



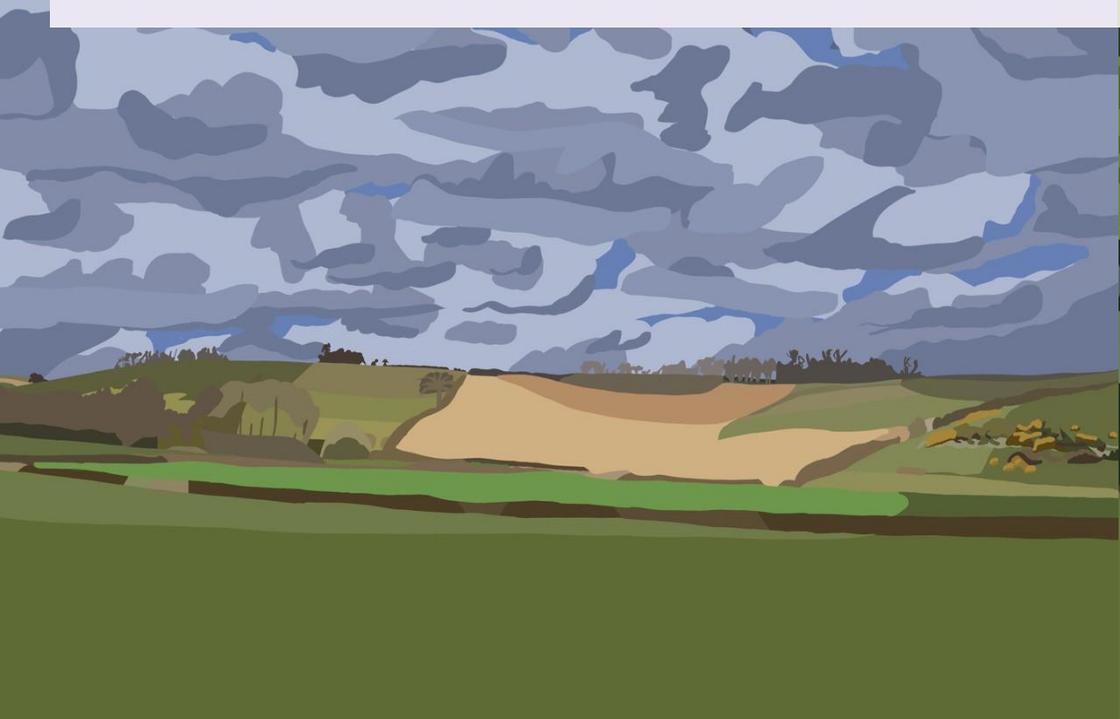
NORTH CADBURY AND YARLINGTON NEIGHBOURHOOD PLAN



Submission (Regulation 15) Version

North Cadbury and Yarlington Parish Council, November 2021

*A planning policy document to influence what is built and where across
North Cadbury, Galhampton, Yarlington and Woolston up to 2033*





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FOREWORD

“Neighbourhood planning gives communities the power to develop a shared vision for their area. Neighbourhood plans can shape, direct and help to deliver sustainable development, by influencing local planning decisions as part of the statutory development plan.”

Extract from the Government’s National Planning Policy Framework (2021)

This North Cadbury and Yarlington Neighbourhood Plan seeks to shape the physical development of the area in a way that balances the need to look after our environment and at the same time meet the needs of a growing population.

Drawing on the opinions of the community has been critical to making sure the Plan genuinely reflects the hopes and aspirations of all the area’s residents. This has been challenging given the wide area the Plan covers and that the Covid 19 pandemic has been ongoing through much of the time the plan was prepared. Nevertheless, using a mix of technology and socially distanced engagements, we hope we have reached out to everyone who wanted to be heard, and have listened and reflected the consensus of opinion in this, our first Neighbourhood Plan.

The Plan has been prepared by a group of local residents, supported by a planning consultant, on behalf of the North Cadbury and Yarlington Parish Council. It is the Parish Council who are responsible for the preparation of the Plan in this area, and South Somerset District Council will ultimately ‘make’ the Plan part of the statutory development plan once it has been independently examined and passed a local referendum. Grateful thanks are extended to all the volunteers for the time and commitment they have given to date.

NC&Y Parish Council, July 2021

This version is the submission version that will be tested at examination. It will then be revised to take on board any modifications recommended by the Examiner, before being subject to a local referendum. If the referendum result is a ‘yes’ vote it will then be formally made part of the development plan.





1. INTRODUCTION

HOW THIS ALL BEGAN...

1.1 In 2016/7, local residents, supported by the Parish Council, produced a Community Plan for the area, replacing the previous (2006) plan. This considered a wide range of issues impacting on the day to day lives of its community. Whilst many parishioners did not want the villages and hamlets to change significantly, there was a general acceptance that some infill development could potentially help provide starter and family homes which could help ensure that there would continue to be a balance of young and older residents. There were also concerns expressed that the planners at South Somerset District Council could ignore the objections made by local residents and the Parish Council, with little explanation as to why local issues had been over-ruled.

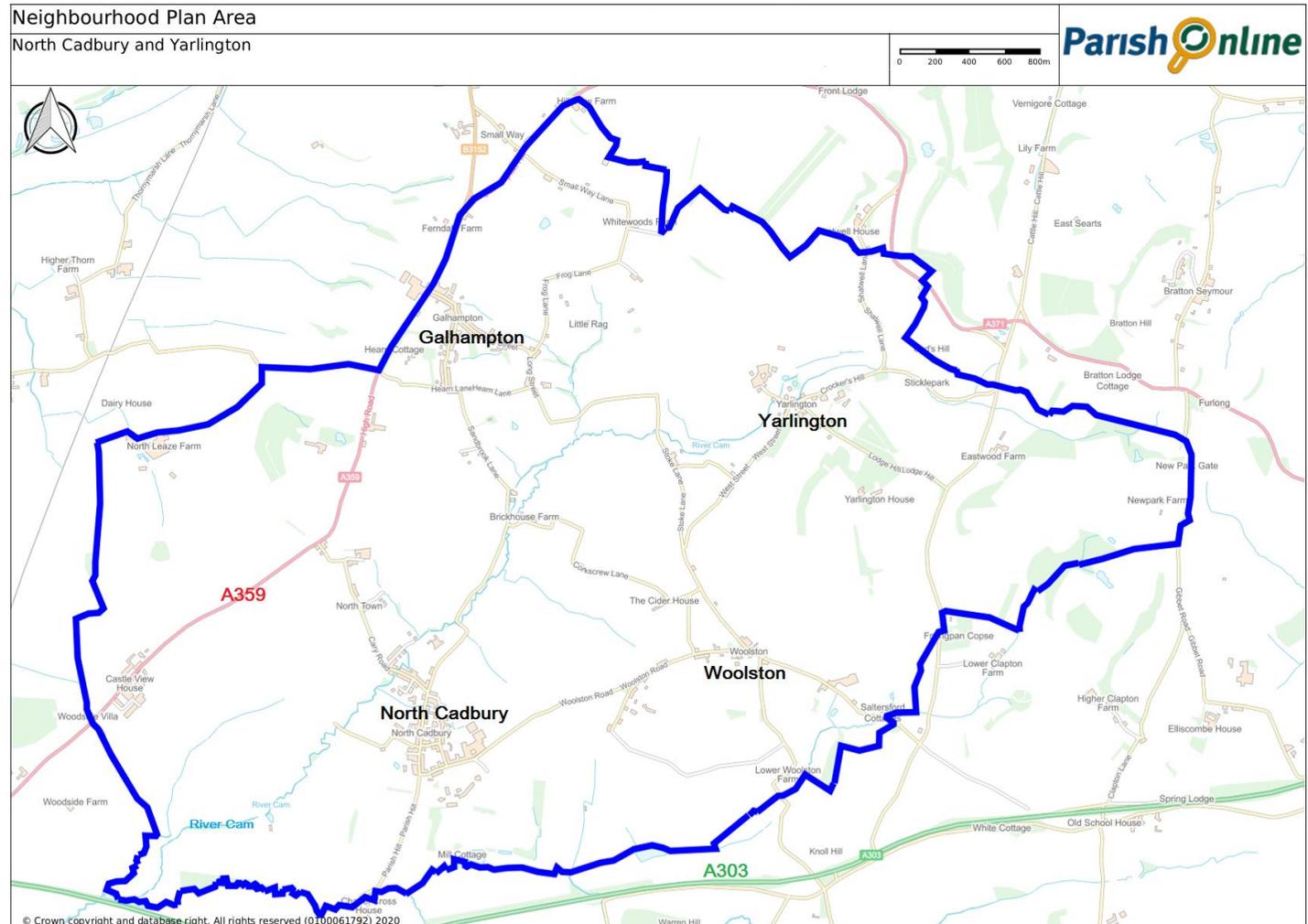
Map 1. North Cadbury and Yarlington Neighbourhood Plan Area

1.2 To have greater influence over what could and should be built, the obvious solution was for the Parish Council to produce a Neighbourhood Plan. This becomes part of the development plan for the area and will have to be taken into account by the District Council when determining planning applications. At the Parish Council meeting on 27th June 2019 the Parish Council decided unanimously to start the process of writing a Neighbourhood Plan.

