

HOME OWNERS GUIDE TO RESIDENTIAL PROJECTS

FOR OWNER OCCUPIED SINGLE FAMILY DWELLINGS



SAN RAFAEL
THE CITY WITH A MISSION

This booklet provides you with the information you need to get started in the process of obtaining permits and inspections for repair, remodeling or adding on to your single family home.

The City of San Rafael Community Development and Public Works Departments will help you through the permit process and provide you with valuable information on codes and ordinances, construction practices, and property data.

Obtaining a permit and inspections for construction on your home is required by law and provides important documentation in the event you sell or refinance the property.

IMPORTANT CONTACTS	
Building Division	(415) 485-3367
Planning Division	(415) 485-3085
Department of Public Works	(415) 485-3355
Fire Prevention	(415) 485-3308
San Rafael Sanitation District	(415) 485-3132
Las Gallinas Valley Sanitation	(415) 472-1734
Marin Municipal Water District	(415) 945-1455
Pacific Gas & Electric	(877) 660-6789
San Rafael School District	(415) 492-3233
Dixie Elementary School District	(415) 492-3700

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THE PERMIT PROCESS

1

GET ZONING
AND PROPERTY
INFORMATION

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Find your zoning information
at: [www.cityofsanrafael.org/
zoning-information/](http://www.cityofsanrafael.org/zoning-information/)

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DESIGN YOUR
PROJECT AND
DRAW PLANS

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IF NEEDED, SUBMIT
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Planning Division staff
will help you determine
if this is necessary during
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FROM BUILDING
DIVISION

ZONING AND PROPERTY INFORMATION

Properties have different zoning requirements which are explained in the [Zoning Chapter of the Municipal Code](#). These requirements vary depending on several elements. Due to the complexity of zoning laws the only accurate way to obtain the zoning requirements for your proposed building or addition is to visit the Planning counter at City Hall. You will need the *property address* or *Assessor's Parcel Number (APN)* and a *site plan* of the proposed work. The APN is usually included on your Property tax records or in the deed for that individual property. Take these items to the Planning counter and staff will check the City zoning maps and provide you with the correct information. This will safeguard you from unnecessary problems and expense. Basic zoning information can be obtained on the City website.

Some projects require Planning approval before you can get a Building permit. When you speak with staff at the Planning counter, they will let you know if what you are proposing is likely to need a separate planning approval. Once we have the final set of plans, we will be able to look at all the details to see if anything in the plan triggers the Planning process.

What is a Site Plan?

A site plan is a scaled drawing which shows the uses and structures proposed for a parcel of land.

It also includes information concerning the landscape features of a given parcel.

Below is a list of typical residential projects requiring a planning approval. Please check with Planning regarding your specific project as this is a partial list:

New Residence within 100 feet of a designated ridgeline	New single-family residences and additions over 500 square feet on hillside lots	New two-story single-family residences
Residential accessory structures or additions in ridgeline areas	Roof modifications to Eichler and Alliance homes in the Terra Linda Area (-EA)	New decks over 100 square feet on hillside lots
Retaining walls over 3 feet tall on hillside lots or within 100 feet of a ridgeline	Detached accessory structures on hillside properties	Accessory Dwelling Unit
Junior Accessory Dwelling Units	Fences over a certain height	Projects that do not conform to development standards

*No Design Review permit is required for one-story single-family residences and decks in non-hillside areas, ordinary maintenance or repairs, installation of solar panels on existing structures or grounds.

IF NEEDED, SUBMIT PLAN TO PLANNING DIVISION

When staff determines that a separate Planning Division review is needed before obtaining other permits they will also let you know what documents will be needed to review your specific application and how long the process normally takes. Time frames, fees and plans needed are determined by the level of review your project will need. Below are some general guidelines for a Planning Division Submittal.

Submitting to Planning Division:

General Planning Application must be signed by Property Owner.

Plans shall be on same-sized sheets, drawn accurately, legible, to scale and folded.

Plan sheets at 24x36-inch maximum for full size are recommended for large projects along with one 11x17-inch or 8.5x11-inch reduction. Smaller sized plan sets may be accepted for minor projects.

Additional plan sets will be required prior to scheduling projects for required hearings.

Most Project Plans Should Include:

- Site Plans
- Floor Plan
- Elevations
- Roof Plan
- Landscape Plan
- Section/Profile Drawings

See following page for details.

City of San Rafael Planning Division

1400 Fifth Avenue, Top Floor
San Rafael, CA 94901
(415) 485-3085

Planning Counter Hours:

Mon, Tues & Thurs:
8:30 am - 4:30 pm

Wed & Fri:
8:30 am - 1:30 pm

1**Site Plan(s) of entire property, showing:**

- Site Conditions, showing existing and proposed building and site improvements, property lines, easements, adjacent street names, etc.
 - Project Data Summary Table(s), showing existing and proposed site size, building floor areas, parking supply, landscape or natural state provided, required yard areas, etc.
 - North Arrow, i.e., reference north and true north.
 - Scale used and Graphic Scale provided
 - Name of plan preparer, date prepared and revised, project name and address
-

2**Floor Plan, containing the following minimum information:**

- Floor Levels, Areas, Walls, Windows, Doors, Equipment, Rooms and Uses; existing and proposed
 - Location, Dimensions and Square Footage of project area
 - Project Area identified, with outline or shading
 - Scale, Graphic Scale and North arrow
 - Orient all other plan sheets (e.g., civil, landscape, floor plans) to match site plan orientation
-

3**Building Elevations, for projects involving exterior building changes.****4****Building Roof Plan, showing:**

- Property lines, outline of building footprint, direction and slope of drainage, location of drainage collectors, rooftop structures, material, ridge elevations, various roof levels and slopes and their flow direction
-

5**Landscape Plan.**

- Show all existing and proposed landscape improvements, total landscape area in square feet, types of plant and landscape materials proposed. Show any drainage features, unless already included on the site plan.
-

6**Cross-Section or Profile Drawings of site and/or building.**

- Provide to-scale cross sections, as necessary, to illustrate building and floor area details, grading, etc. The section locations must be referenced on site, floor and elevation plans.
- Provide cross sections for new or modified driveways and retaining walls.

**Depending on the scope of the project, additional information may be required or provided with initial submittal or in response to project completeness*

SUBMIT PLANS TO BUILDING DIVISION

San Rafael Building Department will review plans for code compliance. Plans will be routed to the appropriate agencies such as Planning, Public Works, Sanitation etc. You will be notified if revision or additional information is needed. At time of submittal you will need the following:

THREE (3) COMPLETE SETS OF PLANS

(4 sets maybe required for projects requiring Public Works (DPW) or Sanitation review)

Including two (2) copies of soils reports, structural calculations, energy calculations, and other supporting documentation, if needed. Minimum paper size is 11" x 17" for over-the-counter plan review, 18" x 24" minimum for other plan submittals and maximum size is 30" X 42".

City of San Rafael Building Division

1400 Fifth Avenue, Top Floor
San Rafael, CA 94901
(415) 485-3367

Public Counter Hours:

Monday-Thursday:

8:30am - 4:30pm

Friday: 8:30am - 1:30pm

Counter Residential Plan Check:

Tuesday & Thursday:

9:00am - 11:45am

Field Inspection Hours:

Monday-Thursday:

8:00am - 4:00pm

ALL PLAN SETS SHALL INCLUDE THE FOLLOWING:

- Project Information
- Plot Plan/Site Plan
- Floor Plan
- Exterior Building Elevations
- Foundation Plan
- Framing Plan
- Structural Details and Sections
- Stair, Handrail, and Guard Details
- Structural Calculations (if applicable)
- Electrical Plan
- Mechanical Plan
- Plumbing Plan
- Energy Documentation
- Fire Sprinkler Plans (if applicable)
- Soils Reports (if applicable)

1

PROJECT INFORMATION:

This includes such information as owner's name, plan preparer's name, project address, type of construction, occupancy group, applicable code editions, sheet index, and any other relevant information.

2

PLOT PLAN/ SITE PLAN:

Fully dimensioned, showing property lines, streets, driveways, setbacks and locations of all structures and easements and any off-street parking. A survey may be required if proposed work is close to setbacks, or existing property lines are not apparent. For commercial projects show; parking for disabled persons, curb ramps, signage and path of travel to primary entrance. Unless a separate grading/drainage plan is provided, show drainage including downspouts, general surface flow direction and subsurface drainage features here.

