

SARGIS & MAIERS RESIDENCE

7850 RIVERFRONT DRV, IDAHO FALLS, ID
 LOT SIZE: 1.02 ACRES
 CODE COMPLIANCE: 2012 IRC
 NEW CONSTRUCTION
 SINGLE FAMILY DWELLING
 MAIN FLOOR = 2735 SF
 FINISHED BASEMENT = 1761 SF
 ATTACHED GARAGE = 1100 SF
 COVERED PATIO AREA = 703 SF
 DETACHED SHOP = 2268 SF

ENERGY CODE COMPLIANCE:

Prescriptive Energy Code
 R-38 Attic
 R-20 Exterior Walls (Including between garage)
 R-30 Floors
 .35 U Value Lo-E Windows

SHEET SCHEDULE:

- A1 - COVER SHEET, SITE PLAN
- A2 - BASEMENT PLAN
- A3 - FLOOR FRAMING PLAN
- A4 - FLOOR PLAN
- A5 - ROOF PLAN
- A6 - FRONT & REAR ELEVATIONS
- A7 - RIGHT & LEFT ELEVATIONS
- S1 - DETACHED SHOP PLAN
- S2 - DETACHED SHOP ELEVATIONS

SITE PLAN

SCALE: 1/16" = 1'-0"

GENERAL NOTES

FLOOR HEIGHT 15" ABOVE CURB HEIGHT

ALL WORK PERFORMED SHALL MEET CURRENT ADOPTED CODES. (IN CASE OF CONFLICTING NOTES, THE MORE STRINGENT REQUIREMENT SHALL SUPPLY).

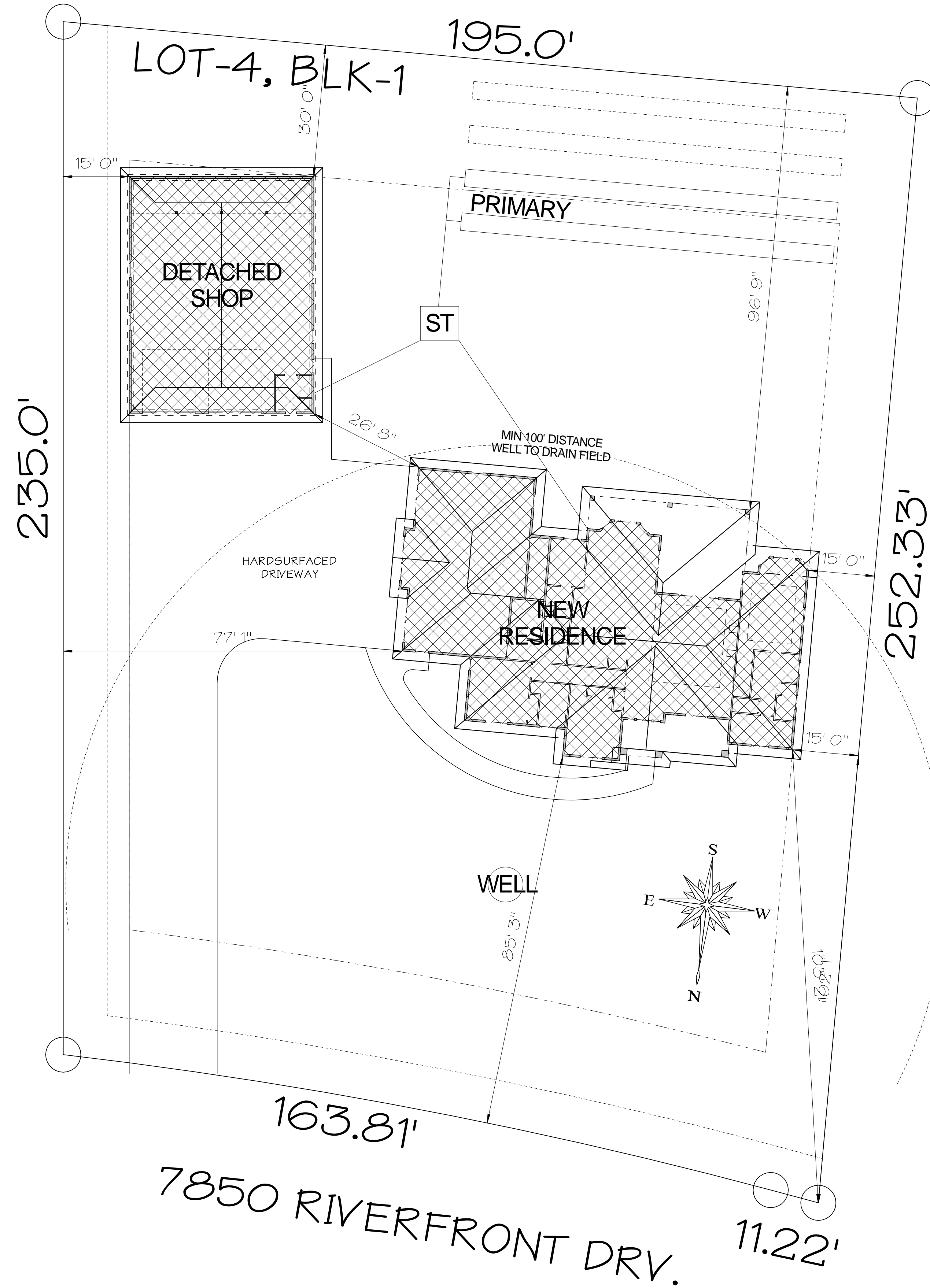
VERIFY ALL UTILITIES BEFORE DIGGING.

PROPERTY LINES ARE CONTRACT LIMITS.

SITE AND STRUCTURE SHALL BE KEPT CLEAN. SUBCONTRACTOR TO VERIFY ALL DIMENSION. IN CASE OF ERRORS OR DISCREPANCIES CONTACT OWNER OR OWNER'S REPRESENTATIVE, BEFORE PROCEEDING. DO NOT SCALE.

DO NOT DRAIN STORM WATER ONTO ADJACENT LOTS.

STRING LINES SHALL BE PROVIDED OVER PROPERTY PINS AT TIME OF INSPECTIONS.



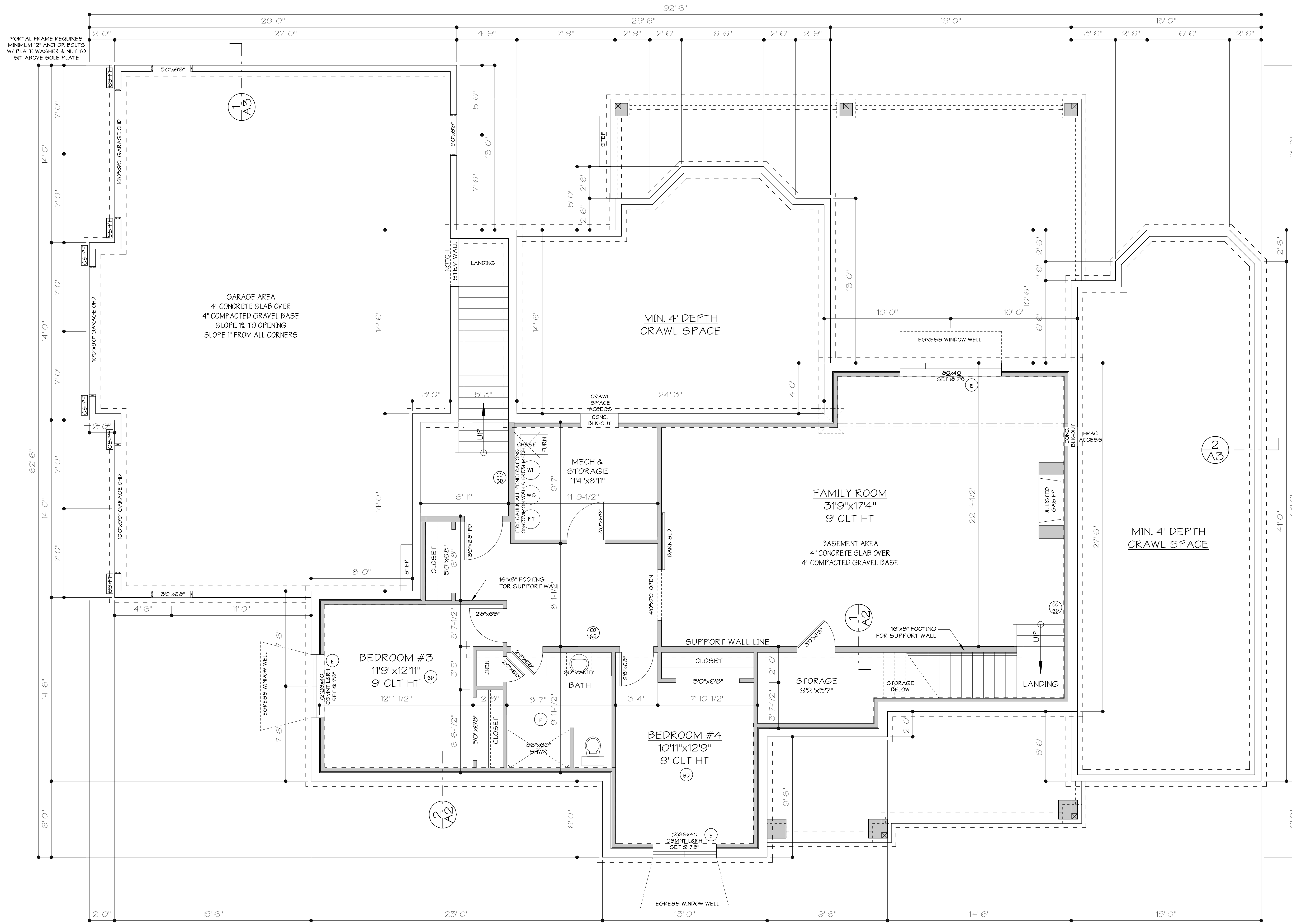
Plans and Rendering by Owens Design.
 DISCLAIMER NOTE: While every attempt has been made in preparation of these plans to ensure compliance with all applicable codes and regulations, the designer shall not be responsible for the construction of the project. The contractor shall be responsible for the construction of the project. The designer shall not be responsible for the construction of the project. The contractor shall be responsible for the construction of the project.



