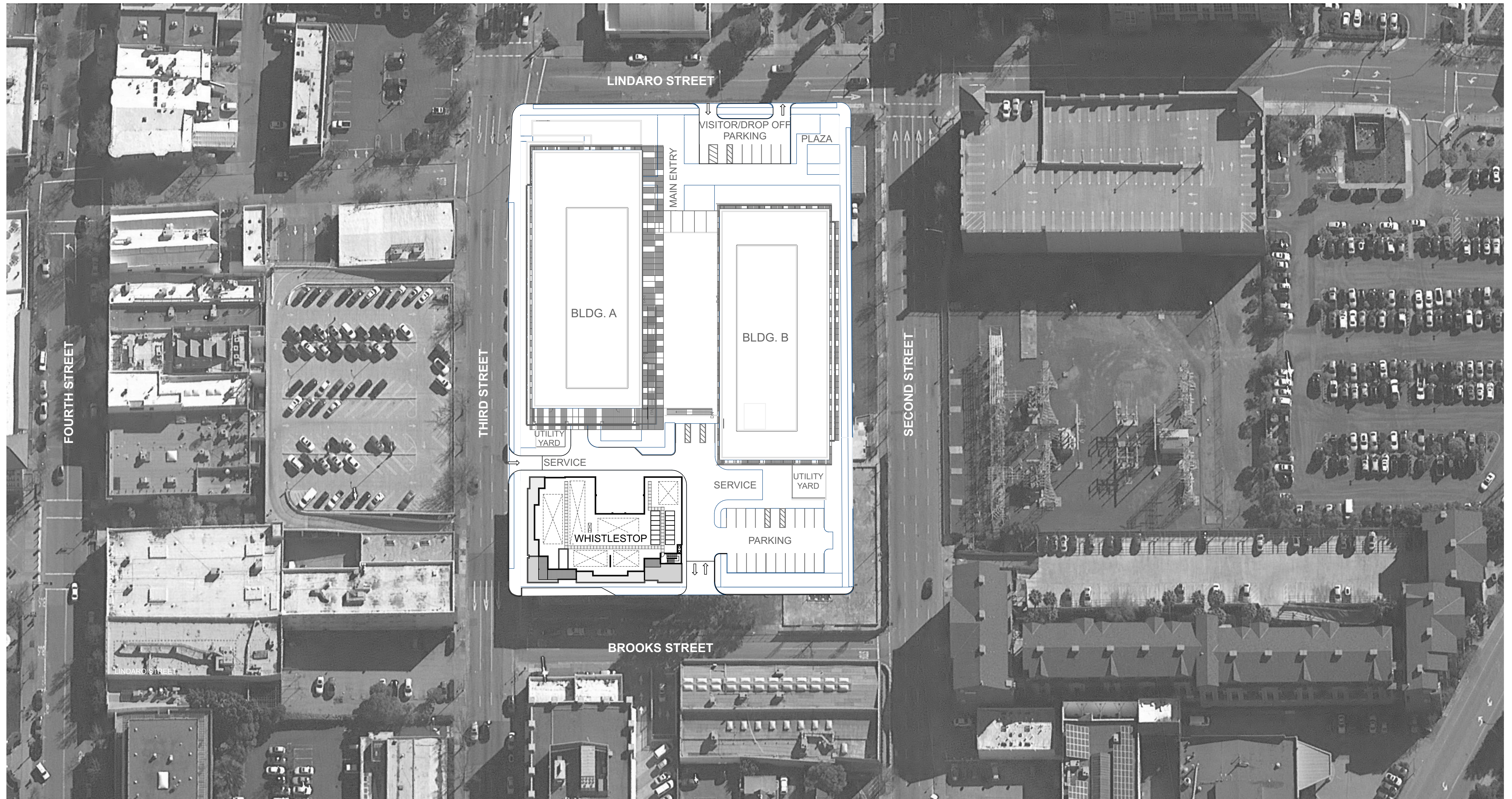


HEMEROCALLIS SPP.  
DAY LILY



POLYPODIUM CALIFORNICUM  
CALIFORNIA POLYPODY





AI.0



# Whistlestop | AERIAL SITE PLAN

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING





AI.1



# Whistlestop | AERIAL GROUND FLOOR PLAN

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING



- GENERAL NOTES**
1. FEMA BASE FLOOD ELEVATION: 11'-0"
  2. FINISHED FLOOR ELEVATIONS OF ALL INTERIOR AREAS EXCLUDING THE GARAGE ENTRY AND EXIT AREA ARE 12'-0"
  3. PER CITY OF SAN RAFAEL, A MINIMUM OF 1 FOOT ABOVE FLOOD ELEVATION IS REQUIRED FOR ALL CRITICAL FACILITY SPACES

- SHEET NOTES**
- 1 (N) VEHICULAR CURB CUT PER CITY STANDARDS
  - 2 BIKE RACK
  - 3 VEHICULAR OVERHEAD GATE
  - 4 NEW PG&E TRANSFORMER VAULT
  - 5 GAS METER LOCATION
  - 6 BACK FLOW PREVENTER (BFP)
  - 7 PLANTER, SEE LANDSCAPE DRAWINGS
  - 8 (N) ACCESSIBLE PEDESTRIAN CURB CUT
  - 9 (E) STREET LIGHT TO REMAIN
  - 10 (E) PARKING METER TO REMAIN
  - 11 (N) RAMP ENTRY ACCESS FROM SIDEWALK
  - 12 GREEN WALL PLANTING AREA, SEE LANDSCAPE DRAWINGS

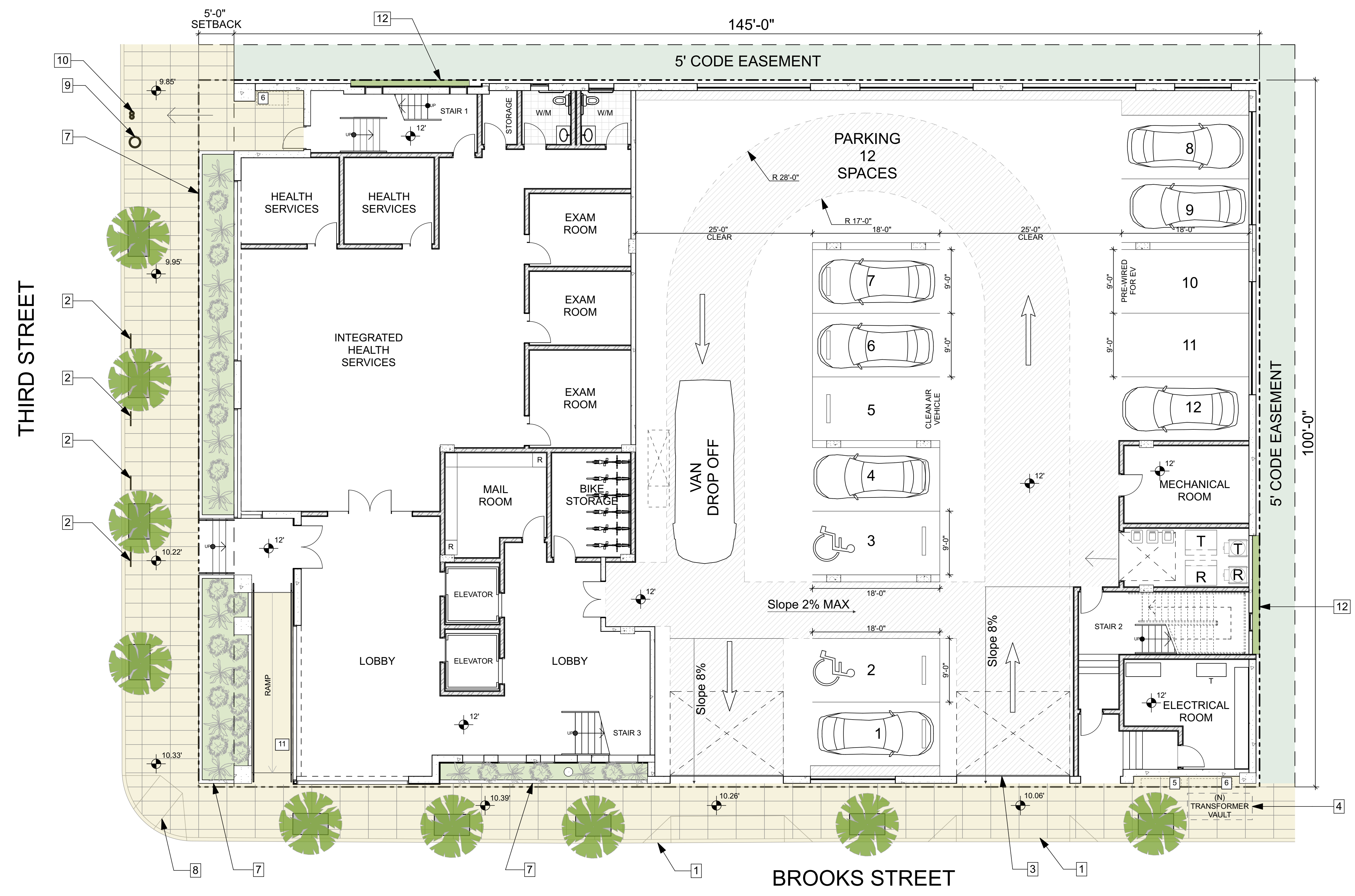
- SYMBOLS**
- (N) TREE, SEE LANDSCAPE DRAWINGS
  - (N) STREET TREE GRATES PER CITY STANDARDS
  - 5' WIDE CODE EASEMENT

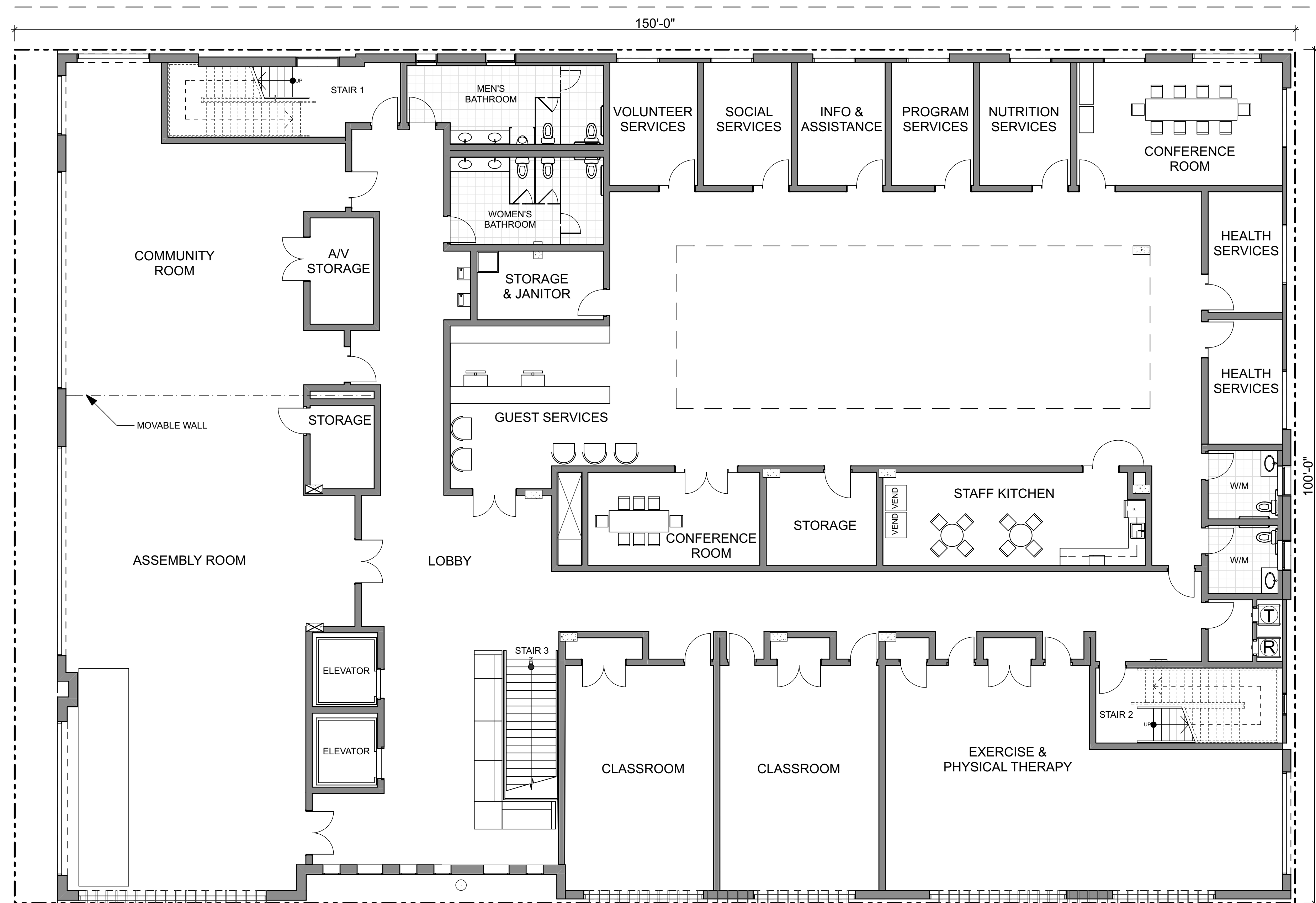
**PRELIMINARY CALCULATIONS FOR DRAINAGE FIXTURE UNIT VALUES**

TYPE OF FIXTURE	NUMBER OF FIXTURES	FIXTURE DEMAND PER TABLE 702.1	NUMBER OF WATER FOUNTAINS	TOTAL DFU
<b>WATER FOUNTAIN</b>				
WATER FOUNTAIN	1	0.5	2	1
TOTAL: 1				
<b>COMMON / STAFF KITCHEN</b>				
TYPE OF FIXTURE	NUMBER OF FIXTURES	FIXTURE DEMAND PER TABLE 702.1	NUMBER OF COMMON KITCHENS	TOTAL DFU
KITCHEN SINK	1	2	2	4
DISHWASHER	1	2	2	4
TOTAL: 8				
<b>EXAM ROOM</b>				
TYPE OF FIXTURE	NUMBER OF FIXTURES	FIXTURE DEMAND PER TABLE 702.1	NUMBER OF WATER FOUNTAINS	TOTAL DFU
SINK	1	1	3	3
TOTAL: 3				
<b>SINGLE STALL TOILETS</b>				
TYPE OF FIXTURE	NUMBER OF FIXTURES	FIXTURE DEMAND PER TABLE 702.1	NUMBER OF TOILETS	TOTAL DFU
WATER CLOSET	1	4	4	16
LAVATORY	1	1	4	4
TOTAL: 20				
<b>MEN'S BATHROOM</b>				
TYPE OF FIXTURE	NUMBER OF FIXTURES	FIXTURE DEMAND PER TABLE 702.1	NUMBER OF MEN'S BATHROOMS	TOTAL DFU
WATER CLOSET	2	4	1	8
URINAL	1	2	1	2
LAVATORY	2	1	1	2
TOTAL: 12				
<b>WOMEN'S BATHROOM</b>				
TYPE OF FIXTURE	NUMBER OF FIXTURES	FIXTURE DEMAND PER TABLE 702.1	NUMBER OF WOMEN'S BATHROOMS	TOTAL DFU
WATER CLOSET	2	4	1	8
LAVATORY	2	1	1	2
TOTAL: 10				
<b>LAUNDRY ROOM</b>				
TYPE OF FIXTURE	NUMBER OF FIXTURES	FIXTURE DEMAND PER TABLE 702.1	TOTAL NUMBER OF LAUNDRY ROOMS	TOTAL DFU
CLOTHES WASHER	5	3	1	15
LAUNDRY SINK	1	2	1	2
TOTAL: 17				
<b>RESIDENTIAL UNITS</b>				
TYPE OF FIXTURE	NUMBER OF FIXTURES	FIXTURE DEMAND PER TABLE 702.1	TOTAL NUMBER OF RESIDENTIAL UNITS	TOTAL DFU
WATER CLOSET	1	3	67	201
BATHSHOWER	1	2	67	134
LAVATORY	1	1	67	67
KITCHEN SINK	1	2	67	134
TOTAL: 536				
PROJECT TOTAL DFU: 595				

Total DFU 595 < 720. Per Table 703.2 a 4" minimum piping to be used.

Note: Calculations are based on 2016 California Plumbing Code.