3

FLOOR PLAN:

Show the size and intended use of all rooms, show type, sizes and locations of all; doors and windows, furnace, water heater, kitchen details, bathroom fixtures, electrical outlets, switches and lighting, and smoke detectors. For additions and alterations show an existing floor plan and all rooms adjoining the addition shall be fully dimensioned.

- 4 EXTERIOR BUILDING ELEVATIONS:**
Indicating general appearance, windows, doors, finishes, roof covering, finish grade, etc. For new construction in the Wildland Urban Interface (WUI) visit cityofsanrafael.org/vegetation-management for more information.
- 5 FOUNDATION PLAN:**
Indicating type of foundation such as slab or pier, etc. Providing a detailed construction layout showing size, spacing, anchoring and details of all structural members and materials used.
- 6 FRAMING PLAN:**
Structural details of floors, walls, ceiling and rafters or trusses and providing a detailed construction layout showing size, spacing and connection details of all structural members and materials used.
- 7 STRUCTURAL DETAILS AND SECTIONS:**
Clearly showing construction materials, sizes and attachments. If standard plan is used such as manufacturer's installation instructions (ICC, SPA, etc), include copies of plan, instructions or report. A standard plan may not be modified.
- 8 STAIR, HANDRAIL, AND GUARD DETAILS:**
Providing a detailed construction layout showing size, spacing and connection details of all structural members and materials used.
- 9 STRUCTURAL CALCULATIONS:**
(If applicable) To be provided and wet stamped by a licensed engineer.
- 10 ELECTRICAL PLAN:**
Layout and location of all lights, switches and outlets. This plan may be incorporated into the Floor Plan layout.
- 11 MECHANICAL PLAN:**
To include heating and/or air system locations, distribution and specs.
- 12 PLUMBING PLAN:**
Layout and location of all plumbing fixtures and may also include a gas schematic for gas fueled appliances. This plan may be incorporated into the Floor Plan layout.
- 13 ENERGY DOCUMENTATION:**
(If applicable) State Building Energy Efficiency Standards and Cal Green Building Standards including City of San Rafael amendments.
- 14 FIRE SPRINKLER PLANS:**
(If applicable) To include hydraulic calculation and fire alarms when required. (provided by a licensed fire sprinkler contractor)
- 15 SOILS REPORT:**
(If applicable) A letter or report that a Geotechnical Engineer will provide confirming the project's design compliance with soil conditions.

IF NEEDED, SUBMIT PLANS TO DEPARTMENT OF PUBLIC WORKS / SAN RAFAEL SANITATION DISTRICT (SRSD)

When a set of plans are routed to the Department of Public Works (DPW), they will be reviewed for site conditions and characteristics. This includes several items. They will check to see how the improvements fit on the property. Are there easements or utilities on the property? Are there improvements beyond the property line, into the Right-of-Way? Will the project require [an encroachment permit](#); for items such as driveways, sidewalks and utility connections? Are there line-of-sight distance or access issues?

Is there grading and earthwork?

The Department of Public Works will need to know how much is being moved - both cut and fill. Are there retaining walls? An erosion and sediment control plan may be needed, even on small jobs. If it is 50 cubic yards or more, then a separate grading permit is required. Smaller projects on a steep sloped site, or near open waterways may also require a permit, especially during the wet season. This includes inspections for the site, specific to the earthwork and erosion control. Depending on the project Geotechnical reports may be necessary.

Drainage and Stormwater Runoff

DPW will also look for the major sources of drainage and runoff, like roofs and pavements. The City does not allow runoff to be increased. Single family homes with 2500 square feet of impervious surfaces require storm water treatment to promote filtration and infiltration.

Is the access being modified?

Driveways have specific requirements for the slopes, transitions and sight lines. Many older driveway aprons require revision to meet current ADA requirements.

Projects within the Flood Zone

For projects within the flood zone, we are required to ensure that your project meets the special requirements from FEMA. The requirements for buildings can be fairly complex. You can find out if you're in the flood zone using Marinmap.org or FEMA's map service center online.

Will there be a new sewer system or upgrade to the existing?

San Rafael Sanitation District (SRSD) will review plans for how the sewer lateral connections will be made, sewer easements, plumbing fixtures, and how the sewer flows generated may affect flows in the sewer mainline. Sewer Lateral Design should include Utility Plans showing the sewer lateral alignment, the type of pipe, diameter of pipe, the connection at the sewer mainline, the cleanouts, the backflow prevention device. In some cases, manholes will be necessary in the design.

Sewer connection fees will be required for the following:

- When a new sewer lateral connection is made at the sewer mainline.
- When an existing property adds an additional sewer lateral connection at the sewer mainline.

City of San Rafael Department of Public Works

111 Morphew Street
San Rafael, CA 94901
(415) 485-3355

**Encroachment and
Grading Permit Counter Hours:**
Tuesday and Thursday
9:00am-12:00pm

San Rafael Sanitation District (SRSD)

111 Morphew Street
San Rafael, CA 94901
415-485-3132

CONSTRUCTION AND INSPECTION

BEGIN YOUR CONSTRUCTION:

With your approved plans and building permit in hand, you are ready to begin construction. If you have to vary from your plan specifications during construction, re-approval of the plan is required.

Call for inspections before covering any work.

Examples:

- Call for a footing/foundation inspection, when your forms are dug and the rebar is set but before the concrete is poured.
- Call for a Framing or “close in” inspection, when new walls are framed with plumbing and/or electrical is installed as per your plans but before insulation or drywall is installed.

Every permit is unique to its scope of work and while some projects may only need 1-2 inspections others may require many. If your project is larger in nature such as a new home or addition your inspector may advise you as to what stage in the progress you will need to call for your next inspection.

The 24-Hour Inspection Request Line is (415) 485-3365. You will be prompted to enter a code for the type of inspection needed, the code can be found on the back of your permit card. Inspections can be scheduled a minimum of on day before and up to 3 days out. There are no inspections on Fridays and weekends.

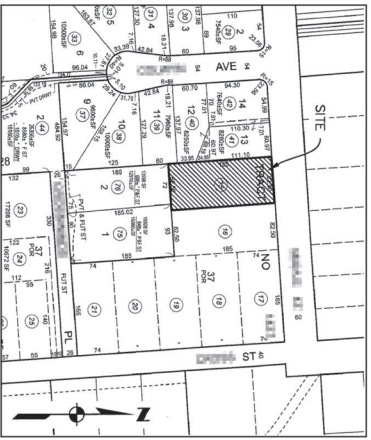
FINAL INSPECTION

Call for final inspection when the construction has been completed. All external surfaces must be painted, or otherwise sealed, weather-stripping must be installed on all new windows and doors, and all electrical or plumbing fixtures have been installed. Interior painting, wallpapering, or carpeting need not be complete. Smoke detectors must be installed in all bedrooms and in the hallway leading to the bedrooms.

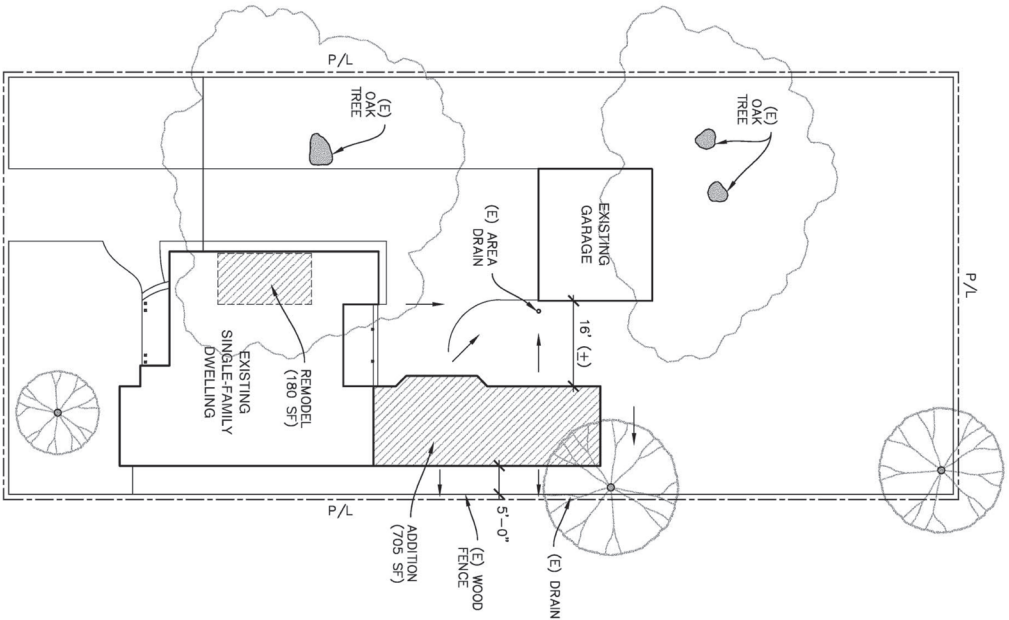
****If your project is required to have other departments sign off on your permit (i.e. fire sprinklers or Planning Department) please have those additional (if applicable) agencies preform their final inspection prior to scheduling your Building Department final inspection****