SCALE: 1/16" = 1'-0"
 DRAWN BY: Lane Owens
 DATE DRAWN: 09-FEB-19
 LAST REVISED: 00-00-00

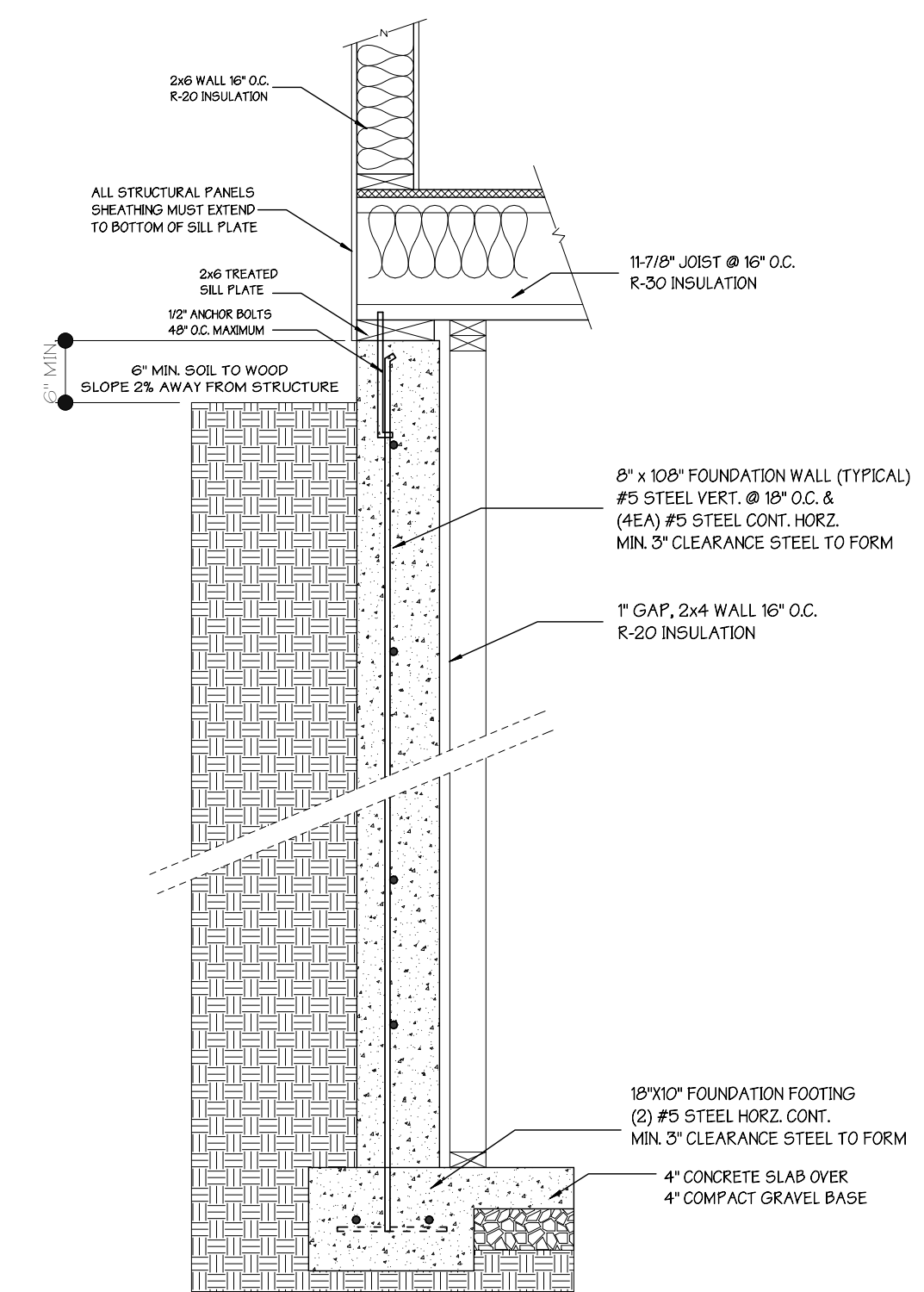
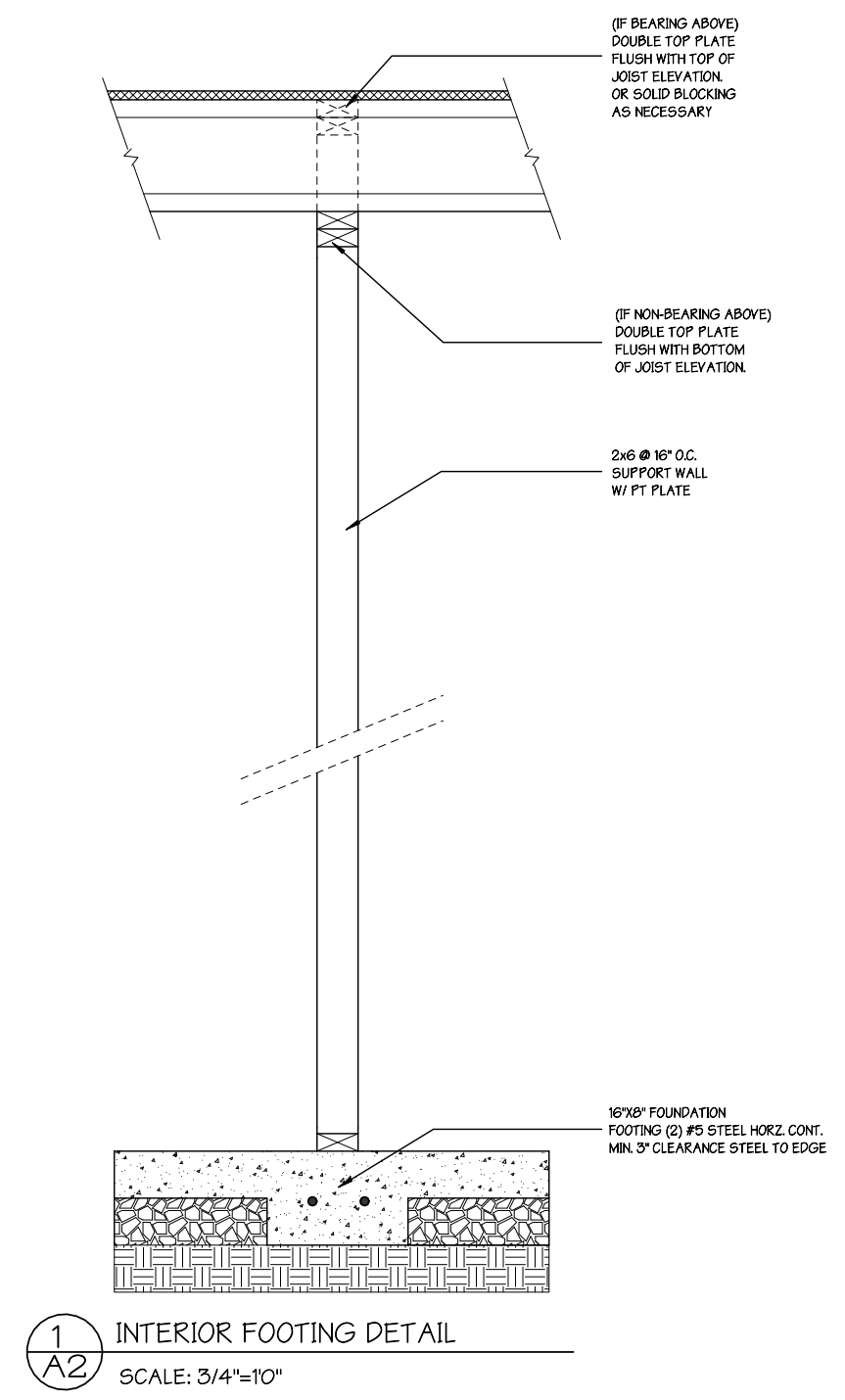
PROJECT NAME: SARGIS & MAIERS RESIDENCE.
 7850 RIVER FRONT DRV. LOT-4, BLK-1
 IDAHO FALLS, IDAHO

SHEET: **A1**
 1 OF 7
 PLAN NAME: SITE PLAN



FOUNDATION NOTES:

1. BOTTOM OF FOOTING AND FOUNDATION SHALL BE BELOW LOCAL FROST LINE.
2. CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES BEFORE FORMING BLOCK OUTS AS NECESSARY.
3. PROVIDE EXPANSION JOINTS IN ALL FLATWORK AS NECESSARY.
4. ALL FOUNDATION WALLS SHALL BE MIN. 3,000#/SQ IN. COMPRESSIVE STRENGTH @ 28 DAYS. ALL PORCHES, PARKING SLABS, STEPS AND GARAGE FLOOR SLABS SHALL BE MIN. 3,500#/SQ IN. COMPRESSIVE STRENGTH @ 28 DAYS.
5. DESIGNER ASSUMES NO RESPONSIBILITY FOR STRUCTURAL INTEGRITY. VERIFY ALL STRUCTURAL SPECIFICATIONS W/ MFG., TRUSS VENDOR OR ENGINEER.
6. SEE BRACING WALL PANEL FOR HOLD DOWN LOCATIONS AND DESCRIPTIONS.
7. ANY FASTENER THAT PENETRATE CONCRETE PT/LUMBER TO BE HOT DIPPED GALV. OR EQUAL



FOUNDATION & BASEMENT PLAN
SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
BASEMENT = 1761 SF
- KEY CODES:**
- (SD) SMOKE DETECTOR
 - (F) FAN UNIT
 - (E) EGRESS
 - (T) TEMPERED
 - (CO) CARBON MONOXIDE DETECTOR