1.3 The first step was to confirm the Neighbourhood Plan area (the area in which the plan can have an impact). An

application was made to South Somerset District Council for the Parish Council area of North Cadbury and Yarlington to be so designated. This was approved by the District Council in July 2019.

1.4 Work started on this Neighbourhood Plan in the second half of 2019, when a Working Group of local residents was first convened. Jo Witherden (an independent planning consultant with considerable experience in Neighbourhood Plans) was commissioned by the Parish Council to help with this task, with funding from central Government.





WHAT WORK WAS DONE

1.5 The working group was keen that the Plan genuinely reflected the consensus view of local residents from across the area. There have been many opportunities for people to get involved, including:

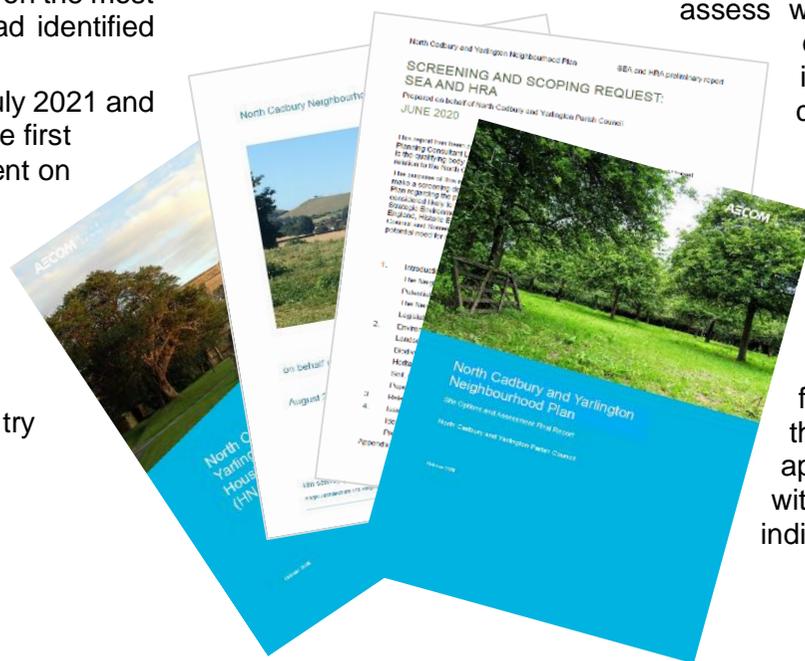
- **Household survey** (distributed February 2020). This survey gathered information on local people’s thoughts about the area, housing and employment needs, work and travel patterns, use of and priorities for community facilities.
- **Call for Sites** (advertised March 2020). This provided an opportunity for local landowners to tell us about the sites that they would like considered for development.
- **Businesses and Community Facilities surveys** (distributed March 2020). Giving local businesses and organisations an opportunity to tell us about their needs and development aspirations for the future, as well as gathering general data on use and local employment.
- **Options consultation** (distributed November 2020 with a supplemental consultation in February 2021). This was a major consultation to update local residents on the findings of the various studies and surveys and seek their views on the most suitable site options and whether we had identified key issues correctly.
- **Draft Plan consultation** (publicised in July 2021 and ran for more than 6 weeks). This was the first opportunity for people to see and comment on the Plan as a whole. The consultation was open to local residents and sent to the statutory consultees. Changes were made as a result.

Throughout the Plan’s preparation the Working Group have used social media, the website, posters, leaflets and newsletters to try to keep everyone in the Parish aware of the progress being made.

1.6 Studies undertaken included:

- **Heritage Assessment** (August 2020, Angel Architecture) – to identify the key features and special interest relating to the four main settlements in the two parishes.
- **Housing Needs Assessment** (October 2020, AECOM) – to better understand the housing needs of the area, particularly the type, size and tenure, and need for affordable and older persons’ housing.
- **Local Green Space and Views Assessments**
- **Site Options Assessment** (July 2021, AECOM) – to independently assess the site options put forward through the call for sites
- **Heritage Impact Assessment** (July 2021, AECOM) – to consider in greater detail the potential heritage impacts of the emerging site options.
- **Strategic Environmental Assessment** (Scoping report undertaken in June 2020, Dorset Planning Consultant Ltd, with full assessment then produced by AECOM for the draft plan, July 2021) – to identify the environmental issues relevant to the area that may need to be considered in determining the likely significant impacts of the Neighbourhood Plan.
- **Habitats Regulations Assessment** (August 2021, AECOM) – to assess whether the draft plan may cause adverse effects on the integrity of internationally important wildlife sites, either in isolation or in combination with other plans and projects.

1.7 Following the Examination of the Plan, the final step is a local referendum (usually limited to the Neighbourhood Plan area). Local residents (who are on the electoral roll) vote on whether the District Council should use the Plan. As long as the majority of those who vote, vote ‘yes’, the Plan is then formally made part of the development plan for the area. This means that, by law, planning applications must be determined in accordance with the Plan, unless material considerations indicate otherwise.





WHO WAS INVOLVED ON THE WORKING GROUP?

1.8 Much of the work underpinning this plan was undertaken by local residents, who freely volunteered their time to help. Working Group members have included:

- | | |
|----------------------|-----------------|
| Alan Bartlett | Malcolm Hunt |
| Alan Brain | Andy Keys-Toyer |
| Bruce Critchley | Michael Martin |
| James Bruce-Gardyne | Brian Morris |
| Tamsin Bruce-Gardyne | John Rundle |
| Susan Cox | Richard Rundle |
| Tim Gilbert | Anna Scott |
| Nigel Humberston | Richard Scott |

1.9 The working group was supported by paid experts from outside the community, primarily Jo Witherden BSc(Hons) DipTP DipUD MRTPI of Dorset Planning Consultant Ltd and AECOM, Locality’s appointed consultants who provided additional technical support.

1.10 Thanks also go to Wally Scott for his artwork on the front cover.

HOW THIS PLAN IS STRUCTURED

1.11 There is no set format for a Neighbourhood Plan – the idea being that every plan will cover the issues that are most important to its area. The plan contains a number of policies and projects. The policies set out the ‘tests’ against which planning applications are considered – and some of the background to these and further explanation is contained in the preceding paragraphs. Sometimes the policies refer to tables or maps which contain the detail of what or which areas are relevant. The projects detail what actions the Parish Council intends to take in relation to issues that have come to light through the making of this plan.

1.12 The Plan itself looks at each of the main topics in turn in chapters 5 - 10 (the topics cover heritage and design; environment; housing; business and employment; community services and facilities; and transport), and then chapters 11 – 14 cover the main settlements in the area (North Cadbury; Galhampton; Yarlington and Woolston). There is some cross-referencing between the settlement-specific and topic-based sections – but we hope that by having settlement-specific chapters this makes understanding the plan easier for local residents.

1.13 At the end of the plan there is a short glossary, a list of supporting documents, a policies map (which attempts to show all of the area-specific policy locations on one map – there are more detailed maps throughout the plan), and various appendices containing some of the more detailed information that underpins the Neighbourhood Plan.

HOW LONG THE PLAN WILL LAST? (THE ‘PLAN PERIOD’)

1.14 This Plan has been written for the period **2018 – 2033**. This plan period seems a sensible timescale to plan for, looking forward approximately 10 - 15 years (the start date links to the latest monitoring year that we had data for, when we started working on the plan). It should provide a degree of certainty as to the extent of changes that local residents may reasonably expect over that period. However, it is fully expected that it will be reviewed well before the end of the plan period, given that the Local Plan is being updated and that national planning policy may also change in this time.

Heritage and Design



Environment



Housing



Business and Employment



Community Services and Facilities



Transport





2. A LITTLE BIT ABOUT THE NEIGHBOURHOOD PLAN AREA...

2.1 Before launching into the plan, we have brought together a very brief summary to give a flavour of the area, to those who perhaps do not know it that well...

2.2 The area covers just over 15 square kilometres (about 6 square miles) of South Somerset, in the area north of the A303 and south of Castle Cary (largely bounded by the A359 to the west and A371 to the east). It is a predominantly rural area.



POPULATION AND EMPLOYMENT

2.3 North Cadbury village is the largest settlement, with just over 210 households. Other settlements include Galhampton (approximately 175 households), Woolston and Yarlington (with approximately 50 households each). At the time of the last Census (2011) there were just over 1,000 residents living in the Plan area in total. The average resident was about 45 years old, working and in good health.

2.4 The area ranks amongst the 40% least deprived in the country (based on the English Indices of Multiple Deprivation), the main issue facing the area being barriers to housing and services (which is likely to be because of the rural nature of the area, and difficulty accessing affordable housing and local services).

2.5 There are a couple of employment estates in the area, the main one being the North Cadbury Business Park on the A359, close to the A303. There is also a small cluster of businesses at the Fir Tree Business Park in Galhampton, and at the various farms and estates operating across the area. Responses from the 2020 household survey indicate that most workers typically commute to work outside the area, although a significant proportion (at least one in five) work from home. Slightly more people work in professional / scientific and agricultural sectors than the district average (based on the 2011 Census) and some of the farmland in the Plan area is amongst the best and most versatile in the country (based on the Government's Agricultural Land Classification Maps).