Addition and Remodel
for

Example Residence



VICINITY MAP
SCALE: (N/S)



22345 EXAMPLE LANE
P/L

SITE PLAN
SCALE: 1/8" = 1'-0"

PROJECT DESCRIPTION

ADDITION TO EXISTING SINGLE-FAMILY DWELLING,
REMODEL EXISTING KITCHEN AND FAMILY ROOM.
EXISTING LIVING SPACE: 1,720 SQ. FT.
ADDED LIVING SPACE: 705 SQ. FT.
TOTAL LIVING SPACE: 2,425 SQ. FT.
TYPE OF CONSTRUCTION: V-B
OCCUPANCY: R-3
FIRE HAZARD ZONE: NO
FLOOD HAZARD ZONE: NO
SEWER: YES (EXISTING)
ADDRESS:

APN: 123-456-789
ORIGINAL CONSTRUCTION DATE: 1957
APPLICABLE CODES:

NOISE LIMITS

CONSTRUCTION WORK WITHIN 300 FT OF A RESIDENTIAL PROPERTY IS LIMITED TO THE HOURS OF SEVEN A.M. TO SEVEN P.M. ON SUNDAY AND NO WORK SHALL BE PERFORMED ON THE FOLLOWING PUBLIC HOLIDAYS: NEW YEAR'S DAY, INDEPENDENCE DAY, THANKSGIVING, CHRISTMAS, MEMORIAL DAY, AND LABOR DAY.

SHEET INDEX

- A1: SITE PLAN, PROJECT DESCRIPTION
- A2: EXISTING / DEMOLITION PLAN, ROOF PLAN
- A3: FLOOR PLAN
- A4: ELEVATIONS, SECTIONS
- S0: STRUCTURAL GENERAL NOTES
- S1: FOUNDATION AND FLOOR FRAMING PLAN
- S2: ROOF FRAMING PLAN
- S3: STRUCTURAL DETAILS
- S4: STRUCTURAL DETAILS
- S5: STRUCTURAL DETAILS, CALGREEN NOTES
- E1: ENERGY COMPLIANCE
- E2: ENERGY COMPLIANCE
- E3: ENERGY COMPLIANCE

SITE GENERAL NOTES

ON-SITE VERIFICATION OF ALL FIELD CONDITIONS AND DIMENSIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FIELD VERIFICATION SHALL BE DONE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND THE CONSTRUCTION DOCUMENTS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXISTENCE AND LOCATION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE CLEARLY IDENTIFIED AT THE SITE AND PROTECTED IN PLACE. THE CONTRACTOR SHALL PROMPTLY NOTIFY EACH UTILITY COMPANY, MUNICIPALITY OR OTHER AGENCY WHO OWNS, OPERATES, OR REGULATES ANY SUCH FACILITIES OR STRUCTURES.
THESE DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT METHODS OF CONSTRUCTION AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
THE DESIGN, ERECTION, AND USE OF TEMPORARY BRACING, SHORING AND SUPPORTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THESE ITEMS SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS.
SURFACE WATER SHALL BE CONVEYED AWAY FROM THE BUILDING TO AN APPROVED LOCATION. CONCENTRATED DRAINAGE SHALL BE CONVEYED VIA NON-EROSIVE DEVICES. DRAINAGE SYSTEMS SHALL BE DESIGNED BY OTHERS.
GAS PIPING SHALL NOT BE LOCATED IN OR ON THE GROUND UNDERNEATH A BUILDING OR STRUCTURE.
LOTS SHALL BE GRADED TO DRAIN AWAY FROM FOUNDATION WALLS. PROVIDE A 5% GRADE AWAY FROM FOUNDATION WALLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDITIONS PROHIBIT A 5% DRAINAGE SLOPE. IMPERVIOUS SURFACES WITHIN 10 FT OF THE STRUCTURE SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

REVISIONS:

THIS DOCUMENT IS PROVIDED AS A GENERAL EXAMPLE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND VERIFICATION OF ALL REGULATIONS. THE INFORMATION INCLUDED IN THIS DOCUMENT SHALL NOT BE COPIED OR SUBSTITUTED FOR THE CONSTRUCTION DOCUMENTS FOR ANY OTHER PROJECT. CONSTRUCTION DOCUMENTS SHALL CONTAIN SUFFICIENT INFORMATION TO DEMONSTRATE COMPLIANCE WITH THE BUILDING CODES AND OTHER APPLICABLE REGULATIONS, AS DETERMINED BY THE ENGINEER.

PROJECT:
ADDITION AND REMODEL FOR SINGLE-FAMILY DWELLING
22345 EXAMPLE LN.

OWNERS:
JOHN AND JANE DOE



PERMIT #:
BLDXX-XXXX

SHEET #
A1

ARCHITECTURAL PLAN NOTES

ELEMENTS SHOWN ON THIS PLAN ARE NEW UNLESS LABELED AS EXISTING (E) OR SHOWN ON THE EXISTING FLOOR PLAN.

DOORS AND WINDOWS SHALL BE CENTERED ON WALLS AS SHOWN, UNLESS SPECIFICALLY NOTED OTHERWISE.

BATHROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION OF 50 CFM INTAKE/EXHAUST ON 20 CFM CONTINUOUS.

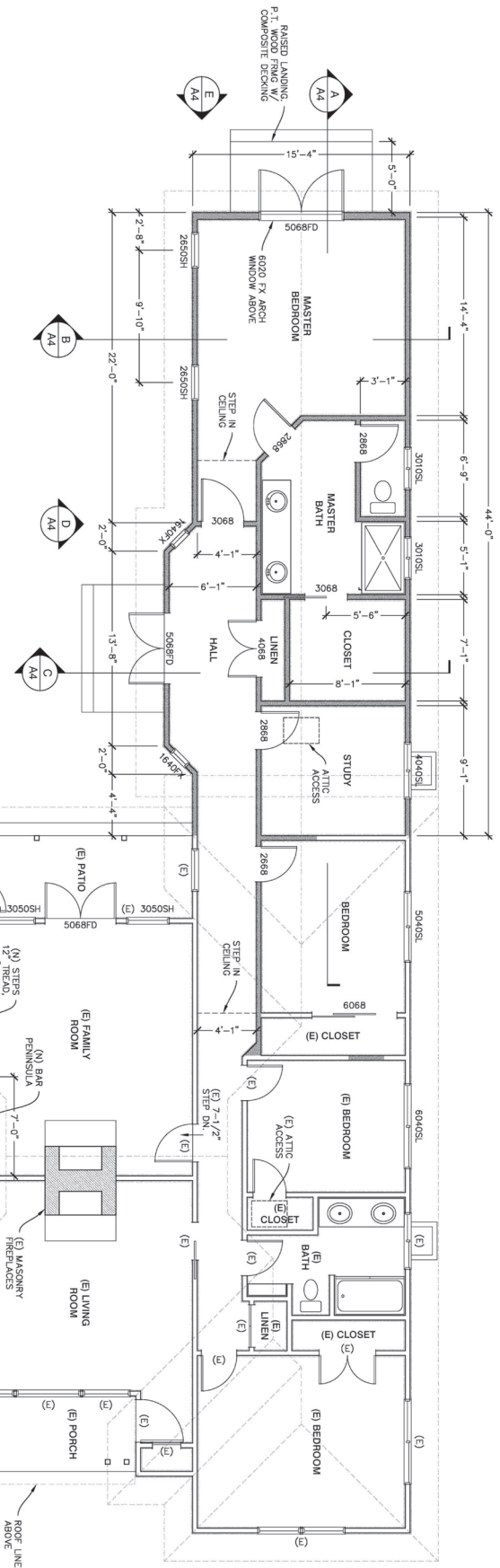
BATHING AND SHOWER FLOORS SHALL BE ABOVE BATHING WITH A SHOWERHEAD AND WATER SHUT-OFF VALVE LOCATED WITHIN THE SHOWER AREA. WATER SHALL BE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR OR ANY WATER CLOSET SHALL BE NOT LESS THAN 24".

