



133-16 Springfield Boulevard,
Springfield Gardens, NY 11413

FOR SALE

NNN Retail Property on a Major
Commercial Corridor with 4 units

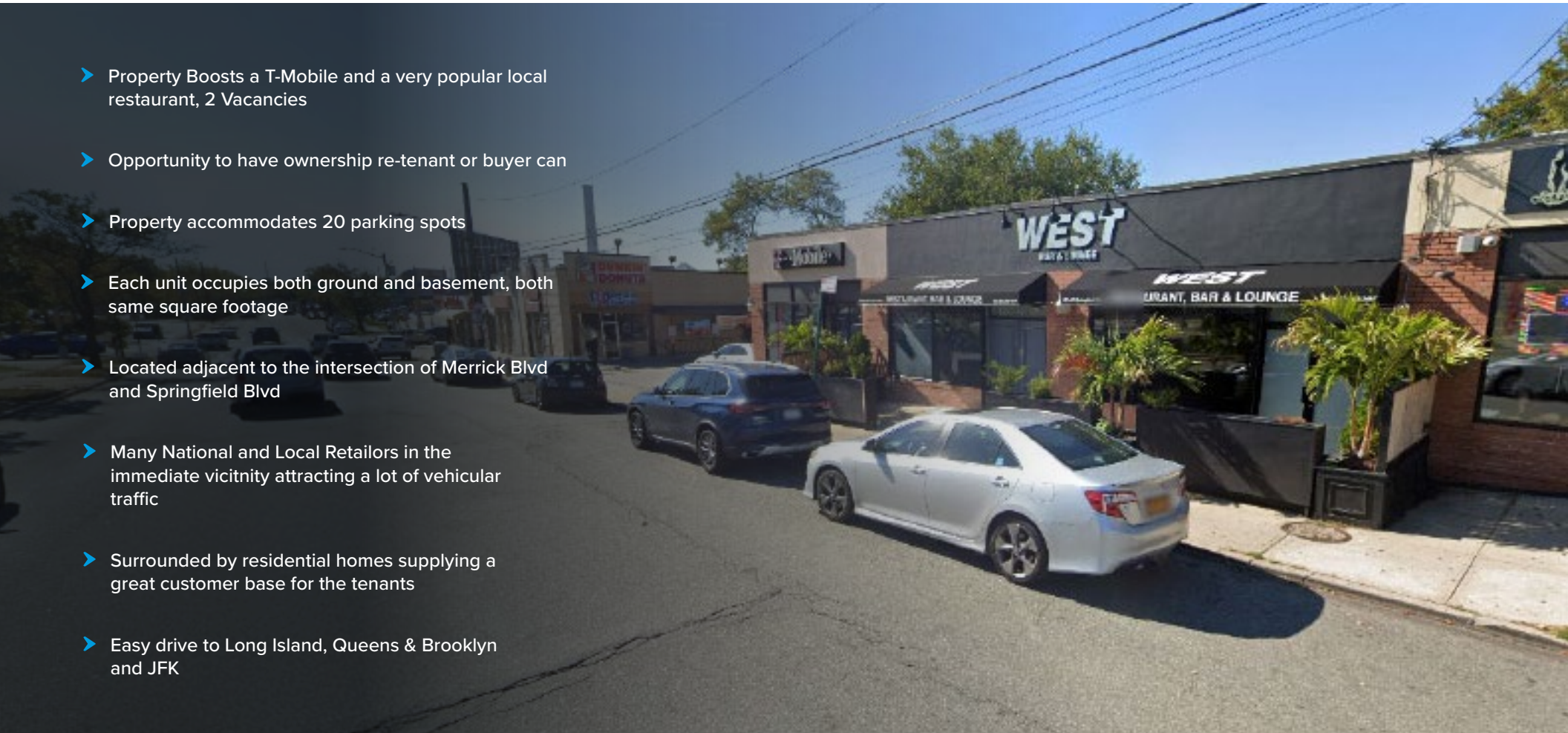
Ariela
GREA Partner

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- Property Boasts a T-Mobile and a very popular local restaurant, 2 Vacancies
- Opportunity to have ownership re-tenant or buyer can
- Property accommodates 20 parking spots
- Each unit occupies both ground and basement, both same square footage
- Located adjacent to the intersection of Merrick Blvd and Springfield Blvd
- Many National and Local Retailers in the immediate vicinity attracting a lot of vehicular traffic
- Surrounded by residential homes supplying a great customer base for the tenants
- Easy drive to Long Island, Queens & Brooklyn and JFK



