

# NORTHGATE WALK 1007, 1010, 1020, & 1030 NORTHGATE DRIVE

SAN RAFAEL, CALIFORNIA



WWW.LCA-ARCHITECTS.COM  
CARL E. CAMPOS  
DAVID BOGSTAD  
PETER STACKPOLE  
590 YGNACIO VALLEY ROAD, SUITE 310  
WALNUT CREEK, CALIFORNIA 94596  
(925) 944-1626  
1970 BROADWAY, SUITE 800  
OAKLAND, CALIFORNIA 94612  
(510) 272-1050

## SITE INFORMATION

**PROJECT ADDRESSES:** PROPOSED NEW ADDRESS AT: 1007 NORTHGATE DRIVE, SAN RAFAEL, CA (PREVIOUSLY 1005 NORTHGATE DRIVE)  
1010 NORTHGATE DRIVE, SAN RAFAEL, CA  
PROPOSED NEW ADDRESS AT: 1020 NORTHGATE DRIVE, SAN RAFAEL, CA  
PROPOSED NEW ADDRESS AT: 1030 NORTHGATE DRIVE, SAN RAFAEL, CA

**ZONING DESIGNATION:** SITES 1010, 1020, & 1030: MULTIFAMILY RESIDENTIAL: HIGH DENSITY (HR1)  
SITE 1007: OFFICE (O) AND MULTIFAMILY RESIDENTIAL: HIGH DENSITY (HR1)

**GENERAL PLAN DESIGNATION:** SITES 1010, 1020, & 1030: HIGH DENSITY RESIDENTIAL  
SITE 1007: OFFICE AND HIGH DENSITY RESIDENTIAL

## PROJECT DESCRIPTION

### Introduction

Northgate Walk is a residential infill project designed to provide a much-needed mix of market-rate, senior, and low income housing. The project is strategically located next to a variety of walkable amenities, as well as number of public transit stops and bikeways. The development consists of three multi-family residential buildings adjacent to existing hotel and office buildings, and utilizes the already developed or disturbed portions of the site.

The amenities of the hotel and the residential uses will be providing an economy of scale that allows for:

### Unit Mix

The overall unit mix is as follows:

- 106 for-sale condominiums
  - o 20% of which will be affordable (22 units)
- 30 for-sale senior Units
  - o 20% of which will be affordable (6 units)

The proposal includes a subdivision of the property that will result in 4 total parcels. The unit mix and usage breakdown per parcel is as follows:

- 1007 – 30 senior units, 6 of which are affordable
- 1010 – Existing hotel to remain
- 1020 – 48 units, 10 of which are affordable; amenity building for hotel and new units
- 1030 – 58 units, 12 of which are affordable

### Design

The project has been through multiple design iterations in response to community input. The final product incorporates multiple mass-reducing techniques in its suburban design vernacular, and steps back substantially from Freitas Parkway and other important view corridors. Much of the parking is located below grade in order to avoid additional bulk and mass, and also to free up other areas of the site for conservation. Multiple shadow studies were also performed in order to create a design that minimizes impacts on surrounding uses. The existing development pattern on the site, and adjacent property, consists of a very large office building and hotel structure, which almost entirely screens the new development from long-distance views. This, when combined with the large setback buffers proposed around much of the property, greatly softens the visual impact.

### Environmental Highlights

Probably the most eco-friendly component of the project is its location. "Northgate Walk" is more than just a title, it is the entire concept. This project site is pedestrian-adjacent to shopping, transit, and multiple major employers. The proposed design carefully integrates pathways designed to give residents and hotel guests direct access to these nearby services via walking or biking. Also, the removal of the existing gas station and retail store actually reduces the daily car-trips for the site, even after factoring in the new residential units. This type of transit-oriented infill development on an already disturbed site is the least impactful way to satisfy the serious need for new housing.

Another major conservation element of the project is a significant greenway buffer between the project, nearby concrete wash, and 101 Freeway. This buffer will contain a public pathway that provides access around the perimeter of the property.

Other "green" design elements of the project include:

- LEED Silver certifiable design
- Secure bike storage sites throughout the property
- Shuttles to the nearby SMART train station
- Dedicated car share spaces
- EV charging stations
- Dedicated clean air vehicle spaces
- Solar panels
- Water and power efficient landscaping and appliances

### Entitlements Sought

The specific entitlements sought for this project are as follows:

- Design Review
- Subdivision/Tentative Map
- Lot Line Adjustment
- Use Permit

Under the current zoning for the property, 313 units are allowed, with an option for a density bonus up to 422 units. However, the application seeks less than one third of this density at 136 units. A portion of Parcel 1007 is zoned O (1 unit/1000 square feet), and multifamily housing is permitted as a matter of right when a structure on site is also used for another purpose (i.e. hotel amenities). A portion of Parcel 1007 as well as Parcels 1020 and 1030 are zoned HR1 (1 unit/1000 square feet), and multifamily housing is permitted as a matter of right

While the city parking requirements would require 515 parking spots for this project including the hotel, the current proposal exceeds the city requirements by fully replacing the existing parking provided for the hotel and instead proposes 536 parking spots (21 beyond the amount required.)

Finally, this project fits squarely within many of the goals of the City's housing element, which has a primary goal of using land more efficiently to provide additional housing. Just some of the Housing Element goals this project supports are:

- H-1 - Promote new and affordable housing.
- H-13 - Encourage senior housing
- H-14b. - Efficiently use multifamily housing sites.

### Conclusion

As noted by the City in multiple guiding and governing documents, there is a desperate need for new housing of various types, especially senior and low income. This project presents a very rare opportunity to produce both of those housing types at a site that has already been disturbed, and is within walking distance of major transit lines, amenities, and employers. Because of the elimination of the current high-intensity traffic generators at the site (gas station and retail), this residential project is also a rarity in that it will be a net-decrease in trip generation; a win-win for the City and the community.

## PROJECT TEAM

**OWNER:** SAN RAFAEL HILLCREST, LLC & SAN RAFAEL COMMERCIAL, LLC  
1801 CENTURY PARK EAST  
SUITE 2400  
LOS ANGELES, CA 90067  
310.394.6300  
CONTACT: STEVE HARTUNIAN

**ARCHITECT:** LCA ARCHITECTS  
590 YGNACIO VALLEY ROAD, SUITE 310  
WALNUT CREEK, CA 94596  
925.944.1626  
CONTACT: PETER STACKPOLE

**CIVIL:** CSW / STUBER-STROEH  
45 LEVERONI COURT  
NOVATO, CA 94949  
415.883.9850  
CONTACT: WAYNE LEACH

**LANDSCAPE:** PEDERSEN ASSOCIATES  
LANDSCAPE ARCHITECTS  
24 H STREET  
SAN RAFAEL, CA 94901  
415.456.2070  
CONTACT: PETE PEDERSEN

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**LOCATION MAP**  
NO SCALE



Northgate Walk  
1007, 1010, 1020 & 1030  
Northgate Drive  
SAN RAFAEL, CA 94903

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## GENERAL INFORMATION

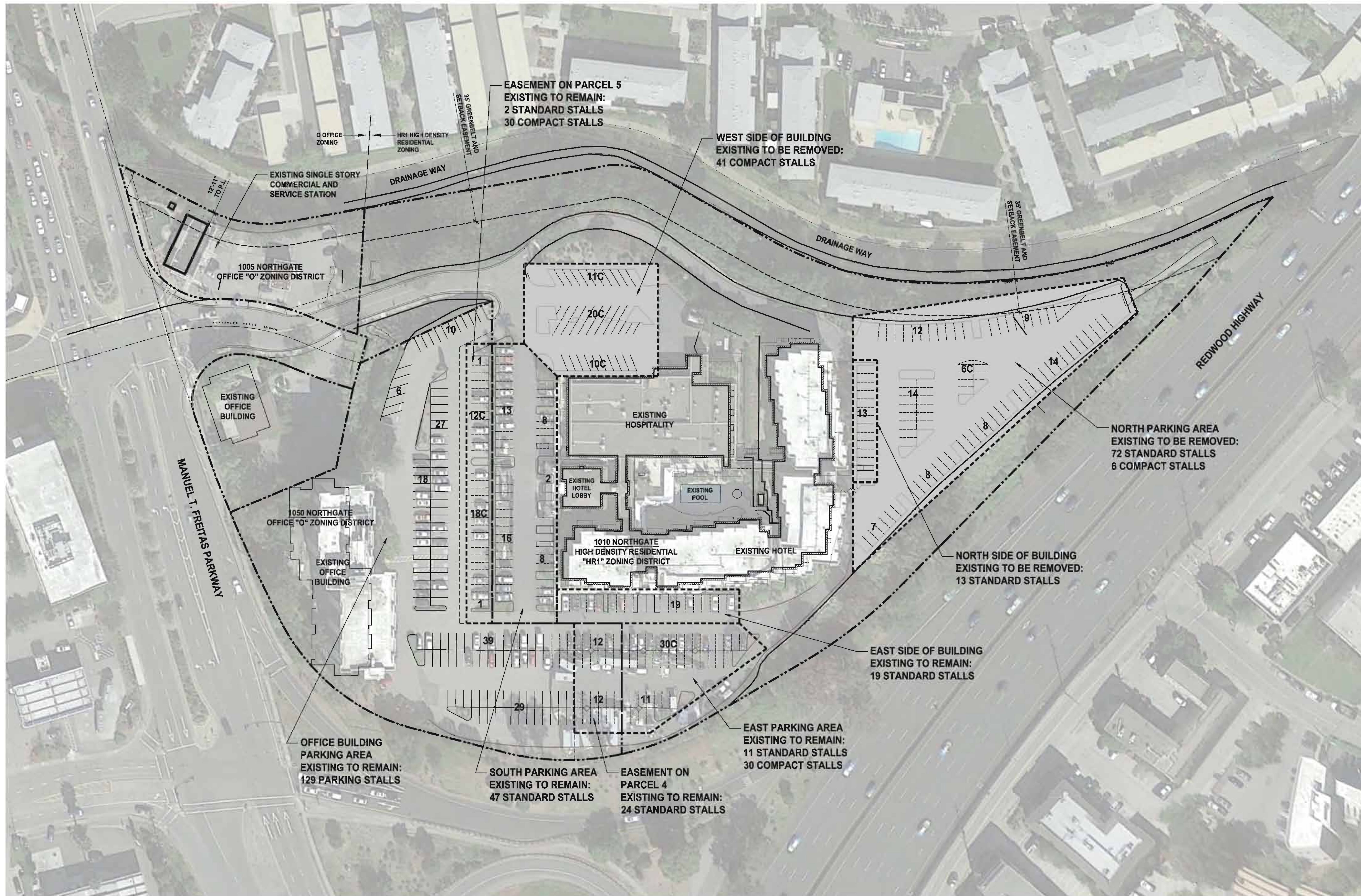
SCALE:  
DATE: 3/8/2019

REVISIONS:

PROJECT NO. 15005

**A0.0**  
SHEET OF





**PARKING AREA TO BE REDEVELOPED AND REPLACED BY GARAGE PARKING**  
 85 STANDARD STALLS  
 47 COMPACT STALLS  
 132 TOTAL STALLS DISPLACED AT SITE 1010

# 1 REFERENCE EXISTING SITE PLAN

50' 0' 50' 100'  
 SCALE: 1" = 50'-0"



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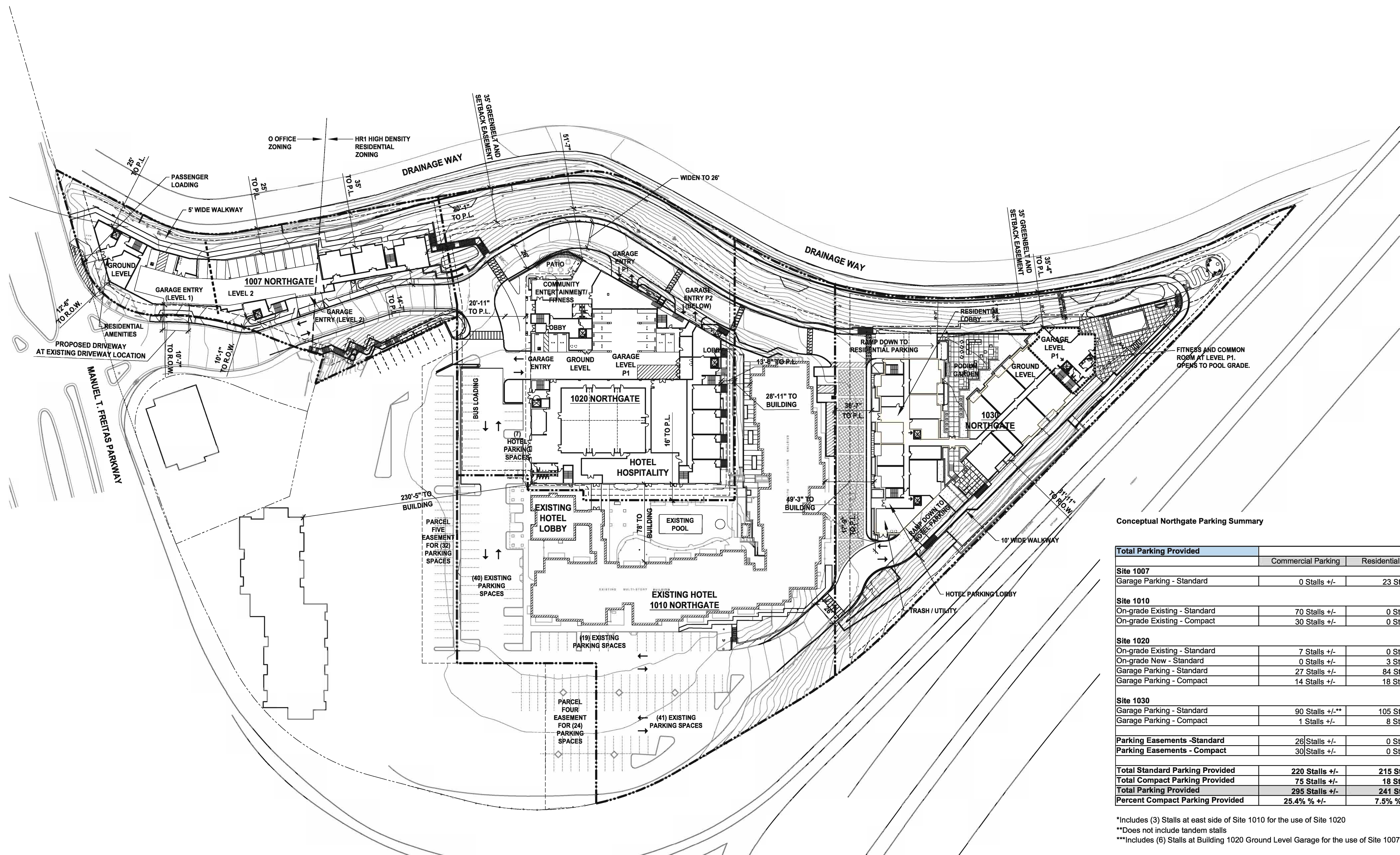
**REFERENCE EXISTING SITE PLAN**

SCALE:  
 DATE: 3 / 8 / 2019  
 REVISIONS:



**Northgate Walk  
 1007, 1010, 1020 & 1030  
 Northgate Drive**

SAN RAFAEL, CA 94903



Conceptual Northgate Parking Summary

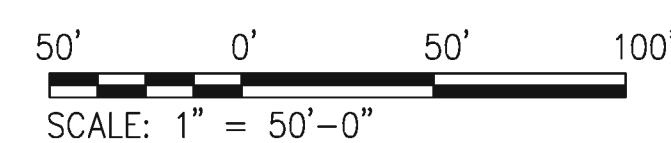
Total Parking Provided	Commercial Parking	Residential Parking	Total Parking
<b>Site 1007</b>			
Garage Parking - Standard	0 Stalls +/-	23 Stalls +/-	23 Stalls +/-
<b>Site 1010</b>			
On-grade Existing - Standard	70 Stalls +/-	0 Stalls +/-	70 Stalls +/-
On-grade Existing - Compact	30 Stalls +/-	0 Stalls +/-	30 Stalls +/-
<b>Site 1020</b>			
On-grade Existing - Standard	7 Stalls +/-	0 Stalls +/-	7 Stalls +/-
On-grade New - Standard	0 Stalls +/-	3 Stalls +/-*	3 Stalls +/-
Garage Parking - Standard	27 Stalls +/-	84 Stalls +/-***	111 Stalls +/-
Garage Parking - Compact	14 Stalls +/-	18 Stalls +/-	32 Stalls +/-
<b>Site 1030</b>			
Garage Parking - Standard	90 Stalls +/-***	105 Stalls +/-	195 Stalls +/-
Garage Parking - Compact	1 Stalls +/-	8 Stalls +/-	9 Stalls +/-
<b>Parking Easements - Standard</b>			
	26 Stalls +/-	0 Stalls +/-	26 Stalls +/-
<b>Parking Easements - Compact</b>			
	30 Stalls +/-	0 Stalls +/-	30 Stalls +/-
<b>Total Standard Parking Provided</b>	<b>220 Stalls +/-</b>	<b>215 Stalls +/-</b>	<b>435 Stalls +/-</b>
<b>Total Compact Parking Provided</b>	<b>75 Stalls +/-</b>	<b>18 Stalls +/-</b>	<b>92 Stalls +/-</b>
<b>Total Parking Provided</b>	<b>295 Stalls +/-</b>	<b>241 Stalls +/-</b>	<b>536 Stalls +/-</b>
<b>Percent Compact Parking Provided</b>	<b>25.4% +/-</b>	<b>7.5% +/-</b>	<b>17.2% +/-</b>

\*Includes (3) Stalls at east side of Site 1010 for the use of Site 1020  
 \*\*Does not include tandem stalls  
 \*\*\*Includes (6) Stalls at Building 1020 Ground Level Garage for the use of Site 1007

REFERENCE HOTEL PARKING BY LOCATION

	EXISTING PARKING			TOTAL PROPOSED	REMOVED OR ADDED
	ON-SITE	EASEMENTS	TOTAL EXISTING		
SOUTH SIDE OF BUILDING (SITE 1010)	47		47	40	-7
EAST SIDE OF BUILDING (SITE 1010)	19		19	19	0
NORTH SIDE OF BUILDING (SITE 1010)	13		13	0	-13
NORTH PARKING AREA (SITE 1030)	78		78	0	-78
EAST PARKING AREA (SITE 1010)	41		41	41	0
WEST PARKING AREA (SITE 1020)	41		41	0	-41
EASEMENT ON PARCEL 4		24	24	24	0
EASEMENT ON PARCEL 5		32	32	32	0
NEW EASEMENT FOR PARKING SPACES AT 1020 NORTHGATE				48	+48
NEW EASEMENT FOR PARKING SPACES AT 1030 NORTHGATE				91	+91
<b>TOTAL</b>	<b>239</b>	<b>56</b>	<b>295</b>	<b>295</b>	<b>0</b>

**1 REFERENCE SITE PLAN**



City Parking Required	Units	Rate	Parking Spaces
Site 1007 - Senior Housing	30 DU	0.75 space per unit 1 per 5 units for guests	29 Stalls +/-
Site 1020 - Multi-Family	48 DU	1.5 for 1 bdr 2.0 for 2+ bdr plus 1 space per 5 units for guests	99 Stalls +/-
Site 1030 - Multi-Family	58 DU	1.5 for 1 bdr 2.0 for 2+ bdr plus 1 space per 5 units for guests	113 Stalls +/-
Site 1010 - Hotel	235 Rooms	1.0 per room plus 1 space for manager plus one space for every 2 employees	274 Stalls +/-
Total Residential Parking Required - City Standard			241 Stalls +/-
Total Hotel Parking Required - City Standard			274 Stalls +/-
<b>Total Parking Required - City Standard</b>			<b>515 Stalls +/-</b>
Total Hotel Parking Required to Match Existing			295 Stalls +/-
<b>Total Parking Required - Increased to Match Existing for Hotel</b>			<b>536 Stalls +/-</b>

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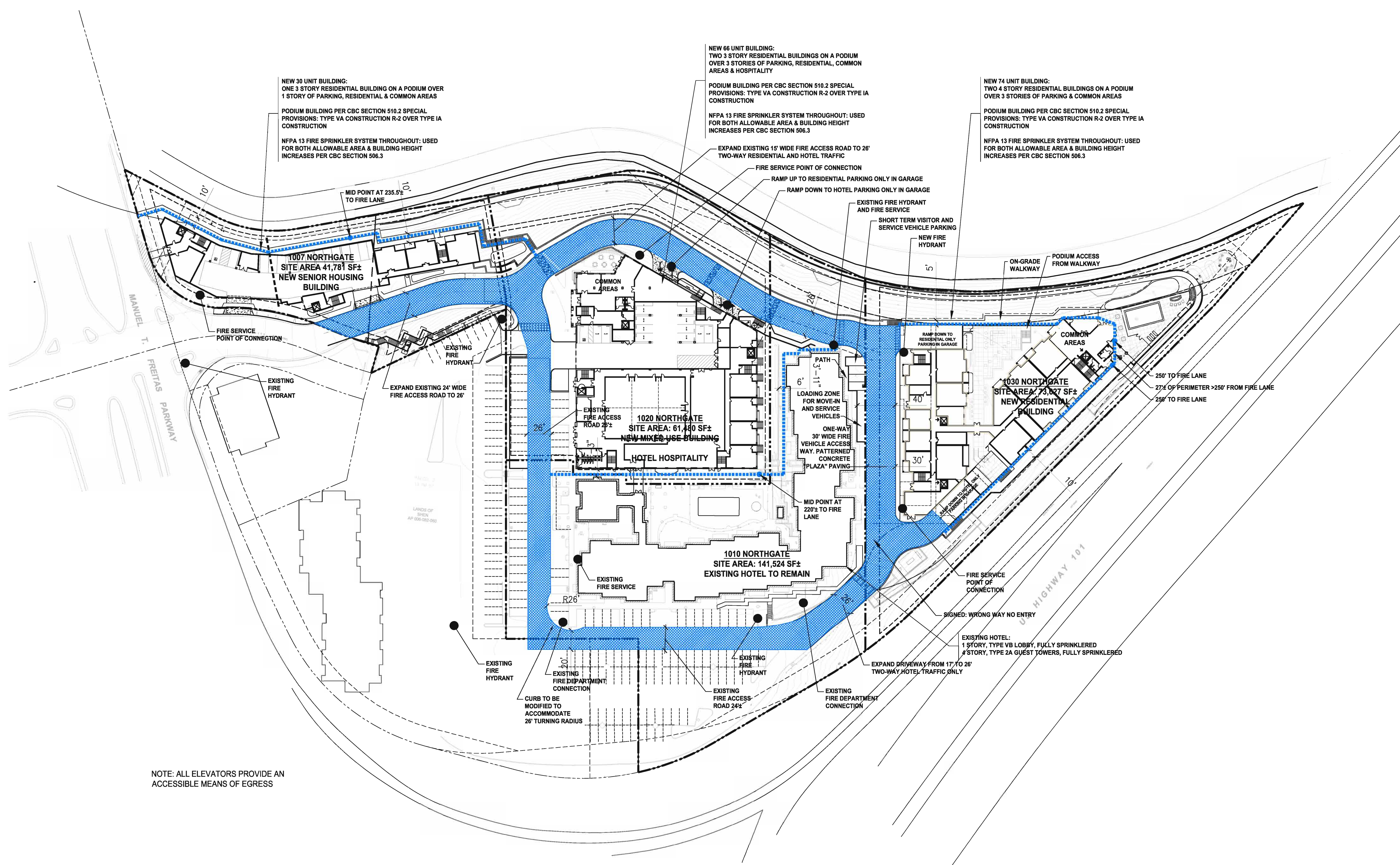
**SCHEMATIC  
 REFERENCE  
 SITE PLAN**

SCALE:  
 DATE: 3/8/2019

REVISIONS:  
 PROP. LINE REVISION 03/28/18

PROJECT NO. 15005



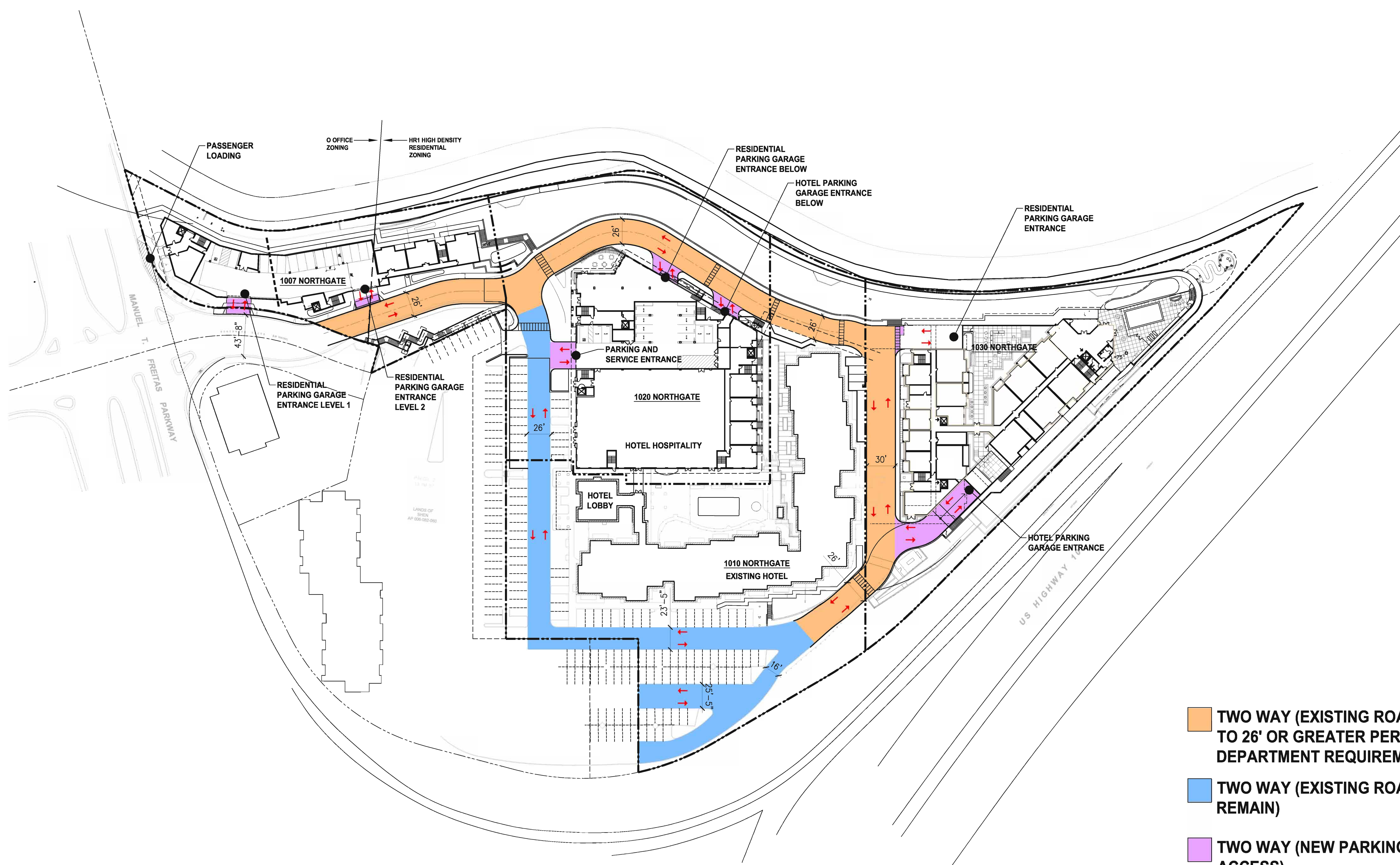


NOTE: ALL ELEVATORS PROVIDE AN ACCESSIBLE MEANS OF EGRESS

**1 FIRE ACCESS PLAN**

50' 0' 50' 100'  
 SCALE: 1" = 50'-0"





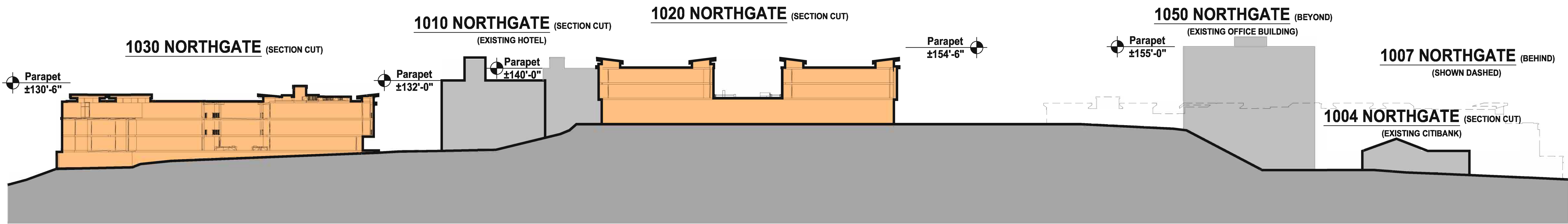
- TWO WAY (EXISTING ROAD WIDENED TO 26' OR GREATER PER FIRE DEPARTMENT REQUIREMENTS)
- TWO WAY (EXISTING ROADWAY TO REMAIN)
- TWO WAY (NEW PARKING GARAGE ACCESS)

**1 VEHICULAR CIRCULATION PLAN**

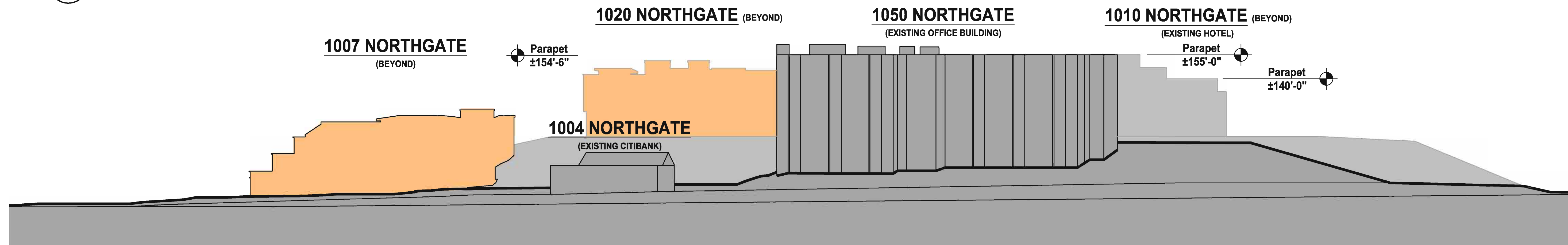
50' 0' 50' 100'

SCALE: 1" = 50'-0"





CONCEPTUAL SECTION AA

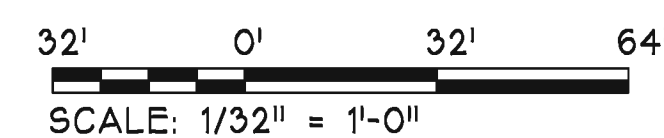


CONCEPTUAL SECTION BB



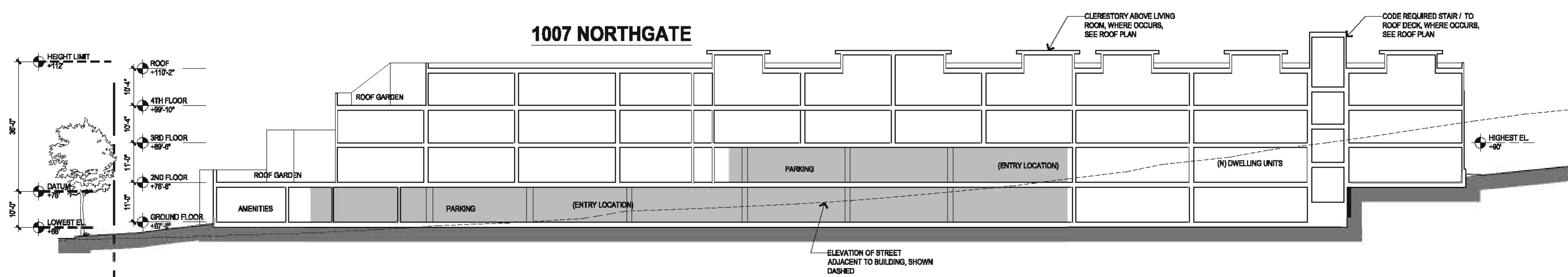
KEY PLAN

RELATIVE HEIGHT DIAGRAMS

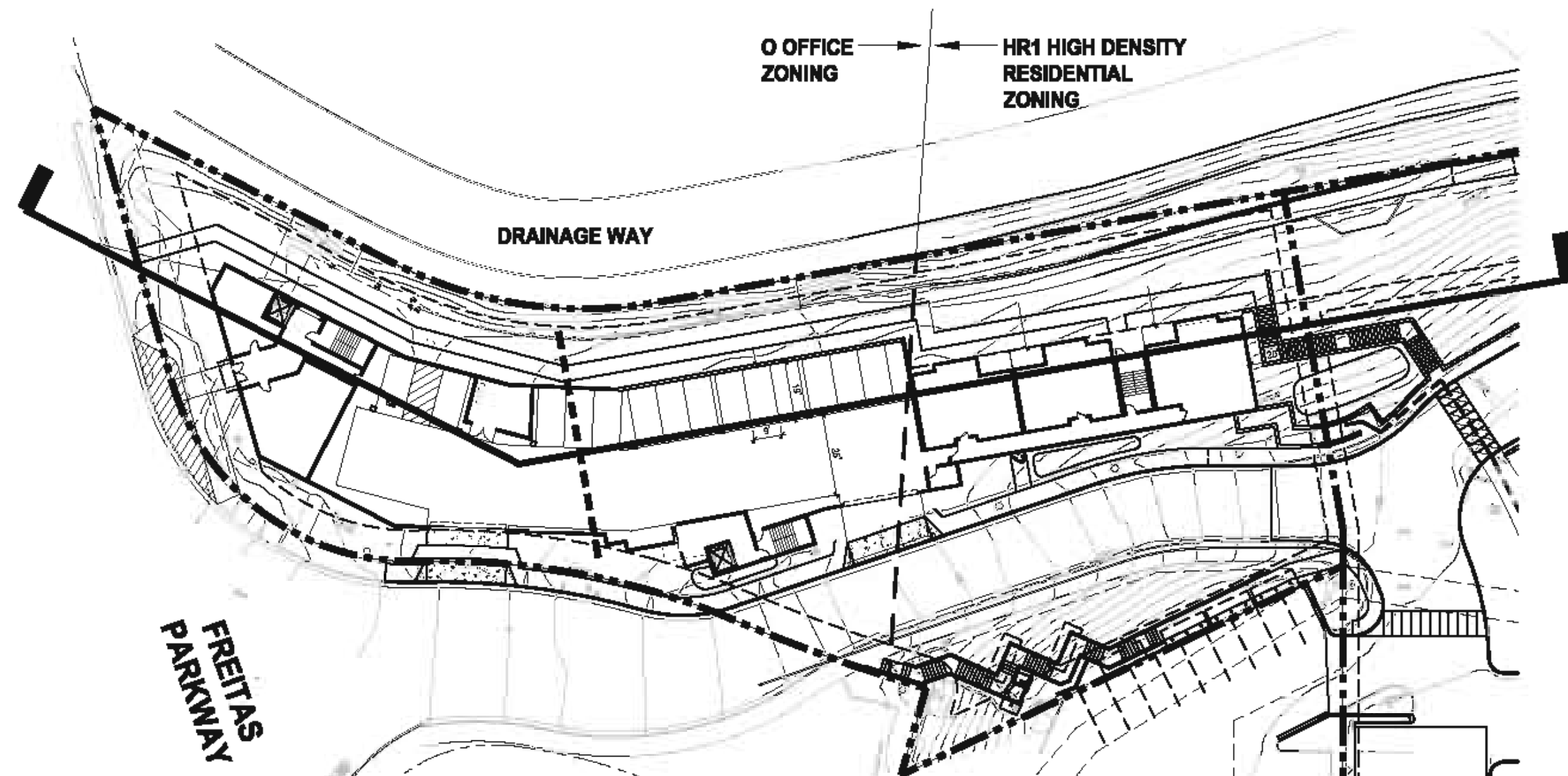




**1007 NORTHGATE**



**SECTION - SITE 1007**



**KEY PLAN**

**1007 NORTHGATE DRIVE**

DENSITY BONUS CALCULATIONS	
SITE AREA (ACRES)	0.959 ACRES +/-
SITE AREA (SF)	41,781 SF +/-
BASE DENSITY - REQUIRED SQ. FT. / UNIT	1,000 SF +/-
MAX BASE UNITS	41 UNITS
PROPOSED NUMBER OF UNITS	30 UNITS
PROPOSED NUMBER OF BMR UNITS (MODERATE-INCOME)	3 UNITS
PROPOSED % OF BMR UNITS (MODERATE-INCOME)	10.00%
PROPOSED NUMBER OF BMR UNITS (LOW-INCOME)	3 UNITS
PROPOSED % OF BMR UNITS (LOW-INCOME)	10.00%