SMOKE COMPARTMENTS SPECIFICATIONS AND MAXIMUM FINISHED INTERIOR OF 1,024 SQ. IN. THE MINIMUM WIDTH OF HALLWAYS SHALL BE AT LEAST 3 FT.

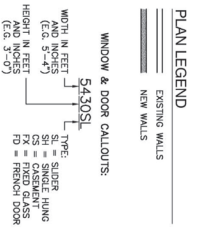
SAFETY GLAZING IS REQUIRED IN OPERABLE GLAZING, SLIDING AND BROLD DOORS. IN A BOLD OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE, GLAZING IN A FIXED OR OPERABLE PANEL MEETING ALL OF THE FOLLOWING CRITERIA SHALL BE PROVIDED:

- GLAZING SHALL BE AT LEAST 1/2" THICK AND EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR AND THE TOP EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR AND THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE FLOOR.
- ALL GLAZING IN BALCONIES OR ON WALLS FORMING HOT TILES, WAREHOUSES, SAUNAS, STEAM ROOMS, BATHING AND SHOWER WHERE THE BOTTOM EXPPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY WALKING SURFACE SHALL BE PROVIDED WITH AN ANTI-CRACKING SYSTEM.
- GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH AN ANTI-CRACKING SYSTEM.
- GLAZING ADJACENT TO STAIRWAYS, LADDERS AND EGRESS OPENINGS SHALL BE PROVIDED WITH AN ANTI-CRACKING SYSTEM.
- GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM EDGE OF A STAIRWAY OR ADJACENT TO THE BOTTOM EDGE OF A STAIRWAY OR ADJACENT TO THE BOTTOM EDGE OF A STAIRWAY OR ADJACENT TO THE BOTTOM EDGE OF A STAIRWAY OR ADJACENT TO THE BOTTOM EDGE OF A STAIRWAY SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION OR LABEL AS REQUIRED BY THE CODE.

EMERGENCY ESCAPE AND RESCUE OPENINGS, REARWARDS, VENTILABLE ATTICS, AND EVERY SLEEPING ROOM SHALL BE PROVIDED WITH AN OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE IN THE WORK, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY, WHEN LOCATED AT THE BOTTOM OF THE ROOM. THE CLEAR OPENING SHALL BE AT LEAST 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20" ABOVE THE FINISHED FLOOR. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20" ABOVE THE FINISHED FLOOR. THE MINIMUM NET CLEAR OPENING SHALL BE 20" ABOVE THE FINISHED FLOOR. THE MINIMUM NET CLEAR OPENING SHALL BE 20" ABOVE THE FINISHED FLOOR. THE MINIMUM NET CLEAR OPENING SHALL BE 20" ABOVE THE FINISHED FLOOR.



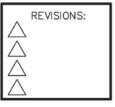
FLOOR PLAN
SCALE 1/4" = 1'-0"

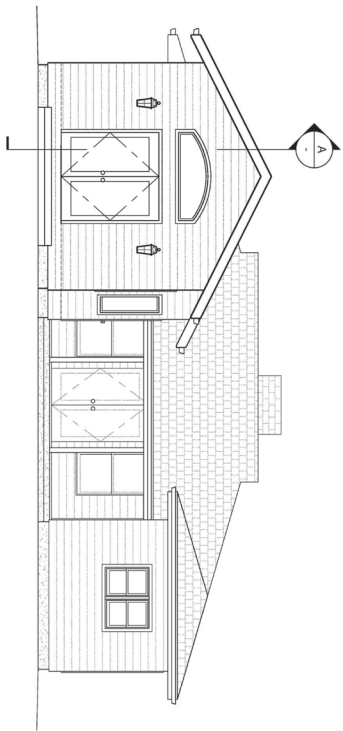


PROJECT: ADDITION AND REMODEL FOR SINGLE-FAMILY DWELLING
22345 EXAMPLE LN.

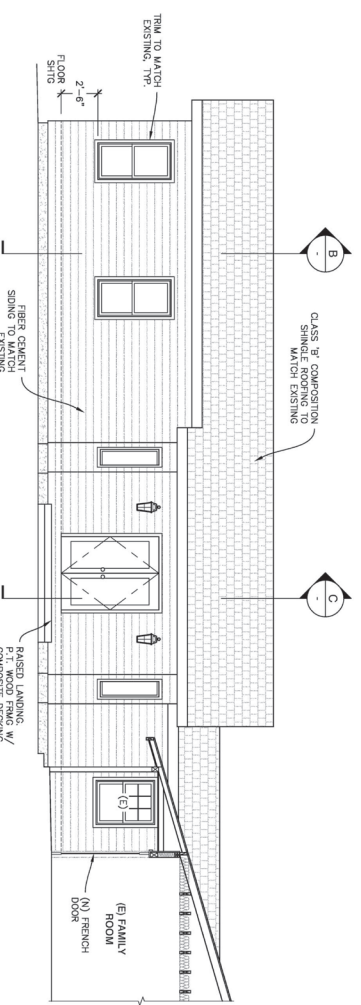
OWNERS: JOHN AND JANE DOE

THIS DOCUMENT IS PROVIDED AS A GENERAL EXAMPLE ONLY. IT DOES NOT ENDOSE THE CONTENT OF THIS DOCUMENT OR GUARANTEE ITS ACCURACY OR COMPLETENESS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS WITH BUILDING CODES AND OTHER REGULATIONS. THIS DOCUMENT SHALL BE CONSIDERED AS AN APPROVAL TO VIOLATE ANY BUILDING CODES OR OTHER REGULATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS WITH BUILDING CODES AND OTHER REGULATIONS. THIS DOCUMENT SHALL BE CONSIDERED AS AN APPROVAL TO VIOLATE ANY BUILDING CODES OR OTHER REGULATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS WITH BUILDING CODES AND OTHER REGULATIONS.

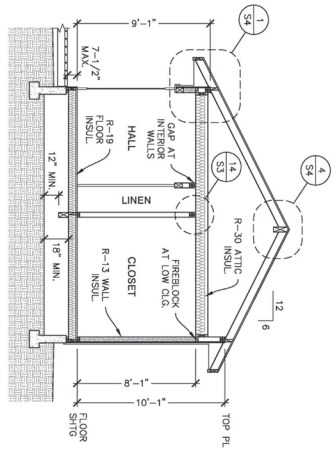




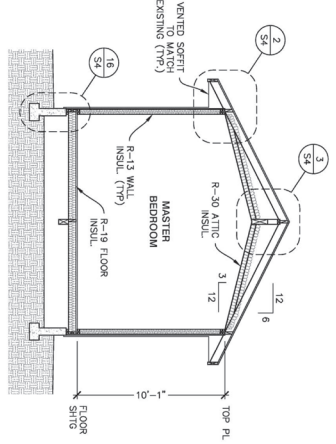
ELEVATION 'E'
SCALE 1/4" = 1'-0"



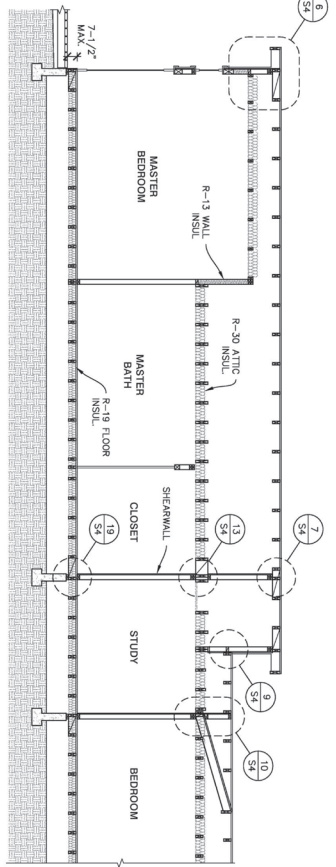
ELEVATION 'D'
SCALE 1/4" = 1'-0"



SECTION 'C'
SCALE 1/4" = 1'-0"



SECTION 'B'
SCALE 1/4" = 1'-0"



SECTION 'A'
SCALE 1/4" = 1'-0"