Asking Price: \$5,750,000 | \$423 / SF

Exclusively Represented By
212.544.9500 | arielpa.nyc

Alexander Taic x44
ataic@arielpa.com

Shimon Shkury x11
sshkury@arielpa.com

For Financing
Information: **Steven Trow x305**
strow@arielpa.com

The information contained herein has either been given to us by the owner of the property or obtained from sources that we deem reliable. We have no reason to doubt its accuracy but we do not guarantee the accuracy of any information provided herein. As an example, all zoning information, buildable footage estimates and indicated uses must be independently verified. Vacancy factors used herein are an arbitrary percentage used only as an example, and does not necessarily relate to actual vacancy, if any. The value of this prospective investment is dependent upon these estimates and assumptions made below, as well as the investment income, the tax bracket, and other factors which your tax advisor and/or legal counsel should evaluate. The prospective buyer should carefully verify each item of income, and all other information contained herein. October 29, 2025 3:07 pm

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Property Information

Block / Lot	12723 / 9
Lot Sq. Ft.	14,567
Stories	1
Total Units	4
Basement Sq. Ft.	6,800
Ground Floor Sq. Ft.	6,800
Building Sq. Ft.	13,600
Zoning	R2 / C8-1
Residential FAR	0.50
Commercial FAR	1.00
Residential Buildable Sq. Ft.	7,284
Commercial Buildable Sq. Ft.	14,567
Air Rights Sq. Ft.	967
Tax Class	4
Assessment (25/26)	\$847,710
Tax Exemptions	(\$69,211)
Real Estate Taxes (25/26)	\$42,651

*All square footage/buildable area calculations are approximate

Financial Summary

Scheduled Gross Income:	\$428,668
Less Vacancy Rate Reserve (7.00%):	(\$30,007)
Gross Operating Income:	\$398,662
Less Expenses:	(\$15,946) 4% of SGI
Net Operating Income:	\$382,715 6.66% Cap Rate

Expenses (Actual*/Estimated)

Insurance	\$17,000
Tenant Reimbursement Insurance	(\$17,000)
Legal/Miscellaneous	\$3,987
Management	\$11,960
Gross Operating Expenses:	\$15,946

Scheduled Income

Unit Type	# of Units	Avg. Rent \$/Unit	Monthly Income	Annual Income
Comm	4	\$8,931	\$35,722	\$428,668
Total Income:			\$35,722	\$428,668

[FOR FULL RENT ROLL CLICK HERE](#)



