



SAN RAFAEL

THE CITY WITH A MISSION

Community Development Department – Planning Division

Meeting Date: September 29, 2020
Agenda Item: 2
Case Numbers: UP20-013; ED20-022
Project Planner: Ali Giudice
415-485-3092

REPORT TO PLANNING COMMISSION

SUBJECT: 1309 Second Street– Request for a Use Permit and an Environmental and Design Review Permit to demolish the existing single-family residence and construct a three-unit multi-tenant residential structure with four covered garage parking spaces; APN: 012-073-04; Second/Third Mixed Use West (2/3 MUW), Zoning District; Garl Alicia Family Trust 2012, Owner; Ron Kappe, Kappe Architects, Applicant; File No. UP20-013/ED20-022.

EXECUTIVE SUMMARY

The City has received an application for an Environmental and Design Review Permit and Conditional Use Permit to demolish an existing 1,034 square foot single-family home and construct a new three-story approximately 3,580 square foot multi-family residential structure containing 3 residential units with ground floor parking.

The project site has a General Plan Land Use of Second/Third Street Mixed-Use (2/3MU) which allows residential uses. The implementing zone of the project site is Second/Third Mixed Use West (2/3MUW), which permits multi-family residential uses through an administrative Staff Level Use Permit. Given that the Design Review Permit requires Planning Commission approval, the Use Permit is subject to Commission review and approval.

The project was reviewed by a subcommittee of the Design Review Board (DRB) on August 5, 2020. The subcommittee evaluated the design of the project and voted unanimously (2-0), recommending approval of the project design to the Planning Commission, subject to conditions. Staff has evaluated the proposed project and supporting documents to determine consistency with the

California Environmental Quality Act (CEQA), City of San Rafael General Plan, Zoning Ordinance, and applicable design guidelines. Based on staff's review and recommendations provided by the Design Review Board, it is recommended that the Planning Commission approve the project, subject to conditions provided herein.

RECOMMENDATION

It is recommended that the Planning Commission Adopt the attached Draft Resolution (Exhibit 2) approving a Use Permit and Environmental and Design Review Permit for a new approximately 3,580 square foot, three-story residential structure containing three dwelling units.

PROPERTY FACTS

Address:	1309 Second Street	Parcel Number(s):	012-073-04
Property Size:	2,940 square feet	Neighborhood:	Downtown

Site Characteristics

	General Plan Designation	Zoning Designation	Existing Land-Use
Project Site:	2/3 MU	2/3 MUW	Single-family Residence
North:	2/3 MU	2/3 MUW	Commercial
South:	R/O	R/O	Commercial/Office
East:	2/3 MU	2/3 MUW	Commercial/Office/Retail/Res
West:	2/3 MU	2/3 MUW	Commercial

Site Description/Setting:

The project site is located in Downtown San Rafael on Second Street between C Street to the east and D Street to the west. The existing character of this area of Downtown San Rafael is defined by the one-way pair of Second and Third Streets, which carry traffic through downtown. Second Street at this location is characterized by a mix of commercial, retail, office, and residential uses. The project site is currently developed with a two-story, 1,034 square-foot single-family residence, which was originally constructed in 1877 by Isaac Shaver. The property is listed on the City's historic inventory as a potentially significant historic resource and therefore required the preparation of a Historic Resources Evaluation (HRE). A report was prepared, which concluded that the house does not qualify as a historic resource. See Background section for more information.

BACKGROUND

As previously stated, the project site is currently developed with a single-family residence which was originally constructed in 1877 by Isaac Shaver, a notable nineteenth century contractor. Due to the age of the structure and the site's listing on the City's historic inventory as a potentially significant resource, a Historic Resource Evaluation was prepared to determine the eligibility for historic status of the residence. The California Environmental Quality Act (CEQA) states that an environmental impact would result if a project causes a substantial adverse change in the significance of a historical resource. As stated in the HRE a historic resource includes a building, structure, or object that is (1) listed or (2) eligible for listing on the California Register of Historic Resources (CRHR), (3) included in a local register of historical resources, or (4) determined by the lead agency, through the presence of substantial evidence, to be historically significant. The residence would be considered eligible for listing if it meets one or more of the following criteria:

1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
2. Associated with the lives of persons important to local, California, or National history.
3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master possesses high artistic values.
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

As stated in the HRE, the residence is not associated with historically significant events and is consistent with national trends of post-railroad growth and development patterns, non-unique to the City of San Rafael and therefore, is not eligible for listing under criterion 1. Modifications made over time have compromised the physical integrity of the structure and hinder its ability to convey its origins and associations with the notable contractor, Isaac Shaver and is therefore ineligible for listing under

criterion 2. Modifications to the residence since its original construction include increasing the height from one to two stories to accommodate a garage, replacement of windows, reconfiguration of the front porch, and reconfiguration of the fenestration patterns along the primary façade. These modifications have resulted in the retention of minimal character defining features of its original Folk Victorian style, and therefore is not eligible for listing under criterion 3. Lastly, the project site has been significantly disturbed over time and is not known to contain any archaeological resources and is therefore not eligible for listing under criterion 4. As such, the house does not qualify as a historic resource under the California Environmental Quality Act and its demolition will not result in a significant environmental impact.

PROJECT DESCRIPTION

The applicant is seeking approval from the Planning Commission for a Use Permit and Environmental and Design Review Permit to construct a three-unit approximately 3,580 square foot multi-tenant residential structure in the Downtown neighborhood. The ground floor includes a covered parking area accommodating up to four parking spaces, one of which will be ADA compliant. The second floor includes two units and the third includes 895 square foot units and the third floor includes one 1,656 square foot unit. Floor plans are further detailed below.

Required Entitlements:

Use Permit. Pursuant to Section 14.05.022 of the SRMC multi-family residential uses in the 2/3 MUW Zoning District require approval of an Administrative Use Permit subject to Performance Standards for residential uses in commercial districts as set forth in Section 14.17.100 of the SRMC. Although the Zoning Ordinance established this as an Administrative level Use Permit, since it is joined with a Design Review Permit that requires Planning Commission review and approval, all planning entitlements are considered at the highest hearing body required.

Environmental and Design Review. Pursuant to Section 14.25.040, major physical improvements, including new construction of residential structures with three or more units requires approval by the Planning Commission. The proposed development includes the demolition of an existing single-family residence and the construction of a new three unit multi-family residential structure and is therefore subject to review and approval by the Planning Commission.

Site and Use Description:

Use. The project proposes to construct a new multi-family residential structure on a lot zoned as mixed-use (2/3 MUW), which conditionally permits residential uses.

Site Plan. The new residential structure proposes a gross floor area of 3,580 square feet. The structure will be setback five feet from the front property line, as required and includes zero-foot side and rear setbacks. The existing driveway located adjacent to Second Street will provide access to the ground floor covered parking area which includes four spaces, one of which is a van accessible ADA space. Also located on the ground floor will be a bicycle parking area, resident mailboxes, refuse bin storage area, stair access to the second floor, and a limited use/limited application (LULA) elevator which will provide second floor accessibility for handicapped residents. The second floor includes two 895 square foot dwelling units (units 1 and 2) with a mirrored two-bed two-bath floor plan. The third floor includes one 1,656 square foot unit (unit 3) and includes three bedrooms and two bathrooms. The overall height of the structure will be 30-feet 6 ½-inches.

Parking and Circulation. Chapter 14.18 of the San Rafael Municipal Code provides reduced parking requirements for properties located within a downtown zoning district, including the subject property. One parking space is required for two-bedroom multi-family units under 900 square feet and two spaces for three or more bedroom multi-family units. As previously stated, the project proposes three units, two

of which are two-bedroom and under 900 square feet and one of which is a three-bedroom unit. As such, the total number of parking spaces required is four and will be accommodated in the proposed ground floor garage.

Architecture. The proposed multi-family residential structure is designed in a modern architectural style. Features include gabled roof forms, wood clad stairways, uncovered walkways, handrails, windows, and decorative planter boxes. Proposed materials include a composition shingle roof, stucco walls, vertical and horizontally applied natural redwood, wood doors, and cast concrete. Proposed colors are included on Sheet A5.0 of the submitted plans and building elevations are provided on Sheet A3.1.

Landscaping. As proposed, the project provides bioretention planter boxes at the ground floor of the north elevation and the second floor of the east elevation. The total area of the bioretention planter boxes is 126 square feet, which is less than 294 square feet (10 percent) required by the zoning ordinance. Although the landscaping proposed is less than the minimum required, the Design Review Board concluded that the amount provided was appropriate given site constraints. As conditioned, the applicant will be required to provide a final landscape plan that shows permeable pavers at the project frontage, upon submittal of a building permit, which will be reviewed by members of the Board to determine appropriateness of proposed plantings.

Lighting. The project proposes to install wall sconces with LED lighting adjacent to residential entrances and motion detector lights in the garage and at the stairways. As conditioned, lighting will comply with City standards to reduce light and glare.

Grading/Drainage. The project site is relatively flat, and therefore minimal grading will be required. As conditioned, the applicant will be required to confirm cut and fill values which will be reviewed by the City's Department of Public Works. Furthermore, the project proposes bioretention areas to treat stormwater onsite. As conditioned, at the time of building permit submittal the applicant will be required to submit a stormwater control plan that complies with Marin County Stormwater Pollution Prevention Program (MCSTOPPP) standards.

ANALYSIS

San Rafael General Plan 2020 Consistency:

The site has a General Plan designation of Second/Third Mixed Use (2/3 MU) which allows for a mix of retail, limited auto-serving, and residential uses. The General Plan includes policies and programs that are relevant to the site and the project. As proposed, the project is consistent with the General Plan 2020, including policies and programs identified in the following elements: Land Use, Housing, Neighborhoods, and Community Design. Attached to this report is a list and evaluation of the projects consistency with the General Plan. However, key relevant policies are discussed in detail below.

Land Use Policies

Land Use Policy LU-8a (*Residential Zoning*) Intends to implement Land Use Element densities by setting appropriate maximum allowed densities in the Zoning Ordinance. As further discussed below, the applicable zoning designation allows for one dwelling unit per 1,000 square feet of lot area. At this density, 2.94 units would be permitted on the 2,940 square foot lot. As provided in the Zoning Ordinance, when calculating the number of required affordable housing units, fractional units greater than 0.5 are rounded to the next whole number. State density bonus law also requires application of this type of rounding for project that seek a density bonus. The rounding is applicable to base density units, affordable housing units and density bonus units. The purpose of this type of rounding is to maximize housing production. While the City's zoning ordinance is silent on the rounding in general, rounding of fractional units would provide an effective way in helping the City meet our RHNA obligation. In addition, the City Council has directed staff to continue to look for efficient and creative ways to encourage

housing production. Rounding fractional units is a practice that is already used for affordable housing densities and could be implemented for all multi-family housing immediately.

Development of the site at the maximum permissible density through use of rounding fractional units is consistent with the density ranges allowed by the General Plan (32-62 units per acre).

LU-12 (*Building Heights*) identifies maximum building height limits in Central San Rafael. The area of the proposed project allows a maximum building height of 36 feet whereas the project proposes a maximum height of 30 feet 6 ½ inches. Therefore, the proposed project is consistent with the maximum allowable height for the site and with this General Plan policy.

LU-14a (*Land Use Compatibility*) Seeks to evaluate the compatibility of proposed residential uses in commercial areas through the development review process. The proposed project is located in a mixed-use area and has been reviewed for consistency with the performance standards identified in the SRMC for residential uses in commercial districts. As further discussed below the project is consistent with the performance standards and as such is consistent with this General Plan policy.

Housing Policies

Housing Policy H-2 (*Design That Fits into the Neighborhood Context*) recognizes that construction of new housing can add to the appearance and value of the neighborhood if it fits into the established character of the area. The proposed design complies with development standards and has been reviewed for consistency with applicable design guidelines, as further discussed below. The proposed project will replace an existing single-family residence with a multi-family residential development. The scale and design of the building is compatible with adjacent developments which also feature zero foot setbacks and similar height and massing. The project has also been reviewed by the Design Review Board and found to be consistent with applicable design criteria. As such, the project is consistent with this General Plan policy.

H-14b (*Efficient Use of Multi-family Housing Sites*) states that development of multi-family housing sites shall not be approved below the minimum General Plan base density. For residential-only projects the density should be in the mid to high range of the zoning district. The project proposes to provide three units, which would be the maximum units allowed by the zoning district with rounding of fractional units. The project proposes a density at the higher range of the General Plan Densities which would allow between 2-4 units for this .067-acre lot (.067 acres x 32 to 62 units per acre = 2 to 4 units), consistent with this General Plan policy.

Neighborhoods Policies

Neighborhoods Policy NH-2 (*Housing Downtown*) seeks to create a popular and attractive residential environment downtown that contributes to the activity and sense of community and takes advantage of proximity to shopping, services, and transit. The proposed project will introduce a multi-family residential building to an area adjacent to existing single-family residences, commercial, office, and retail uses and within 0.5 miles of the SMART train, which provides regional access between Marin and Sonoma Counties. The addition of a new multi-family development will add to the existing housing stock in Downtown San Rafael and will introduce new residents in close proximity to goods, services, and transit which will contribute to the existing activity and sense of community in the area. As such, the project is consistent with this General Plan policy.

NH-17 (*Competing Concerns*). Recognizes the challenging task of reviewing, evaluating, and making decisions on projects where there may be competing economic, housing, environmental and design concerns that must be balanced. This policy states that: "*No one factor should dominate; however, economic and housing development are high priorities to the health of Downtown.*" The City Council's guidance over the past several years has been to look for ways to encourage housing production. The

proposed development provides variety in the mix of housing that would be available in the downtown and that could contribute to the vitality of the downtown. As such the proposed project is consistent with the guidance in this policy.

NH-22 (*Housing Downtown*). Calls for more housing in the downtown to “*create a popular and attractive residential environment.*” The proposed project would add units to the downtown area providing opportunities for increased use of the nearby retail/restaurants and services.

NH-31 (*Ground Floor Design*) recognizes the importance of pedestrian activity in the Downtown area and seeks to ensure that all buildings, regardless of height, create a comfortable environment for pedestrians. The project proposes design features that are consistent with the existing residence including height, recessed garage door, exterior stairs facing the street, and front setbacks. The proposed design is pedestrian oriented and will maintain the comfortable walking environment that currently exists, consistent with this General Plan policy.

Community Design Policies

Community Design Policy CD-3 (*Neighborhoods*) seeks to preserve and enhance the positive qualities that are unique to each neighborhood. The City's Downtown neighborhood provides a wide range of uses and building types. The project will introduce a modern multi-family residential building which will add to the existing housing stock and represents an increase residential density on the lot. The introduction of new residences to Downtown will promote accessibility to surrounding commercial, retail, and office uses and will provide an opportunity for new residents to access nearby transit, which is unique to Downtown. As such, the project is consistent with this General Plan policy.

Zoning Ordinance Consistency:

The project has been reviewed for consistency with the San Rafael Zoning Ordinance including site development standards, parking, and applicable design review, use permit, and performance standards findings. An analysis of the project's consistency with applicable regulations is included below.

Development Standards

The project site is located within the 2/3 MUW zoning district, which allows multi-family development through approval of a use permit. The project's consistency with applicable development standards are further discussed below.

Pursuant to Section 14.05.032 of the SRMC, the site is permitted to have one (1) residential unit per 1,000 square feet of lot area. The project site is 2,940 square feet in area, which allows for a total of 2.94 units. Section 14.16.030(2) of the SMRC states that when providing affordable housing, fractional units of 0.5 or greater are rounded up to the nearest whole number. With regard to projects that provide only market rate housing units, the zoning code is silent on rounding for fractional units. Due to the widespread regional and statewide housing crisis and the increasing pressure placed on the community to provide housing at all affordability levels, the City Council has directed staff to pursue efficient and creative solutions that encourage housing production. Rounding fractional units, though not historically applied to market rate housing developments, is a practice that is currently used for projects that include affordable housing. Pursuant to State Density Bonus law, the rounding of units shall apply to base densities units, affordable housing units, and density bonus units. Since the intent of SDBL is to encourage production of more housing this rounding of units could be implemented for other multi-family housing developments such as the proposed project. This practice should be reviewed on a case-by-case basis to ensure design integrity is maintained and other applicable development standards such as setbacks, height, and parking can be met without compromising the public health, safety, and welfare and to ensure consistency with the City's General Plan and other applicable policies and regulations. Furthermore, the project proposes two units under 1,000 square feet, which due to their smaller size,

are affordable by design and will accommodate a level of housing affordability that is needed within the City.

Setbacks - The 2/3 MUW Zoning District requires a minimum front setback of 5 feet and does not require setbacks at the rear and side property lines. As proposed the project meets the minimum setback requirements of the 2/3 MUW Zoning District.

Building height - Section 14.05.032 of the SRMC establish a height limit ranging from 36 to 42 feet in the 2/3 MUW Zoning District. The subject property has a maximum height of 36 feet and the project proposes a maximum height of 30 feet 6 ½ inches. As proposed, the project meets the building height requirements of the district.

Landscaping - As previously discussed, the landscaping requirement for properties zoned 2/3 MUW is 10 percent of the total lot area. The project site is approximately 2,940 square feet and would therefore be required to provide 294 square feet of landscaping. As proposed, the project will provide 126 square feet of landscaping, which is less than the required amount, however, the Design Review Board determined that the amount of landscaping provided is appropriate given the context of the proposed development.

Parking - As described above, the project proposes to provide four off-street parking spaces including one van accessible space consistent with Chapter 14.18 of the SRMC. The project has been reviewed by the Department of Public Works to determine compliance with parking facility dimensions, and adequacy of access to the public right-of-way.

Site and Use Regulations

The project meets all applicable site and use regulations as provided in Chapter 14.16 of the SRMC as discussed in detail below.

Refuse Enclosure - The refuse enclosure will be located within an enclosed area and will be adequately screened from view. Refuse collection will be provided by the local collection agency consistent with similar multi-family uses in the City.

Affordable Housing Requirements - Section 14.16.030 provides affordable housing requirements for residential and non-residential developments. Certain types of projects, including residential developments of four or fewer units in a single structure and residential developments of four or fewer units where the square footage of each unit is less than 1,800 square feet are exempt from the affordable housing requirements. The project is exempt as it provides three units in a single structure and the floor area of each unit is less than 1,800 square feet.