PROJECT #
BLDXX-XXXXX
SHEET #
A4

ARCHITECT/
ENGINEER
SEAL AND
SIGNATURE

PROJECT:
ADDITION AND REMODEL FOR SINGLE-FAMILY DWELLING
22345 EXAMPLE LN.
OWNERS:
JOHN AND JANE DOE

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ELECTRICAL NOTES

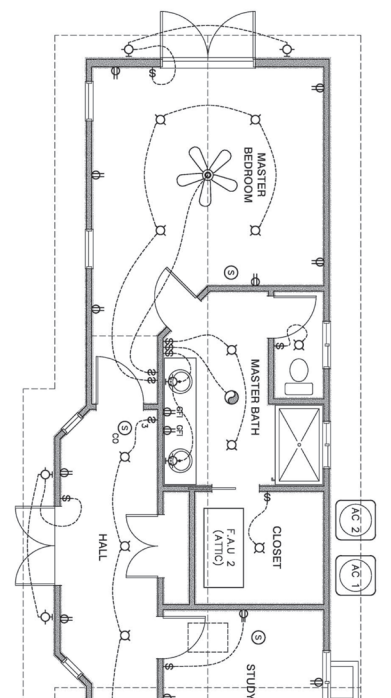
ACED RECEPTACLES: ALL 15- AND 20-AMP BRANCH CIRCUITS SERVING OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORES, LIBRARIES, ROOMS OR AREAS SHALL BE PROTECTED BY LISTED ARC-Fault Circuit Interrupter (AFCI) RECEPTACLES. INTERMEDIATE COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

RECEPTACLES: ALL 15- AND 20-AMP RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS SHALL HAVE GROUND-Fault CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL:

- KITCHENS
- KITCHENS WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE RECEPTACLES
- OUTDOOR SURFACES
- GARAGES OR BUILDINGS WHICH HAVE A FLOOR LOCATED AT OR BELOW GRADE
- LEVEL NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, CRAWL SPACES AND/OR BELOW GRADE LEVEL
- UNFINISHED BASEMENTS
- UNFINISHED UTILITY AND WET BAR SPACES

REPAIRS: ALL 15- AND 20-AMP RECEPTACLES SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

- ELECTRICAL PANELS SHALL NOT BE LOCATED IN BATHROOMS, DAMP OR WET LOCATIONS, OR IN THE VICINITY OF EASILY IGNITABLE MATERIAL SUCH AS CLOTHES LOCATIONS. ELECTRICAL PANELS SHALL BE PROTECTED FROM PHYSICAL DAMAGE.
- ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM CLEAR WORKING SPACE OF 30" WIDE AND 6'6" HIGH.



SMOKE ALARMS

SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND THE STATE FIRE MARSHAL. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

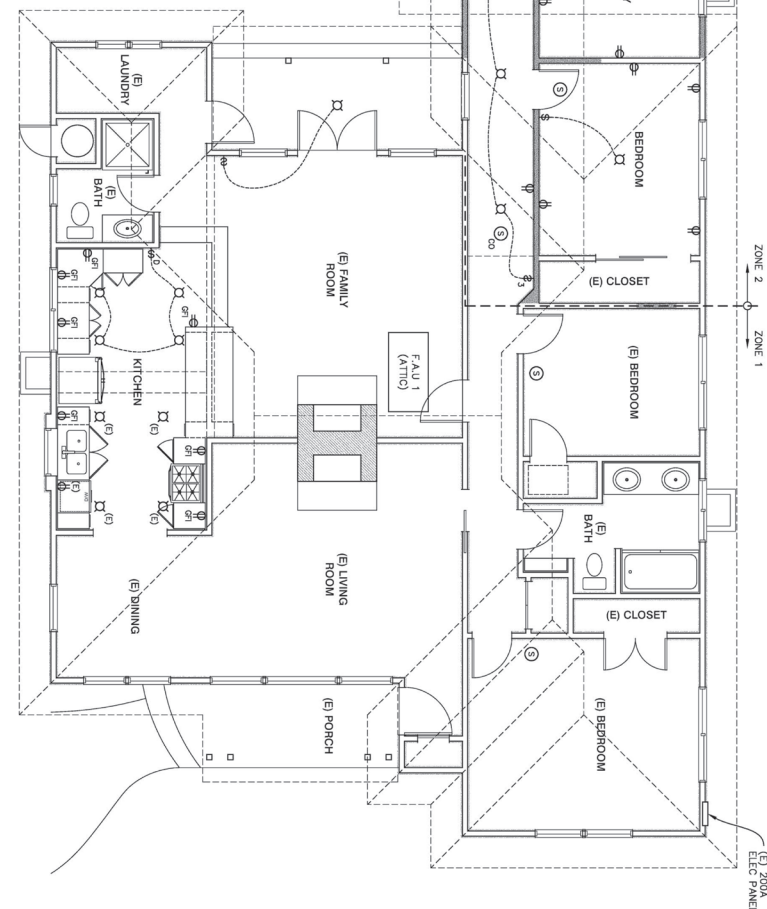
- OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE HABITABLE ATTICES, BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICES.
- BEDROOM, ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND ATTICS.

SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE EQUIPPED WITH A BATTERY BACKUP SHALL BE PERMANENTLY AND AUTOMATICALLY TESTED BY THE ELECTRICAL SYSTEM. SMOKE ALARMS SHALL BE SIGNAL CABLED TO THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

SMOKE ALARMS SHALL BE INSTALLED WITHIN AN INDIVIDUAL SLEEPING UNIT OR SLEEPING UNIT SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL INDICATE THE ACTIVATION OF ALL ALARMS IN THE INDIVIDUAL UNIT. SMOKE ALARMS SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S).

CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING EQUIPPED WITH A BATTERY BACKUP. CARBON MONOXIDE ALARMS WITH INTEGRAL STROBES THAT ARE EQUIPPED WITH A BATTERY BACKUP SHALL BE PERMANENTLY AND AUTOMATICALLY TESTED BY THE ELECTRICAL SYSTEM. CARBON MONOXIDE ALARMS SHALL BE SIGNAL CABLED TO THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

CARBON MONOXIDE ALARMS SHALL BE INSTALLED WITHIN AN INDIVIDUAL SLEEPING UNIT OR SLEEPING UNIT SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL INDICATE THE ACTIVATION OF ALL ALARMS IN THE INDIVIDUAL UNIT. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S).

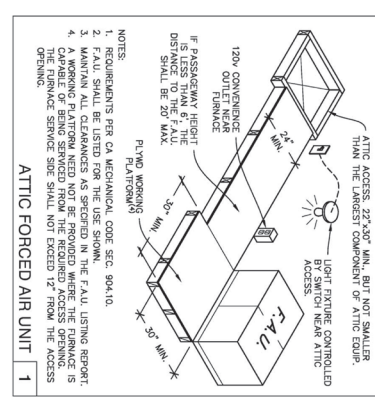


ELECTRICAL/UTILITY PLAN

SCALE: 1/4" = 1'-0"

PLAN LEGEND

(S)	SMOKE DETECTOR
(C)	CARBON MONOXIDE ALARM
(R)	AFCI RECEPTACLE
(GFI)	GFCI RECEPTACLE
(S)	SWITCH (WITH DIMMER)
(H)	HIGH EFFICIENCY LIGHT FIXTURE
(E)	EXHAUST FAN



ATTIC FORCED AIR UNIT 1

- NOTES**
1. REFER TO EQUIPMENT PER CA MECHANICAL CODE SEC. 904.10.
 2. F.A.U. SHALL BE LISTED FOR THE USE SHOWN.
 3. MAINTAIN ALL CLEARANCES AS SPECIFIED IN THE F.A.U. LISTING REPORT.
 4. A WORKING PLATFORM NEED NOT BE PROVIDED WHERE THE FURNACE IS LOCATED IN AN ATTIC UNLESS THE FURNACE SERVICE SIDE SHALL NOT EXCEED 12" FROM THE ACCESS OPENING.