NATURAL AND BUILT ENVIRONMENT

2.6 The Plan area falls within the Yeovil Scarplands, and is described in that National Character Area profile as a remote, rural landscape comprising a series of broad ridges and steep scarps separating sheltered clay vales, and a largely agricultural (pastoral) character. There are winding rural lanes, bounded by verges and thick hedgerows with frequent mature to veteran trees, connecting villages and hamlets; and a long history of settlement reflected through its archaeology and historic buildings, including its collection of fine manor houses and associated parklands, and a variety of limestones and sandstones from which distinctive building characteristics are derived.

2.7 The River Cam flows through the area, and whilst there are no nationally important wildlife sites within the Plan area, there are a number of priority habitats, such as the traditional orchards (particularly around North Cadbury and Galhampton), areas of deciduous woodland (including some close to Yarlington and North Cadbury), and areas of calcareous grassland and good quality semi-improved grassland.

2.8 There is also an extensive network of public rights of way criss-crossing the Plan area, including the Monarch's Way, the Somerset-based Leland Trail, and the Macmillan Way. Much of the area enjoys particularly dark skies and a general lack of noise pollution, but the southern portion is impacted by the noise from the A303 and lighting levels around the Sparkford junction.



3. THE STRATEGIC PLANNING POLICIES FOR OUR AREA

3.1 The National Planning Policy Framework (NPPF) explains that a core purpose of the planning system is to contribute to the achievement of sustainable development. To this end, plans and decisions should apply a “presumption in favour of sustainable development”, and to positively seek opportunities to meet the development needs of the area.

3.2 It goes on to state that the planning system should be genuinely plan-led – with succinct and up-to-date plans that provide a positive vision for the future of each area; a framework for addressing housing needs and other economic, social and environmental priorities; and a platform for local people to shape their surroundings.

THE ADOPTED LOCAL PLAN

3.3 The South Somerset Local Plan 2006 – 2028 was adopted in 2015. It includes a settlement strategy that focusses new development at Yeovil, with significant growth also planned at Chard, Crewkerne, Wincanton and Ilminster. It does not make any housing or employment land allocations or set any specific targets for any of the settlements in our Neighbourhood Plan area. However Policy SS2 “Development in Rural Settlements” of the Local Plan does apply to this area. This means that the settlements (particularly Galhampton and North Cadbury) are considered suitable for some development, provided that such growth is meeting an identified need, commensurate with the scale and character of the settlement, and generally has the support of the local community. The smaller settlements of Woolston and Yarlington would not be considered suitable for housing development, as they do not have enough key services.



THE LOCAL PLAN REVIEW

3.4 The review of the Local Plan is underway, and a Preferred Options draft was published in the summer of 2019. A revised version is anticipated in mid-2022. Whilst a Neighbourhood Plan is not examined against the policies of an emerging Local Plan, Government guidance makes clear that it is sensible to take into account any emerging evidence and likely policy change, in order to avoid a Neighbourhood Plan becoming out of date early on.

3.5 The Preferred Options draft of the new Local Plan does propose some potentially significant changes to the strategy for our area. It identifies a new ‘tier’ of village in the settlement strategy in Policy SS1, and North Cadbury is listed as one of these. These villages will be expected to make provision for limited development, with some growth expected to take place “adjacent to the existing built settlement”. In contrast, the other settlements of Galhampton, Yarlington and Woolston which do not have many key services are considered to be amongst the least sustainable settlements in the area, where development will be much more restricted.

3.6 Whilst this early draft of the Local Plan does not include an indicative housing target for our area, the District Planners have suggested that a target of about 60 dwellings over a 20-year period (so an average of 3 dwellings per annum), largely focussed on North Cadbury, would be appropriate.

The Local Plan is also likely to propose the expansion of the North Cadbury Business Park and take a more flexible approach towards supporting employment in general, at a scale commensurate with the locality.



4. WHAT THIS PLAN HOPES TO ACHIEVE

4.1 The vision has been derived from consultations with the community and our evidence base.

4.2 Following on from this, we identified a number of objectives under the themes of housing, business and employment, transport, community services and facilities, environment, heritage and design that have shaped the plan and policies.

In 2033 the parishes of North Cadbury and Yarlington will remain a “Jewel of a Place” - safe, thriving, well-connected settlements, each with a unique character, natural environment and sense of community spirit, welcoming residents of all ages and abilities.





OBJECTIVES

HERITAGE AND DESIGN



- Protect, preserve and enhance the Conservation Areas and historically important buildings and other heritage assets.
- Ensure that the character of the area and the setting of these assets is not compromised by the design, scale or presence of new development, or by the materials used.
- Make a positive contribution to reducing the rate of climate change by promoting and supporting sustainable energy initiatives (integrated with new buildings).

ENVIRONMENT



- Ensure that development is sensitive to the rural setting of the area and does not erode our existing environment and character.
- Protect the green spaces and recreational trails that are valued by local residents and create new ones where possible.
- Protect existing historic trees (some of which may lie outside the Conservation Areas and may need to be identified) and also support the planting of further native trees as part of any development, given their wildlife and climate benefits and how trees can soften the visual impact of development given the rural character of the area.
- Protect people, property and roads from flooding (in particular highlighting any local knowledge of flooding which may not be clear from the flood risk maps).
- Maintain the current good air quality and low levels of pollution – in particular recognising the dark night skies and general tranquillity of the area (away from the A303).

HOUSING

- Provide opportunities for local people to continue living in the area.
- Ensure any housing development provides for a variety of tenures which meet local needs. This should include affordable homes for young families / first time buyers as well as housing suitable for retirement / older age.



BUSINESS AND EMPLOYMENT

- Provide opportunities for local people to work close to home.
- Support local businesses to set up or expand their premises providing services and employment in the community, including through the provision of better broadband.



COMMUNITY SERVICES AND FACILITIES

- Maintain, improve and extend community services and recreational facilities that better meet the needs of local residents of every age and ability, including the services provided from the church, recreation ground, village hall and pub.



TRANSPORT

- Reduce problems associated with on-street parking, especially outside the school.
- Identify and where opportunities arise create new safe routes for walkers, cyclists and horse riders – particularly linking to the various community facilities and utilising the public rights of way network as far as possible.
- Consider how the community can access the local bus service and how the current service might be improved.





5. HERITAGE AND DESIGN

OVERVIEW

5.1 The rural character of the area (the villages, hamlets and surrounding countryside) was the number one reason recorded in our household survey that asked why people choose to live here, and what they enjoy the most about the area. The area is very rich in terms of its history – it is no surprise that it was described as “a little-known jewel of a place” in the television programme “Escape to the Country” in 2017.

5.2 In terms of design, we asked local residents to tell us what they felt had worked well in new buildings, and what designs or layouts should be avoided. From this, we found out that a key issue for local residents was that designs should be in keeping with the character of the area (with quite a few highlighting the use of local materials as key, and avoidance of overly modern-looking designs). Other key concerns were related to the higher densities of recent development (that it was ‘too crammed in’) and linked to this, a lack of green spaces.

5.3 So one of our first tasks was to get a better understanding of the area’s historic character. The heritage appraisal has helped to identify the key historic features and locally important historic buildings in the area’s villages and larger hamlets and complements the more detailed Conservation Area Appraisal that was undertaken for the village of North Cadbury. We also researched the ‘good examples’ of recent development (as identified by local residents) to identify the common design features that have worked well. The household survey also showed that local residents did not want to see large scale / estate developments, as this was not in character with the much more gradual, organic nature of how the area has developed.

5.4 However the design of new buildings does need to take into account their carbon footprint – as many of these buildings (hopefully) may well be around well into the next century, if they are built to last. The Government is already making progress on revised buildings standards so that all new buildings will be fit for the future, using renewable energy sources where practical, to eventually become carbon neutral over time as the electricity grid and heat networks decarbonise.

HERITAGE AND DESIGN OBJECTIVES

- Protect, preserve and enhance the Conservation Areas and historically important buildings and other heritage assets.
- Ensure that the character of the area and the setting of these assets is not compromised by the design, scale or presence of new development, or by the materials used.
- Make a positive contribution to reducing the rate of climate change by promoting and supporting sustainable energy initiatives (integrated with new buildings).



Heritage



IMPORTANT LOCAL HISTORIC FEATURES

5.5 There are about 60 Listed buildings or structures within the Neighbourhood Plan area, two of which are Grade I (Church of St Michael and North Cadbury Court, both on Woolston Road, North Cadbury), and a further four of which are Grade II* (21 Woolston Road in North Cadbury, The Manor House in Galhampton, the Church of St Mary and Yarlington House on Lodge Hill, both in Yarlington). Lower Woolston medieval settlement is designated as a scheduled monument, and there is



significant potential for archaeological finds in the area.¹ There are also two Conservation Areas, one covering much of North Cadbury village and the other covering Woolston. **The Community Plan identified the potential to consider whether a further Conservation Area should be designated at Yarlington.**

5.6 The area also has a significant archaeological resource reflecting its rich historic environment and historic evolution.

5.7 The heritage appraisal has helped to identify the key historic features of the various villages, including important local buildings that are not currently designated but should be considered as important local heritage assets. These are described in the relevant chapters later on in



¹ large parts of North Cadbury and Yarlington are recognised as an ‘area of high archaeological potential’ in the Local Plan maps and further information on archaeological finds is available from the Somerset Historic Environment
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this plan, and the Parish Council will liaise with the District Council to ask that these are formally added to their Local List.