2 A2 EXTERIOR BASEMENT FOUNDATION DETAIL
SCALE: 3/4"=1'-0"

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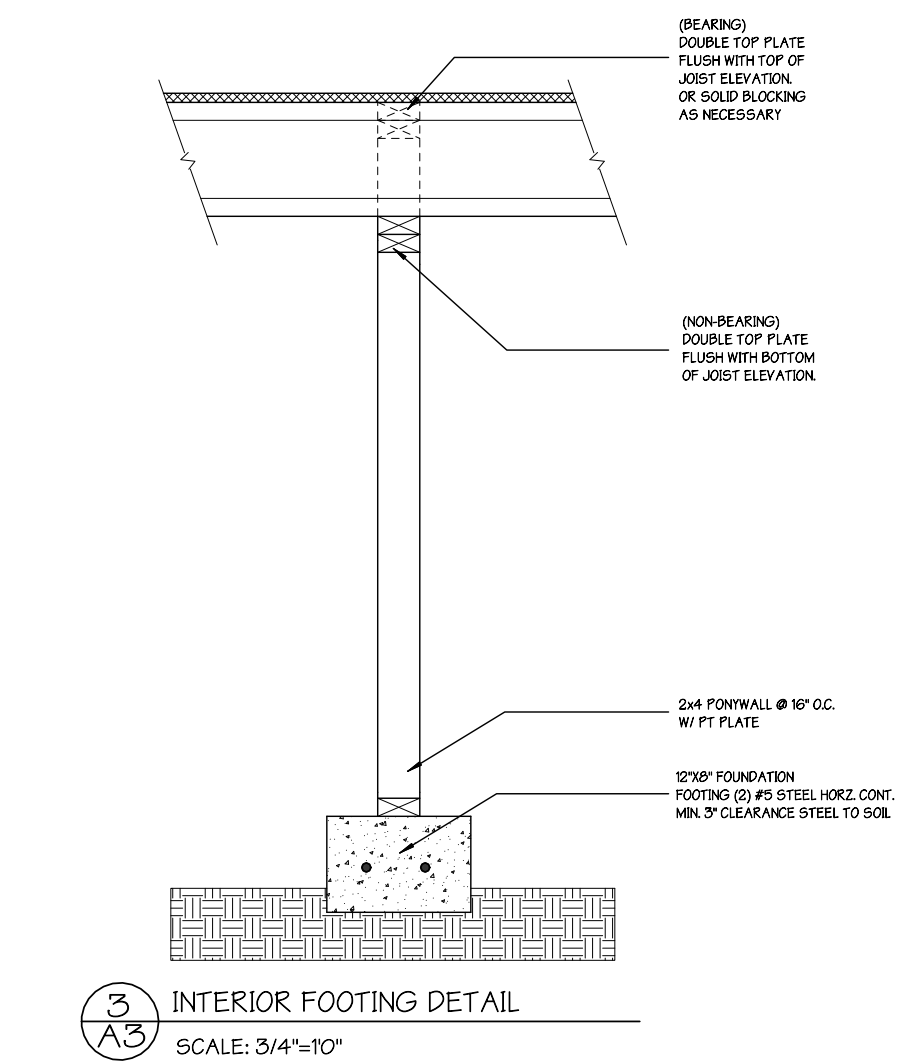
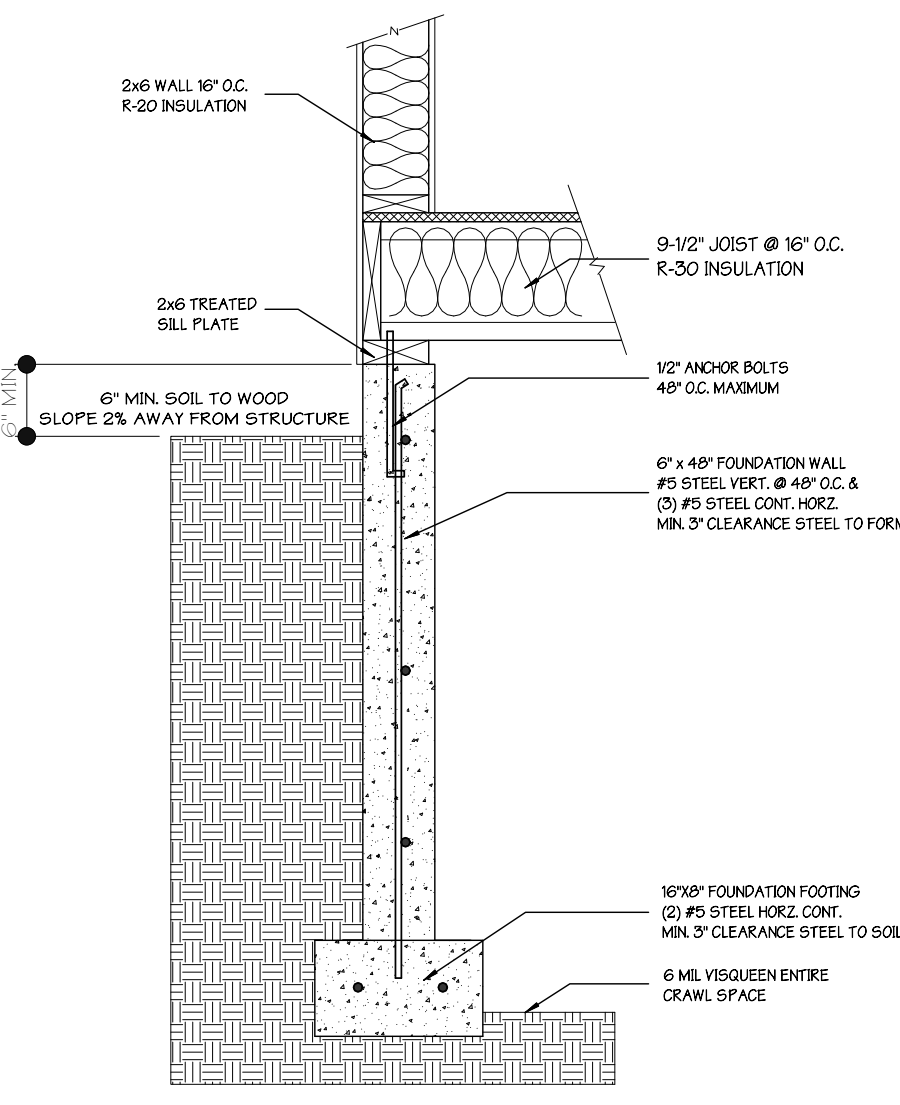
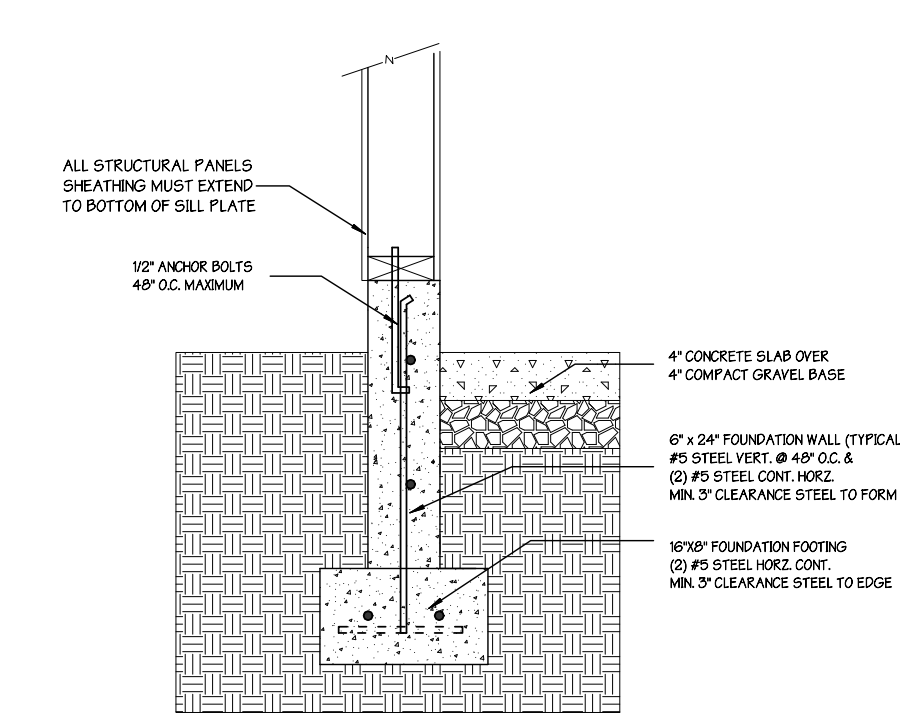
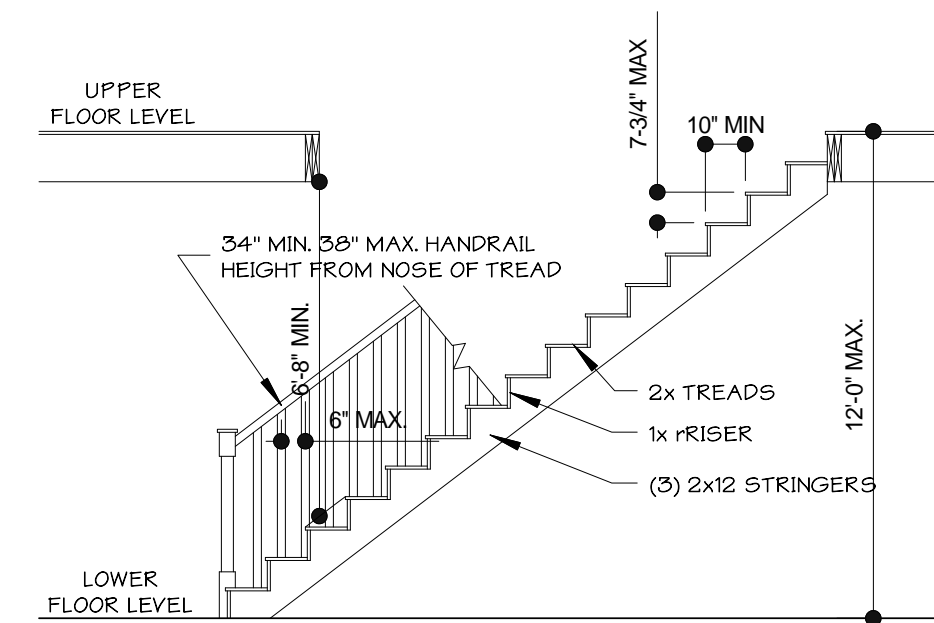
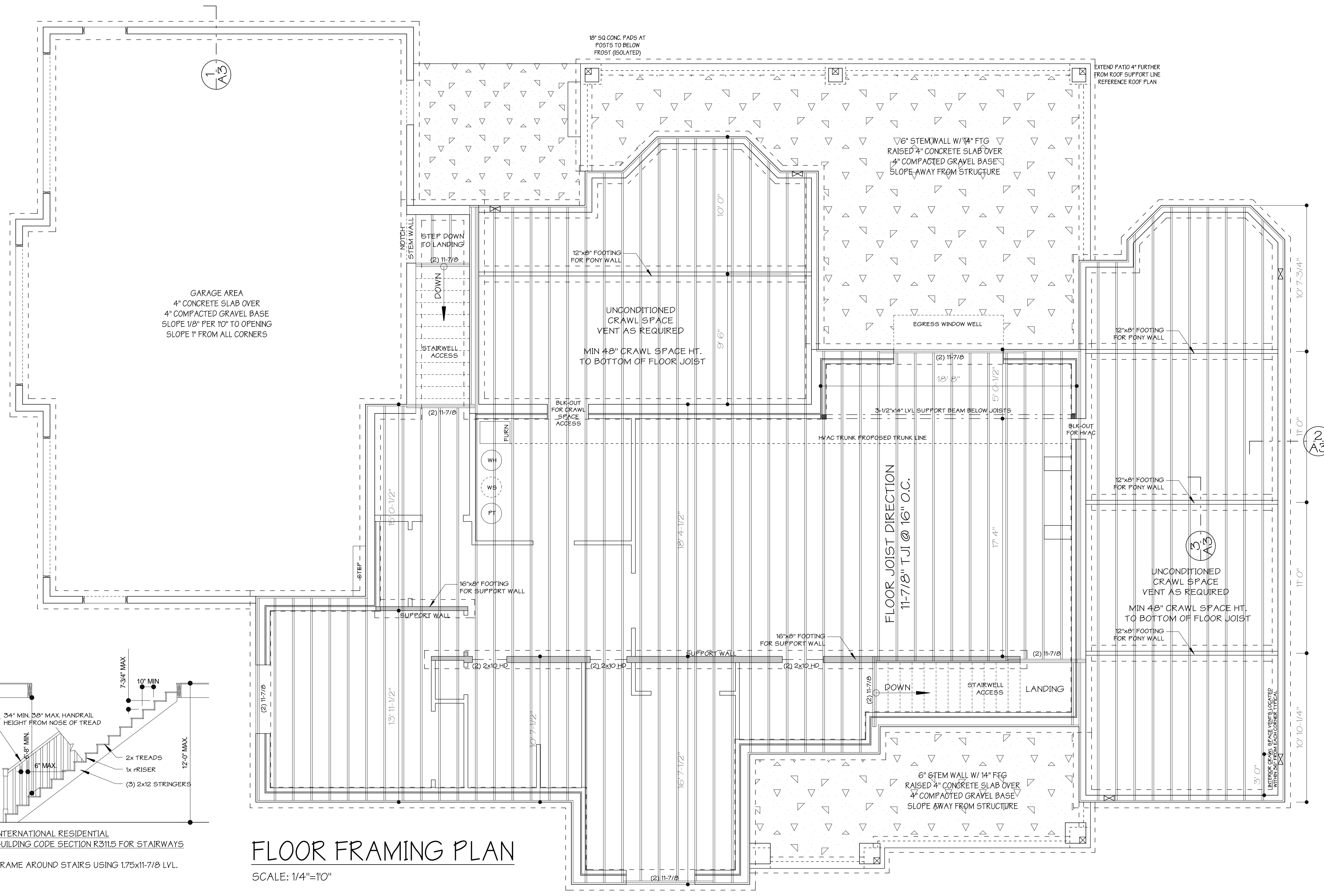
SCALE: 1/4" = 1'-0"
DRAWN BY: Lane Owens
DATE DRAWN: 09-FEB-19
LAST REVISED: 00-00-00

PROJECT NAME: SARGIS & MAIERS RESIDENCE,
7850 RIVER FRONT DRY, LOT-4, BLK-1
IDAHO FALLS, IDAHO

SHEET: A2
PLAN NAME: BASEMENT PLAN
2 OF 7

FLOOR FRAMING NOTES:

1. INSTALL TJIS PER MANUFACTURER'S RECOMMENDATIONS INCLUDING ALL BRIDGING AND BRACING.
2. PROVIDE DBL JOISTS UNDER ALL BEARING WALLS THAT RUN PARALLEL TO FLOOR JOISTS.
3. FRAME AROUND STAIRS USING 175x11-7/8 LVL.
4. ALL BEARING WALL HEADERS SHALL BE (2ea) DF 2x10 UNLESS NOTED OTHERWISE.
5. ALL EXTERIOR WALLS ARE BEARING WALLS.
6. JOIST COUNT SHOULD BE DETERMINED FROM JOIST SPACING NOT FROM DRAWING LAYOUT.
7. THE ISP REQUIRES A CRAWL SPACE ACCESS WITHIN 20' OF ALL UNDERFLOOR CLEANOUTS.



Plans and Rendering by Owens Design.

DISCLAIMER NOTE: While every attempt has been made in preparation of these plans from standard construction practices and techniques, the Architect, the Engineer and the Designer make no representation or warranty of any kind, either expressed or implied, as to the accuracy, completeness or appropriateness of the information contained herein. The user of these plans shall be responsible for obtaining all necessary permits and for the proper application of the specifications for this building, and shall take preference over anything shown.

Project: 8/23/2019, Job: 200-274-8777
Email: LaneOwensDesign@gmail.com



SCALE: 1/4" = 1'-0"
 DRAWN BY: Lane Owens
 DATE DRAWN: 09-FEB-19
 LAST REVISED: 00-00-00

PROJECT NAME: SARGIS & MAIERS RESIDENCE, 7850 RIVER FRONT DRY LOT-4, BLK-1 IDAHO FALLS, IDAHO

SHEET: A3
 PLAN NAME: FLOOR FRAMING PLAN
 3 OF 7

FRAMING NOTES:

- SMOKE DETECTORS ARE REQUIRED IN ALL ROOMS USED FOR SLEEPING, AND IN THE IMMEDIATE VICINITY OUTSIDE THE SLEEPING AREA, AND ON EACH LEVEL, HARD WIRED TOGETHER WITH BATTERY BACKUP.
- CARBON MONOXIDE DETECTORS ARE REQUIRED OUTSIDE THE SLEEPING AREAS, AND ON EACH LEVEL, HARD WIRED TOGETHER WITH BATTERY BACKUP.
- ALL BATHROOMS SHALL HAVE A CEILING VENTILATION FAN WITH A MINIMUM CAPACITY OF 50 CFM.
- PROVIDE SEISMIC RESTRAINT STRAPPING FOR ALL WATER HEATERS.
- EGRESS WINDOWS SHALL MEET REQUIREMENTS OF THE IRC 2012 BUILDING CODE.
- VENT DRYER EXHAUST TO DUCT IN WALL AND VENT OUTSIDE.
- KITCHEN LAYOUT AND DESIGN AS PER OWNER.
- ALL ANGLED WALLS ARE 45 DEG. U.N.O.
- INSTALL TJ'S PER MANUFACTURER'S RECOMMENDATIONS INCLUDING ALL BRIDGING AND BRACING.
- PROVIDE DBL JOISTS UNDER ALL BEARING WALLS THAT RUN PARALLEL TO FLOOR JOISTS.
- FRAME AROUND STAIRS USING 1.75x11-7/8 LVL.
- ALL BEARING WALL HEADERS SHALL BE (2ea) 2x10 UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS ARE BEARING WALLS.
- JOIST COUNT SHOULD BE DETERMINED FROM JOIST SPACING NOT FROM DRAWING LAYOUT.
- A 20 MINUTE FIRE DOOR IS REQUIRED BETWEEN GARAGE AND LIVING AREA W/ SELF CLOSING HINGE.
- THE ISPC REQUIRES A CRAWL SPACE ACCESS WITHIN 20' OF ALL UNDERFLOOR CLEANOUTS

WALL BRACING SCHEDULE:
SEISMIC CATEGORY - B
WIND CATEGORY - 90 MPH
STRUCTURE HEIGHT - 1 STORY
BWP METHOD - CONTINUOUS

CS-WSP DENOTES METHOD CS-WSP (CONTINUOUS WOOD STRUCTURE PANEL SHEATHING) 4x8 WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 5/8 INCH OSB FOR 16-INCH STUD SPACING, NAILS-6d COMMON @ 6" O.C. ALL EDGES AND 12" O.C. IN FIELD. STAPLE 16ga 1-3/4" @ 3" O.C. ALL EDGES AND 6" O.C. IN FIELD. FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 5" GRID PATTERN AND 3" O.C. IN ALL FRAMING (STUDS AND SILLS) TYP.