Historic Preservation - Section 14.16.210 of the SRMC states that alteration, including demolition of a structure on a landmark site or in a historic district may be subject to a Certificate of Appropriateness, subject to review and approval by the Planning Commission. Though the site is listed on the City's historic inventory as a potentially significant historic resource, the Historic Resource Evaluation prepared for the site determined that the residence has been significantly altered overtime and is not listed or eligible for listing as a historic resource. Therefore, no Certificate of Appropriateness is required for demolition of the existing residence.

Light and Glare - As specified in Section 14.16.227 colors, materials, and lighting shall be designed to avoid light and glare impacts on surrounding development. Proposed colors and materials include neutral tones and lighting is designed to reduce offsite light and glare. Furthermore, standard conditions of approval include a 90-day post constructing lighting

inspection which allows staff to evaluate any necessary adjustments to ensure compliance with applicable standards.

Sight Distance - The SRMC requires that fencing, vegetation and improvements be established and maintained in a manner that does not reduce visibility for the safe ingress and egress of vehicles or pedestrians within a required vision triangle, which is 15 feet from the curb return at any intersection or driveway. Any improvements or vegetation located within the established vision triangle must not exceed a height of three feet. As conditioned, the project will meet the sight distance requirements.

Performance Standards

Section 14.17.100 provides specific regulations for residential uses in commercial districts to ensure that residents will not be adversely impacted by adjacent uses and to ensure that the overall interest of both commercial and residential uses is maintained. As provided therein, the location of residential units in the 2/3 MUW district is determined through project review. The proposed project will introduce a new multi-family residential building on a site currently developed as a single-family residence. Though the proposed structure will have a larger footprint than the existing single-family home, the siting of the structure is compatible with surrounding uses and new residents will not be adversely impacted by adjacent commercial uses. The proposed project meets other applicable standards of Section 14.17.100 including provisions related to separate and secured entrances, and compliance with parking noise, lighting, and reuse storage. As such, the project is consistent with applicable performance standards for residential uses in commercial districts.

Use Permit Findings

The proposed project is consistent with the required findings set forth in Section 14.21.080 of the SRMC. A detailed analysis of staff findings is contained in the draft resolution set forth in Exhibit 2.

Environmental and Design Review Permit Findings

The proposed project is consistent with the required findings set forth in Section 14.25.090 of the SRMC. A detailed analysis of staff findings is contained in the draft resolution set forth in Exhibit 2.

DESIGN REVIEW BOARD RECOMMENDATION

The project received Conceptual Design Review and Formal Design Review by the Design Review Board. It should be noted that due to shelter in place orders issued by the State of California and Marin County, the City adopted a policy statement delegating Design Review Board recommendations to a sub-committee comprised of two members. The policy statement is intended to avoid the need for physical in-person hearings while still allowing entitlement applications to move forward with the review process.

As required by Section 14.25.030(B) of the SRMC, the applicant applied for Conceptual Design Review prior to submittal of a formal application, which was reviewed by a subcommittee of the Design Review Board on April 8, 2020. Following review of the concept design by the Board the applicant submitted a formal application for the project including a Use Permit and an Environmental and Design Review Permit. On August 5, 2020 the formal project submittal was reviewed by a subcommittee of the Design Review Board (Commissioners XXX and XX), who recommended approval of the project design by a vote of 2-0, subject to conditions of approval.

The Design Review Board Subcommittee recommended approval of the design as submitted with the condition that a final landscape plan be submitted with the building permit application. Upon review of the landscape plan, staff will discuss the appropriateness of the proposed landscape with the Design Review Board.

ENVIRONMENTAL DETERMINATION

Staff conducted a preliminary review of the project application and supportive documents and determined that the application is defined as a project under CEQA, pursuant to CEQA Guidelines Section 15060. A project is exempt from CEQA if it qualifies for a Categorical Exemption under Article 19, Section 15300. Given the project scope, staff recommends that the project qualifies for a Class 3 exemption under CEQA Guidelines Section 15303, which exempts construction of multi-family residential structure totaling no more than four dwelling units. Additionally, the project does not conflict with any of the exceptions to the use of a categorical exemption including a project which may result in a substantial adverse change in the significance of a historical resource. As described in the Historic Resource Evaluation, the existing residence does not qualify as a historically significant resource, and therefore its demolition will not result in a substantial adverse impact under CEQA. As such, no further environmental review is required.

NEIGHBORHOOD MEETING / CORRESPONDENCE

Notice of hearing for the project was conducted in accordance with noticing requirements contained in Chapter 29 of the Zoning Ordinance. A Notice of Public Hearing was mailed to all property owners and occupants within a 300-foot radius of the subject site and all other interested parties, 15 calendar days prior to the date of all meetings, including this hearing. Public notice was also posted on the subject site 15 calendar days prior to the date of all meetings, including this hearing.

No public comments have been received as of the publishing of this staff report.

OPTIONS

The Planning Commission has the following options:

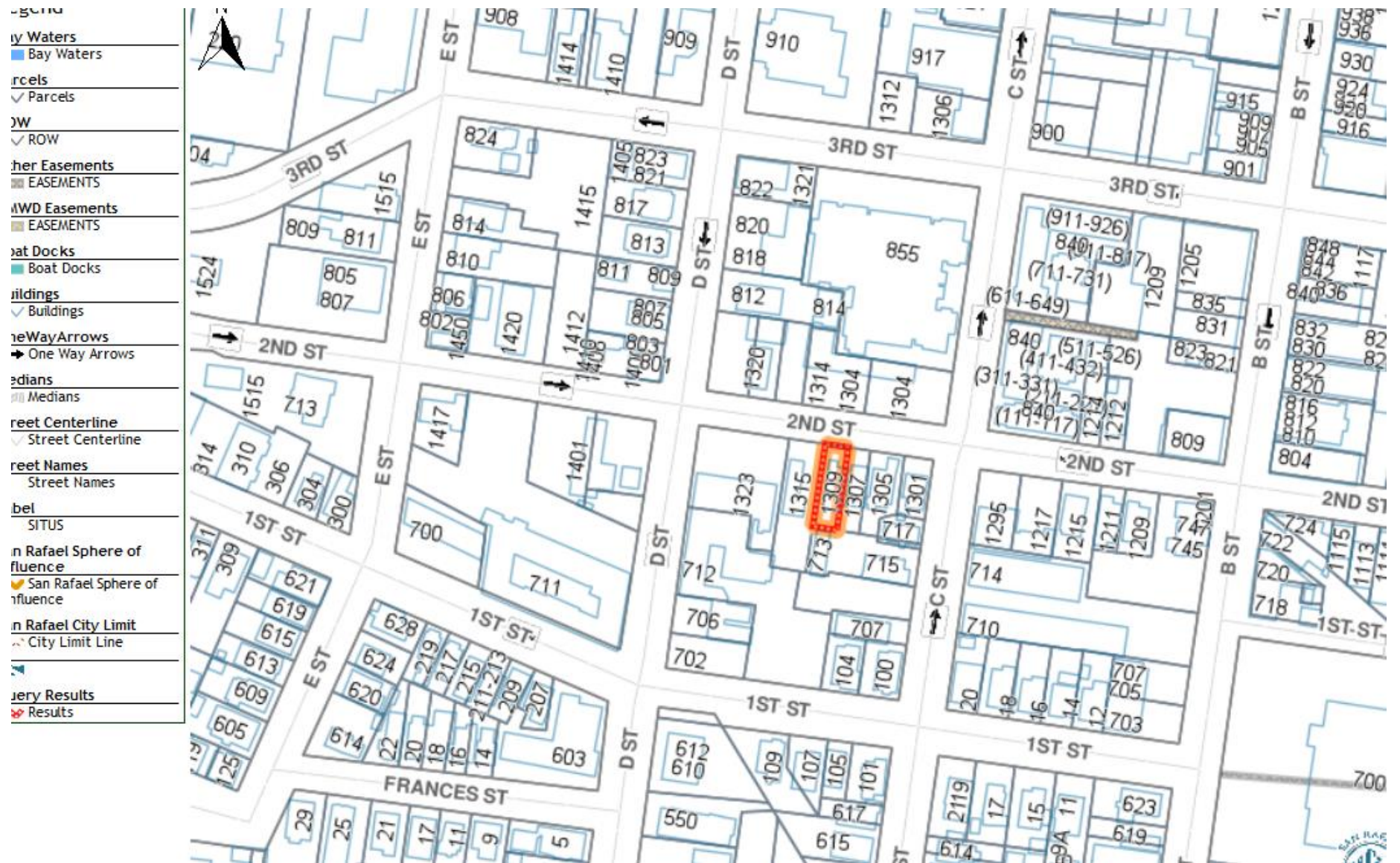
1. Approve the application as presented, subject to conditions of approval (*staff recommendation*)
2. Approve the application with certain modifications, changes or additional conditions of approval
3. Continue the applications to allow the applicant to address any of the Commission's comments or concerns
4. Deny the project and direct staff to return with a revised Resolution of denial

EXHIBITS

1. Vicinity/Location Map
2. Draft Resolution recommending approval of the Use Permit and Environmental and Design Review Permit
3. General Plan 2020 Consistency Table
4. Reduced Project Plans

Electronic copies of plans can be viewed on line at <https://www.cityofsanrafael.org/major-planning-projects/>

Vicinity Map



RESOLUTION NO. 20-___

**RESOLUTION OF THE SAN RAFAEL PLANNING COMMISSION APPROVING A
USE PERMIT AND ENVIRONMENTAL AND DESIGN REVIEW PERMIT FOR NEW
CONSTRUCTION OF A THREE UNIT MULTI-FAMILY RESIDENTIAL STRUCTURE
ON A 2,940 SQUARE FOOT LOT LOCATED AT 1309 SECOND STREET
APN: 012-073-04**

WHEREAS, the City of San Rafael has received an application for a Use Permit and Environmental and Design Review Permit for a 3-unit multi-family residential structure at 1309 Second Street in the Second/Third Mixed-use West (2/3 MUW) Zoning District; and

WHEREAS, in response to Shelter in Place Orders issued by the State of California and Marin County associated with COVID-19, the City Manager authorized an interim review process for projects subject to review by the City of San Rafael Design Review Board through issuance of a Policy Statement, signed on April 1, 2020; and

WHEREAS, on April 8, 2020 the project received Conceptual Design Review by a subcommittee of the City of San Rafael Design Review Board consistent with the aforementioned Policy Statement and pursuant to Section 14.25.030(B) of the San Rafael Municipal Code; and

WHEREAS, on August 5, 2020 the project received Formal Design Review by a subcommittee of the City of San Rafael Design Review Board (Members Saude and Kent) consistent with the Policy Statement described above and the subcommittee recommended approval (2-0) of the design to the Planning Commission; and

WHEREAS, on September 29, 2020, the San Rafael Planning Commission held a duly noticed public hearing on the proposed Use Permit (UP20-013) and Environmental and Design Review Permit (ED20-022), accepting all oral and written public testimony and the written report of the Community Development Department staff; and

WHEREAS, upon review of the application, the Planning Commission finds that the project is exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines, which exempts construction of multi-family residential structure totaling no more than four dwelling units; and

WHEREAS, a Historic Resource Evaluation was prepared for the project and determined that the existing residence does not qualify as a historically significant resource, and therefore its demolition will not result in a substantial adverse impact under CEQA.

NOW THEREFORE BE IT RESOLVED, the Planning Commission makes the following findings relating to the Use Permit (UP20-013) and Environmental and Design Review Permit (ED20-022) for the proposed three-unit multi-family residential structure.

**USE PERMIT (UP20-013)
FINDINGS**

- A. That the proposed use is in accord with the general plan, the objectives of the zoning ordinance, and the purposes of the district in which the site is located:**

The site is designated as Second/Third Mixed-use West (2/3 MUW) on the General Plan 2020 Land Use Map which allows for the establishment of multi-family uses. Additionally, the project is consistent with the General Plan and specifically with the following key General Plan Policies:

LU-8a (Residential Zoning) Intends to implement Land Use Element densities by setting appropriate maximum allowed densities in the Zoning Ordinance. As further discussed below, the applicable zoning designation allows for one dwelling unit per 1,000 square feet of lot area. At this density, 2.94 units would be permitted on the 2,940 square foot lot. As provided in the Zoning Ordinance, when calculating the number of required affordable housing units, fractional units greater than 0.5 are rounded to the next whole number. With regard to market rate housing, a similar provision for fractional units is not specified in the Zoning Ordinance. Although the project proposes to provide market rate housing, staff is recommending that the project be permitted to construct three units using the practice of rounding the fractional units (2.94) to a whole number. Development of the site at the maximum permissible density through use of rounding fractional units is consistent with the intent of this General Plan policy.

Land Use Policy LU-12 (Building Heights) identifies maximum building height limits in Central San Rafael. The area of the proposed project allows a maximum building height of 36 feet whereas the project proposes a maximum height of 30 feet 6 ½ inches. Therefore, the proposed project is consistent with the maximum allowable height for the site and with this General Plan policy.

LU-14a (Land Use Compatibility) Seeks to evaluate the compatibility of proposed residential uses in commercial areas through the development review process. The proposed project is located in a mixed-use area and has been reviewed for consistency with the performance standards identified in the SRMC for residential uses in commercial districts. As further discussed below the project is consistent with the performance standards and as such is consistent with this General Plan policy.

Housing Policy H-14b (Efficient Use of Multi-family Housing Sites) states that development of multi-family housing sites shall not be approved below the minimum General Plan base density. For residential-only projects the density should be in the mid to high range of the zoning district. The project proposes to provide three units, which would be the maximum units allowed by the zoning district with rounding of fractional units. The project proposes a density at the highest range, consistent with this General Plan policy.

B. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity, or to the general welfare of the city:

The project has been reviewed by appropriate city departments, including the Building Division, Fire Department, Department of Public Works, and Marin Sanitary Service. As conditioned, the project will require application of a building permit that complies with all applicable Building and Fire Code requirements prior to construction. In addition, the applicant will be required to comply with conditions of approval imposed by the Department of Public Works and Marin Sanitary Service as contained herein.

C. That the proposed use complies with each of the applicable provisions of the zoning ordinance:

The project, as proposed and conditioned, is consistent with the intent of Chapter 14 (Zoning) of the San Rafael Municipal Code (SRMC).

14.05.030 - Property development standards. The project is consistent with applicable development standards for the 2/3 MUW Zoning District and meets the intent of provisions contained therein including the following:

- Maximum Residential Intensity. Pursuant to Section 14.05.032 of the SRMC, the site is permitted to have one (1) residential unit per 1,000 square feet of lot area. The project site is 2,940 square feet in area, which allows for a total of 2.94 units. Section 14.16.030(2) of the SRMC states that when providing affordable housing, fractional units of 0.5 or greater are rounded up to the nearest whole number. With regard to projects that provide only market rate housing units, the zoning code is silent on rounding for fractional units. Due to the widespread regional and statewide housing crisis and the increasing pressure placed on the community to provide housing at all affordability levels, the City Council has directed staff to pursue efficient and creative solutions that encourage housing production. Rounding fractional units, though not historically applied to market rate housing developments, is a practice that is currently used for affordable housing densities and could be implemented for other multi-family housing developments such as the proposed project. This practice should be reviewed on a case-by-case basis to ensure design integrity is maintained and other applicable development standards such as setbacks, height, and parking can be met without compromising the public health, safety, and welfare and to ensure consistency with the City's General Plan and other applicable policies and regulations. Furthermore, the project proposes two units under 1,000 square feet, which due to their smaller size, are affordable by design and will accommodate a level of housing affordability that is needed within the City.
- Setbacks: The 2/3 MUW Zoning District requires a minimum front setback of 5 feet and does not require setbacks at the rear and side property lines. As proposed the project meets the minimum setback requirements of the 2/3 MUW Zoning District.
- Building height: Section 14.05.032 of the SRMC establish a height limit ranging from 36 to 42 feet in the 2/3 MUW Zoning District. The subject property has a maximum height of 36 feet and the project proposes a maximum height of 30 feet 6 ½ inches. As proposed, the project meets the building height requirements of the district.
- Landscaping. The landscaping requirement for properties zoned 2/3 MUW is 10 percent of the total lot area. The project site is approximately 2,940 square feet and would therefore be required to provide 294 square feet of landscaping. As proposed, the project will provide 126 square feet of landscaping, which is less than the required amount, however, the Design Review Board determined that the amount of landscaping provided is appropriate given the context of the proposed development.

Chapter 14.16 (Site and Use Regulations). The project is consistent with the following applicable site and use regulations.

- 14.16.025 - Refuse enclosure requirement. The refuse enclosure will be located within an enclosed area and will be adequately screened from view. Refuse collection will be provided by the local collection agency consistent with similar multi-family uses in the City.
- 14.16.030 - Affordable housing requirement. Section 14.16.030 provides affordable housing requirements for residential and non-residential developments. Certain types of projects, including residential developments of four or fewer units in a single structure and residential developments of four or fewer units where the square footage of each unit is less than 1,800

square feet are exempt from the affordable housing requirements. The project is exempt as it provides three units in a single structure and each units floor area is less than 1,800 square feet.

- 14.16.227 - Light and glare. As specified in Section 14.16.227 colors, materials, and lighting shall be designed to avoid light and glare impacts on surrounding development. Proposed colors and materials include neutral tones and lighting is designed to reduce offsite light and glare. Furthermore, standard conditions of approval include a 90-day post constructing lighting inspection which allows staff to evaluate any necessary adjustments to ensure compliance with applicable standards.
- 14.16.295 - Sight distance. The SRMC requires that fencing, vegetation and improvements be established and maintained in a manner that does not reduce visibility for the safe ingress and egress of vehicles or pedestrians within a required vision triangle, which is 15 feet from the curb return at any intersection or driveway. Any improvements or vegetation located within the established vision triangle must not exceed a height of three feet. As conditioned, the project will meet the sight distance requirements.

Chapter 14.17 (Performance Standards). Section 14.17.100 provides specific regulations for residential uses in commercial districts to ensure that residents will not be adversely impacted by adjacent uses and to ensure that the overall interest of both commercial and residential uses is maintained. As provided therein, the location of residential units in the 2/3 MUW district is determined through project review. The proposed project will introduce a new multi-family residential building on a site currently developed as a single-family residence. Though the proposed structure will have a larger footprint than the existing single-family home, the siting of the structure is compatible with surrounding uses and new residents will not be adversely impacted by adjacent commercial uses. The proposed project meets other applicable standards of Section 14.17.100 including provisions related to separate and secured entrances, and compliance with parking noise, lighting, and reuse storage. As such, the project is consistent with applicable performance standards for residential uses in commercial districts.

