



Agenda of the National City Special Housing Advisory Committee/ Planning Commission

Meeting of June 1, 2020 – 6:00 p.m.

ONLINE ONLY MEETING

<https://www.nationalcityca.gov/webcast>

LIVE WEBCAST

Council Chambers, Civic Center

1243 National City Boulevard

National City, CA 91950

NOTICE: The health and well-being of National City residents, visitors, and employees during the COVID-19 outbreak remains our top priority. The City of National City is coordinating with the County of San Diego Health Human Services Agency, and other agencies to take measures to monitor and reduce the spread of the novel coronavirus (COVID-19). **The World Health Organization has declared the outbreak a global pandemic and local and state emergencies have been declared providing reprieve from certain public meeting laws such as the Brown Act.**

As a result, the National City Housing Advisory Committee/Planning Commission Meeting will occur only online to ensure the safety of City residents, employees and the communities we serve. A live webcast of the meeting may be viewed on the city's website at www.nationalcityca.gov.

PUBLIC COMMENTS: The National City Housing Advisory Committee/Planning Commission will receive public comments via e-mail at planning@nationalcityca.gov regarding any matters within the jurisdiction of the National City Housing Advisory Committee/Planning Commission. **Written comments or testimony from the public (limited to three minutes) must be submitted via e-mail by 4:00 p.m. on the day of the National City Housing Advisory Committee/Planning Commission Meeting. All comments received from the public will be made a part of the record of the meeting.**

Upon request, this agenda can be made available in appropriate alternative formats to persons with a disability in compliance with the Americans with Disabilities Act. Please contact the Planning Department at (619) 336-4310 to request a disability-related modification or accommodation. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Welcome to the National City Housing Advisory Committee/Planning Commission meeting. The National City Housing Advisory Committee/Planning Commission conducts its meeting in the interest of community benefit. Your participation is helpful. These proceedings are video recorded.

A. HOUSING ADVISORY COMMITTEE

Roll Call

Pledge of Allegiance by Committee Member Dela Paz

Approval of Agenda

1. Approval of the Agenda for the Meeting on June 1, 2020

ORAL COMMUNICATIONS (3 MINUTE TIME LIMIT).

NOTE: Under State law, items requiring Housing Advisory Committee action must be brought back on a subsequent agenda unless they are of a demonstrated emergency or urgent nature.

PRESENTATIONS

2. Introduction of the Housing Advisory Committee
3. Presentation on the 2021 Focused General Plan Update including the Sixth Cycle (2021-2029) Housing Element for the City of National City

ADJOURNMENT

Adjournment to the regularly scheduled meeting on August 17, 2020 at 6:00 p.m.

B. PLANNING COMMISSION

Roll Call

Approval of Minutes

4. Approval of Minutes from the Meeting of May 4, 2020

ORAL COMMUNICATIONS (3 MINUTE TIME LIMIT).

NOTE: Under State law, items requiring Housing Advisory Committee action must be brought back on a subsequent agenda unless they are of a demonstrated emergency or urgent nature.

PRESENTATIONS

CONTINUED PUBLIC HEARINGS

PUBLIC HEARINGS

5. Conditional Use Permit for the off-site Sale of Alcohol and a Consistency Review for a new 7-Eleven located at 110 National City Boulevard (Case File No. 2020-05, CUP, DSP)

OTHER BUSINESS

STAFF REPORTS

Senior Assistant City Attorney

Director of Community Development

Principal Planners

Commissioners

Chairperson

ADJOURNMENT

Adjournment to the regularly scheduled meeting on July 20, 2020 at 6:00 p.m.



Item no. **3**
June 1, 2020

CITY OF NATIONAL CITY - PLANNING DIVISION
1243 NATIONAL CITY BLVD., NATIONAL CITY, CA 91950

HOUSING ADVISORY COMMITTEE STAFF REPORT

Title: PRESENTATION ON THE 2021 FOCUSED GENERAL PLAN UPDATE INCLUDING THE SIXTH CYCLE (2021-2029) HOUSING ELEMENT

Background:

The General Plan contains land use and development policies that serve as the foundation for all planning decisions. Due to changes since the last update in 2011, the scope of the Focused General Plan Update (FGPU) will concentrate on policy updates; support updates to codes, ordinances, and development standards; and conduct an environmental review. This update will help National City grow while providing a variety of housing choices, a mobility network that helps to reduce Vehicle Miles Travelled (VMT), and a robust economy, all while preserving its culture. National City is primed to see an increase in population growth and a more diverse housing need.