GB DENOTES METHOD GB (GYPSUM BOARD PANEL). 4x8 GYPSUM BOARD PANEL WITH A THICKNESS NOT LESS THAN 1/2 INCH FOR 16-INCH STUD SPACING. NAILS AND SCREWS AT 7" O.C. EDGES AND FIELD SPACING AT PANEL EDGES INCLUDING TOP AND BOTTOM FLATES FOR ALL BRACED WALL PANEL LOCATIONS. FOR INTERIOR GYPSUM BOARD NAIL OR SCREW SIZE, SEE IRC TABLE R702.3.5

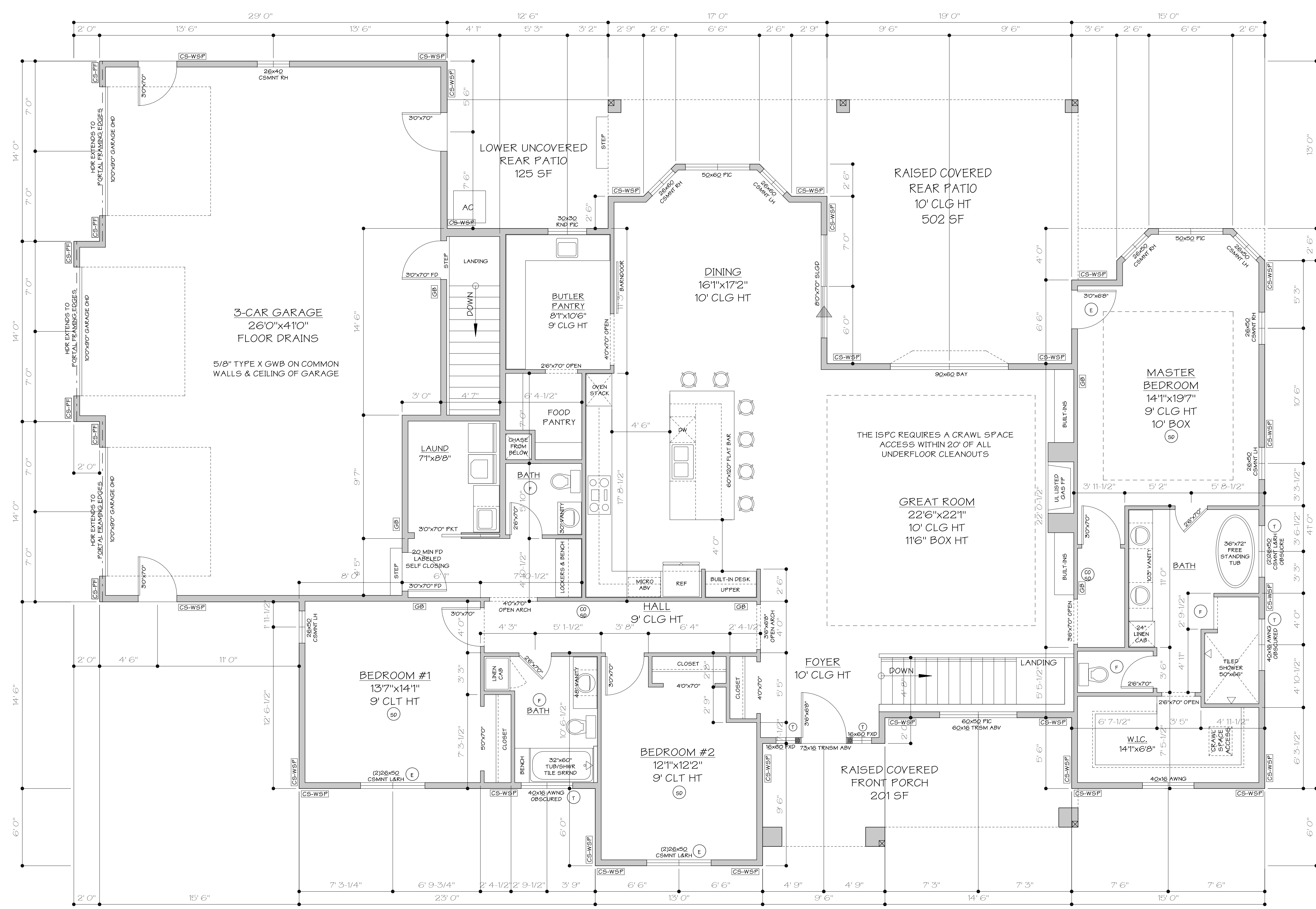
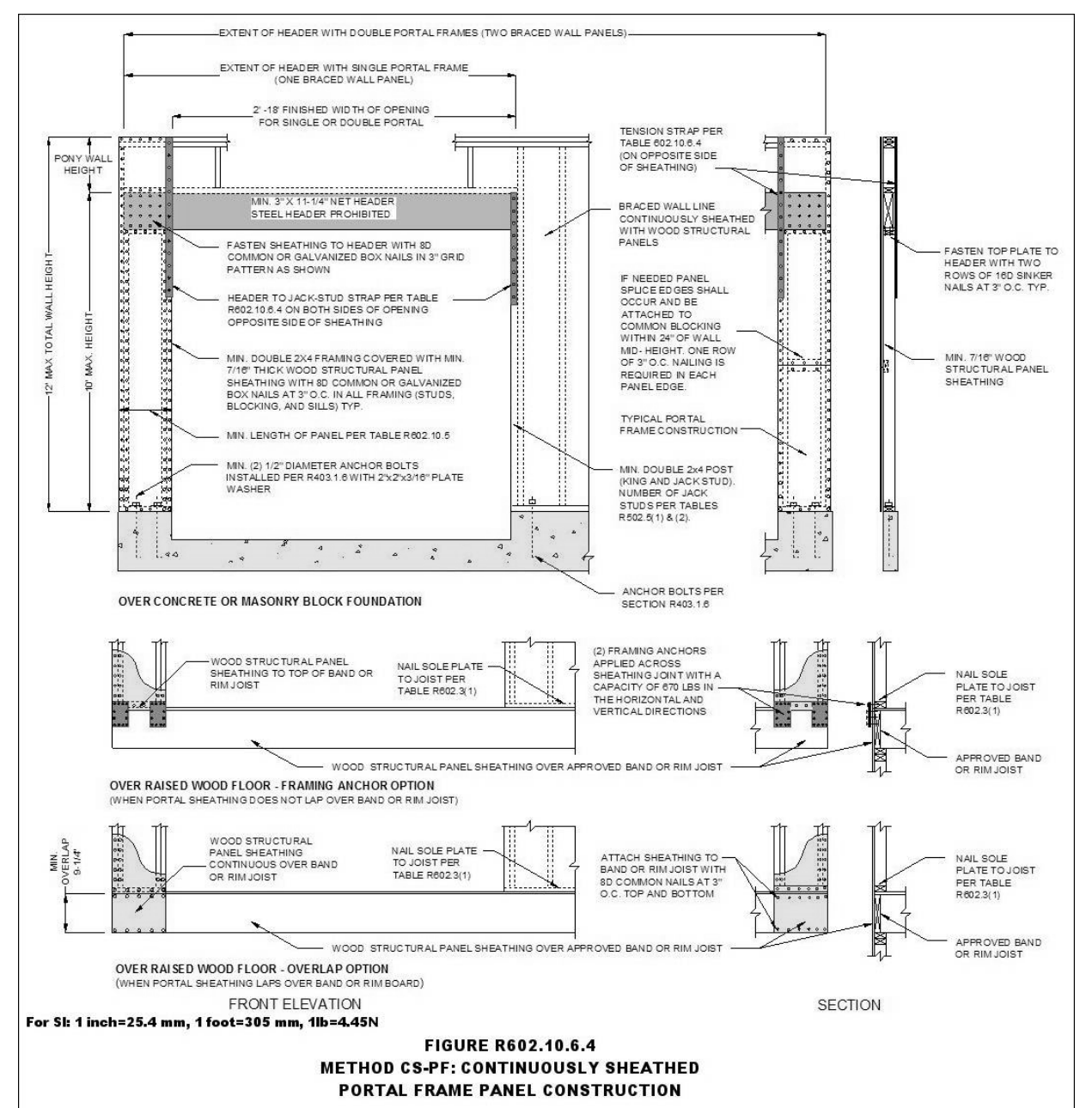
CS-PF DENOTES METHOD CS-PF (CONTINUOUS SHEATHING ADJACENT TO PORTAL OPENING). SEE FIGURE R602.10.6.4 BELOW

REQUIRED LENGTH OF BRACING ON ANY SIDE

WIND SPEED	STORY LEVEL SUPPORTING:	10'	20'	30'	40'	50'	60'
90 MPH	ROOF ONLY	2.0'	3.5'	5.0'	6.0'	7.5'	9.0'
	ROOF + 1 STORY	3.5'	6.5'	9.0'	12.0'	15.5'	17.0'

MINIMUM LENGTH OF BRACED WALL PANELS

METHOD	8 FEET	9 FEET	10 FEET	
CS-PF	24"	27"	30"	
CS-PG	16"	18"	20"	
CS-WSP	64"	24"	27"	30"
	68"	26"	27"	30"
	72"	27"	27"	30"
	76"	28"	27"	30"
	80"	29"	27"	30"
	84"	30"	27"	30"
	88"	31"	27"	30"
	92"	32"	27"	30"
96"	33"	27"	30"	



MAIN FLOOR PLAN

GENERAL NOTES:
MAIN FLOOR = 2735 SF
ATTACHED GARAGE = 1100 SF

SCALE: 1/4"=10"