Chapter 14.18 (Parking Standards). The project proposes to provide four off-street parking spaces including one van accessible space consistent with Chapter 14.18 of the SRMC. The project has been reviewed by the Department of Public Works to determine compliance with parking facility dimensions, and adequacy of access to the public right-of-way.

ENVIRONMENTAL AND DESIGN REVIEW FINDINGS (ED20-022)

A. That the project design is in accord with the general plan, the objectives of the zoning ordinance and the purposes of this chapter:

The project site is designated as Second/Third Mixed-Use (2/3 MU) on the General Plan 2020 Land Use Map and is within the Second/Third Mixed-Use West (2/3 MUW) Zoning District. Multi-family residential uses are allowable in the 2/3 MUW Zoning District with prior Conditional Use Permit approval. The project is consistent with the following design-related General Plan policies:

Neighborhoods Policy NH-2 (Housing Downtown) seeks to create a popular and attractive residential environment downtown that contributes to the activity and sense of community and takes advantage of proximity to shopping, services, and transit. The proposed project will introduce a multi-family residential building to an area adjacent to existing single-family residences, commercial, office, and retail uses and within 0.5 miles of the SMART train, which provides regional access between Marin and Sonoma Counties. The addition of a new multi-family development will add to the existing housing

stock in Downtown San Rafael and will introduce new residents in close proximity to goods, services, and transit which will contribute to the existing activity and sense of community in the area. As such, the project is consistent with this General Plan policy.

Neighborhoods Policy NH-31 (Ground Floor Design) recognizes the importance of pedestrian activity in the Downtown area and seeks to ensure that all buildings, regardless of height, create a comfortable environment for pedestrians. The project proposes design features that are consistent with the existing residence including height, recessed garage door, exterior stairs facing the street, and front setbacks. The proposed design is pedestrian oriented and will maintain the comfortable walking environment that currently exists, consistent with this General Plan policy.

Community Design Policy CD-3 (Neighborhoods) seeks to preserve and enhance the positive qualities that are unique to each neighborhood. The City's Downtown neighborhood provides a wide range of uses and building types. The project will introduce a modern multi-family residential building which will add to the existing housing stock and represents an increase residential density on the lot. The introduction of new residences to Downtown will promote accessibility to surrounding commercial, retail, and office uses and will provide an opportunity for new residents to access nearby transit, which is unique to Downtown. As such, the project is consistent with this General Plan policy.

B. That the project design is consistent with all applicable site, architecture and landscaping design criteria and guidelines for the district in which the site is located:

A subcommittee of the Design Review Board (Board) evaluated the design of the project on April 8, 2020, as part of conceptual design review and on August 5, 2020 as part of a formal design review. The Design Review Board Subcommittee unanimously (2-0) found that the project was appropriate in design recommended approval of the project design to the Planning Commission, subject to conditions of approval.

C. That the project design minimizes adverse environmental impacts:

Staff conducted a preliminary review of the project application and supportive documents and determined that the application is defined as a project under CEQA, pursuant to CEQA Guidelines Section 15060. A project is exempt from CEQA if it qualifies for a Categorical Exemption under Article 19, Section 15300. Given the project scope, staff recommends that the project qualifies for a Class 3 exemption under CEQA Guidelines Section 15303, which exempts construction of multi-family residential structure totaling no more than four dwelling units. Additionally, the project does not conflict with any of the exceptions to the use of a categorical exemption including a project which may result in a substantial adverse change in the significance of a historical resource. As described in the Historic Resource Evaluation, the existing residence does not qualify as a historically significant resource, and therefore its demolition will not result in a substantial adverse impact under CEQA. As such, no further environmental review is required.

D. That the project design will not be detrimental to the public health, safety or welfare, nor materially injurious to properties or improvements in the vicinity.

The project has been reviewed by the appropriate agencies and appropriate conditions of approval have been incorporated to ensure the project will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the project vicinity.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission of the City of San Rafael approves the Use Permit and Environmental and Design Review Permit subject to the following conditions:

USE PERMIT (UP20-013)
CONDITIONS OF APPROVAL

1. This Use Permit approves a three-unit multi-family residential project with sit improvements at 1309 Second Street and within the Second/Third Mixed-Use West (2/3 MUW) Zoning District. Plans submitted for building permit shall be in substantial conformance to the plans approved September 29, 2020 with regard to building techniques, materials, elevations, and overall project appearance except as modified by these conditions of approval.
2. This Use Permit shall run with the land. This Use Permit shall become null and void if not vested within two (2) years from the date of approval, or no later than September 29, 2022 unless a time extension is granted before such time. Vesting shall include issuance of necessary building permits.
3. Prior to Issuance of Building Permits, the applicant shall pay any outstanding Planning Division application processing fees.
4. Minor modifications or revisions to the project shall be subject to review and approval of the Community Development Department, Planning Division. Modifications deemed greater than minor by the Community Development Director shall require review and approval by the Planning Commission.

ENVIRONMENTAL AND DESIGN REVIEW PERMIT (ED20-022)
CONDITIONS OF APPROVAL

Community Development Department - Planning Division

1. This Environmental and Design Review Permit approves a 30-foot 6 1/2-inch tall, three-unit multi-family development project with associated parking, access and landscape improvements at 1309 Second Street and within the Second/Third Mixed-Use West (2/3 MUW) Zoning District. Plans submitted for building permit shall be in substantial conformance to the plans approved September 29, 2020 with regard to building techniques, materials, elevations, and overall project appearance except as modified by these conditions of approval.
2. This Design Review Permit (ED20-022) shall be valid for two years from approval or until September 29, 2022 and shall be null and void if a building permit is not issued or a time extension granted prior to the expiration date.
3. The project is subject to a 90 day post installation lighting inspection to evaluate the need for adjustment and to assure compliance with SRMC Section 14.16.227.
4. Prior to Issuance of Building Permits, the applicant shall pay any outstanding Planning Division application processing fees.
5. Upon submittal of a building permit, the applicant shall submit a final landscape plan which shall be subject to review by Planning staff and members of the Design Review Board.
6. Prior to Issuance of Building Permits, the applicant shall pay all development impact fees required for the project.

7. The project shall comply with the City construction operation limits as follows:
 - a. Construction hours shall be limited to
 - i. Weekdays between 7:00am and 6:00pm
 - ii. Saturdays between 9:00am and 6:00pm
 - iii. Sundays and holidays NO construction permitted.
 - b. Prohibit all unnecessary idling of internal combustion engines.
 - c. Equip all internal combustion engine-driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment. Air compressors and pneumatic equipment should be equipped with mufflers, and impact tools should be equipped with shrouds or shields.
 - d. Locate stationary noise-generating equipment, such as air compressors or portable power generators, as far as possible from sensitive receptors as feasible. If they must be located near receptors, adequate muffling (with enclosures where feasible and appropriate) shall be used reduce noise levels at the adjacent sensitive receptors. Any enclosure openings or venting shall face away from sensitive receptors.
 - e. Control noise from construction workers' radios to a point where they are not audible at existing residences bordering the project site.
 - f. Notify all adjacent noise sensitive land uses of the construction schedule in writing.
 - g. Designate a "disturbance coordinator" who would be responsible for responding to any complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint (e.g., bad muffler, etc.) and will require that reasonable measures be implemented to correct the problem. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include in it the notice sent to neighbors regarding the construction schedule.
8. In the event that any archaeological features, such as concentrations of artifacts or culturally modified soil deposits including trash pits older than fifty years of age, are discovered at any time during grading, scraping, or excavation within the property, all work shall be halted in the vicinity of the find, the Planning Division shall be notified, and a qualified archaeologist shall be contacted immediately to make an evaluation. If warranted by the concentration of artifacts or soils deposits, an archaeologist shall monitor further work in the discovery area.
9. If human remains are encountered during grading and construction, all work shall stop in the immediate vicinity of the discovered remains and the County Coroner and a qualified archaeologist shall be notified immediately so that an evaluation can be performed. The Coroner shall contact the Native American Heritage Commission, if the remains are deemed to be Native American and prehistoric, so the "most likely descendant" can be designated.

Community Development Department - Building Division

10. The design and construction of all site alterations shall comply with the 2019 California Residential Code (CRC), 2019 California Building Code (CBC), 2019 California Plumbing Code (CPC), 2019 California Electrical Code (CEC), 2019 California Mechanical Code (CMC), 2019 California Fire Code (CFC), 2019 California Energy Code, 2019 California Green Building Standards Code and City of San Rafael Ordinances and Amendments.

11. A building permit is required for the proposed work. Applications shall be accompanied by four (4) complete sets of construction drawings to include:
 - a. Architectural plans
 - b. Structural plans
 - c. Electrical plans
 - d. Plumbing plans
 - e. Mechanical plans
 - f. Site/civil plans (clearly identifying grade plane and height of the building)
 - g. Structural Calculations
 - h. Truss Calculations
 - i. Soils reports
 - j. Green Building documentation
 - k. Title-24 energy documentation
12. School fees will be required for the project. Calculations are done by the San Rafael City Schools, and those fees are paid directly to them prior to issuance of the building permit.
13. The applicant shall apply for a new address for this building from the Building Division.
14. The maximum area of unprotected and protected openings permitted in the exterior wall in any story of a building shall not exceed the percentages specified in CBC Table 705.8 "Maximum Area of Exterior Wall Openings Based on Fire Separation Distance and Degree of Opening Protection." To calculate the maximum area of exterior wall openings you must provide the building setback distance from the property lines and then justify the percentage of proposed wall openings and include whether the opening is unprotected or protected.
15. Any demolition of existing structures will require a permit. Submittal shall include three (3) copies of the site plan, asbestos certification and PG&E disconnect notices. Also, application must be made to the Bay Area Air Quality Management District prior to obtaining the permit and beginning work.
16. A portion of the subject property appears to be in a flood zone, which is identified as an area of special flood hazard. All new construction and in some cases, existing improvements, are to be designed to ensure that the potential for flooding is minimized. This may involve grading to elevate the building pad or raising of existing building components to a level above the highest flood level.

No new construction, or substantial improvements of a structure which would require a building permit, pursuant to the applicable provisions of the California Building Code as adopted, shall take place in an area of special flood hazard without full compliance with the applicable flood control requirements.

Prior to submittal of plans to the Building Division for plan review, the applicant shall determine where the actual flood fringe boundary lines occur on the property. The lines shall be incorporated onto a site/topographical plan which shall be included as part of the required plan information noted above.
17. Based on the distance to the property line (and/or adjacent buildings on the same parcel), the building elements shall have a fire resistive rating not less than that specified in CBC Table 601 and exterior walls shall have a fire resistive rating not less than that specified in CBC Table 602.
18. Cornices, eaves overhangs, exterior balconies and similar projections extending beyond the floor area shall conform to the requirements of CBC 705.2. Projections shall not extend beyond the distance determined by the following two methods, whichever results in the lesser projection:

- a. A point one-third the distance from the exterior face of the wall to the lot line where protected openings or a combination of protected openings and unprotected openings are required in the exterior wall.
 - b. A point one-half the distance from the exterior face of the wall to the lot line where all openings in the exterior wall are permitted to be unprotected or the building is equipped throughout with an automatic sprinkler system
 - c. More than 12 inches into areas where openings are prohibited.
 19. CRC Section 302 - Based on the distance to the property line, single family residential and their associated accessory buildings, depending whether the structure(s) have an automatic fire sprinkler system, have specific requirements and limitations regarding:
 - Fire resistive rating of exterior walls
 - Projections of eaves and decks
 - Wall openings (doors and windows)Generally, structures within 5 feet of the property line require additional review.
 20. Ventilation area required, the minimum openable area to the outdoors is 4 percent of the floor area being ventilated CBC 1203.5.1 or mechanical ventilation in accordance with the California Mechanical Code.
 21. Provided means of egress from bedrooms that do not enter the building or exit through the garage.
- Fire Department - Fire Prevention Bureau
22. The design and construction of all site alterations shall comply with the 2019 California Fire Code, current NFPA Standards, and all applicable City of San Rafael Ordinances and Amendments.
 23. Deferred Submittals for the following fire protection systems shall be submitted to the Fire Prevention Bureau for approval and permitting prior to installation of the systems:
 - a. Fire Sprinkler plans (Deferred Submittal to the Fire Prevention Bureau)
 - b. Fire Underground plans (Deferred Submittal to the Fire Prevention Bureau)
 - c. Fire Alarm plans (Deferred Submittal to the Fire Prevention Bureau)
 24. A Knox Box is required at the primary point of first response to the building. A recessed mounted Knox Box # 3200 Series is required for new buildings; surface mount for all others. the Knox Box shall be clearly visible upon approach to the main entrance from the fire lane. Note the Knox Box must be installed from 72" to 78" above finish grade; show the location on the plans.
<https://www.knoxbox.com/commercial-knoxboxes/>
 25. A Knox key switch is required for driveway or access road automatic gates.
<https://www.knoxbox.com/gate-keys-and-padlocks/>
 26. If the building is over 30 feet in height, an aerial fire apparatus access roadway is required parallel to one entire side of the building.
The Aerial apparatus access roadway shall be located within a minimum 15 feet and a maximum of 30 feet from the building.
 - a. The minimum unobstructed width for an aerial fire apparatus access road is 26-feet.
 - b. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway, or between the roadway and the building.

27. Provide address numbers plainly visible from the street or road fronting the property. Numbers painted on the curb do not qualify as meeting this requirement. Numbers shall contrast with the background and shall be Arabic numbers or letters. Numbers shall be internally or externally
28. illuminated in all new construction or substantial remodels. Number sizes are as follows: For residential – 4” tall with ½” stroke. For commercial – 6” tall with ½” stroke. Larger sizes might be required by the fire code official or in multiple locations for buildings served by two or more roads.
29. Contact the Marin Municipal Water District (MMWD) to make arrangements for the water supply serving the fire protection system.

Public Works Department

30. It is our understanding that this project is an apartment building. Please note that condominiums may have additional requirements.
31. Frontage improvements such as curb and gutter shall be required as approved by DPW. Roadway resurfacing shall be included, for estimation purposes provide 2 lanes of resurfacing. The full extent of these improvements shall be reviewed again at the time the encroachment permit is obtained, based on field conditions as well as more precise utility work locations.
32. Provide a striping and signage plan for review by the City Traffic Engineer. For example:
 - Signs at the driveway exit to alert drivers for pedestrians on the sidewalk.
 - Signage and/or striping for the one-way traffic conditions of Second Street.
33. This property is located within SFHA Zone AE, in between transects of 16 and 14 with an approximate BFE interpolated as 15.65 ft. We recommend that the surveyor review the FIS to confirm a precise BFE for the project. The structure shall be floodproofed with the residential area located above the BFE. Please see Title 18 of the Municipal Code. Please also refer to FEMA Technical Bulletins 1, 2, 4 and 7 <https://www.fema.gov/nfip-technical-bulletins>
34. Due to the property dimension limitations it appears that the proposed parking configuration provides the maximum maneuverability to allow vehicles to turn around on-site, and not back out onto Second St. Based on the scope of the project it appears that the proposed solution is reasonable and the result of coordination with the Department of Public Works.
Please note that larger vehicles may need additional turning movements turn around. An alternative may be for mechanical devices. The applicant may consider constructing that could easily allow for this in the future, if needed.
35. Prior to any work within the Right-of-Way an encroachment permit is required from the Department of Public Works, located at 111 Morphew St.
36. Provide a construction management plan. Please note that staging shall occur on-site. Lane closures for Second Street may be limited. Additionally, deliveries and trucking shall be coordinated with the Department of Public Works to reduce disturbance to traffic.
37. The pilaster shown near the accessible parking space may result in a minor adjustment to the space to maintain required clear area. Please confirm the dimensions on the building permit.
38. The plan shows bio-retention areas for the proposed stormwater treatment. Based on the location near foundations and elevations, these bio-retention areas may be modified to filtration planters, which

include a lining system but are better able to be elevated for gravity flow. Show the details for this on the building permit. A stormwater control plan shall be required per MCSTOPPP standards. More information is available on the County website at:

<https://www.marincounty.org/depts/pw/divisions/creeks-bay-and-flood/mcstoppp/development/new-and-redevelopment-projects>

39. Show the proposed grading on the plans, include cut and fill amounts. For projects with earthwork of 50 cubic yards or more, a grading permit shall be required from the Department of Public Works, located at 111 Morpew St.
40. The applicant shall pay a traffic mitigation fee shall be required for net new AM and PM trips. The current rate is \$4,246 per trip. Due at the time of building permit issuance. The existing residence has an estimated 2 total peak hour AM and PM trips. The proposed 3 apartment units would have an estimated 3 total peak hour AM and PM trips. This results in a **1 net new trip**.
41. A construction vehicle impact fee shall be required at the time of building permit issuance; which is calculated at 1% of the valuation, with the first \$10,000 of valuation exempt.

San Rafael Sanitation District

42. All sewer related work shall be performed in accordance with the San Rafael Sanitation District (SRSD) standards.
43. Applicant shall submit civil/utility plans prepared by a registered civil engineer if a new sewer lateral connection to the mainline is proposed.
44. If the existing sewer lateral connection to the mainline will be used for the proposed project, it shall be televised to determine its condition prior to the issuance of a building permit. The results of the televised survey shall be submitted to the City with the building permit application and forwarded to SRSD for review. In the event the televised survey recommends improvements or repairs to the sewer lateral or connection, the project sponsor shall be responsible for completing this work in coordination with SRSD staff.
45. The District will require payment of a sewer connection fee prior to approval of the Building Permit.

The foregoing Resolution was adopted at the regular City of San Rafael Planning Commission meeting held on the 29th day of September, 2020. The Planning Commission's Action is final unless it is appealed to the City Council within five (5) working days pursuant to San Rafael Municipal Code Section 14.28.030 - *Filing and time limit of appeals*.