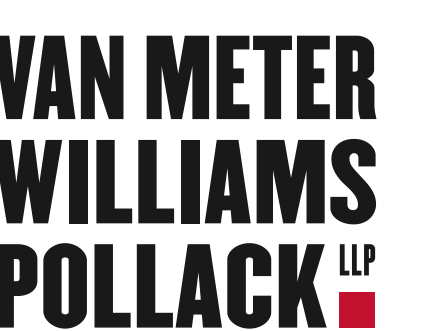


A2.0

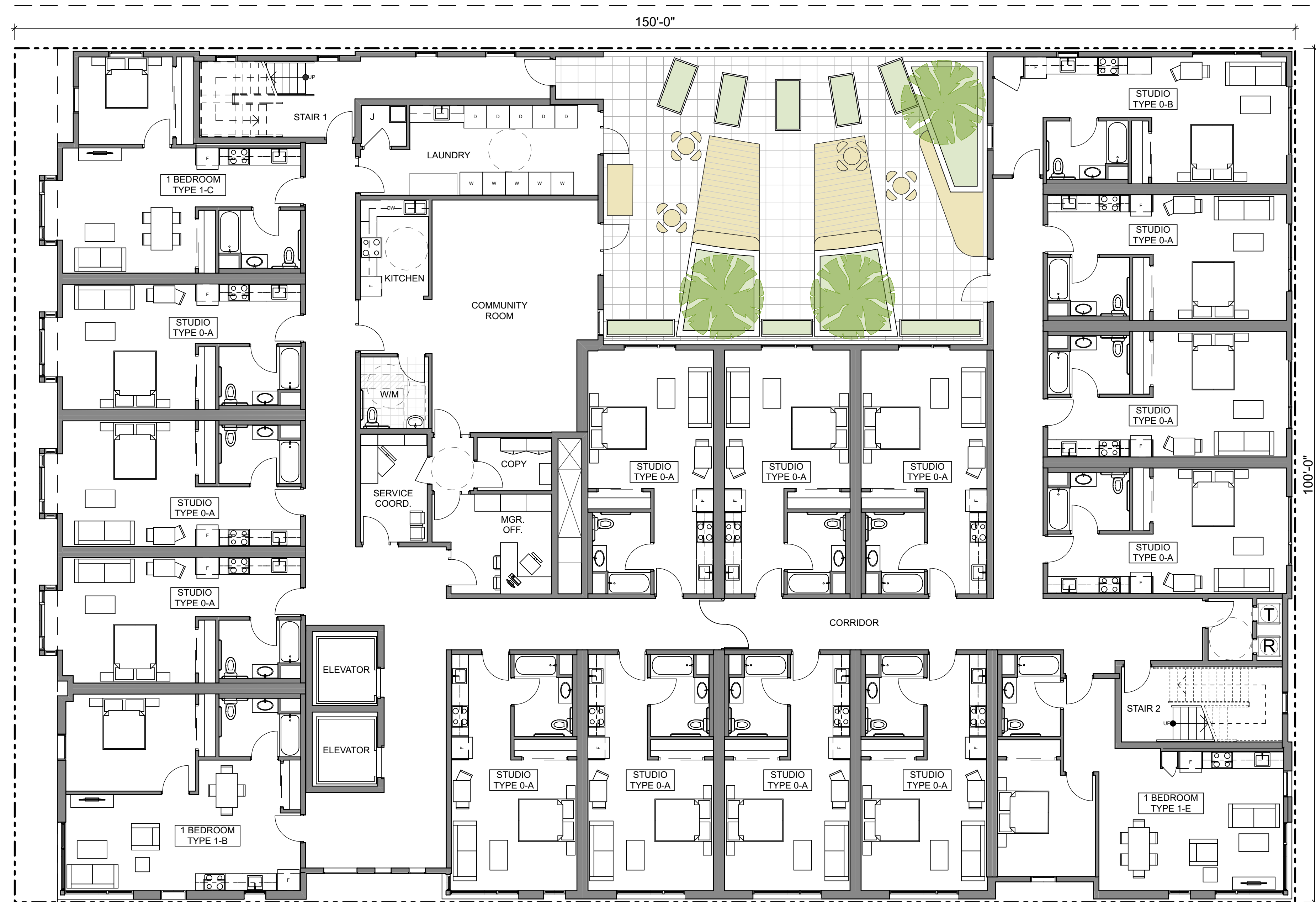


# Whistlestop | SECOND FLOOR PLAN

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING







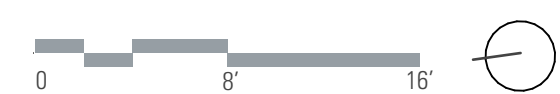
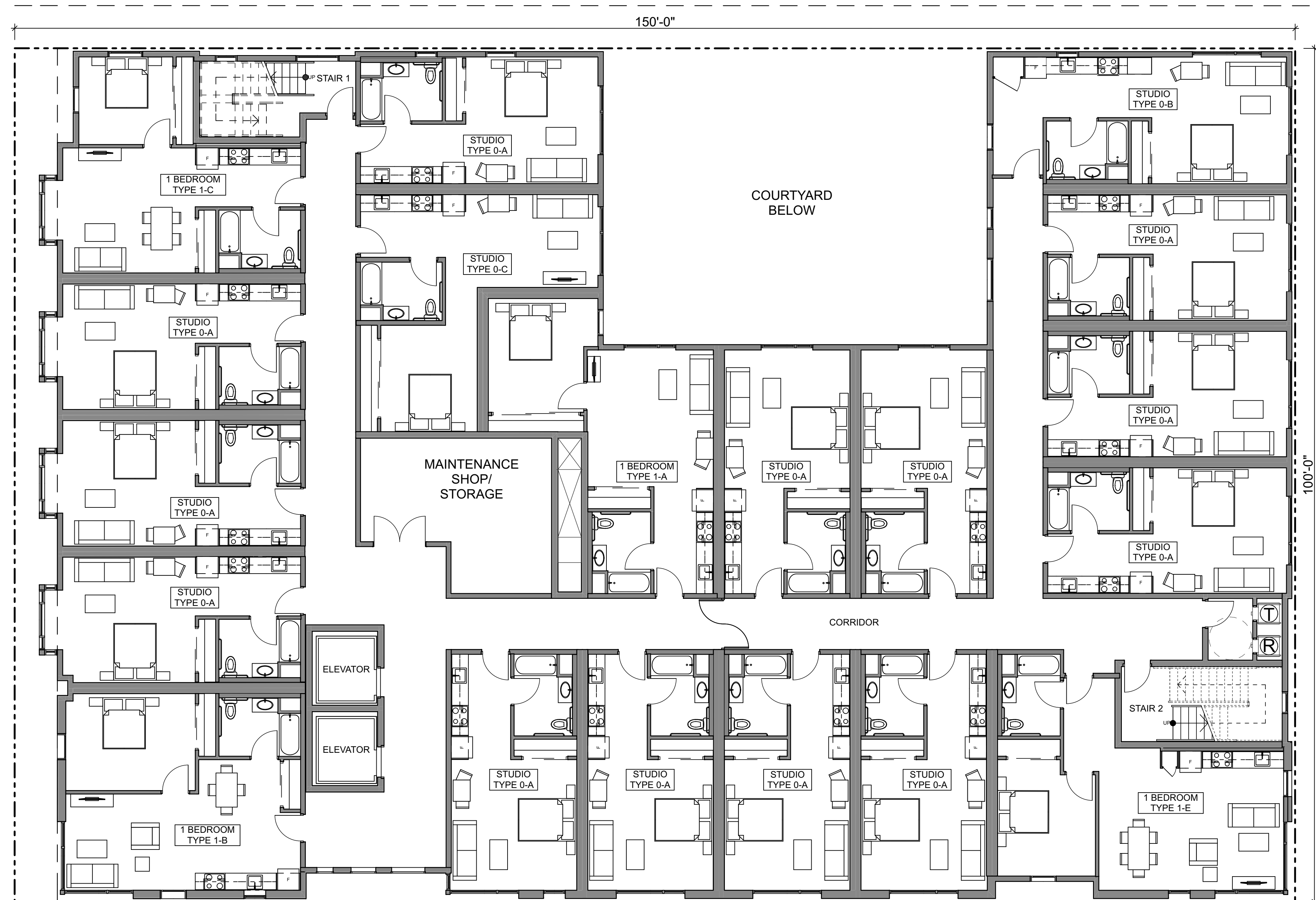
# Whistlestop | THIRD FLOOR PLAN

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING

A3.0



VAN METER  
WILLIAMS  
POLLACK <sup>LLP</sup>



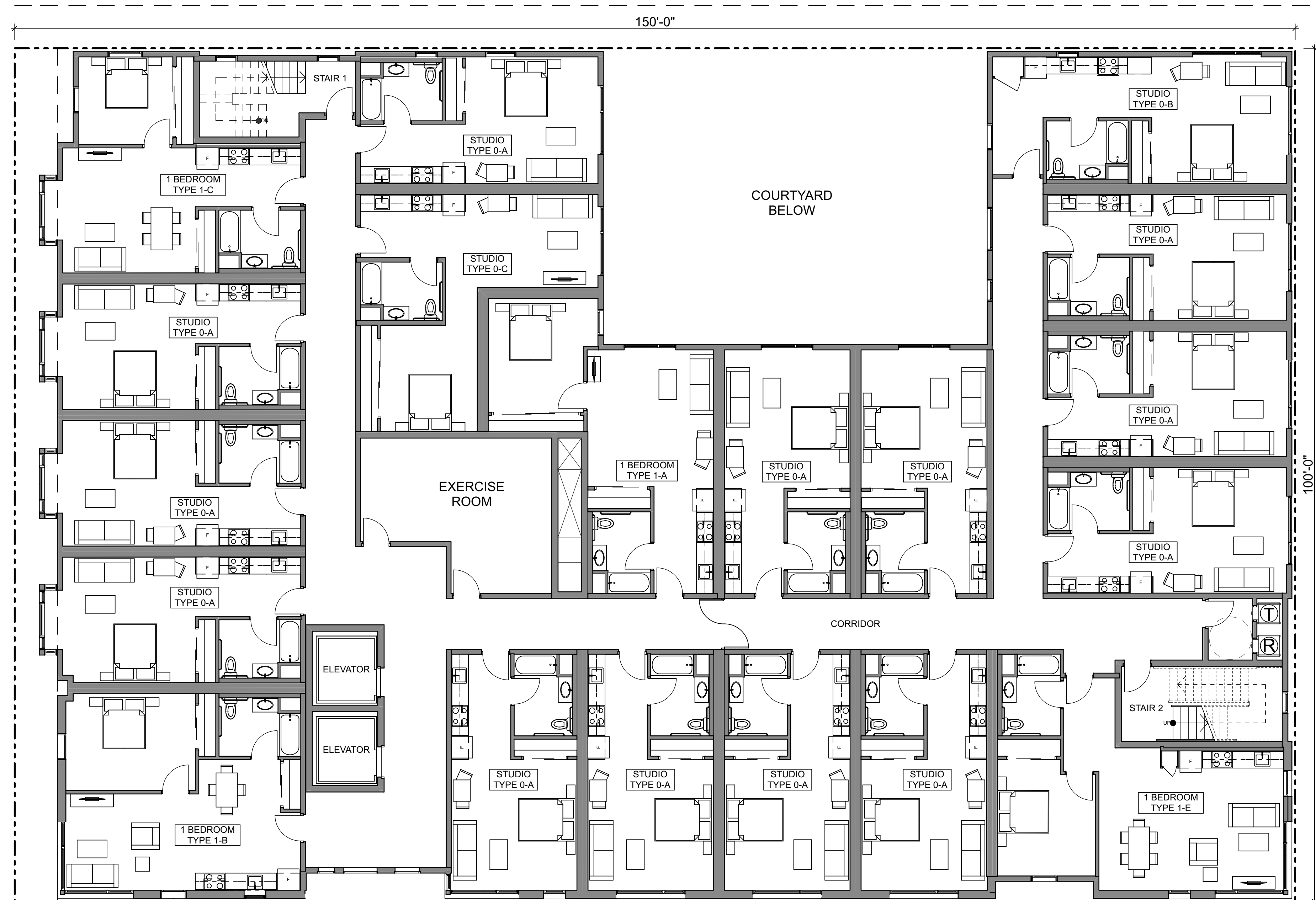
# Whistlestop | FOURTH FLOOR PLAN

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING

A4.0



VAN METER  
WILLIAMS  
POLLACK <sup>LLP</sup>



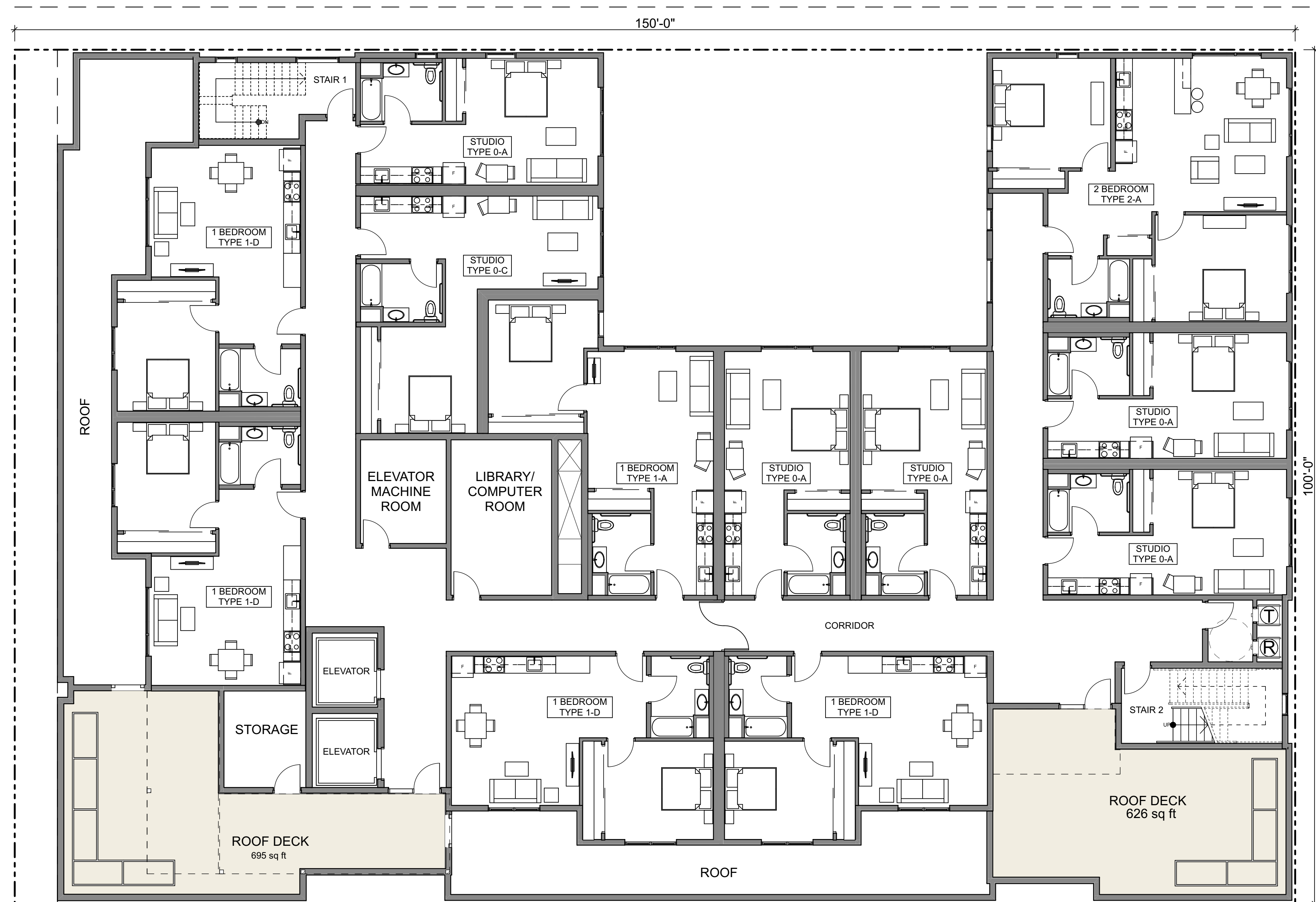
# Whistlestop | FIFTH FLOOR PLAN

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING

A5.0



VAN METER  
WILLIAMS  
POLLACK <sup>LLP</sup>



A6.0

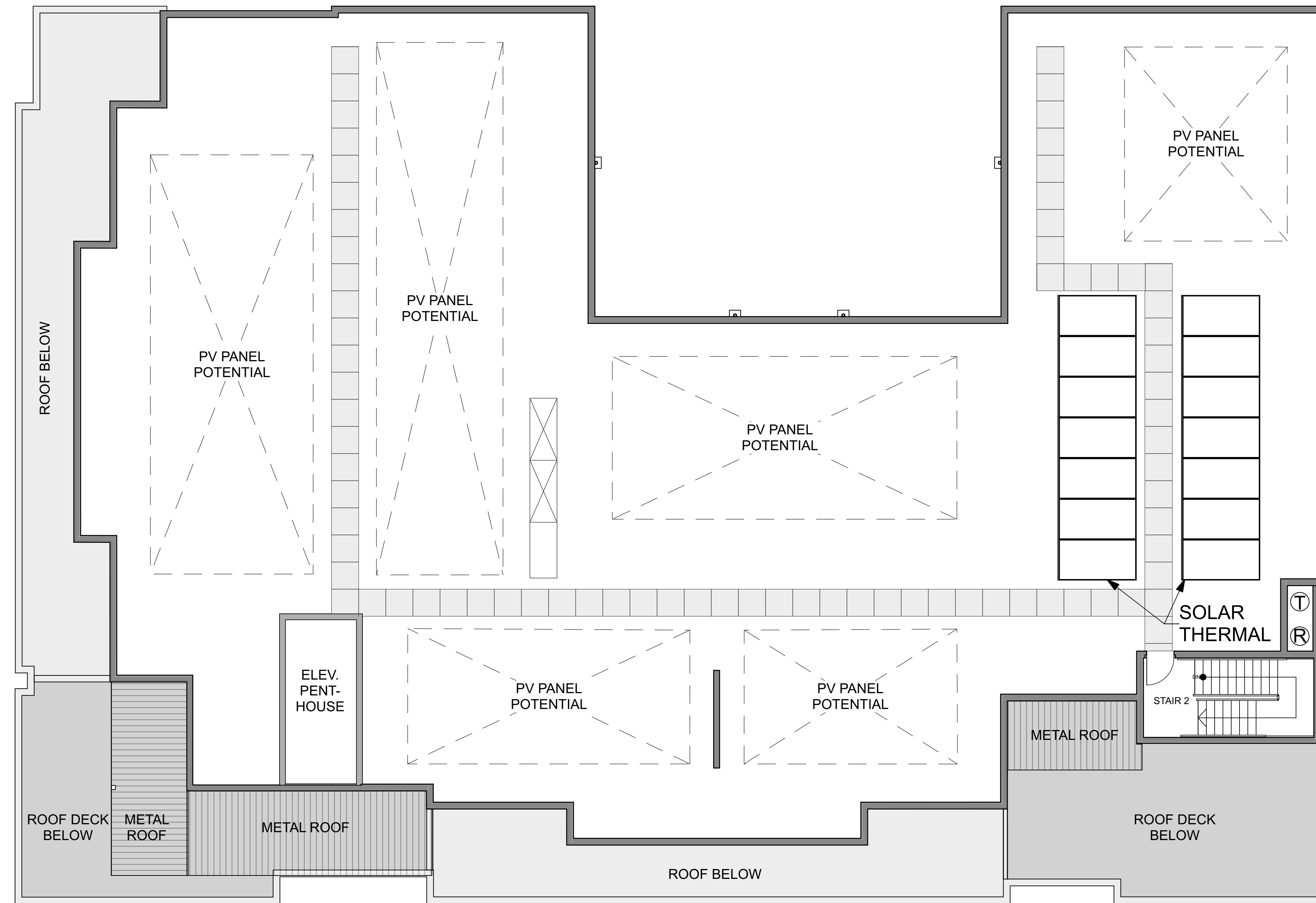


# Whistlestop | SIXTH FLOOR PLAN

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING



**VAN METER  
WILLIAMS  
POLLACK** LLP



A7.0



# Whistlestop | ROOF FLOOR PLAN

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING



**MATERIALS & SYSTEMS**

- |                               |  |
|-------------------------------|--|
| 1 CONCRETE BASE, PAINTED      | 11 METAL SHINGLES, COPPER COLOR                    |
| 2 ALUMINUM STOREFRONT         | 12 BOARD & BATTEN, 'RANDOM' PATTERN                |
| 3 ALUMINUM OR VINYL WINDOWS   | 13 METAL GRILLE, PAINTED                           |
| 4 STUCCO                      | 14 ENTRY CANOPY                                    |
| 5 METAL OR CEMENT BOARD PANEL | 15 METAL ROOF OR METAL FRAME                       |
| 6 METAL RAILING, PAINTED      | 16 METAL FRAMED WINDOWS W/ VERTICAL FINIS          |
| 7 FIBER CEMENT SIDING         | 17 GREEN WALL                                      |
| 8 METAL COPING                | 18 12" X 6' SIGNAGE (6 S.F.), LOGO (6 S.F.)        |
| 9 CONCRETE PLANTER            | 19 PARKING ENTRY & EXIT SIGNAGE (8"-12" LETTERING) |
| 10 METAL SUNSHADE             |  |