**UNIT COUNTS AND MIX**

	NUMBER OF UNITS				UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4		
ONE BEDROOM UNITS - SENIOR HOUSING						
1007A1	2	2	2	3	790 SF +/-	9
1007B1	0	3	7	8	780 SF +/-	18
1007C1 - NOT USED	0	0	0	0	788 SF +/-	0
1007D1	0	1	1	1	880 SF +/-	3
1007E1	0	1	1	0	913 SF +/-	2

TOTAL ONE BEDROOM SENIOR UNITS:	30 UNITS	100.0%
TOTAL UNITS:	30 UNITS	

AVERAGE ONE BEDROOM SENIOR UNIT AREA:	780.2 SF +/-
AVERAGE TWO BEDROOM AREA:	---
AVERAGE THREE BEDROOM AREA:	---
AVERAGE UNIT AREA	789.2 SF +/-

REQUIRED RESIDENTIAL PARKING:	CITY PARKING STANDARD	TOTAL STALLS
SENIOR HOUSING UNITS:	0.75 SPACE PER UNIT	22.5 STALLS +/-
VISITOR PARKING:	1 PER 5 UNITS	6 STALLS +/-
TOTAL PARKING REQUIRED		28.5 STALLS +/-

PROVIDED PARKING:	STANDARD STALLS	COMPACT STALLS	TANDEM STALLS	TOTAL STALLS
RESIDENTIAL VISITOR STALLS AT SITE 1020 GARAGE	8 STALLS +/-	0 STALLS +/-	0 STALLS +/-	8 STALLS +/-
ON-SITE GARAGE PARKING PROVIDED:	23 STALLS +/-	0 STALLS +/-	0 STALLS +/-	23 STALLS +/-
TOTAL PARKING PROVIDED	29 STALLS +/-	0 STALLS +/-	0 STALLS +/-	29 STALLS +/-

**OPEN SPACE**

	NUMBER OF UNITS	SQ. FT. / UNIT	TOTAL
TOTAL OPEN SPACE REQUIRED:	30 UNITS	100 SF	3,000 SF
OPEN SPACE PROVIDED:			
PODIUM LEVEL OPEN SPACE:			1,220 SF +/-
PRIVATE DECKS:			1,886 SF +/-
ROOF DECKS:			778 SF +/-
TOTAL OPEN SPACE PROVIDED:			3,884 SF +/-

**FLOOR AREA**

LEVEL 1	14,458 SF +/-
LEVEL 2	13,303 SF +/-
LEVEL 3	11,773 SF +/-
LEVEL 4	11,039 SF +/-
TOTAL	50,573 SF +/-

**LOT COVERAGE**

	ALLOWABLE	PROPOSED
SITE AREA - ZONED HR1	13,363 SF +/-	
SITE AREA - ZONED O	31,414 SF +/-	
BUILDING FOOTPRINT - SITE ZONED HR1	8,018 SF +/-	3,579 SF +/-
BUILDING FOOTPRINT - SITE ZONED O	12,568 SF +/-	11,788 SF +/-
LOT COVERAGE - SITE ZONED HR1	60%	27%
LOT COVERAGE - SITE ZONED O	40%	38%

**HEIGHT CALCULATION**

Site 1007	
Height, non-hillside	
Elevation of the Highest adjoining sidewalk or ground surface within a 5-foot horizontal distance of the exterior wall:	+99.7 Feet +/-
Elevation of the Lowest adjoining sidewalk or ground surface within a 5-foot horizontal distance of the exterior wall:	+66 Feet +/-
Distance between Highest and Lowest Elevations:	24 Feet +/-
Datum ten (10) feet higher than the lowest grade: (since highest adjoining grade is more than (10) ten feet above lowest grade)	+76 Feet +/-
Height Limit (+36' above datum)	+112' Feet +/-
Density Bonus Height Limit (+12')	Not Applicable
Highest point of flat roof:	+110.2 Feet +/-
Maximum building height above datum:	+34.2 Feet +/-
Maximum allowable height above datum:	+36 Feet +/-

**SITE 1007: LANDSCAPE COVERAGE**

**LANDSCAPING REQUIRED:**  
 HR1 ZONING: 50% OF FRONT AND STREET SIDE YARDS  
 AREA OF FRONT AND STREET SIDE YARDS: 5,914 SF±  
 NOTE: DOES NOT INCLUDE SHARED ACCESS ROADWAY  
 LANDSCAPING REQUIRED: 2,957 SF±

**O ZONING:** 25% MINIMUM LANDSCAPING  
 O ZONING SITE AREA: 24,421 SF±  
 LANDSCAPING REQUIRED: 6,105 SF±

**LANDSCAPING PROVIDED:**  
 HR1 ZONING: 4,198 SF± (71.0% OF STREET SIDE YARD)  
 O ZONING: 9,207 SF± (37.7% OF O ZONED SITE AREA)

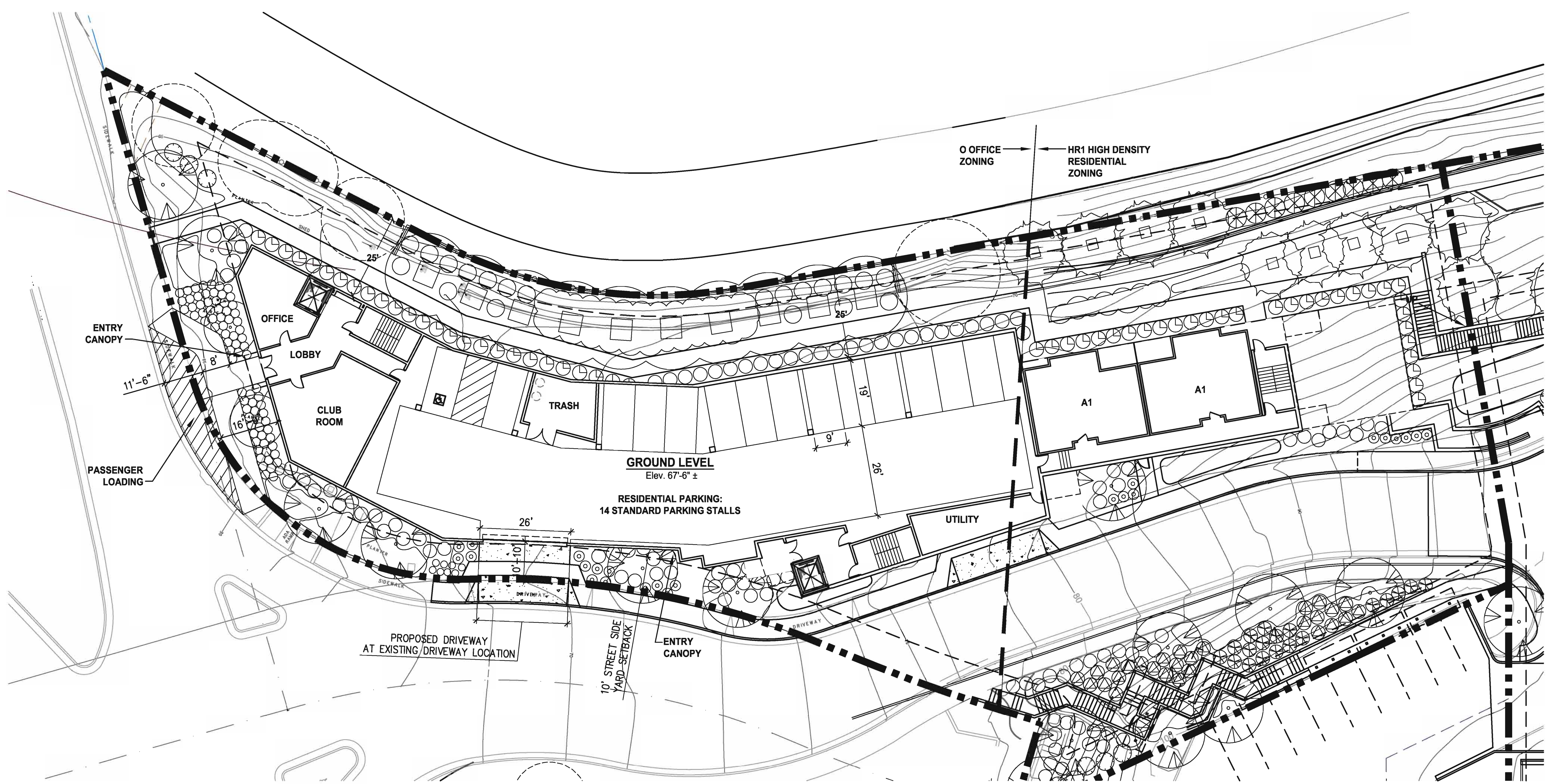
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**SITE 1007 PROJECT DATA AND SCHEMATIC SECTION**

SCALE:  
 DATE: 3 / 8 / 2019


REVISIONS:



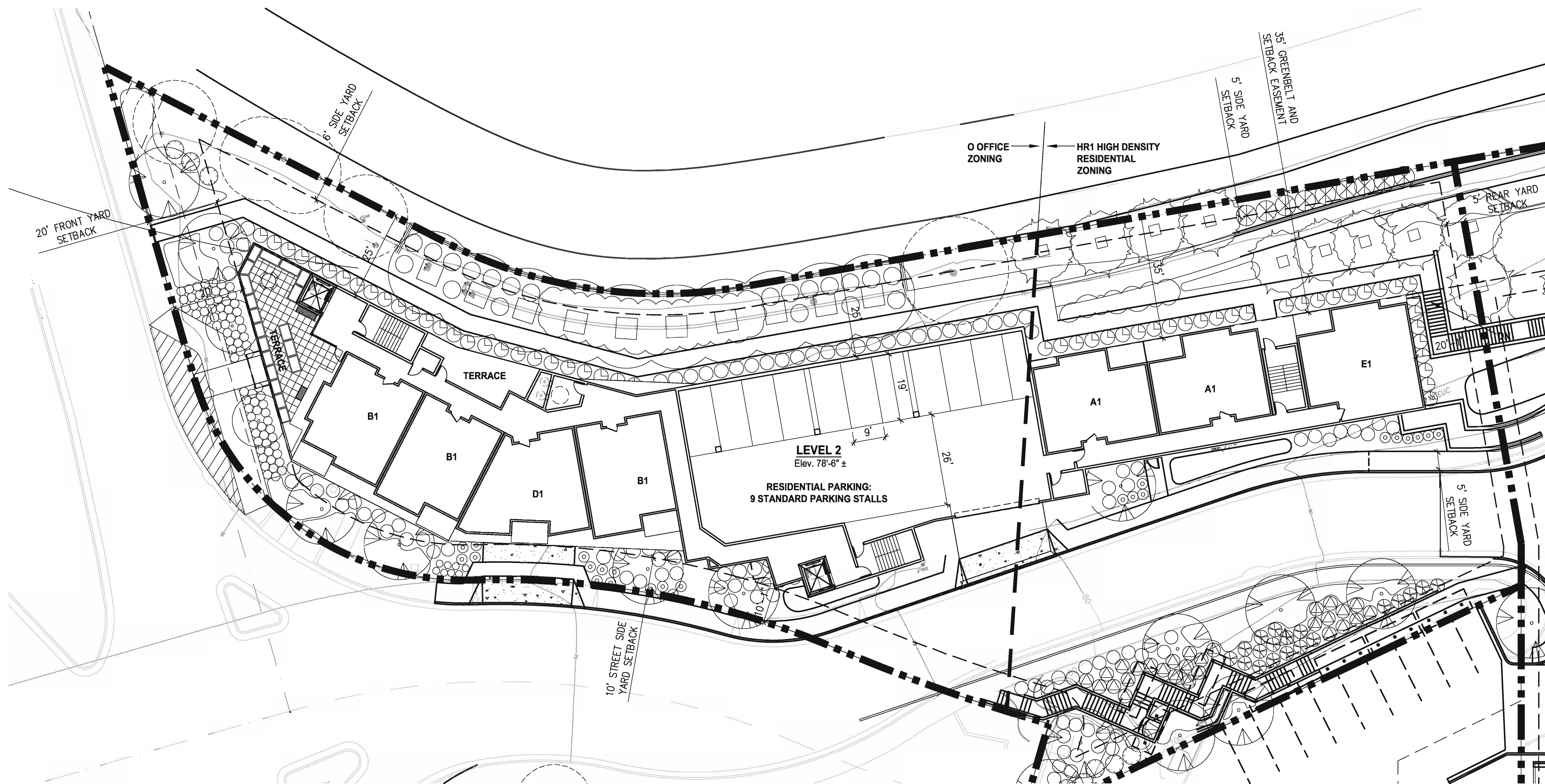



**1 PLAN AT LEVEL 1**

16' 0' 16' 32'  
 SCALE: 1/16" = 1'-0"



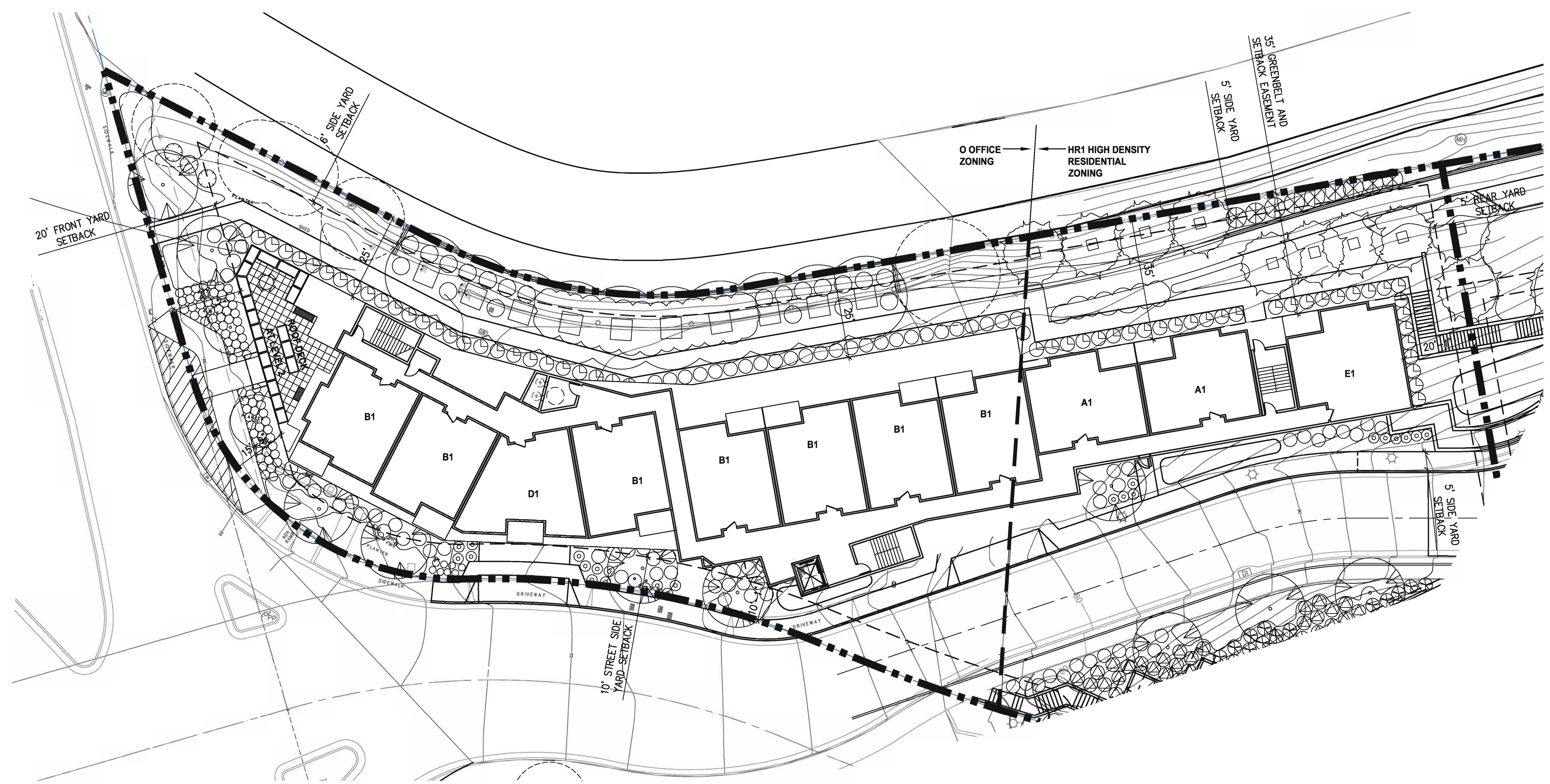




**1 PLAN AT LEVEL 2**

16' 0' 16' 32'  
 SCALE: 1/16" = 1'-0"

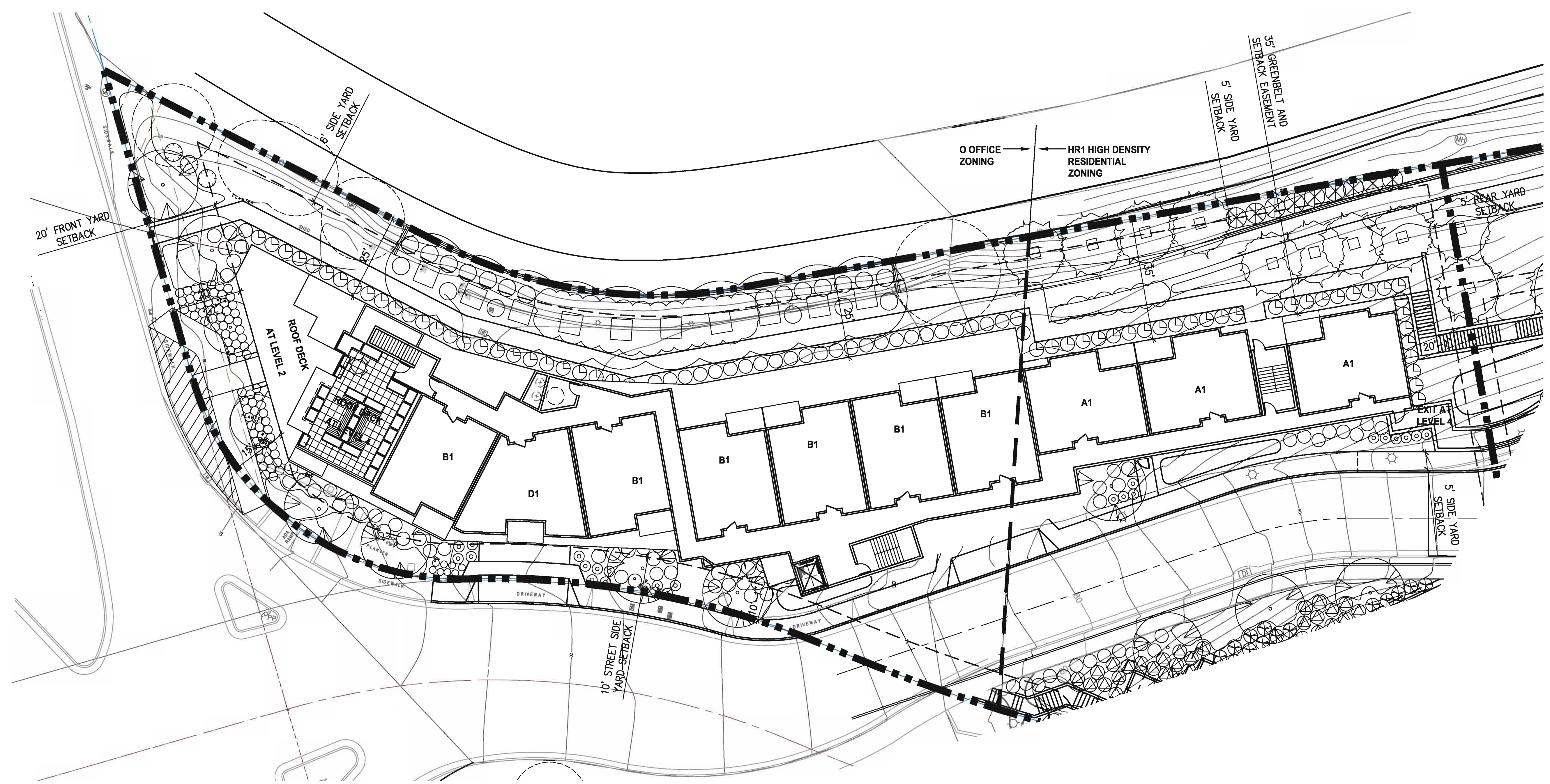




**1 PLAN AT LEVEL 3**

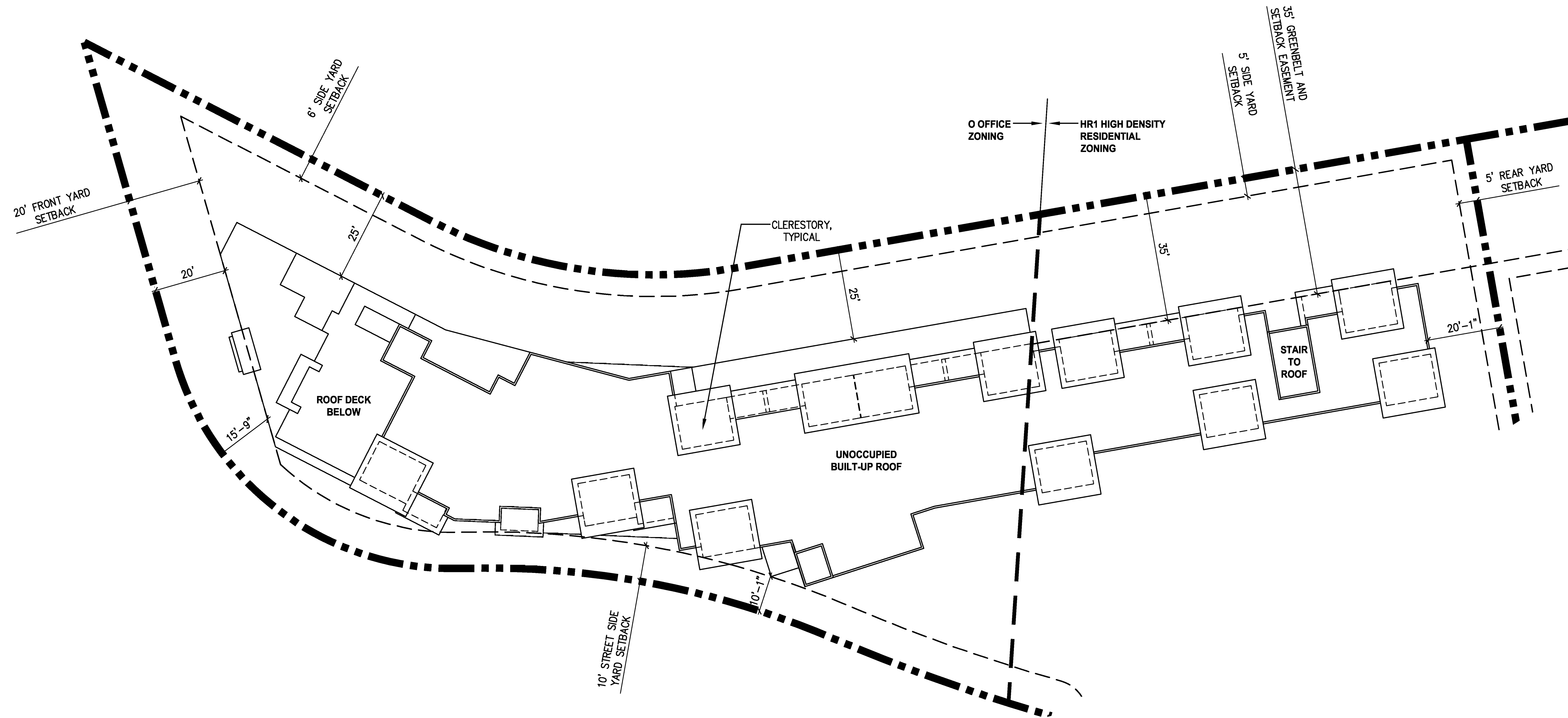
16' 0' 16' 32'  
 SCALE: 1/16" = 1'-0"





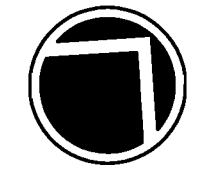
**1 PLAN AT LEVEL 4**  
 16' 0' 16' 32'  
 SCALE: 1/16" = 1'-0"





**1 ROOF PLAN**

16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"



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**SITE 1007  
SCHEMATIC  
ROOF PLAN**

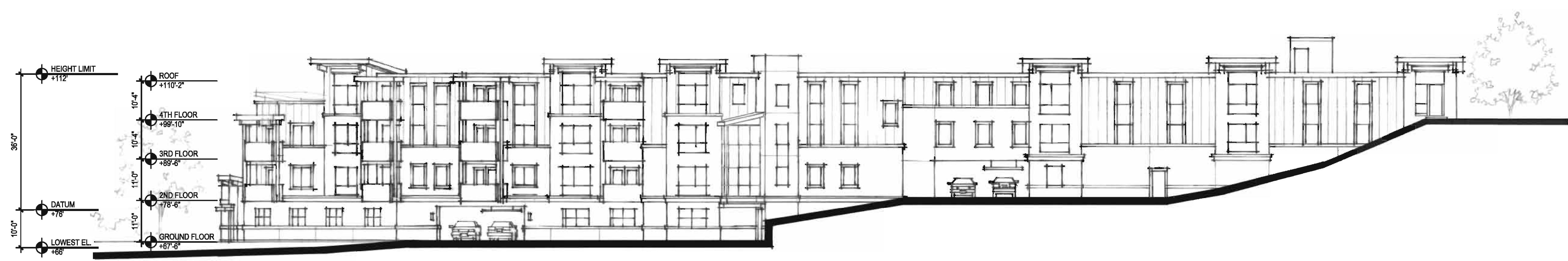
SCALE:  
DATE: 3 / 8 / 2019

REVISIONS:  
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PROJECT NO. 15005

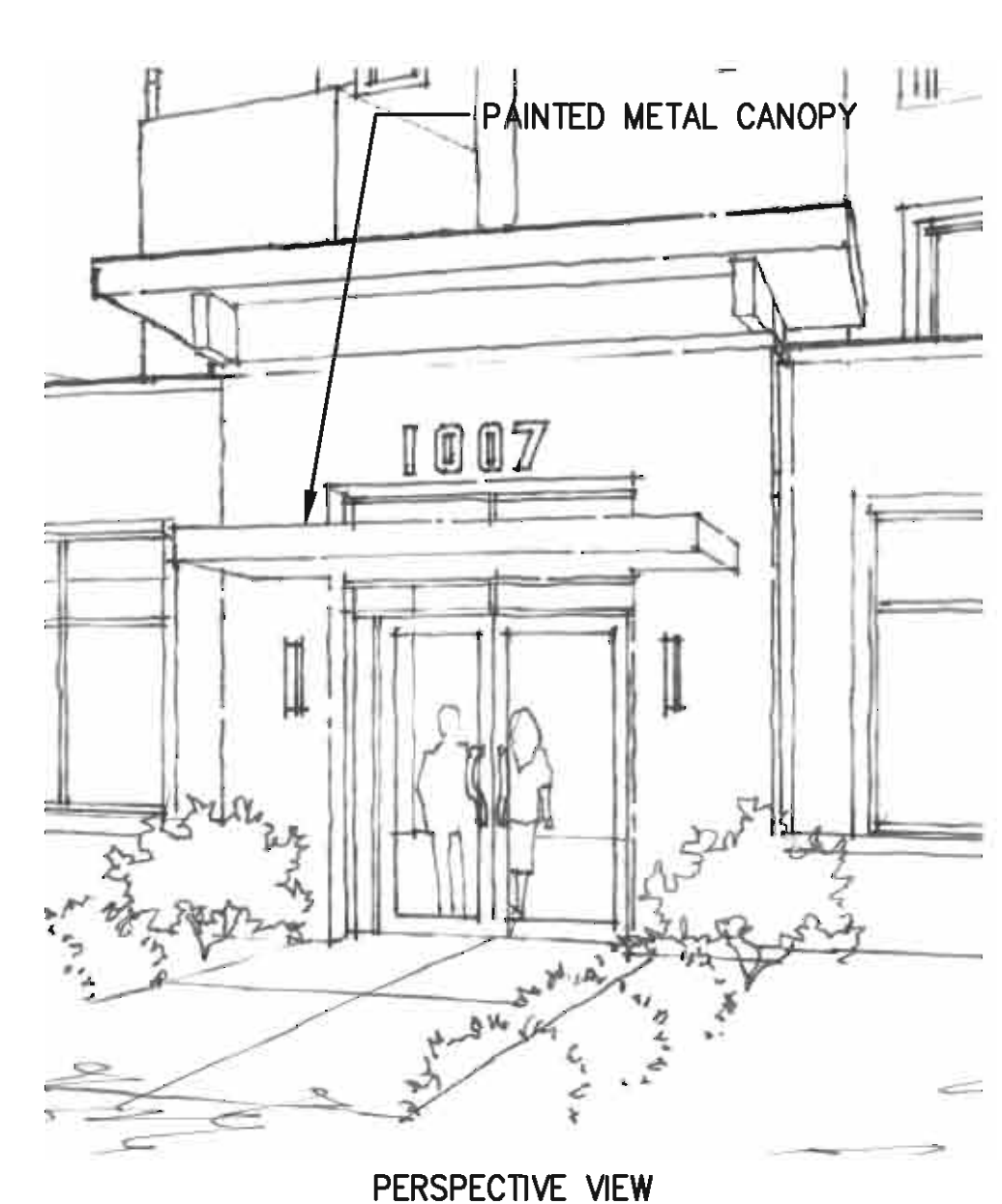
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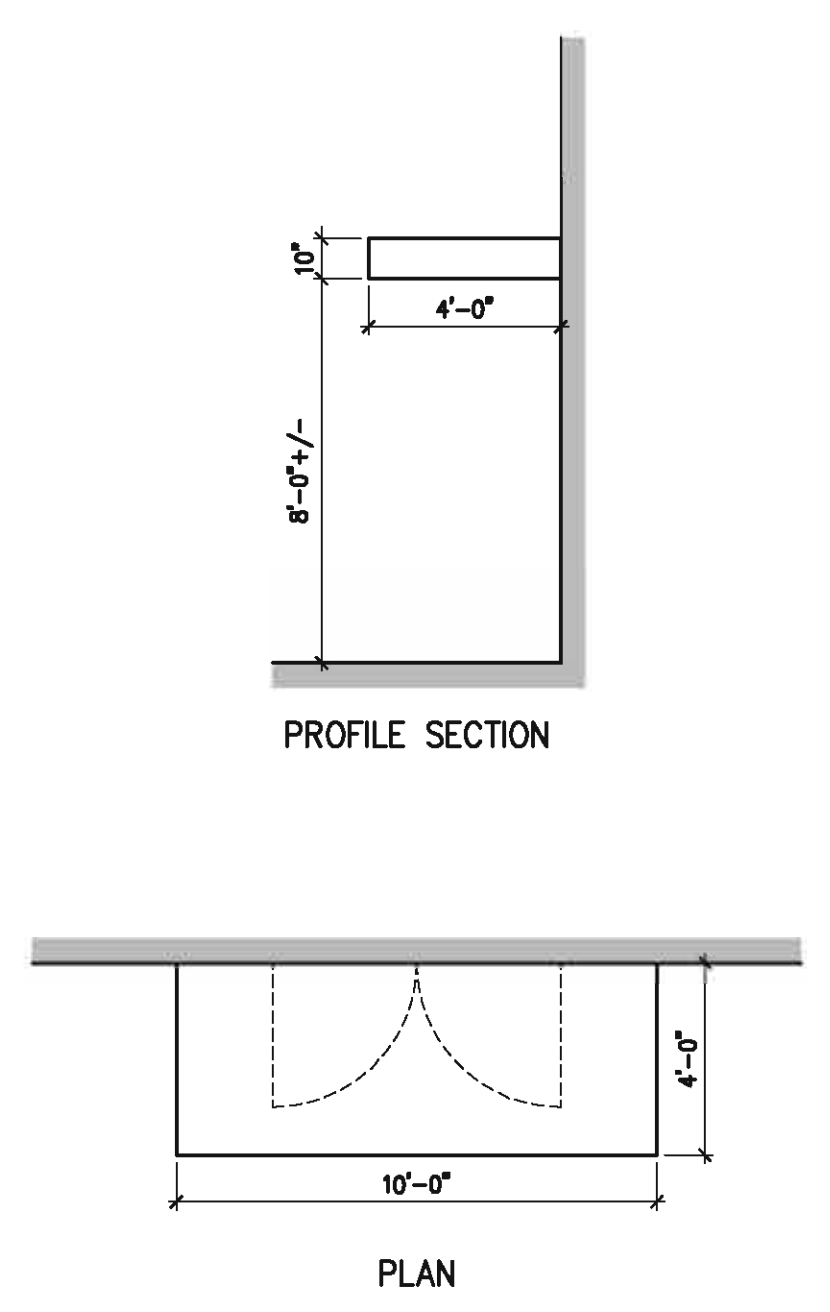


**1** SOUTHEAST ELEVATION

16' 0' 16' 32'  
 SCALE: 1/16" = 1'-0"

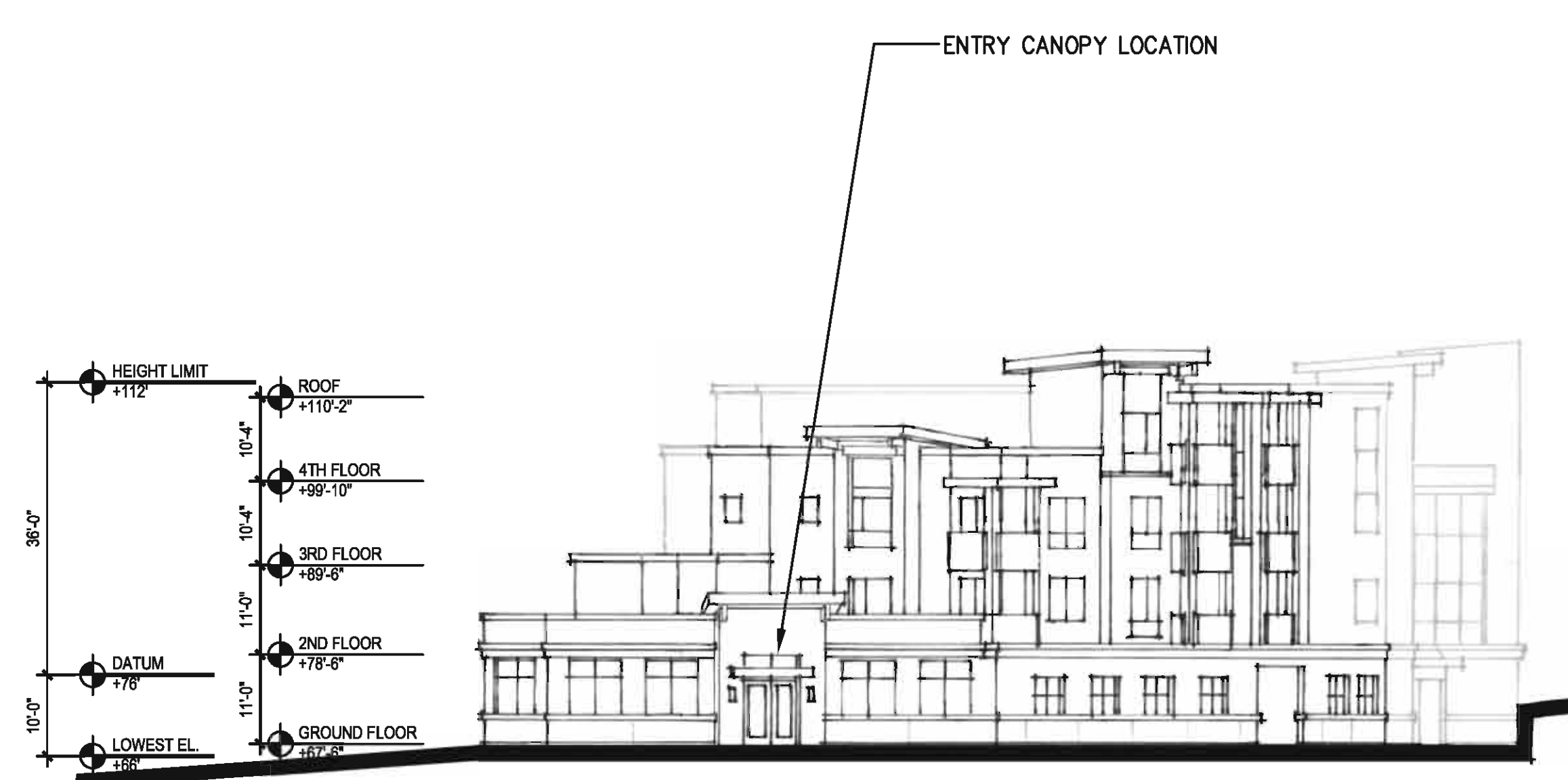


PERSPECTIVE VIEW



PROFILE SECTION

PLAN



**2** SOUTHWEST ELEVATION

16' 0' 16' 32'  
 SCALE: 1/16" = 1'-0"