REINFORCING CHARACTER THROUGH DESIGN

5.8 The heritage appraisal has also helped to identify the typical street layouts, buildings styles and materials used within the various villages and hamlets and underpins some of the settlement-specific design policies in the relevant chapters later on in this plan.

5.9 Our research on the ‘good examples’, where new buildings have worked well in terms of their contribution and integration with their surroundings, is summarised in Appendix 1. This identifies a number of common themes which we have used to devise the policy on general design. These include:

- range and mixture of property types and sizes, providing variety within the overall form (including the rooflines)
- generally modest size of buildings, appropriate to their location and context
- positive relationship with the main streets
- simple palette of materials leaning on those that are natural and traditional to the area – stone, timber, limited brick, clay and slate roofing (whilst reconstituted stone or brick was widely used in the latter part of the 20th century, this is no longer considered appropriate for new developments)
- careful consideration of parking areas
- careful consideration of impacts on neighbouring development
- use of landscaping to soften the developments, including hedgerows.

5.10 The general layout of new development should reflect the predominantly linear street layout and use of farmstead clusters, and variation in plot sizes, shape and orientation found throughout the area.

5.11 Off-road parking provision will need to be made for cars (given the rural nature of the area and car ownership levels), but should not

Record, together with historic landscape characterisation
<https://www.somersetheritage.org.uk/#>



6. ENVIRONMENT

OVERVIEW

6.1 The protection of the environment that we live in is a top priority for this Neighbourhood Plan, given the rural character of the area, and the area's general peace and tranquillity, were key reasons why people move to this area and stay here.

6.2 The main environmental concerns relate to flood risk (mostly associated with the River Cam and its tributaries and the ditches that direct surface water flooding off the higher land) and to the potential impact from phosphates entering into the river system (such as from the wastewater from people's homes and from farming practices using fertilisers and livestock), that eventually discharges into Somerset Levels and Moors internationally important wildlife site (so harming this freshwater habitat). Road noise (most notably from the A303 trunk road, but also from the A359) is also having an impact on the tranquillity of the area in some parts of the Plan area.

ENVIRONMENT OBJECTIVES

- Ensure that development is sensitive to the rural setting of the area and does not erode our existing environment and character.
- Protect the green spaces and recreational trails that are valued by local residents and create new ones where possible.
- Protect existing historic trees (some of which may lie outside the Conservation Areas and may need to be identified) and support the planting of further native trees as part of any development, given their wildlife and climate benefits and how trees can soften the visual impact of development given the rural character of the area.
- Protect people, property and roads from flooding (in particular highlighting any local knowledge of flooding which may not be clear from the flood risk maps).



Environment

→ Maintain the current good air quality and low levels of pollution – in particular recognising the dark night skies and general tranquillity of the area (away from the A303).

THE AREA'S RURAL CHARACTER

6.3 There are a number of landscape features within the Plan area that have been identified through a review of the published national and local character area assessments and local knowledge confirmed through the household survey. These are reflected in the general policy on rural character at the end of this chapter.

ACCESS TO THE COUNTRYSIDE, IMPORTANT VIEWS AND SPACES

6.4 The area has a wealth of footpaths and bridleways – there are over 100 public rights of way criss-crossing the two parishes, and three national trails (the Macmillan Way, Leland Trail and Monarch's Way). These are well-used by local residents as well as visitors to the area, providing access to the countryside and its associated health and well-being benefits. The 2017 community survey showed that most residents (over 80% of those responding to the survey) used the public footpaths in the area, and we have identified a number of recreational circuits which are particularly well used (as described in Table 1 and shown on Map 2) and also coincide with a number of particularly well-liked views. The Parish Council is also promoting other circular walks that are perhaps less well used at present but may become more so over time, including several around Galhampton where there are many footpaths close to the village.





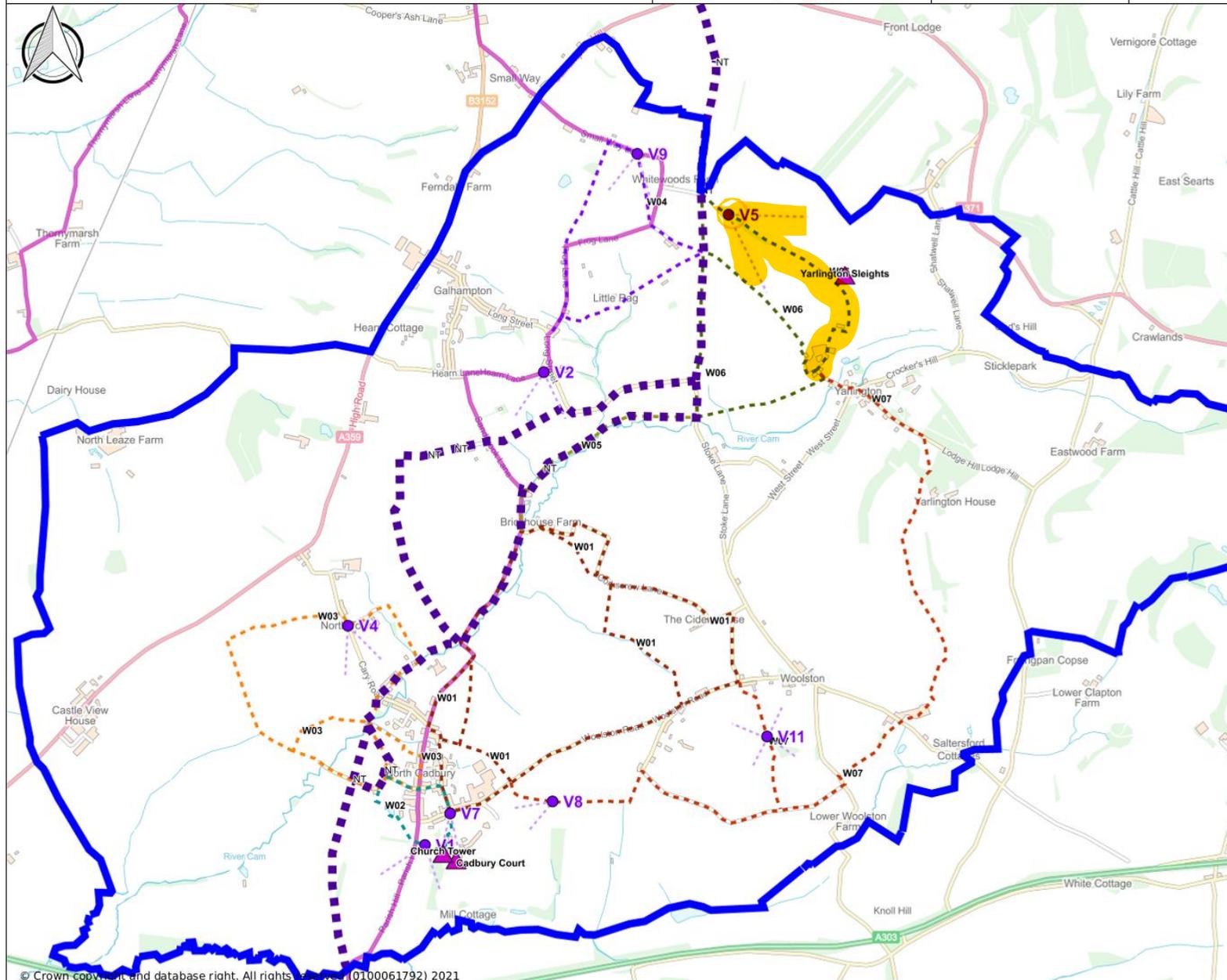
North Cadbury and Yarlington Neighbourhood Plan
Map 2 Important Routes, Key Views and Landmarks

North Cadbury

Author:

Date: 11/11/2021

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Neighbourhood Plan Area

Quiet lanes and key PRowS

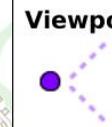
- W01
- W02
- W03
- W04
- W05
- W06
- W07

National Trail

Sustrans cycle route (Route 26)

Key Landmark

Viewpoints



Some key landmarks (e.g. Cadbury Castle and Glastonbury Tor) are outside of the Neighbourhood Plan area.

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Table 1. Important Local Walking Routes

National Trails

The **Monarch's Way** is the route from Worcester taken by King Charles II in 1651, during his escape after defeat by Cromwell in the final Civil Wars battle. The **Leland Trail** runs from Alfred's Tower on the Stourhead Estate at Pen Selwood to Ham Hill Country Park and is one of many walks made and described by John Leland as Keeper of the King's libraries, the royal librarian to Henry VIII in 1543. The **Macmillan Way**, used to raise funds for Macmillan Cancer Support, follows bridleways and footpaths from Boston in Lincolnshire to Abbotsbury in Dorset. All three follow similar but not identical routes, from south to north across the Plan area.

W01 Corkscrew Lane / Woolston Road circuit

A 4km circular walk along relatively quiet roads, well used by dog walkers etc. Alternative off-road shorter links with a few stiles lead across open farmland and through a small copse via WN19/43, 19/66, 19/84 & 85 and WN 19/96 19/107, but are not as suitable for all users.