**COLORS**

- A KELLY MOORE: 216 – MALIBU BEIGE
- B KELLY MOORE: KM5791 – NORTHPOINTE
- C KELLY MOORE: KM5793 – JASMINE HOLLOW
- D KELLY MOORE: KM5800 – SAUSALITO RIDGE
- E DARK BRONZE

**GENERAL NOTES**

1. FEMA BASE FLOOD ELEVATION: 11'-0"  
FINISHED FLOOR ELEVATION: 12'-0" (EXCEPT GARAGE ENTRY & EXIT AREA)  
PER CITY OF SAN RAFAEL, A MINIMUM OF 1 FOOT ABOVE FEMA BASE FLOOD ELEVATION IS REQUIRED FOR ALL CRITICAL FACILITY SPACES.
2. ROOFTOP MECHANICAL EQUIPMENT CONCEALED AND NOT VISIBLE FROM STREET LEVEL.



**A8.0**

**MATERIALS & SYSTEMS**

- |                               |  |
|-------------------------------|--|
| 1 CONCRETE BASE, PAINTED      | 11 METAL SHINGLES, COPPER COLOR                    |
| 2 ALUMINUM STOREFRONT         | 12 BOARD & BATTEN, 'RANDOM' PATTERN                |
| 3 ALUMINUM OR VINYL WINDOWS   | 13 METAL GRILLE, PAINTED                           |
| 4 STUCCO                      | 14 ENTRY CANOPY                                    |
| 5 METAL OR CEMENT BOARD PANEL | 15 METAL ROOF OR METAL FRAME                       |
| 6 METAL RAILING, PAINTED      | 16 METAL FRAMED WINDOWS W/ VERTICAL I              |
| 7 FIBER CEMENT SIDING         | 17 GREEN WALL                                      |
| 8 METAL COPING                | 18 12" X 6' SIGNAGE (6 S.F.), LOGO (6 S.F.)        |
| 9 CONCRETE PLANTER            | 19 PARKING ENTRY & EXIT SIGNAGE (8"-12" LETTERING) |
| 10 METAL SUNSHADE             |  |

**COLORS**

- |   |
|---|
| A KELLY MOORE: 216 – MALIBU BEIGE       |
| B KELLY MOORE: KM5791 – NORTHPOINTE     |
| C KELLY MOORE: KM5793 – JASMINE HOLLOW  |
| D KELLY MOORE: KM5800 – SAUSALITO RIDGE |
| E DARK BRONZE                           |

**GENERAL NOTES**

- FEMA BASE FLOOD ELEVATION: 11'-0"  
FINISHED FLOOR ELEVATION: 12'-0" (EXCEPT GARAGE ENTRY & EXIT AREA)  
PER CITY OF SAN RAFAEL, A MINIMUM OF 1 FOOT ABOVE FEMA BASE FLOOD ELEVATION IS REQUIRED FOR ALL CRITICAL FACILITY SPACES.
- ROOFTOP MECHANICAL EQUIPMENT CONCEALED AND NOT VISIBLE FROM STREET LEVEL.



A8.1

**MATERIALS & SYSTEMS**

- |                               |  |
|-------------------------------|--|
| 1 CONCRETE BASE, PAINTED      | 11 METAL SHINGLES, COPPER COLOR                    |
| 2 ALUMINUM STOREFRONT         | 12 BOARD & BATTEN, 'RANDOM' PATTERN                |
| 3 ALUMINUM OR VINYL WINDOWS   | 13 METAL GRILLE, PAINTED                           |
| 4 STUCCO                      | 14 ENTRY CANOPY                                    |
| 5 METAL OR CEMENT BOARD PANEL | 15 METAL ROOF OR METAL FRAME                       |
| 6 METAL RAILING, PAINTED      | 16 METAL FRAMED WINDOWS W/ VERTICAL FINIS          |
| 7 FIBER CEMENT SIDING         | 17 GREEN WALL                                      |
| 8 METAL COPING                | 18 12" X 6' SIGNAGE (6 S.F.), LOGO (6 S.F.)        |
| 9 CONCRETE PLANTER            | 19 PARKING ENTRY & EXIT SIGNAGE (8"-12" LETTERING) |
| 10 METAL SUNSHADE             |  |

**COLORS**

- |   |
|---|
| A KELLY MOORE: 216 – MALIBU BEIGE       |
| B KELLY MOORE: KM5791 – NORTHPOINTE     |
| C KELLY MOORE: KM5793 – JASMINE HOLLOW  |
| D KELLY MOORE: KM5800 – SAUSALITO RIDGE |
| E DARK BRONZE                           |

**GENERAL NOTES**

- FEMA BASE FLOOD ELEVATION: 11'-0"  
FINISHED FLOOR ELEVATION: 12'-0" (EXCEPT GARAGE ENTRY & EXIT AREA)  
PER CITY OF SAN RAFAEL, A MINIMUM OF 1 FOOT ABOVE FEMA BASE FLOOD ELEVATION IS REQUIRED FOR ALL CRITICAL FACILITY SPACES.
- ROOFTOP MECHANICAL EQUIPMENT CONCEALED AND NOT VISIBLE FROM STREET LEVEL.



**A8.2**



**MATERIALS & SYSTEMS**

- |                               |  |
|-------------------------------|--|
| 1 CONCRETE BASE, PAINTED      | 11 METAL SHINGLES, COPPER COLOR                    |
| 2 ALUMINUM STOREFRONT         | 12 BOARD & BATTEN, 'RANDOM' PATTERN                |
| 3 ALUMINUM OR VINYL WINDOWS   | 13 METAL GRILLE, PAINTED                           |
| 4 STUCCO                      | 14 ENTRY CANOPY                                    |
| 5 METAL OR CEMENT BOARD PANEL | 15 METAL ROOF OR METAL FRAME                       |
| 6 METAL RAILING, PAINTED      | 16 METAL FRAMED WINDOWS W/ VERTICAL FINIS          |
| 7 FIBER CEMENT SIDING         | 17 GREEN WALL                                      |
| 8 METAL COPING                | 18 12" X 6' SIGNAGE (6 S.F.), LOGO (6 S.F.)        |
| 9 CONCRETE PLANTER            | 19 PARKING ENTRY & EXIT SIGNAGE (8"-12" LETTERING) |
| 10 METAL SUNSHADE             |  |

**COLORS**

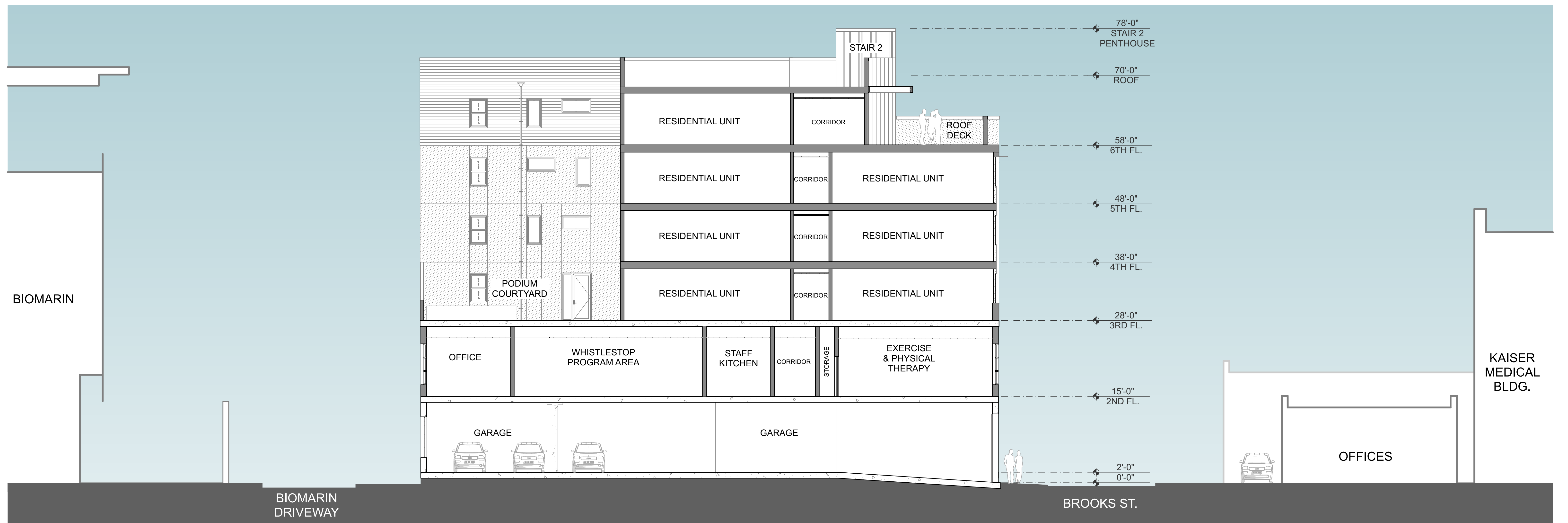
- |   |
|---|
| A KELLY MOORE: 216 – MALIBU BEIGE       |
| B KELLY MOORE: KM5791 – NORTHPOINTE     |
| C KELLY MOORE: KM5793 – JASMINE HOLLOW  |
| D KELLY MOORE: KM5800 – SAUSALITO RIDGE |
| E DARK BRONZE                           |

**GENERAL NOTES**

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- ROOFTOP MECHANICAL EQUIPMENT CONCEALED AND NOT VISIBLE FROM STREET LEVEL.