Focused General Plan Update:

Housing Element

The City's Housing Element must be updated to ensure the City's policies and programs can accommodate estimated housing growth needs, identified in the San Diego County Association of Government's Regional Housing Needs Assessment (RHNA) allocation for the 2021-2029 planning period.

The Housing Element is one of the seven required elements in the City's General Plan. It provides policies and programs for the availability of residential uses for a variety of income levels. The Housing Element also plans for the City's regional share of housing by income category as determined by the RHNA allocation.

Land Use Element

The Land Use Element will provide a land-use framework that supports the Housing Element and incorporates new policy areas. The element will document existing conditions and analyze opportunities and constraints. Maps will illustrate the existing land use, zoning, vacant and underused parcels, projected population growth, and demographic information.

One of the most crucial steps to the development of the Land Use Element Update (LUEU) is listening to the community and stakeholders who know their community best – what works and does not work, and what ideas they have for the future. Key to this effort's proposal is a robust community engagement plan, which needs to reach out to as many citizen groups as possible. This plan is described in further detail in the community outreach section.

Transportation Element

The Transportation Element will align with state legislation AB 747 and complete streets. It will incorporate new policy areas such as 10-minute neighborhoods, and the recommendations from recent plans and studies. The Transportation element will also address new policies related to New Mobility and Transportation System Management (TSM) and expand policy related to Transportation Demand Management (TDM).

The existing conditions review will serve as the foundation for a full assessment of the existing circulation and mobility within the City. The existing mobility and circulation will include roadway classifications, active transportation networks, complete streets, transit infrastructure, policies, volume to capacity analysis, and VMT.

Safety Element

National City is a coastal city susceptible to sea-level rise and related coastal hazards, riverine flooding, and other safety issues. The State General Plan Guidelines stipulate that the purpose of the Safety Element is to reduce the potential short- and long-term risk of death and injuries. This element also addresses property damage, and economic and social dislocation resulting from fires and floods droughts, earthquakes, landslides, climate change, and other hazards.

The Safety Element Update will address these topic areas and include emergency response, hazardous materials spill, and crime reduction. The Safety Element will align with the new State requirements (SB 379). This will focus on climate change vulnerability assessment, identify measures to address vulnerabilities, and provide comprehensive hazard mitigation and emergency response strategy.

Climate Action Plan (CAP)

National City prepared a Climate Action Plan in 2011 in conjunction with its last General Plan update. The 2021 Focused General Plan Update will entail updating several of the City's existing General Plan elements, resulting in the need to update the City's CAP. The CAP updates will account for new policies stemming from the General Plan update that are expected to expand the City's housing capacity and implement mobility improvements in select corridors. Updates to the Land Use and Circulation elements are expected to yield revised projected vehicle miles traveled (VMT) estimates, which will result in updated greenhouse gas (GHG) emissions projections and reductions from transportation sources included in the current CAP.

Timeline

Spring 2020: Existing Condition Analysis

Summer 2020: Outreach, Vision, Goals, and Policies, and Land Use Scenarios

Fall 2020: Preferred Land Use and Mobility Network, Zoning Code Updates, and Draft Elements

Winter 2020: Environmental Review and Technical Studies

Spring/Summer 2021: Public Review/Adoption and Housing Element Submittal to HCD



CARLOS AGUIRRE

Director of National City Housing Authority

Focused General Plan Update

*Housing Advisory Committee
June 1, 2020*

CALIFORNIA
NATIONAL CITY
1887
INCORPORATED



VERONICA TAM AND ASSOCIATES

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What is the Focused General Plan Update?

The General Plan is the City’s “blueprint” document that guides future growth and investments.

- Changes since the last General Plan update (2011):
 - *New State legislation related to housing, land use, transportation, and safety*
 - *Local planning efforts:*
 - INTRACConnect
 - Transit-Oriented Development Overlay (TODO)
 - Homefront to the Waterfront
 - SB 2
 - *Changing regional context and forecasted future growth*