- KEY CODES:**
- (SD) SMOKE DETECTOR
 - (F) FAN UNIT
 - (E) EGRESS
 - (T) TEMPERED
 - (CO) CARBON MONOXIDE DETECTOR

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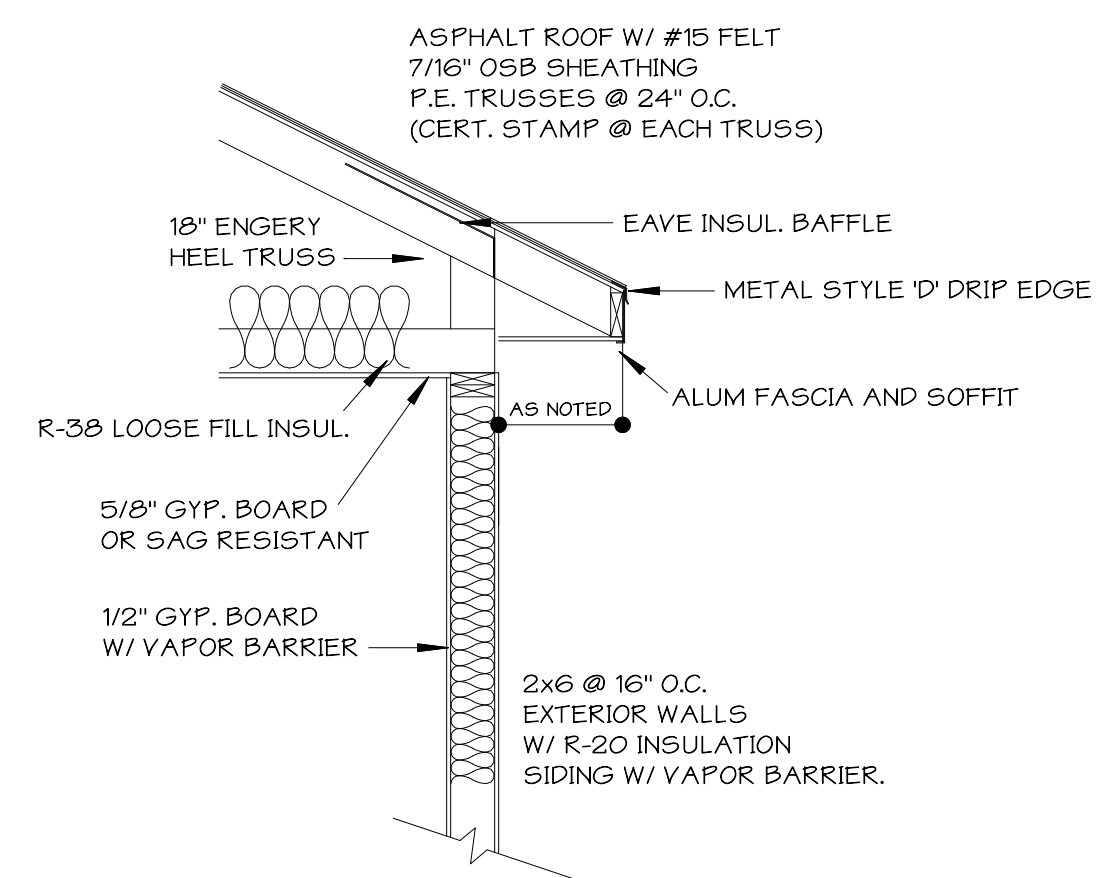
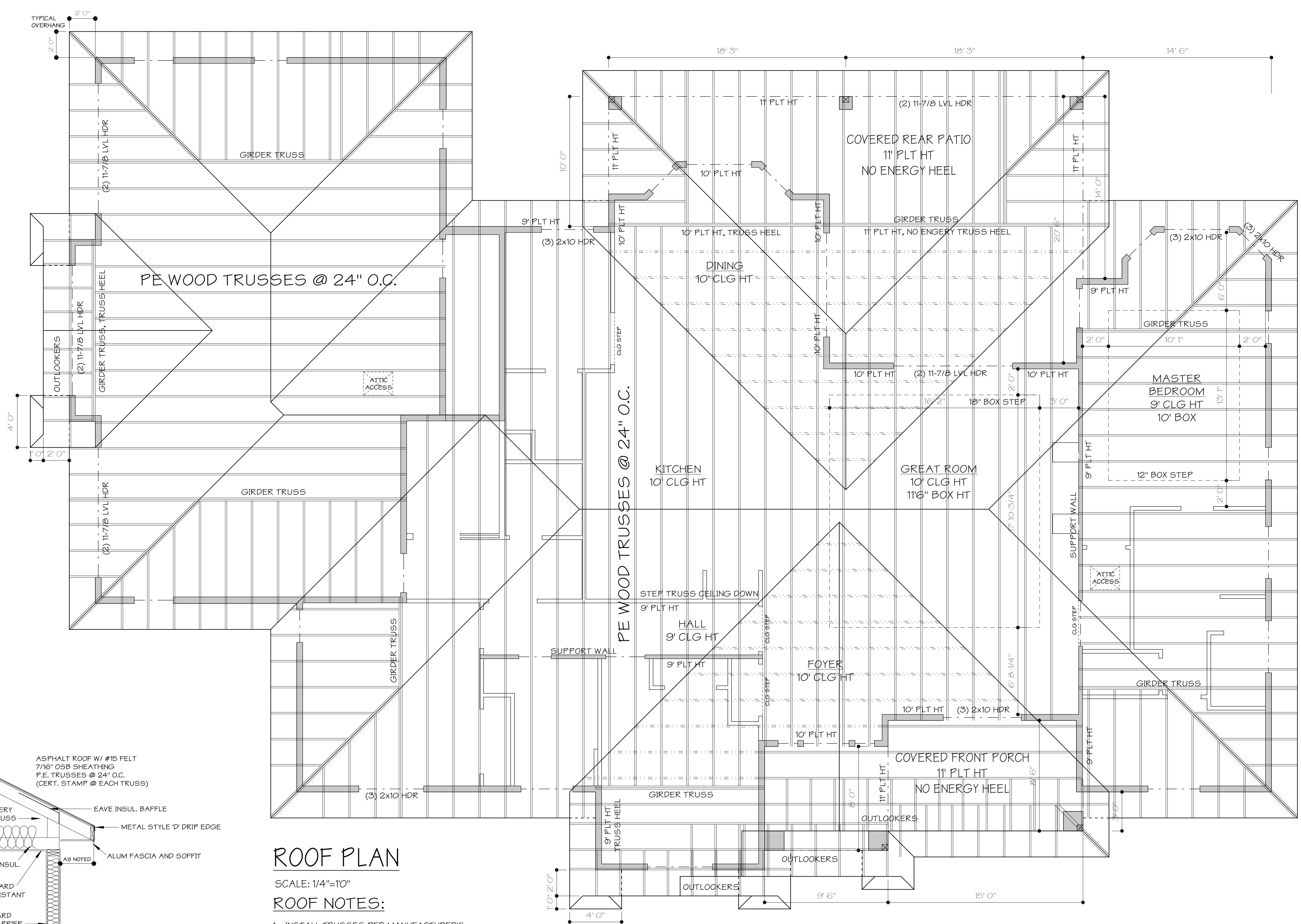


SCALE: 1/4" = 1'-0"
DRAWN BY: Lane Owens
DATE DRAWN: 09-FEB-19
LAST REVISED: 00-00-00

PROJECT NAME: SARGIS & MAIERS RESIDENCE.
7850 RIVER FRONT DRY. LOT -4, BLK-1
IDAHO FALLS, IDAHO

SHEET: A4

PLAN NAME: FLOOR PLAN



ROOF PLAN

SCALE: 1/4" = 10"

ROOF NOTES:

1. INSTALL TRUSSES PER MANUFACTURER'S RECOMMENDATIONS INCLUDING ALL BRIDGING AND BRACING.
2. PROVIDE SIMPSON HT OR EQUAL AT BRG. ENDS OF EACH TRUSS.
3. BEARING WALL HEADERS SHALL BE (2ea) OF 2x10 UNLESS NOTED OTHERWISE.
4. ALL ROOF OVERHANGS SHALL BE AS NOTED.
5. ROOF SHEATHING SHALL BE 7/16" OSB W/ FLY CLIPS
6. ALL SHADED AREAS REPRESENT LOAD BEARING POINTS FOR TRUSSES.
7. ROOF VENTILATION REQUIREMENTS PER IRC R306.1

TYP. EAVE DETAIL

SCALE: 1/2" = 10"

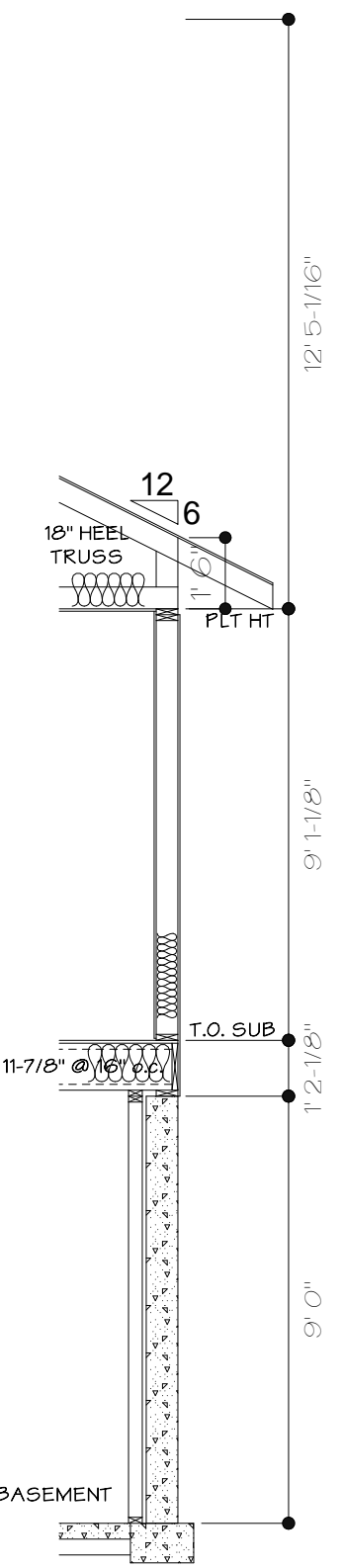
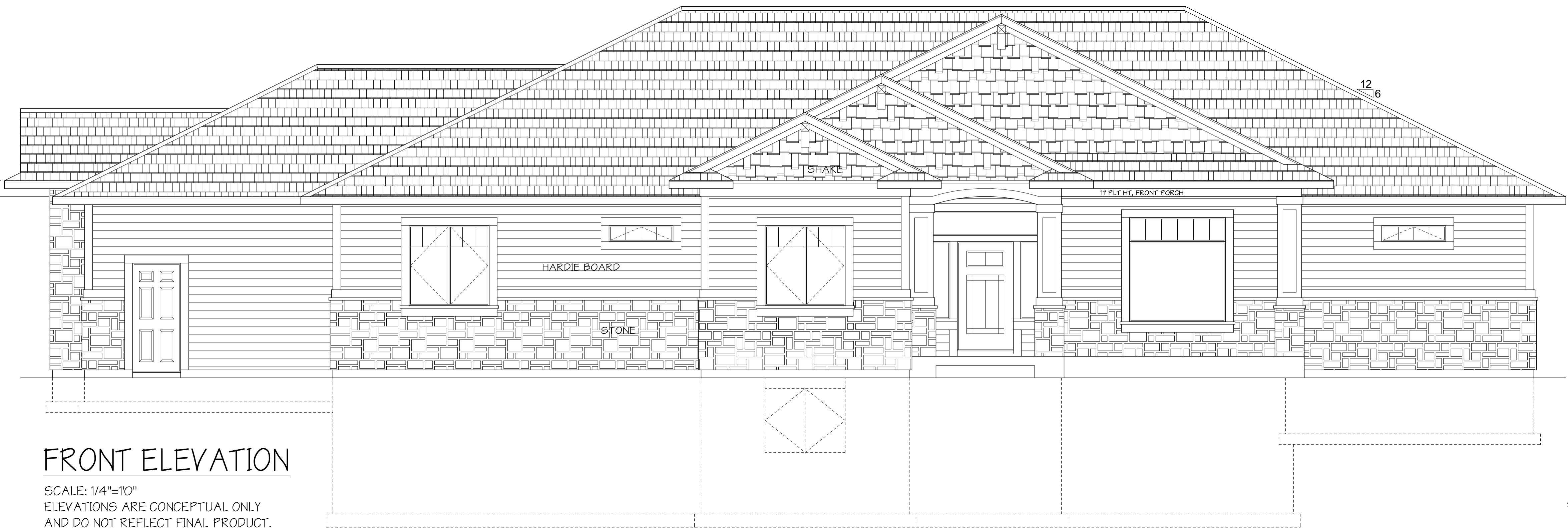
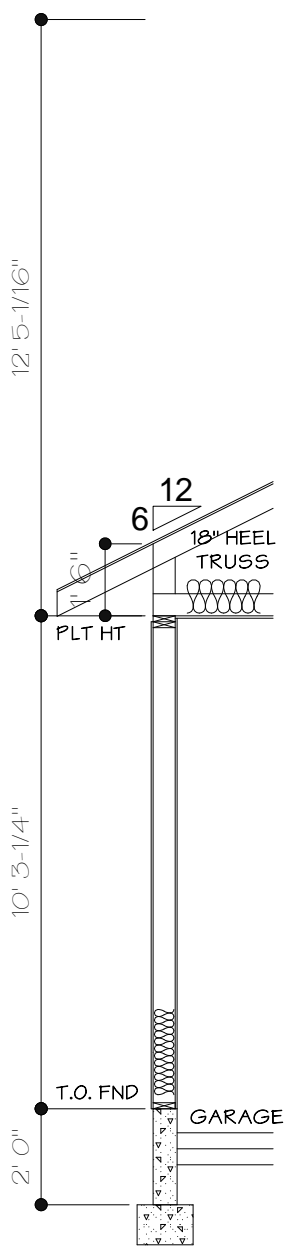
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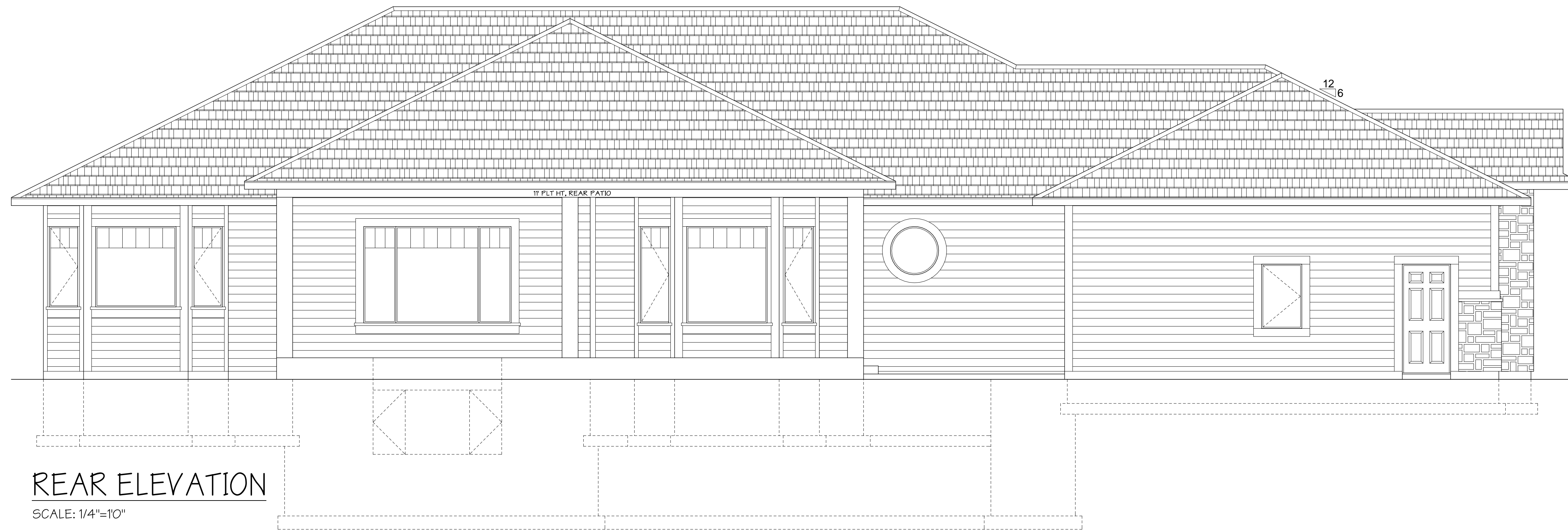
PROJECT NAME: SARGIS & MAIERS RESIDENCE.
 7850 RIVER FRONT DRY. LOT-4, BLK-1
 IDAHO FALLS, IDAHO