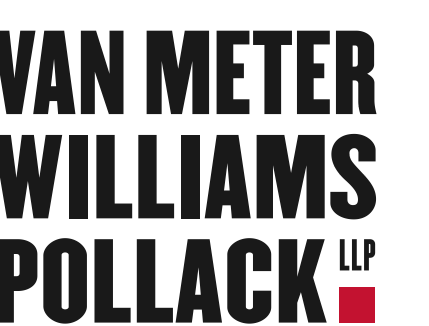
**A8.3**

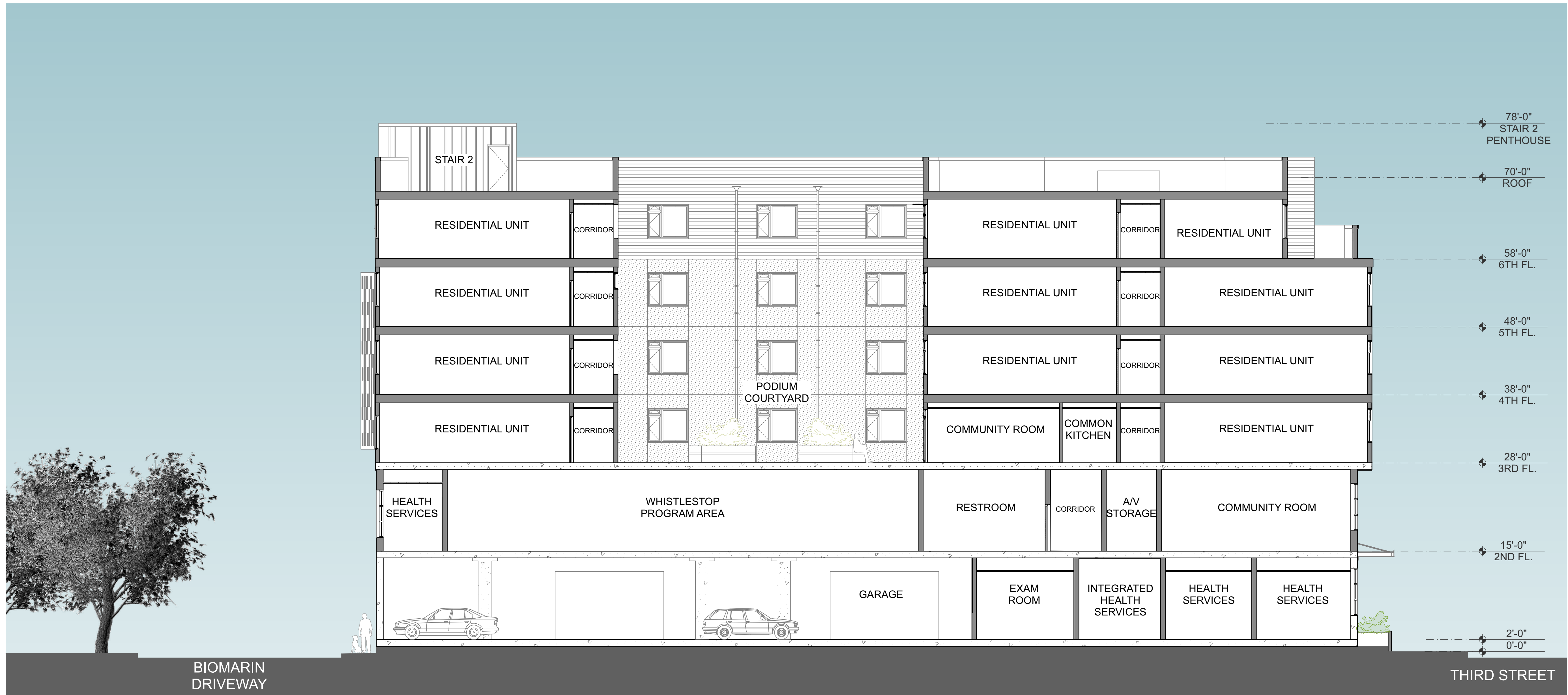


# Whistlestop | CROSS BUILDING SECTION

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING

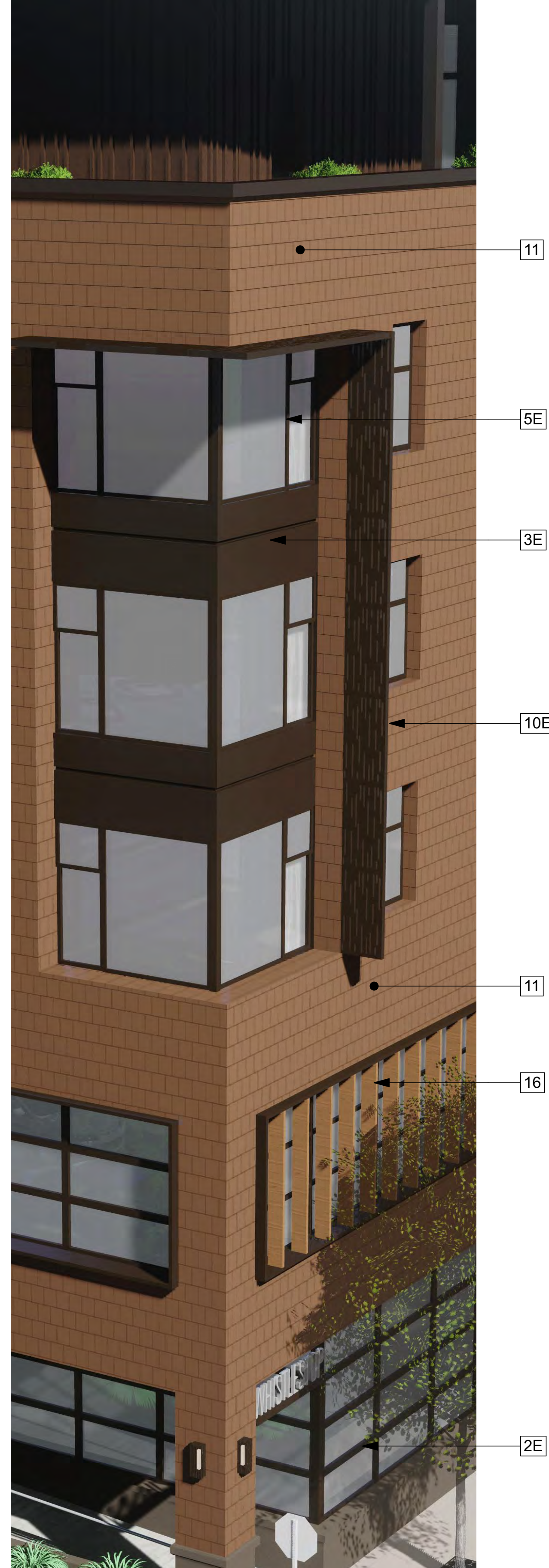
A9.0







BAYS ALONG THIRD STREET



BUILDING CORNER AT THIRD AND BROOKS



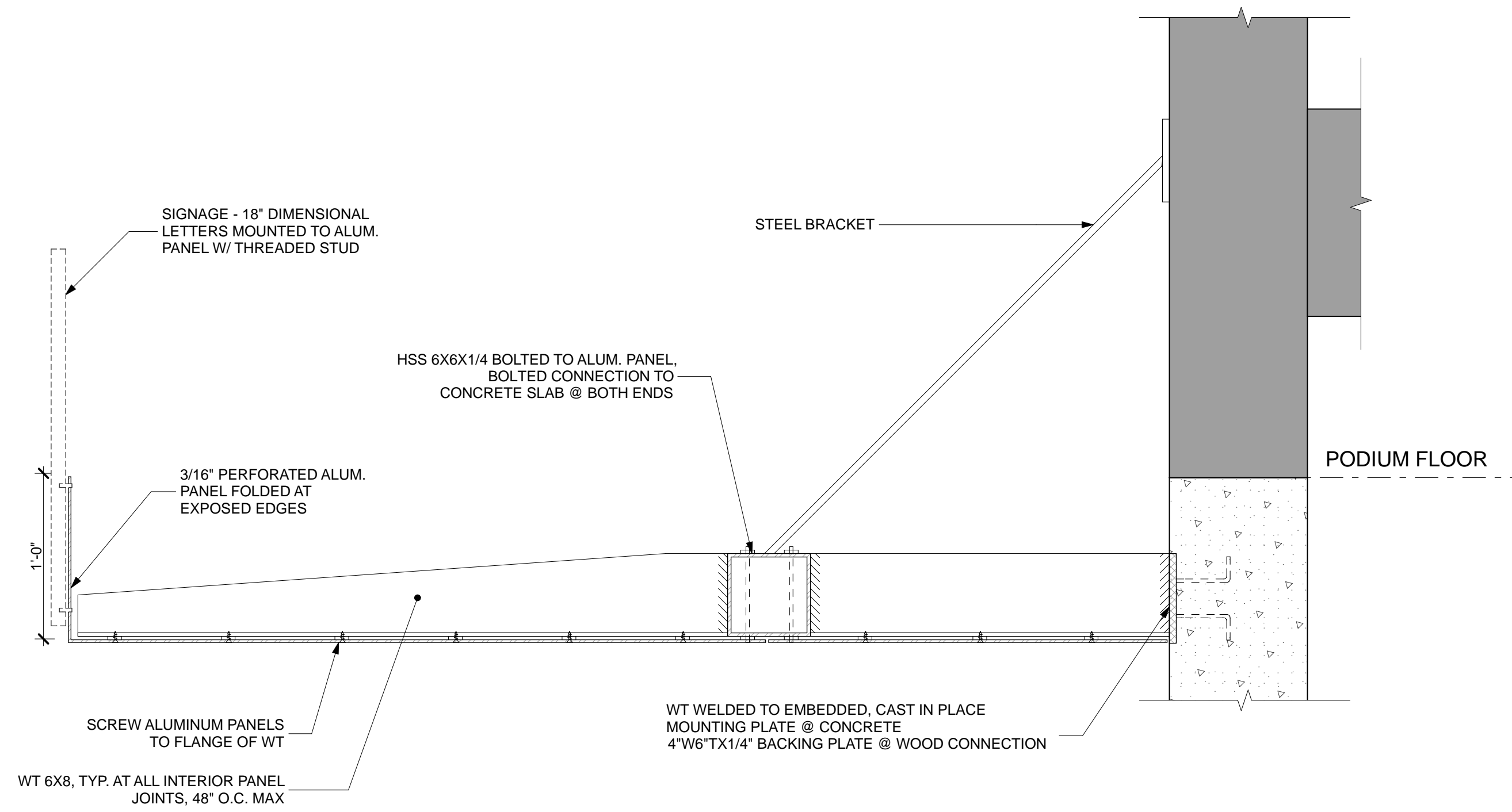
WINDOW TREATMENT ALONG BROOKS

**MATERIALS & SYSTEMS**

- 1 CONCRETE BASE, PAINTED
- 2 ALUMINUM STOREFRONT
- 3 ALUMINUM OR VINYL WINDOWS
- 4 STUCCO
- 5 METAL OR CEMENT BOARD PANEL
- 6 METAL RAILING, PAINTED
- 7 FIBER CEMENT SIDING
- 8 METAL COPING
- 9 CONCRETE PLANTER
- 10 METAL SUNSHADE
- 11 METAL SHINGLES, COPPER COLOR
- 12 BOARD & BATTEN, 'RANDOM' PATTERN
- 13 METAL GRILLE, PAINTED
- 14 ENTRY CANOPY
- 15 METAL ROOF OR METAL FRAME
- 16 METAL FRAMED WINDOWS W/ VERTICAL FINIS
- 17 GREEN WALL
- 18 12" X 6' SIGNAGE (6 S.F.), LOGO (6 S.F.)
- 19 PARKING ENTRY & EXIT SIGNAGE (8"-12" LETTERING)

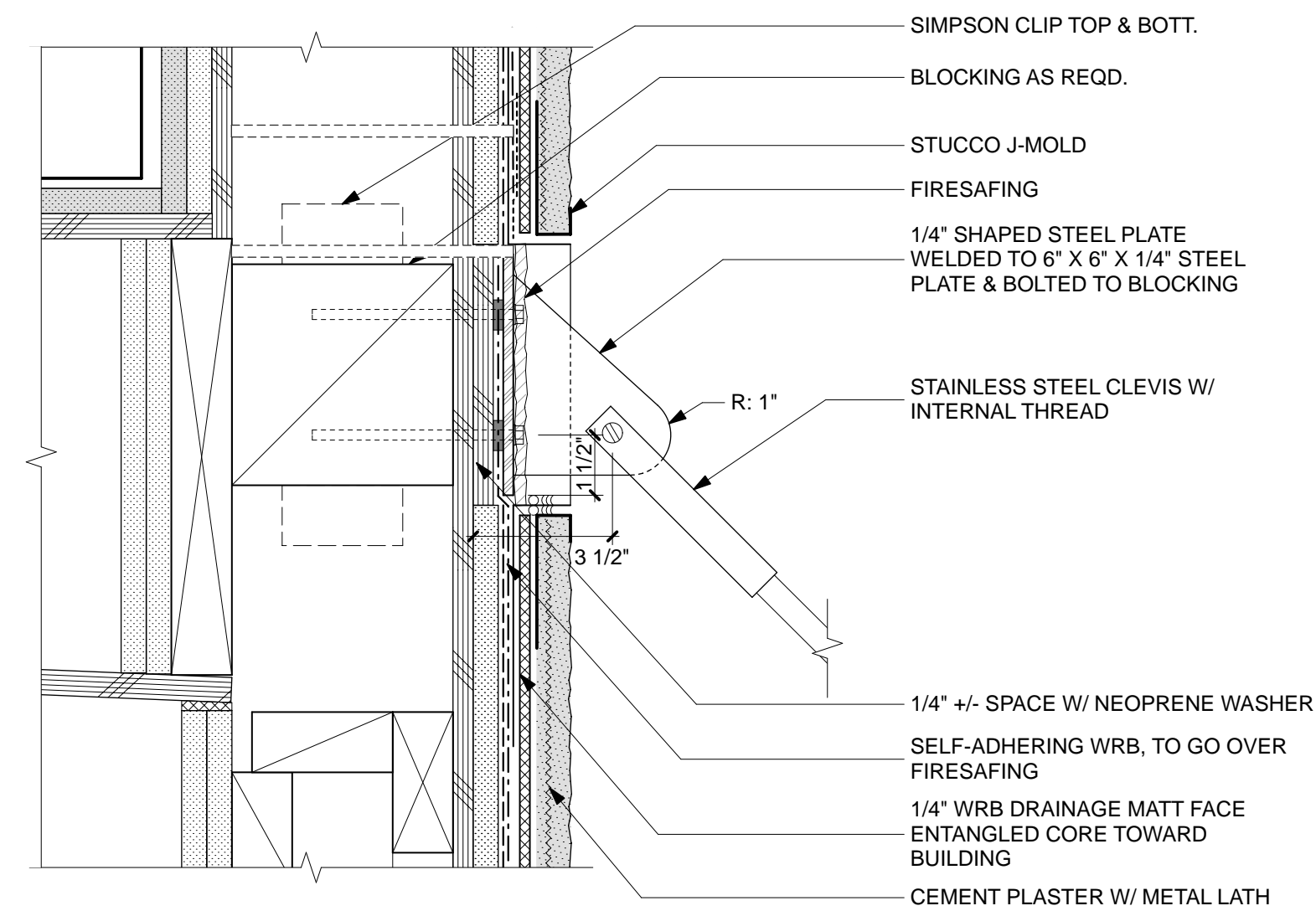
**COLORS**

- A KELLY MOORE: 216 – MALIBU BEIGE
- B KELLY MOORE: KM5791 – NORTHPOINTE
- C KELLY MOORE: KM5793 – JASMINE HOLLOW
- D KELLY MOORE: KM5800 – SAUSALITO RIDGE
- E DARK BRONZE



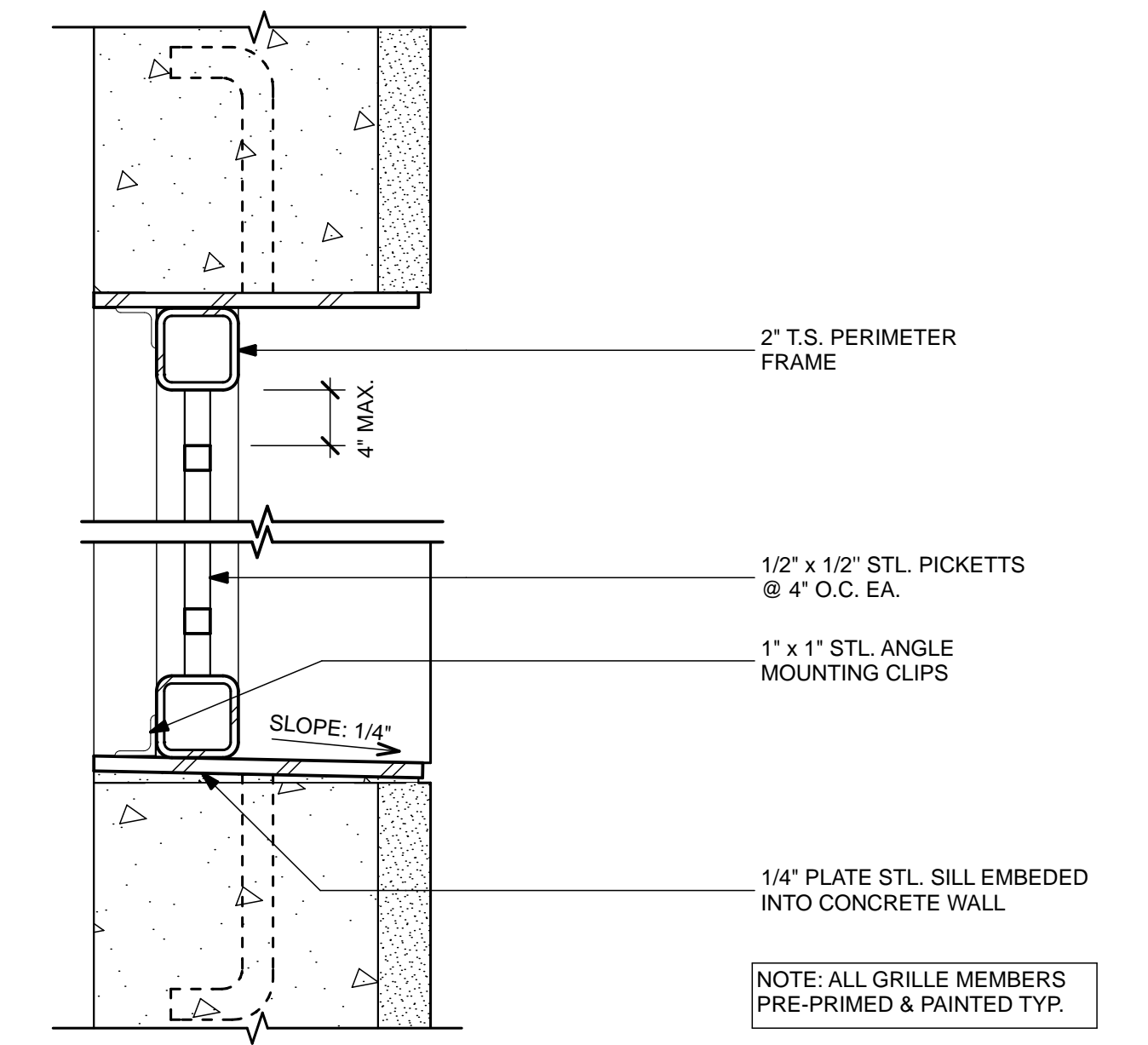
**6. METAL ENTRY CANOPY WITH SIGNAGE**

SCALE 1 1/2" = 1'-0"



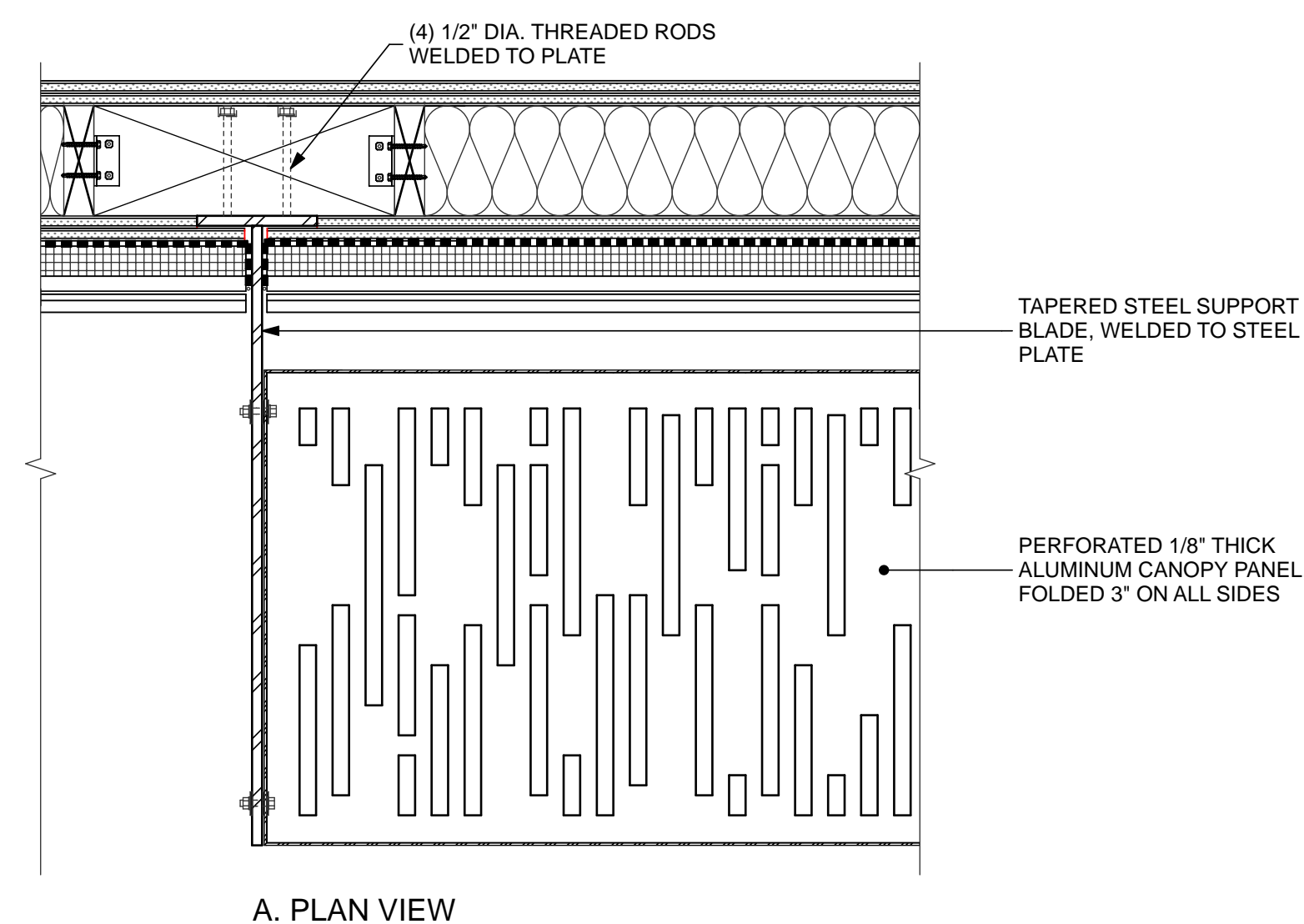
**4. AWNING WALL BRACKET**

SCALE 3" = 1'-0"