**3** ENTRY CANOPY

4' 0' 4' 8'  
 SCALE: 1/4" = 1'-0"

**Northgate Walk  
 1007, 1010, 1020 & 1030  
 Northgate Drive**  
 SAN RAFAEL, CA 94903

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**SITE 1007  
 SCHEMATIC  
 ELEVATIONS**

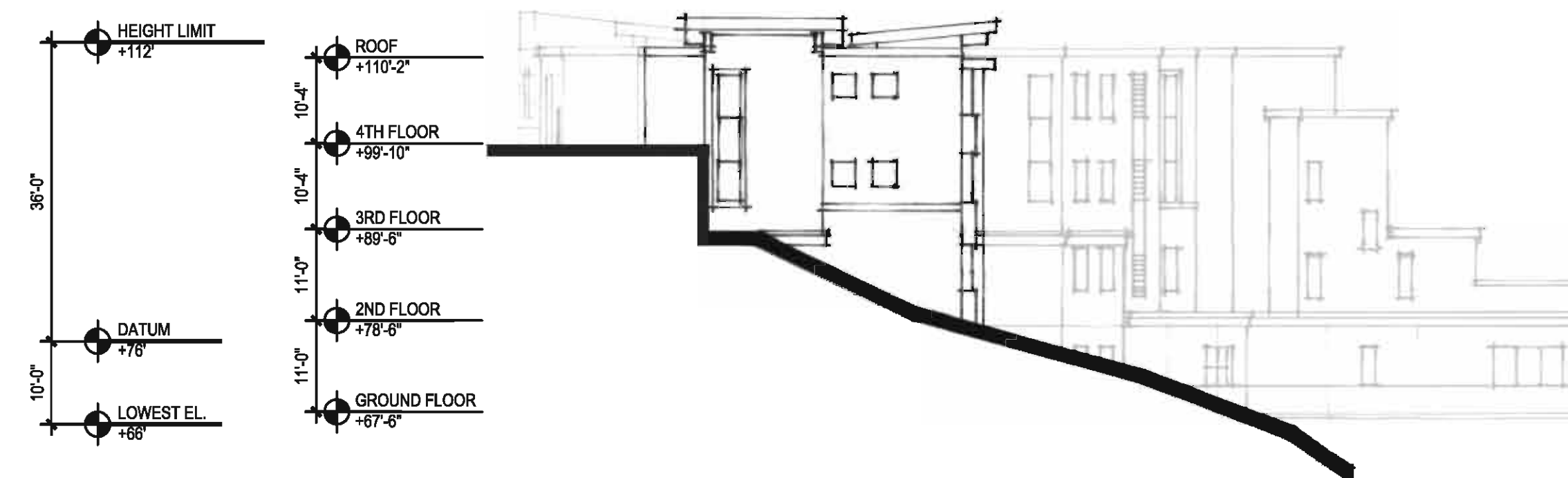
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 DATE: 3/8/2019

REVISIONS:

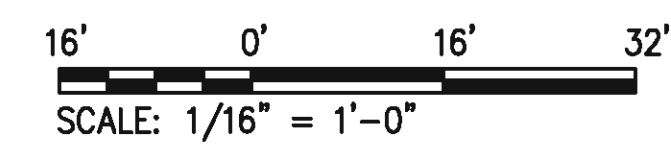

PROJECT NO. 15005

**1007.6**  
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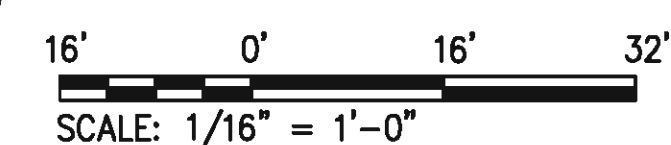




**1** **NORTHEAST ELEVATION**

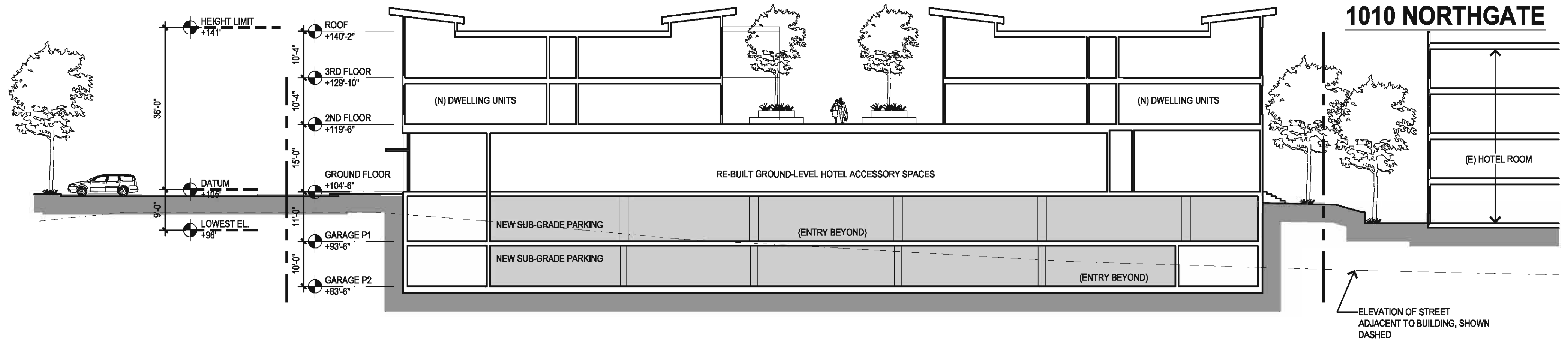


**2** **NORTHWEST ELEVATION**

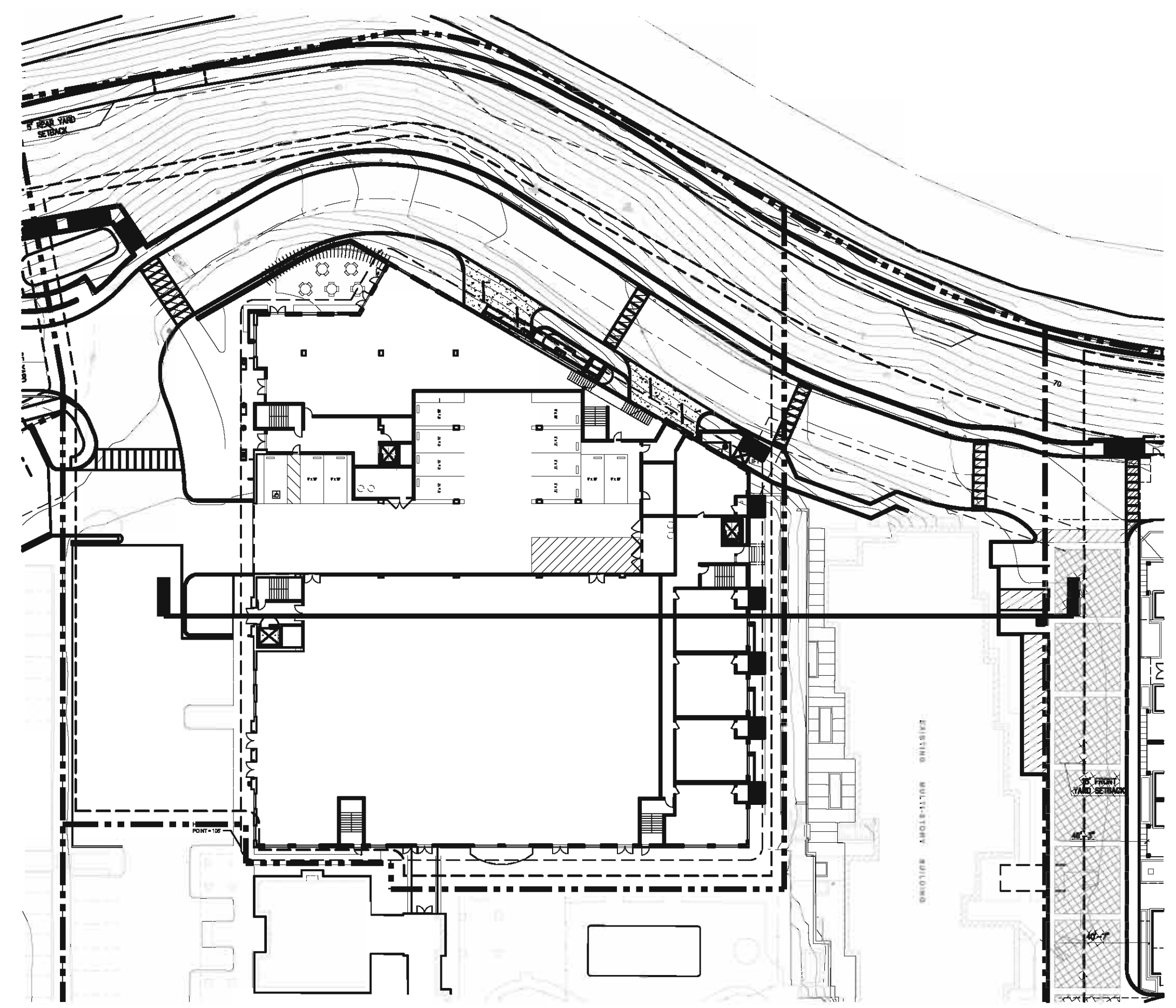




**1020 NORTHGATE**



**SECTION - SITE 1020**



**KEY PLAN**

**1020 NORTHGATE DRIVE**

DENSITY BONUS CALCULATIONS	
SITE AREA (ACRES)	1.411 ACRES +/-
SITE AREA (SF)	61,480 SF +/-
BASE DENSITY - REQUIRED SQ. FT. / UNIT	1,000 SF +/-
MAX BASE UNITS	61 UNITS
<b>PROPOSED NUMBER OF UNITS</b>	
PROPOSED NUMBER OF BMR UNITS (MODERATE-INCOME)	5 UNITS
PROPOSED % OF BMR UNITS (MODERATE-INCOME)	10.42%
PROPOSED NUMBER OF BMR UNITS (LOW-INCOME)	5 UNITS
PROPOSED % OF BMR UNITS (LOW-INCOME)	10.42%

STUDIO UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1020AS	0	1	1	646 SF +/-	2
1020BS	0	0	1	571 SF +/-	1

ONE BEDROOM UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1020A1	0	3	5	771 SF +/-	8
1020B1	0	0	1	951 SF +/-	1
1020C1	0	1	1	1005 SF +/-	2

TWO BEDROOM UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1020A2	0	7	7	1088 SF +/-	14
1020B2	0	1	1	1145 SF +/-	2
1020C2	0	1	1	1111 SF +/-	2
1020D2	0	1	0	1108 SF +/-	1
1020E2	0	1	1	1049 SF +/-	2
1020F2	0	1	1	1077 SF +/-	2
1020G2	0	1	1	1084 SF +/-	2
1020H2	0	0	1	1084 SF +/-	1

TOWNHOME UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1020AT2 - TWO BEDROOMS	3	---	0	1450 SF +/-	3
1020BT2 - TWO BEDROOMS	1	---	0	1570 SF +/-	1
1020BT3 - THREE BEDROOMS	1	---	0	1614 SF +/-	1

THREE BEDROOM UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1020A3	0	1	1	1336 SF +/-	2
1020B3	0	0	1	1279 SF +/-	1

TOTAL STUDIO UNITS:	3 UNITS	6.3%
TOTAL ONE BEDROOM UNITS:	11 UNITS	22.9%
TOTAL TWO BEDROOM UNITS:	26 UNITS	64.2%
TOTAL THREE BEDROOM UNITS:	3 UNITS	6.3%
TOTAL 2 BDR TOWNHOME UNITS:	4 UNITS	8.3%
TOTAL 3 BDR TOWNHOME UNITS:	1 UNITS	2.1%
<b>TOTAL UNITS:</b>	<b>48 UNITS</b>	

AVERAGE STUDIO AREA:	621.0 SF +/-
AVERAGE ONE BEDROOM AREA:	829.9 SF +/-
AVERAGE TWO BEDROOM AREA:	1,089.5 SF +/-
AVERAGE THREE BEDROOM AREA:	1,317.0 SF +/-
AVERAGE 2 BDR TOWNHOME AREA:	1,480.0 SF +/-
AVERAGE 3 BDR TOWNHOME AREA:	1,614.0 SF +/-
<b>AVERAGE UNIT AREA:</b>	<b>1,019.6 SF +/-</b>

REQUIRED PARKING:	CITY PARKING STANDARD	TOTAL STALLS		
STUDIO UNITS	1 FOR <500 SF STUDIO UNIT	4.5 STALLS +/-		
1 BEDROOM UNITS	1.5 FOR 1 BEDROOM UNIT	16.5 STALLS +/-		
2+ BEDROOM UNITS	2.0 FOR 2+ BEDROOM UNIT	68 STALLS +/-		
GUEST PARKING	1 PER 5 UNITS	9.6 STALLS +/-		
<b>TOTAL RESIDENTIAL PARKING REQUIRED:</b>		<b>98.6 STALLS +/-</b>		
<b>TOTAL HOTEL PARKING REQUIRED TO REPLACE EXISTING:</b>		<b>48 STALLS +/-</b>		
<b>TOTAL PARKING REQUIRED:</b>		<b>146.6 STALLS +/-</b>		
PROVIDED PARKING:	STANDARD STALLS	COMPACT STALLS	TANDEM STALLS	TOTAL STALLS
HOTEL PARKING AT P2	27 STALLS +/-	14 STALLS +/-	0 STALLS +/-	<b>TOTAL HOTEL</b>
HOTEL CURB PARKING AT LOBBY	7 STALLS +/-	0 STALLS +/-	0 STALLS +/-	<b>48 STALLS +/-</b>
RESIDENTIAL VISITOR STALLS AT SITE 1010 ON-GRADE	3 STALLS +/-	0 STALLS +/-	0 STALLS +/-	
RESIDENTIAL PARKING AT GROUND LEVEL 1	7 STALLS +/-	0 STALLS +/-	0 STALLS +/-	<b>TOTAL RESIDENTIAL</b>
RESIDENTIAL PARKING AT P1	71 STALLS +/-	18 STALLS +/-	0 STALLS +/-	<b>99 STALLS +/-</b>
<b>TOTAL PARKING PROVIDED</b>	<b>115 STALLS +/-</b>	<b>32 STALLS +/-</b>	<b>0 STALLS +/-</b>	<b>147 STALLS +/-</b>

OPEN SPACE	NUMBER OF UNITS	SQ. FT. / UNIT	TOTAL
TOTAL OPEN SPACE REQUIRED:	48 UNITS	100 SF	4,800 SF
<b>OPEN SPACE PROVIDED:</b>			
PODIUM LEVEL OPEN SPACE:			7,993 SF +/-
PRIVATE DECKS:			3,176 SF +/-
ROOF DECK:			2,855 SF +/-
<b>TOTAL OPEN SPACE PROVIDED:</b>			<b>14,024 SF +/-</b>

FLOOR AREA	AREA
PARKING GARAGE P2	22,212 SF +/-
PARKING GARAGE P1	35,903 SF +/-
LEVEL 1	36,233 SF +/-
LEVEL 2	27,471 SF +/-
LEVEL 3	27,471 SF +/-
<b>TOTAL</b>	<b>149,290 SF +/-</b>

LOT COVERAGE	ALLOWABLE	PROPOSED
SITE AREA	61,480 SF +/-	61,480 SF +/-
BUILDING FOOTPRINT	36,888 SF +/-	36,674 SF +/-
LOT COVERAGE	60%	60%

**HEIGHT CALCULATION**

Site 1020	
Height, non-hillside	
Elevation of the Highest adjoining sidewalk or ground surface within a 5-foot horizontal distance of the exterior wall:	+105 Feet +/-
Elevation of the Lowest adjoining sidewalk or ground surface within a 5-foot horizontal distance of the exterior wall:	+96 Feet +/-
Distance between Highest and Lowest Elevations:	9 Feet +/-
Datum at highest adjoining grade:	+105 Feet +/-
(since highest adjoining grade is not more than (10) ten feet above lowest grade)	
Height Limit (+36' above datum)	+141 Feet +/-
Highest point of flat roof:	+140.2 Feet +/-
Maximum building height above datum:	+35.2 Feet +/-
Maximum allowable height above datum:	+36 Feet +/-

**SITE 1020: LANDSCAPE COVERAGE**

<b>LANDSCAPING REQUIRED:</b>	
HR1 ZONING:	50% OF FRONT AND STREET SIDE YARDS AREA OF FRONT AND STREET SIDE YARDS: 13,290 SF± NOTE: DOES NOT INCLUDE SHARED ACCESS ROADWAY LANDSCAPING REQUIRED: 6,645 SF±
<b>LANDSCAPING PROVIDED:</b>	
HR1 ZONING:	7,132 SF± (53.7% OF FRONT AND STREET SIDE YARD)

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**SITE 1020  
 PROJECT DATA  
 AND SCHEMATIC  
 SECTION**

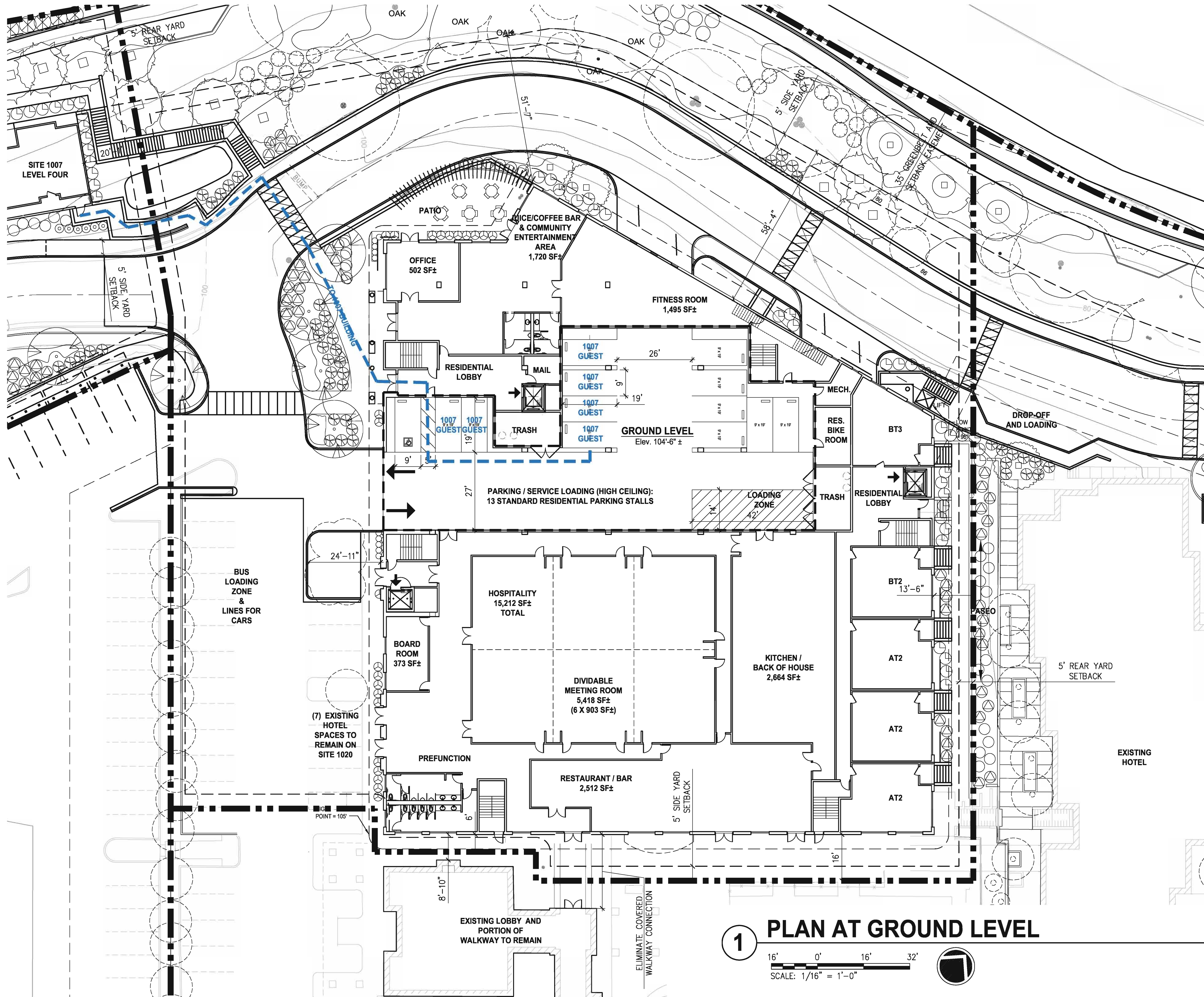
SCALE:  
 DATE: 3/8/2019

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PROJECT NO. 15005

**1020.0**  
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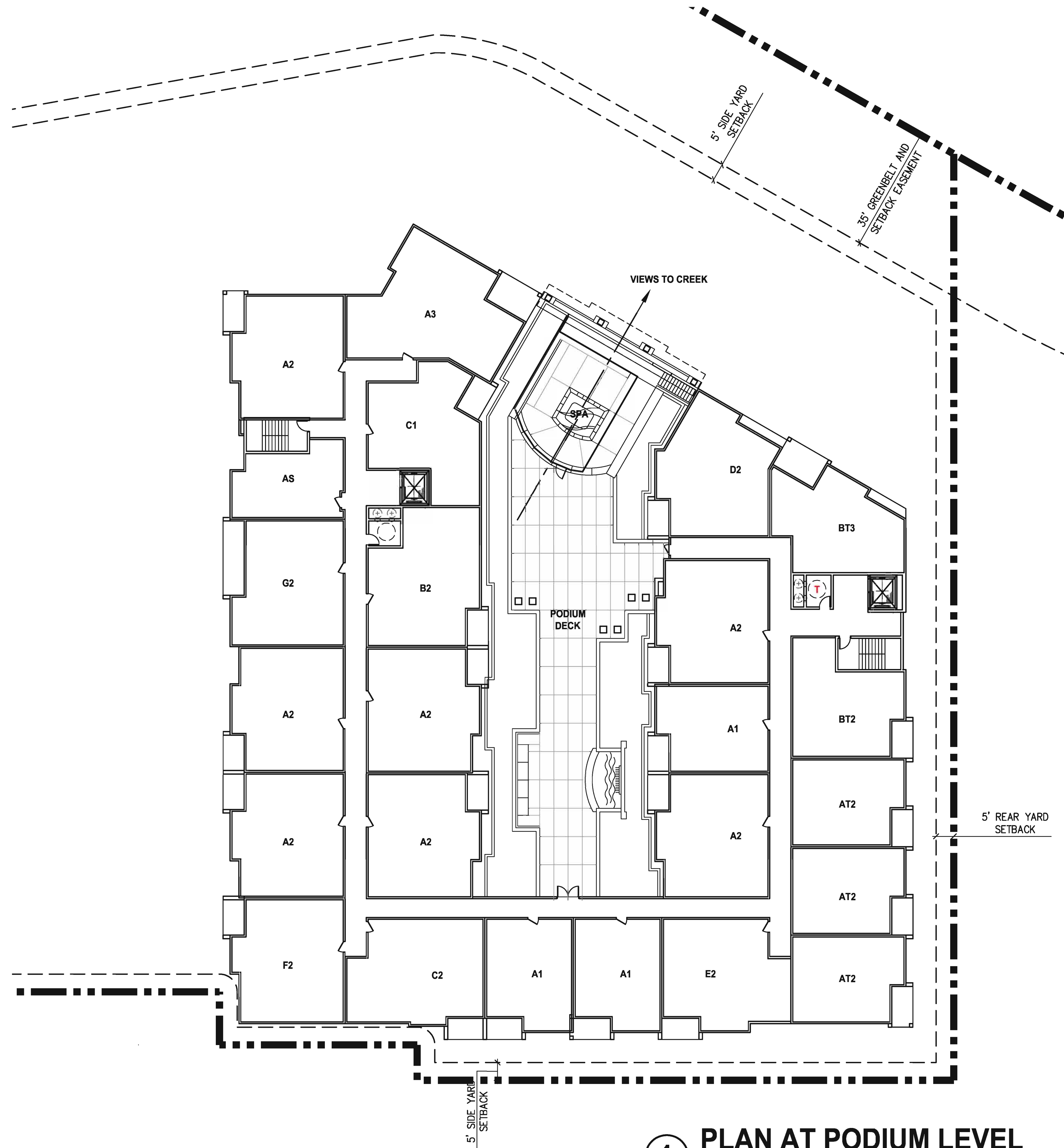




**1 PLAN AT GROUND LEVEL**

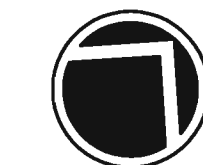
16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"





**1 PLAN AT PODIUM LEVEL**

16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"



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CARL E. CAMPOS  
DAVID BOGSTAD  
PETER STACKPOLE  
590 YGNACIO VALLEY ROAD, SUITE 310  
WALNUT CREEK, CALIFORNIA 94596  
(925) 944-1626  
1970 BROADWAY, SUITE 800  
OAKLAND, CALIFORNIA 94612  
(510) 272-1050

**Northgate Walk  
1007, 1010, 1020 & 1030  
Northgate Drive**

SAN RAFAEL, CA 94903

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**SITE 1020  
SCHEMATIC  
PLAN LEVEL 2  
PODIUM LEVEL**

SCALE:  
DATE: 3/8/2019

REVISIONS:

PROJECT NO. 15005

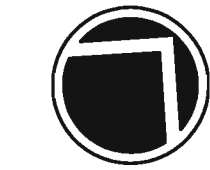
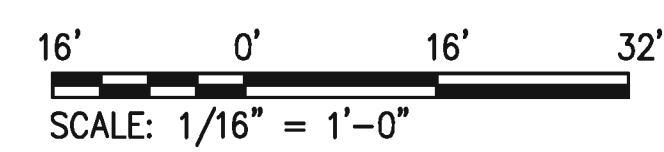
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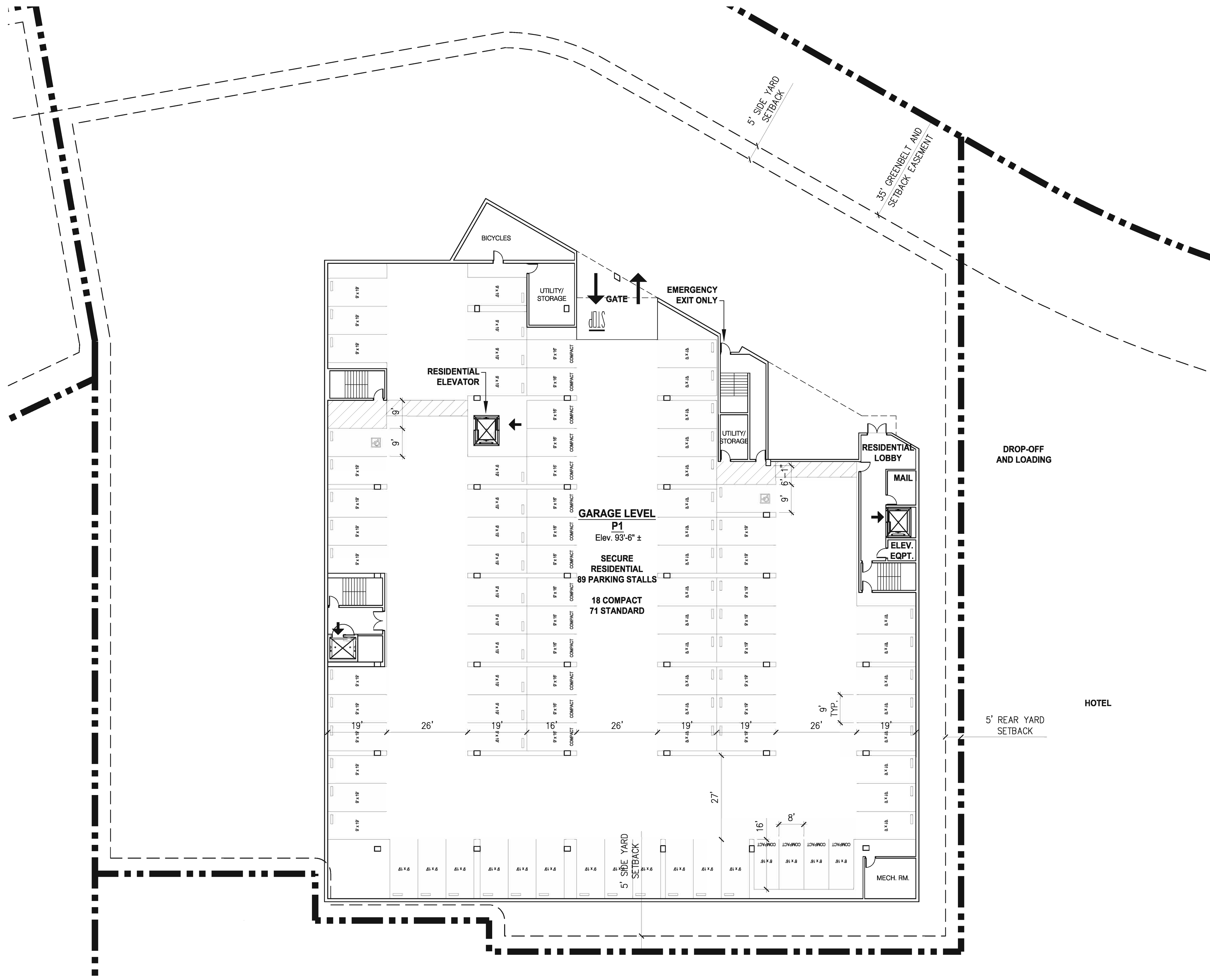




**1 PLAN AT LEVEL 3**





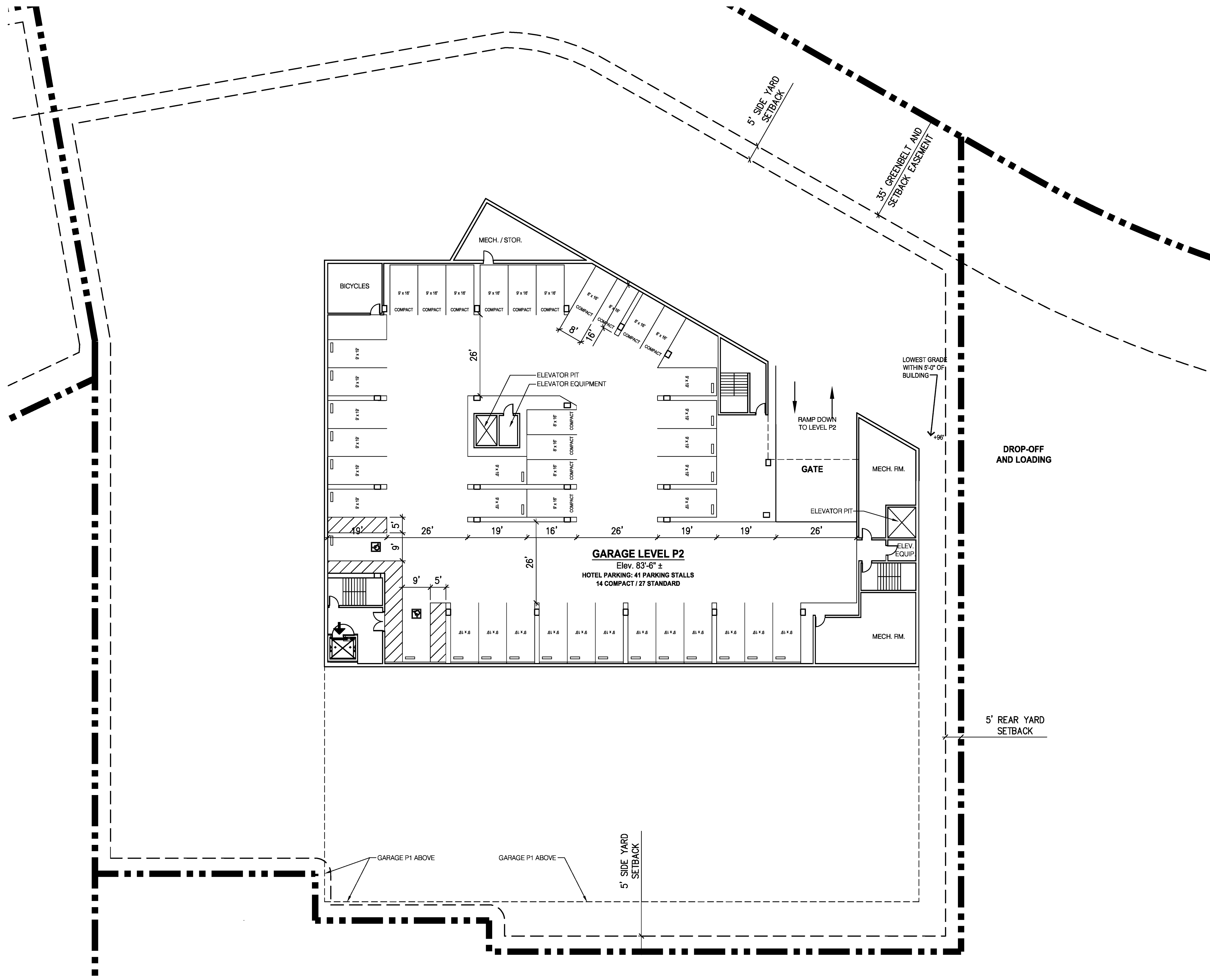


**1 PLAN AT GARAGE LEVEL P1**

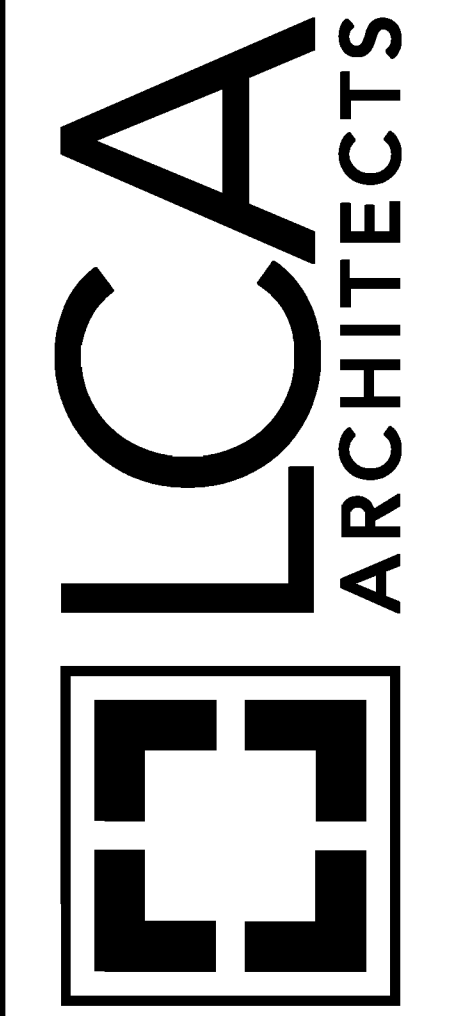
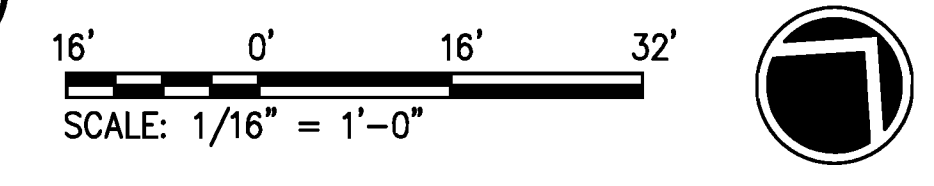
16' 0' 16' 32'

SCALE: 1/16" = 1'-0"





**1 PLAN AT GARAGE LEVEL P2**



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 CARL E. CAMPOS  
 DAVID BOGSTAD  
 PETER STACKPOLE  
 560 YGNACIO VALLEY ROAD, SUITE 310  
 WALNUT CREEK, CALIFORNIA 94596  
 (925) 944-1626  
 1970 BROADWAY, SUITE 800  
 OAKLAND, CALIFORNIA 94612  
 (510) 272-1050

**Northgate Walk  
 1007, 1010, 1020 & 1030  
 Northgate Drive**  
 SAN RAFAEL, CA 94903

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**SITE 1020  
 SCHEMATIC  
 PLAN AT GARAGE  
 LEVEL P2**