National City Growth Forecast

2020

Population: 62,342

Housing Units: 17,458

2035

Population: 73,329

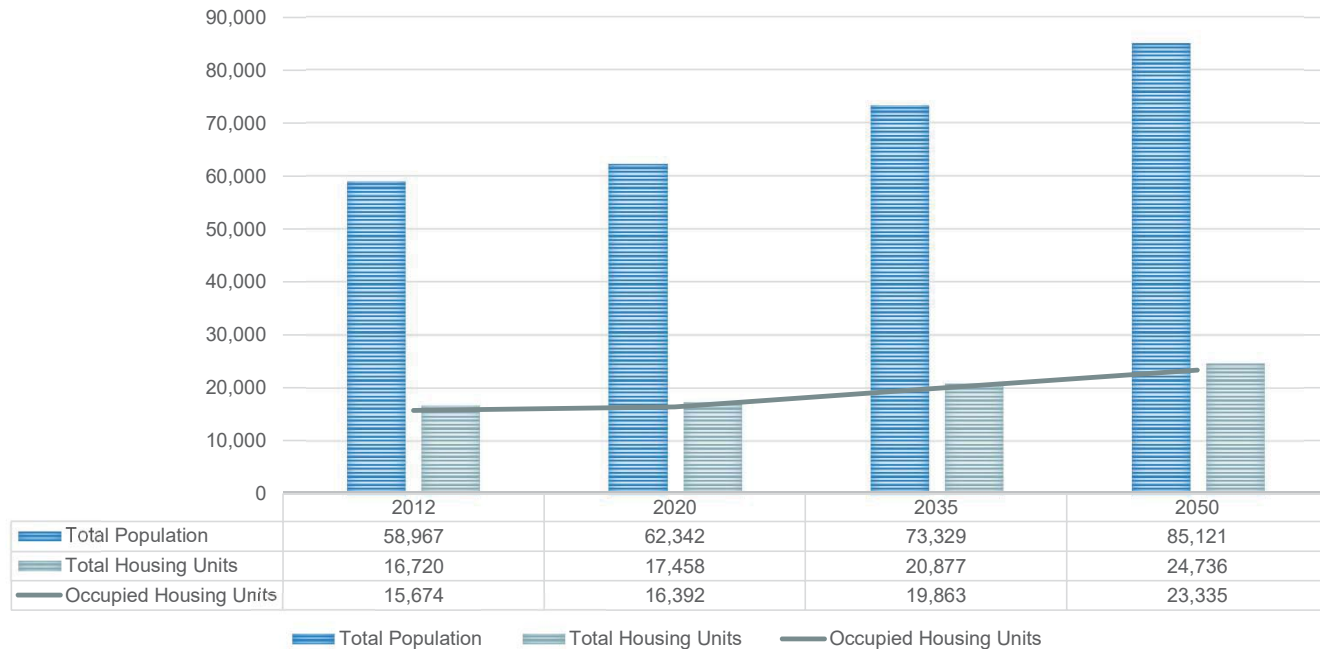
Housing Units: 20,877

2050

Population: 85,121

Housing Units: 24,736

NATIONAL CITY GROWTH FORECAST



Source: Series 13 Regional Growth Forecast. SANDAG.

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Scope of the Focused General Plan Update

- Focused Policy Updates
- Supporting Updates to Codes, Ordinances, and Development Standards
- Environmental Review

Policies

- Housing Element
- Land Use Element
- Transportation Element
- Safety Element
- Climate Action Plan

Codes, Ordinances, & Development Standards

- Zoning Code
- Specific Plans
- Objective Design Standards

Environmental Review

- Supplemental Program Environmental Impact Report (PEIR)



Timeline

Critical Path:

- Preferred Land Use and Mobility Network (Fall 2020)
- Environmental Review (Winter 2020)
- Housing Element Submittal to HCD (Spring/Summer 2021)





Community Engagement

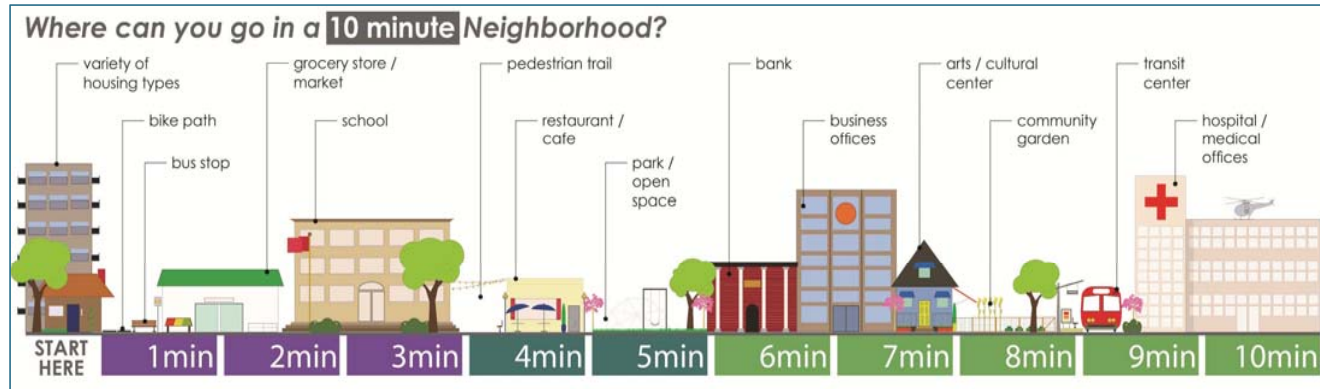
- Public Webinars
- Survey
- Stakeholder Interviews
- Office Hours
- Videos, Social Media, and Website
- Planning Commission and City Council Hearings