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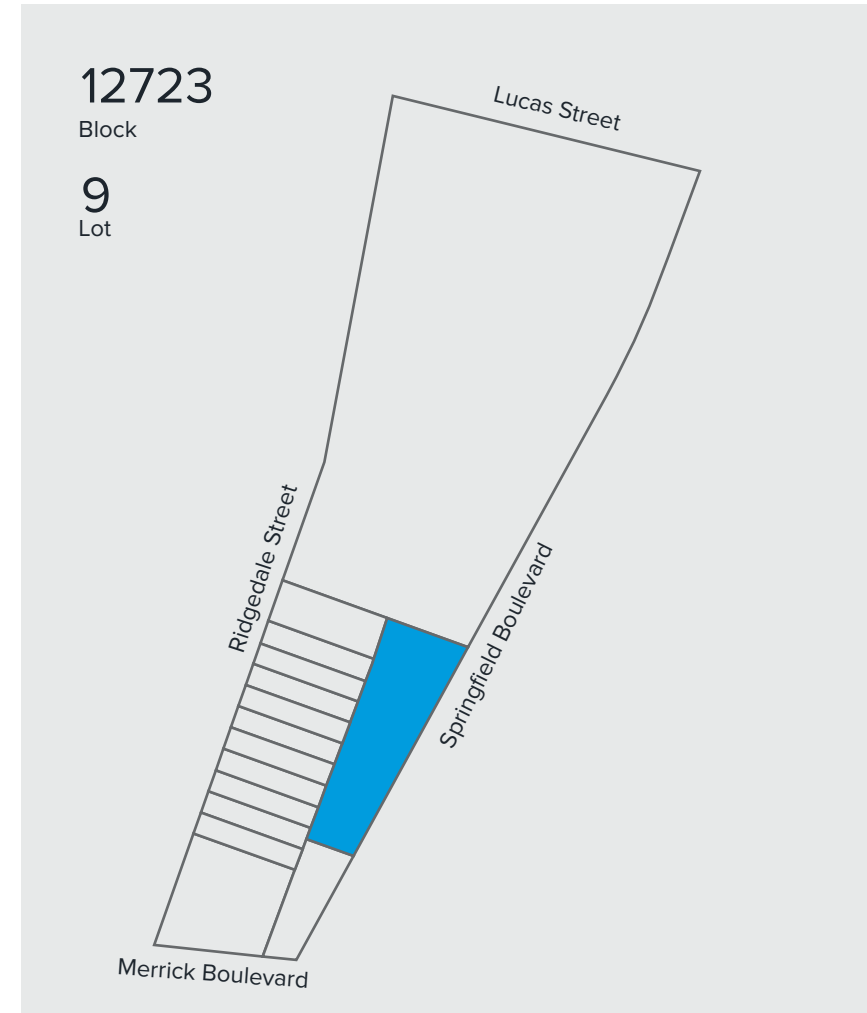
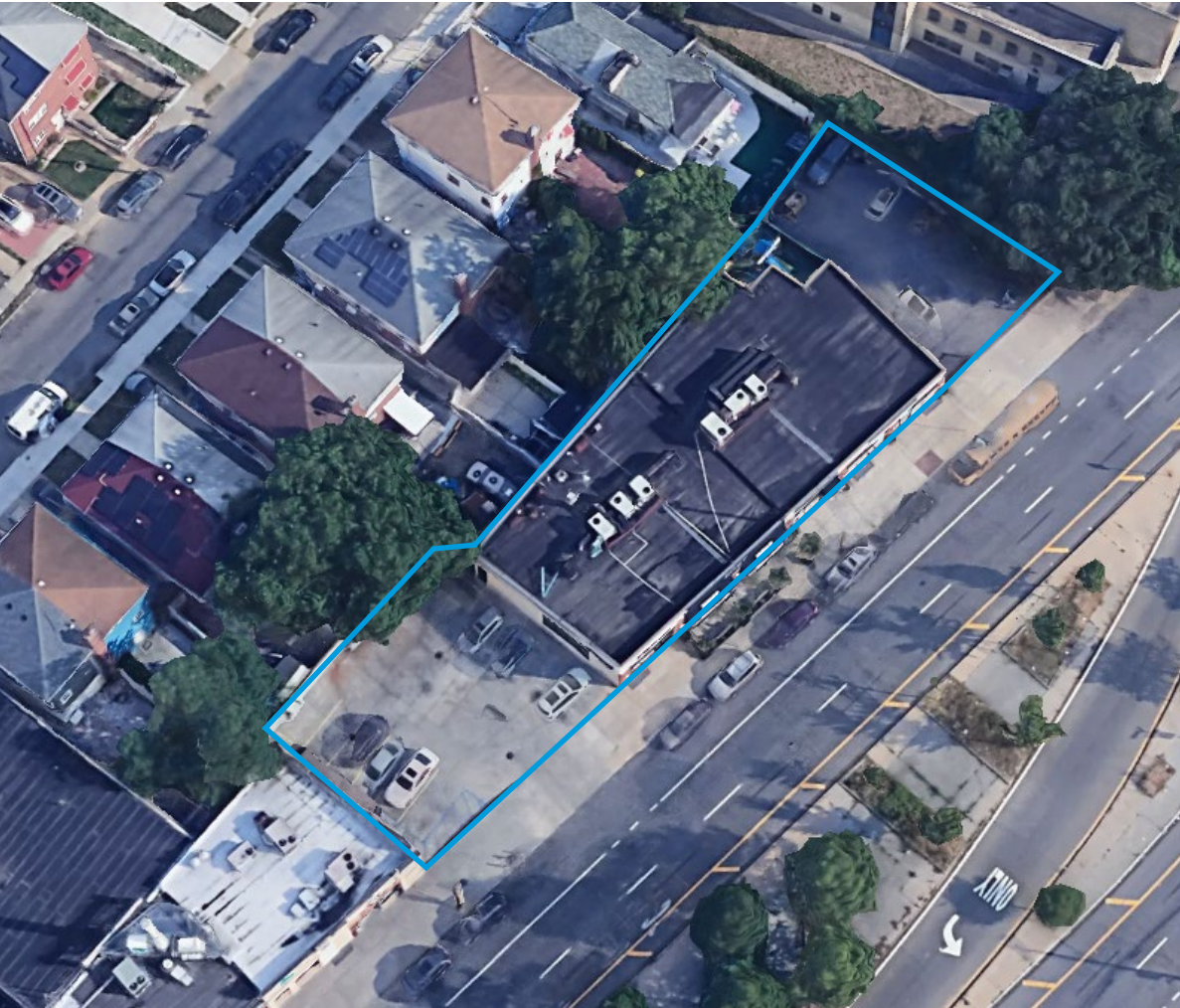
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Ideally situated near the intersection of Merrick Boulevard and Springfield Boulevard, 133-16 Springfield Boulevard offers quick access to major roadways, making commuting throughout Queens effortless.