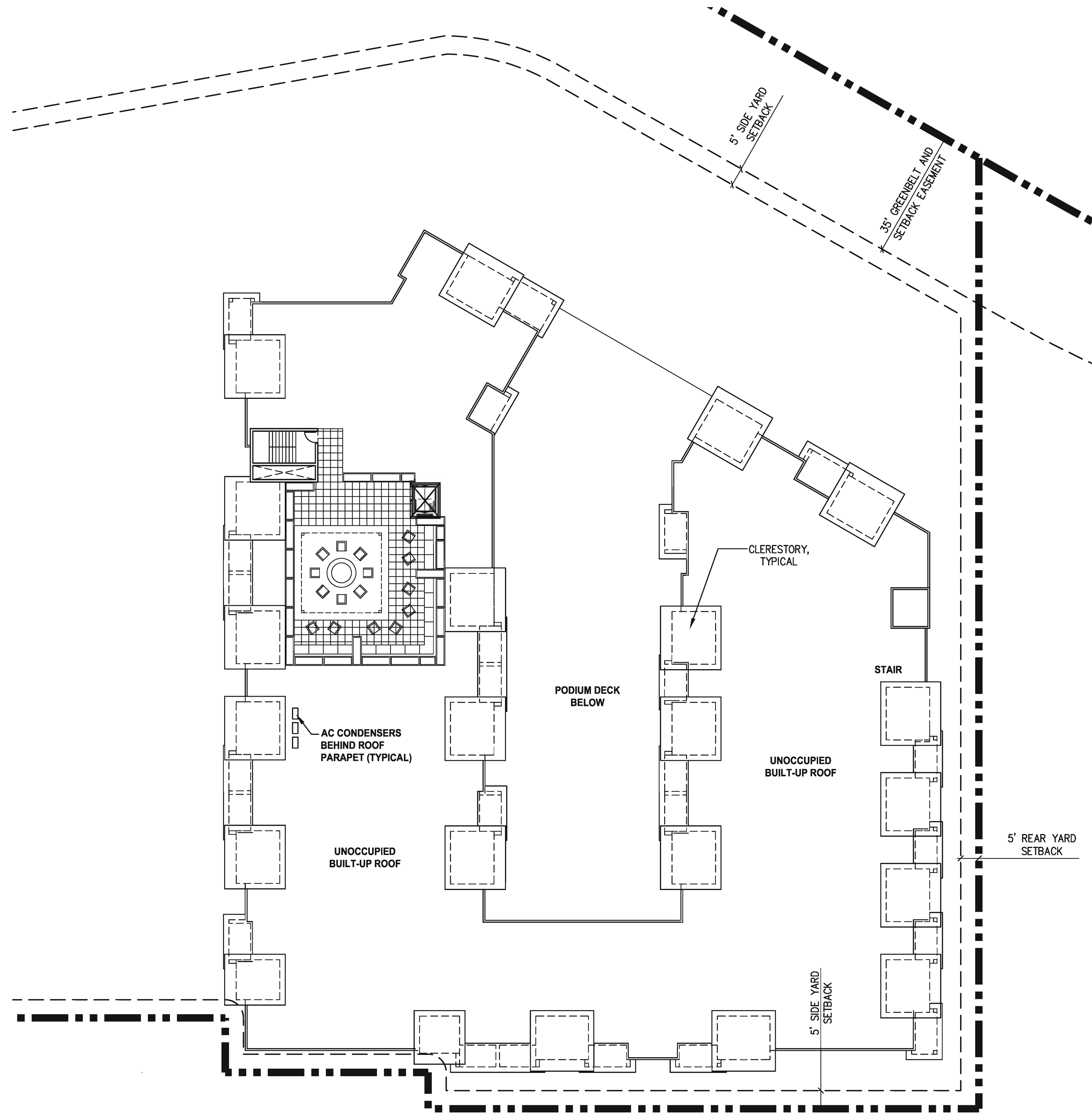
SCALE:  
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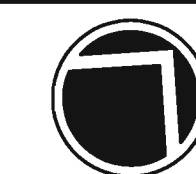
**1020.5**  
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**1 ROOF PLAN**

16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"







**1 WEST ELEVATION**

16' 0' 16' 32'

SCALE: 1/16" = 1'-0"

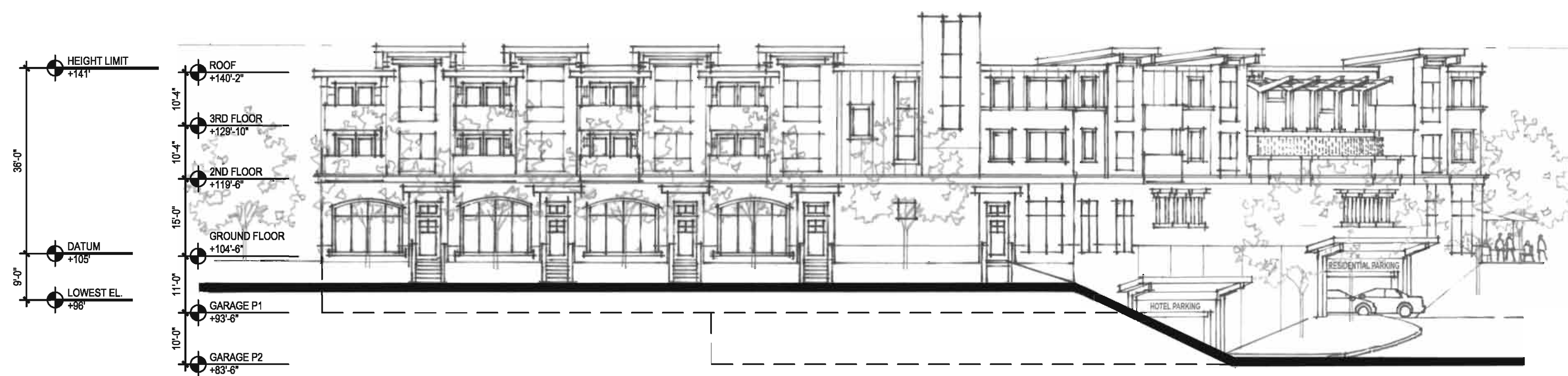


**2 SOUTH ELEVATION**

16' 0' 16' 32'

SCALE: 1/16" = 1'-0"





**1 EAST ELEVATION**

16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"

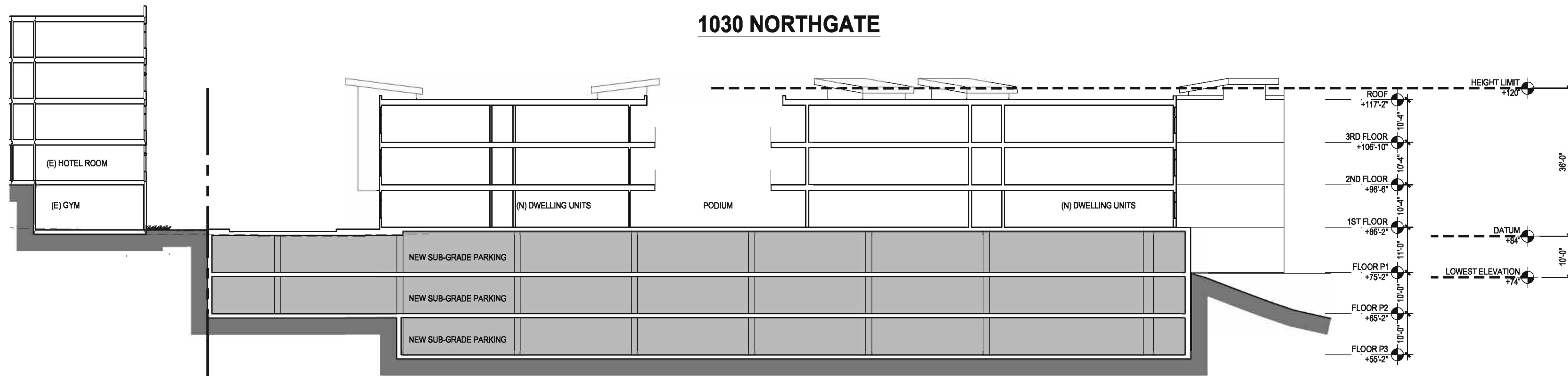


**2 NORTH ELEVATION**

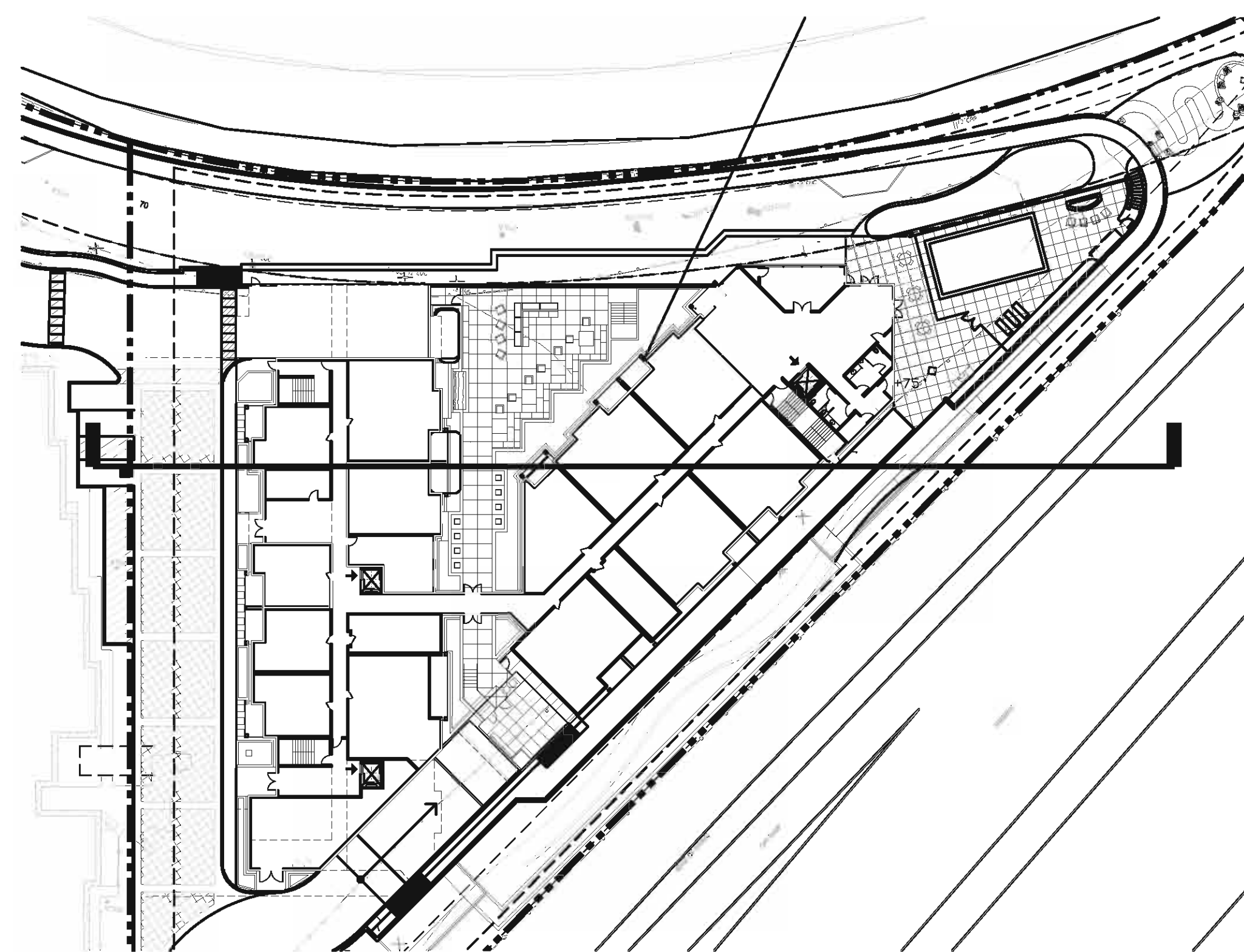
16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"



**1030 NORTHGATE**



**SECTION - SITE 1030**



**KEY PLAN**

**HEIGHT CALCULATION**

Site 1030	
Height, non-hillside	
Elevation of the Highest adjoining sidewalk or ground surface within a 5-foot horizontal distance of the exterior wall:	+86 Feet +/-
Elevation of the Lowest adjoining sidewalk or ground surface within a 5-foot horizontal distance of the exterior wall:	+74 Feet +/-
Distance between Highest and Lowest Elevations:	12 Feet +/-
Datum ten (10) feet higher than the lowest grade: (since highest adjoining grade is more than (10) ten feet above lowest grade)	+84 Feet +/-
Height Limit (+36' above datum)	+120' Feet +/-
Highest point of flat roof:	+117.2 Feet +/-
Maximum building height above datum:	+33.2 Feet +/-
Maximum allowable height above datum:	36 Feet +/-

1030 NORTHGATE DRIVE	
<b>DENSITY BONUS CALCULATIONS</b>	
SITE AREA (ACRES)	1.690 ACRES +/-
SITE AREA (SF)	73,627 SF +/-
BASE DENSITY - REQUIRED SQ. FT. / UNIT	1,000 SF +/-
MAX BASE UNITS	73 UNITS
<b>PROPOSED NUMBER OF UNITS</b>	58 UNITS
PROPOSED NUMBER OF BMR UNITS (MODERATE-INCOME)	6 UNITS
PROPOSED % OF BMR UNITS (MODERATE-INCOME)	10.34%
PROPOSED NUMBER OF BMR UNITS (LOW-INCOME)	6 UNITS
PROPOSED % OF BMR UNITS (LOW-INCOME)	10.34%

STUDIO UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1030AS	2	2	2	445 SF +/-	6
1030BS	1	0	0	484 SF +/-	1

ONE BEDROOM UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1030A1	1	1	1	857 SF +/-	3
1030B1	1	4	4	771 SF +/-	9
1030C1	0	1	4	625 SF +/-	5

TWO BEDROOM UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1030A2	5	6	6	1088 SF +/-	17
1030B2	1	2	2	1089 SF +/-	5
1030C2	1	1	1	1128 SF +/-	3
1030D2	1	0	0	1098 SF +/-	1
1030E2	0	1	1	1162 SF +/-	2

TOWNHOME UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1030AT2 - TWO BEDROOMS	3	—	0	1181 SF +/-	3

THREE BEDROOM UNITS	NUMBER OF UNITS			UNIT SIZE	TOTAL UNIT COUNT
	LEVEL 1	LEVEL 2	LEVEL 3		
1030A3	1	1	1	1320 SF +/-	3

TOTAL STUDIO UNITS:	7 Units	12.1%
TOTAL ONE BEDROOM UNITS:	17 Units	29.3%
TOTAL TWO BEDROOM UNITS:	28 Units	48.3%
TOTAL THREE BEDROOM UNITS:	3 Units	5.2%
TOTAL 2 BDR TOWNHOME UNITS:	3 Units	5.2%
<b>TOTAL UNITS:</b>	<b>58 Units</b>	

AVERAGE ONE BEDROOM AREA:	743.2 SF +/-
AVERAGE TWO BEDROOM AREA:	1096.7 SF +/-
AVERAGE THREE BEDROOM AREA:	1320.0 SF +/-
AVERAGE 2BDR TOWNHOME AREA:	1181.0 SF +/-
<b>AVERAGE UNIT AREA:</b>	<b>876.7 SF +/-</b>

REQUIRED PARKING:	CITY PARKING STANDARD	TOTAL STALLS
STUDIO UNITS	1 FOR <500 SF STUDIO UNIT	7 STALLS +/-
1 BEDROOM UNITS	1.5 FOR 1 BEDROOM UNIT	25.5 STALLS +/-
2+ BEDROOM UNITS	2.0 FOR 2+ BEDROOM UNIT	88 STALLS +/-
GUEST PARKING	1 PER 5 UNITS	11.6 STALLS +/-
<b>TOTAL RESIDENTIAL PARKING REQUIRED:</b>		<b>112.1 STALLS +/-</b>
<b>TOTAL HOTEL PARKING REQUIRED TO REPLACE EXISTING:</b>		<b>81 STALLS +/-</b>
<b>TOTAL PARKING REQUIRED:</b>		<b>293.1 STALLS +/-</b>

PROVIDED PARKING:	STANDARD STALLS	COMPACT STALLS	TANDEM STALLS	TOTAL STALLS
HOTEL PARKING AT P1:	87 STALLS +/-	1 STALLS +/-	0 STALLS +/-	<b>TOTAL HOTEL</b>
HOTEL PARKING AT P2:	23 STALLS +/-	0 STALLS +/-	3 STALLS +/-	<b>84 STALLS +/-</b>
RESIDENTIAL PARKING AT P1:	0 STALLS +/-	0 STALLS +/-	0 STALLS +/-	
RESIDENTIAL PARKING AT P2:	40 STALLS +/-	2 STALLS +/-	0 STALLS +/-	<b>TOTAL RESIDENTIAL</b>
RESIDENTIAL PARKING AT P3:	65 STALLS +/-	6 STALLS +/-	0 STALLS +/-	<b>113 STALLS +/-</b>
<b>TOTAL PARKING PROVIDED:</b>	<b>195 STALLS +/-</b>	<b>9 STALLS +/-</b>	<b>3 STALLS +/-</b>	<b>207 STALLS +/-</b>

OPEN SPACE	NUMBER OF UNITS	SQ. FT. / UNIT	TOTAL
<b>TOTAL OPEN SPACE REQUIRED:</b>	58 UNITS	100 SF	5,800 SF
<b>OPEN SPACE PROVIDED:</b>			
PODIUM LEVEL OPEN SPACE:			6,883 SF +/-
PRIVATE DECKS:			6,120 SF +/-
ROOF DECK:			2,839 SF +/-
<b>TOTAL OPEN SPACE PROVIDED:</b>			<b>15,842 SF +/-</b>

FLOOR AREA	AREA
PARKING GARAGE P3	31,233 SF +/-
PARKING GARAGE P2	37,842 SF +/-
PARKING GARAGE P1	38,085 SF +/-
LEVEL 1	20,246 SF +/-
LEVEL 2	23,207 SF +/-
LEVEL 3	22,930 SF +/-
<b>TOTAL</b>	<b>173,343 SF +/-</b>

LOT COVERAGE	ALLOWABLE	PROPOSED
SITE AREA	73,627 SF +/-	73,627 SF +/-
BUILDING FOOTPRINT	44,178 SF +/-	31,579 SF +/-
<b>LOT COVERAGE</b>	<b>60%</b>	<b>43%</b>

**SITE 1030: LANDSCAPE COVERAGE**

**LANDSCAPING REQUIRED:**  
 HR1 ZONING: 50% OF FRONT AND STREET SIDE YARDS  
 AREA OF FRONT YARD: 4,266 SF ±  
 NOTE: DOES NOT INCLUDE SHARED ACCESS ROADWAY  
 LANDSCAPING REQUIRED: 2,133 SF ±

**LANDSCAPING PROVIDED:**  
 HR1 ZONING: 9,637 SF ± (84.7% OF FRONT AND STREET SIDE YARD)

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**SITE 1030  
 PROJECT DATA  
 AND SCHEMATIC  
 SECTION**

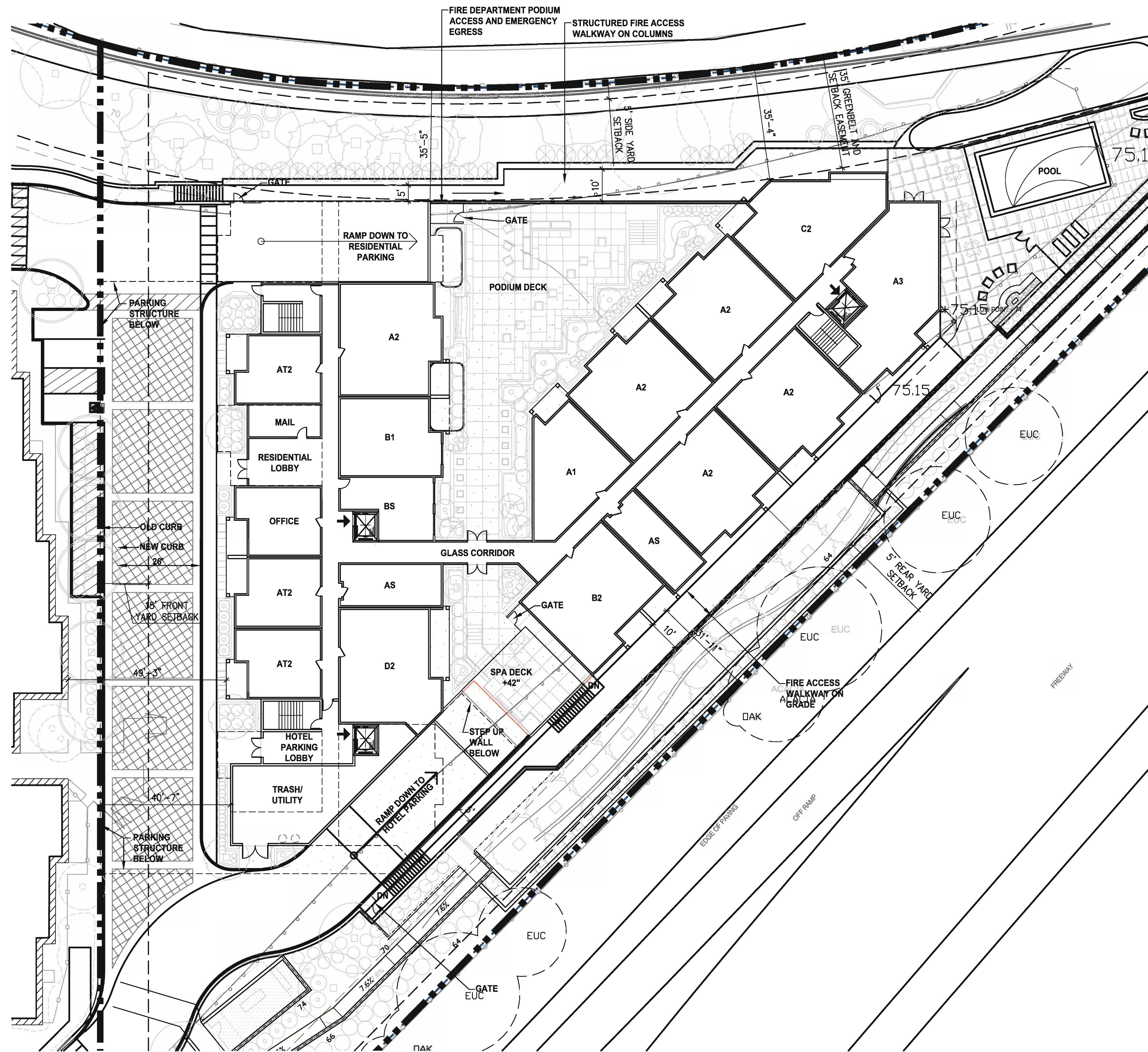
SCALE:  
 DATE: 3 / 8 / 2019

REVISIONS:

PROJECT NO. 15005

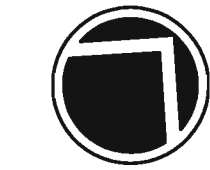
**1030.0**  
 SHEET OF





**1 PLAN AT GROUND LEVEL**

16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"



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PETER STACKPOLE  
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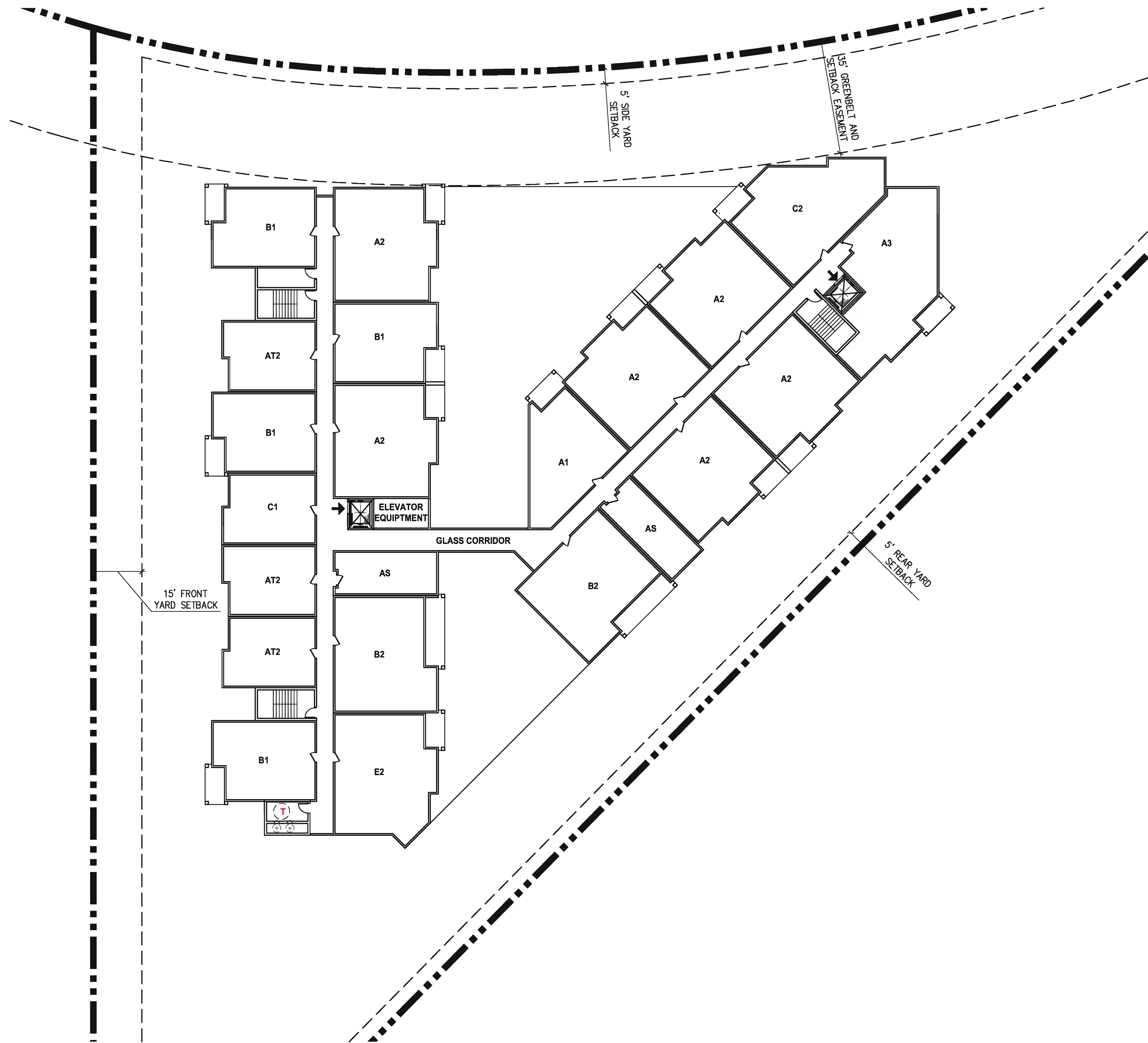
**SITE 1030  
SCHEMATIC  
PLAN LEVEL 1  
GROUND LEVEL**

SCALE:  
DATE: 3 / 8 / 2019

REVISIONS:  
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PROJECT NO. 15005  
**1030.1**  
SHEET OF





1

**PLAN AT LEVEL 2**

16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"



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**SITE 1030  
SCHEMATIC  
PLAN  
LEVEL 2**

SCALE:  
DATE: 3 / 8 / 2019

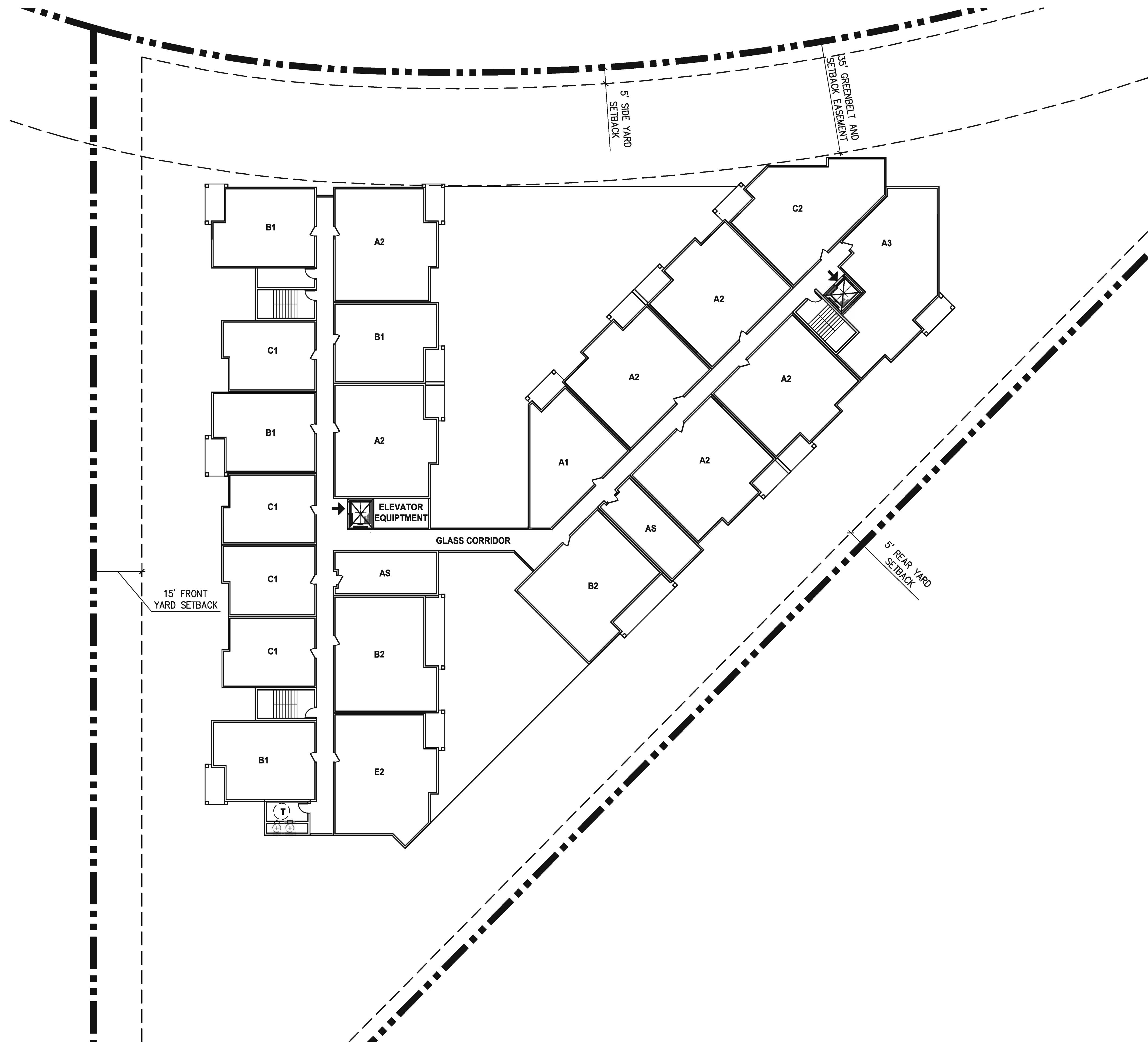
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PROJECT NO. 15005

**1030.2**

SHEET OF

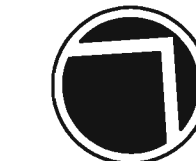




1

**PLAN AT LEVEL 3**

16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"



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**SITE 1030  
SCHEMATIC  
PLAN  
LEVEL 3**

SCALE:  
DATE: 3 / 8 / 2019

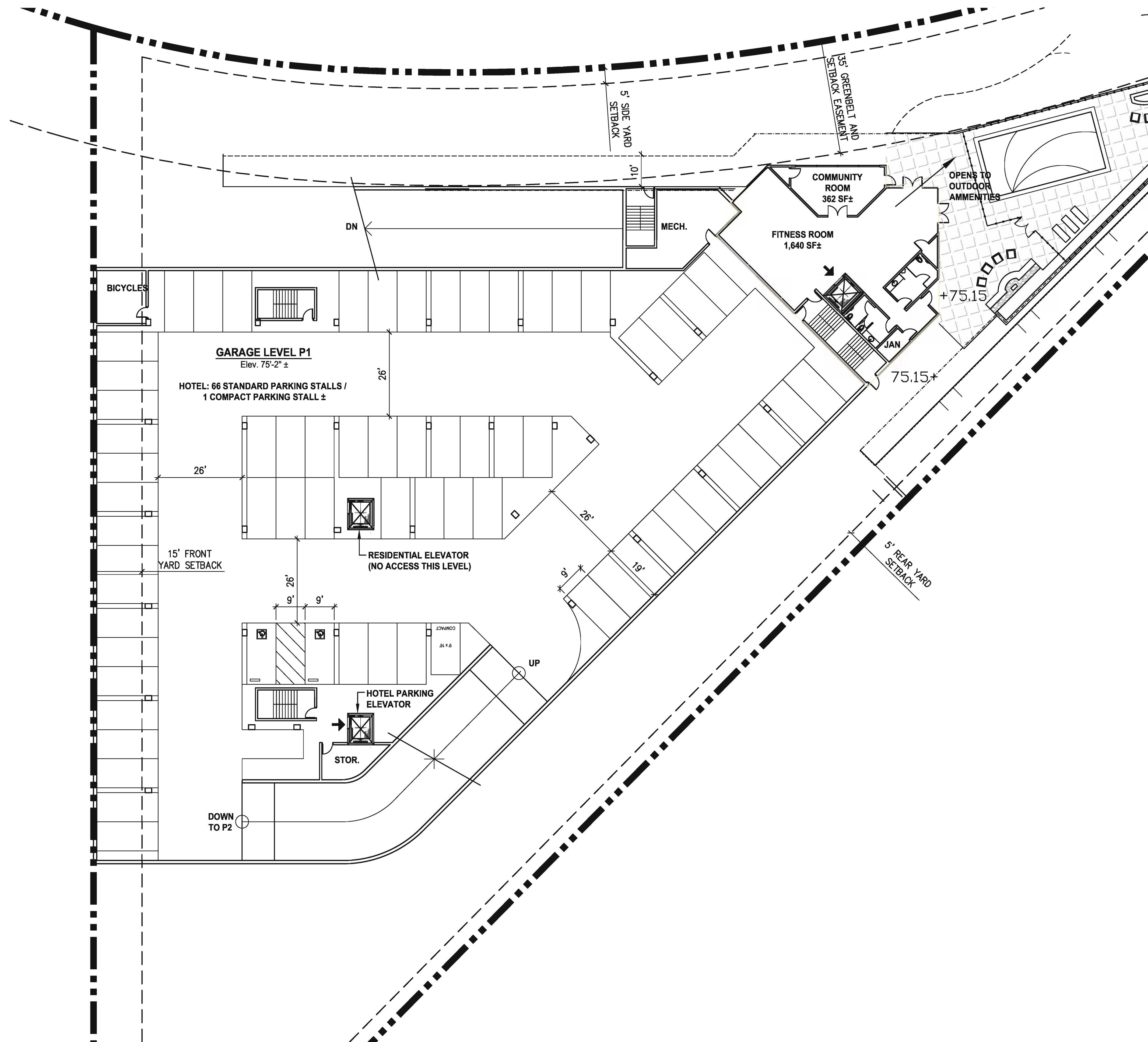
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**1030.3**