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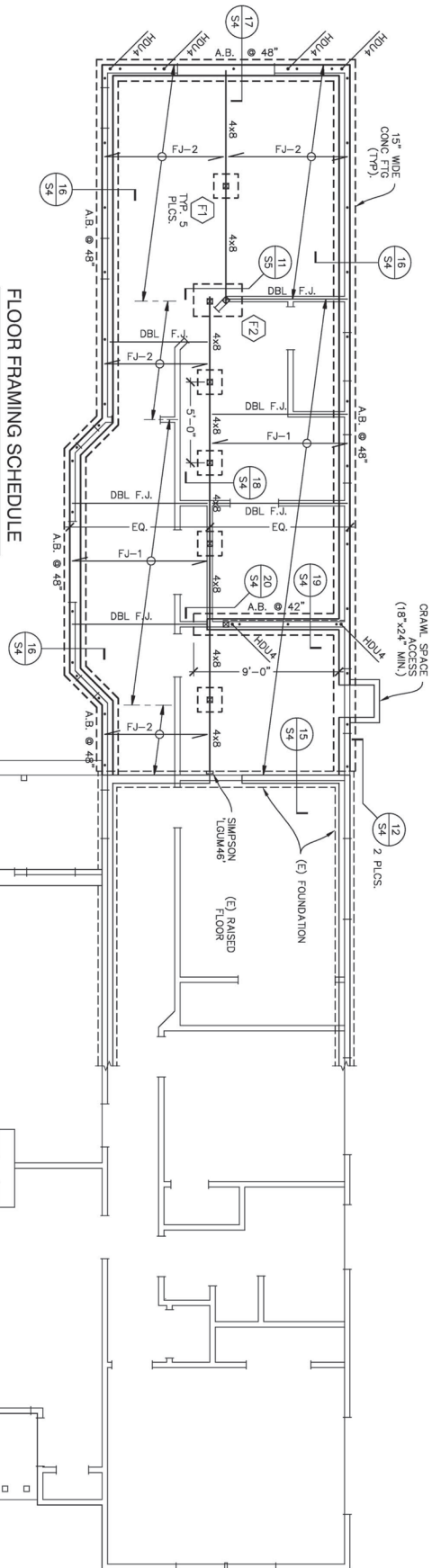
ARCHITECT/
ENGINEER
SIGNATURE

PROJECT:
ADDITION AND REMODEL FOR SINGLE-FAMILY DWELLING
22345 EXAMPLE LN.
OWNERS:
JOHN AND JANE DOE

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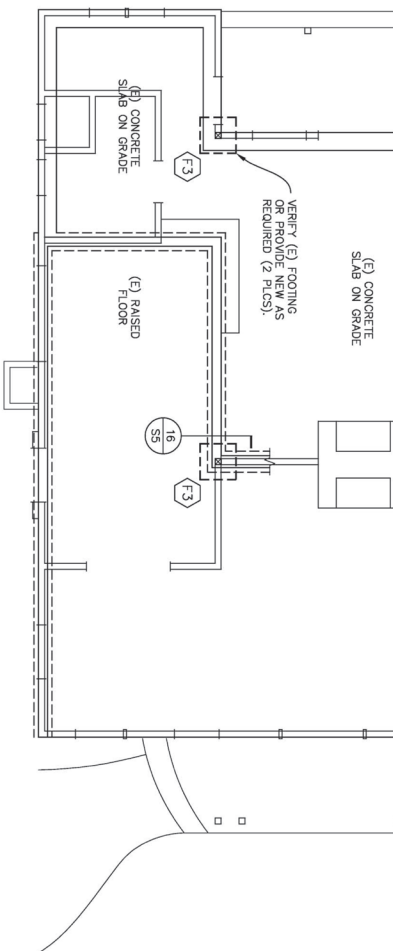


FLOOR FRAMING SCHEDULE

MARK	FRAMING
FJ-1	2x6 DFL #1 @ 16" O.C.
FJ-2	2x6 DFL #2 @ 16" O.C.

FOOTING SCHEDULE

MARK	FOOTING DIMENSIONS	BOTTOM REINFORCING STEEL
F1	1'-6" SQ. x 12" DEEP	(2) #4 BARS, EA. WAY
F2	2'-0" x 3'-0" x 12" DEEP	(3) #4 LONG & (4) #4 SHORT
F3	2'-0" SQ. x 12" DEEP	(2) #4 BARS, EA. WAY



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



- FOUNDATIONS AND SITE WORK NOTES**
- THE DESIGN OF THE FOUNDATION SYSTEM IS BASED UPON MINIMUM SOIL VALUES PRESCRIBED IN CHAPTERS 16 & 18 OF THE BUILDING CODE.
 - FOOTING DESIGN IS BASED ON ALLOWABLE SOIL PRESSURE OF 1,500 PSF. BOTTOM OF FOOTINGS TO BE A MINIMUM OF 12" BELOW LOWEST ADJACENT FINISHED FLOOR OR GRADE, AND 24" INTO UNDISTURBED NATURAL SOIL.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXCAVATION PROCEDURES INCLUDING SHORING, LAGGING, UNDERPINNING AND PROTECTION OF EXISTING CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE DE-WATERING OF EXCAVATIONS FROM SURFACE OF EXISTING FLOOR TO PREVENT WATER FROM ENTERING EXCAVATION. WATER FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING CONCRETE.
 - LOCATE AND PROTECT EXISTING UTILITIES TO REMAIN DURING AND/OR AFTER CONSTRUCTION.
 - ALL ABANDONED FOOTINGS, UTILITIES, ETC. THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE REMOVED.

- PLAN NOTES**
- ANCHOR BOLTS SHALL BE 5/8" DIA. X 10" LONG. MAXIMUM SPACING OF ANCHOR BOLTS IS INDICATED ON THE FOUNDATION PLAN. SEE TYPICAL DETAILS FOR ANCHOR BOLT PLACEMENT.
 - HEADLAMP HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.
 - HEADLAMP SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
 - FLOOR SHEATHING SHALL BE 5/8" STRUCT 1 PLYWD. OR OSB UNBLOCKED FIELD 104 NAILS OR APPROVED SCREENS @ 6" BOUNDARY, 8" EDGE, 12" FRAMING.
 - FLOOR SHEATHING SHALL BE GULLED TO FRAMING.

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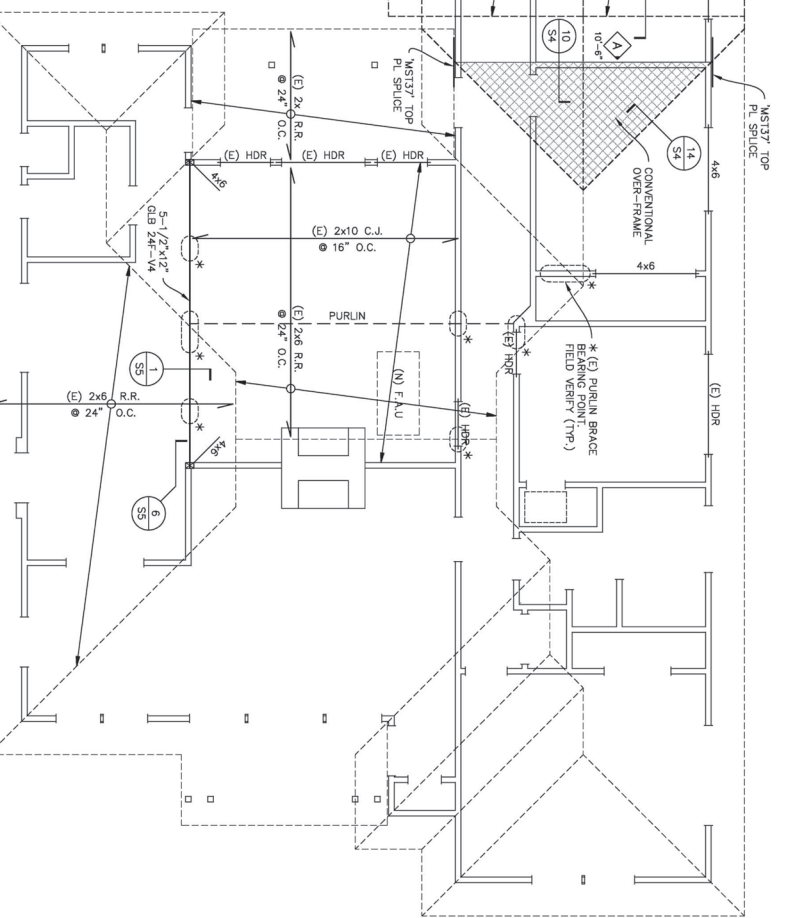
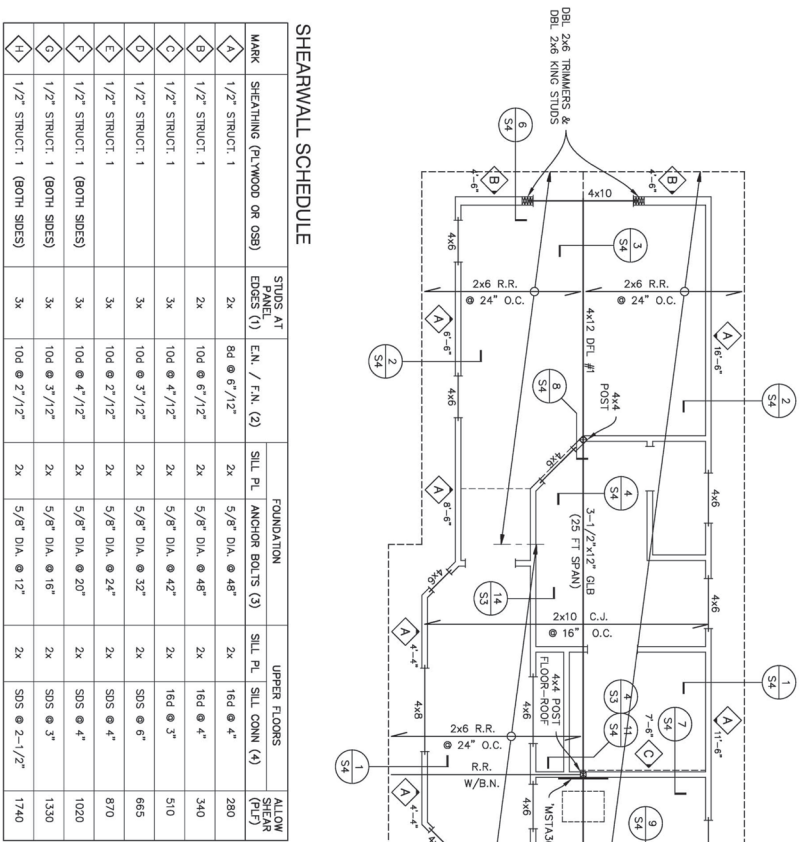
PROJECT:
ADDITION AND REMODEL FOR SINGLE-FAMILY DWELLING
22345 EXAMPLE LN.