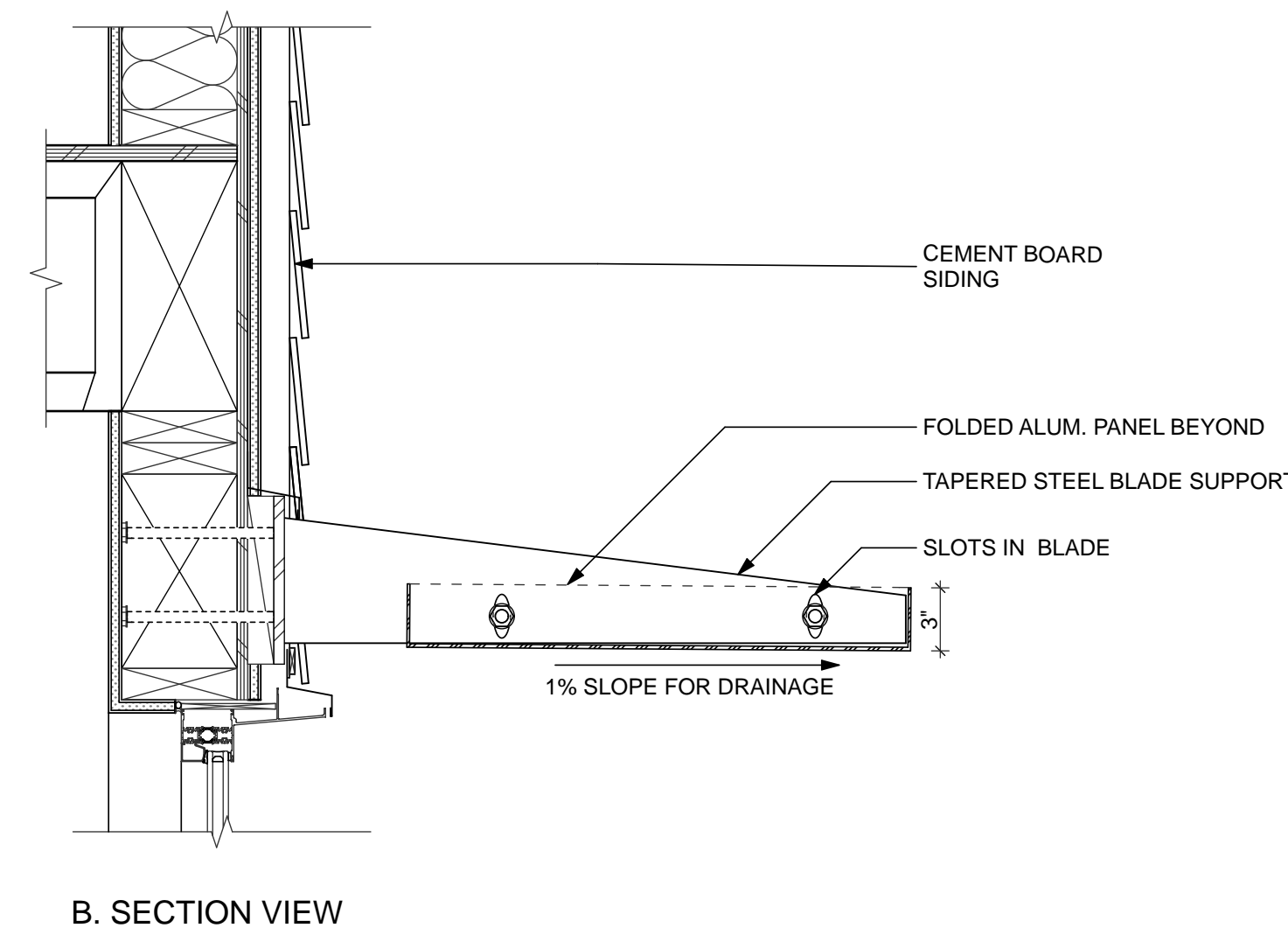
**2. METAL GRILL AT GARAGE**

SCALE 3" = 1'-0"



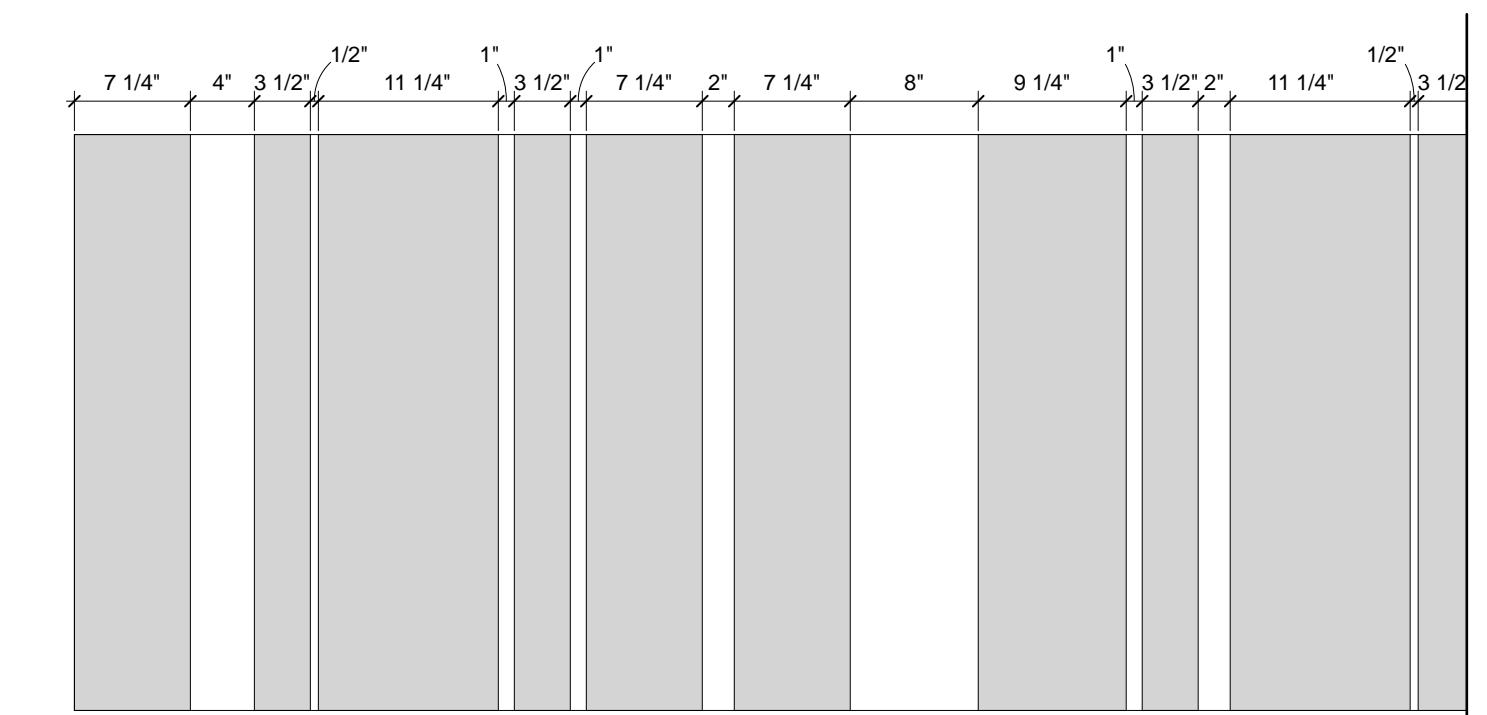
**3. TYPICAL SUNSHADE DETAILS**

SCALE 1 1/2" = 1'-0"

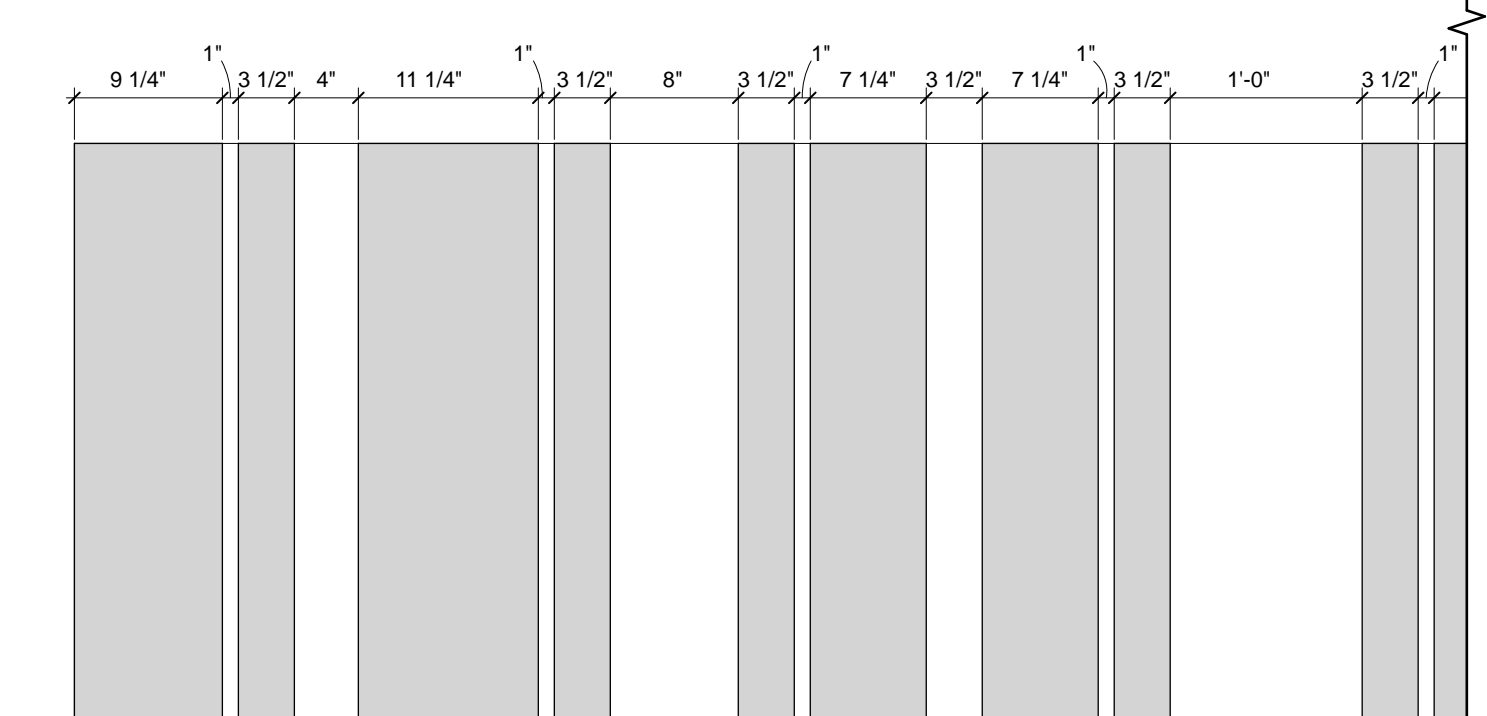


**B. SECTION VIEW**

**PATTERN B**



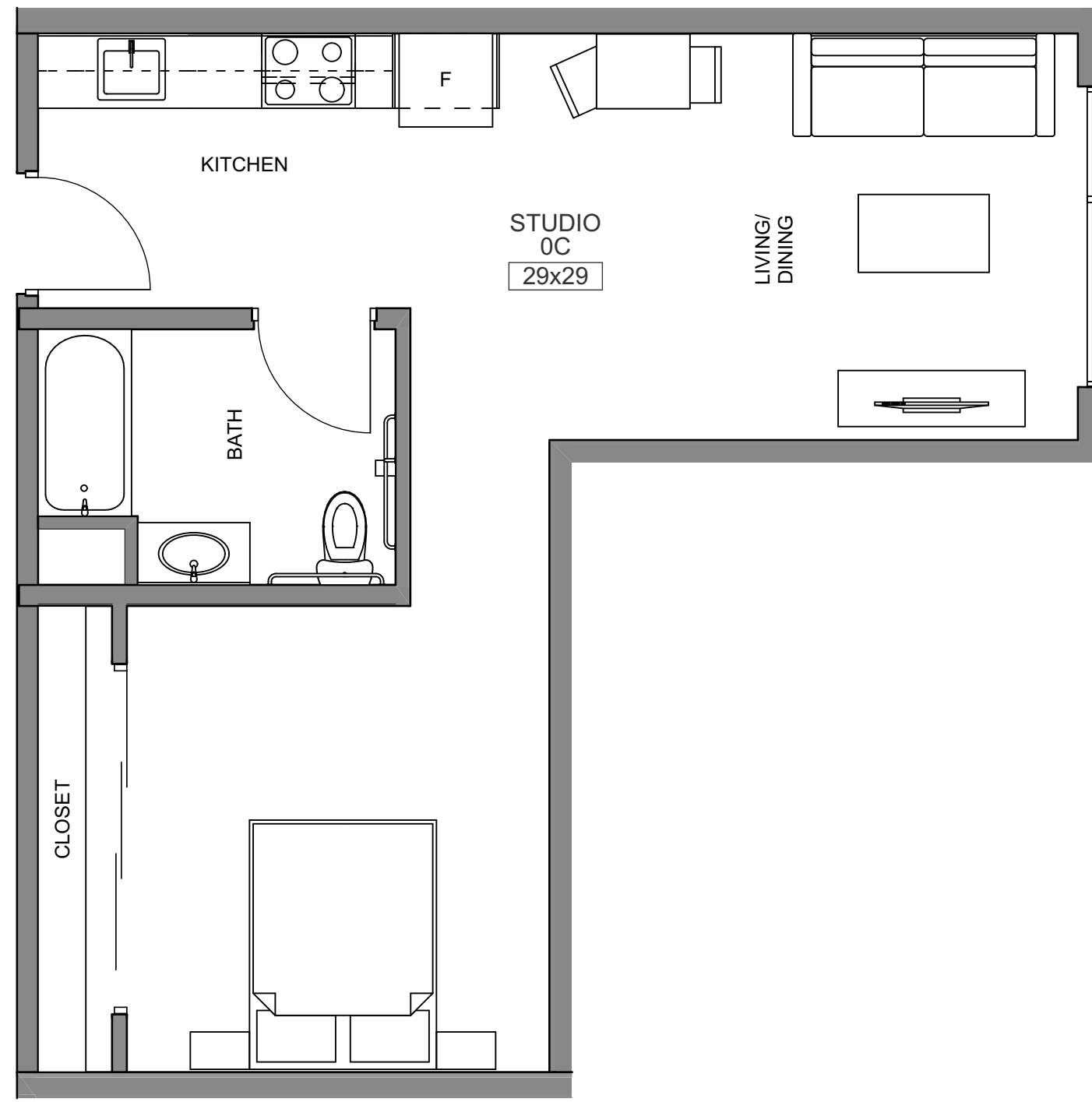
**PATTERN A**



**I. BOARD & BATTEN PATTERN EXAMPLES**

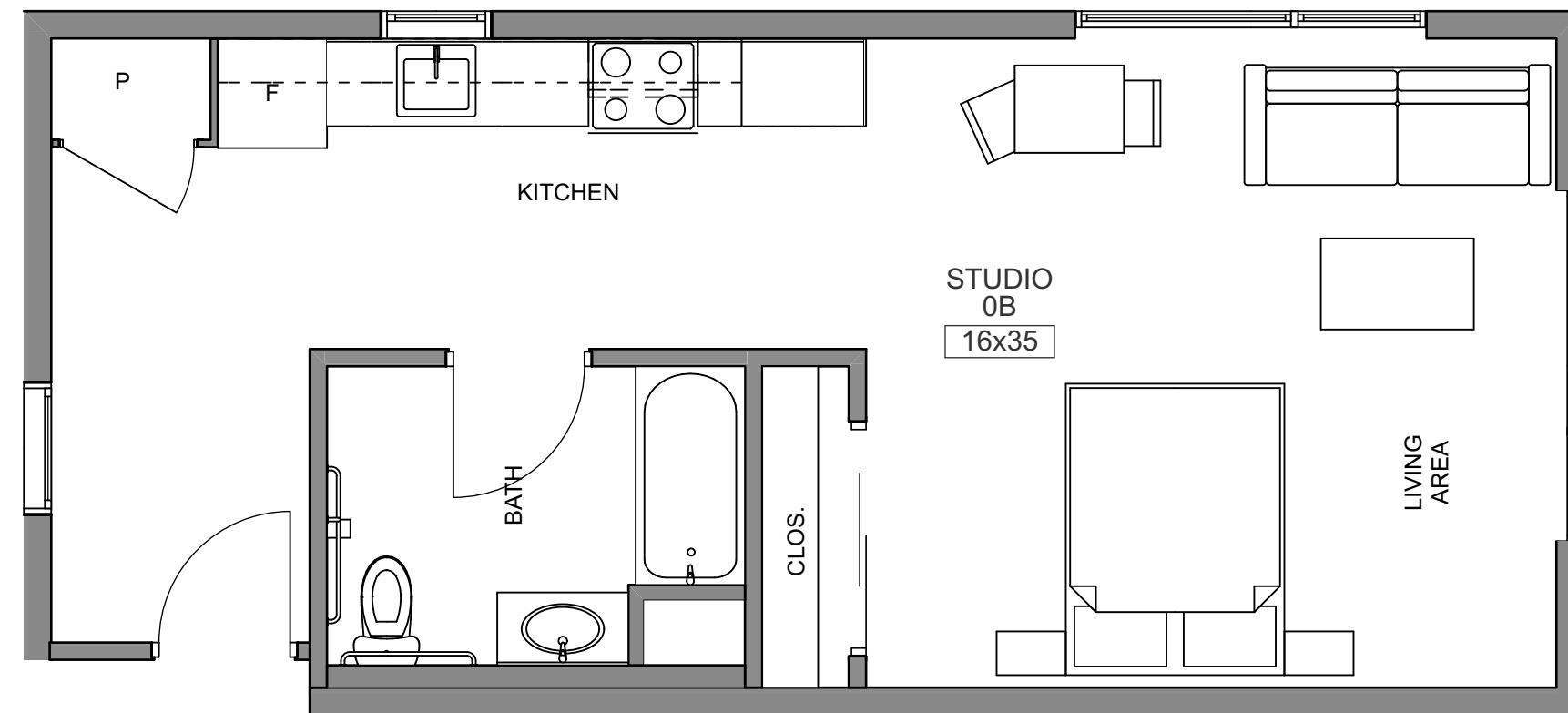
SCALE 1" = 1'-0"