W02 Glebe Field / Ridgeway Lane circuit, North Cadbury

This walk, which crosses Glebe Field to the west of the Parish Church, gives spectacular views, including to the North Dorset Downs and Cadbury Castle (to the south), and the Levels (to the west). It is easily accessed from the centre of the village, with an attractive short circular walk (1.2km) via Ridgeway Lane and the High Street.

W03 Ridgeway Lane / Lower North Town / Brookhampton circuit, North Cadbury

Ridgeway Lane leads from the centre of the village, steeply down to farmland on the flood plain of the River Cam, and is a great favourite for village walkers as part of a circular walk joining with WN19/108, and avoiding traffic on the Cary Road by using Lower North Town Lane / Mitchells Row. The walks off Ridgeway Lane are some of the most frequented in the Plan area, particularly the three which cross 'Clare Field', WN19/74, 75 & 69, which has a very rural, open character with views of hills to the south, and interest created by crossing bridges and gates through hedgerows.

W04: Frog Lane Circuit, Galhampton

A particularly popular walk of about 2½ km in length, known as the Frog Lane circuit, climbs up to Small Way Lane where there is a good view over farmland (where a bench has been placed at the top). It is also possible to lengthen the walk joining up with the national trails which run along the historic sunken lane (Hicks Lane).

W05: West of Yarlington

This route links W01 and W06, and follows the River Cam from an ancient stone bridge in North Cadbury to its source in Yarlington at a medieval, ecclesiastical, site of meat (fish) ponds, now largely swampy ground. It runs partly along the national trails, where the stream cuts quite a deep channel in places and is very attractive as it flows between wooded banks.

W06: Yarlington Sleights

This restricted byway provides a very attractive walk, especially in Spring when the snowdrops followed by bluebells are in bloom. It is a very old track, hedged and opening onto farmland at the eastern end. The Sleights are the hills which form the backdrop to the walk. This is extended into a circular loop by returning along the national trails and then heading east from just north of Yarlington Mill Farm across to fields following the River Cam back to Yarlington.

W07: South of Yarlington

This route can be started at the car park shared by the pub and church. It proceeds up the steep Crockers Hill. Just beyond Parsonage Farm takes the footpath south east, then down Lodge Hill, to turn left over a stile via footpath WN31/7 into a sheltered meadow basin surrounded by mature woodland. The path climbs up to higher ground keeping Yarlington House to the east, where there are views across open farmland either side east and west. It then descends and continues to Lower Woolston following a bridleway, returning back to meet the Woolston Road and heading west into the village of North Cadbury or joining up with the Corkscrew Lane / Woolston Road circuit (W01).



Map 3. The varied topography across the Neighbourhood Plan Area

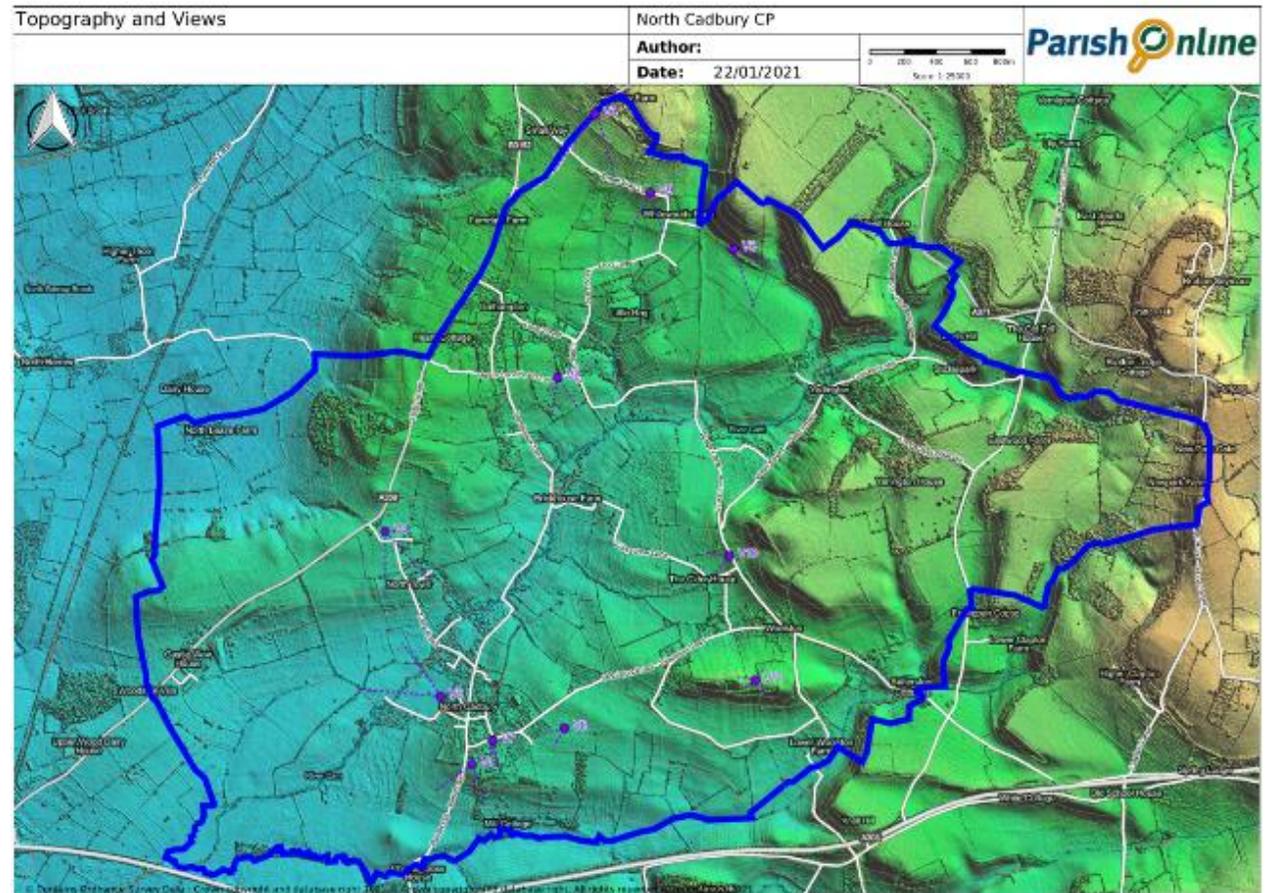
6.5 The Ramblers are looking to identify “missing” footpaths which were historically present but no longer shown on the definitive rights of way map and have identified a number of potential paths in our area that could be added before the ‘cut-off’ date in 2026³. They will look to prioritise those which could bring the most benefit to the network, and there will be further consultation on these routes, including discussions with the relevant landowners.

6.6 The main opportunities for cycling are on the rural lanes - whilst cyclists have the right to use bridleways (subject to giving way to other users), these are generally fewer and less well suited to most cyclists. There is a Sustrans on-road route (Route 26) from Castle Cary that runs through the parish linking to the national cycle network at South Cadbury.

6.7 It is clear from our consultations that access to the countryside is very important, and something that residents feel strongly should be preserved. Maintenance and better signage of the existing routes was therefore seen as a priority by many, with a preference for gates (over stiles) to help ensure that those less able to climb over stiles can still enjoy access to the countryside walks.

6.8 The landscape and topography mean that, a number of footpaths enjoy fantastic views, both panoramic landscapes across open farmland, and focusing on specific features and landmarks such as the church towers and manors, and features such as Yarlington Sleights and Cadbury Castle hillfort.

6.9 Conversely, some routes, such as Hick’s Lane running north from Stoke Lane, in the area between Galhampton and Yarlington, and



Ridgeway Lane which heads west from North Cadbury, run along characteristic sunken lanes or holloways.

6.10 It is important that the impact on the enjoyment of the countryside, from the public rights of way and the views that can be seen from the trails and rural lanes, is considered in planning decisions. Large-scale and otherwise obtrusive developments can detract from the character of the countryside. For example, North Cadbury Business Park on the High Road is in a comparatively elevated position, which means that particular care is needed with the design, materials and landscaping used so as to

³ <https://dontloseyourway.ramblers.org.uk/>



ensure that the estate is not unduly prominent. Similarly, poorly sited buildings and even landscaping can block existing views that are enjoyed.

6.11 National planning policy makes clear that planning should “protect and enhance public rights of way and access, including taking opportunities to provide better facilities for users, for example by adding links to existing rights of way networks including National Trails.” Our policies look to build on this general protection.

6.12 National planning policy also allows for green spaces that are well



related to existing settlements and hold a particular local value and significance (for example due to their landscape, recreation or historic / cultural interest) to be designated as “Local Green Spaces”. This designation provides strong protection against development, that should last well beyond the Neighbourhood Plan period. It can be applied to land that is local in character and well-related to a settlement (so is not appropriate for extensive areas of countryside) and should avoid protecting land that may need to be developed in the longer term. As these spaces may be in private ownership, it is important to understand that

designation does not convey any new public access rights or management responsibilities – but is a planning tool to prevent unwanted development from happening. As these spaces are local in character and relate to different settlements, they are included in the relevant chapters later on in this plan.