SHEET: **A5**
 5 OF 7
 PLAN NAME: ROOF PLAN



FRONT ELEVATION

SCALE: 1/4"=10"
 ELEVATIONS ARE CONCEPTUAL ONLY
 AND DO NOT REFLECT FINAL PRODUCT.



REAR ELEVATION

SCALE: 1/4"=10"

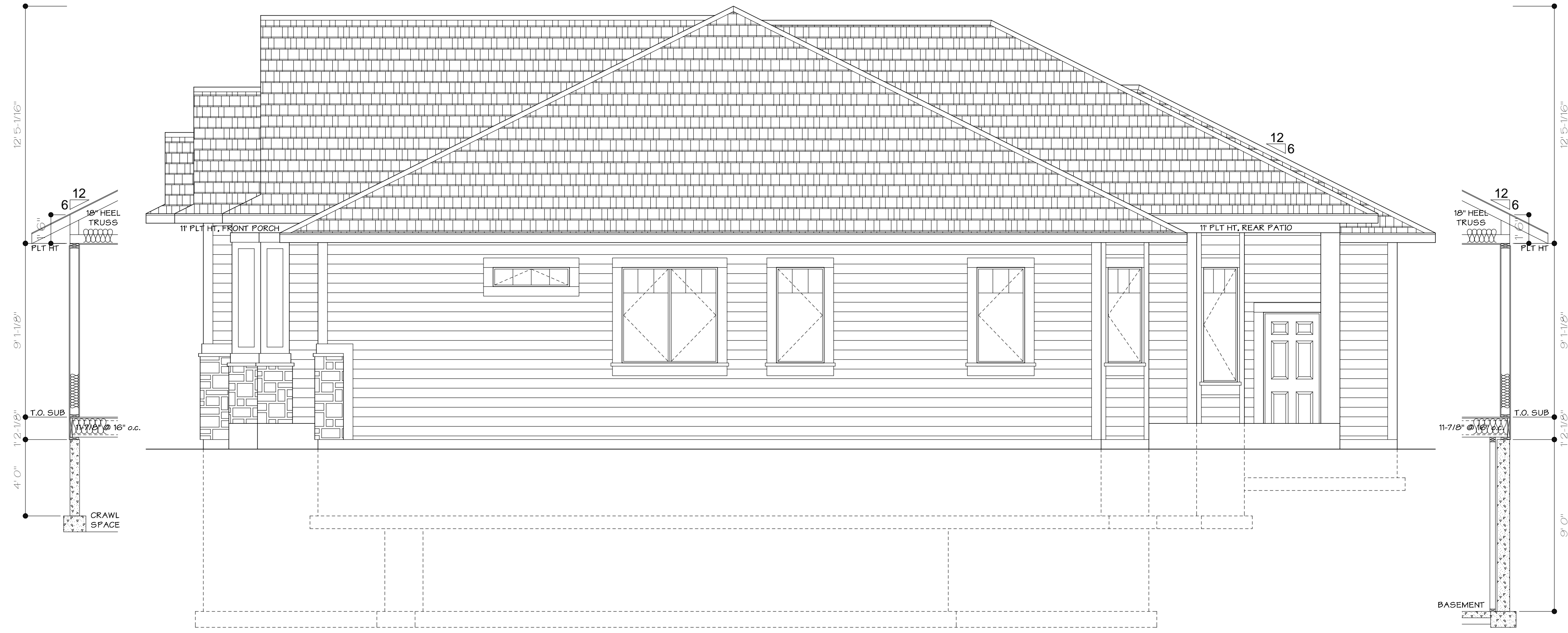
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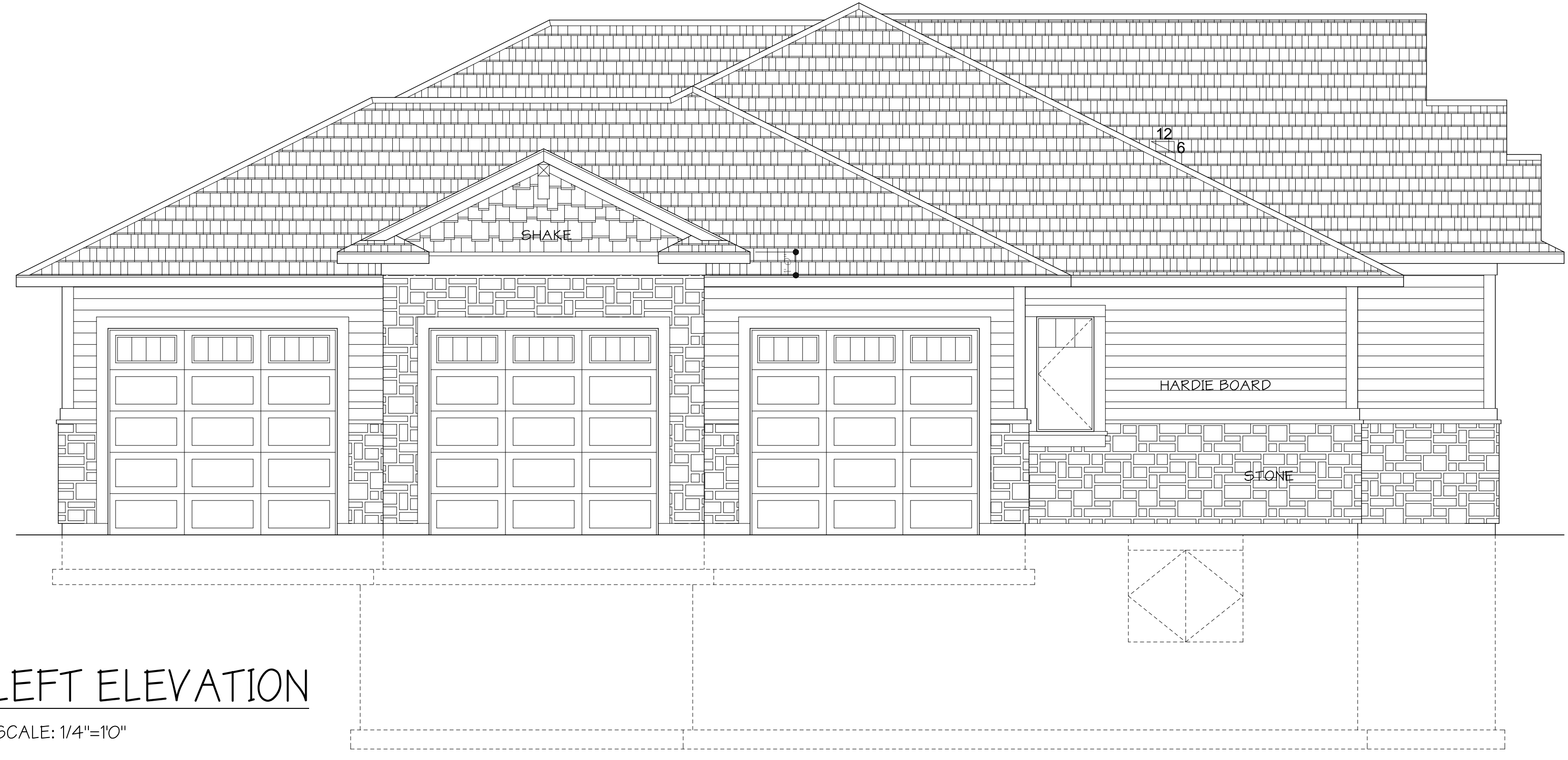
PROJECT NAME: SARGIS & MAIERS RESIDENCE.
 7850 RIVER FRONT DRY. LOT-4, BLK-1
 IDAHO FALLS, IDAHO

SHEET: A6
 6 OF 7
 PLAN NAME: ELEVATIONS



RIGHT ELEVATION

SCALE: 1/4"=1'0"



LEFT ELEVATION

SCALE: 1/4"=1'0"

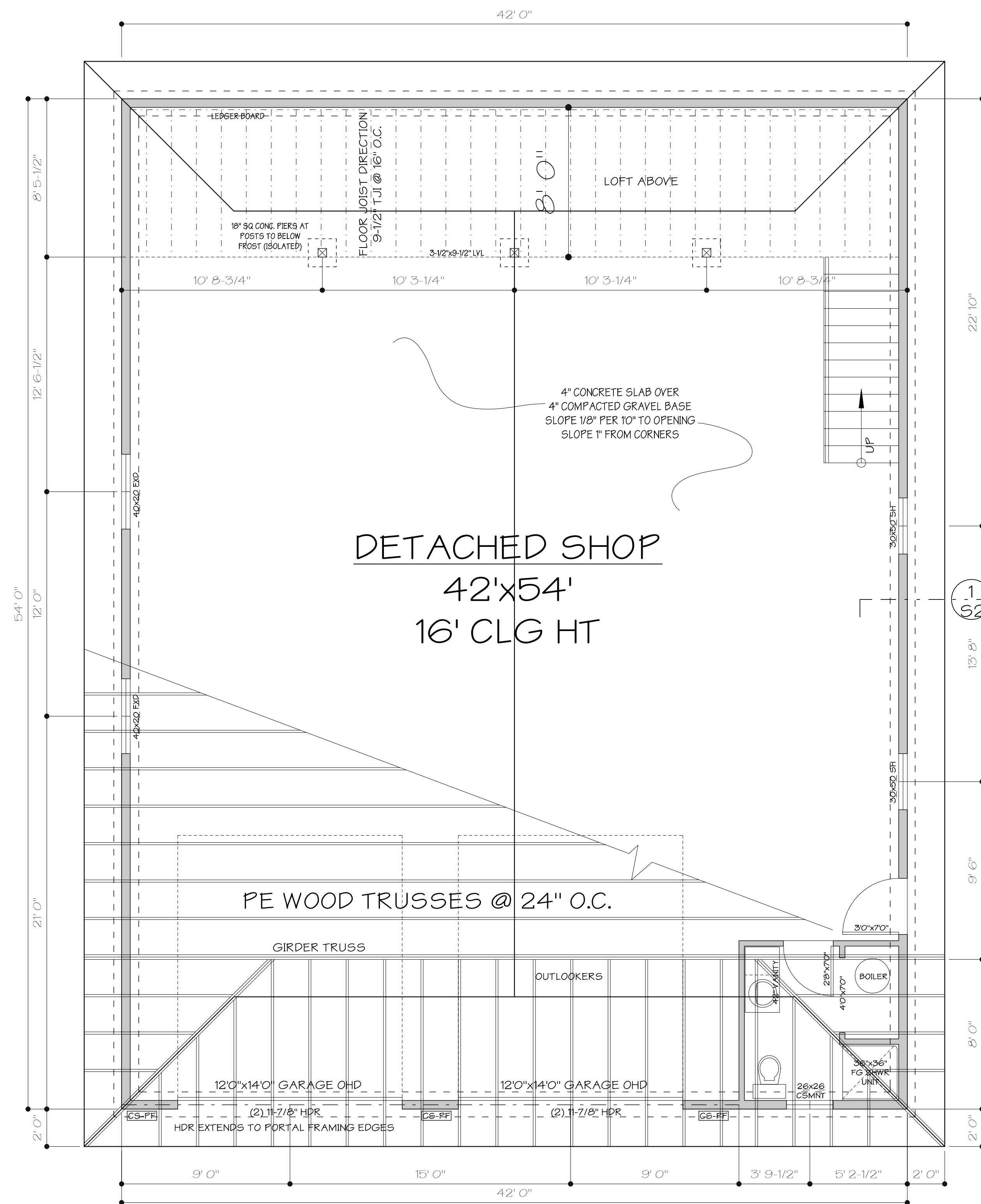
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SCALE: 1/4" = 1'-0"
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PROJECT NAME: SARGIS & MAIERS RESIDENCE.
 7850 RIVER FRONT DRY. LOT-4, BLK-1
 IDAHO FALLS, IDAHO