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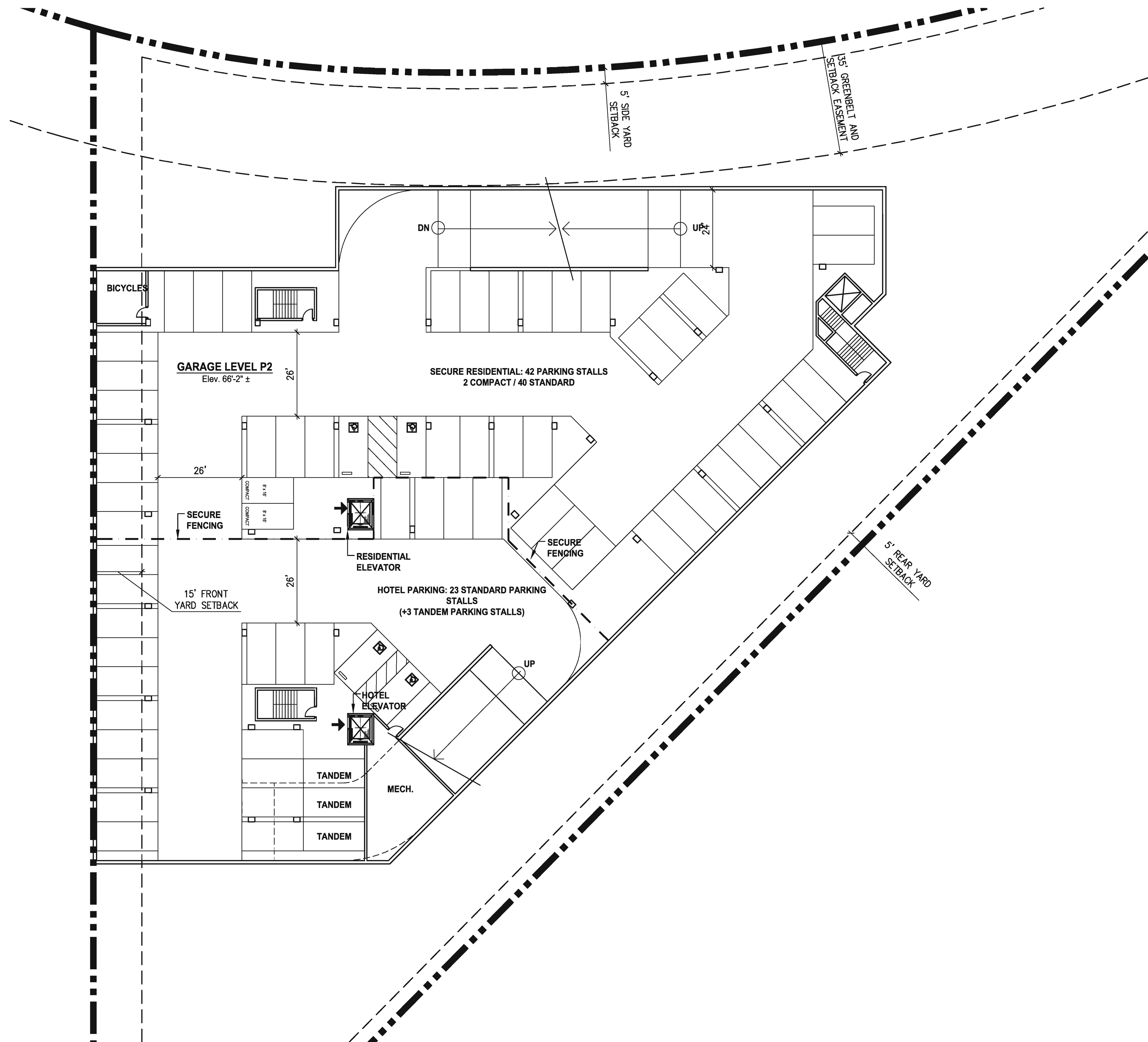


**1 PLAN AT GARAGE LEVEL P1**

16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"

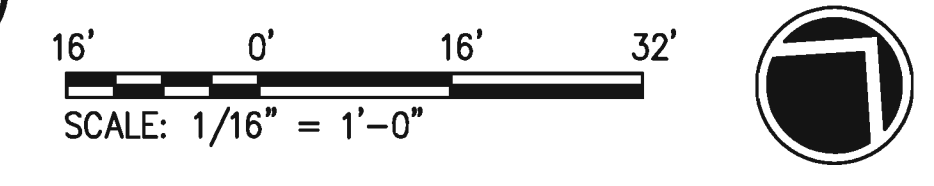






1

**PLAN AT GARAGE LEVEL P2**



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**SITE 1030**  
**SCHEMATIC**  
**GARAGE LEVEL P2**

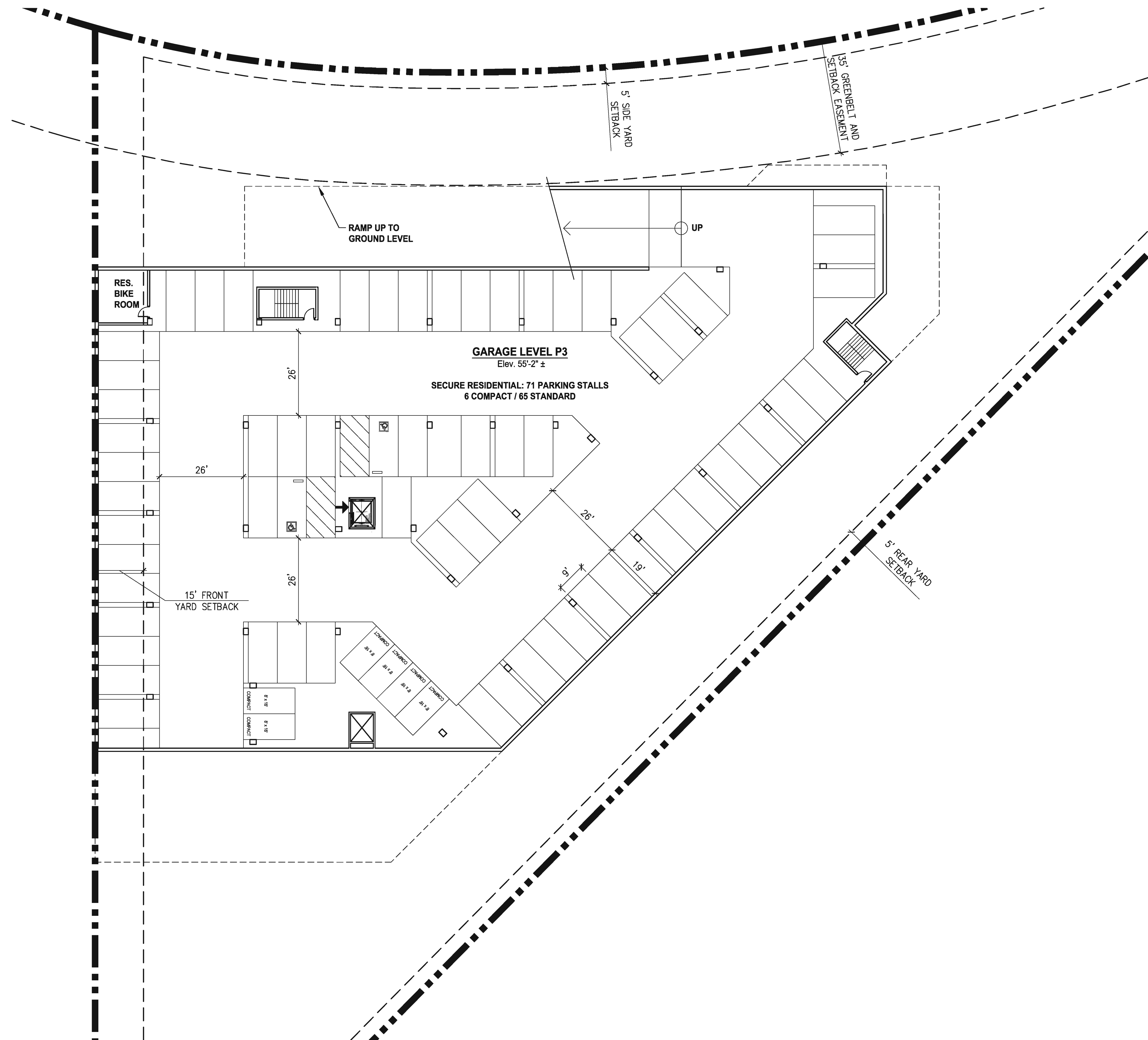
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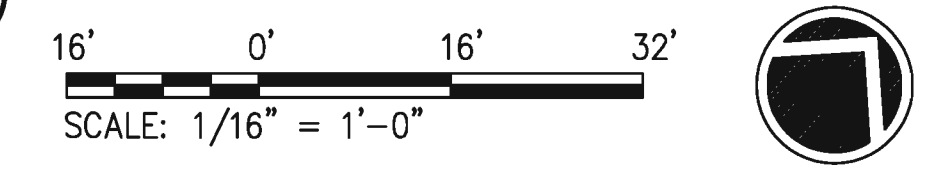
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1

**PLAN AT GARAGE LEVEL P3**



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**SITE 1030**  
**SCHEMATIC**  
**GARAGE LEVEL P3**

SCALE:  
DATE: 3 / 8 / 2019

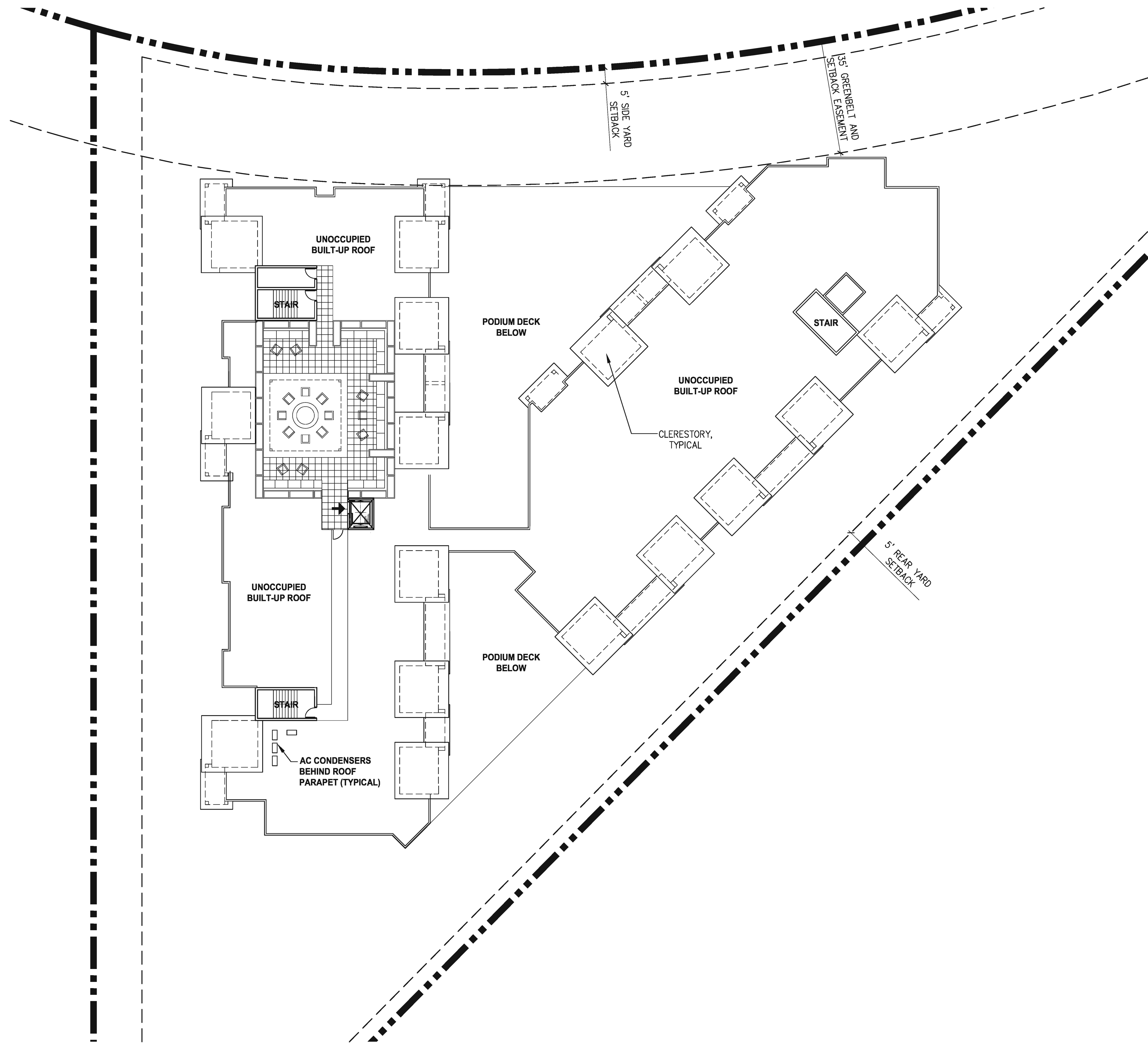
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**1030.6**

SHEET OF





1

# ROOF PLAN

16' 0' 16' 32'  
SCALE: 1/16" = 1'-0"



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SITE 1030  
SCHEMATIC  
ROOF PLAN

SCALE:  
DATE: 3/8/2019

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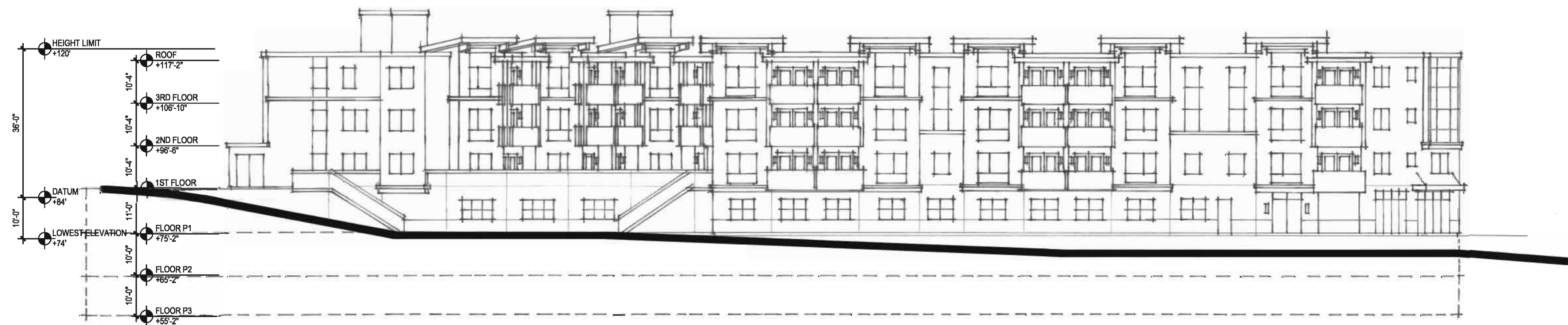
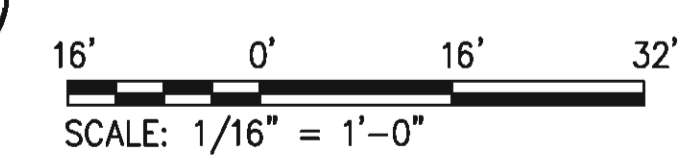
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SHEET OF

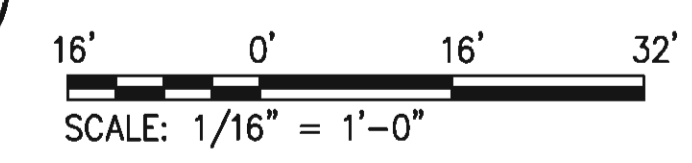




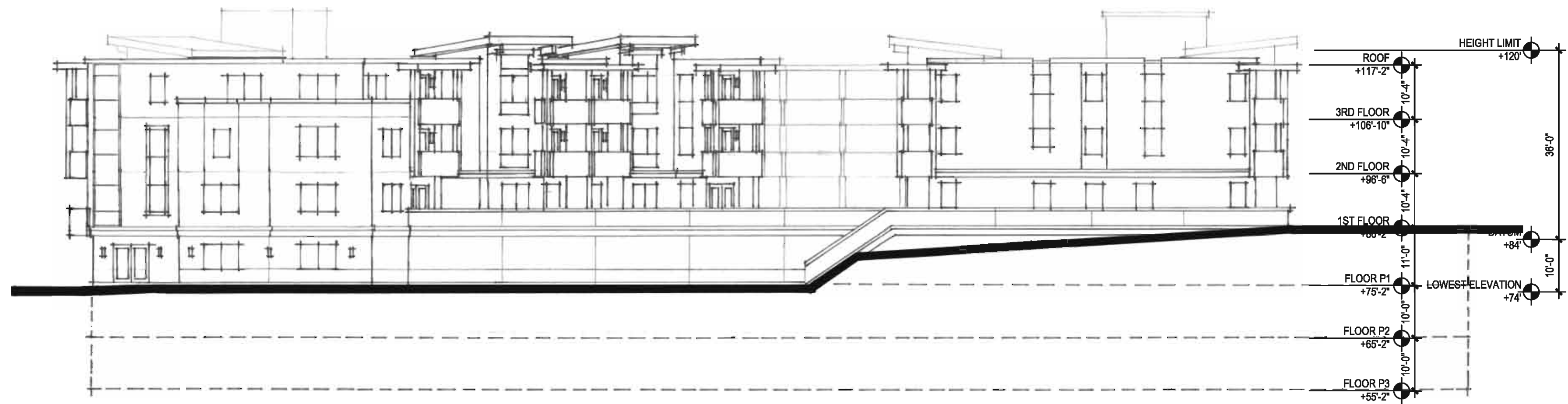
**1** **SOUTHWEST ELEVATION**



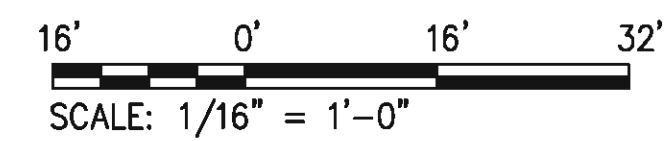
**2** **EAST ELEVATION**







**1 NORTHWEST ELEVATION**



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**SITE 1030  
 SCHEMATIC  
 ELEVATIONS**

SCALE:  
 DATE: 3 / 8 / 2019

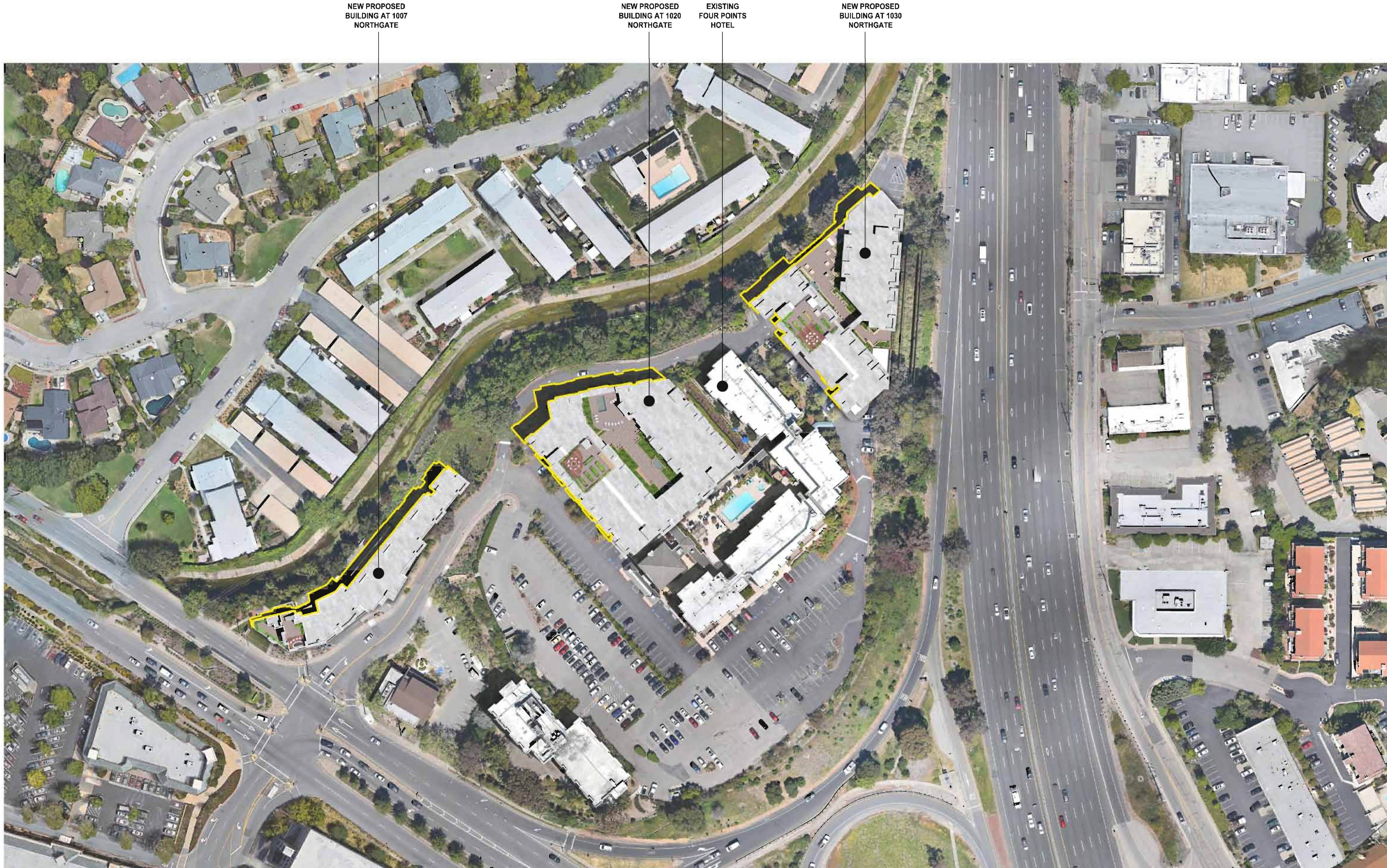
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PROJECT NO. 15005

**1030.9**

SHEET OF





NEW PROPOSED  
BUILDING AT 1007  
NORTHGATE

NEW PROPOSED  
BUILDING AT 1020  
NORTHGATE

EXISTING  
FOUR POINTS  
HOTEL

NEW PROPOSED  
BUILDING AT 1030  
NORTHGATE

1 SHADOW STUDY - JUNE 21 12pm



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SHADOW STUDY  
JUNE 21 12pm

SCALE:  
DATE: 3 / 8 / 2019

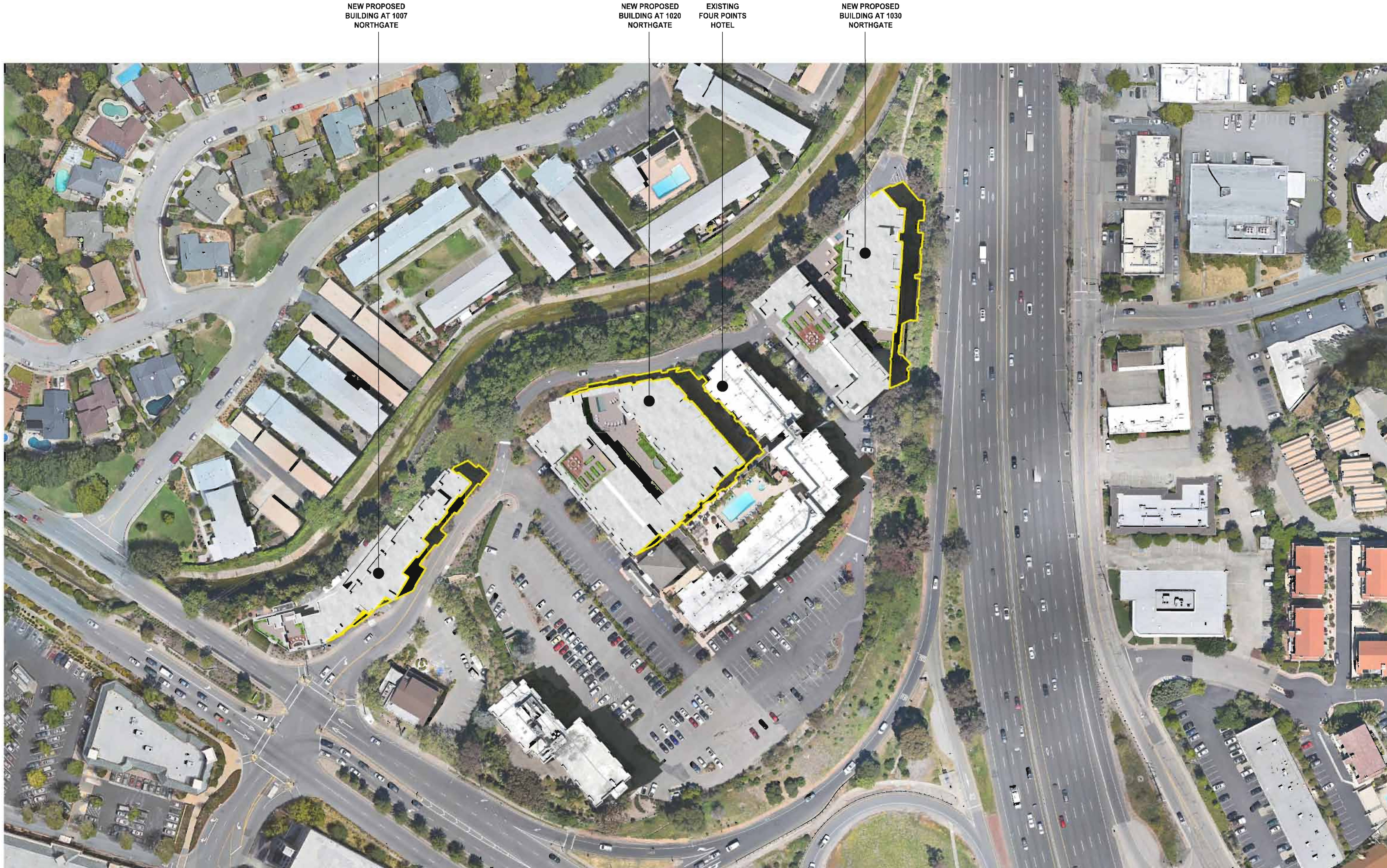
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SH1.1

SHEET OF





NEW PROPOSED  
BUILDING AT 1007  
NORTHGATE

NEW PROPOSED  
BUILDING AT 1020  
NORTHGATE

EXISTING  
FOUR POINTS  
HOTEL

NEW PROPOSED  
BUILDING AT 1030  
NORTHGATE

1

**SHADOW STUDY - JUNE 21 3pm**



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SHADOW STUDY  
 JUNE 21 3pm

SCALE:  
 DATE: 3 / 8 / 2019

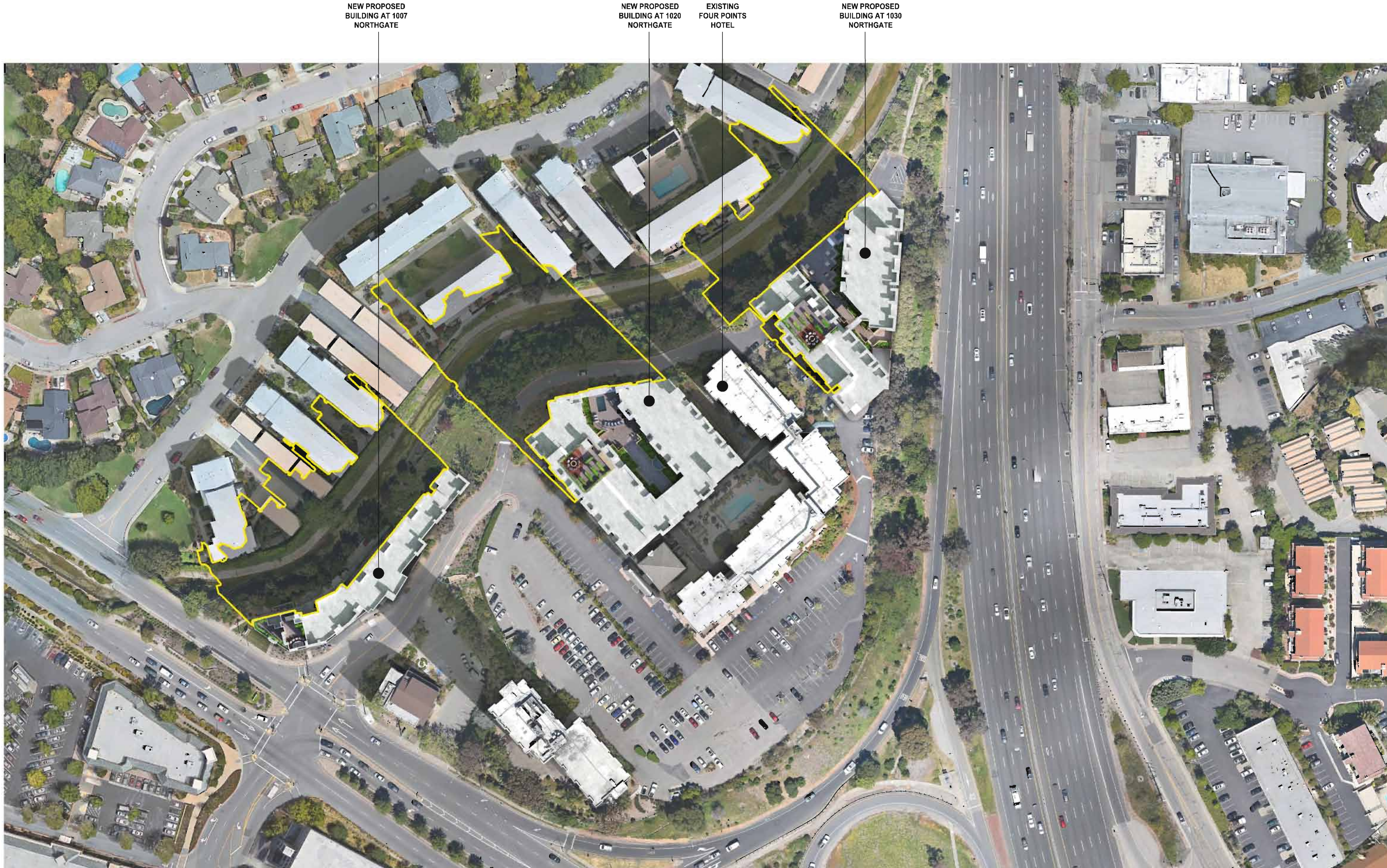
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**SH1.2**

SHEET OF





NEW PROPOSED  
BUILDING AT 1007  
NORTHGATE

NEW PROPOSED  
BUILDING AT 1020  
NORTHGATE

EXISTING  
FOUR POINTS  
HOTEL

NEW PROPOSED  
BUILDING AT 1030  
NORTHGATE

1

SHADOW STUDY - DECEMBER 21 9am



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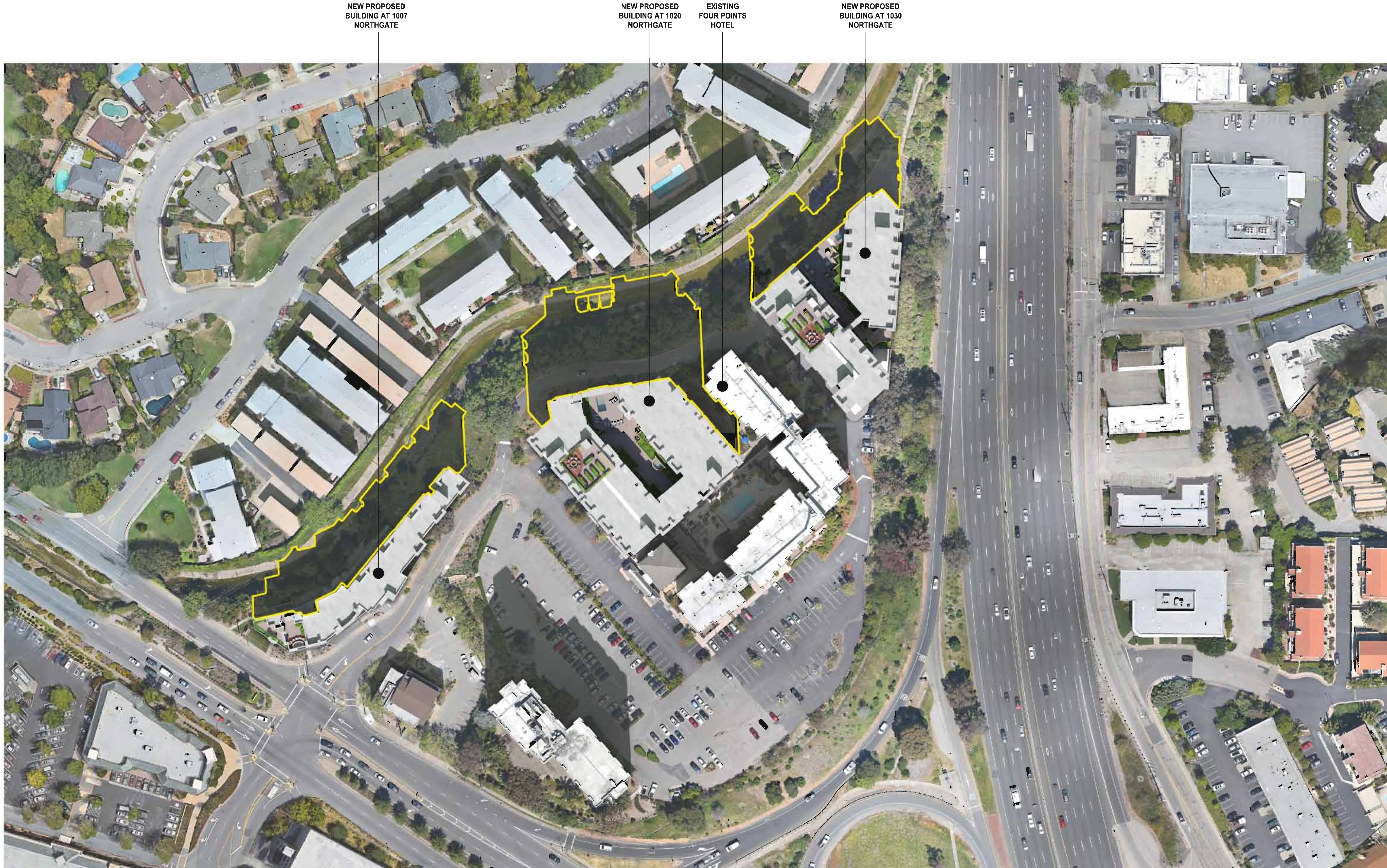
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SHADOW STUDY  
DECEMBER 21 9am

SCALE:  
DATE: 3 / 8 / 2019  
REVISIONS:

PROJECT NO. 15005  
**SH1.3**  
SHEET OF





NEW PROPOSED  
BUILDING AT 1007  
NORTHGATE

NEW PROPOSED  
BUILDING AT 1020  
NORTHGATE

EXISTING  
FOUR POINTS  
HOTEL

NEW PROPOSED  
BUILDING AT 1030  
NORTHGATE

1

SHADOW STUDY - DECEMBER 21 12pm



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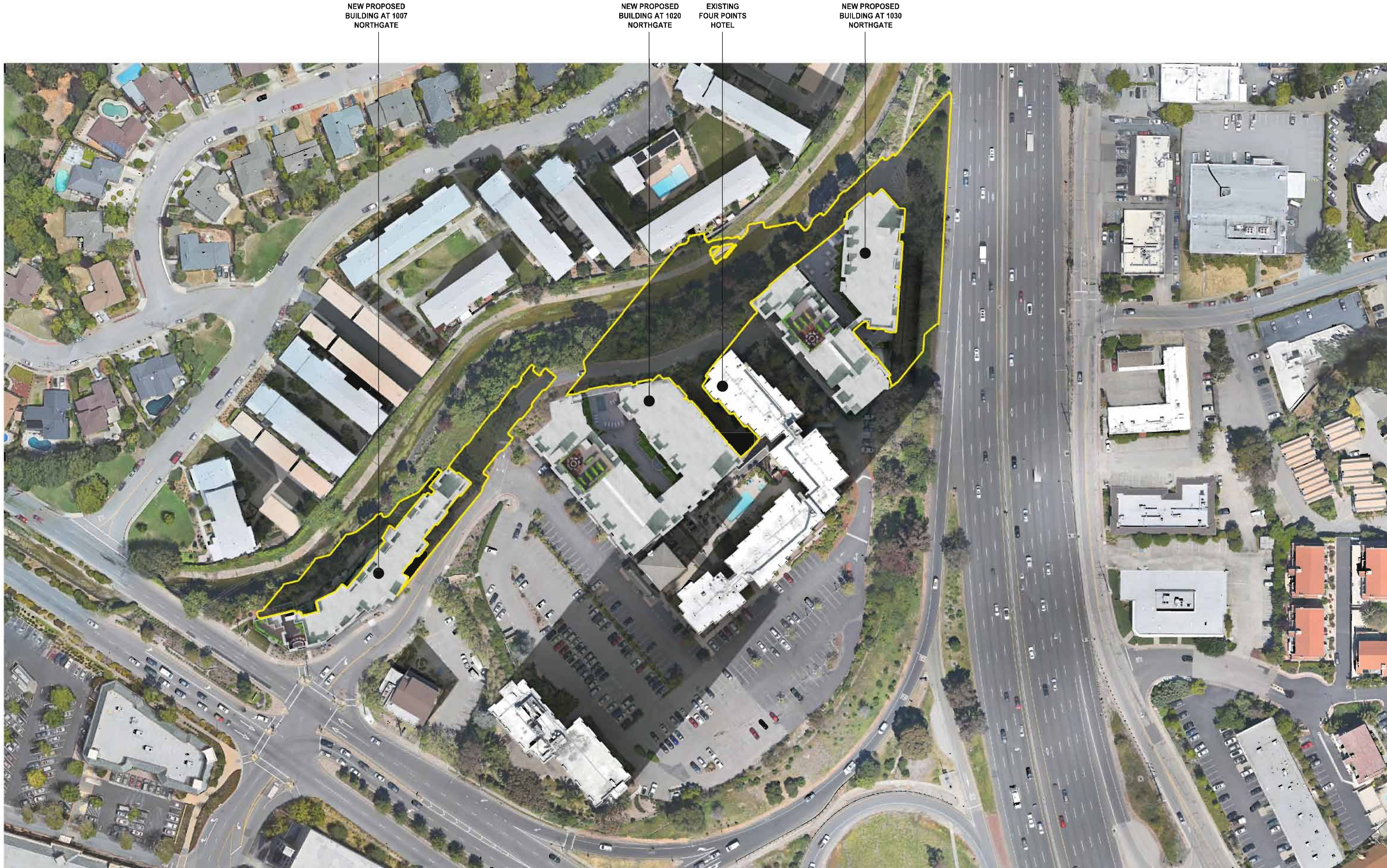
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SHADOW STUDY  
DECEMBER 21 12pm

SCALE:  
DATE: 3 / 8 / 2019  
REVISIONS:

PROJECT NO. 15005  
**SH1.4**  
SHEET OF





NEW PROPOSED  
BUILDING AT 1007  
NORTHGATE

NEW PROPOSED  
BUILDING AT 1020  
NORTHGATE

EXISTING  
FOUR POINTS  
HOTEL

NEW PROPOSED  
BUILDING AT 1030  
NORTHGATE

1

SHADOW STUDY - DECEMBER 21 3pm



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SHADOW STUDY  
DECEMBER 21 3pm

SCALE:  
DATE: 3 / 8 / 2019  
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PROJECT NO. 15005  
**SH1.5**  
SHEET OF

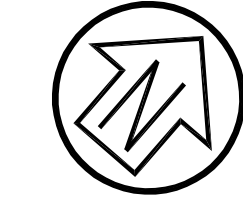


**NOTES:**

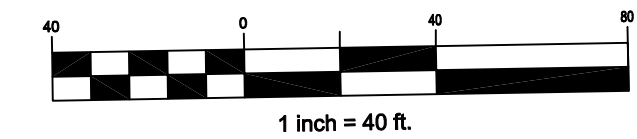
1. PORTIONS OF PARCELS AS SHOWN ON THIS MAP ARE DESIGNATED FEMA FLOOD ZONE X OTHER AREAS (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), FEMA FLOOD INSURANCE RATE MAP PANEL 06041C0293D EFFECTIVE DATE MAY 4, 2009.
2. GROSS LAND AREA = 318,424 Sq. Ft. ±, OR 7.31 AC. ±.
3. TOPOGRAPHIC SURVEY PROVIDED BY AMERICAN LAND SURVEYING, INC. ELEVATIONS SHOWN ON ASSUMED LOCAL DATUM.
4. UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION.