Moved by _____ and seconded by _____. The vote is as follows:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

SAN RAFAEL PLANNING COMMISSION

ATTEST: _____
Paul A Jensen, Secretary

DRAFT

Exhibit 3

REVIEW OF GENERAL PLAN 2020 GOALS AND POLICIES 1309 Second Street Project Consistency with San Rafael General Plan 2020 Policies

LAND USE ELEMENT	
LU-8a. Residential Zoning. Implement Land Use Element densities by setting appropriate maximum allowed densities in the zoning ordinance.	<p><i>Consistent</i></p> <p>The 2/3 MUW zoning designation allows for one dwelling unit per 1,000 square feet of lot area. At this density, 2.94 units would be permitted on the 2,940 square foot lot. As provided in the Zoning Ordinance, when calculating the number of required affordable housing units, fractional units greater than 0.5 are rounded to the next whole number. With regard to market rate housing, a similar provision for fractional units is not specified in the Zoning Ordinance. Although the project proposes to provide market rate housing, staff is recommending that the project be permitted to construct three units using the practice of rounding the fractional units (2.94) to a whole number. Development of the site at the maximum permissible density through use of rounding fractional units is consistent with the intent of this General Plan policy</p>
LU-12. Building Heights. Citywide height limits in San Rafael are described in Exhibits 7 and 8. For Downtown height limits see Exhibit 9:	<p><i>Consistent</i></p> <p>The area of the proposed project allows a maximum building height of 36 feet whereas the project proposes a maximum height of 30 feet 6 ½ inches. Therefore, the proposed project is consistent with the maximum allowable height for the site and with this General Plan policy.</p>
LU-14a. Land Use Compatibility. Evaluate the compatibility of proposed residential use in commercial areas through the development review process.	<p><i>Consistent</i></p> <p>The proposed project is located in a mixed-use area and has been reviewed for consistency with the performance standards identified in the SRMC for residential uses in commercial districts. As further discussed below the project is consistent with the performance standards and as such is consistent with this General Plan policy.</p>
HOUSING ELEMENT	
H-2. Design That Fits into the Neighborhood Context. Recognize that construction of new housing and improvements on existing properties can add to the appearance and value of the neighborhood if they fit into the established character of the area. Design new housing, remodels, and additions to be compatible to the surrounding neighborhood. Incorporate transitions in height and setbacks from adjacent properties to respect adjacent development character and privacy. Respect existing landforms and minimize effects on adjacent properties.	<p><i>Consistent</i></p> <p>The proposed design complies with development standards and has been reviewed for consistency with applicable design guidelines, as further discussed below. The proposed project will replace an existing single-family residence with a multi-family residential development. The scale and design of the building is compatible with adjacent developments which also feature zero foot setbacks and similar height and massing. The project has also been reviewed by the Design Review Board and found to be consistent with applicable design criteria. As such, the project is consistent with this General Plan policy.</p>

Exhibit 3

REVIEW OF GENERAL PLAN 2020 GOALS AND POLICIES 1309 Second Street Project Consistency with San Rafael General Plan 2020 Policies

<p>H-14b. Efficient Use of Multifamily Housing Sites. Do not approve residential-only development below minimum designated General Plan densities unless physical or environmental constraints preclude its achievement. Residential-only projects should be approved at the mid- to high-range of the zoning density. If development on a site is to occur over time the applicant must show that the proposed development does not prevent subsequent development of the site to its minimum density and provide guarantees that the remaining phases will, in fact, be developed.</p>	<p><i>Consistent</i></p> <p>For residential-only projects the density should be in the mid to high range of the zoning district. The project proposes to provide three units, which would be the maximum units allowed by the zoning district with rounding of fractional units. The project proposes a density at the highest range, consistent with this General Plan policy.</p>
<p>NEIGHBORHOOD ELEMENT</p>	
<p>NH-2. New Development in Residential Neighborhoods. Preserve, enhance and maintain the residential character of neighborhoods to make them desirable places to live. New development should enhance neighborhood image and quality of life, incorporate sensitive transitions in height and setbacks from adjacent properties to respect adjacent development character and privacy, preserve historic and architecturally significant structures, respect existing landforms and natural features, maintain or enhance infrastructure service levels, and provide adequate parking.</p>	<p><i>Consistent</i></p> <p>The proposed project will introduce a multi-family residential building to an area adjacent to existing single-family residences, commercial, office, and retail uses and within 0.5 miles of the SMART train, which provides regional access between Marin and Sonoma Counties. The addition of a new multi-family development will add to the existing housing stock in Downtown San Rafael and will introduce new residents in close proximity to goods, services, and transit which will contribute to the existing activity and sense of community in the area. As such, the project is consistent with this General Plan policy.</p>
<p>NH-31. Ground Floor Designed for Pedestrians. Ensure that all buildings, regardless of height, are comfortable for people at the street level.</p>	<p><i>Consistent</i></p> <p>The project proposes design features that are consistent with the existing residence including height, recessed garage door, exterior stairs facing the street, and front setbacks. The proposed design is pedestrian oriented and will maintain the comfortable walking environment that currently exists, consistent with this General Plan policy.</p>
<p>COMMUNITY DESIGN ELEMENT</p>	
<p>CD-3. Neighborhoods. Recognize, preserve and enhance the positive qualities that give neighborhoods their unique identities, while also allowing flexibility for innovative design. Develop programs to encourage and respect the context and scale of existing neighborhoods.</p>	<p><i>Consistent</i></p> <p>The City's Downtown neighborhood provides a wide range of uses and building types. The project will introduce a modern multi-family residential building which will add to the existing housing stock and represents an increase residential density on the lot. The introduction of new residences to Downtown will promote accessibility to surrounding commercial, retail, and office uses and will provide an opportunity for new residents to access nearby transit, which is unique to Downtown. As such, the project is consistent with this General Plan policy.</p>
<p>CIRCULATION ELEMENT</p>	

Exhibit 3

REVIEW OF GENERAL PLAN 2020 GOALS AND POLICIES 1309 Second Street Project Consistency with San Rafael General Plan 2020 Policies

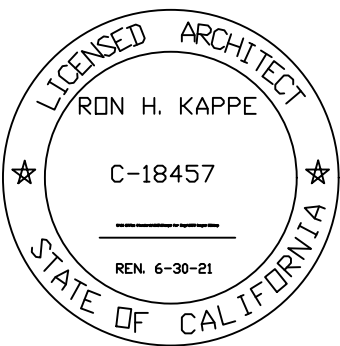
C-7a. Traffic Mitigation Fees. Continue to implement and periodically update the City's Traffic Mitigation Program	<i>Consistent</i> The project, as conditioned, is required to pay a fair share of traffic mitigation fees consistent with this policy.
SAFETY ELEMENT	
S-6. Seismic Safety of New Buildings. Design and construct all new buildings to resist stresses produced by earthquakes. The minimum level of seismic design shall be in accordance with the most recently adopted building code as required by State law.	<i>Consistent</i> The proposed project will be required to comply with California and San Rafael building code standards, which include design standards that resist stresses produced by earthquakes. As such, the project is consistent with this General Plan policy.
Policy S-25. Regional Water Quality Control Board (RWQCB) Requirements. Continue to work through the Marin County Stormwater Pollution Prevention Program to implement appropriate Watershed Management plans as dictated in the RWQCB general National Pollutant Discharge Elimination System permit for Marin County and the local stormwater plan.	<i>Consistent</i> As conditioned the project will be required to comply with standard storm drain requirements. The applicant proposes use of bioretention planters. As such, the project is consistent with this policy.
S-31a. New Development. Through the development review process, require appropriate mitigation measures such as fire preventive site design, landscaping and building materials, and the use of fire suppression techniques such as sprinklering.	<i>Consistent</i> As conditioned, the project will be required to comply with requirements of the California Fire Code and City of San Rafael ordinances and amendments. Furthermore, the new multi-family residential structure will be required to install fire sprinklers. As such, the project is consistent with this General Plan policy.


1309 2nd STREET
SAN RAFAEL, CA 94901

KAPPE
A R C H I T E C T S

801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7885

1309 2ND STREET
SAN RAFAEL, CA 94901



Project No.:	19.12	
Drawn By:	GC	
Checked By:	RK	
Issued Date:	11/15/19	
Revision	No.	Date
DESIGN REVIEW		05/26/20

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TITLE SHEET

Sheet No:

T-1

KEY NOTES

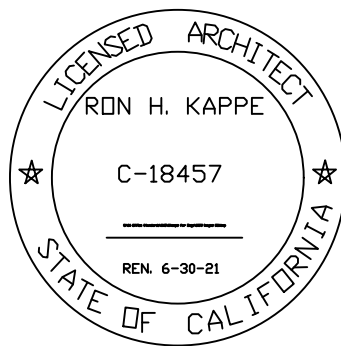
- 1 (E) FENCE
- 2 (E) FENCE GATE
- 3 WATER METER
- 4 (E) WOODEN STAIRS
- 5 (E) ENTRY STAIRS
- 6 ELECTRICAL CRISTY BOX AT SIDEWALK
- 7 (E) SIDEWALK
- 8 (E) CONC. DRIVEWAY
- 9 5' FRONT YARD SETBACK

KAPPE ARCHITECTS

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3-UNIT
RESIDENTIAL
BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



AP #: 012-073-04

Project No.:	19.12		
Drawn By:	GC		
Checked By:	RK		
Issued Date:	11/15/19		
Revision	No.	Date	
DESIGN REVIEW	①	05/26/20	

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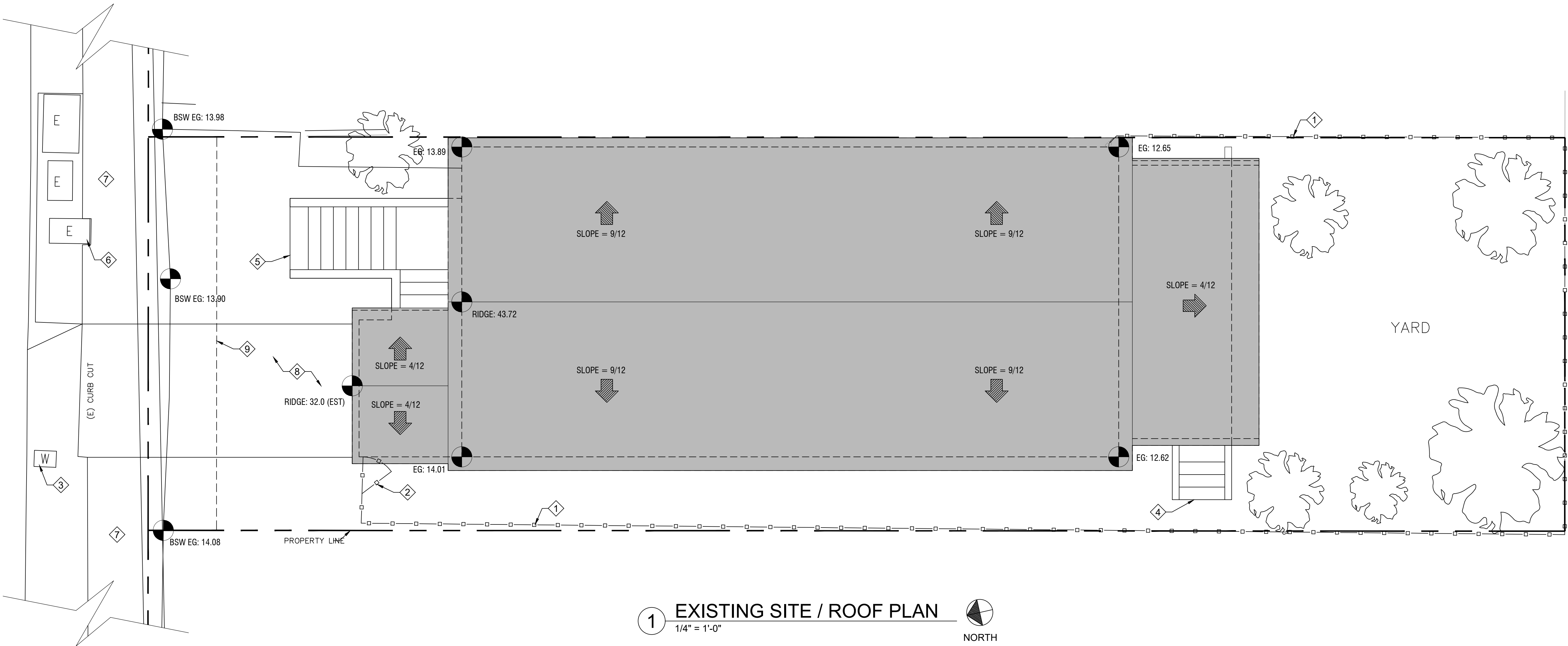
Sheet Title:

EXISTING SITE PLAN

Scale: AS NOTED

Sheet No:

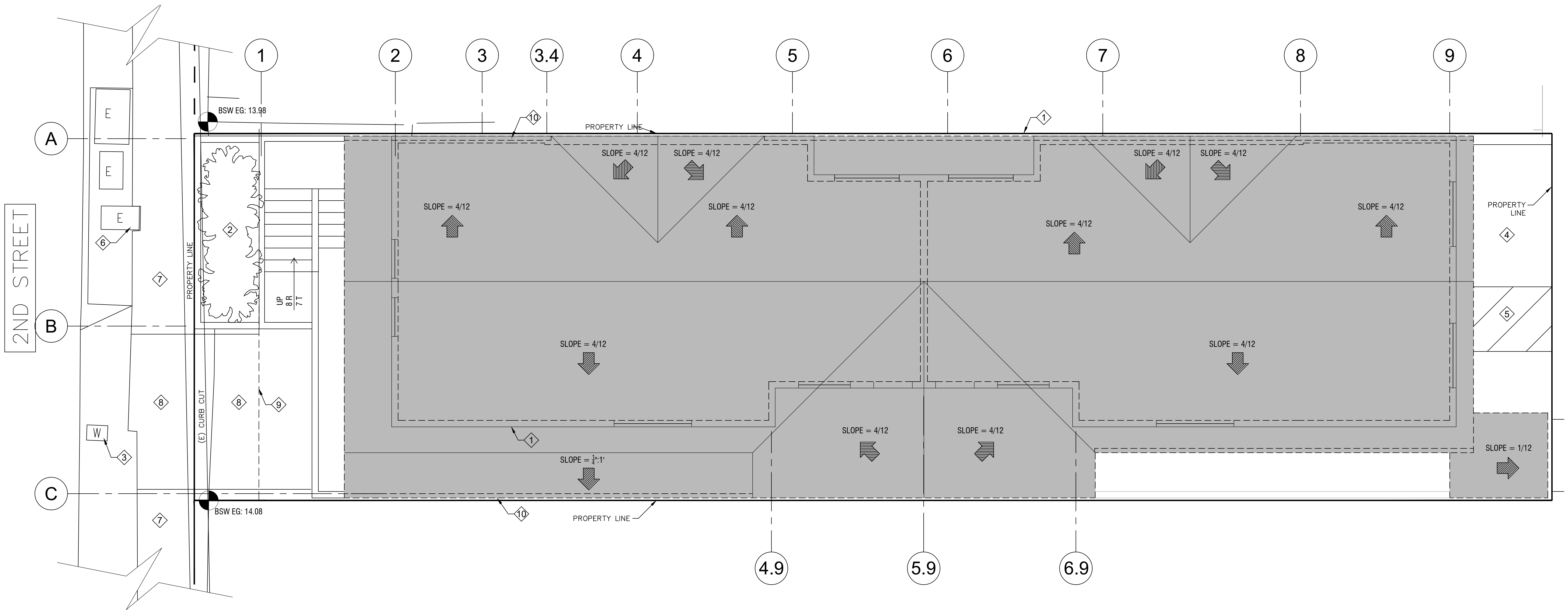
A1.0



1 EXISTING SITE / ROOF PLAN

1/4" = 1'-0"





2ND STREET

A

B

C

1

2

3

3.4

4

5

6

7

8

9

BSW EG: 13.98

UP 8 R 7 T

BSW EG: 14.08

PROPERTY LINE

SLOPE = 4/12

SLOPE = 1/12

PROPERTY LINE

SLOPE = 4/12

SLOPE = 4/12

SLOPE = 4/12

SLOPE = 4/12

SLOPE = 4/12

SLOPE = 4/12

SLOPE = 4/12

SLOPE = 4/12

SLOPE = 4/12

PROPERTY LINE

SLOPE = 1/12

1 PROPOSED SITE / ROOF PLAN
1/4" = 1'-0"



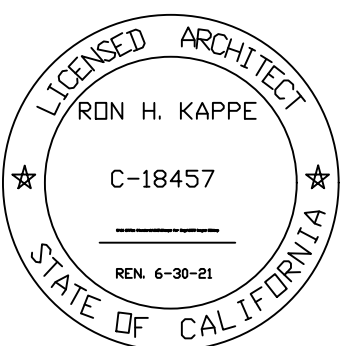
KEY NOTES	GENERAL NOTES
1 (E) FENCE AT PROPERTY LINE	PARKING AND STORAGE ONLY FLOOR LEVEL BELOW FEMA B.F.E. OF 15.5'. (#) SF OF ENCLOSED AREA NFIP PRESCRIPTIVE REQUIREMENT = 1 SQ. INCH PER 1 SQ FOOT OF ENCLOSED SPACE.
2 (N) RAISED LANDSCAPING PLANTER 75 SQ. FT.	(#) SQ INCHES OF OPENING REQ.
3 CHRISTY BOX WATER METER	INSTALL (#) FLOOD SOLUTIONS FS-1412 HEAVY DUTY ALUMINUM COVERS IN FOUNDATION OPENINGS
4 (N) VAN-ACCESSIBLE PARKING SPACE WITH PERMEABLE PAVERS (BELOW)	(#) x (#) SQ INCHES OF CLEAR OPENING =
5 STRIPED VAN ACCESSIBLE SPACE, PERMEABLE PAVERS (BELOW)	(#) SQ INCHES OF OPENING.
6 ELECTRICAL CRISTY BOX AT SIDEWALK	ALL UTILITY BOXES AND UTILITIES INSTALLED ABOVE FEMA B.F.E. OF 15.5'
7 (E) SIDEWALK	*EACH BUILDING MUST HAVE ADDRESS IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NEW ADDRESS MUST BE INTERNALLY OR EXTERNALLY ILLUMINATED AND REMAIN ILLUMINATED AT ALL HOURS OF DARKNESS. NUMBERS MUST BE A MINIMUM 4 INCHES IN HEIGHT WITH 3/8" STROKE.THE ADDRESS MUST BE CONTRASTING IN COLOR TO THEIR BACKGROUND.
8 (E) CONC. DRIVEWAY	
9 5' FRONT YARD SETBACK	
10 ROOF GUTTER, MIN 1/4":1' SLOPE	