OWNERS:
JOHN AND JANE DOE

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S1



MARK	SHEATHING (PLYWOOD OR OSB)	STUDS AT PANEL EDGES (1)	FOUNDATION EM, FN, 2	SILL PL ANCHOR BOLTS (3)	SILL PL SILL CONN (4)	ALLOW SHEAR (PLF)
A	1/2" STRUCT. 1	2x	8d @ 6" / 12"	5/8" DIA. @ 48"	2x 16d @ 4"	280
B	1/2" STRUCT. 1	2x	10d @ 6" / 12"	5/8" DIA. @ 48"	2x 16d @ 4"	340
C	1/2" STRUCT. 1	3x	10d @ 4" / 12"	5/8" DIA. @ 42"	2x 16d @ 3"	510
D	1/2" STRUCT. 1	3x	10d @ 3" / 12"	5/8" DIA. @ 32"	2x SOS @ 6"	665
E	1/2" STRUCT. 1	3x	10d @ 2" / 12"	5/8" DIA. @ 24"	2x SOS @ 4"	870
F	1/2" STRUCT. 1 (BOTH SIDES)	3x	10d @ 4" / 12"	5/8" DIA. @ 20"	2x SOS @ 4"	1020
G	1/2" STRUCT. 1 (BOTH SIDES)	3x	10d @ 3" / 12"	5/8" DIA. @ 16"	2x SOS @ 3"	1330
H	1/2" STRUCT. 1 (BOTH SIDES)	3x	10d @ 2" / 12"	5/8" DIA. @ 12"	2x SOS @ 2-1/2"	1740

- NOTES:
- THICKNESS OF STUDS AND BLOCKING RECEIVING EDGE NAILING FROM ADJOINING PANELS.
 - NAILS SHALL BE COMMON NAILS WITH FULL HEADS, 1 1/4" PLATE WISHERS.
 - ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 - SOS INDICATES SIMPSON STRONG DRIVE 1/4" x 3" 4" S-SERIES WOOD SCREW (ICC-ES# 52689).

- PLAN NOTES
- ROOF SHEATHING SHALL BE 1/2" STRUCT. 1 PLYWOOD OR OSB UNBLOCKED WITH 8d NAILS @ 6" BOUNDARY, 8" EDGE, 12" FIELD.
 - STUD WALLS UP TO 10 FT TALL SHALL BE MINIMUM 2x4 @ 16" O.C. STUD WALLS UP TO 14 FEET TALL MAY BE DOUBLE 2x4 @ 16" O.C. WALLS TALLER THAN 14 FEET SHALL BE 2x6 @ 16" O.C.
 - EXISTING ROOF PURLINS, PURLIN BRACES, CEILING JOIST BRACES, AND PROVIDE ADEQUATE SHORING DURING CONSTRUCTION.



PROJECT:
ADDITION AND REMODEL FOR SINGLE-FAMILY DWELLING
22345 EXAMPLE LN.

OWNERS:
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REVISIONS:

ARCHITECT/ENGINEER SEAL AND SIGNATURE

PERMIT # BLDXXX-XXXX

SHEET # S2

SAMPLE FRAMING DETAILS

2x JOIST NOTCHING & BORING

NOTES:
1. JOISTS SHALL BE PRE-DRIED AT 19% MOISTURE CONTENT.
2. JOIST NOTCHES SHALL BE CUT WITH THE LIMITS SET BY THE MANUFACTURER.

PLATE NOTCHING & BORING

STUD NOTCHING & BORING

NOTCH/BORE	2x4	2x6
2x4	1-3/8"	1-3/8"
4x4	1-3/8"	1-3/8"
6x6	3-1/4"	3-1/4"

NOTES:
1. NOTCHES SHALL BE PRE-DRIED AT CORNERS. DO NOT OVER-CUT.

TYPICAL MULTIPLE STUDS & JOISTS

TYPICAL CEILING JOIST BRACING

BRACING SCHEDULE

JOIST SIZE	BRACE SPACING
2x4	6'-0" O.C.
2x6	6'-0" O.C.
2x8	4'-0" O.C.

TYPICAL POST BASE CONNECTIONS

NON-BEARING PARTITIONS

CONCRETE MASONRY WALL

UNLOCKED DIAPHRAGM

ROOF & FLOOR SHEATHING

TOP PLATE SPLICE

PLAN MARK	NAIL SPLICE	STRAP SPLICE
A	8-16d	C316 X 30"
B	12-16d	C318 X 30"
C	12-16d	C218
D	20-16d	4x180

CONCRETE REINFORCING STEEL

TYPICAL WALL FRAMMING

TYPICAL SHEARWALL CORNERS & INTERSECTIONS

HOLDOWN DETAIL

HOLDOWN	ANCHOR	EMBED
10d12	5/8" DIA.	10"
10d14	5/8" DIA.	12"
10d16	7/8" DIA.	12"
10d18	1"	14"
10d24	1" DIA.	18"

TYPICAL MUD SILL ANCHORAGE

SAMPLE FRAMING DETAILS

2013 CalGreen Code residential mandatory measures

For additions or alterations that increase the building's conditioned area, volume, or size

THE FOLLOWING REQUIREMENTS APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION

(incorporate these requirements and the signed compliance statement into the plans)

Planning & Design division 4.1

1. **Preservation and use of available natural resources** shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas.
2. **Storm water pollution-** This project shall comply with all NPDES and local storm water ordinance requirements to control storm water drainage and prevent sediment runoff during construction. BMPs per Section 4.106.2 shall be in place and strictly adhered to throughout construction
3. **Surface drainage** shall be designed to prevent water from entering the building. Construction plans shall clearly show how the site grading and drainage system will manage surface water flows to keep water from entering building(s).
See sheet # A1 for compliance details.
(N/A for projects that do not alter the existing drainage path)

Energy Efficiency division 4.2

1. All new/water areas shall comply with all applicable energy efficiency requirements as set forth in the **2013 California Energy Code** (use 2010 edition prior to July 1, 2014). Title 24 Energy codes shall be included as part of the plans and drawings.

Water Efficiency and Conservation division 4.3

1. Plumbing fixtures and fittings shall comply with the following:
 - a. **Water closets-** 1.28 gallons per flush
 - b. **Urinals-** 0.5 gallons per flush
 - c. **Single showerheads-** flow rate shall not exceed 2.0 gallons per minute at 80 psi.
 - d. **Multiple showerheads** serving one shower-combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi.
 - e. **Lavatory faucets-** flow rate shall not exceed 1.5 gallons per minute at 60 psi.
 - f. **Lavatory faucets** (common/public-use areas)- flow rate shall not exceed 0.5 gallons per minute at 60 psi.
 - g. **Metering faucets-** maximum 0.25 gallons per cycle.
 - h. **Kitchen faucets-** 1.8 gallons per minute at 60 psi.