**IMPERVIOUS AREA SUMMARY**

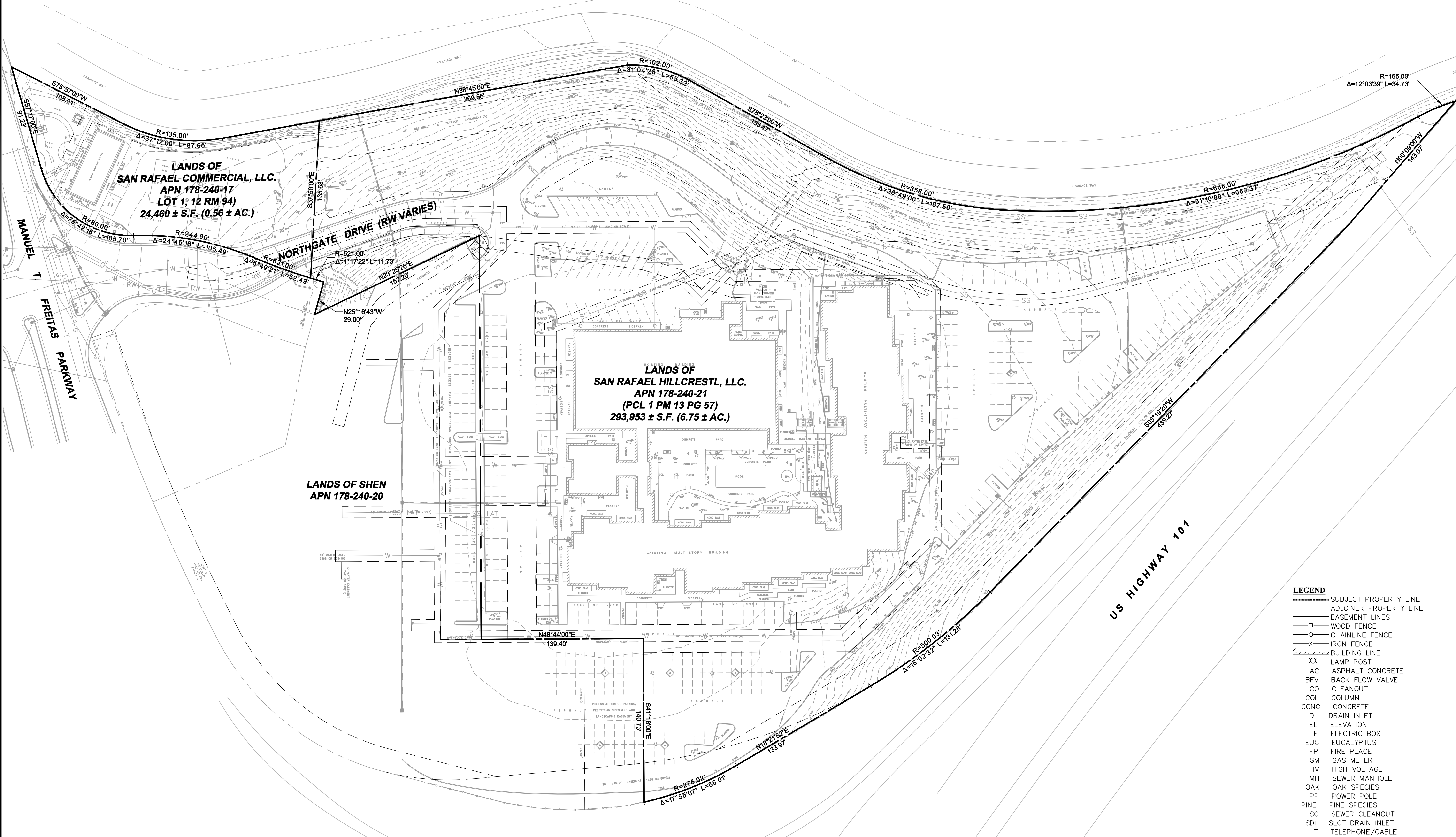
LOT SIZE	318,424 S.F. (7.31 AC.)
EXISTING IMPERVIOUS SURFACE:	193500 S.F.
PAVEMENT	120,500 S.F.
HARDSCAPE / PORCH / DECK (ALLOW)	25,000 S.F.
BUILDING	48,000 S.F.



Graphic Scale (in feet)



Rev	Date	Description	Drawn	Checked
03/08/19		Design Resubmittal	RRB	WFL
03/29/18		Revised Property Lines	RRB	WFL
12/07/17		Rev. Bldg 1007 stairs, northern drive, walk	RRB	WFL
11/18/16		Revised in response to City comments 10/21/16	RRB	WFL
08/17/16		Revised in response to City comments 8/2/16	RRB	WFL
06/30/16		Submitted to Client	RRB	WFL
04/08/16		Submitted to Client	RRB	WFL



**BASIS OF BEARING:**

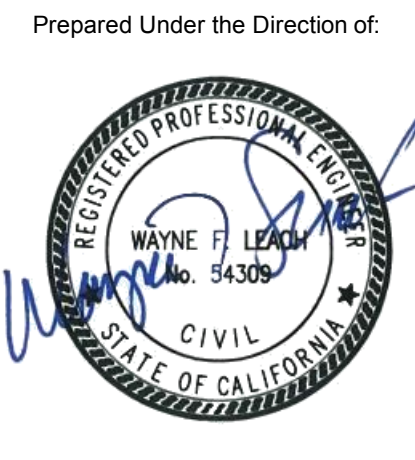
BASIS OF BEARING FOR THIS MAP IS N48°44'00"E BETWEEN FOUND RAILROAD SPIKES PER 13 PARCEL MAPS 57 FILED IN THE OFFICE OF THE MARIN COUNTY RECORDER.

**LEGEND**

---	SUBJECT PROPERTY LINE
---	ADJOINER PROPERTY LINE
---	EASEMENT LINES
□	WOOD FENCE
○	CHAINLINE FENCE
×	IRON FENCE
---	BUILDING LINE
⊙	LAMP POST
AC	ASPHALT CONCRETE
BFV	BACK FLOW VALVE
CO	CLEANOUT
COL	COLUMN
CONC	CONCRETE
DI	DRAIN INLET
EL	ELEVATION
E	ELECTRIC BOX
EUC	EUCALYPTUS
FP	FIRE PLACE
GM	GAS METER
HV	HIGH VOLTAGE
MH	SEWER MANHOLE
OAK	OAK SPECIES
PP	POWER POLE
PINE	PINE SPECIES
SC	SEWER CLEANOUT
SDI	SLOT DRAIN INLET
T	TELEPHONE/CABLE
U	UTILITY BOX
W	WATER VALVE
V	IRRIGATION VALVE

**NORTHGATE WALK**  
**EXISTING CONDITIONS**  
**EMPIRE, USA**

City Of  
**San Rafael**  
County Of  
**Marin**  
State Of  
**California**

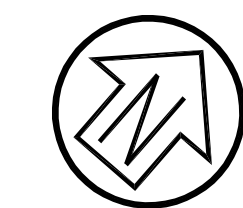


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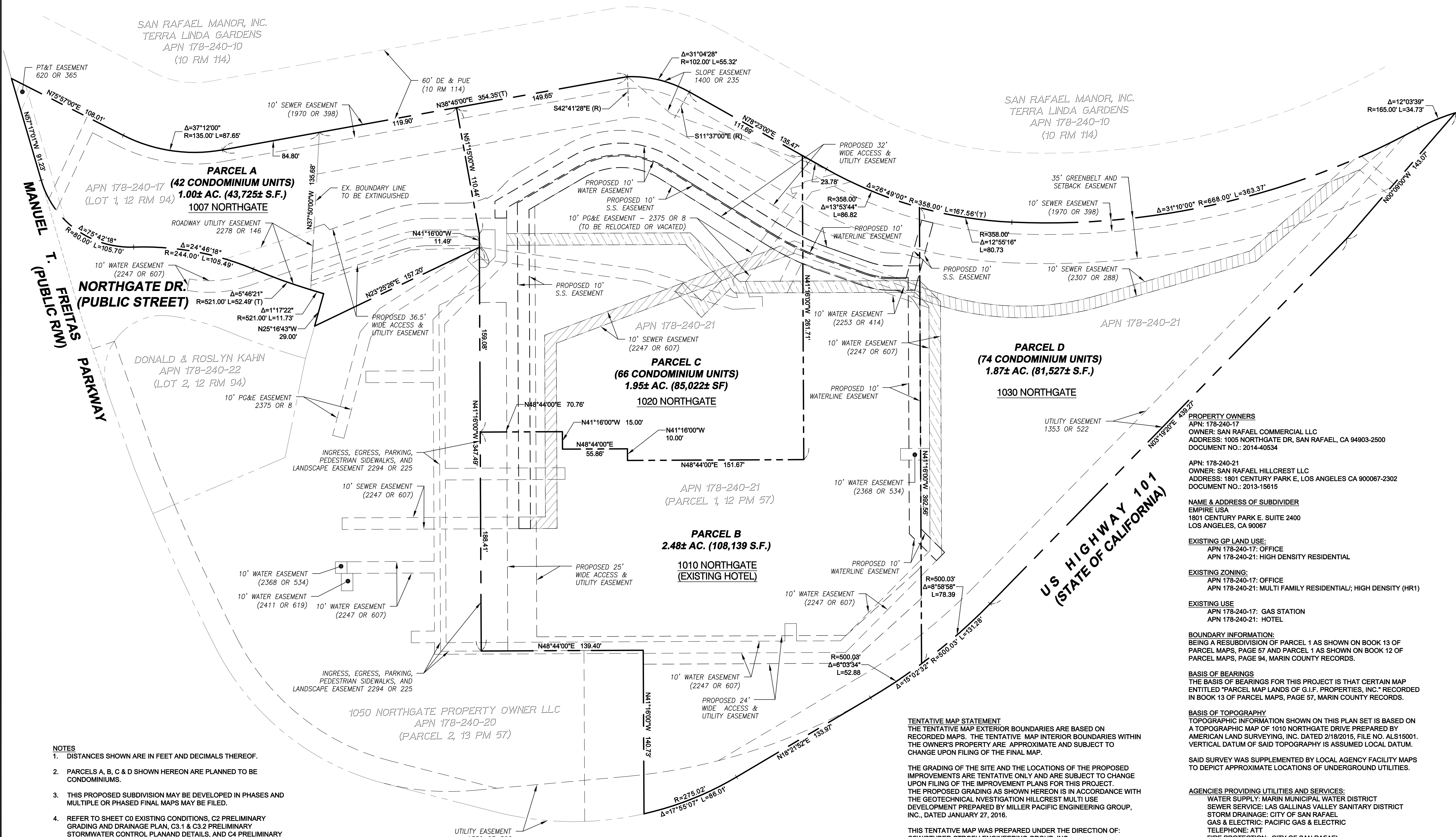
**CO**

Scale:	1" = 40'
Date:	02/02/2016
Project Number:	5.1455.00
Plan File:	D-5290





Graphic Scale (in feet)



- NOTES
1. DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
2. PARCELS A, B, C & D SHOWN HEREON ARE PLANNED TO BE CONDOMINIUMS.
3. THIS PROPOSED SUBDIVISION MAY BE DEVELOPED IN PHASES AND MULTIPLE OR PHASED FINAL MAPS MAY BE FILED.
4. REFER TO SHEET C0 EXISTING CONDITIONS, C2 PRELIMINARY GRADING AND DRAINAGE PLAN, C3.1 & C3.2 PRELIMINARY STORMWATER CONTROL PLAN AND DETAILS, AND C4 PRELIMINARY UTILITY PLAN FOR ADDITIONAL TENTATIVE MAP INFORMATION.
5. REFER TO SHEET A0.0 FOR ADDITIONAL INFORMATION RELATED TO A WRITTEN STATEMENT OF INTENT UNDER SITE INFORMATION AND PROJECT DESCRIPTION.



TENTATIVE MAP STATEMENT
THE TENTATIVE MAP EXTERIOR BOUNDARIES ARE BASED ON RECORDED MAPS. THE TENTATIVE MAP INTERIOR BOUNDARIES WITHIN THE OWNER'S PROPERTY ARE APPROXIMATE AND SUBJECT TO CHANGE UPON FILING OF THE FINAL MAP.

THE GRADING OF THE SITE AND THE LOCATIONS OF THE PROPOSED IMPROVEMENTS ARE TENTATIVE ONLY AND ARE SUBJECT TO CHANGE UPON FILING OF THE IMPROVEMENT PLANS FOR THIS PROJECT. THE PROPOSED GRADING AS SHOWN HEREON IS IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION HILLCREST MULTI USE DEVELOPMENT PREPARED BY MILLER PACIFIC ENGINEERING GROUP, INC., DATED JANUARY 27, 2016.

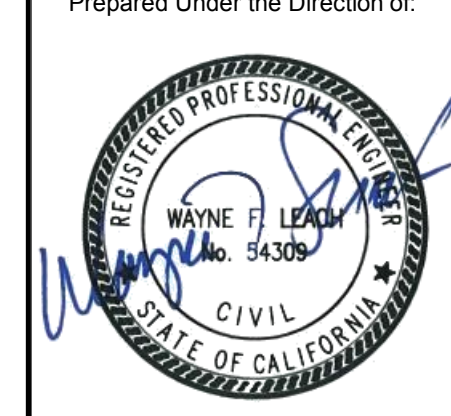
THIS TENTATIVE MAP WAS PREPARED UNDER THE DIRECTION OF: CSW/STUBER-STROEH ENGINEERING GROUP, INC.

PROPERTY OWNERS
APN: 178-240-17
OWNER: SAN RAFAEL COMMERCIAL LLC
ADDRESS: 1005 NORTHGATE DR, SAN RAFAEL, CA 94903-2500
DOCUMENT NO.: 2014-40534
APN: 178-240-21
OWNER: SAN RAFAEL HILLCREST LLC
ADDRESS: 1801 CENTURY PARK E, LOS ANGELES CA 90007-2302
DOCUMENT NO.: 2013-15615
NAME & ADDRESS OF SUBDIVIDER
EMPIRE USA
1801 CENTURY PARK E, SUITE 2400
LOS ANGELES, CA 90067
EXISTING GP LAND USE:
APN 178-240-17: OFFICE
APN 178-240-21: HIGH DENSITY RESIDENTIAL
EXISTING ZONING:
APN 178-240-17: OFFICE
APN 178-240-21: MULTI FAMILY RESIDENTIAL; HIGH DENSITY (HR1)
EXISTING USE
APN 178-240-17: GAS STATION
APN 178-240-21: HOTEL
BOUNDARY INFORMATION:
BEING A RESUBDIVISION OF PARCEL 1 AS SHOWN ON BOOK 13 OF PARCEL MAPS, PAGE 57 AND PARCEL 1 AS SHOWN ON BOOK 12 OF PARCEL MAPS, PAGE 94, MARIN COUNTY RECORDS.
BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS PROJECT IS THAT CERTAIN MAP ENTITLED "PARCEL MAP LANDS OF G.I.F. PROPERTIES, INC." RECORDED IN BOOK 13 OF PARCEL MAPS, PAGE 57, MARIN COUNTY RECORDS.
BASIS OF TOPOGRAPHY
TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN SET IS BASED ON A TOPOGRAPHIC MAP OF 1010 NORTHGATE DRIVE PREPARED BY AMERICAN LAND SURVEYING, INC. DATED 2/18/2015, FILE NO. ALS15001. VERTICAL DATUM OF SAID TOPOGRAPHY IS ASSUMED LOCAL DATUM.
SAID SURVEY WAS SUPPLEMENTED BY LOCAL AGENCY FACILITY MAPS TO DEPICT APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES.
AGENCIES PROVIDING UTILITIES AND SERVICES:
WATER SUPPLY: MARIN MUNICIPAL WATER DISTRICT
SEWER SERVICE: LAS GALLINAS VALLEY SANITARY DISTRICT
STORM DRAINAGE: CITY OF SAN RAFAEL
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: ATT
FIRE PROTECTION: CITY OF SAN RAFAEL

Revision table with columns: Rev, Date, Description, Drawn, Checked, WFL

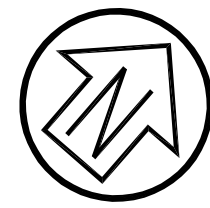
NORTHGATE WALK
VESTING TENTATIVE MAP
EMPIRE, USA

City Of San Rafael
County Of Marin
State Of California

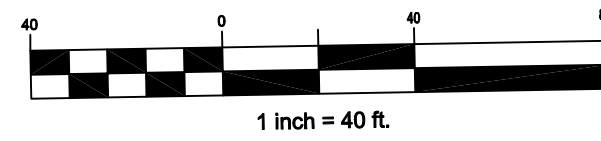


Sheet C1
Scale: 1" = 40'
Date: 02/02/2016
Project Number: 5.1455.00
Plan File: D-5290





Graphic Scale (in feet)



### PRELIMINARY GRADING QUANTITIES

<b>1007 NORTHGATE:</b> CUT: 2,690± CUBIC YARDS FILL: 510± CUBIC YARDS NET: 2,180± CUBIC YARDS	<b>1020 NORTHGATE:</b> CUT: 25,550± CUBIC YARDS FILL: 0± CUBIC YARD NET: 25,550± CUBIC YARDS	<b>1030 NORTHGATE:</b> CUT: 30,670± CUBIC YARDS FILL: 40± CUBIC YARDS NET: 30,630± CUBIC YARDS	<b>1010 NORTHGATE:</b> CUT: 250± CUBIC YARDS FILL: 30± CUBIC YARDS NET: 220± CUBIC YARDS
--	---	---	---

**TOTAL: CUT: 59,160± CUBIC YARDS**  
**FILL: 580± CUBIC YARDS**  
**NET: CUT: 58,580± CUBIC YARDS**

#### NOTES:

- PROPOSED FINISH GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN.
- THE EARTHWORK QUANTITIES ABOVE WERE TAKEN FROM THE DIFFERENCE BETWEEN EXISTING GRADING AND FINISHED GRADE. THE ABOVE EARTHWORK QUANTITIES HAVE NOT BEEN ADJUSTED.

### LEGEND / ABBREVIATIONS

- BIORETENTION AREA
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- CONCRETE VALLEY GUTTER
- RETAINING WALL
- CB CATCH BASIN - UCS
- DI DROP INLET
- SDMH STORM DRAIN MANHOLE
- TREE TO BE REMOVED
- RETAINING WALL HEIGHT

- BW BACK OF WALK
- EG EXISTING GRADE
- (E) EXISTING
- EP. EDGE OF PAVEMENT
- F.F. FINISH FLOOR
- FG FINISH GRADE
- FS FINISH SURFACE
- INV. INVERT
- (N) NEW
- SD STORM DRAIN
- TC TOP OF CURB
- TG TOP OF GRATE
- TP TOP OF PAVEMENT
- TW TOP WALL
- tw TOE WALL

CSW | ST2

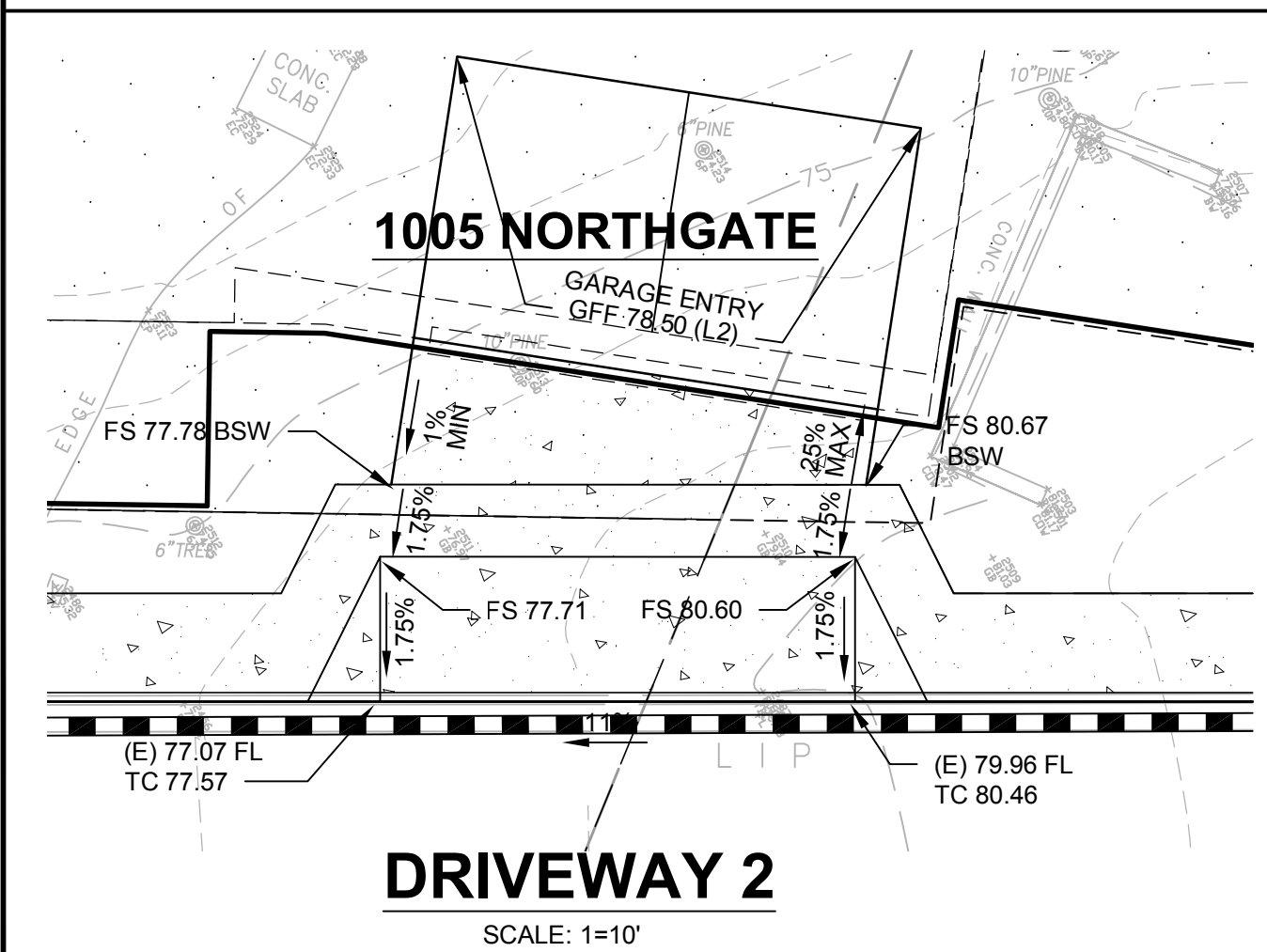
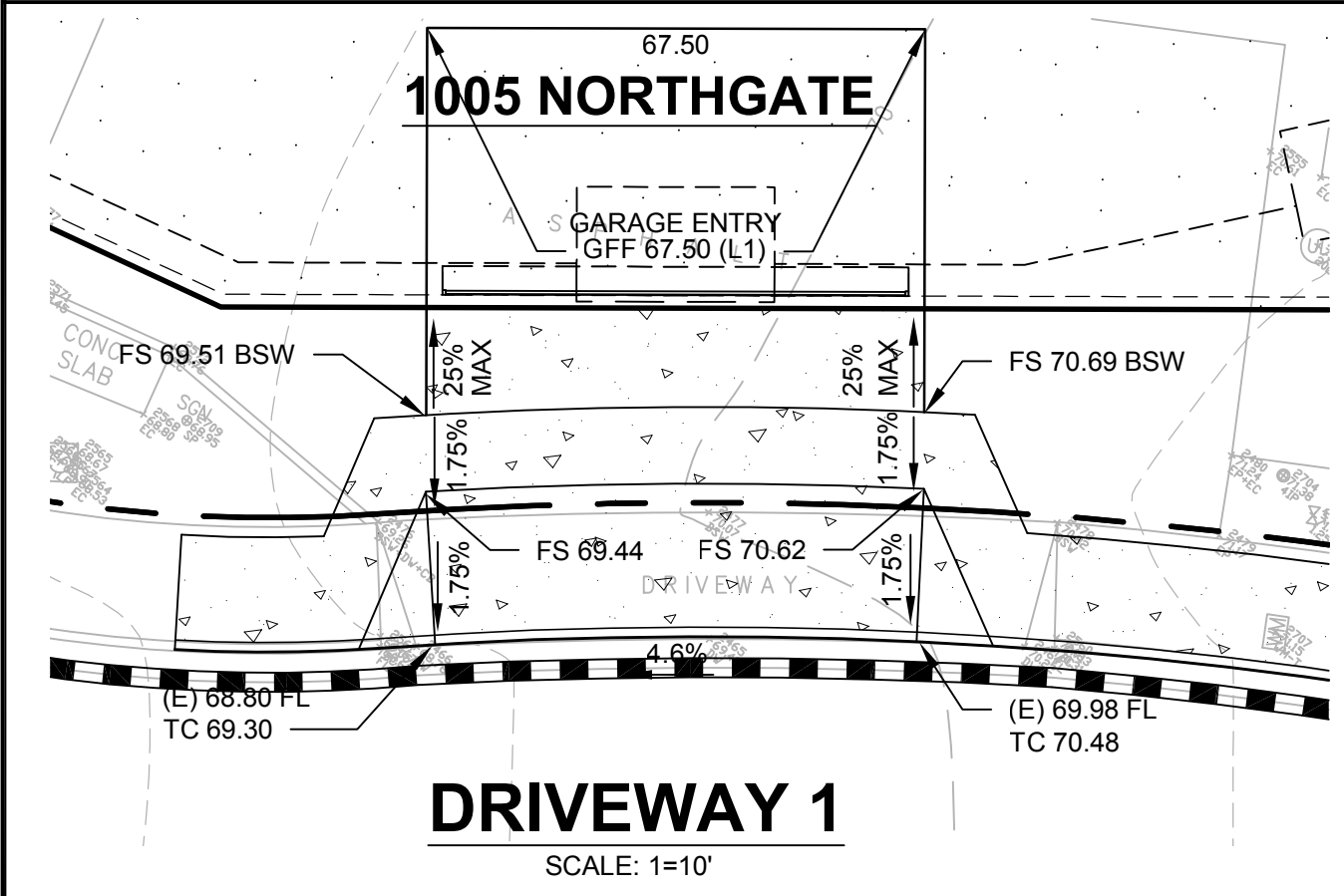
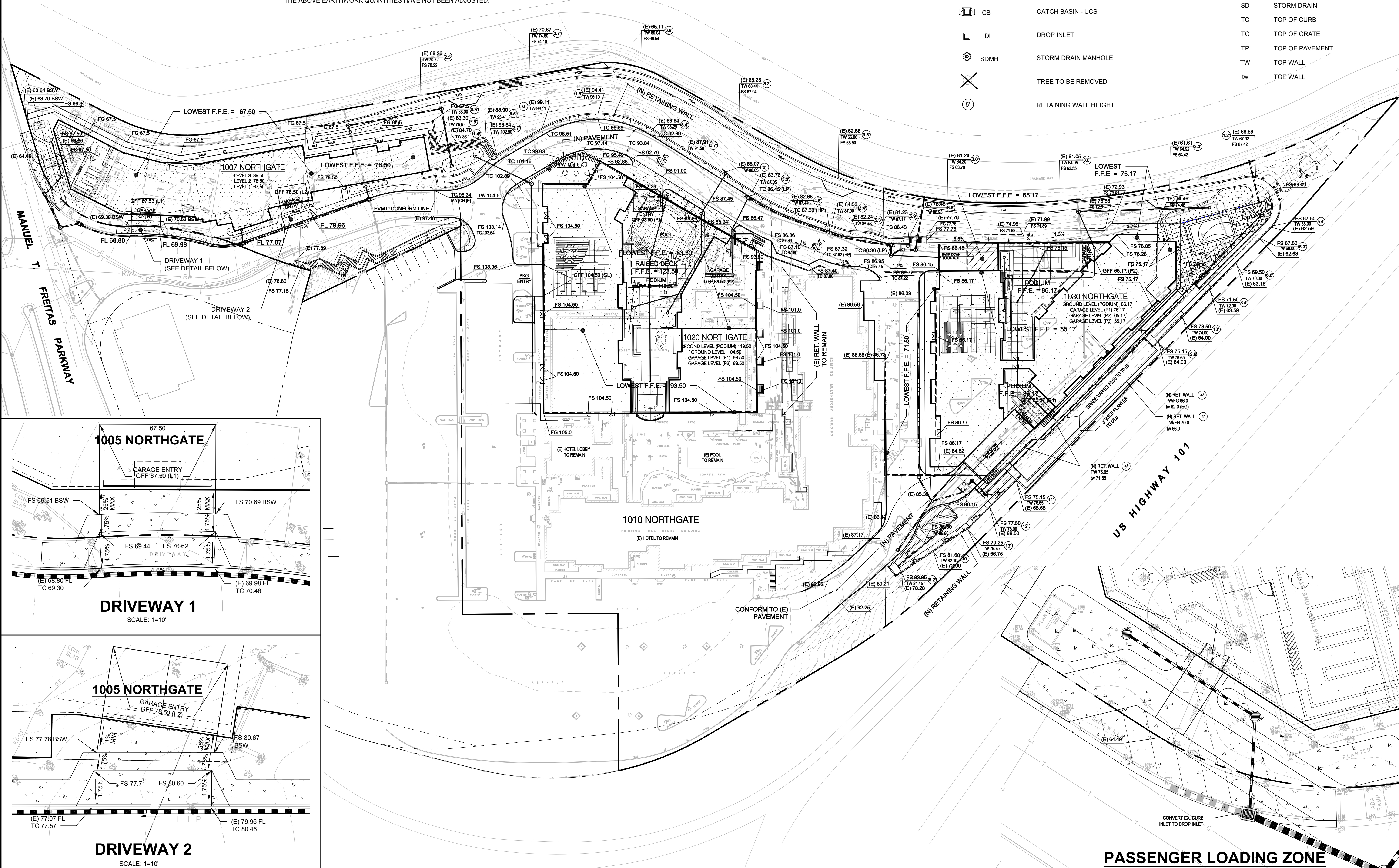
CSW/Stuber-Stroeh Engineering Group, Inc.