WILDLIFE AREAS AND IMPORTANT HABITATS

6.13 There are a number of local wildlife sites within the area recorded by the Somerset Environmental Records Centre. The sites are listed in Appendix 2 and include area of parkland (associated with Cadbury Court

and Yarlington House), areas of ancient and semi-natural broadleaved woodland, and areas of unimproved and semi-improved calcareous grassland. However biodiversity is not limited to these designated sites. For example, there are also areas of bluebell woodland within the parish and many traditional orchards, which whilst not specifically designated are a priority habitat for protection within the UK.

6.14 Protected species within and on the parish boundaries are much more widespread. Those that have been recorded in the last 10 years by Somerset Environmental Records Centre include badgers, otters, various species of bat (Lesser Horseshoe, Noctule, Pipistrelle (Common and Soprano), Serotine), barn owls, buzzards, kestrel, red kite, and other breeding birds. These records have been supplemented by sightings noted by local residents submitted to the Neighbourhood Plan Group, who have also identified kingfishers, tawny owls and great crested newts.

6.15 It is therefore critical to consider how wildlife may be affected by development. Some wildlife species are dependent on the local watercourses and streamside vegetation. Native hedgerows also provide important wildlife corridors and habitats, including for bats and bird species, together with mature trees and woodlands. Unimproved grasslands are important for invertebrate including many species of butterfly and moth, as well as reptiles. Great crested newts are particularly associated with ponds (of which there are many in the area) but spend a significant amount of their time out of water (the terrestrial phase of their annual lifecycle) and can disperse to colonise sites up to 1km distance from their breeding pond. It is important that we not only protect species but ensure that they have sufficient habitats, which are suitably linked, to allow them to prosper.

6.16 The Local Planning Authority require applicants to submit a biodiversity checklist (and potentially a full ecological survey) if works are proposed which may affect protected species or habitats. In particular this looks to assess whether the development may have an impact on the following, which would require further surveys / assessment:

- unimproved grassland (i.e. old flower-rich meadows);
- orchards;
- areas of woodland, scrub or field boundary hedgerows ;
- old / veteran / mature trees (with cavities / cracks or a girth greater than 1m at chest height) – including those within 50m of the site;



North Cadbury and Yarlington Neighbourhood Plan

- ponds, lakes, rivers, streams or water filled ditches including on the land within 500m and linked by habitat (or 250m for minor development);
- rough grassland, mature/overgrown gardens and/or allotments;
- building structures where birds or bats may be present.

SOMERSET LEVELS AND MOORS RAMSAR SITE

6.17 In August 2020 Natural England wrote to all Local Planning Authorities whose area lay within the drainage basin of the Somerset Levels and Moors Ramsar Site to alert them to the site's declining condition which is believed to be caused by excessive phosphates and associated eutrophication (where the nutrients cause excessive growth of plant life such as algae and duckweed). This has significant implications for developments that could further add to this decline, given the legal requirements to protect such internationally important wildlife sites.

6.18 South Somerset District Council is working with Natural England and the other Local Planning Authorities to ensure that development can proceed if the proposed development can be shown to be phosphate neutral, including any identified mitigation that would need to be secured. They have developed an on-line tool to calculate the net phosphate loading from developments, and which takes into account the current land use, the amount of greenspace / gardens / allotments included in the development (as this can help reduce nutrient run-off), and potential measures to off-set the net increase in phosphorus levels. This should be used for all new residential and tourist accommodation, with the results submitted as part of the planning application.

6.19 Phosphorus mitigation must be achieved in perpetuity and can be done individually or strategically through measures such as:

- Improvements to phosphorus removal efficiency in the wastewater treatment works (in agreement with Wessex Water);
- Solutions that deliver new wetlands, to treat effluent from the development, or to remove an equivalent amount of phosphorous from agricultural runoff that would otherwise enter the catchment;
- Permanently changing parcels of agricultural land towards natural habitat types (e.g. woodland, saltmarsh, grassland).

6.20 This Neighbourhood Plan does not attempt to specify the details of mitigation to be delivered, as this is more appropriately decided through the planning application process. Nonetheless, calculations have been undertaken to support the Neighbourhood Plan (as part of the Habitats Regulations Assessment) which has identified that a wetland of 2.53ha to treat runoff from surrounding farmland would be sufficient to offset the phosphorus that would be contributed to the catchment from the site allocations in the plan. Examination of site topography, and surface water flow directions and dominant flow pathways confirms that suitable land is available for such a wetland within the wider land holding of the landowners of the main site allocations.

FLOOD RISK

6.21 Whilst much of the area is not at risk from flooding, we do know that climate change is likely to increase the number of extreme weather events and associated flooding. Some incidents of flooding have primarily been as a result of poorly maintained pipes and drainage systems, such as reported in the Parish Council Highways Report November 2020, where highway flooding was caused through blocked drains and culverts.

Government policy is now quite clear that new development should avoid areas at risk of flooding, whatever the source of flood risk. Development should not be allocated or permitted if there are reasonably available sites appropriate for the proposed development in areas with a lower risk of flooding. The Government's long term flood risk maps that show both river and surface water flooding (as opposed to the flood zone map for planning which focuses only on flooding from rivers) are available on <https://flood-warning-information.service.gov.uk/long-term-flood-risk/map>.

6.22 Given the greater propensity for surface water flooding in the area, it is this map that should be referred to by applicants and decisions makers in determining whether a flood risk assessment is required, and advice sought from the Parish Council regarding more recent incidences of localised flooding and drainage problems (as these may not yet be shown on the maps). Known incidences in recent years include:

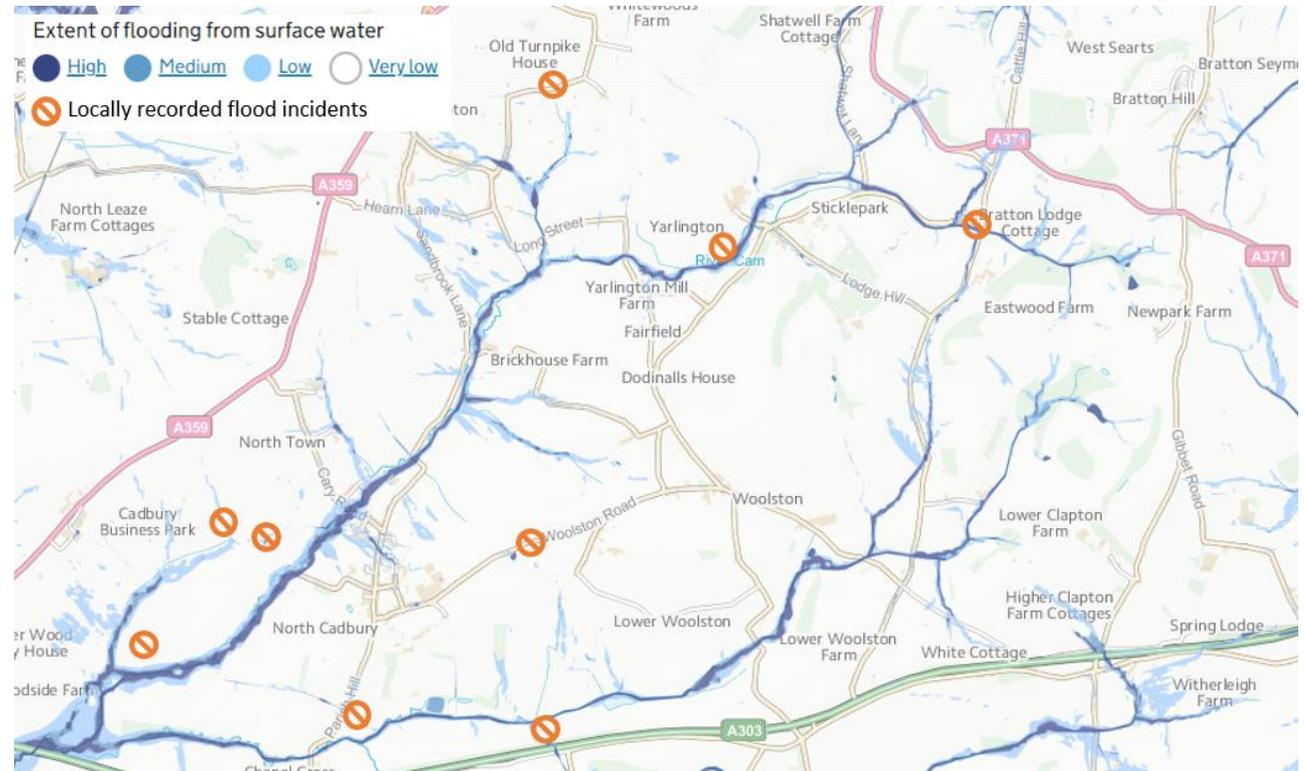
- flooding to the north side of the allotments in North Cadbury, along Ridgeway Lane and either side of the farm track that connects to Cary Road (public footpath WN 19/106);



Map 4. Surface water flood risk information and local incidents

- flooding along Woolston Road, in the area just eastward of where public footpath WN 19/60 meets the road;
- flooding along Frog Lane north of Galhampton, between Marylands Farm and Land Orchard Cottage;
- run-off down Lodge Hill (mainly to the south side) and off the Sleights in Yarlington, and on farmland to the west side of the village;
- flooding by Rose Cottage at the junction of Ferngrove Lane with Woolston Road, and also on the stretch of Woolston Road between Woolston and North Cadbury.