SHEET: **A7**
 7 OF 7
 PLAN NAME: ELEVATIONS



DETACHED SHOP PLANS

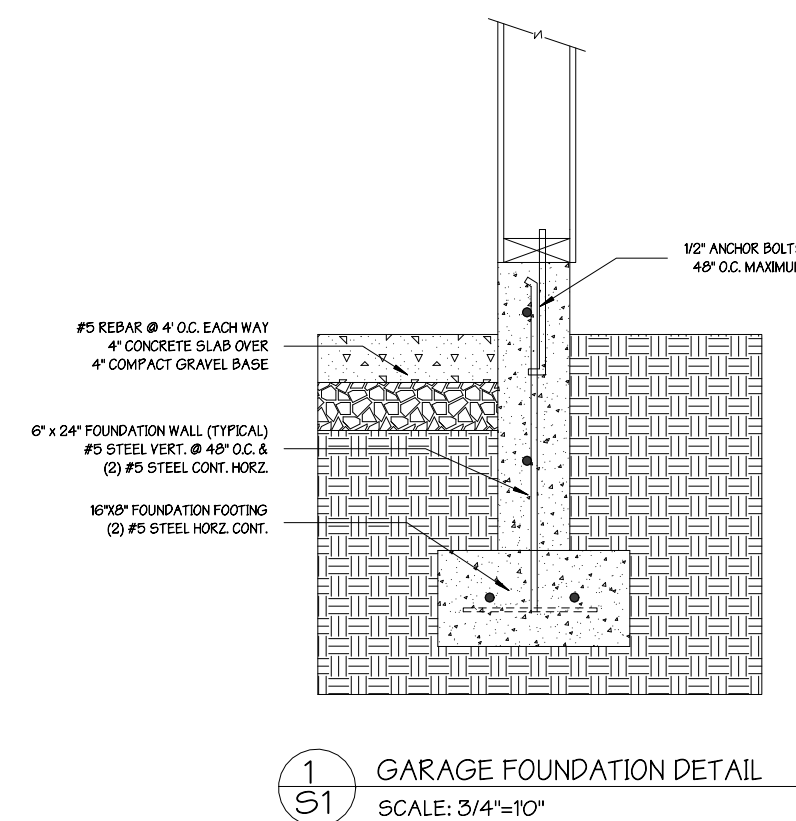
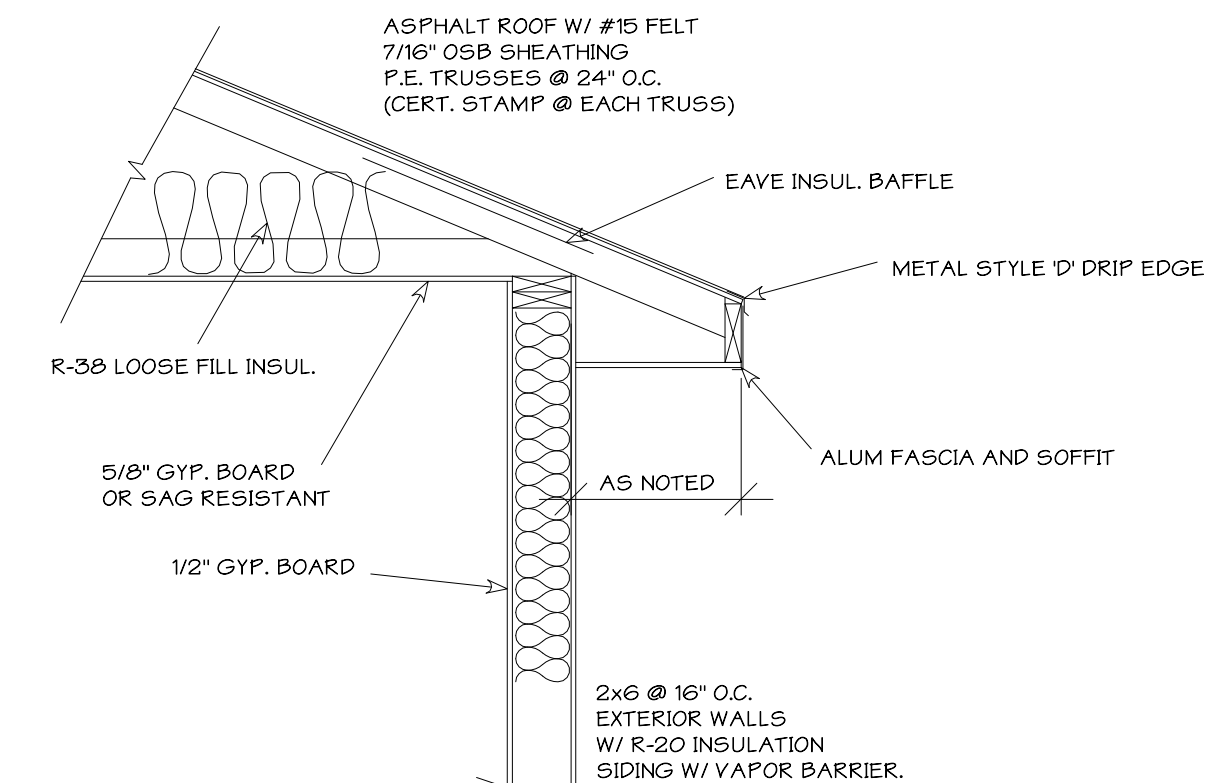
SCALE: 1/4"=10"

FOUNDATION NOTES:

1. BOTTOM OF FOOTING AND FOUNDATION SHALL BE BELOW LOCAL FROST LINE.
2. CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES BEFORE FORMING BLOCK OUTS AS NECESSARY.
3. PROVIDE EXPANSION JOINTS IN ALL FLATWORK AS NECESSARY.
4. ALL FOUNDATION WALLS SHALL BE MIN. 3,000#/SQ IN. COMPRESSIVE STRENGTH @ 28 DAYS. ALL PORCHES, PARKING SLABS, STEPS AND GARAGE FLOOR SLABS SHALL BE MIN. 3,500#/SQ IN. COMPRESSIVE STRENGTH @ 28 DAYS.
5. DESIGNER ASSUMES NO RESPONSIBILITY FOR STRUCTURAL INTEGRITY. VERIFY ALL STRUCTURAL SPECIFICATIONS W/ MFG., TRUSS VENDOR OR ENGINEER.

ROOF NOTES:

1. INSTALL TRUSSES PER MANUFACTURER'S RECOMMENDATIONS INCLUDING ALL BRIDGING AND BRACING.
2. PROVIDE SIMPSON HI OR EQUAL AT BRG. ENDS OF EACH TRUSS.
3. BEARING WALL HEADERS SHALL BE (2ea) DF 2x10 UNLESS NOTED OTHERWISE.
4. ALL ROOF OVERHANGS SHALL BE AS NOTED.
5. ROOF SHEATHING SHALL BE 7/16" OSB W/ PLY CLIPS
6. ALL SHADED AREAS REPRESENT LOAD BEARING POINTS FOR TRUSSES.
7. ROOF VENTILATION REQUIREMENTS PER IRC R806.1



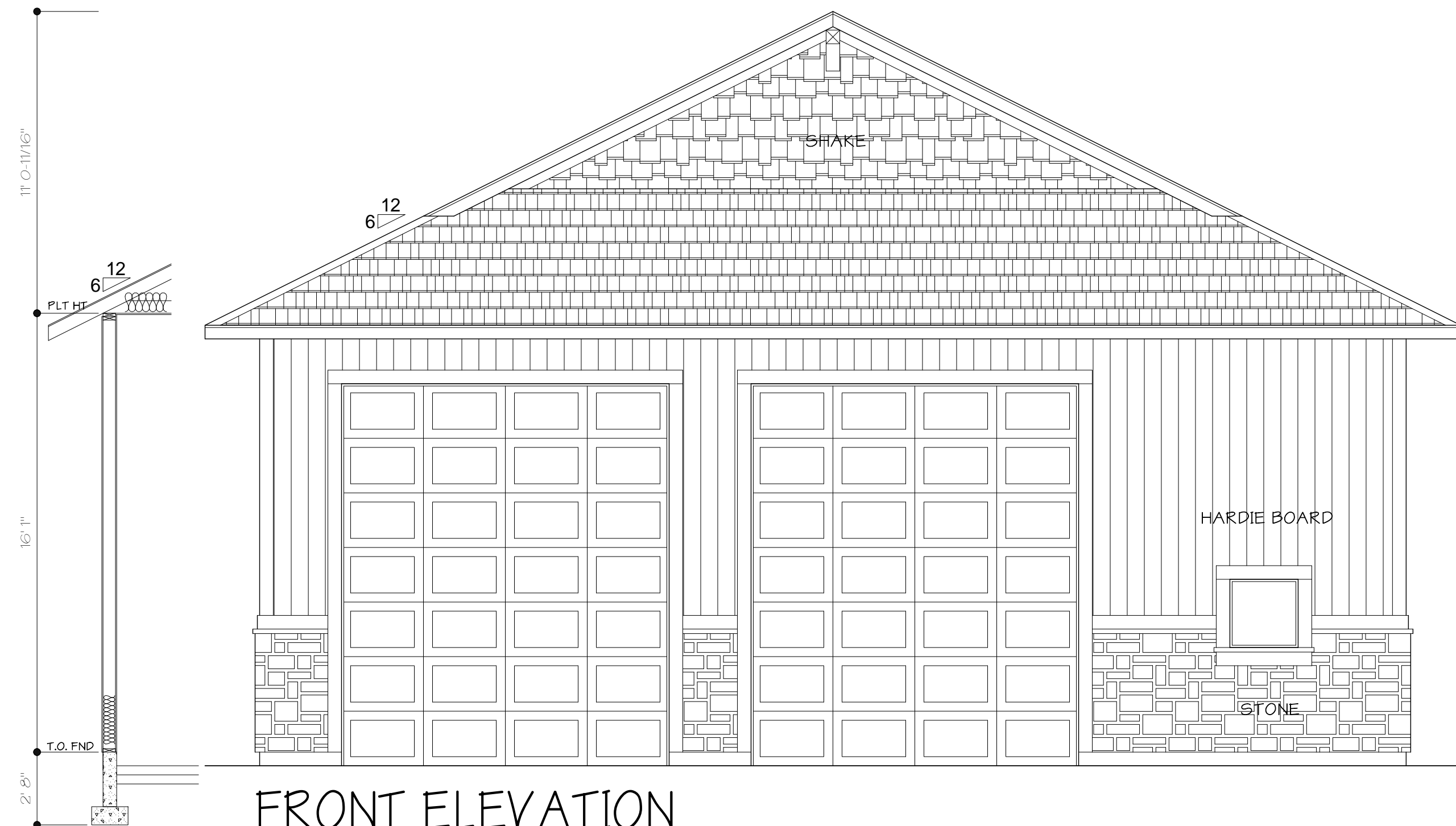
Plans and Rendering by Owens Design.
 DESIGNER NOTE: When every permit has been made in preparation of these plans the contractor shall verify all window and door rough opening sizes before forming block outs as necessary. Provide expansion joints in all flatwork as necessary. All foundation walls shall be minimum 3,000#/sq in. compressive strength @ 28 days. All porches, parking slabs, steps and garage floor slabs shall be minimum 3,500#/sq in. compressive strength @ 28 days. Designer assumes no responsibility for structural integrity. Verify all structural specifications w/ mfg., truss vendor or engineer.