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3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



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DESIGN REVIEW 1 05/26/20

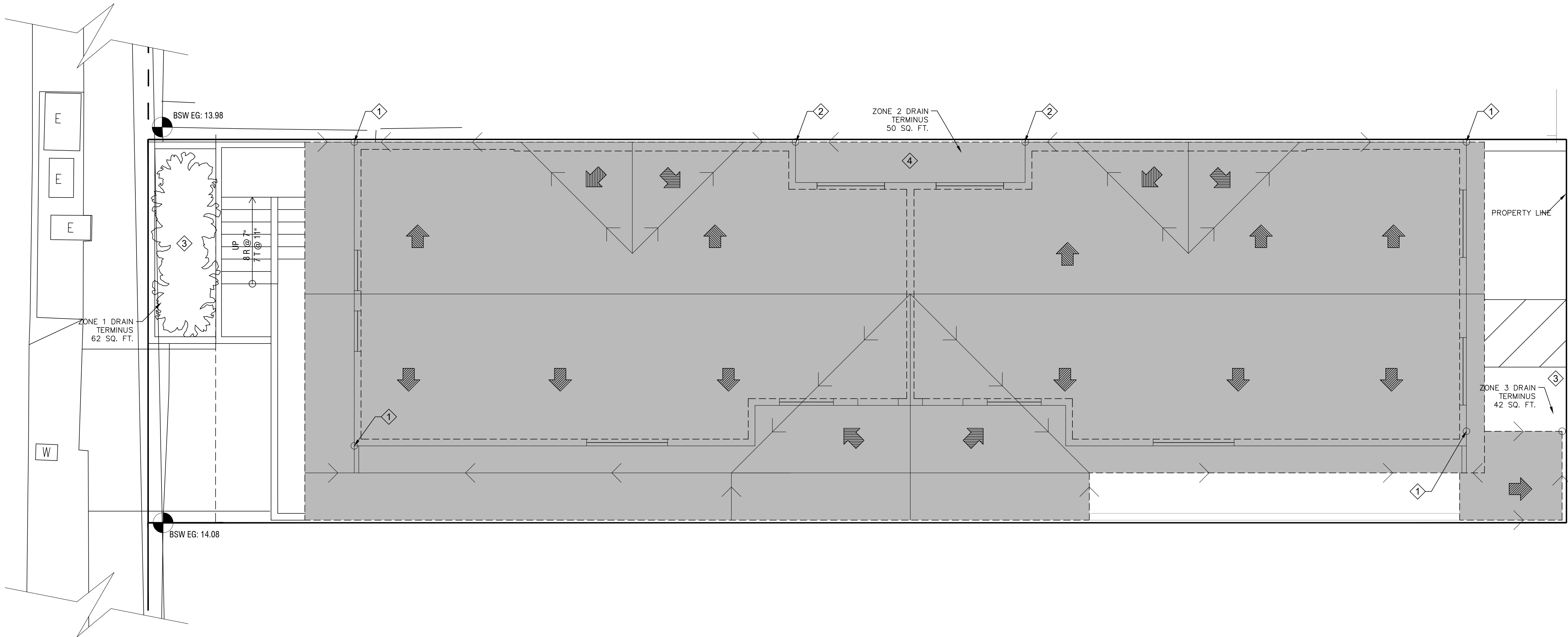
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Sheet Title:
NEW SITE PLAN

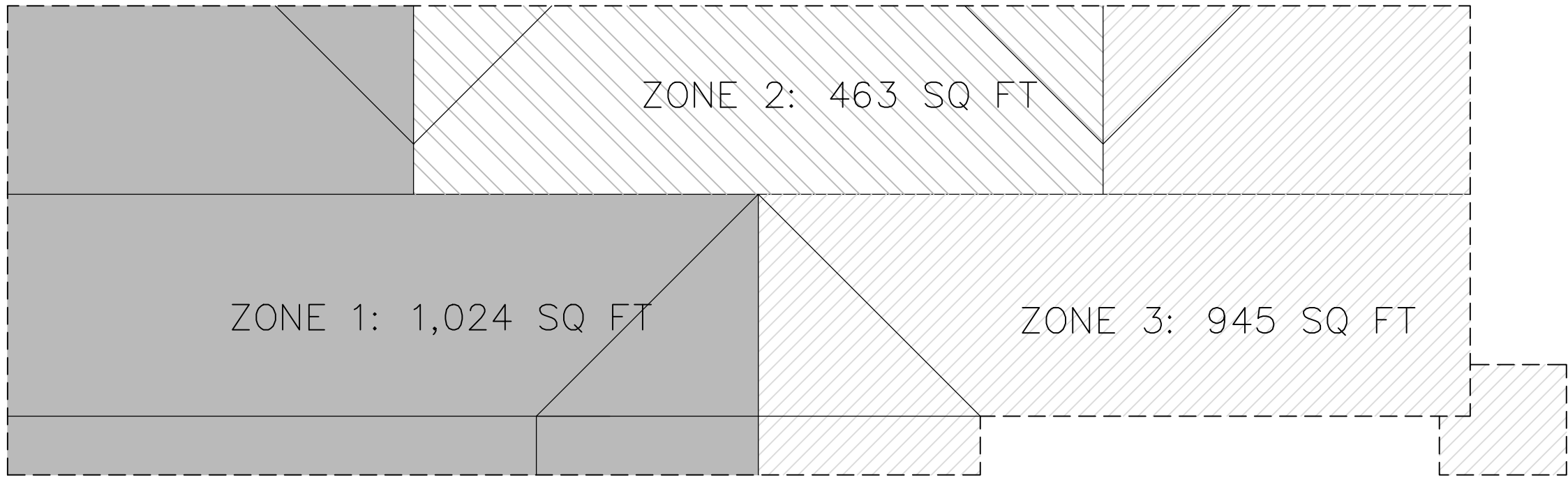
Scale: AS NOTED

Sheet No: A1.1

2ND STREET



1 PROPOSED SITE / ROOF DRAINAGE PLAN
1/4" = 1'-0" NORTH



2 ROOF DRAINAGE KEY PLAN - 3 ZONES
1/8" = 1'-0" NORTH

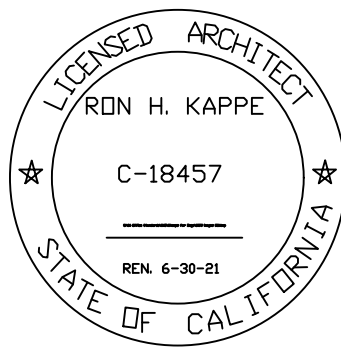
KEY NOTES	GENERAL NOTES
1 DOWNSPOUT LOCATION, DRAINS TO BIO-RETENTION BELOW	PARKING AND STORAGE ONLY FLOOR LEVEL BELOW FEMA B.F.E. OF 15.5'. (#) SF OF ENCLOSED AREA NFIP PRESCRIPTIVE REQUIREMENT = 1 SQ. INCH PER 1 SQ FOOT OF ENCLOSED SPACE.
2 DOWNSPOUT LOCATION, DRAINS TO BIO-RETENTION PLANTER AT 1ST RESIDENTIAL FLOOR LEVEL	(#) SQ INCHES OF OPENING REQ.
3 BIO-RETENTION PLANTER	INSTALL (#) FLOOD SOLUTIONS FS-1412 HEAVY DUTY ALUMINUM COVERS IN FOUNDATION OPENINGS
4 BIO-RETENTION PLANTER (BELOW)	(#) x (#) SQ INCHES OF CLEAR OPENING = (#) SQ INCHES OF OPENING.
	ALL UTILITY BOXES AND UTILITIES INSTALLED ABOVE FEMA B.F.E. OF 15.5'

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3-UNIT
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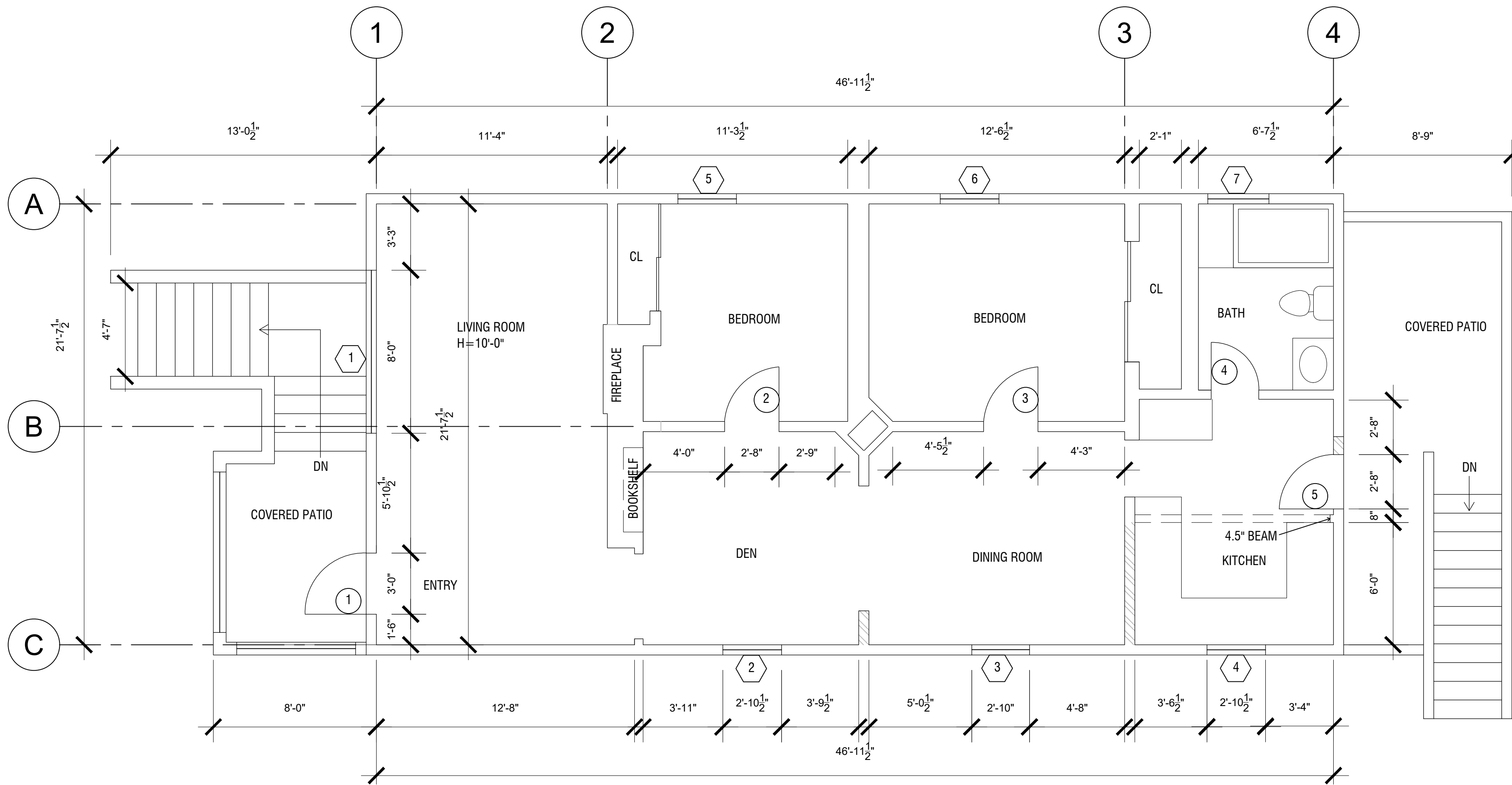
Sheet Title:

PROPOSED
ROOF DRAINAGE PLAN

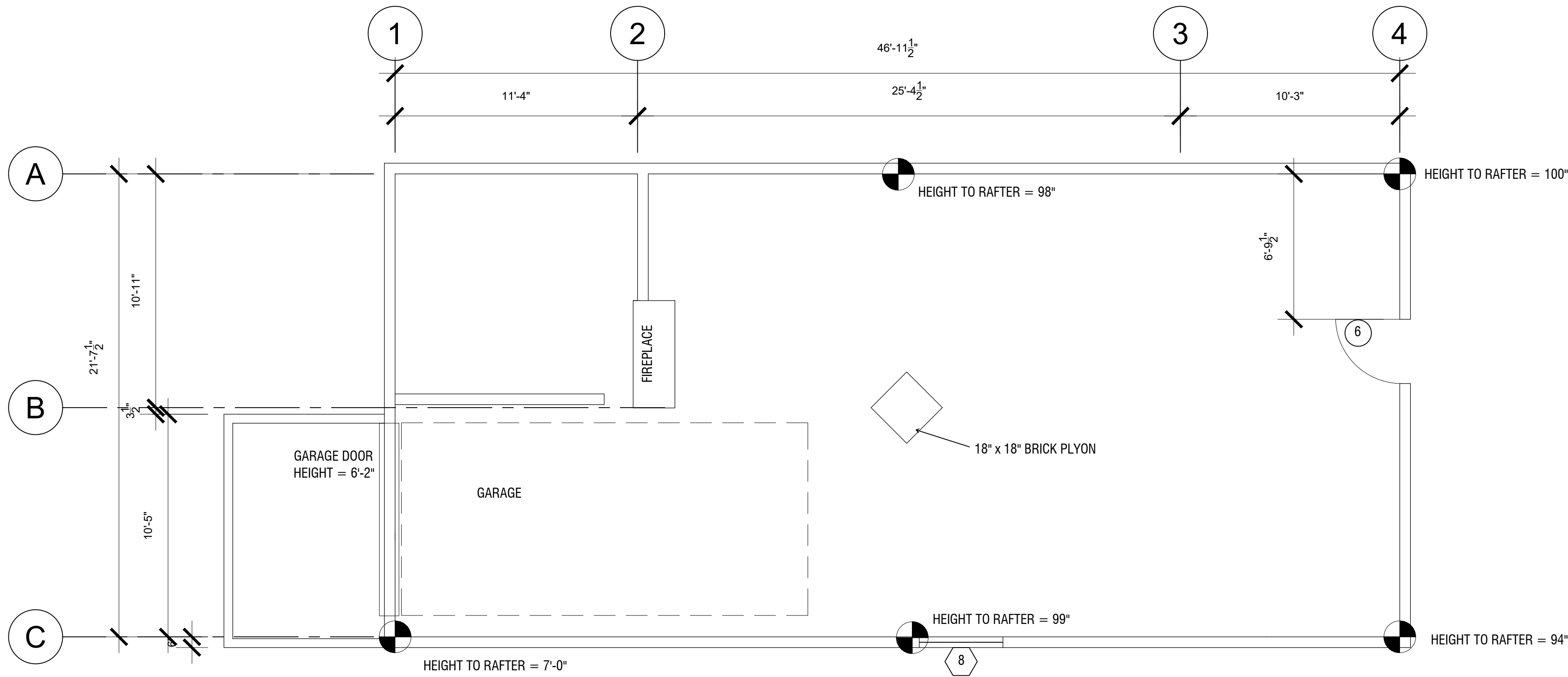
Scale: AS NOTED

Sheet No:

A1.2



2 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0" NORTH



1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0" NORTH

NOTES

- GENERAL DEMOLITION NOTES:
1. ENTIRE (E) STRUCTURE TO BE DEMOLISHED
 2. (E) FOUNDATION TO BE DEMOLISHED
 3. DEMOLITION OF BUILDING TO BE ITEMIZED AND LISTED IN CONSTRUCTION WASTE MANAGEMENT PLAN

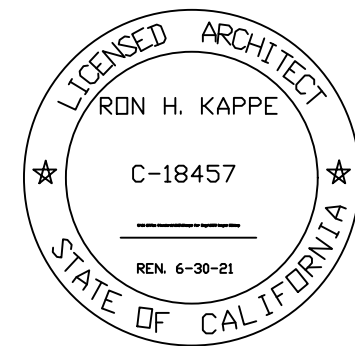
WALL TYPES

EXISTING WALL


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3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



AP #: 012-073-04

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Sheet Title:

EXISTING / DEMO
FLOOR PLANS

Scale: AS NOTED

Sheet No:

A1.3

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TEL: 415.457.7801 FAX: 415.457.7885

KEY NOTES

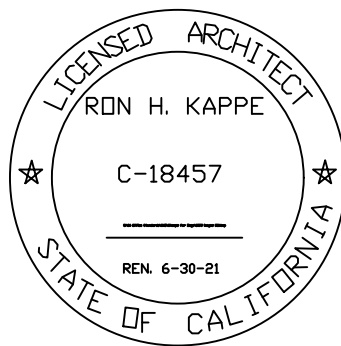
- 1 BIO-RETENTION PLANTER AREA
- 2 OPEN TO BELOW
- 3 FRONT SETBACK (5')
- 4 METAL FIRE RESISTANT HAND/GUARD RAIL (1HR MIN.)
- 5 5' SILL HEIGHT WINDOW W/ OPAQUE TREATMENT