6.23 Wessex Water is responsible for the drain / sewer system in the area, and is keen to ensure that surface water flows are not connected to the foul water network as this can increase the risk of sewer flooding and pollution. New development proposals should use sustainable drainage systems (SuDS) to manage flood risk, improve water quality and provide biodiversity and amenity benefits.



GENERAL ENVIRONMENT POLICIES

POLICY 5. THE AREA'S RURAL CHARACTER

Development should respect and, where practicable, enhance local landscape character, including the retention and reinforcement of the following key characteristics:

- General tranquillity (away from the A303 corridor)
- Winding lanes, with traditional fingerpost signs and no street lighting, old drove roads and sunken lanes (Holloways)
- Particularly dark night skies
- Hedgerows demarcating field boundaries.
- Mature oaks and other ancient trees (particularly along roadsides and stream corridors)

- Presence of the River Cam with its associated riverside vegetation and small stone bridges / crossing points
- Small historic apple orchards in and around settlements
- Scattered farmsteads and hamlets in the wider countryside, with buildings reflecting agricultural use, and primarily of local building stone, with clay tiles or thatch roofs – new buildings should not diminish the undeveloped gaps between the main villages or appear prominent in the landscape.

POLICY 6. RECREATIONAL ROUTES AND VIEWS

Development should retain the rural character of the lanes and tracks around the villages and hamlets and into the countryside,



protecting and enhancing public rights of way and access, with particular regard given to the three main recreational trails (the Macmillan Way, Leland Trail and Monarch's Way), the Sustrans on-road route from Castle Cary linking to the national cycle network, and the popular routes listed in Table 1 and shown on the Policies Map. Development that would significantly detract from the active use and enjoyment of these routes by walkers, cyclists and horse-riders will not be supported.

The scale, design and layout of development (including any landscaping) should minimise adverse impacts on publicly accessible views over open countryside and towards key landmarks (such as the local church towers, Cadbury Court, Cadbury Castle, Yarlington Sleights as well as distant views of Glastonbury Tor) and should preserve and enhance such views where possible. Particularly iconic views noted as part of the evidence gathering for this Neighbourhood Plan are listed in Tables 4 (North Cadbury), 7 (Galhampton), 10 (Yarlington) and 13 (Woolston) and shown on the Policies Map.

Projects that will improve recreational access to the countryside for walking and/or horse-riding will be supported.

POLICY 7. PROTECTING LOCAL WILDLIFE

Development should protect and, wherever practicable, enhance biodiversity, starting with a thorough understanding of the existing wildlife areas and corridors (such as existing field hedgerow boundaries and streams) that are in the vicinity of the site, and the wildlife that may be affected by the development (this can be demonstrated through the submission of a completed biodiversity checklist and any necessary supporting ecology surveys). In line with national policy, a net gain in biodiversity will be sought. In general, it is expected that:

- Existing site features that support wildlife are retained (or if there are over-riding reasons for their removal, then compensatory measures should be incorporated within or adjoining the site);
- New buildings and alterations to existing buildings should

incorporate provision for wildlife such as bird / bat boxes and bee bricks;

- Landscaping schemes should be designed to support wildlife movement / foraging through the provision of native hedgerow and tree planting, the creation of wildlife ponds where the topography and soil / geology allows, and the use of wildflower planting in areas of open space.

Ongoing management and the use of external lighting schemes may need to be controlled through suitably worded conditions to ensure that biodiversity measures remain effective.

POLICY 7B. PHOSPHOROUS NEUTRALITY

In order to protect the integrity of the Somerset Levels and Moors Ramsar site, all new dwellings and tourist accommodation that would result in a net increase in the total wastewater burden must demonstrate phosphorus neutrality. This may require appropriate mitigation measures (e.g. wetlands, reedbeds) to be implemented in agreement with the Local Planning Authority and Natural England. The level of mitigation will be commensurate with the scale of development and might be achieved strategically, particularly in the case of smaller developments.

POLICY 8. FLOOD RISK

New development or intensification of existing vulnerable uses should avoid flood risk from all sources and must incorporate a viable and deliverable drainage system to manage surface water runoff. Measures should be based on sustainable drainage systems (SuDS) and make an allowance for the likely effects of climate change on increased flood risk. Existing drainage infrastructure must not be adversely affected by development.

PROJECT 2. PUBLIC RIGHTS OF WAY NETWORK

The Parish Council will work with local residents and landowners to ensure the maintenance and, where possible, improvement of public footpaths and bridleways within the two Parishes, including the identification and registration of historic routes.

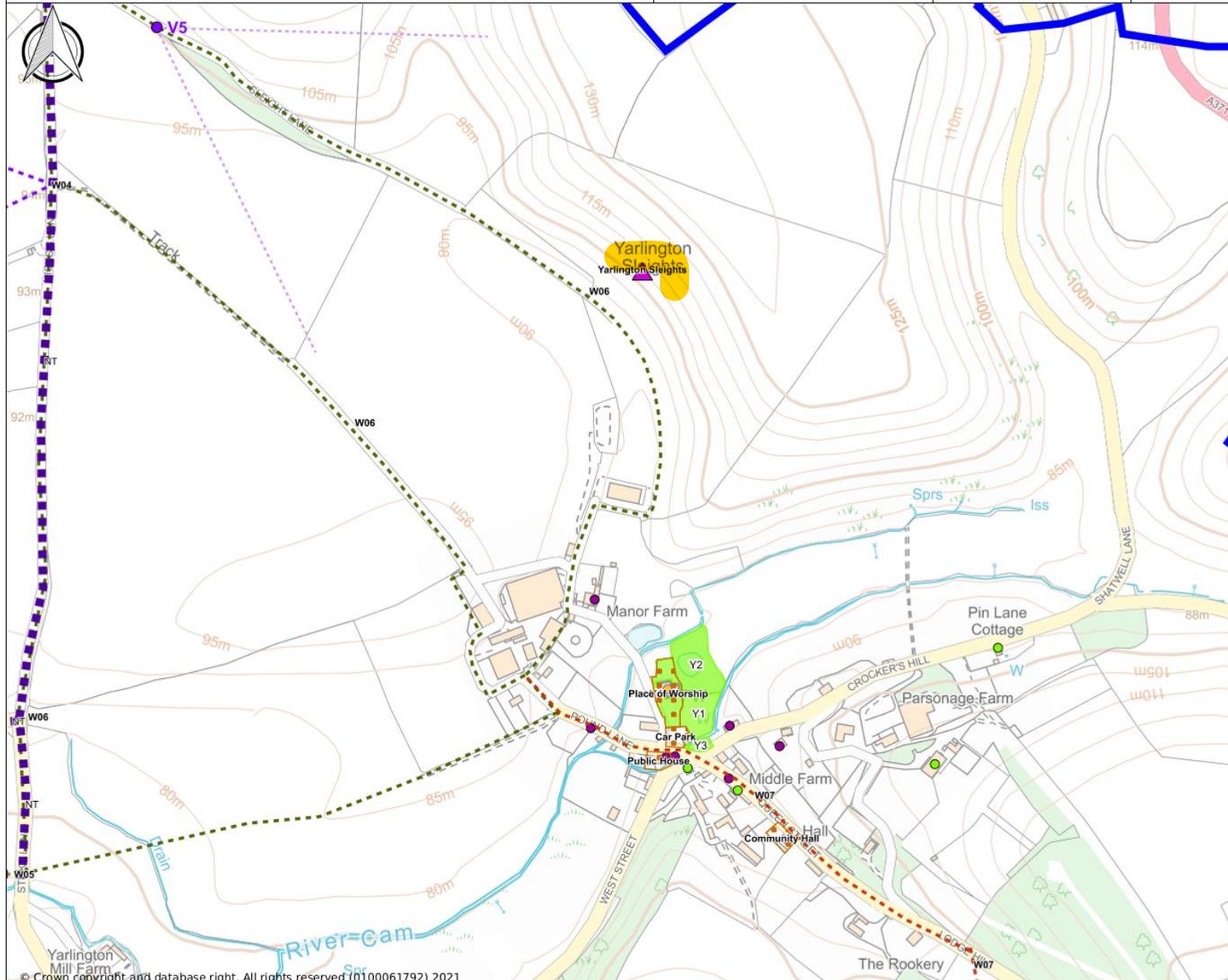


13. YARLINGTON

Map 9 - Yarlington area

North Cadbury

Author:
Date: 11/11/2021



Local Historic Buildings

- Local
- Grade II Listed
- Grade II * Listed

Quiet lanes and key PRoWs

- W04
- W05
- W06
- W07
- NT

Community Facilities



Local Green Spaces



Key Landmark



Viewpoints



Neighbourhood Plan Area





INTRODUCTION

13.1 Yarlington village lies around the junction of four lanes and the upper stretches of the River Cam. It is a much smaller settlement than North Cadbury or Galhampton, with an estimated population of about 120 residents living within the village and in the wider parish. The village has a pub, church and village hall. It is about 1 mile from the main road (A371) and as such has no regular bus service.

13.2 The adopted Local Plan considers Yarlington to be a rural settlement which, like North Cadbury, could accommodate further housing to meeting local needs. This may change under the new Local Plan, which is looking to place further limits on housing growth in the smallest rural settlements that have comparatively few facilities, potentially restricting this to affordable housing only.