**5. EXTERIOR LIGHT FIXTURE**



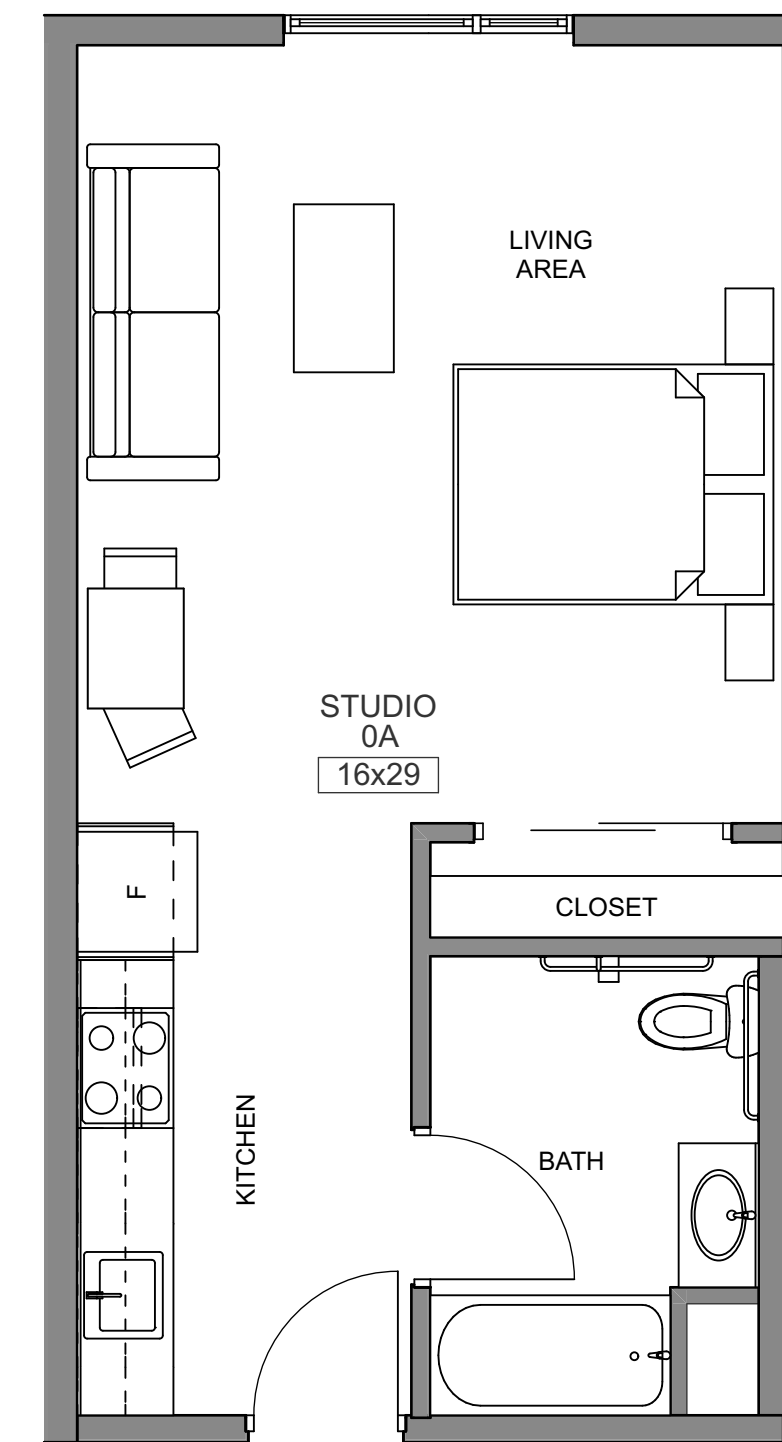
**STUDIO TYPE O-C**

SCALE: 1/4" = 1'-0"



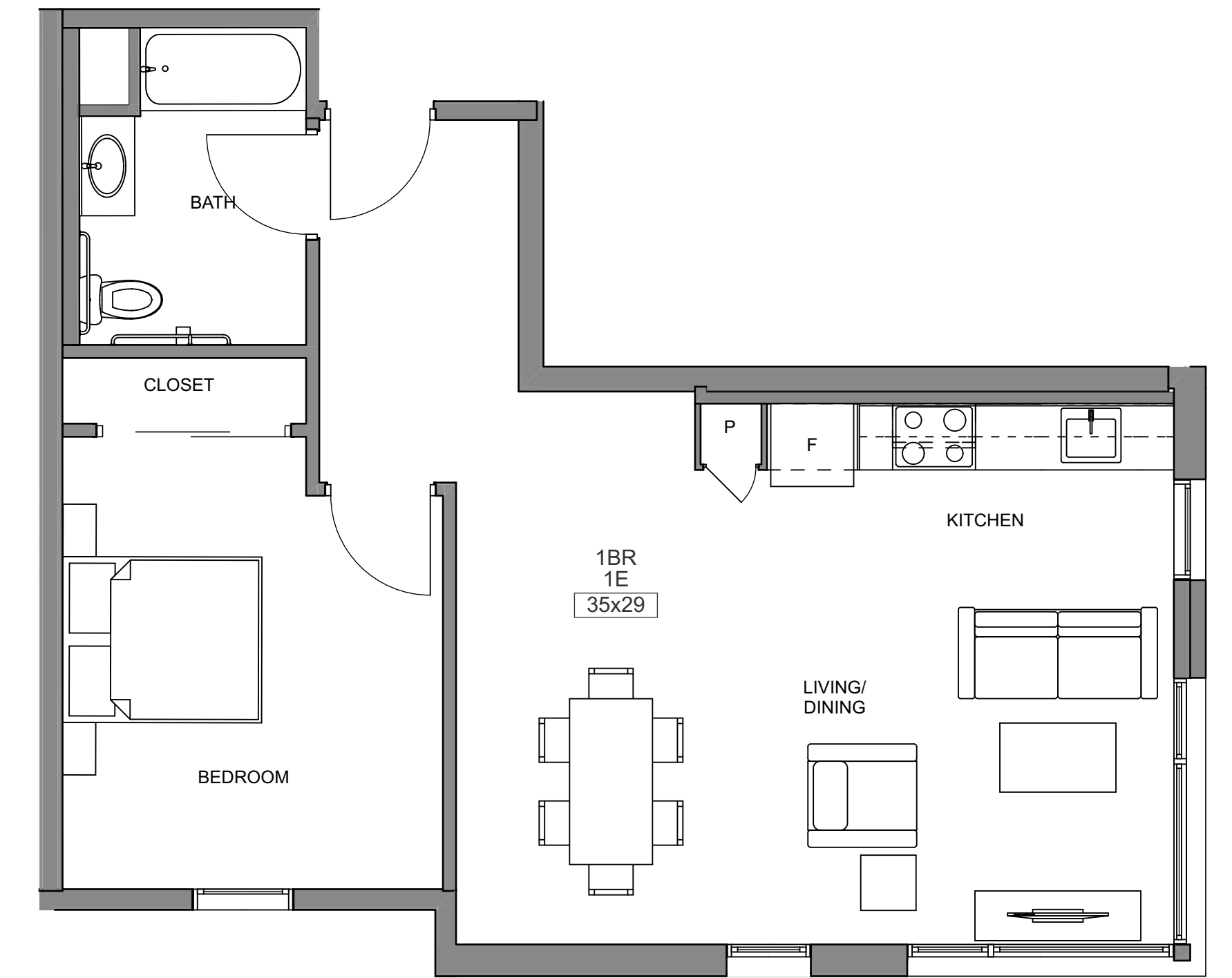
**STUDIO TYPE O-B**

SCALE: 1/4" = 1'-0"



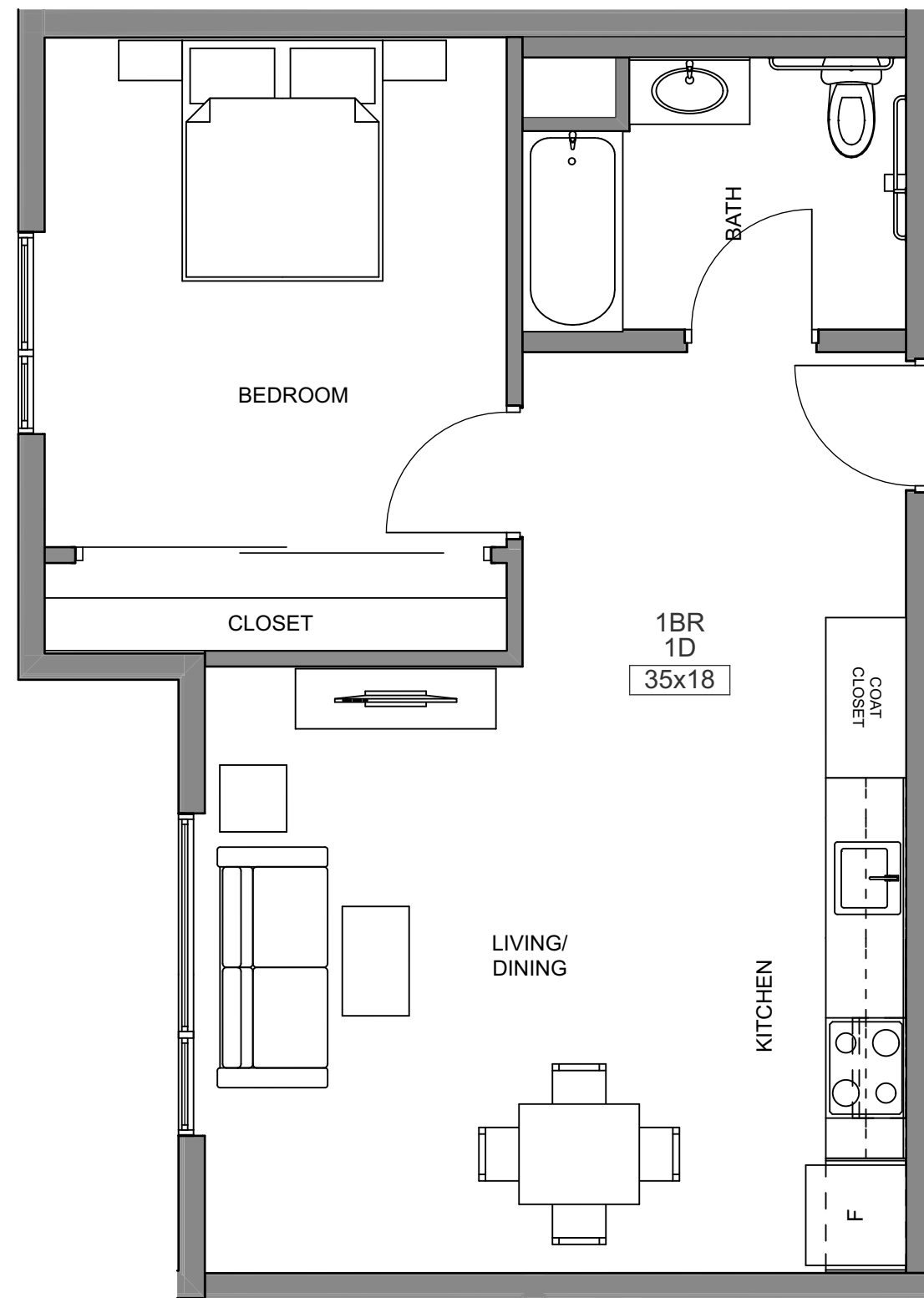
**STUDIO TYPE O-A**

SCALE: 1/4" = 1'-0"



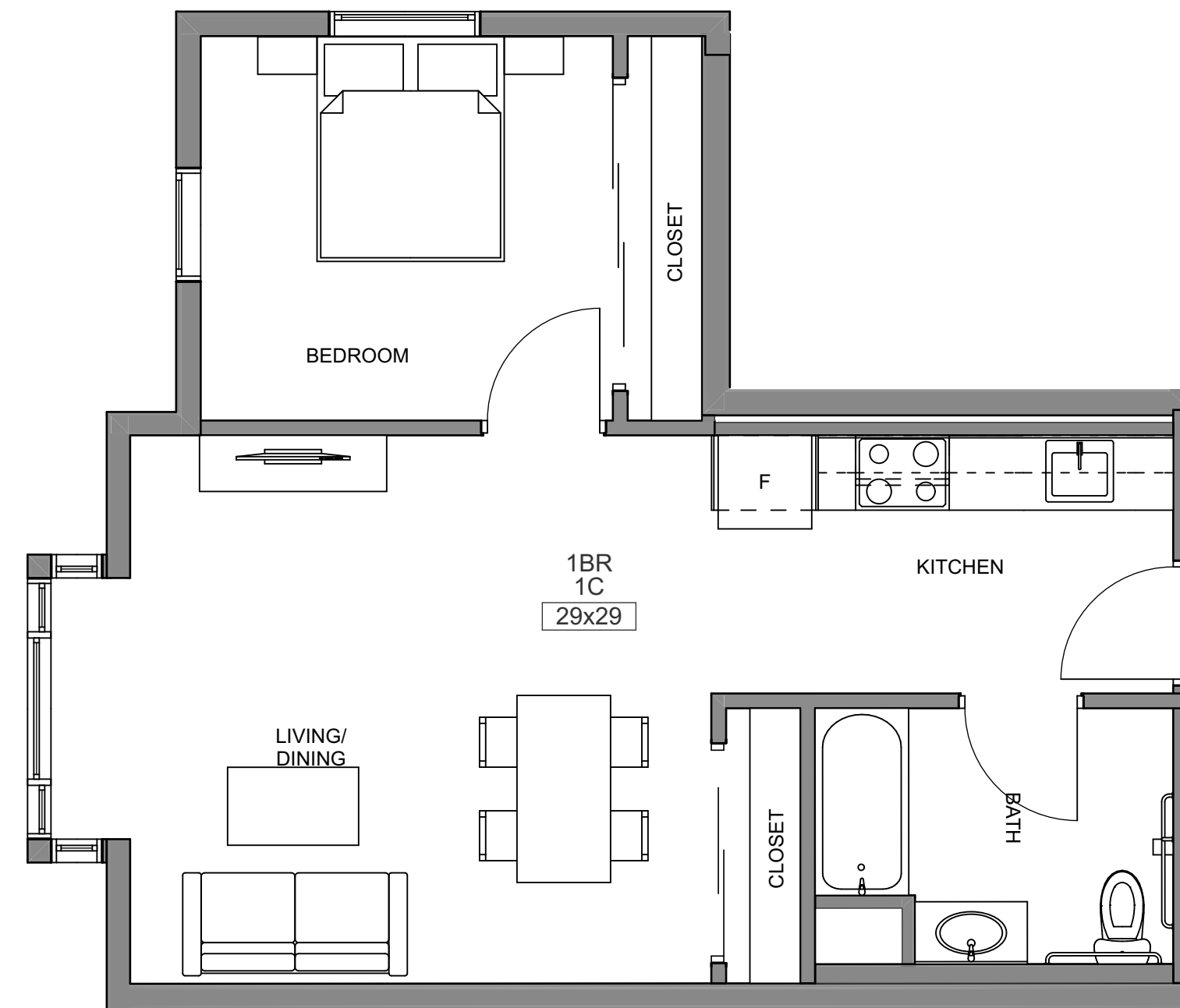
**1 BEDROOM TYPE I-E**

SCALE: 1/4" = 1'-0"



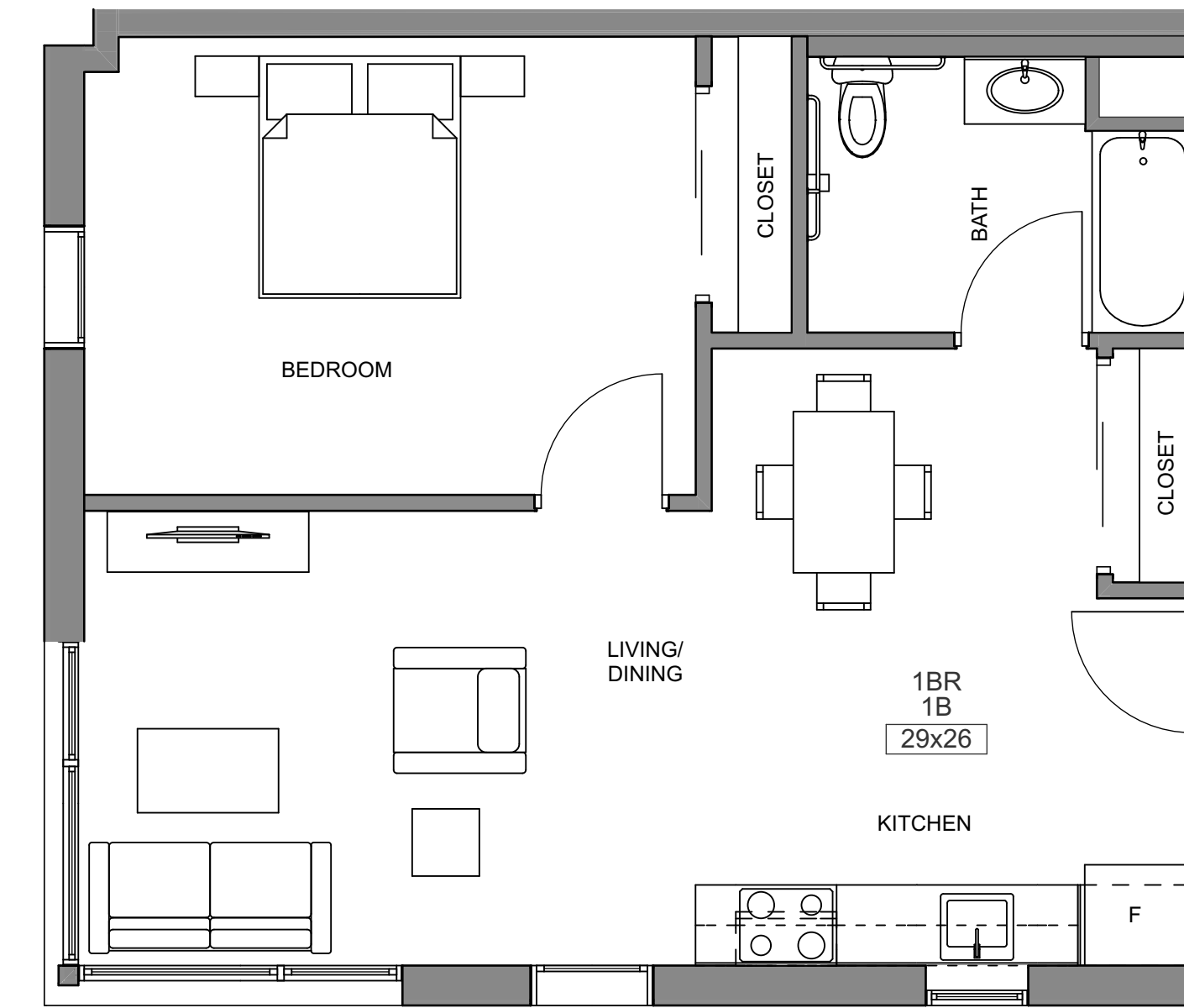
**1 BEDROOM TYPE I-D**

SCALE: 1/4" = 1'-0"