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3-UNIT
RESIDENTIAL
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1309 2ND STREET
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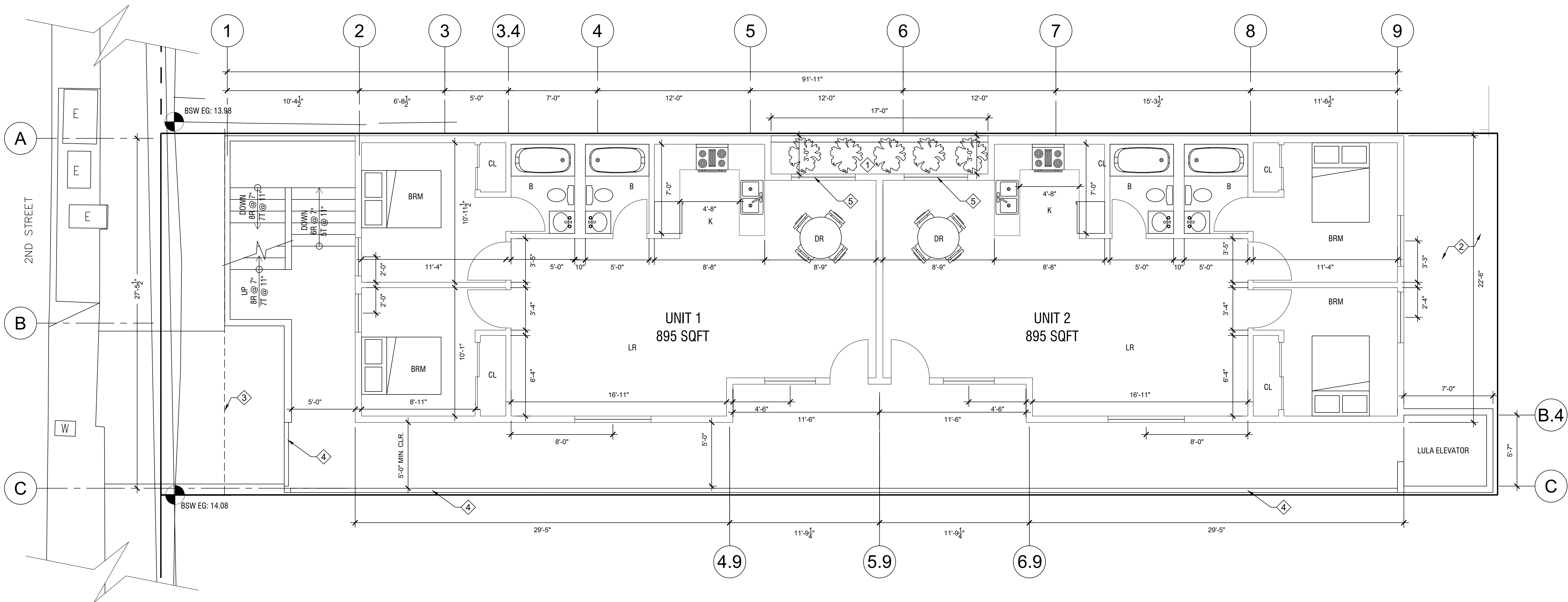
Sheet Title:

PROPOSED FIRST FLOOR
RESIDENTIAL PLAN

Scale: AS NOTED

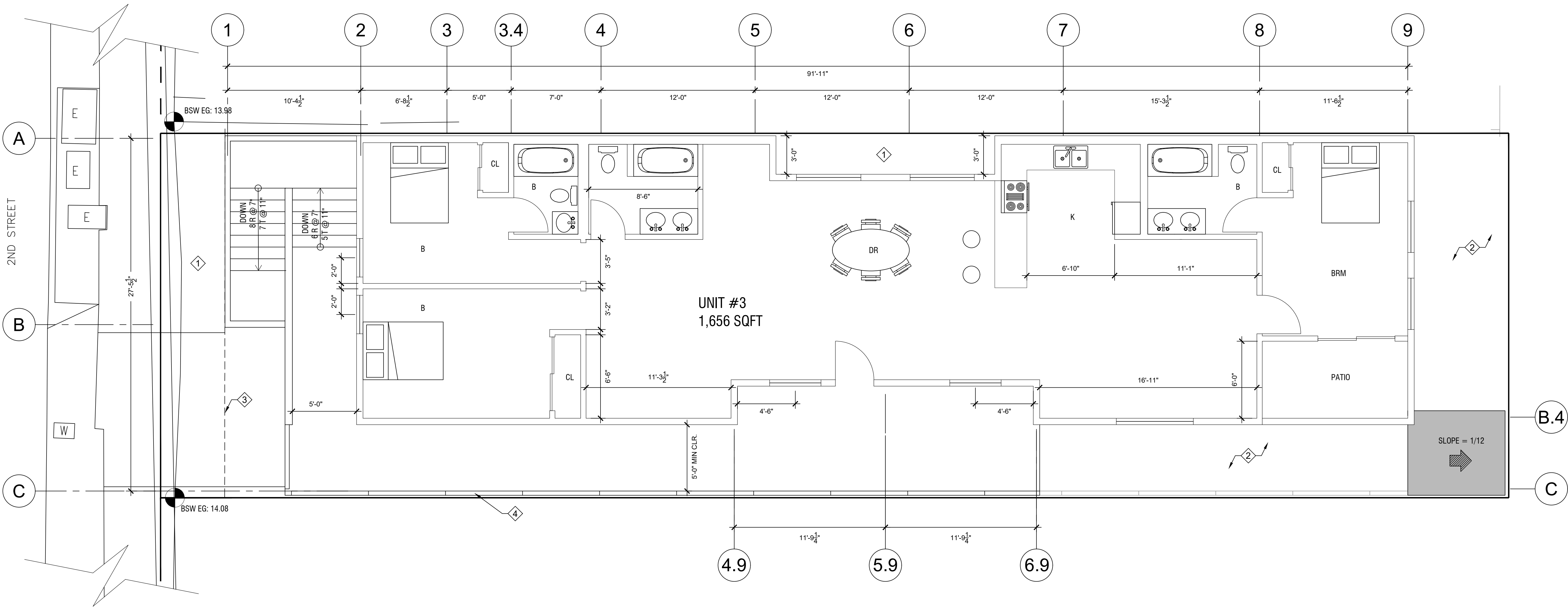
Sheet No:

A2.1



1 PROPOSED FIRST RESIDENTIAL LEVEL, UNITS 1 & 2
1/4" = 1'-0"





KEY NOTES

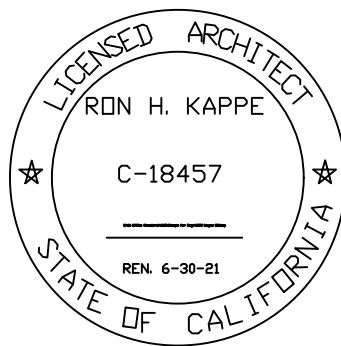
- 1 BIO-RETENTION PLANTER (BELOW)
- 2 OPEN TO BELOW
- 3 FRONT SETBACK (5')
- 4 METAL FIRE RESISTANT HAND/GUARD RAIL (1HR MIN.)

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3-UNIT RESIDENTIAL BUILDING

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Sheet Title:

FLOOR PLANS (3 OF 3)

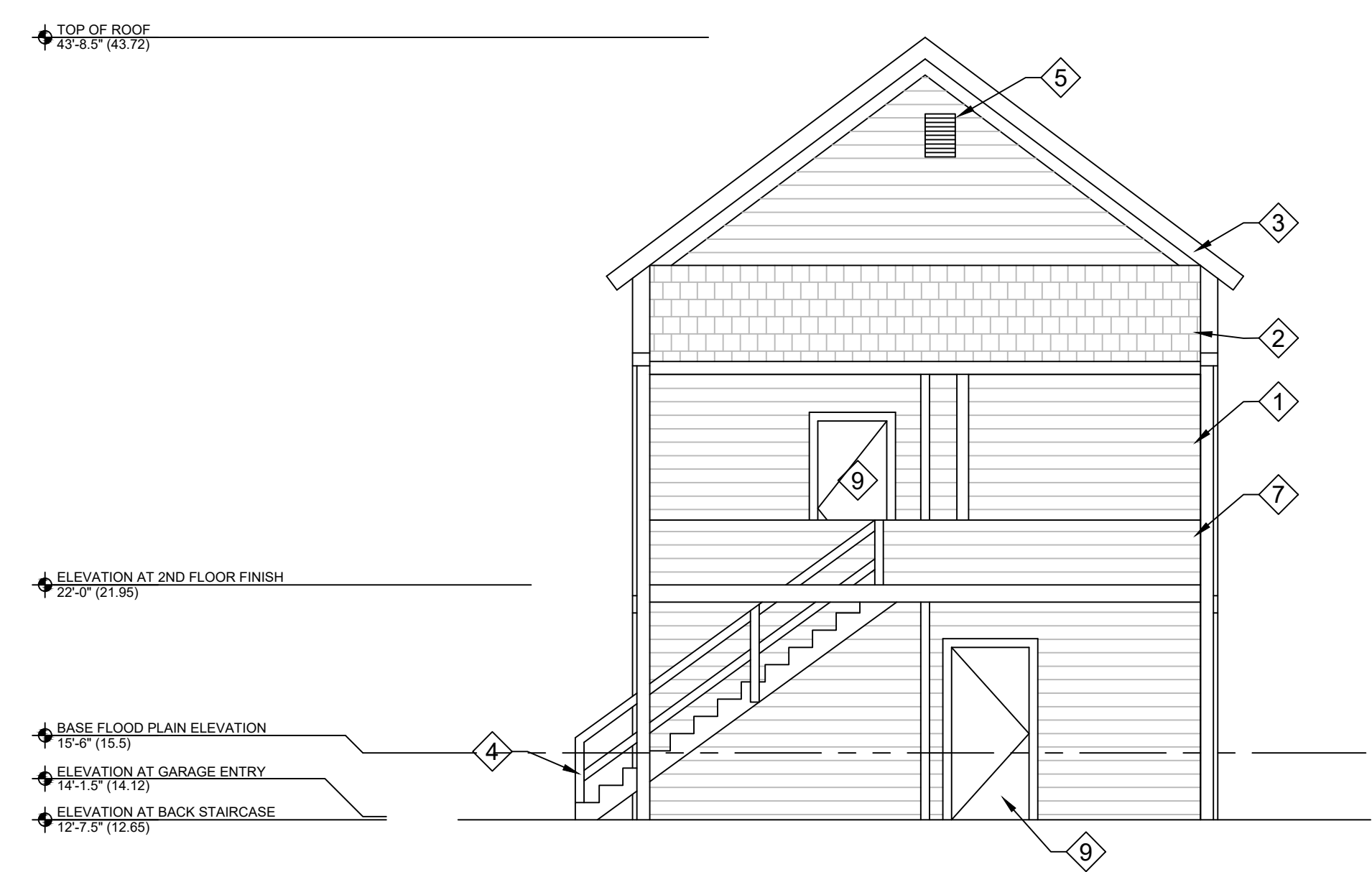
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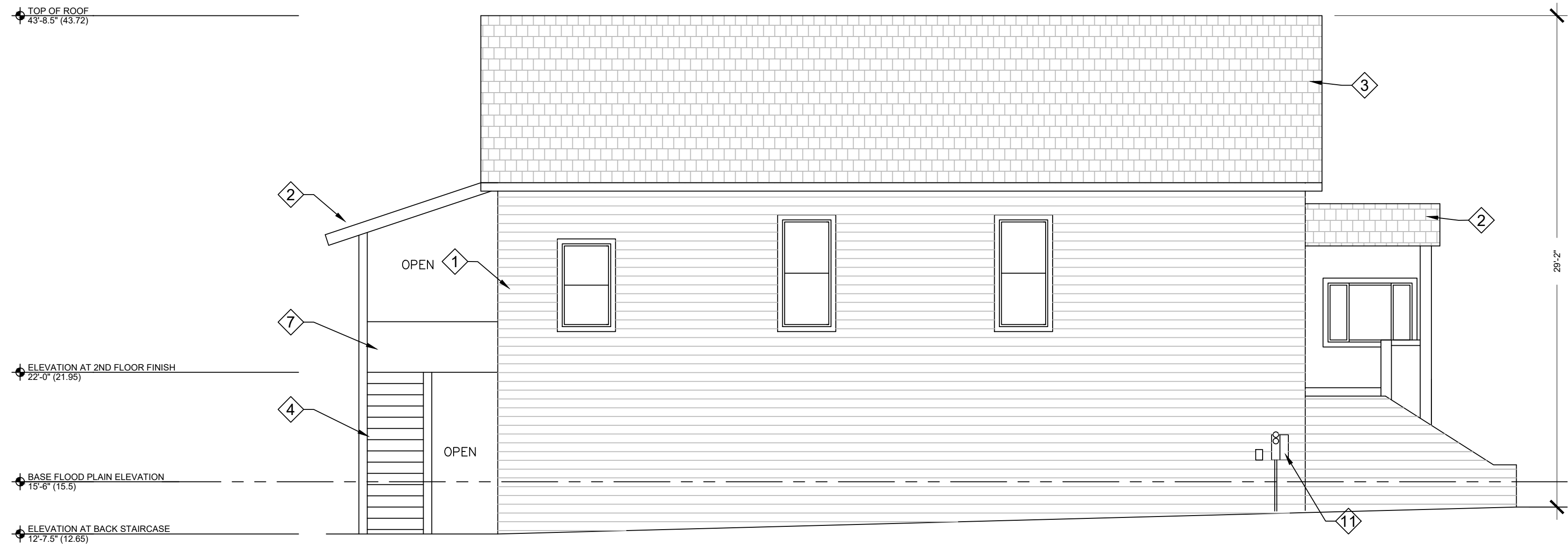
A2.2

1 PROPOSED SECOND RESIDENTIAL LEVEL, UNIT #3
1/4" = 1'-0"

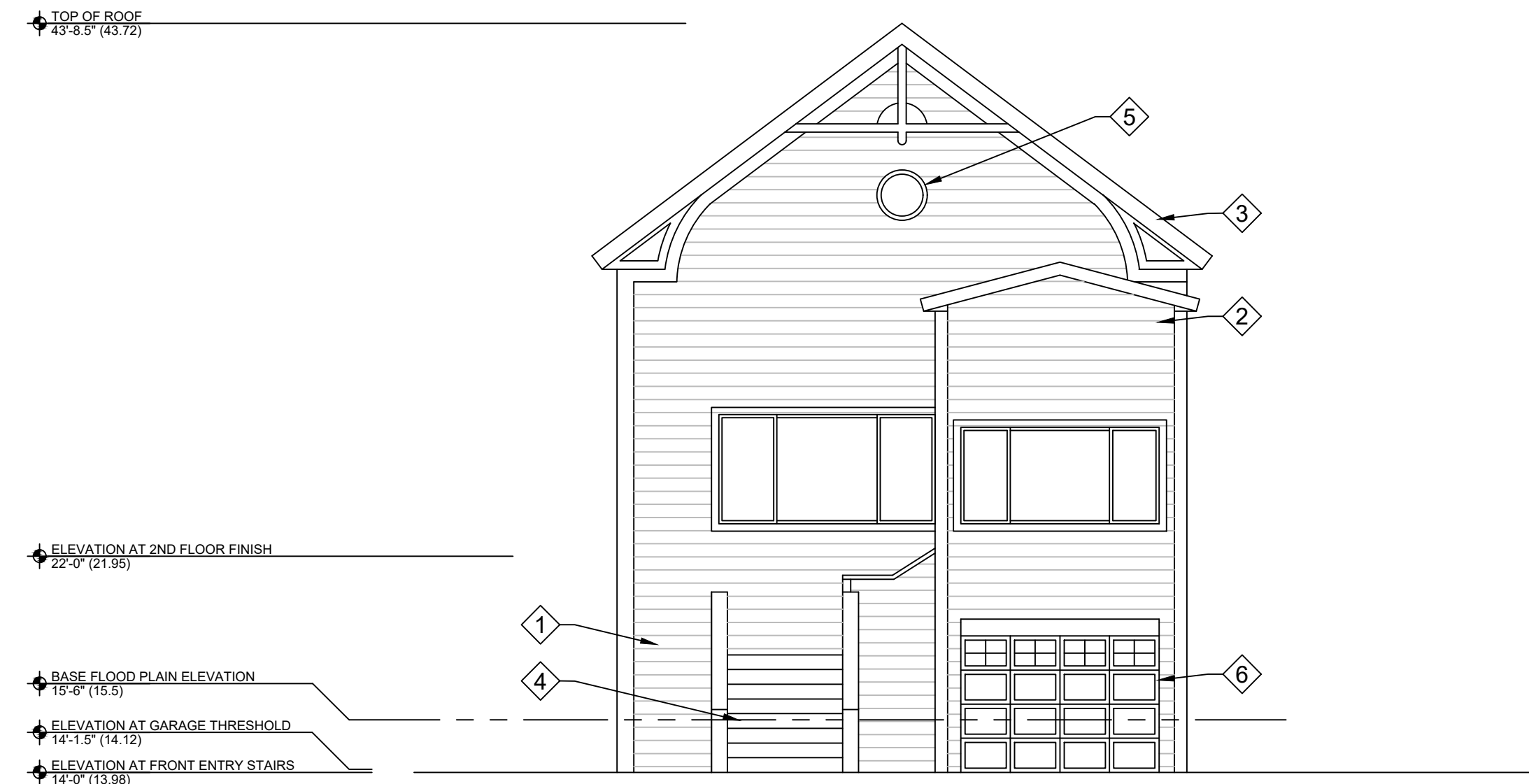




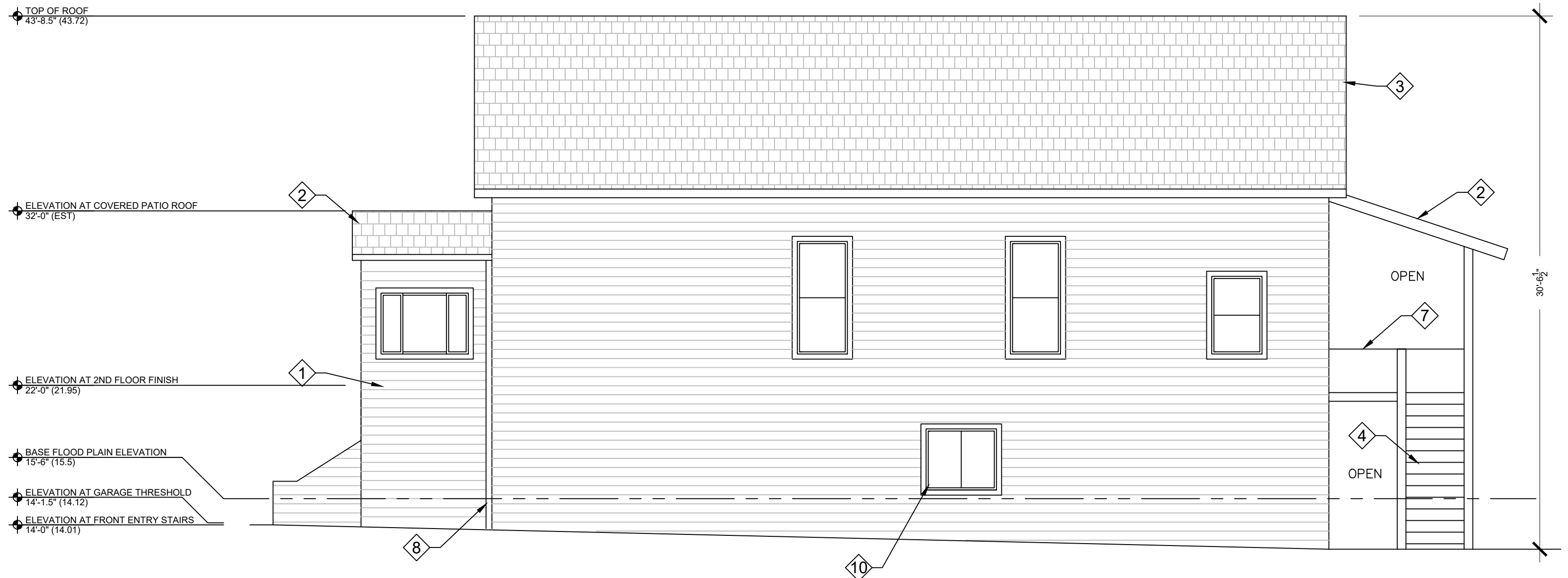
3 EXISTING SOUTH ELEVATION (REAR YARD)
3/16" = 1'-0"