45 Leverett Court Novato, CA 94949

Civil & Structural Engineers Surveying & Mapping Environmental Planning Land Planning Construction Management

http://www.cswst2.com

Rev	Date	Description	Drawn	Checked
03/09/19		Design Resubmittal	WFL/RRB	WFL
03/29/19		Revised Property Lines	WFL/RRB	WFL
12/07/17		Rev. Bldg 1007 stairs, northern drive, walk	WFL/RRB	WFL
11/18/16		Revised in response to City comments 10/21/16	WFL/RRB	WFL
08/17/16		Revised in response to City comments 8/2/16	WFL/RRB	WFL
06/30/16		Submitted to Client	WFL/RRB	WFL
04/08/16		Submitted to Client	WFL/RRB	WFL



NORTHGATE WALK  
**PRELIMINARY GRADING  
 AND DRAINAGE PLAN**  
 EMPIRE, USA

City Of  
**San Rafael**  
County Of  
**Marin**  
State Of  
**California**

Prepared Under the Direction of:



Sheet  
**C2**

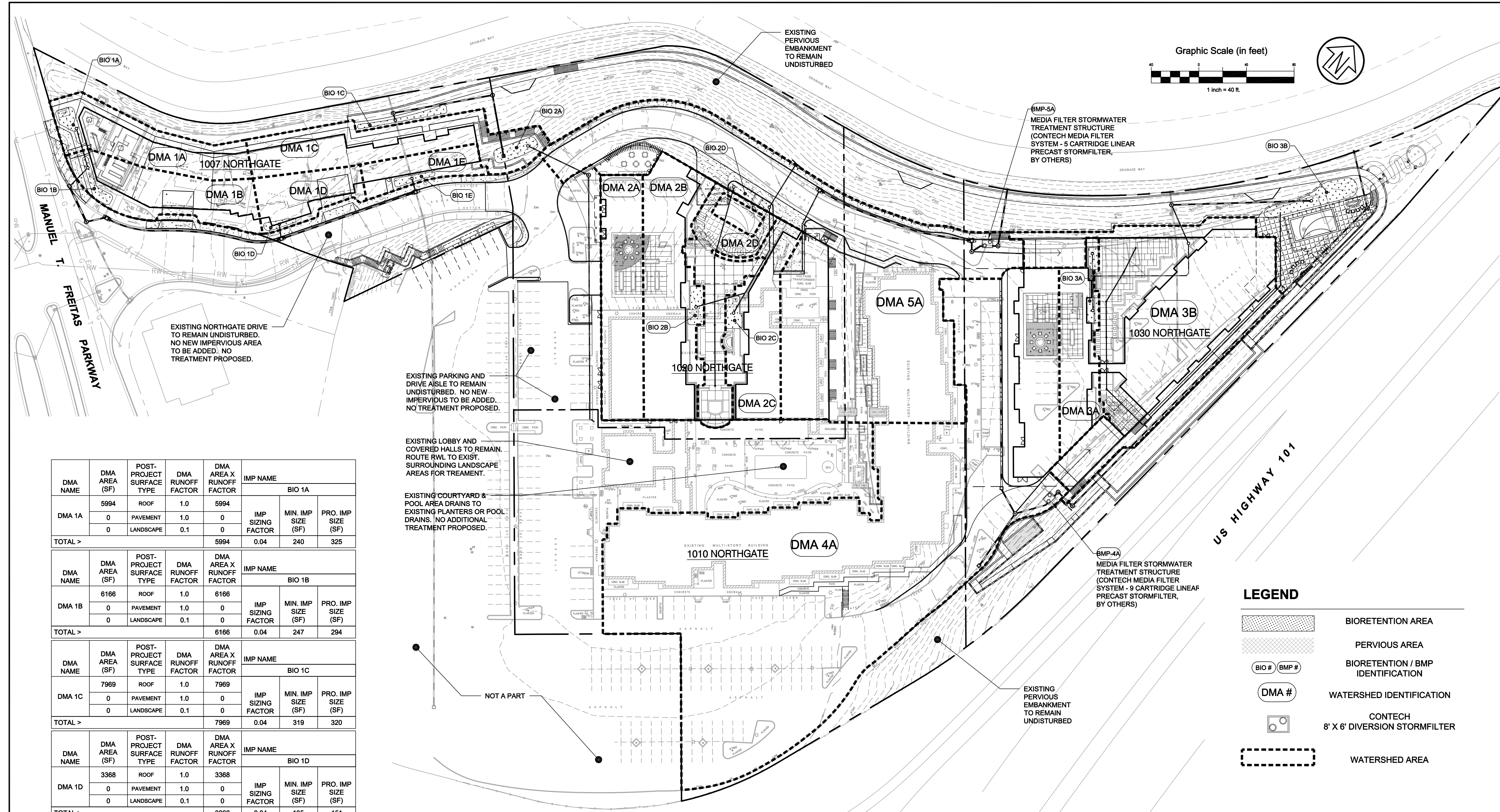
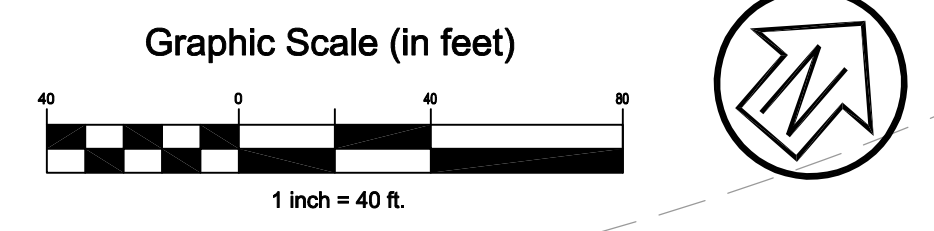
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Date: 02/02/2016  
Project Number: 5.1455.00  
Plan File: D-5290

### PASSENGER LOADING ZONE

SCALE: 1=10'

P:\05145500\DWG\Sheet\_Drawing\CS\_Sheet\_Grading and Drainage.dwg 03/06/2016 10:44:49 AM sheet 11 of 62





DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 1A								
DMA 1A	5994	ROOF	1.0	5994				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	5994			5994	0.04	240	325	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 1B								
DMA 1B	6166	ROOF	1.0	6166				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	6166			6166	0.04	247	294	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 1C								
DMA 1C	7969	ROOF	1.0	7969				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	7969			7969	0.04	319	320	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 1D								
DMA 1D	3368	ROOF	1.0	3368				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	3368			3368	0.04	135	151	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 1E								
DMA 1E	2549	ROOF	1.0	2549				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	2549			2549	0.04	102	187	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 2A								
DMA 2A	7307	ROOF	1.0	7307				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	7307			7307	0.04	292	440	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 2B								
DMA 2B	10038	ROOF	1.0	10038				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	10038			10038	0.04	402	407	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 2C								
DMA 2C	6434	ROOF	1.0	6434				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	6434			6434	0.04	257	351	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 2D								
DMA 2D	6292	ROOF	1.0	6292				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	6292			6292	0.04	252	268	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 3A								
DMA 3A	5032	ROOF	1.0	5032				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	5032			5032	0.04	201	217	

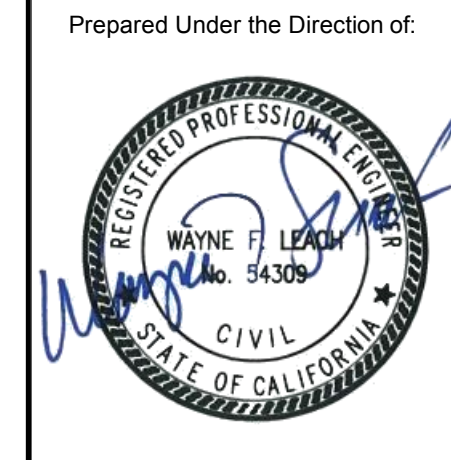
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BIO 3B								
DMA 3B	24887	ROOF	1.0	24887				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	24887			24887	0.04	995	993	

SURFACE TYPE	AREA (AC)	RUNOFF COEFFICIENT	RAINFALL INTENSITY (IN/HR)	TREATMENT FLOW RATE (CFS)	TREATMENT FLOW RATE (GPM)	CARTRIDGE FLOW RATE (GPM)	MINIMUM NO. CARTRIDGES
ROOF/PVMT.	1.61	0.85	0.2	0.27	121	15	9
TOTAL				0.27	121	15	9

SURFACE TYPE	AREA (AC)	RUNOFF COEFFICIENT	RAINFALL INTENSITY (IN/HR)	TREATMENT FLOW RATE (CFS)	TREATMENT FLOW RATE (GPM)	CARTRIDGE FLOW RATE (GPM)	MINIMUM NO. CARTRIDGES
ROOF/PVMT.	0.89	0.85	0.2	0.15	67	15	5
TOTAL				0.15	67	15	5

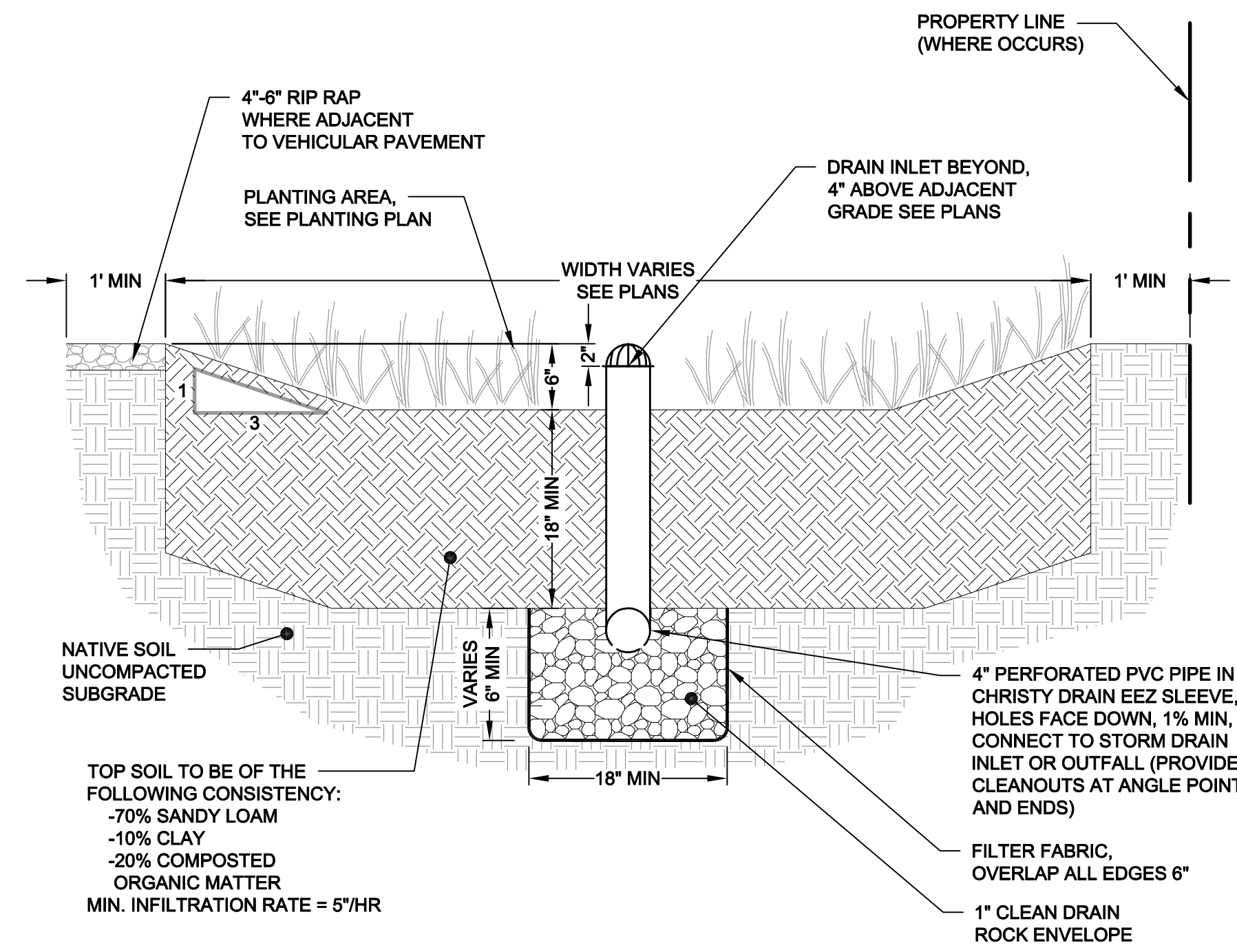
**NORTHGATE WALK**  
**PRELIMINARY STORMWATER CONTROL PLAN**  
 EMPIRE, USA

City Of  
**San Rafael**  
 County Of  
**Marin**  
 State Of  
**California**



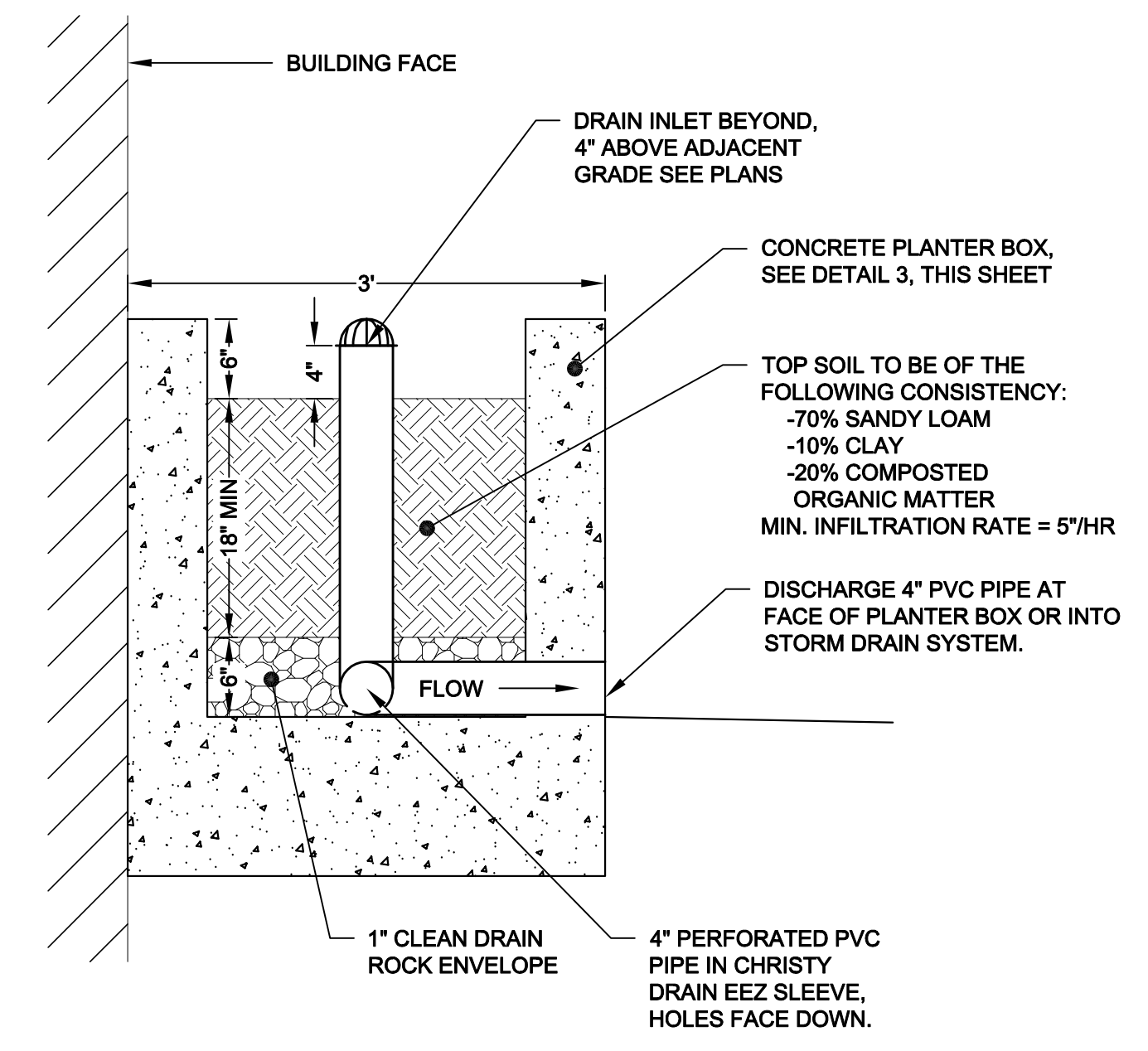
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 Date: 02/02/2016  
 Project Number: 5.1455.00  
 Plan File: D-5290



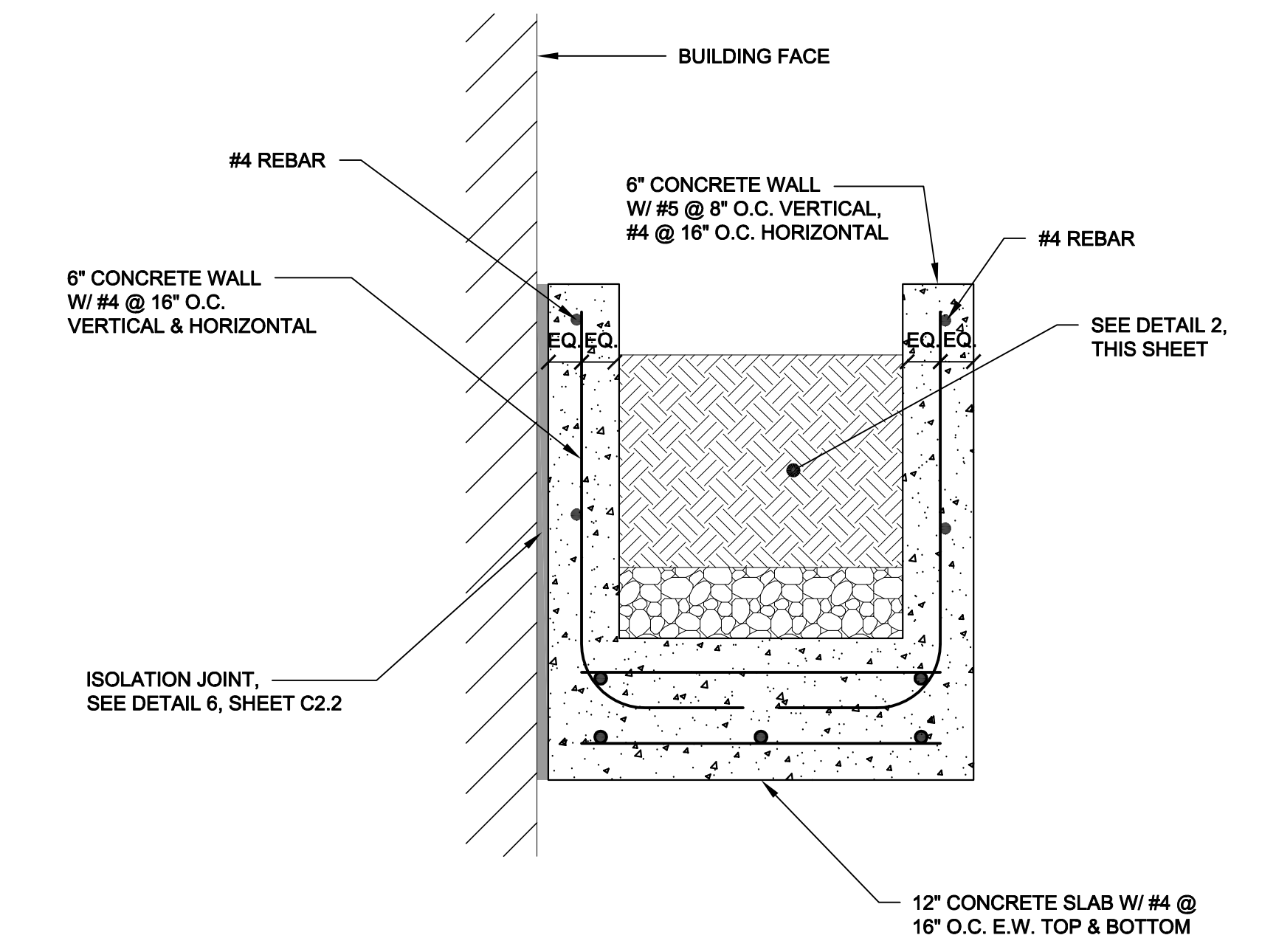


- BIORETENTION AREA CONSTRUCTION NOTES**
1. SCARIFY SUBGRADE BEFORE INSTALLING BIORETENTION AREA AGGREGATE AND BIORETENTION SOIL MEDIA.
  2. COMPACT EACH 6" LIFT OF BIORETENTION SOIL MEDIA WITH LANDSCAPE ROLLER OR BY LIGHTLY WETTING, IF WETTING, LET DRY OVERNIGHT BEFORE PLANTING.
  3. NEVER WORK WITHIN BIORETENTION AREA LIMITS DURING RAIN OR UNDER WET CONDITIONS.
  4. KEEP ALL HEAVY MACHINERY OUTSIDE BIORETENTION AREA LIMITS.

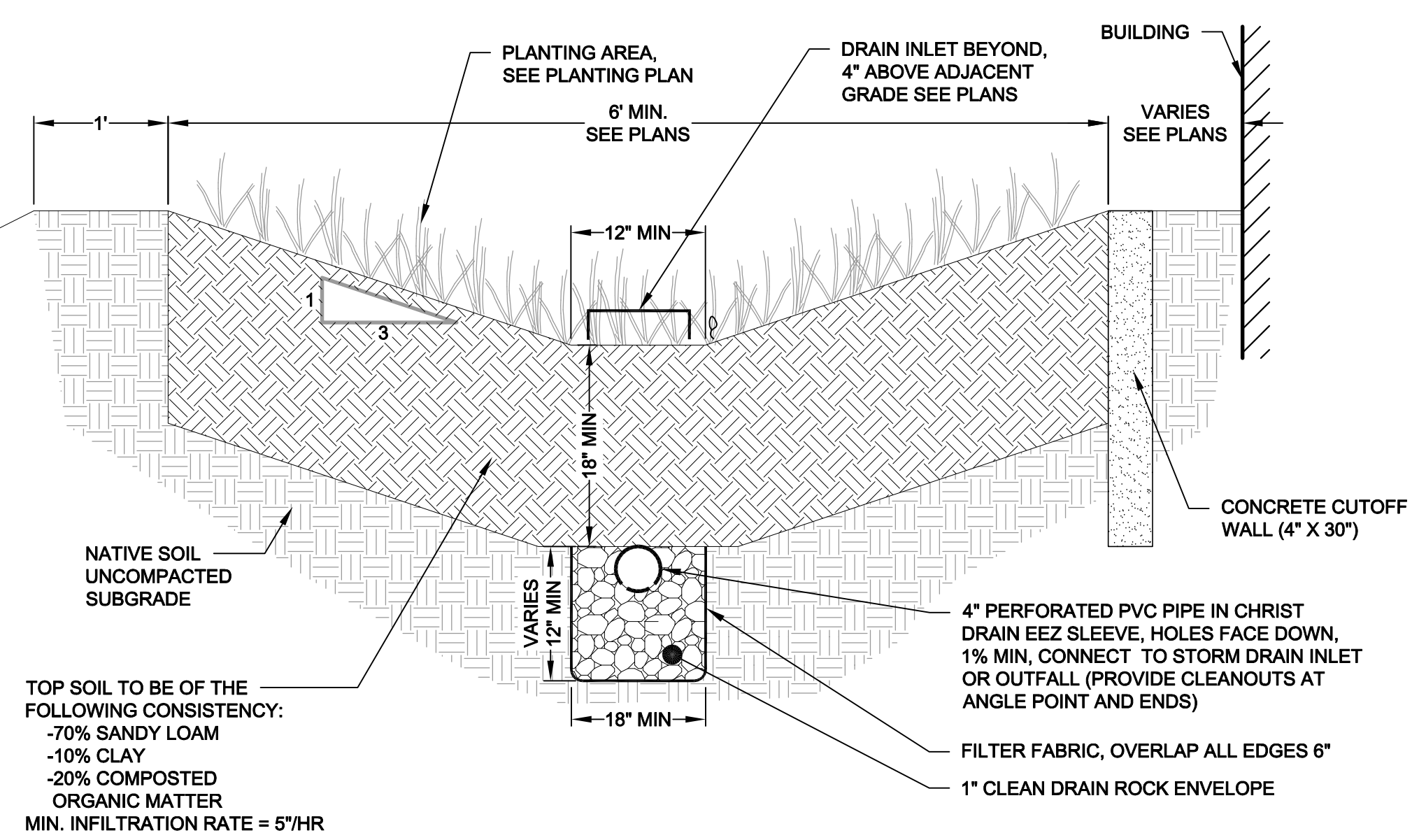
**1 BIORETENTION AREA DETAIL**  
 SCALE: 1" = 1'



**2 BIORETENTION PLANTER DETAIL**  
 SCALE: 1" = 1'



**3 CONCRETE PLANTER BOX DETAIL**  
 SCALE: 1" = 1'



- NOTE:**
1. BIORETENTION AREAS HAVE A MINIMUM DEPTH OF 12".
  2. EXCLUDE THE PERFORATED SUBDRAIN AT BIORETENTION AREA B1.

**5 BIORETENTION DETAIL**  
 SCALE: 1" = 1'

**GENERAL NOTES**

1. REMOVE EXISTING SOIL IN BIORETENTION AREAS.
2. THE BASE OF A BIORETENTION AREAS IS GRADED FLAT WITH A 2' MINIMUM WIDTH. IN AREAS WHERE THE 7' TOTAL WIDTH CANNOT BE ACHIEVED, THE BASE MAY BE REDUCED TO A 1' MINIMUM WIDTH. SEE PLANS FOR GRADING AND DRAIN LINES.
3. ALL BIORETENTION AREAS SHALL MAINTAIN A MINIMUM 1' SETBACK FROM PROPERTY LINES.
4. ALL PLANTING IN THE BIORETENTION AREAS SHALL BE CONSISTENT WITH LANDSCAPE PLANS.

Rev	Date	Description	Designed	Drawn	Checked
	03/08/19	Design Resubmittal	WFL/RRB	RRB	WFL
	03/29/19	Revised Property Lines	WFL/RRB	RRB	WFL
	12/07/17	Rev. Bldg 1007 stairs, northern drive, walk	WFL/RRB	RRB	WFL
	11/18/16	Revised in response to City comments 10/21/16	WFL/RRB	RRB	WFL
	08/17/16	Revised in response to City comments 8/2/16	WFL/RRB	RRB	WFL
	06/30/16	Submitted to Client	WFL/RRB	RRB	WFL
	04/08/16	Submitted to Client	WFL/RRB	RRB	WFL

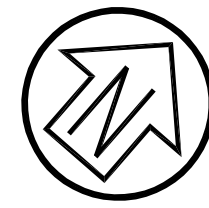
**NORTHGATE WALK  
 PRELIMINARY STORMWATER  
 CONTROL DETAILS  
 EMPIRE, USA**

City Of  
**San Rafael**  
 County Of  
**Marin**  
 State Of  
**California**

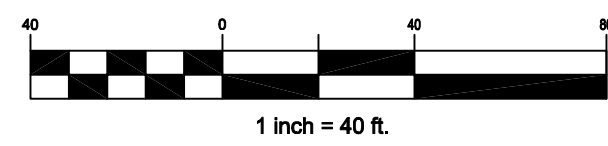
Prepared Under the Direction of:  
  
 WAYNE F. LEARY  
 No. 54305  
 CIVIL  
 STATE OF CALIFORNIA

Sheet  
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 Date: 02/02/2016  
 Project Number: 5.1455.00  
 Plan File: D-5290



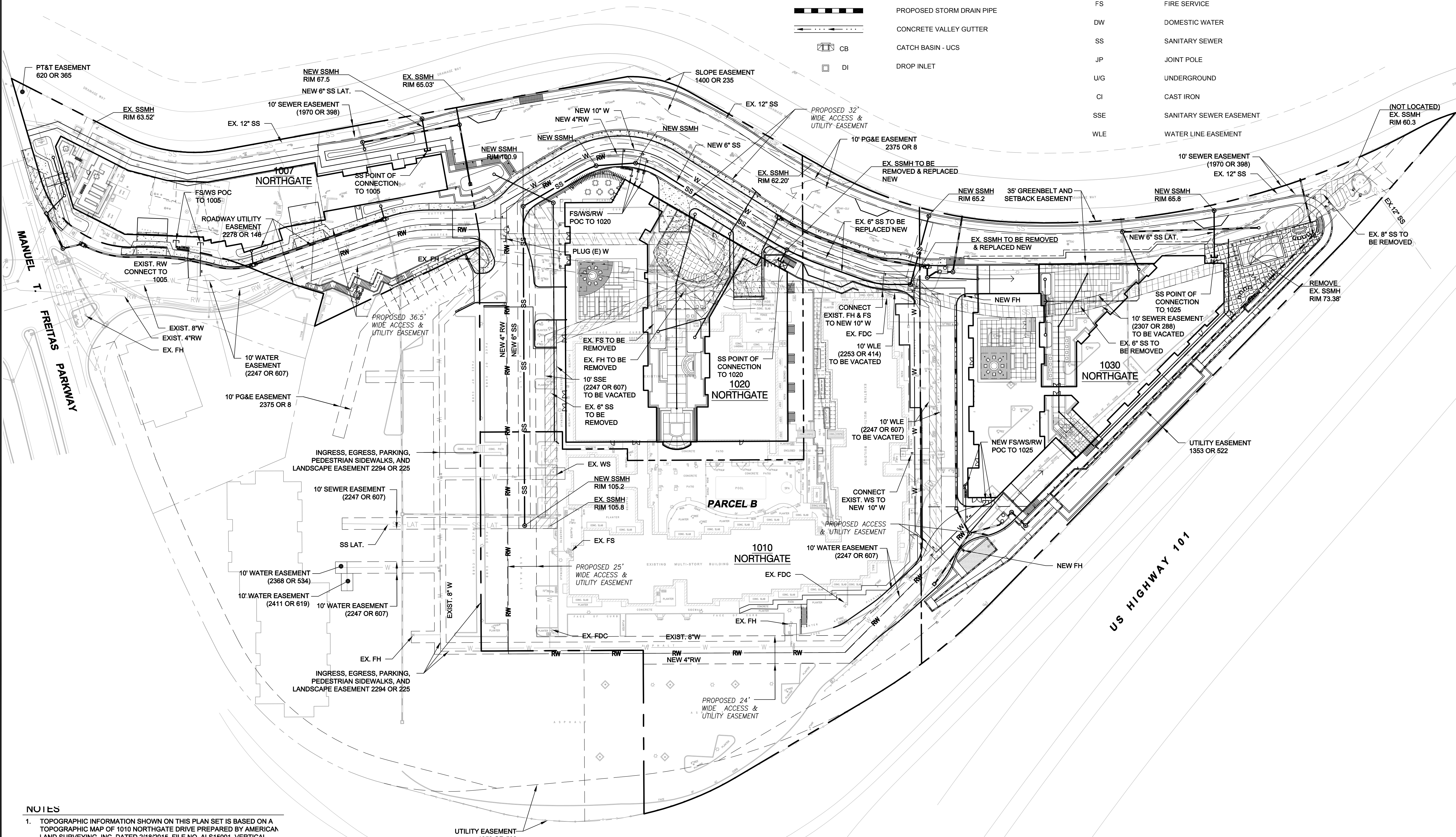


Graphic Scale (in feet)



### LEGEND / ABBREVIATIONS

— W —	WATERLINE	SD	SDMH	STORM DRAIN MANHOLE
— SS —	SANITARY SEWER LINE	HS	HYDRODYNAMIC SEPARATOR	HYDRODYNAMIC SEPARATOR
— JT —	JOINT TRENCH	SS	SSMH	SANITARY SEWER MANHOLE
— RW —	RECYCLED WATER (EXISTING)	SSCO	SSCO	SANITARY SEWER CLEANOUT
— OH —	OVERHEAD LINE (EXISTING)	FH	FH	FIRE HYDRANT
— — —	STORM DRAIN PIPE (EXISTING)	FDC	FDC	FIRE DEPARTMENT CONNECTION
— — —	PROPOSED STORM DRAIN PIPE	POC	POC	POINT OF CONNECTION
— — —	CONCRETE VALLEY GUTTER	FS	FS	FIRE SERVICE
CB	CATCH BASIN - UCS	DW	DW	DOMESTIC WATER
DI	DROP INLET	SS	SS	SANITARY SEWER
		JP	JP	JOINT POLE
		U/G	U/G	UNDERGROUND
		CI	CI	CAST IRON
		SSE	SSE	SANITARY SEWER EASEMENT
		WLE	WLE	WATER LINE EASEMENT



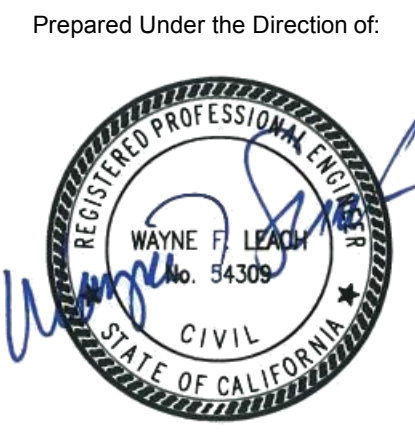
- NOTES**
1. TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN SET IS BASED ON A TOPOGRAPHIC MAP OF 1010 NORTHGATE DRIVE PREPARED BY AMERICAN LAND SURVEYING, INC. DATED 2/18/2015, FILE NO. ALS15001. VERTICAL DATUM OF SAID TOPOGRAPHY IS ASSUMED LOCAL DATUM.
  2. APPROXIMATE LOCATION OF UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS COMPILED FROM LOCAL AGENCY FACILITY AND SCHEMATIC MAPS. LOCATIONS OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
  3. DISTANCES AND ELEVATIONS SHOWN ARE IN FEET A DECIMALS THEREOF

**CSW | ST2**  
**CSW/Stuber-Stroeh Engineering Group, Inc.**  
 45 Leverett Court Novato, CA 94949 tel: 415.883.9850 fax: 415.883.9858  
 Civil & Structural Engineers  
 Surveying & Mapping  
 Environmental Planning  
 Land Planning  
 Construction Management  
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Rev	Date	Description	Drawn	Checked
03/08/19		Design Resubmittal	WFL/RRB	WFL
03/29/18		Revised Property Lines	WFL/RRB	WFL
12/07/17		Rev. Bldg 1007 stairs, northern drive, walk	WFL/RRB	WFL
11/18/16		Revised in response to City comments 10/21/16	WFL/RRB	WFL
08/17/16		Revised in response to City comments 8/2/16	WFL/RRB	WFL
06/30/16		Submitted to Client	WFL/RRB	WFL
04/08/16		Submitted to Client	WFL/RRB	WFL

NORTHGATE WALK  
**PRELIMINARY UTILITY PLAN**  
 EMPIRE, USA

City Of  
**San Rafael**  
 County Of  
**Marin**  
 State Of  
**California**



Sheet  
**C4**  
 Scale: 1" = 40'  
 Date: 02/02/2016  
 Project Number: 5.1455.00  
 Plan File: D-5290



**NORTHGATE WALK**

1007, 1010, 1020, & 1030  
 NORTHGATE DRIVE  
 SAN RAFAEL, CA



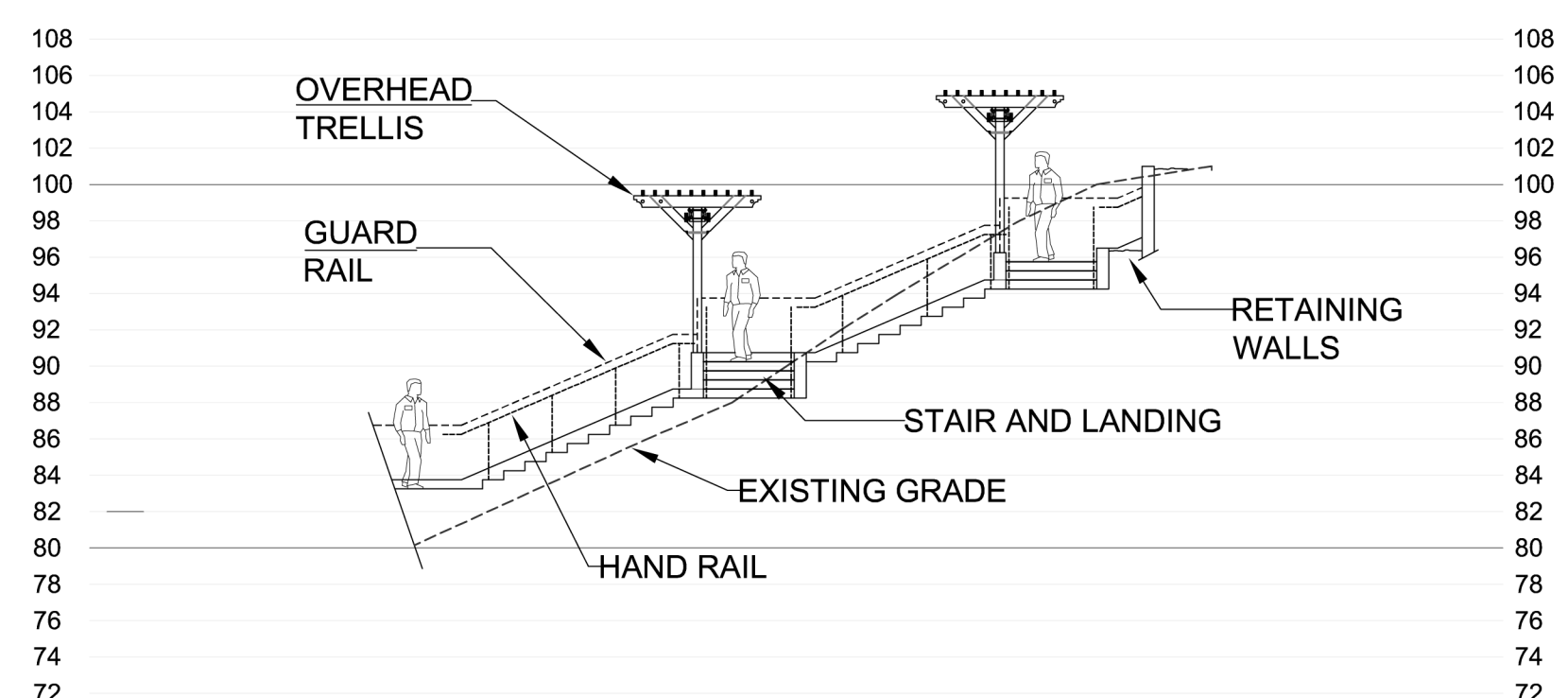
**PRELIMINARY DRAWINGS**  
 NOT FOR CONSTRUCTION

DATE	ISSUES & REVISIONS	NO.
03/08/19	DESIGN RESUB.	5
10/22/18	RENDERING	4
03/26/18	DESIGN RESUB.	3
03/05/18	DESIGN RESUB.	2
08/29/17	DESIGN SUB.	1

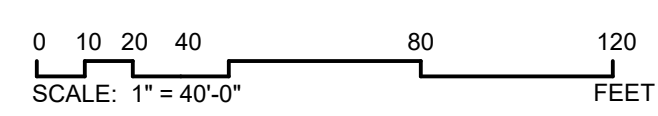
DATE	ISSUES & REVISIONS	NO.

**CONSTRUCTION NOTES**

1. WATERPROOFING AND SLAB PENETRATIONS: WATERPROOFING AND SLAB PENETRATIONS THROUGHOUT ALL PODIUM GARDENS, ROOF TOP GARDENS AND ANY OTHER IMPROVEMENTS ON STRUCTURE THROUGHOUT THIS PROJECT (INCLUDING THOSE NEEDED FOR IRRIGATION), ARE NOT INCLUDED THIS LANDSCAPE DESIGN SCOPE OF WORK AND SHALL BE PERFORMED BY OTHERS.
2. GRADING AND DRAINAGE: ALL FINAL GRADING AND DRAINAGE DESIGN WILL BE PERFORMED BY OTHERS. ANY GRADING OR DRAINAGE INFORMATION SHOWN ON THESE LANDSCAPE PLANS IS SHOWN FOR CONVENIENCE ONLY.
3. LIABILITY LIMITATION: ALL INFORMATION SHOWN IN THIS DOCUMENT SHALL BE CONSIDERED SUITABLE FOR DESIGN REVIEW AND NOT FOR CONSTRUCTION PURPOSES.
4. RAISED PLANTER BACKFILL: RAISED PLANTER BACKFILL SPECIFICATIONS SHALL BE DETERMINED DURING THE CONSTRUCTION DOCUMENTATION PHASE.