Platforms: MetroQuest (pictured above), Zoom, Social Media

Land Use Element

- Provide a land use framework that supports the Housing Element
- Incorporate new policy areas (INTRAConnect, TODO, etc.)



Potential new policy: 10-minute neighborhoods.



Transportation Element

- SB 743
- Incorporate new policy areas (INTRACONnect, TODO, Homefront to the Waterfront, etc.)
- New mobility, TSM, and TDM

- Update with a comprehensive, multi-modal focus
- Align with State legislation (SB 743 and complete streets)
- Incorporate new policy areas, such as 10-minute neighborhoods, and the recommendations from recent plans and studies (INTRACONnect, TODO, Homefront to the Waterfront, etc.)
- New policies related to New Mobility and Transportation Systems Management (TSM)
- Expanded policies related to Transportation Demand Management (TDM)

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Safety Element

- SB 379
- Address climate change and resiliency

Align with recent State requirements (SB 379)

- Climate change vulnerability assessment
- Measures to address vulnerabilities
- Comprehensive hazard mitigation and emergency response strategy

Climate Action Plan (CAP)

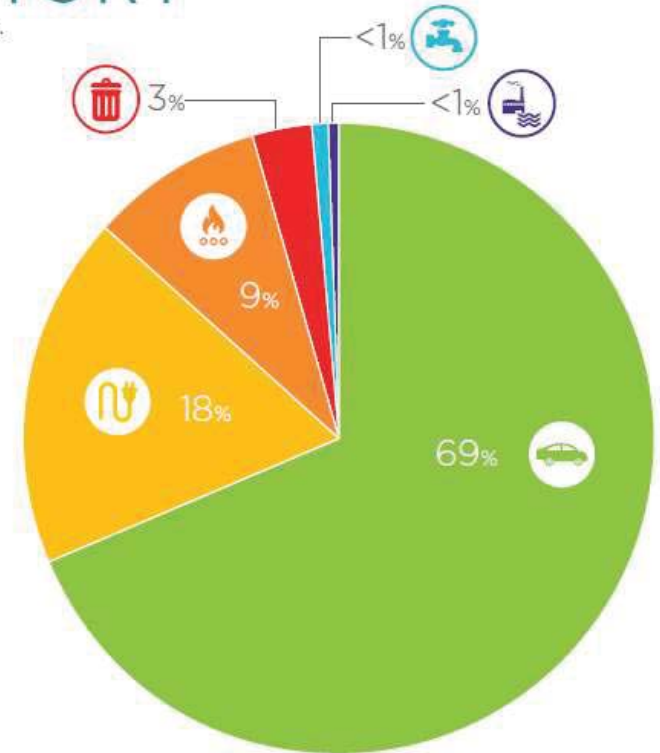
- Update vehicle miles traveled (VMT) projections based on changes to land use and mobility
- Revise the City’s greenhouse gas (GHG) emissions inventory
- Create new 2030 and 2050 emissions targets based on changes in regulations

GHG INVENTORY*

*This GHG inventory is based on 2016 data.

335,200 MT CO₂e

Total GHG emissions estimated for 2016



Source: City of National City ReCAP Snapshot. SANDAG.



What is a Housing Element?