Plumbing fixtures and fittings shall be installed in accordance with the 2013 CPC and shall meet the applicable standards referenced in Table 1401.1 of the 2013 CPC.

2. Plumbing fixtures and fittings shall be installed in accordance with the 2013 CPC and shall meet the applicable standards referenced in Table 1401.1 of the 2013 CPC.
3. For homes constructed prior to January 1, 1994, all plumbing fixtures throughout the entire residence must be upgraded to water-conserving fixtures (per SB 407 California State law). Compliance form to be signed and given to the City building inspector prior to final inspection.

Material Conservation & Resource Efficiency division 4.4

1. **Rodent proofing-** Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or a similar method acceptable to the city building inspector.
2. **Construction waste-** A minimum of 50% of nonhazardous construction and demolition waste shall be recycled and/or salvaged. Projects that qualify under the City's construction and demolition waste ordinance must also comply with City recycle requirements. City of Santa Clarita Environmental Services division approval and stamp required on plans prior to permit issuance.
3. A **construction waste management plan** shall be submitted to the City's Environmental Services Division per the requirement in Section 4.408.2 of the 2013 CGBSC prior to permit issuance.
4. **Documentation-** Utilize a waste management company that can provide verifiable documentation that the percentage of construction waste material diverted from the landfill meets the 50% minimum requirement.
5. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed four (4) lbs/sq. ft. of the building area shall be deemed to meet the minimum 50% requirement.
6. **Proof of compliance** with one of the methods listed must be provided to and signed off by the Environmental Services Division at the time of final inspection and approval by the building inspector.

Environmental Quality division 4.5

1. Pre-fabricated fireplace shall be gas direct-vent sealed combustion type. Wood burning masonry fireplaces are not allowed (per SCAQMD).
2. During the construction process and until final startup of the HVAC system, all duct openings and other related air distribution component openings shall be covered with tape, plastic sheeting, or other method to reduce the amount of water, dust or debris which may enter the system.
3. All **adhesives, sealants and caulks** used on this project shall comply with SCAQMD Rule 1168 for VOC limits and toxic compounds. Aerosol adhesives, sealants and caulks (on packaging units not more than one pound or 16 fluid ounces) shall comply with statewide VOC standards.
4. **Paints and coatings** shall comply with VOC limits in Table 4.504.3 of the CGBSC.
5. **Aerosol paints and coatings** shall comply with statewide requirements and other requirements noted in Section 4.504.3 of the CGBSC.
6. **Carpeting and carpet cushions** shall meet the requirements of the Carpet and Rug Institute Green Label program or equivalent. Adhesives shall comply with VOC limits in Table 4.504.1 of the CGBSC.
7. Where **resilient flooring** is installed, 50% of the floor area receiving resilient flooring shall comply with one or more of the requirements listed in Section 4.504.4.
8. **Composite wood products** used on the interior or exterior shall comply with the formaldehyde limits as noted in Table 4.504.5 of the CGBSC.
9. **Documentation of compliance** for items 3 through 8 shall be available for the building inspector upon request prior to final inspection.
10. **Interior moisture control-** A 10 mil vapor barrier shall be provided below new concrete slabs of conditioned spaces to minimize moisture intrusion (clearly show on details).
11. **Building materials** with visible signs of water damage shall not be installed. Framing lumber shall be protected from moisture prior to installation. Prior to enclosing the framing, the moisture content of the framing members shall be verified not to exceed 19%. Documentation of moisture content from at least three separate locations shall be provided to the building inspector prior to enclosing wall and floor framing.
12. **Bathroom fans** shall be ENERGY STAR compliant with humidistat controls capable of adjustment between 50% and 80% relative humidity. Fans shall be ducted to terminate outside the building and shall be equipped with a backdraft damper.
13. **Whole house fans** shall have insulated louvers or covers with a minimum insulation value of R-4.2

New HVAC systems shall be sized, designed and have equipment selected as outlined in Section 4.507.2 of the CGBSC. Documentation of compliance, including drawings and calculations of the system design, shall be provided to the City planchecker upon request prior to permit issuance.

Installer and Special Inspector Qualifications

1. HVAC equipment installers shall be trained and certified by a nationally recognized training or certification program as outlined in section 702.1 of the 2013 CGBSC. Verification of qualifications shall be provided to the building inspector upon request.
2. **Special inspectors** must be registered with the City of Santa Clarita Building & Safety Division prior to performing special inspections of any 'green building' component or system required by this Code. Contact Building & Safety for registration requirements.

Compliance Statement

(to be completed by the project designer of record)
As the design professional or designer of record for this project, I certify that this project will comply with all applicable provisions of the 2013 California Green Building Standards Code (CalGreen Code).

Signature _____

Print Name _____

Date _____

Rev Date: 1/1/2014

SAMPLE TITLE 24/ENERGY CALCULATIONS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
 Project Name: Residential Addition
 Calculation Description: Title 24 Analysis
 Report File Name: 0120181016 R.mtl

CFR 610.41
 Calculation Date/Time: 2018 Aug 13, 2018
 Report Generated at: 2018-08-13 20:17:55

CERTIF 61
 Calculation Date/Time: 2018 Aug 13, 2018
 Report Generated at: 2018-08-13 20:17:55

CERTIF 61
 Calculation Date/Time: 2018 Aug 13, 2018
 Report Generated at: 2018-08-13 20:17:55

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CENTRAL INFORMATION	Project Name	Residential Addition
Title 24 Analysis		
01	Calculation Description	Title 24 Analysis
02	Project Location	1234 Main Street, Anytown, CA 90210
03	Project Name	Residential Addition
04	Client Name	John Doe
05	Calculator Name	ABC Energy Solutions
06	Calculator Version	1.0.0
07	Project Start Date	2018-08-13
08	Project End Date	2018-08-13
09	Project Status	Complete
10	Project Type	Residential Addition
11	Project Address	1234 Main Street, Anytown, CA 90210
12	Project Zone	Zone 1
13	Project Area (sq ft)	1000
14	Project Volume (cu ft)	10000
15	Project Height (ft)	10
16	Project Orientation	North
17	Project Orientation	South
18	Project Orientation	East
19	Project Orientation	West
20	Additional Data	None

COMPLIANCE RESULTS	
01	Building Envelope with Computer Performance
02	This building complies with the minimum energy code requirements of the California Energy Code.

ENERGY USE SUMMARY			
01	Energy Use (BTU/yr)	Standard Design	Proposed Design
02	Space Heating	100,000	100,000
03	Water Heating	100,000	100,000
04	Domestic Hot Water	100,000	100,000
05	Electric Energy (kWh)	100,000	100,000
06	CO ₂ Emissions (lbs/yr)	100,000	100,000
07	Compliance Status	Compliant	Compliant

Registration Number: 1234567890
 CA Building Energy Efficiency Standard: 2013 Residential Compliance
 Report Version: CTR-60072018-14

HEB Provider: ABC Energy Solutions
 Report Generated at: 2018-08-13 20:17:55

CERTIF 61
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RECORDING SPECIAL FEATURES		NO SPECIAL FEATURES REQUIRED	
01	Special Feature Name	None	None
02	Special Feature Description	None	None
03	Special Feature Compliance	None	None

BUILDING FEATURE INFORMATION		
01	Project Name	Residential Addition
02	Zone Name	Zone 1
03	Zone Type	Standard
04	Zone Area (sq ft)	1000
05	Zone Volume (cu ft)	10000
06	Zone Orientation	North
07	Zone Orientation	South
08	Zone Orientation	East
09	Zone Orientation	West

BUILDING FEATURE INFORMATION		
01	Project Name	Residential Addition
02	Zone Name	Zone 1
03	Zone Type	Standard
04	Zone Area (sq ft)	1000
05	Zone Volume (cu ft)	10000
06	Zone Orientation	North
07	Zone Orientation	South
08	Zone Orientation	East
09	Zone Orientation	West

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD	
Project Name: Residential Addition	
Calculation Description: Title 24 Analysis	
Report File Name: 0120181016 R.mtl	
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Report File Name: 0120181016 R.mtl	
Calculation Date/Time: 2018 Aug 13, 2018	
Report Generated at: 2018-08-13 20:17:55	

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD	
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Calculation Description: Title 24 Analysis	
Report File Name: 0120181016 R.mtl	
Calculation Date/Time: 2018 Aug 13, 2018	
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