13.3 Key attributes valued by its local residents are the character of the village and countryside, the peace and tranquillity of the area, and the sense of community. Most local residents generally considered there was little need for further development. Whilst the winding rural lanes were a key attribute that most residents valued, their main concern was with reference to a lack of road maintenance (particularly the potholes).

THE HISTORIC CHARACTER OF THE VILLAGE

13.4 Yarlington has a long history dating back to at least the mid 10th century, with records attributing it to Simon de Montague in 1313. Then Henry VIII granted it first to Catherine Howard and then Catherine Parr his last wife. There are a series of medieval lynchets on the west side of God's Hill and around Yarlington Sleights.

13.5 The church dates back to the 11th century, and around the church and Manor Farm are traces of a moat, possibly remnants of defences from Simon de Montague's time here. There are records of a Fair Ground west of the village, and a three-day fair held every August, which was first granted in Simon de Montague's time and continued until the turn of the 20th century. Yarlington's population was much higher than today in the early 10th century (with the parish population recorded at its peak of 301 in 1821), when it had three schools. As the population declined, the last school closed in 1938, the shop closed in 1942 and the post office in 1955.



13.6 Whilst the Manor House was believed to have originally been built behind the church, the current Yarlington House, built in about 1785, lies apart and to the south of the village. It is believed to have incorporated materials from the demolished Manor House.

13.7 The village is very much characterised by its farming lines, both for arable and pasture. Whilst there are no remnants of orchards around the village today, Mr Bartlett, the local miller, born in 1898, is believed to be the person who discovered the famous Yarlington Mill cider apple, as a 'gribble' growing out of the wall by the water wheel of his mill. This variety of fruit was subsequently distributed and planted in many other cider making orchards.

Layout

13.8 St Mary's Church stands in the centre of the village, where it stood with the manor in medieval times. The two ponds behind the Church and



in front of Manor Farm are remnants of a succession of fish ponds and possibly remnants of the earlier moat associated with the manor house.

13.9 The village branches out from the junction of four lanes to the front of the church: Crocker's Hill coming down into the village from the main road to the north-east; Pound Lane leading to the Manor Farm complex, West Street connecting through farmland to Woolston, North Cadbury and Galhampton, and South Street, now Lodge Hill, which runs off south-west, climbing up through woodland to the entrance to Yarlington House, then onto the Sherborne Road.

13.10 Most of the current houses date from the 18th or 19th centuries and appear on the Tithe Map. Houses are concentrated around the cross-roads with 20th century houses more noticeable on the approach from the west. All of the lanes are very rural in character with no pavements or street lighting, and property boundaries generally marked with low Forest Marble boundary walls.

Building Styles and Materials

13.11 The buildings are typically two storey cottages and farm buildings, either directly fronting onto the street (mainly but not exclusively eaves on, such as Middle Farm and Hill Cottage) or, in the case of some of the more prestigious buildings, set back in their own parkland or garden. The topography has had a clear influence on the plot patterns and layouts.

13.12 There is a good variety of materials, and although houses are generally of local stone with slate and plain clay tile roofs and brick chimney stacks. Only two dwellings, Pin Lane Cottage and part of Roselea on Lodge Hill, remain thatched, and Yarlington House is the only brick building. There are several examples of rendered buildings and timber cladding, and outbuildings using simple corrugated metal roofs.

13.13 There is one contemporary single storey building on Pound Lane by an international architect constructed from local stone with a parapet concealing a green roof.

POLICY 25. YARLINGTON - BUILT CHARACTER

As a general principle, buildings within the vicinity of Yarlington should:

- a) respect the focus of development around the four-way junction, with a linear pattern of development coming out of

the village in all directions.

- b) have variation in plot size and orientation, respecting the topography and space for planting to retain the verdant feel of the settlement.
- c) use Cary stone as the predominant building material, plain clay tiles, or slate as the predominant roofing material, and brick chimneys.

Other materials and designs may be considered provided that they complement the tone, scale and form of the traditional buildings, and do not detract from the overall character of the village.

Notable Historic Buildings

13.14 Key Listed Buildings include the **Church of St Mary**, which is Grade II* Listed, and has a Perpendicular south tower, facing the Stags Head Inn. The church is an important local landmark clearly visible from the main four-way junction that marks the centre of the village. The former rectory, now **Yarlington Lodge**, stands on Crocker's Hill to the south-east. Whilst less visible this is an imposing building of Cary stone ashlar under a slate roof.



13.15 **Pin Lane Cottage** on Crocker's Hill is Grade II Listed and dates back to 1800 and is built of Cary rubble stone, and as mentioned above is the only remaining thatched cottage. **Corner Cottage** on Queen Street



Important Recreational walking routes and key views

13.21 The most popular walk for Yarlington residents is to walk up onto Yarlington Sleights, with their clear historic feel (from the strip lynchets) and views across the village. However the connecting route east linking to the national trails and a number of possible circular walks (including coming back via the Sleights), and that to the south passing to the west side of Yarlington House and on to Woolston are also very popular with local residents. These are described in more detail in Chapter 6.

13.22 Whilst there are many fantastic views from the footpaths and lanes across the area, the views from along the Sleights are perhaps the most cherished and admired.

Table 10. Yarlington: Key Views

Location	Direction	Description / Importance
V5 Views from Yarlington Sleights	South-Easterly	Good views along the sleights. There are also views of the Sleights (a local landmark) from the surrounding area



Local green spaces

13.23 There were several important green spaces suggested by local residents, linked to the centre of the village, the church and the area used for Yarlington Fringe Festival.

Table 11. Yarlington: Local Green Spaces

Ref	Location	Main Reason for Designation
Y1	Area SE of the church	Area used for the Yarlington Fringe / community events
Y2	Area by the pond	Tranquil sitting area . The pond is home to local wildlife and has some historic value being linked to the old Manor House (when it was situated near the church).
Y3	Swing Tree corner	A small but important green space at the focal point of the village, with tree swing for informal play.
Y4	St Mary’s Church grounds	Church graveyard and main setting of the Listed church and various tombs

POLICY 26. YARLINGTON – LOCAL GREEN SPACES

Development should be sensitive to the rural setting of the village.

The following local green spaces should be protected from inappropriate development that would harm their character and reason for designation:

- Y1 Area round the church
- Y2 Area by the pond
- Y3 Swing Tree corner
- Y4 St Mary’s Church grounds

Flood Risk

13.24 In terms of local flood risk, the main areas at risk of flooding are either side of the River Cam, that flows behind (to the north side) of the church. There is a degree of run-off down Lodge Hill (mainly to the south side) and off the Sleights, but the main area known to flood is on farmland to the west side of the village.



13.25 Poor drainage maintenance has also resulted in flooding in two places on the road between A303 and A371 leading to Yarlington.



Community Services & Facilities

COMMUNITY SERVICES AND FACILITIES

13.26 Despite its relatively small population, Yarlington has retained a number of local facilities, with a relatively modern village hall, pub and church. It is also noteworthy for its bi-annual Yarlington Fringe Festival of Alternative Arts, using the areas around the church and by the ponds.

13.27 There were no pressing needs for new community facilities identified through the Neighbourhood Plan process.

Table 12. Yarlington: Community Facilities

Location	Main Use / Function
Yarlington Village Hall	Community hall with kitchen for meetings, private parties etc used for various activities such as yoga; Pilates; Tai Chi; art and table tennis
St Mary's Church	Local church, providing for worship
The Stags Head Inn	Local public house
Telephone box	Home to the community's defibrillator

POLICY 27. YARLINGTON – COMMUNITY FACILITIES

The following community facilities should be retained:

- Village Hall
- Church
- Telephone box (housing the community's defibrillator)
- Public House

Proposals that provide new facilities, allow existing facilities to modernise and adapt for future needs, or to diversify in a manner that would support a new or improved community facility to become viable, will be supported.

FURTHER DEVELOPMENT

13.28 There were no sites in or around Yarlington proposed by local landowners for possible inclusion in this plan (the land around Yarlington Lodge that had been suggested by Emily Estates having been withdrawn before the options consultation was run). Therefore no sites are proposed for allocation.

13.29 The Emily Estate is a major landowner in the area, having acquired Hadspen House in 2013, turning it into a boutique hotel (now known as The Newt) then extending further to include Shatwell Farm and converting it into another smaller hotel (now known as The Farmyard). More recently, land was acquired to the east side of the village (either side of Crockers Hill / Shatwell Lane) to include Yarlington Lodge. Whilst the Estate withdrew its proposals for an events venue at Yarlington Lodge from the Neighbourhood Plan, and in August 2021 consulted on alternative plans to refurbish three of the existing buildings on the property (Yarlington Lodge, the Coach House and the Gardener's Cottage) in order to create three holiday homes for individual rental. The Parish Council welcomes early discussion on any proposals going forward, to ensure that they reflect the wishes of local residents as far as possible.

13.30 In summary, the main opportunities for development in Yarlington will be through the conversion and possible extension of existing buildings. The need for further development can be re-assessed when this plan is reviewed but given the Local Plan policies the scale of any future development will be limited.

PROJECT 9. EMILY ESTATE PLANS

The Parish Council will work with the Emily Estate to ensure that the local community are fully engaged and informed about any future plans for Yarlington Lodge and associated land.



Housing



Business & Employment