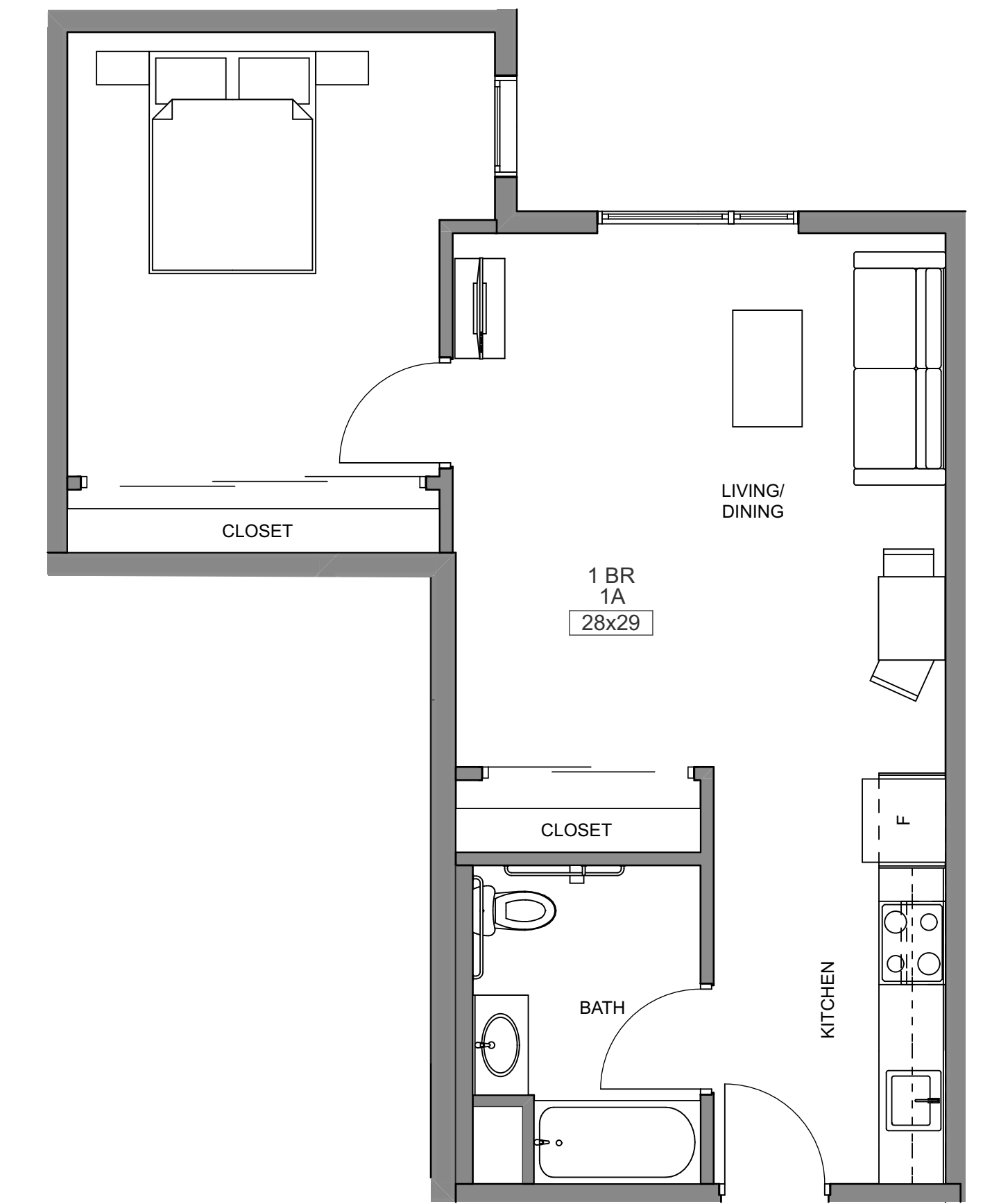
**1 BEDROOM TYPE I-C**

SCALE: 1/4" = 1'-0"



**1 BEDROOM TYPE I-B**

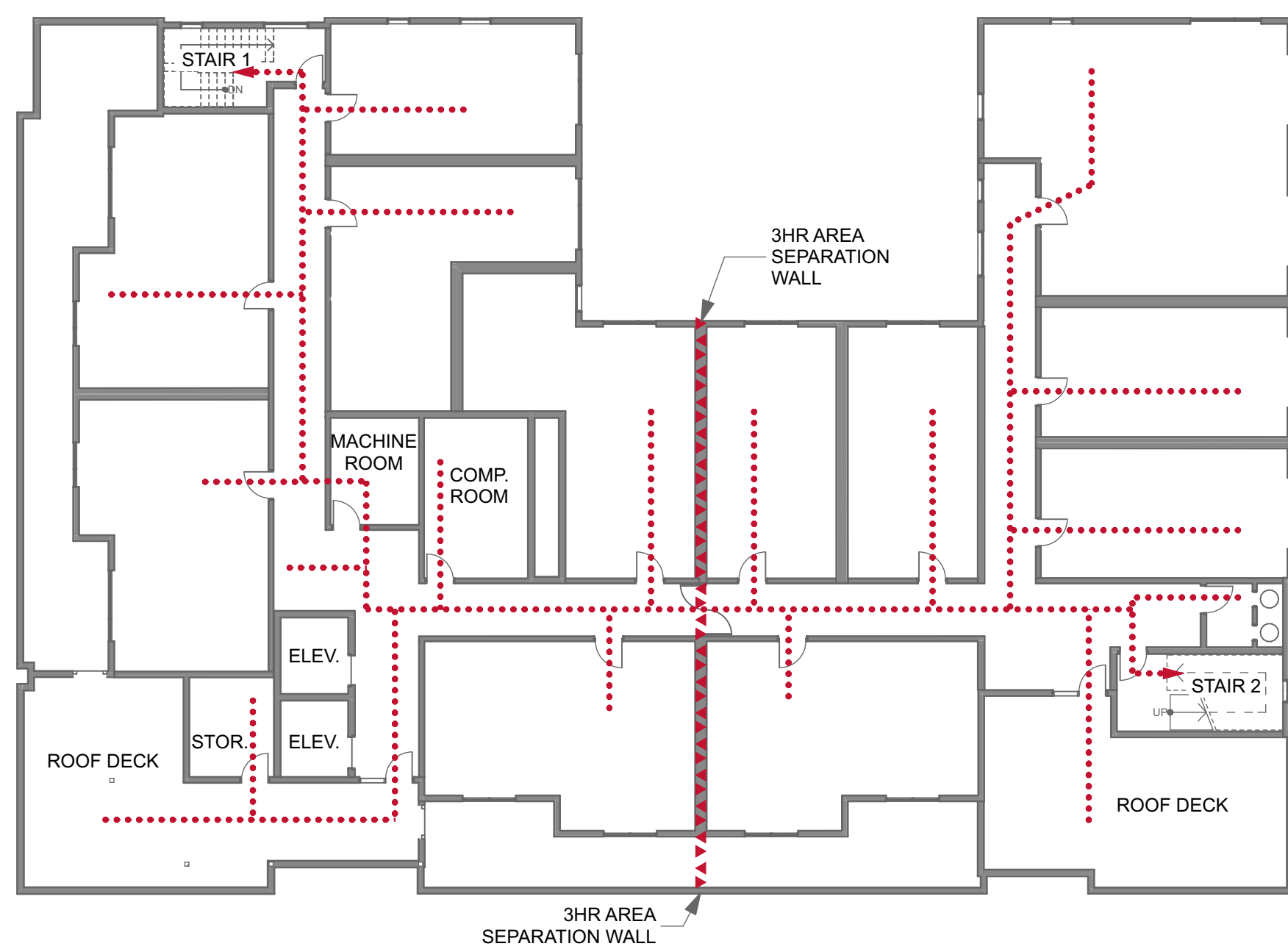
SCALE: 1/4" = 1'-0"



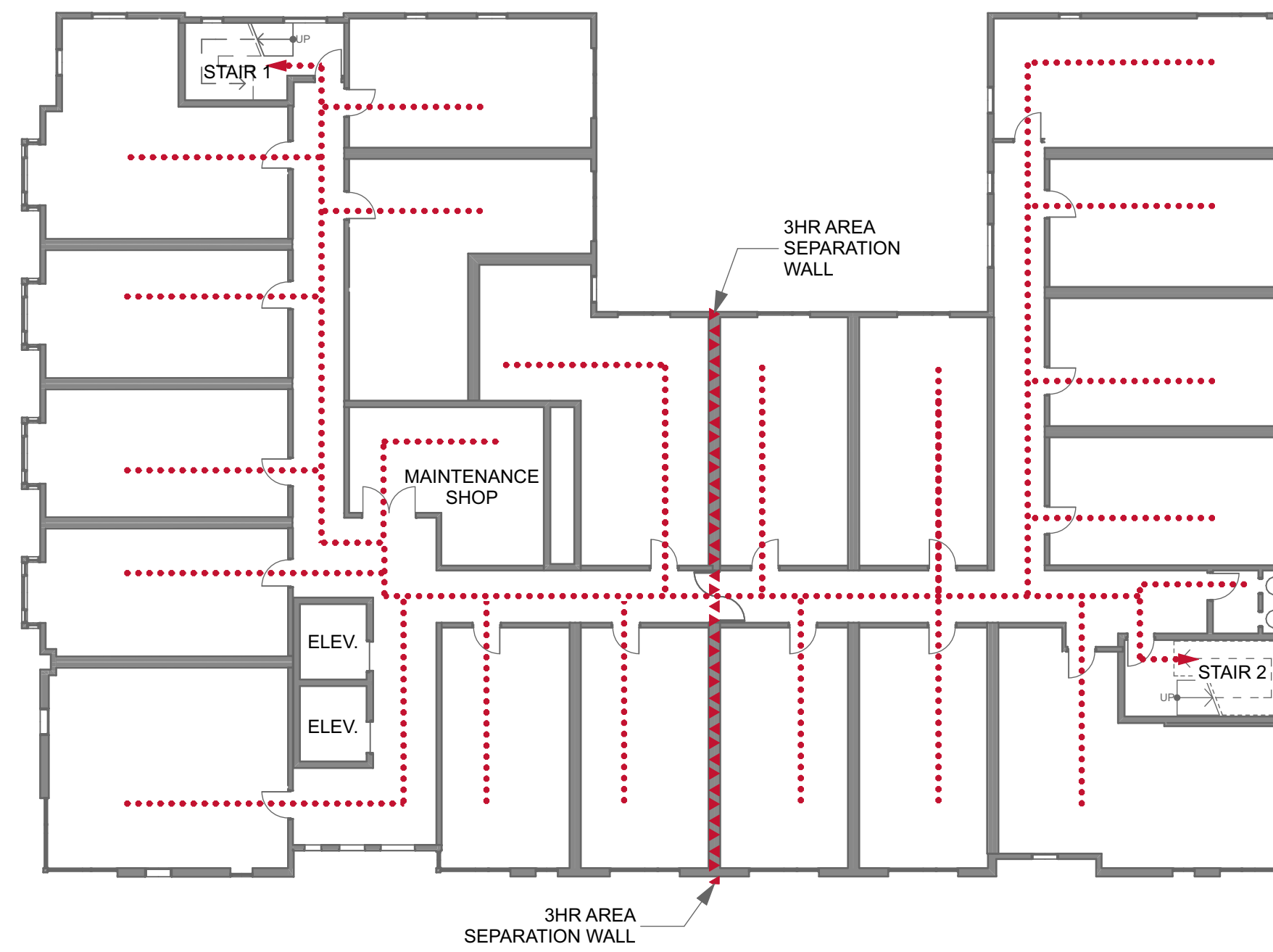
**1 BEDROOM TYPE I-A**

SCALE: 1/4" = 1'-0"

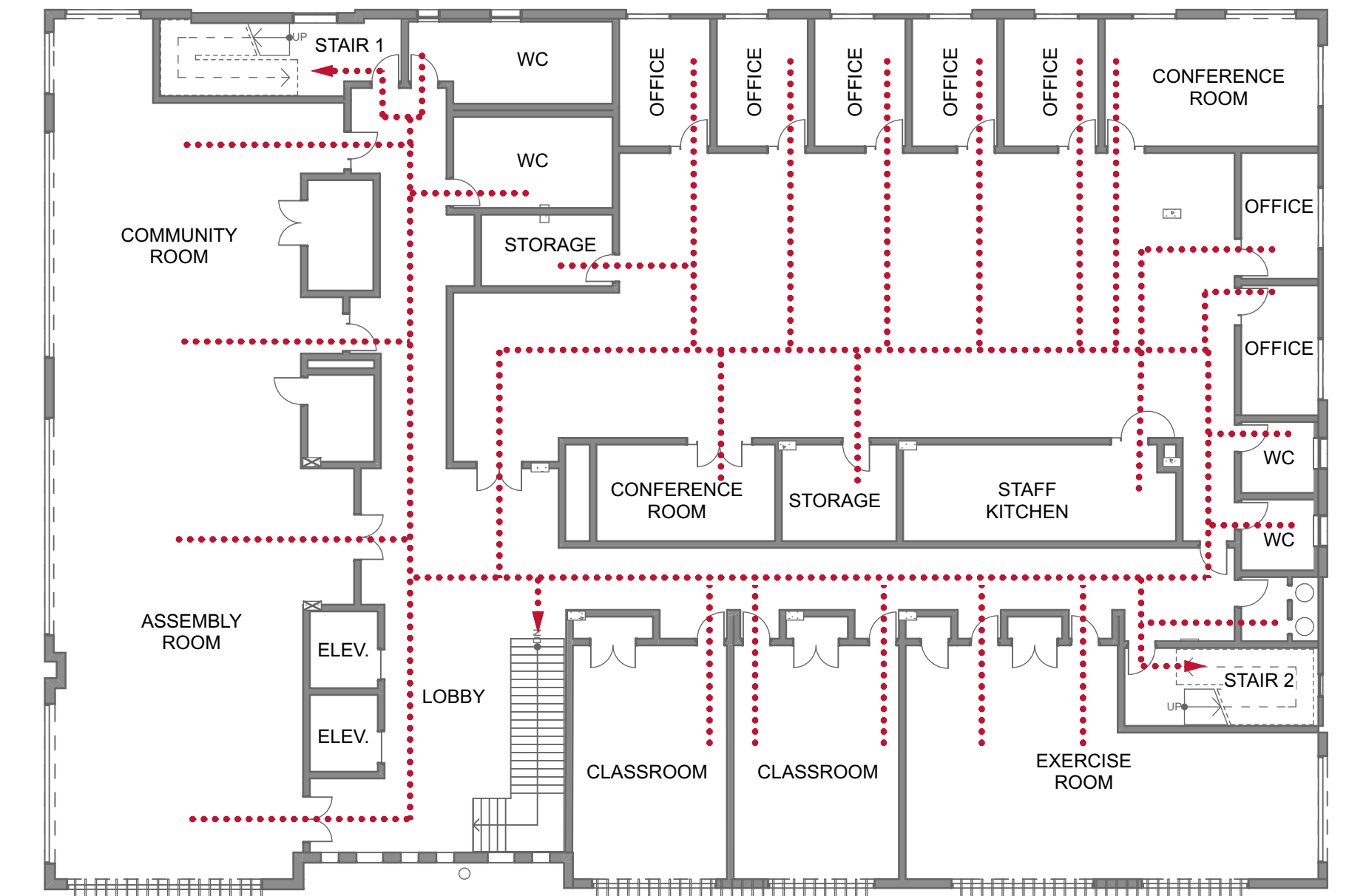




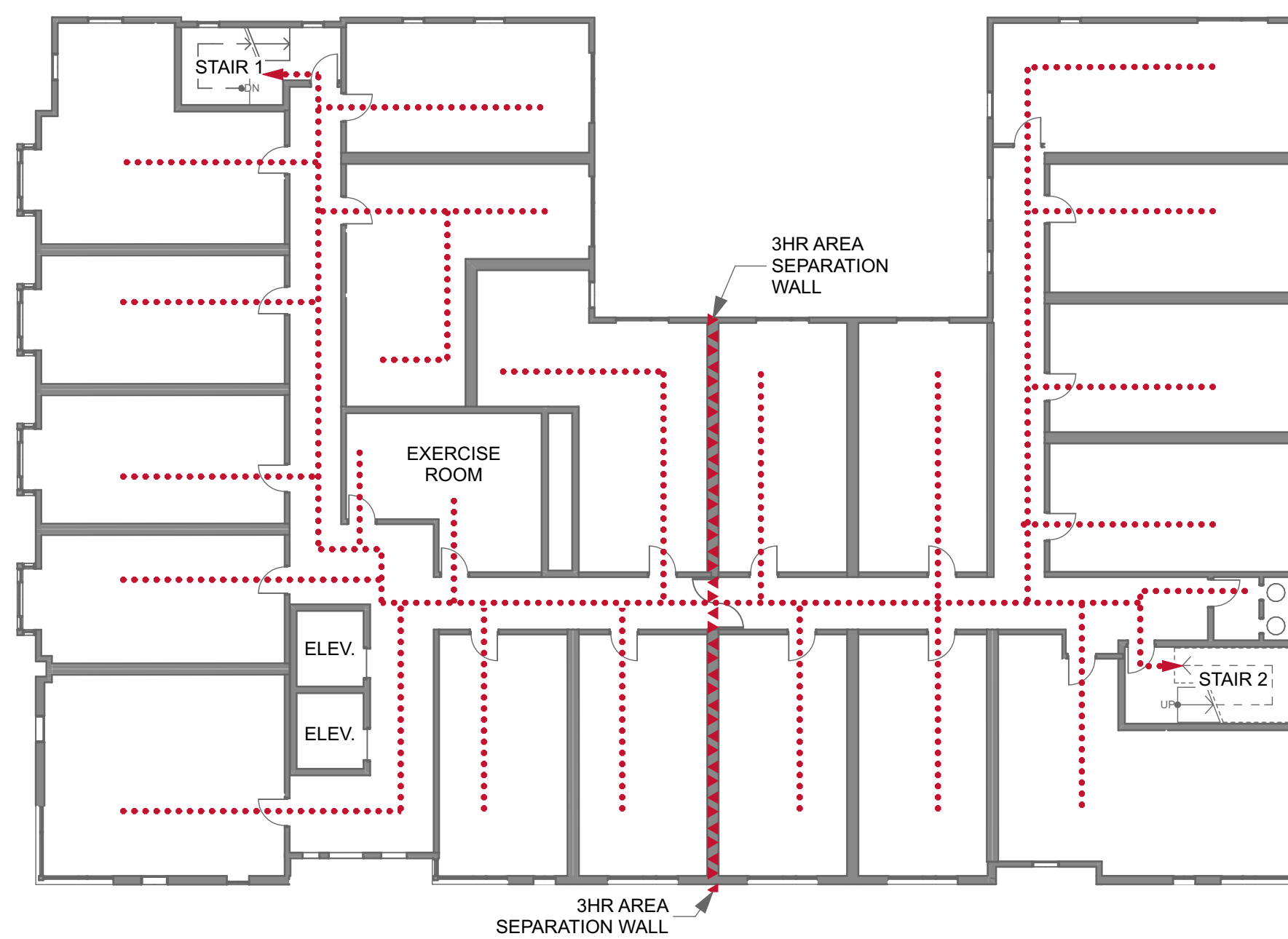
**6TH FLOOR**  
SCALE: 1/16" = 1'-0"