Transportation Score



70

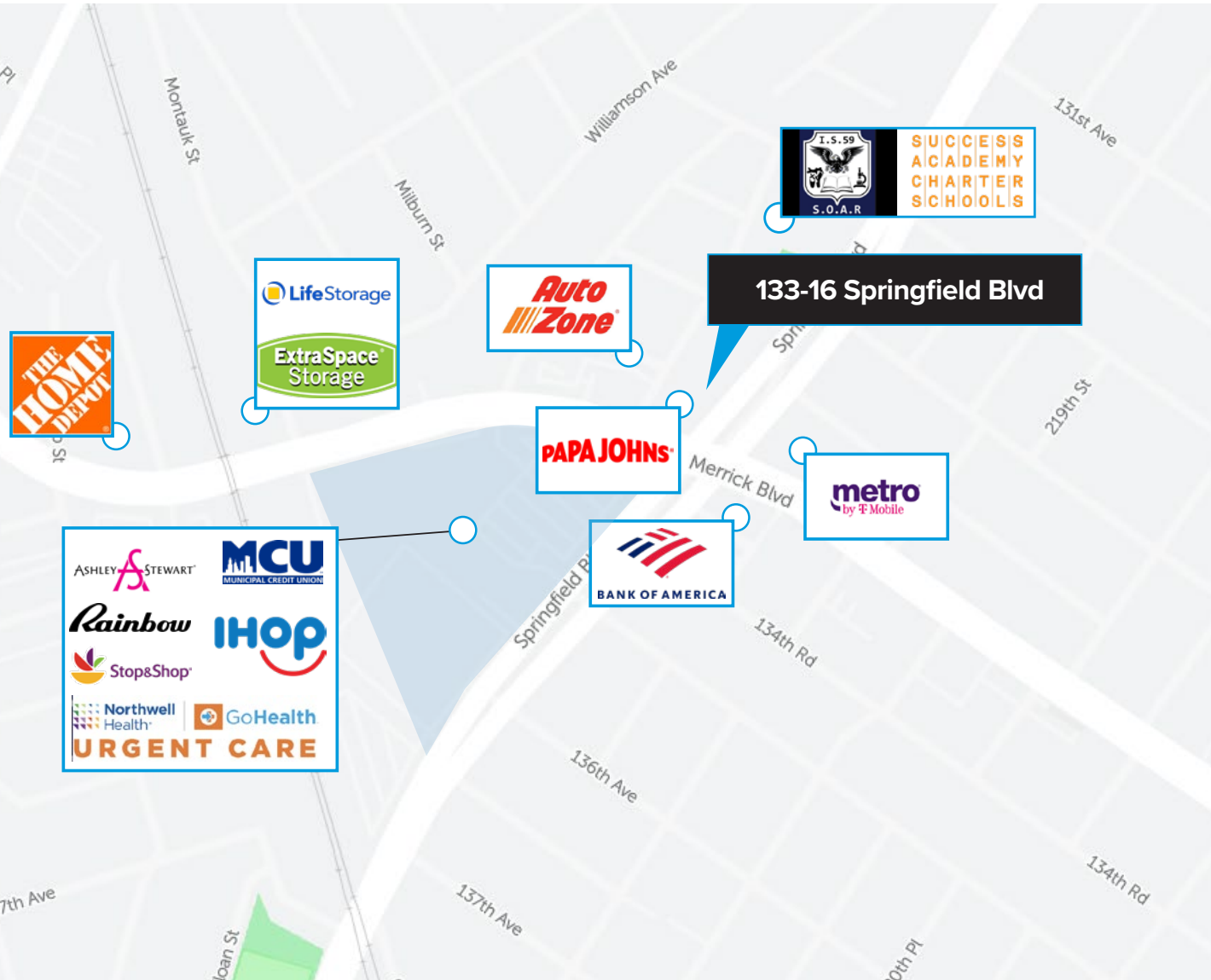
Public Transportation



85

Walker's Paradise

[Visit Walk Score Website](#) →



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