1 EXISTING EAST ELEVATION
3/16" = 1'-0"



4 EXISTING NORTH ELEVATION (ENTRY)
3/16" = 1'-0"



2 EXISTING WEST ELEVATION
3/16" = 1'-0"

KEY NOTES

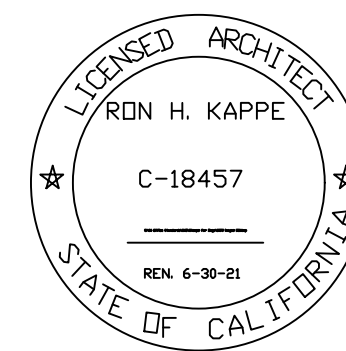
- 1 WOOD SIDING
- 2 ROOF (4/12)
- 3 ROOF (9/12)
- 4 WOOD STAIRCASE
- 5 LOUVERED ATTIC VENT
- 6 GARAGE DOOR
- 7 WOOD PATIO GUARDRAIL/WALL
- 8 RAIN DRAINPIPE
- 9 DOOR
- 10 WINDOW, TYP.
- 11 ELECTRICAL BOX

LEGEND

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3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



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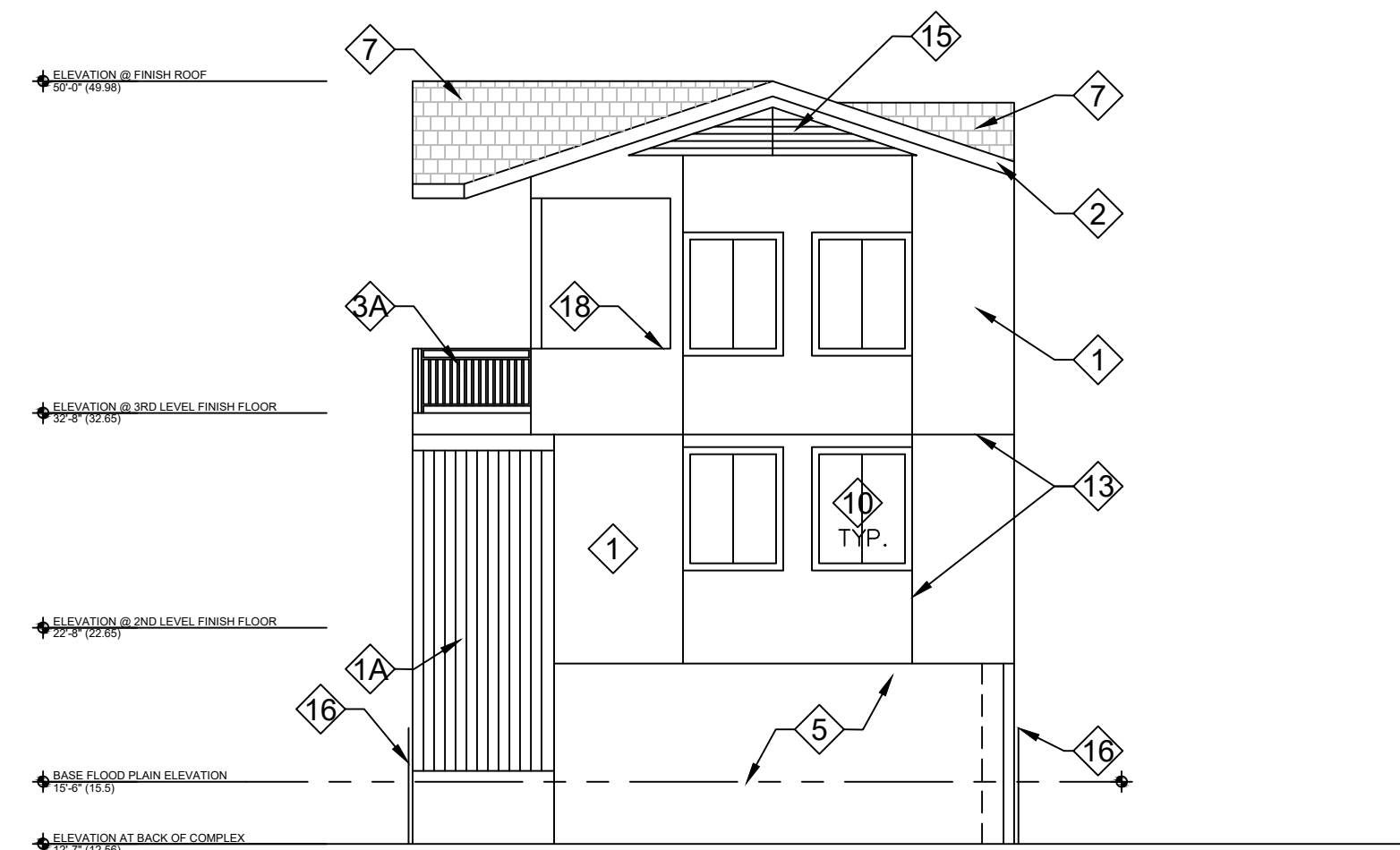
Sheet Title:

EXISTING ELEVATIONS

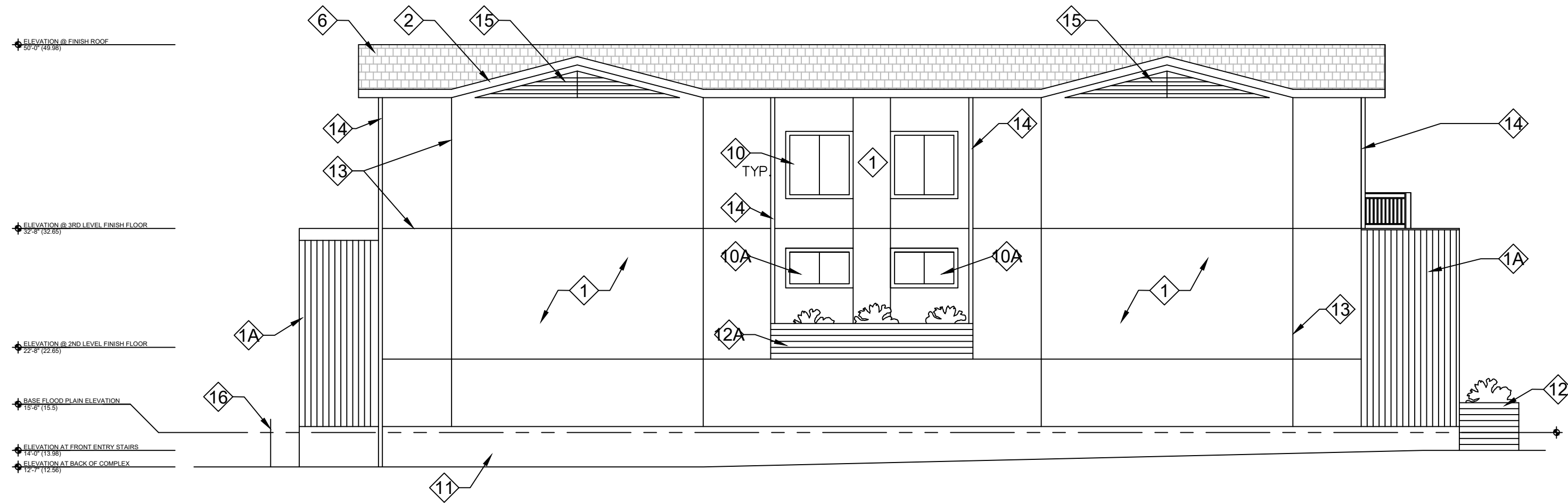
Scale: AS NOTED

Sheet No:

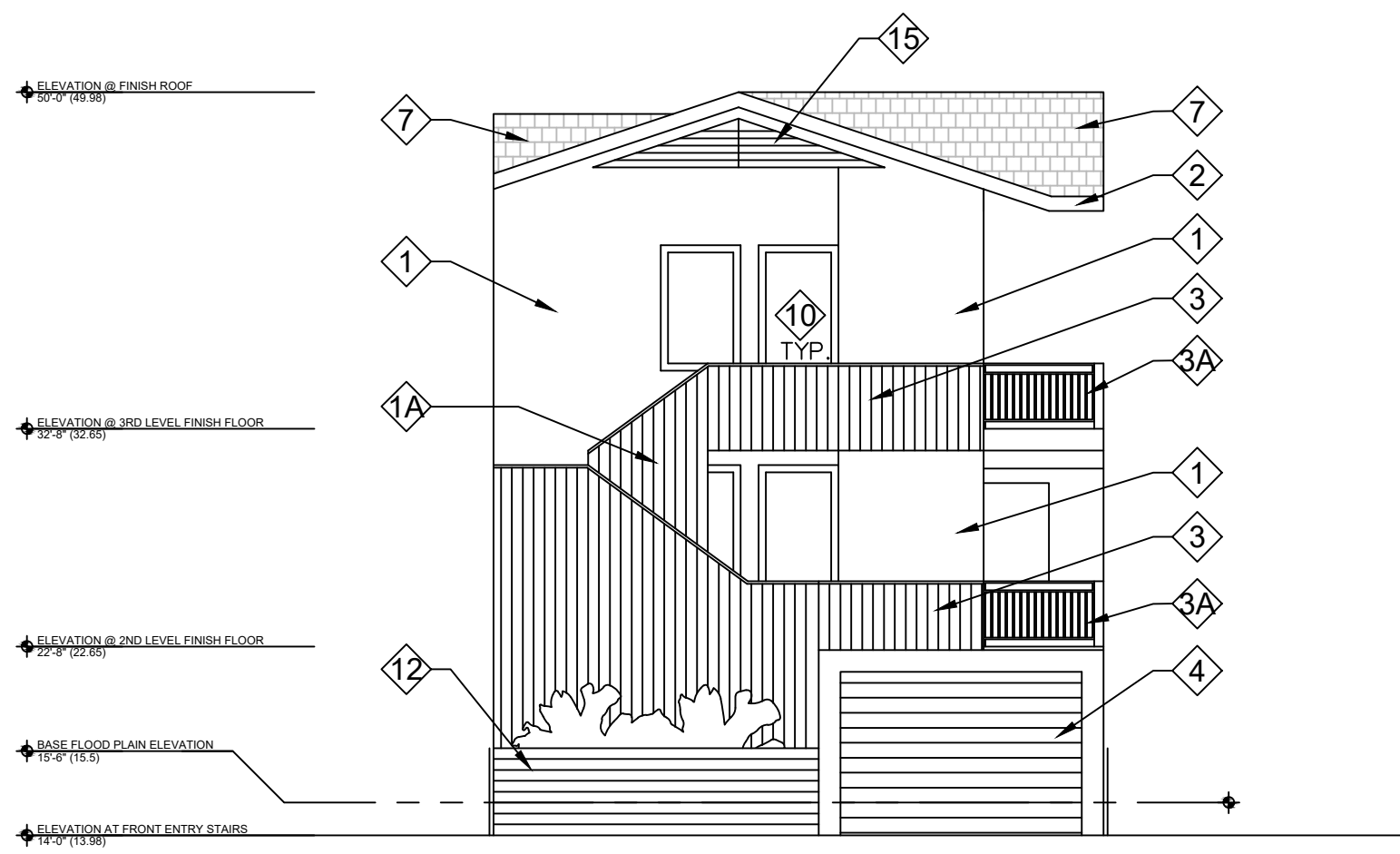
A3.0



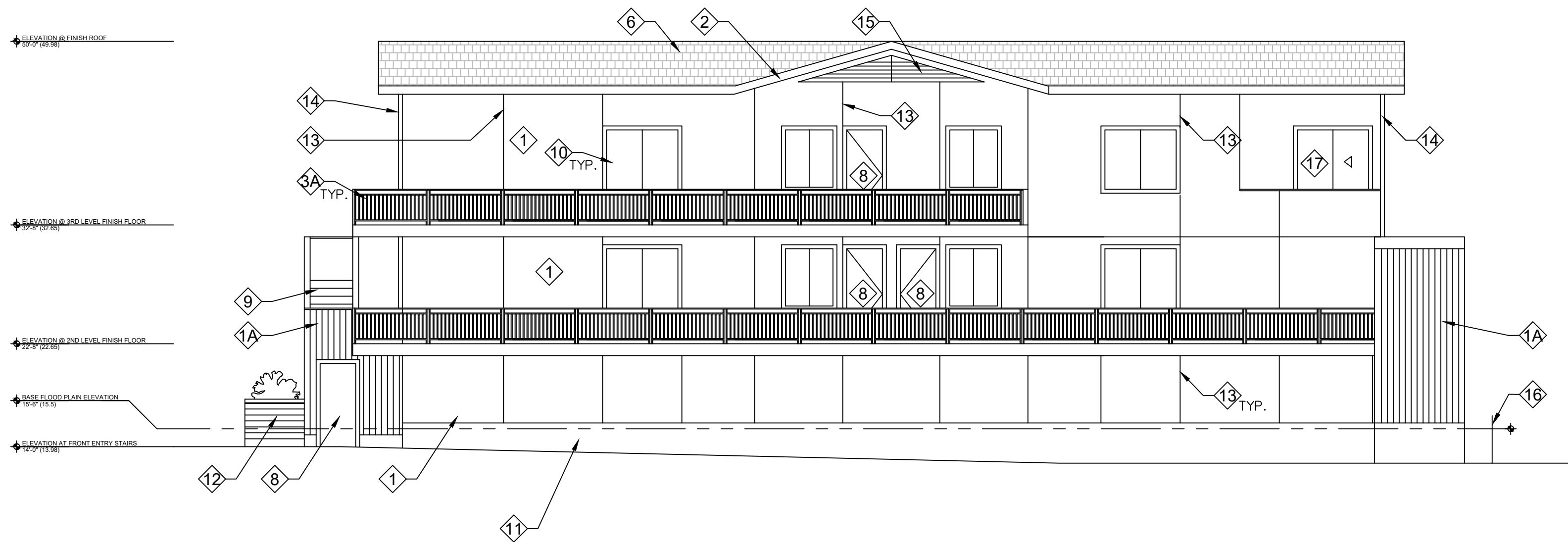
3 PROPOSED SOUTH ELEVATION (REAR YARD)
1/8" = 1'-0"



1 PROPOSED EAST ELEVATION
1/8" = 1'-0"



4 PROPOSED NORTH ELEVATION (ENTRY)
1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
1/8" = 1'-0"

KEY NOTES

- 1 STUCCO WALL, 1HR. RATING
- 1A CEMENTITIOUS FIBER BOARD CLADDING.
- 2 2x WD ROOF FASCIA
- 3 BALCONY/TRELLIS, CEMENTITIOUS FIBER BOARD CLADDING, TYP.
- 3A TUBE STEEL GUARD/HANDRAIL
- 4 OVERHEAD GARAGE DOOR
- 5 OPEN TO GARAGE
- 6 CLASS A COMP. SHINGLE ROOF
- 7 DORMER ROOF (BEYOND)
- 8 SOLID CORE WD. EXT DOOR
- 9 CONC. PRECAST STAIRS
- 10 ANODIZED ALUMINUM WINDOW
- 10A 5' SILL HEIGHT WINDOW W/ OPAQUE TREATMENT
- 11 CONCRETE FOUNDATION AND STEM WALL
- 12 PLANTER W/ REQ BIO-RETENTION DRAINAGE, TYPE A BRICK FACADE CLADDING
- 12A PLANTER W/ REQ BIO-RETENTION DRAINAGE, CEMENTITIOUS FIBER BOARD CLADDING
- 13 STUCCO CONTROL JOINT, TYP.
- 14 4x4 PNTD GSM DOWNSPOUT, TYP.
- 15 LOUVERED ROOF ATTIC VENT AT DORMER, TYP.
- 16 FENCE AT PROPERTY LINE
- 17 6' SLIDING GLASS DOUBLE DOOR
- 18 PARAPET WALL OF PATIO

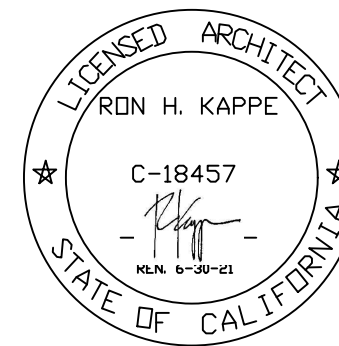
GENERAL NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ANY QUESTIONS OR FIELD DISCREPANCIES FROM DRAWINGS.