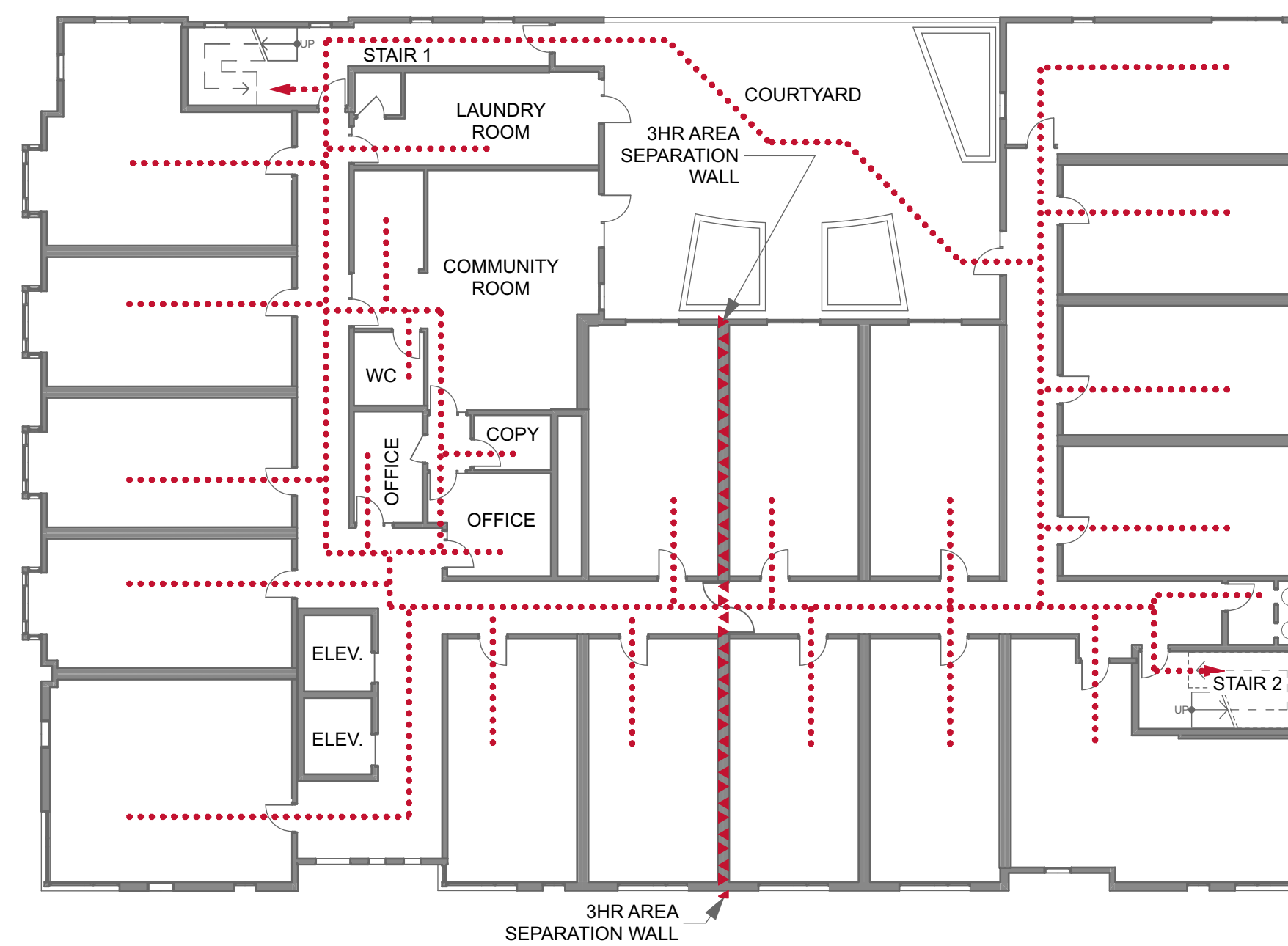
**4TH FLOOR**  
SCALE: 1/16" = 1'-0"



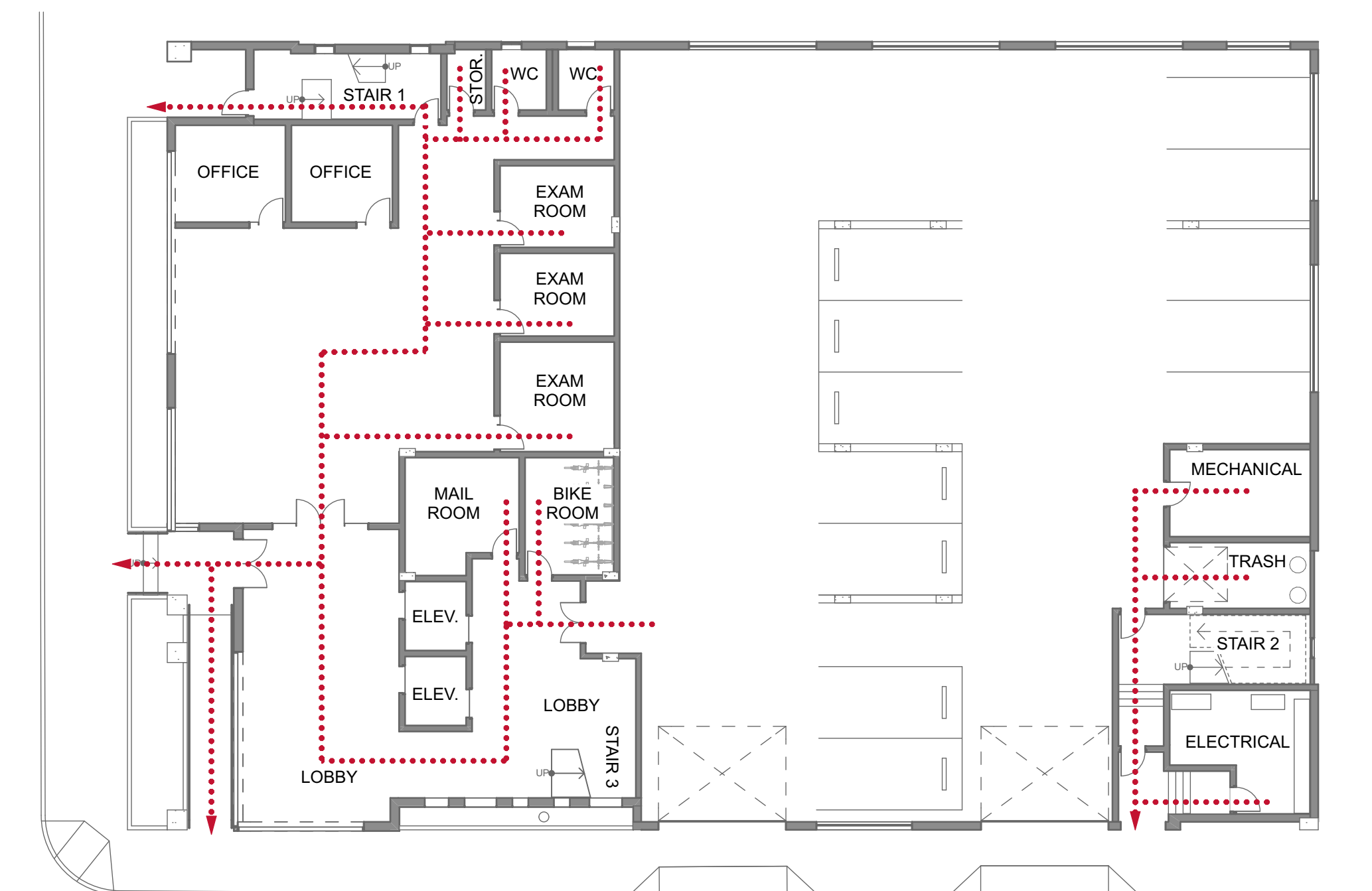
**2ND FLOOR**  
SCALE: 1/16" = 1'-0"



**5TH FLOOR**  
SCALE: 1/16" = 1'-0"

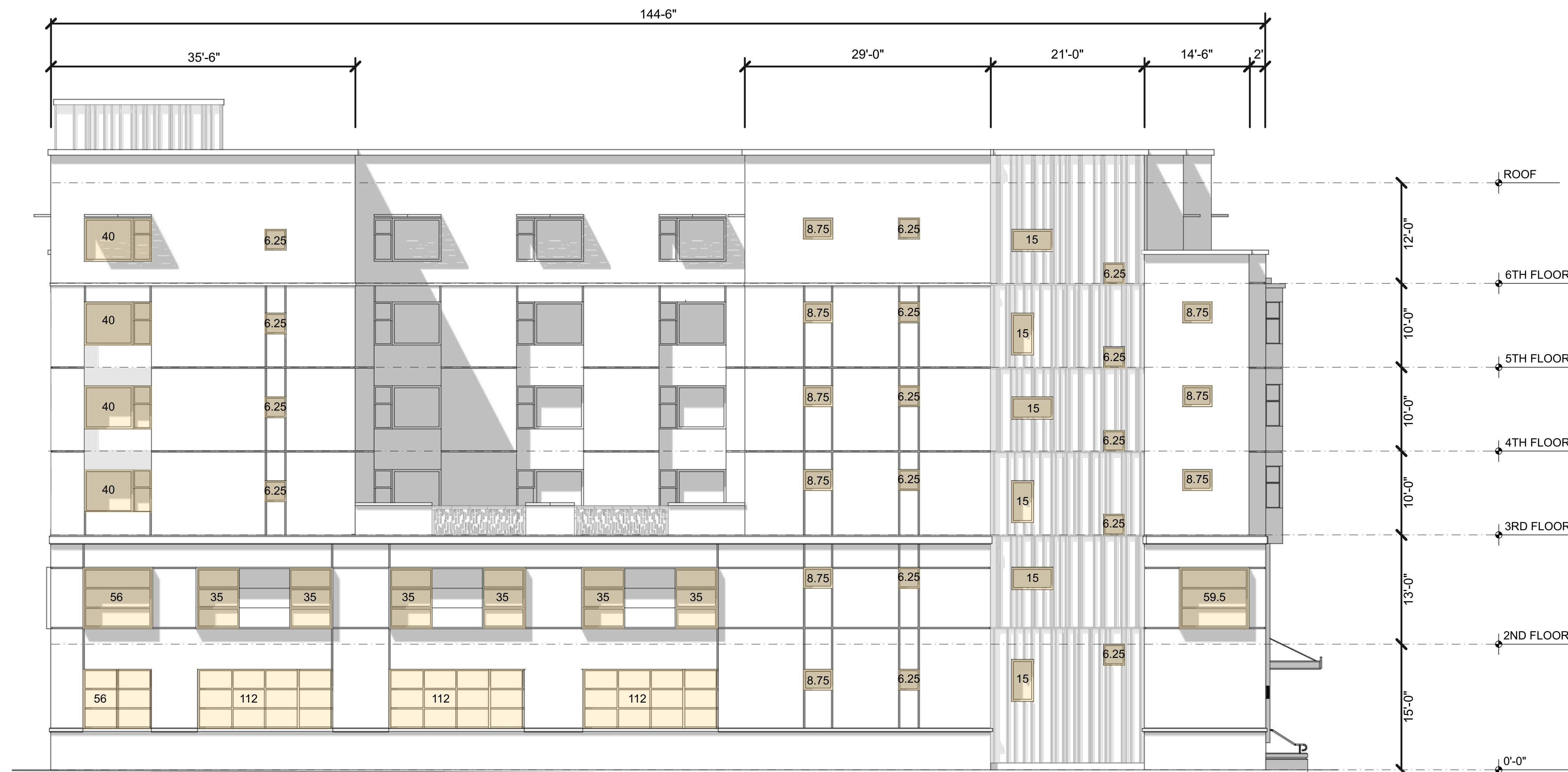


**3RD FLOOR**  
SCALE: 1/16" = 1'-0"



**1ST FLOOR**  
SCALE: 1/16" = 1'-0"





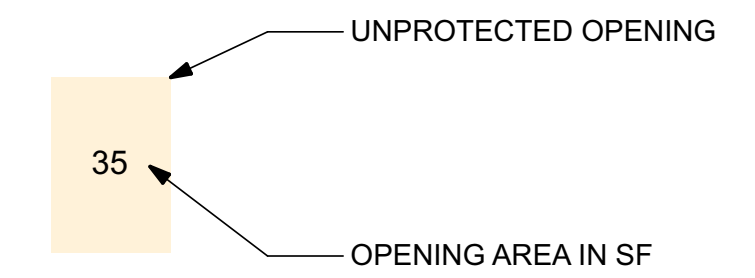
SIDE ELEVATION (EAST)

UNPROTECTED OPENING  
 35  
 OPENING AREA IN SF

DISTANCE FROM EASEMENT LINE AT EAST ELEVATION IS 5'.  
 PER CBC 2016 TABLE 705.8 ALLOWABLE AREA OF  
 UNPROTECTED OPENINGS IS 25%.

- SIXTH FLOOR**  
 WALL AREA = 1,026 SF  
 UNPROTECTED OPENINGS = 82.5 SF  
 OPENINGS AREA / WALL AREA = 8.04%
- FIFTH FLOOR**  
 WALL AREA = 1,000 SF  
 UNPROTECTED OPENINGS = 91.25 SF  
 OPENINGS AREA / WALL AREA = 9.13%
- FOURTH FLOOR**  
 WALL AREA = 1,000 SF  
 OPENINGS = 91.25 SF  
 OPENINGS AREA / WALL AREA = 9.13%
- THIRD FLOOR**  
 WALL AREA = 1,000 SF  
 UNPROTECTED OPENINGS = 91.25 SF  
 OPENINGS AREA / WALL AREA = 9.13%
- SECOND FLOOR**  
 WALL AREA = 1,878.5 SF  
 UNPROTECTED OPENINGS = 355.5 SF  
 OPENINGS AREA / WALL AREA = 18.92%
- FIRST FLOOR**  
 WALL AREA = 2,167.5 SF  
 UNPROTECTED OPENINGS = 428.25 SF  
 OPENINGS AREA / WALL AREA = 19.76%





DISTANCE FROM EASEMENT LINE AT EAST ELEVATION IS 5'.  
PER CBC 2016 TABLE 705.8 ALLOWABLE AREA OF  
UNPROTECTED OPENINGS IS 25%.

**SIXTH FLOOR**  
WALL AREA = 972 SF  
UNPROTECTED OPENINGS = 166.25 SF  
OPENINGS AREA / WALL AREA = 17.10%

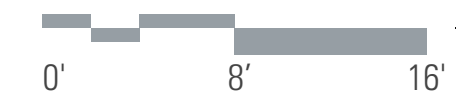
**FIFTH FLOOR**  
WALL AREA = 990 SF  
UNPROTECTED OPENINGS = 221.25 SF  
OPENINGS AREA / WALL AREA = 22.35%

**FOURTH FLOOR**  
WALL AREA = 990 SF  
OPENINGS = 221.25 SF  
OPENINGS AREA / WALL AREA = 22.35%

**THIRD FLOOR**  
WALL AREA = 990 SF  
UNPROTECTED OPENINGS = 221.25 SF  
OPENINGS AREA / WALL AREA = 22.35%

**SECOND FLOOR**  
WALL AREA = 1,287 SF  
UNPROTECTED OPENINGS = 254.75 SF  
OPENINGS AREA / WALL AREA = 19.79%

**FIRST FLOOR**  
WALL AREA = 1,485 SF  
UNPROTECTED OPENINGS = 230.25 SF  
OPENINGS AREA / WALL AREA = 15.51%



# Whistlestop | UNPROTECTED OPENINGS DIAGRAM 2

SAN RAFAEL, CA | 10/05/18 | EDEN HOUSING

AI2.1





BEFORE



AFTER

AI3.0



BEFORE



AFTER

AI3.1



BEFORE



AFTER

AI3.2