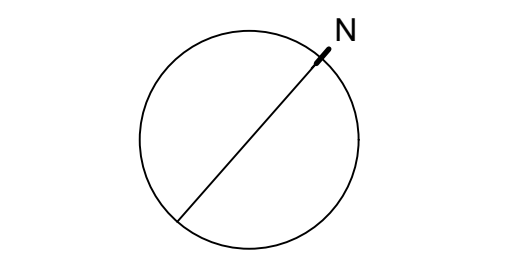


**SECTION "G" THROUGH ENTRY STAIR**  
 1" = 10'-0"



PROJECT# 1736 DRAWN BY: JM/JP  
 ORIGINAL DRAWING SIZE: 24" X 36"

SCALE: AS NOTED



**LANDSCAPE MASTER PLAN**

SHEET #

**L-1.1**

All written material appearing herein constitutes original unpublished work of the landscape architect and may not be duplicated, used or disclosed without the written consent of the landscape architect.

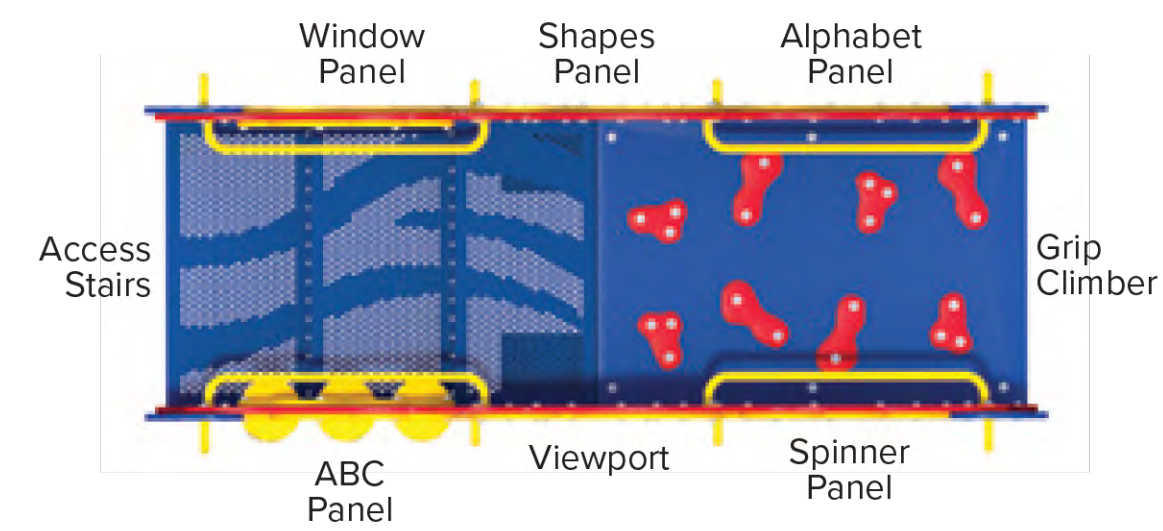




EXERCISE STATIONS



TODDLER PLAY EQUIPMENT, PC3182 BY PLAYCRAFT SYSTEMS



BBQ ISLAND (SIMILAR) AND 42" GRILL

**NORTHGATE WALK**

1007, 1010, 1020, & 1030  
 NORTHGATE DRIVE  
 SAN RAFAEL, CA

**PRELIMINARY DRAWINGS**  
 NOT FOR CONSTRUCTION

03/08/19	DESIGN RESUB.	5
10/22/18	RENDERING	4
03/26/18	DESIGN RESUB.	3
03/05/18	DESIGN RESUB.	2
08/29/17	DESIGN SUB.	1

DATE	ISSUES & REVISIONS	NO.
------	--------------------	-----

PROJECT# 1736 DRAWN BY: JM/JP  
 ORIGINAL DRAWING SIZE: 24" X 36"

**MATERIAL IMAGES**

SHEET #

**L-1.2**

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**NORTHGATE WALK**

1007, 1010, 1020, & 1030  
 NORTHGATE DRIVE  
 SAN RAFAEL, CA

**PRELIMINARY DRAWINGS**  
 NOT FOR CONSTRUCTION

DATE	ISSUES & REVISIONS	NO.
03/08/19	DESIGN RESUB.	5
10/22/18	RENDERING	4
03/26/18	DESIGN RESUB.	3
03/05/18	DESIGN RESUB.	2
08/29/17	DESIGN SUB.	1

DATE ISSUES & REVISIONS NO.

PROJECT# 1736 DRAWN BY: JM/JP

ORIGINAL DRAWING SIZE: 24" X 36"

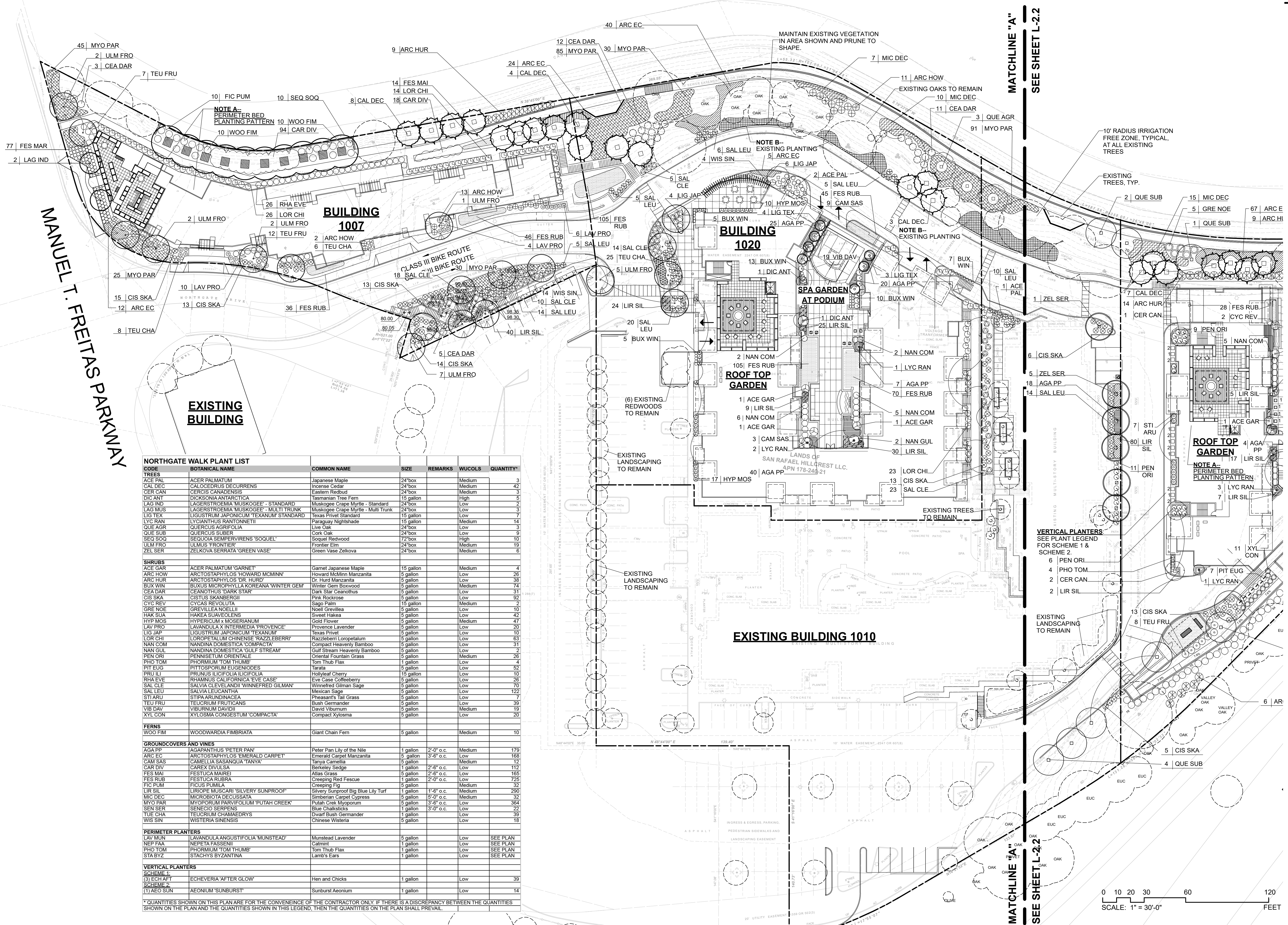
SCALE: AS NOTED

**PLANTING PLAN**

SHEET #

**L-2.1**

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**NORTHGATE WALK PLANT LIST**

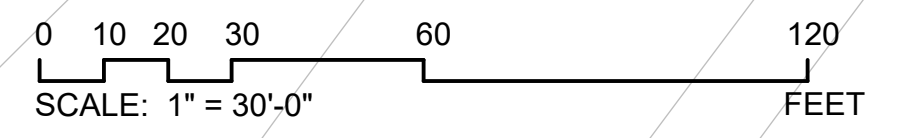
CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	WUCOLS	QUANTITY
<b>TREES</b>						
ACE PAL	ACER PALMATUM	Japanese Maple	24"box		Medium	3
CAL DEC	CALOCEDRUS DECURRENS	Incense Cedar	24"box		Medium	42
CER CAN	CERCIS CANADENSIS	Eastern Redbud	24"box		Medium	3
DIC ANT	DICKSONIA ARCTICA	Tasmanian Tree Fern	15 gallon		High	5
LAG IND	LAGERSTROEMIA 'MUSKOGEE' - STANDARD	Muskogee Crape Myrtle - Standard	24"box		Low	2
LAG MUS	LAGERSTROEMIA 'MUSKOGEE' - MULTI TRUNK	Muskogee Crape Myrtle - Multi Trunk	24"box		Low	3
LIG TEX	LIGUSTRUM JAPONICUM 'TEXANUM' STANDARD	Texas Privet Standard	15 gallon		Low	7
LYC RAN	LYCANTHUS RANTANNEII	Paraguay Nightshade	15 gallon		Medium	14
QUE AGR	QUERCUS AGRIFOLIA	Live Oak	24"box		Low	3
QUE SUB	QUERCUS SUBER	Cork Oak	24"box		Low	9
SEQ SOQ	SEQUOIA SEMPERVIRENS 'SOQUEL'	Frontier Redwood	72"box		High	10
ULM FRO	ULMUS FRONTALIS	Frontier Elm	24"box		Medium	19
ZEL SER	ZELKOVA SERRATA 'GREEN VASE'	Green Vase Zelkova	24"box		Medium	6
<b>SHRUBS</b>						
ACE GAR	ACER PALMATUM 'GARNET'	Garnet Japanese Maple	15 gallon		Medium	4
ARC HOW	ARCTOSTAPHYLOS 'HOWARD MCMINN'	Howard McMinn Manzanita	5 gallon		Low	26
ARC HUR	ARCTOSTAPHYLOS 'DR. HURD'	Dr. Hurd Manzanita	5 gallon		Low	38
BUX WIN	BUXUS MICROPHYLLA 'KOREANA WINTER GEM'	Winter Gem Boxwood	5 gallon		Medium	74
CEA DAR	CELANOTHUS 'DARK STAR'	Dark Star Ceanothus	5 gallon		Low	31
CIS SKA	CISTUS SKANBERGII	Pink Rockrose	5 gallon		Low	92
CYC REV	CYCAS REVOLUTA	Sago Palm	15 gallon		Medium	2
GRE NOE	GREVILLEA NOELLII	Noel Grevillea	5 gallon		Low	10
HAKA SUA	HAKA SUAVIENS	Sweet Hakia	5 gallon		Low	42
HYP MOS	HYPERICUM X MOSERIANUM	Gold Flower	5 gallon		Medium	47
LAV PRO	LAVANDULA X INTERMEDIA 'PROVENCE'	Provence Lavender	5 gallon		Low	20
LIG JAP	LIGUSTRUM JAPONICUM 'TEXANUM'	Texas Privet	5 gallon		Low	10
LOR CHI	LOROPETALUM CHINENSE 'RAZZLEBERRY'	Razzleberry Loropetalum	5 gallon		Low	63
NAN COM	NANDINA DOMESTICA 'COMPACTA'	Compact Heavenly Bamboo	5 gallon		Low	31
NAN GUL	NANDINA DOMESTICA 'GULF STREAM'	Gulf Stream Heavenly Bamboo	5 gallon		Low	2
PEN ORI	PENNISETUM ORIENTALE	Oriental Fountain Grass	5 gallon		Medium	26
PHO TOM	PHORMIUM 'TOM THUMB'	Tom Thumb Flax	1 gallon		Low	12
PIT EUG	PITTOSPORUM EUGENIODES	Tara	5 gallon		Low	52
PRU ILI	PRUNUS ILICIFOLIA ILICIFOLIA	Hollyleaf Cherry	15 gallon		Low	10
RHA EVE	RHAMNUS CALIFORNICA 'EVE CASE'	Eve Case Coffeeberry	5 gallon		Low	26
SAL CLE	SALVIA CLEVELANDII 'WINNEFRED GILMAN'	Winnifred Gilman Sage	5 gallon		Low	70
SAL LEU	SALVIA LEUCANTHA	Mexican Sage	5 gallon		Low	122
STI ARU	STIPARUNDINACEA	Pheasant's Tail Grass	5 gallon		Low	7
TEU FRU	TEUCRIUM FRUTICANS	Bush Germander	5 gallon		Low	39
VIB DAV	VIBURNUM DAVIDI	David Viburnum	5 gallon		Medium	19
XYL CON	XYLOSMA CONGESTUM 'COMPACTA'	Compact Xylocma	5 gallon		Low	20
<b>FERNS</b>						
WOO FIM	WOODWARDIA FIMBRIATA	Giant Chain Fern	5 gallon		Medium	10
<b>GROUNDCOVERS AND VINES</b>						
AGA PP	AGAPANTHUS 'PETER PAN'	Peter Pan Lily of the Nile	1 gallon	2'-0" o.c.	Medium	179
ARC EC	ARCTOSTAPHYLOS 'EMERALD CARPET'	Emerald Carpet Manzanita	5 gallon	3'-6" o.c.	Low	168
CAM SAS	CAMELLIA SASANQUA 'TANYA'	Tanya Camellia	5 gallon		Medium	12
CAR DIV	CAREX DIVULSA	Berkeley Sedge	1 gallon	2'-6" o.c.	Low	112
FES MAI	FESTUCA MAIREI	Alias Grass	5 gallon	2'-6" o.c.	Low	165
FES RUB	FESTUCA RUBRA	Creeping Red Fescue	1 gallon	2'-0" o.c.	Low	725
FIC PUM	FICUS PUMILA	Creeping Fig	5 gallon		Medium	32
LIR SIL	LIRIOPE MUSCARI 'SILVERLY SUNPROOF'	Silverly Sunproof Big Blue Lily Turf	1 gallon	1'-6" o.c.	Medium	290
MIC DEC	MICROBIOTA DECUSSATA	Simberan Carpet Cypress	5 gallon	5'-0" o.c.	Medium	32
MYO PAR	MYOPORUM PARVIFOLIUM 'PUTAH CREEK'	Putah Creek Myoporum	5 gallon	3'-6" o.c.	Low	364
SEN SER	SENECIO SERPENS	Blue Chalksticks	1 gallon	3'-0" o.c.	Low	22
TUE CHA	TEUCRIUM CHAMAEDRYD	Dwarf Bush Germander	1 gallon		Low	39
WIS SIN	WISTERIA SINENSIS	Chinese Wisteria	5 gallon		Low	18
<b>PERIMETER PLANTERS</b>						
LAV MUN	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	Munstead Lavender	5 gallon		Low	SEE PLAN
NEP FAA	NEPETA FASSENII	Catmint	1 gallon		Low	SEE PLAN
PHO TOM	PHORMIUM 'TOM THUMB'	Tom Thumb Flax	1 gallon		Low	SEE PLAN
STA BYZ	STACHYS BYZANTINA	Lamb's Ears	1 gallon		Low	SEE PLAN
<b>VERTICAL PLANTERS</b>						
SCHEME 1:						
(3) ECH AFF	ECHVEVERIA 'AFTER GLOW'	Hen and Chicks	1 gallon		Low	39
SCHEME 2:						
(1) AEO SUN	AEONIUM 'SUNBURST'	Sunburst Aeonium	1 gallon		Low	14

\* QUANTITIES SHOWN ON THIS PLAN ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF THERE IS A DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLAN AND THE QUANTITIES SHOWN IN THIS LEGEND, THEN THE QUANTITIES ON THE PLAN SHALL PREVAIL.

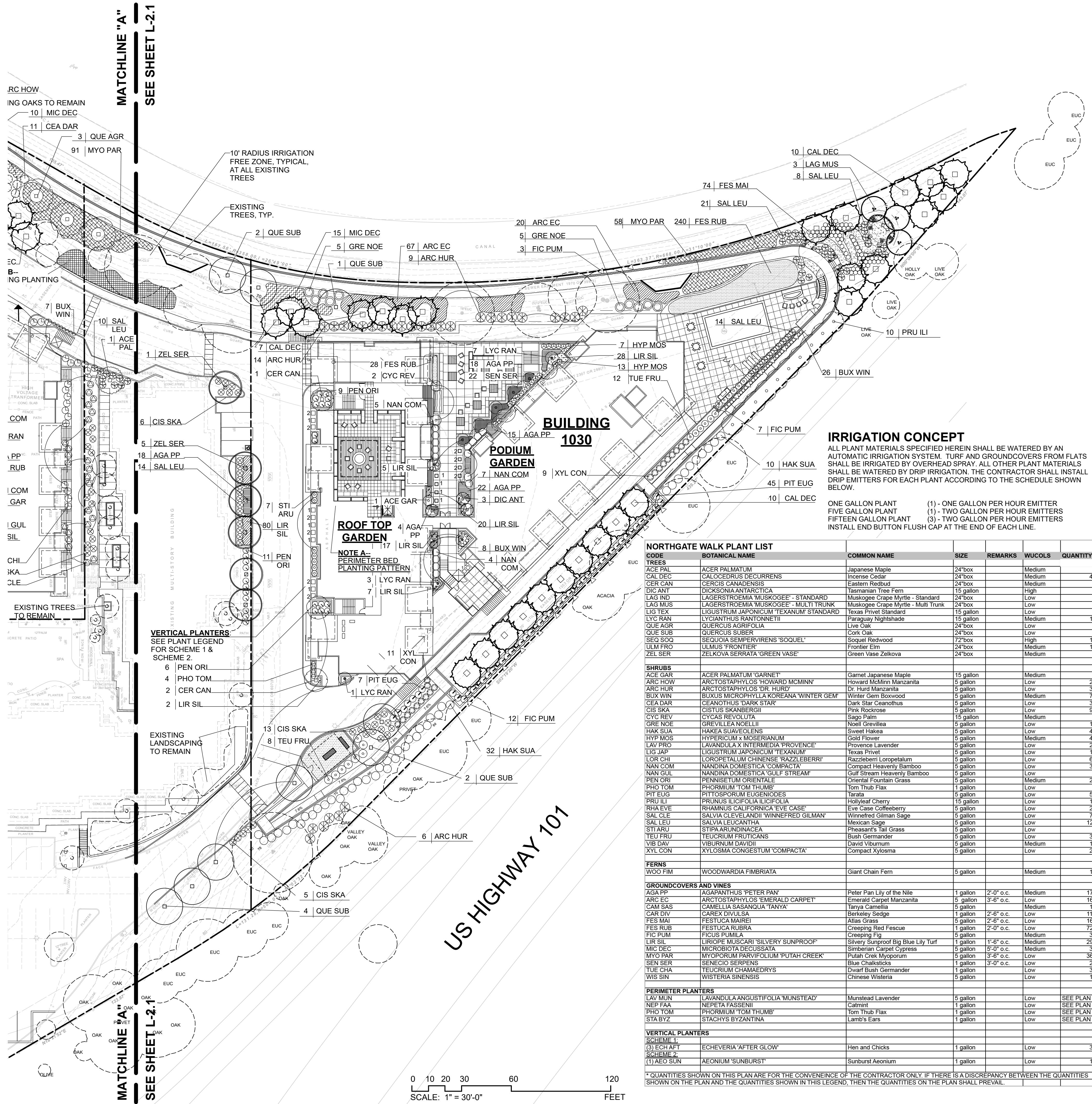
MANUEL T. FREITAS PARKWAY

MATCHLINE "A"  
 SEE SHEET L-2.2

MATCHLINE "A"  
 SEE SHEET L-2.2







**PLANTING NOTES**

PLANT SYMBOLS REPRESENT A 3-5 YEAR GROWTH PROJECTION.  
 PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN. THE PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN THE EVENT OF A DISCREPANCY, THE PLAN WILL GOVERN.  
 CONTRACTOR SHALL COORDINATE ALL PLANTING WITH UTILITY LOCATIONS NOT SHOWN ON THE PLANS. ANY CONFLICTS BETWEEN LOCATIONS OF PROPOSED SITE UTILITIES OR LIGHTING SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.  
 ALL EXISTING TREES SHALL REMAIN AND PROTECTED IN PLACE, UNLESS DESIGNATED TO BE REMOVED OR TRANSPLANTED  
 REMOVE ALL EXISTING WEEDS, BROOM AND BRAMBLE BY THE ROOTS, AND DISPOSE OF AWAY FROM THE SITE.  
 PLANTING AREAS SHALL BE FREE OF ALL DELETERIOUS MATERIALS AND WEEDS PRIOR TO PLANTING. PLANTING AREAS TO BE TILLED SO THAT THE SOIL IS LOOSE AND NOT COMPACTED TO A MINIMUM DEPTH OF 8"

A SOIL TEST SHALL BE PERFORMED ON THE EXISTING SOIL AND IMPORT SOIL TO DETERMINE THE FINAL AMENDMENT AND FERTILIZER FORMULA. THE SOILS REPORT SHALL CONTAIN THE FOLLOWING INFORMATION:  
 SOIL PERMEABILITY RATE IN INCHES PER HOUR  
 SOIL TEXTURE TEST  
 CATION EXCHANGE CAPACITY  
 SOIL FERTILITY (including tests for nitrogen, potassium, phosphorous, pH, organic matter and electrical conductivity)  
 RECOMMENDATIONS FOR AMENDMENTS TO THE PLANTING AREA SOIL.  
 PLANTING AREAS; AMEND PER THE RECOMMENDATIONS OF THE SOILS REPORT.  
 TOPSOIL TO BE 'GENERAL LANDSCAPE' AS PRODUCED BY AMERICAN SOIL & STONE PRODUCTS (PH# 415-456-1381). COMPOST TO BE 'LOCAL HERO' AS PRODUCED BY AMERICAN SOIL & STONE PRODUCTS. GENERAL PURPOSE BACKFILL MIX FOR SHRUBS AND TREES TO BE 15% TOPSOIL, 75% NATIVE SOIL, 10% COMPOST. EXCESSIVELY ROCKY AND HEAVY CLAY SOILS ARE TO BE REMOVED FROM SITE.  
 SPREAD 2" OF COMPOST OVER PREPARED SOIL AREA AT A RATE OF 6 CU YDS PER 1000 SQ FT. PRIOR TO MULCHING. MULCH WITH A 3" LAYER OF 'FOREST FLOOR' MULCH FROM AMERICAN SOIL PRODUCTS. AROUND ALL PLANTINGS, 8CY/1000' HOLD 6" AWAY FROM STEM OR TRUNK. STAKE OR GUY TREES PER DETAILS.  
 THE CONTRACTOR SHALL GUARANTEE TREES FOR A PERIOD OF 1 YEAR.  
 THE CONTRACTOR SHALL GUARANTEE PLANTED STOCK FOR A 90-DAY MAINTENANCE PERIOD AFTER FINAL ACCEPTANCE BY THE OWNER.

**SUMMARY OF VEGETATION MANAGEMENT REQUIREMENTS PER FIRE SAFE MARIN**

THE OWNER SHALL MAINTAIN A DEFENSIBLE SPACE AS DEFINED BY THE COUNTY OF MARIN WITHIN 100' OF A STRUCTURE AS FOLLOWS:  
**4.12.030-A & B**  
 1. RAISE CROWN OF ALL TREES BY REMOVING GROWTH LESS THAN 3-INCHES IN DIAMETER, FROM THE GROUND UP TO A MAXIMUM HEIGHT OF 10 FEET, PROVIDED THAT NO CROWN SHALL BE RAISED TO A POINT SO AS TO REMOVE BRANCHES FROM MORE THAN THE LOWER ONE-THIRD OF THE TREE'S TOTAL HEIGHT.  
 2. CUT AND REMOVE ALL DRY GRASSES SO THAT THEIR HEIGHT DOES NOT EXCEED 3 INCHES IN HEIGHT.  
 3. REMOVE ALL COMBUSTIBLE VEGETATION--SEE DEFINITION OF "COMBUSTIBLE VEGETATION" HEREIN.  
 NOTE: REMOVE ALL JUNIPER (GENUS *JUNIPERUS*) AND BAMBOO (GENUS *BAMBUSIA*) WITHIN 15 FEET OF ANY STRUCTURE. REMOVE ALL JUNIPERS AND BAMBOO FROM 15 TO 100 FEET OF A STRUCTURE.  
 4. REMOVE THE WOOD OF ALL DEAD TREES AND OTHER DEAD VEGETATION FROM THE GROUND THAT IS 3 INCHES IN DIAMETER, PROVIDED THE STUMP OF A DEAD TREE DOES NOT NEED TO BE REMOVED.  
 5. REMOVE COMBUSTIBLE VEGETATION ON THE GROUND OF THE PROPERTY WITHIN 10 FEET OF ANY HIGHWAYS, CITY STREETS OR PRIVATE STREETS USED FOR VEHICLE TRAFFIC.  
 6. REMOVE ALL VEGETATION WITHIN 10 FEET OF A CHIMNEY OUTLET.  
 7. REMOVE ANY PORTION OF TREES OR BRUSH ON THE PROPERTY THAT OVERHANG ANY ROADWAY AND REACH WITHIN 13 FEET 6 INCHES (13'-6") VERTICALLY ABOVE THE ROADWAY SURFACE.  
 8. REMOVE ANY COMBUSTIBLE VEGETATION UNDER THE EAVES, DECKS OR OTHER COMPONENTS OF THE STRUCTURE ON THE PROPERTY.  
 9. MAINTAIN THAT THE ROOF OF ANY STRUCTURE ON THE PROPERTY IS FREE OF LEAVES, NEEDLES, OR DEAD VEGETATIVE GROWTH.  
 10. MAINTAIN WOODPILES A MINIMUM OF 2 TIMES THE HEIGHT OF THE WOODPILE AWAY FROM ANY COMPONENT OF THE STRUCTURE ON THE PROPERTY.

- COMBUSTIBLE VEGETATION**  
**HIGH FIRE HAZARD NATIVE SHRUBS:**  
 BLACK SAGE  
 COYOTE BRUSH  
 CHAMISE/GREASEWOOD  
 SAGEBRUSH (CALIFORNIA)  
 CHAPARRAL PEA  
 SCRUB OAK (BRUSHY OAKS)  
 GIANT CHINQUAPIN  
**HIGH FIRE HAZARD (INTRODUCED) ECOLOGICAL WEEDS:**  
 BLACKWOOD ACACIA  
 PAMPASS GRASS  
 JUNIPER (JUNIPERUS)  
 BLUEGUM EUCALYPTUS  
 SCOTCH BROOM  
 FRENCH BROOM  
 SPANISH BROOM  
 GORSE  
 BAMBOO (BAMBUSIA)

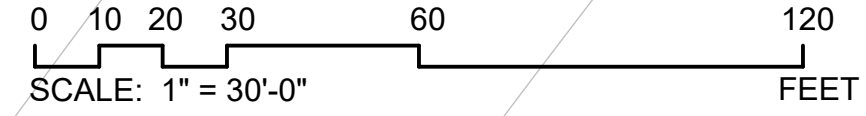
**IRRIGATION CONCEPT**

ALL PLANT MATERIALS SPECIFIED HEREIN SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM. TURF AND GROUNDCOVERS FROM FLATS SHALL BE IRRIGATED BY OVERHEAD SPRAY. ALL OTHER PLANT MATERIALS SHALL BE WATERED BY DRIP IRRIGATION. THE CONTRACTOR SHALL INSTALL DRIP EMITTERS FOR EACH PLANT ACCORDING TO THE SCHEDULE SHOWN BELOW.  
 ONE GALLON PLANT (1) - ONE GALLON PER HOUR EMITTER  
 FIVE GALLON PLANT (1) - TWO GALLON PER HOUR EMITTERS  
 FIFTEEN GALLON PLANT (3) - TWO GALLON PER HOUR EMITTERS  
 INSTALL END BUTT FLUSH CAP AT THE END OF EACH LINE.

**NORTHGATE WALK PLANT LIST**

CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	WUCOLS	QUANTITY*
<b>TREES</b>						
ACE PAL	ACER PALMATUM	Japanese Maple	24"box		Medium	3
CAL DEC	CALOCEDRUS DECURRENS	Incense Cedar	24"box		Medium	42
CER CAN	CERCIS CANADENSIS	Eastern Redbud	24"box		Medium	3
DIC ANT	DICKSONIA ANTARCTICA	Tasmanian Tree Fern	15 gallon		High	5
LAG IND	LAGERSTROEMIA MUSKOGEE - STANDARD	Muskogee Crape Myrtle - Standard	24"box		Low	2
LAG MUS	LAGERSTROEMIA MUSKOGEE - MULTI TRUNK	Muskogee Crape Myrtle - Multi Trunk	24"box		Low	7
LIG TEX	LIGUSTRUM JAPONICUM TEXANUM STANDARD	Texas Privet Standard	15 gallon		Low	7
LYC RAN	LYGANTHUS RANTONNETII	Paraguay Nightshade	15 gallon		Medium	14
QUE AGR	QUERCUS AGRIFOLIA	Live Oak	24"box		Low	3
QUE SUB	QUERCUS SUBER	Cork Oak	24"box		Low	9
SEC SOO	SECOJIA SENIPERVIRENS 'SOQUEL'	Soquel Redwood	72"box		High	10
ULM FRO	ULMUS FRONTALIS	Frontier Elm	24"box		Medium	19
ZEL SER	ZELKOVA SERRATA 'GREEN VASE'	Green Vase Zelkova	24"box		Medium	6
<b>SHRUBS</b>						
ACE GAR	ACER PALMATUM 'GARNET'	Garnet Japanese Maple	15 gallon		Medium	4
ARC HOW	ARCTOSTAPHYLOS 'HOWARD MCMINN'	Howard McMinn Manzanita	5 gallon		Low	26
ARC HUR	ARCTOSTAPHYLOS 'DR. HURD'	Dr. Hurd Manzanita	5 gallon		Low	38
BUX WIN	BUXUS MICROPHYLLA KOREANA 'WINTER GEM'	Winter Gem Boxwood	5 gallon		Medium	74
CEA DAR	CEANOTHUS 'DARK STAR'	Dark Star Ceanothus	5 gallon		Low	31
CIS SKA	CISTUS SKANBERGII	Pink Rockrose	5 gallon		Low	92
CYC REV	CYCAS REVOLUTA	Sago Palm	15 gallon		Medium	2
GRE NOE	GREVILLEA NOELLI	Noell Grevillea	5 gallon		Low	2
HAK SUA	HAKIA SUAVOLENS	Sweet Hakea	5 gallon		Low	42
HYP MOS	HYPERICUM X MOSERIANUM	Gold Flower	5 gallon		Medium	47
LAV PRO	LAVANDULA X INTERMEDIA 'PROVENCE'	Provence Lavender	5 gallon		Low	20
LIG JAP	LIGUSTRUM JAPONICUM 'TEXANUM'	Texas Privet	5 gallon		Low	10
LOK CHI	LOKCHIAI CHINENSIS 'RAZZLEBERRY'	Razzleberry Loropetalum	5 gallon		Low	63
NAN COM	NANDINA DOMESTICA 'COMPACTA'	Compact Heavenly Bamboo	5 gallon		Low	31
NAN GUL	NANDINA DOMESTICA 'GULF STREAM'	Gulf Stream Heavenly Bamboo	5 gallon		Low	2
PEN ORI	PENNISETUM ORIENTALE	Oriental Fountain Grass	5 gallon		Medium	26
PHO TOM	PHORNIUM 'TOM THUMB'	Tom Thumb Flax	1 gallon		Low	4
PIT EUG	PITTIOSPORUM EUGENIODES	Taratara	5 gallon		Low	52
PRU ILI	PRUNUS ILICIFOLIA ILICIFOLIA	Hollyleaf Cherry	15 gallon		Low	10
RHA EVE	RHAMNUS CALIFORNICA 'EVE CASE'	Eve Case Coffeeberry	5 gallon		Low	26
SAL OLE	SALVIA OLEVALANDII 'WINNEFRED GILMAN'	Winnefred Gilman Sage	5 gallon		Low	76
SAL LEU	SALVIA LEUCANTHA	Mexican Sage	5 gallon		Low	122
STI ARU	STIPPA ARUNDINACEA	Phaeasan's Tail Grass	5 gallon		Low	7
TEU FRU	TEUCRIUM FRUTICANS	Bush Germander	5 gallon		Low	39
VIB DAY	VIBURNUM DAVIIDI	David Viburnum	5 gallon		Medium	19
XYL CON	XYLOSMA CONGESTUM 'COMPACTA'	Compact Xylosma	5 gallon		Low	20
<b>FERNS</b>						
WOO FIM	WOODWARDIA FIMBRATA	Giant Chain Fern	5 gallon		Medium	10
<b>GROUNDCOVERS AND VINES</b>						
AGA PP	AGAPANthus 'PETER PAN'	Peter Pan Lily of the Nile	1 gallon	2'-0" o.c.	Medium	179
ARC EST	ARCTOSTAPHYLOS 'EMERALD CARPET'	Emerald Carpet Manzanita	5 gallon	3'-6" o.c.	Low	166
CAM SAS	CAMELLIA SASANQUA 'TANYA'	Tanya Camellia	5 gallon		Medium	12
CAR DIV	CAREX DIVULSA	Berkeley Sedge	1 gallon	2'-6" o.c.	Low	112
FES MAI	FESTUCA MAUREI	Atlas Grass	5 gallon	2'-6" o.c.	Low	165
FES RUB	FESTUCA RUBRA	Creeping Red Fescue	1 gallon	2'-0" o.c.	Low	725
FIC PUM	FICUS PUMILA	Creeping Fig	5 gallon		Medium	32
LIR SIL	LIRIOPE MUSCARI 'SILVER SUNPROOF'	Silvery Sunproof Big Blue Lily Turf	1 gallon	1'-6" o.c.	Medium	290
MIC DEC	MICROBIOTA DECUSSATA	Siberian Carpet Cypress	5 gallon	5'-0" o.c.	Medium	32
MYO PAR	MYOPORIUM PARVIFOLIUM 'PUTAH CREEK'	Putah Creek Myoporum	5 gallon	3'-0" o.c.	Low	364
SEN SER	SENECIO SERPENS	Blue Chalksticks	1 gallon	3'-0" o.c.	Low	22
TUE CHA	TEUCRIUM CHAMAEDRYS	Dwarf Bush Germander	1 gallon		Low	39
WIS SIN	WISTERIA SINENSIS	Chinese Wisteria	5 gallon		Low	18
<b>PERIMETER PLANTERS</b>						
LAV MUN	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	Munstead Lavender	5 gallon		Low	SEE PLAN
NEP FAA	NEPETA FASSENII	Catmint	1 gallon		Low	SEE PLAN
PHO TOM	PHORNIUM 'TOM THUMB'	Tom Thumb Flax	1 gallon		Low	SEE PLAN
STA BYZ	STACHYS BYZANTINA	Lamb's Ears	1 gallon		Low	SEE PLAN
<b>VERTICAL PLANTERS</b>						
<b>SCHEME 1</b>						
(3) ECH AFT	ECHEVERIA 'AFTER GLOW'	Hen and Chicks	1 gallon		Low	39
<b>SCHEME 2</b>						
(1) AEO SUN	AEONIUM 'SUNBURST'	Sunburst Aeonium	1 gallon		Low	14

\* QUANTITIES SHOWN ON THIS PLAN ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF THERE IS A DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLAN AND THE QUANTITIES SHOWN IN THIS LEGEND, THEN THE QUANTITIES ON THE PLAN SHALL PREVAIL.

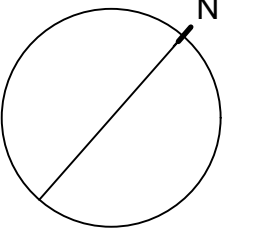


**PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION**

DATE	ISSUES & REVISIONS	NO.
03/08/19	DESIGN RESUB.	5
10/22/18	RENDERING	4
03/26/18	DESIGN RESUB.	3
03/05/18	DESIGN RESUB.	2
08/29/17	DESIGN SUB.	1

PROJECT# 1736 DRAWN BY: JM/JP  
 ORIGINAL DRAWING SIZE: 24" X 36"

SCALE: AS NOTED



**PLANTING PLAN**

SHEET #

**L-2.2**

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