KAPPE ARCHITECTS

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



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Sheet Title:

PROPOSED EXTERIOR ELEVATIONS

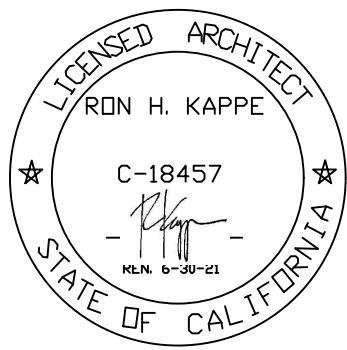
Scale: AS NOTED

Sheet No:

A3.1

3-UNIT
RESIDENTIAL
BUILDING

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Sheet Title:

PROPOSED MATERIALS PLAN

Scale: AS NOTED

Sheet No:

A5.0

COMPOSITION SHINGLE ROOF
COLOR: MEDIUM BROWN

ALTERNATE COLORS:

HICKORY

OYSTER GREY



FASCIA & GUTTERS
PAINTED TO MATCH
ROOF SHINGLE COLOR

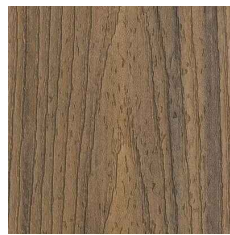
STUCCO WALLS
COLOR: TAUPE
TEXTURE: FINE SAND FINISH

ALTERNATE COLOR:
SAND/TAN



WINDOW/DOOR FRAMES
PAINTED TO MATCH STUCCO
WINDOW HARDWARE: CLEAR
ANODIZED

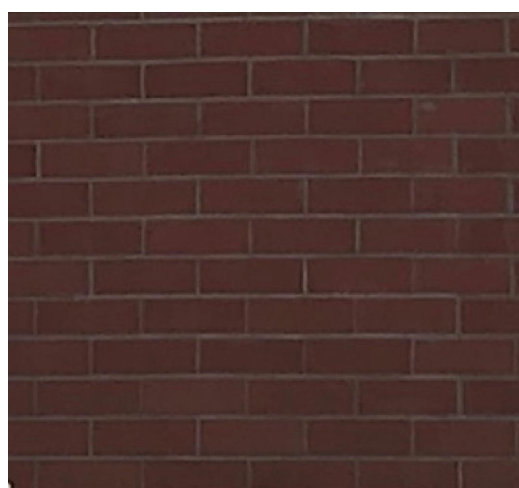
"WOOD" CLADDING:
COLOR/MATERIALS:



TIKI TORCH
CEMENTITIOUS

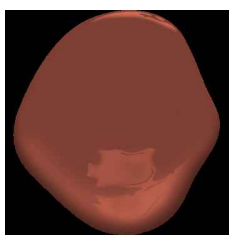
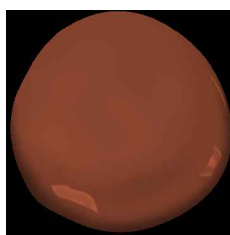
HAVANA GOLD
CEMENTITIOUS

BRICK PLANTER



DOORS: PAINT GRADE WOOD DOORS
PAINT COLOR: PALACE ARMS RED
DOOR HARDWARE: SILVER

ALTERNATE COLORS:



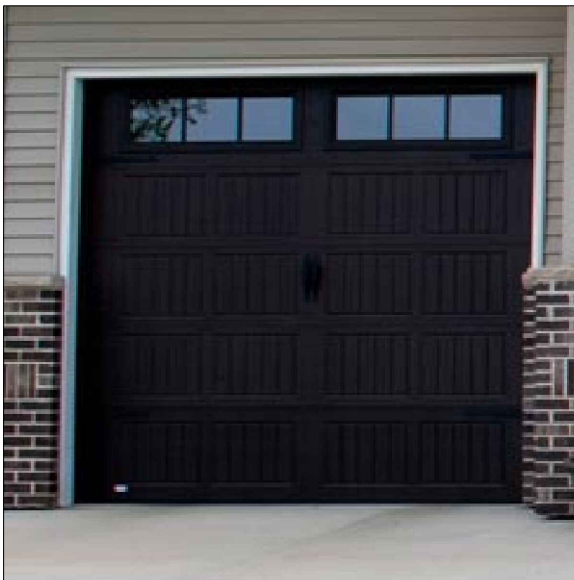
TOASTED
CHESTNUT

RED ROCK



GARAGE DOOR
PAINTED TO MATCH COLOR OF
FASCIA

ALTERNATE COLORS:
WOOD TO
MATCH DECKING



STUCCO CONTROL
JOINT, TYP.

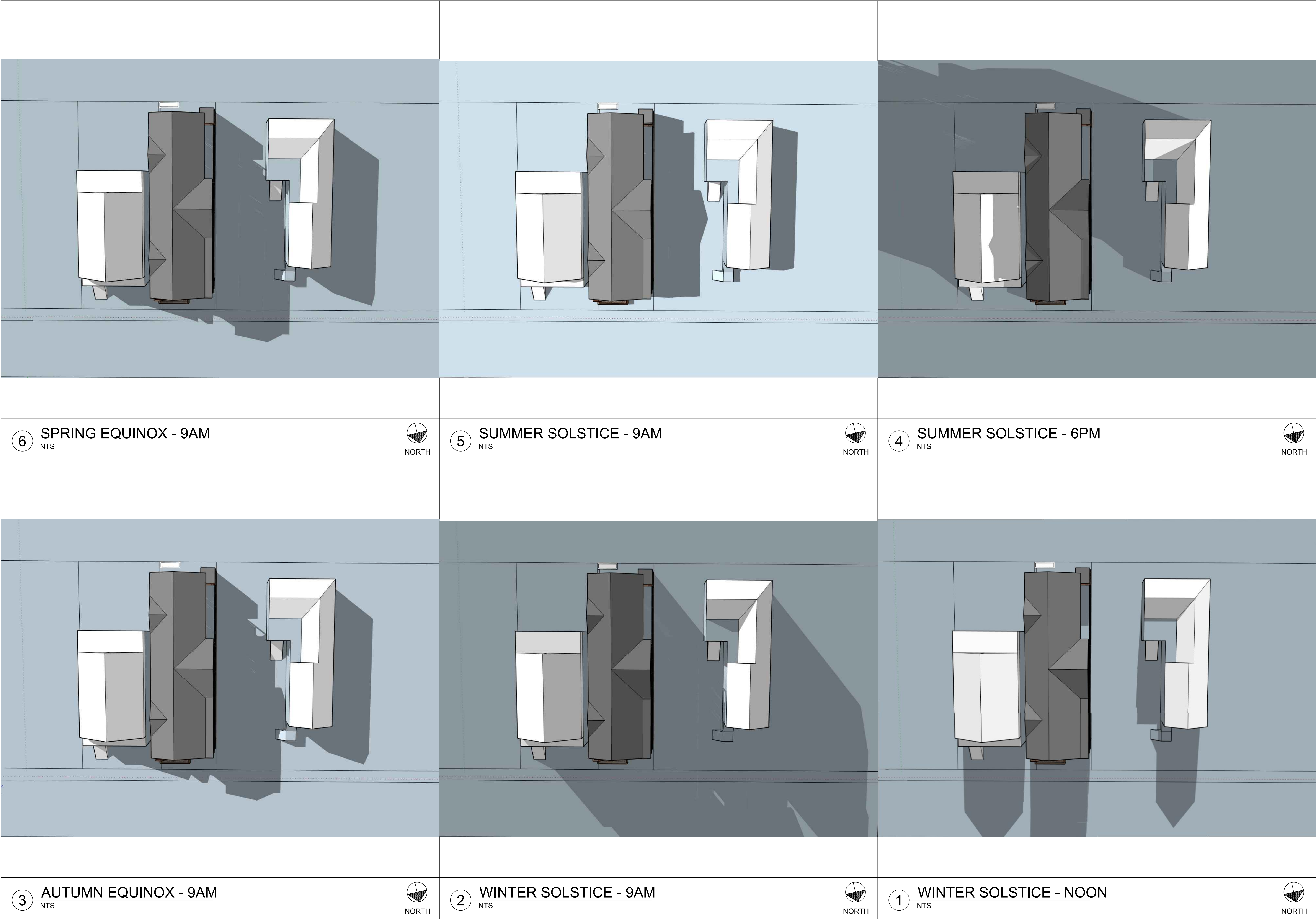
TUBE STEEL HANDRAIL, PAINTED
TO MATCH FASCIA BELOW

CONCRETE BASE BELOW
FLOOD PLANE
COLOR: STANDARD CONCRETE

1

BIRDS EYE PERSPECTIVE WITH PROPOSED MATERIALS

NTS



6 SPRING EQUINOX - 9AM
NTS



5 SUMMER SOLSTICE - 9AM
NTS



4 SUMMER SOLSTICE - 6PM
NTS



3 AUTUMN EQUINOX - 9AM
NTS



2 WINTER SOLSTICE - 9AM
NTS



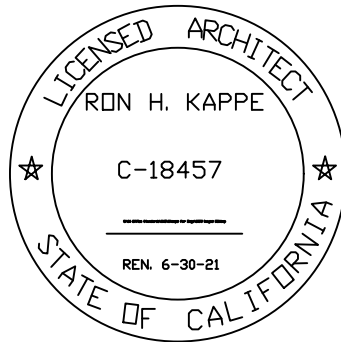
1 WINTER SOLSTICE - NOON
NTS



KAPPE ARCHITECTS

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



AP #: 012-073-04

Project No.:	19.12		
Drawn By:	GC		
Checked By:	RK		
Issued Date:	11/15/19		
Revision	No.	Date	
DESIGN REVIEW	1	05/26/20	

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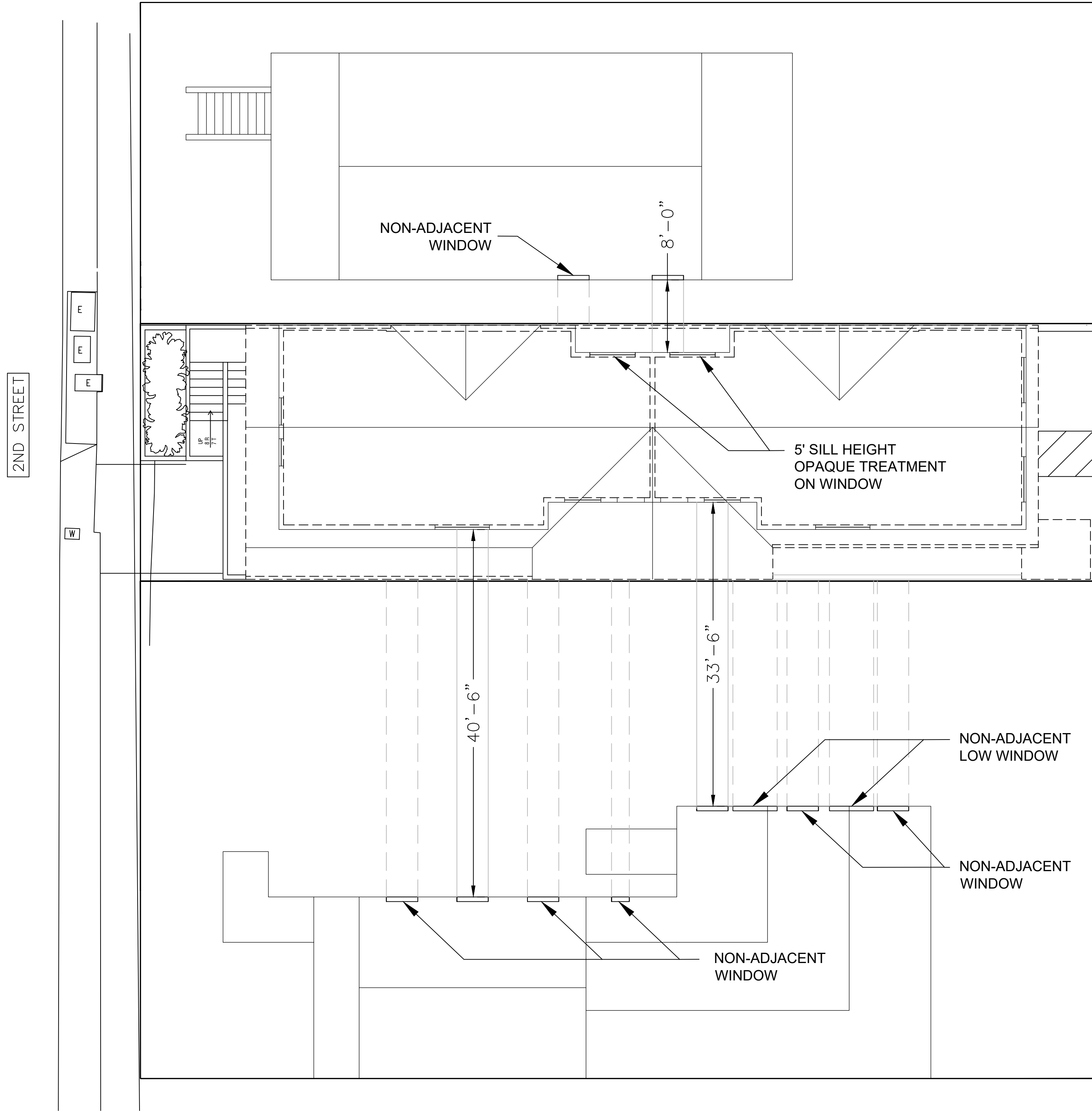
Sheet Title:

SHADOW STUDIES

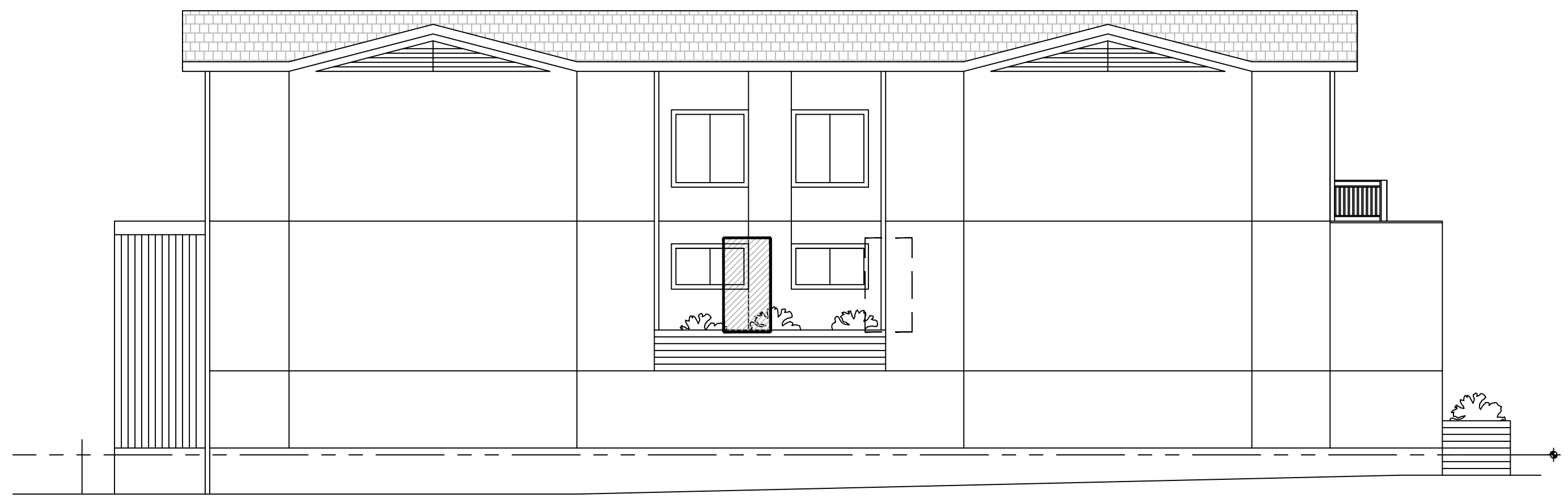
Scale: AS NOTED

Sheet No:

A5.1



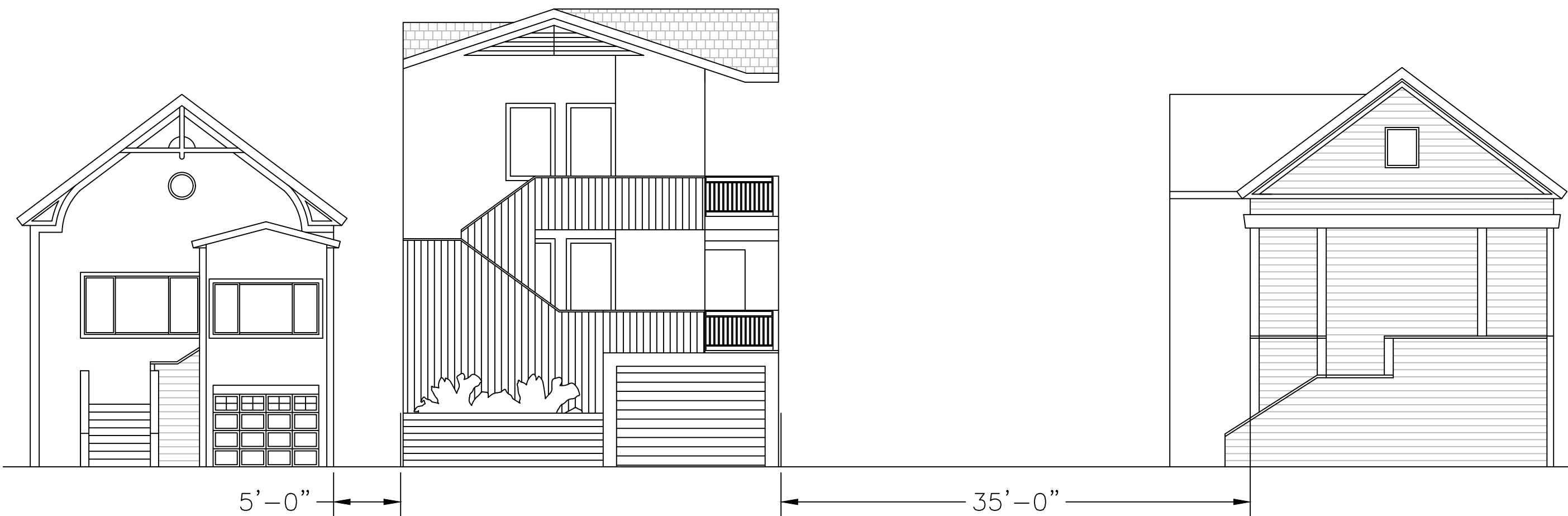
4 WINDOW STUDY (PLAN VIEW)
3/16" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



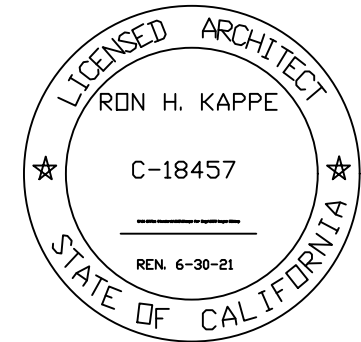
1 STREET FACING (NORTH) ELEVATION
1/8" = 1'-0"

KAPPE ARCHITECTS


801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7885

3-UNIT
RESIDENTIAL
BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



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Sheet Title:

WINDOW STUDIES

Scale: AS NOTED

Sheet No: A5.2