SCALE: 1/4" = 1'-0"
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 DATE DRAWN: 09-FEB-19
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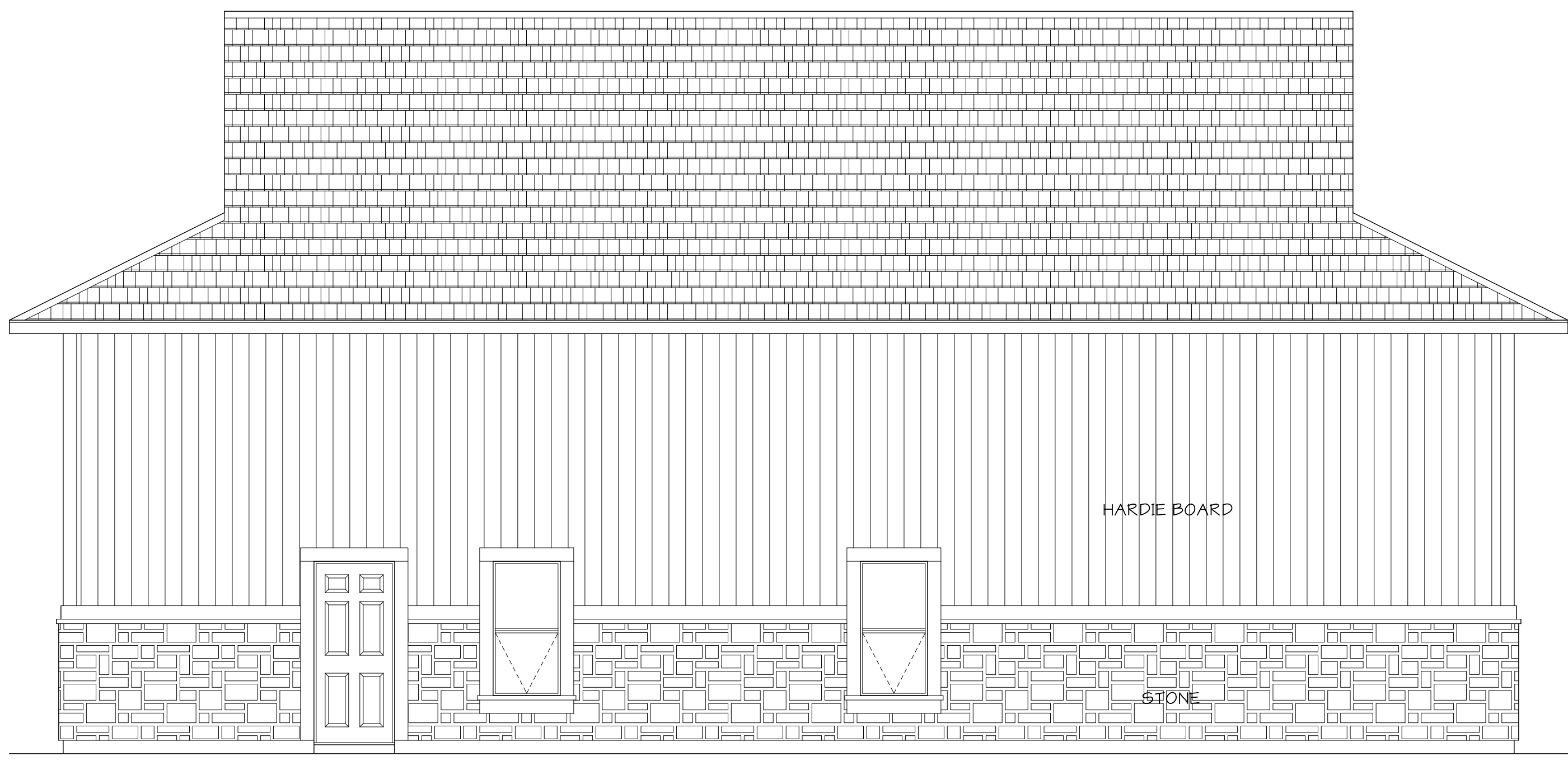
PROJECT NAME: SARGIS & MAIERS RESIDENCE.
 7850 RIVER FRONT DRY. LOT-4, BLK-1
 IDAHO FALLS, IDAHO

SHEET: S1
 PLAN NAME: DETACHED SHOP PLANS
 1 OF 2



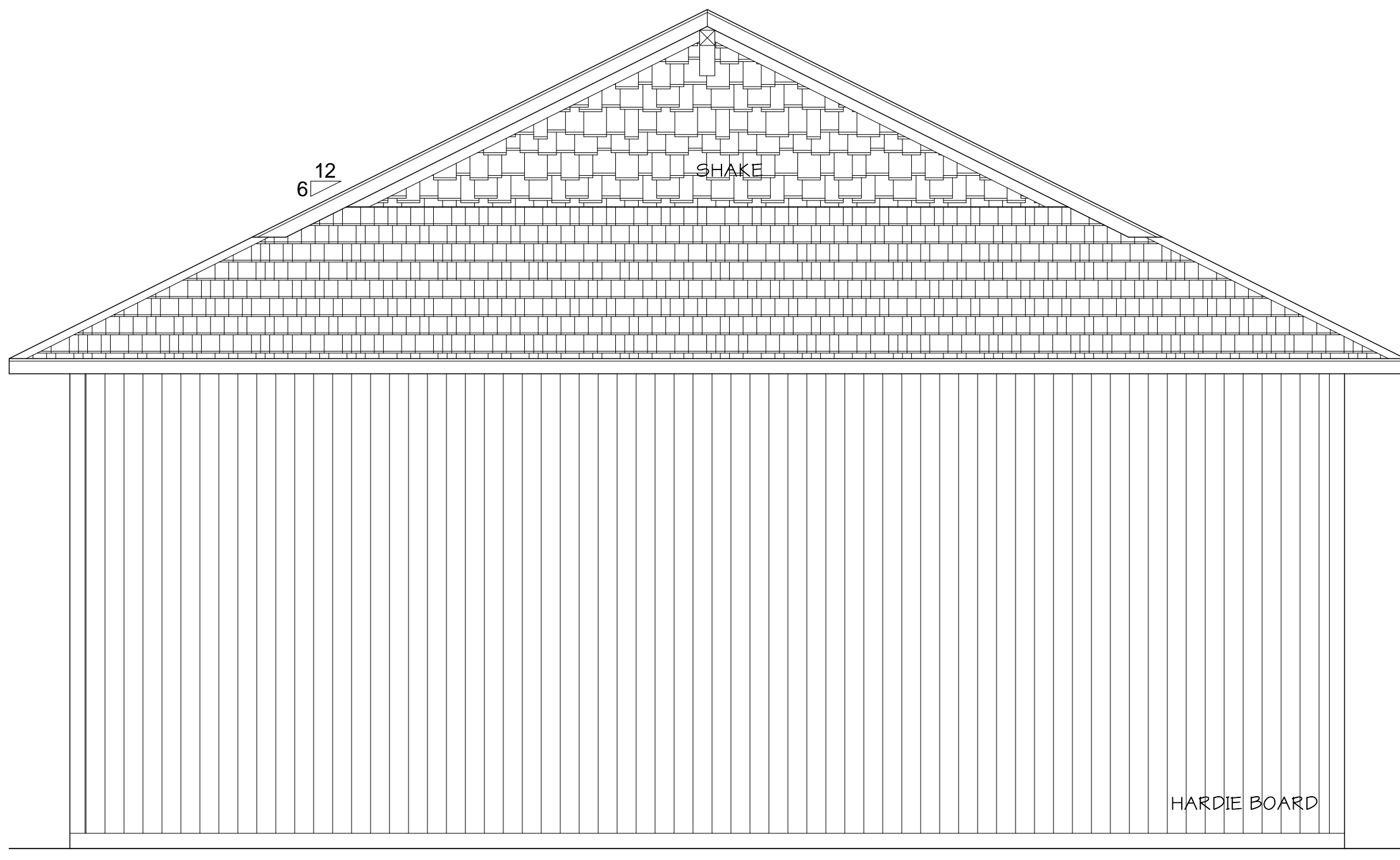
FRONT ELEVATION

SCALE: 1/4"=1'0"
 ELEVATIONS ARE CONCEPTUAL ONLY
 AND DO NOT REFLECT FINAL PRODUCT.
 MATCH EXISTING RESIDENCE EXTERIOR FEATURES.



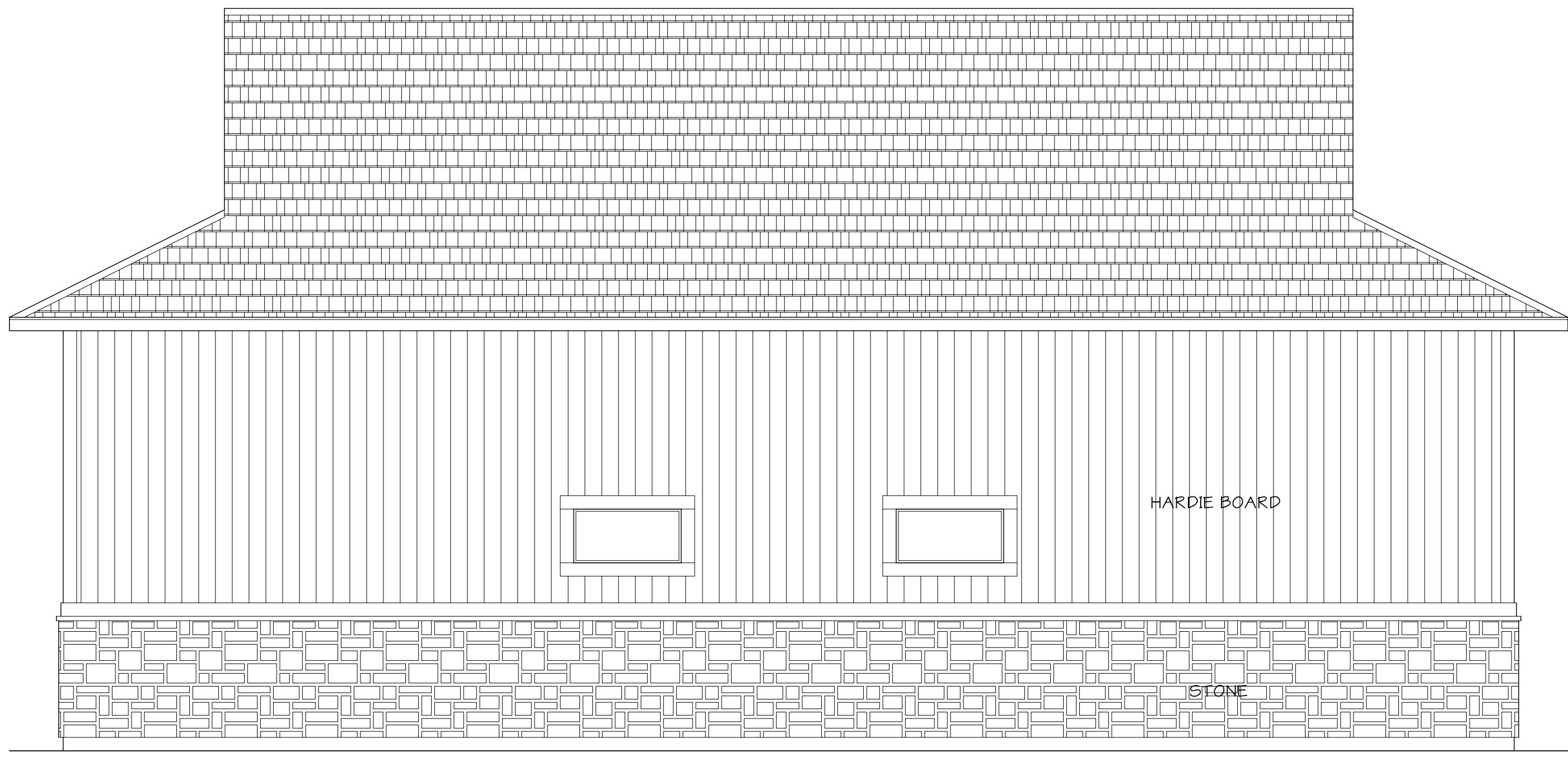
RIGHT ELEVATION

SCALE: 1/4"=1'0"



REAR ELEVATION

SCALE: 1/4"=1'0"



LEFT ELEVATION

SCALE: 1/4"=1'0"

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 PLEASE NOTE: Owens Design is not responsible for any errors or omissions in this drawing. The user of this drawing is responsible for obtaining all necessary permits and for compliance with all applicable codes and regulations. Owens Design is not a contractor and does not provide construction services. All dimensions are in feet and inches unless otherwise noted. All elevations, sizes, and local codes, ordinances, regulations, etc. shall be considered as part of the design and are subject to change without notice. Owens Design is not responsible for any damage, injury, or loss of any kind resulting from the use of this drawing.



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 7850 RIVER FRONT DRY. LOT-4, BLK-1
 IDAHO FALLS, IDAHO

SHEET: **S2**
 2 OF 2
 PLAN NAME: DETACHED SHOP ELEVATIONS