- Required General Plan element
- Contains policies and programs to address housing for all income levels
- 6th Cycle planning period: 2021 to 2029
- Additional requirements set by State law

- One of the required elements of the City's General Plan
- Provides policies and programs for the availability of residential uses for a variety of income levels
- Planning period set by State law
 - *6th Cycle: 2021-2029*
- Determines the City's regional share of housing by income category
- Requires review by the State Department of Housing and Community Development (HCD) for compliance with State law



**5th Cycle Housing Element
Overview**

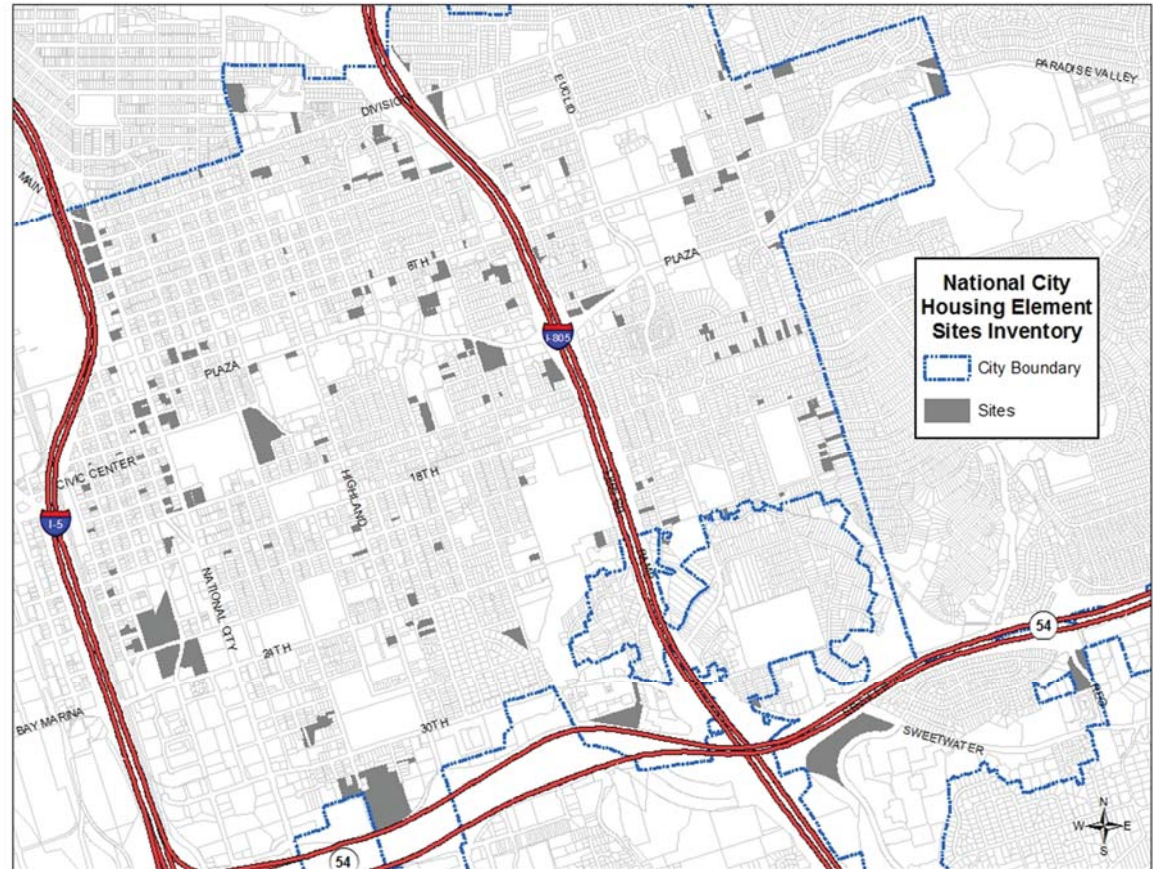
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5th Cycle Housing Element

- Planning Period: 2013-2020
- Target: 1,863 units
- Sites accommodated through:
 - *Downtown Specific Plan Area*
 - *Westside Specific Plan Area*
 - *Various Mixed-Use Districts and Higher-Density Multi-Family zones*



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Goals and Policies

- Goal 1: Maintain and enhance the quality of existing residential neighborhoods.
- Goal 2: Conserve the affordability of the existing housing stock.



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Goals and Policies

- Goal 3: Increase the availability and affordability of safe and sanitary housing for all income groups
- Goal 4: Provide a sufficient number of housing units and range of housing types



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Goals and Policies

- Goal 5: Promote and implement fair housing practices and equal access to housing opportunities
- Goal 6: Enhance housing affordability through energy conservation and design





Legislative Background

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Background Legislation

New legislation passed during 2019 related to:

- Local Density Programs
- Housing Element Requirements
- Surplus Lands
- Accessory Dwelling Unit (ADU) Streamlining
- Removal of Local Barriers to Housing Production

- **AB 68, AB 587, AB 671, AB 881, and SB 31:** Incentivize ADUs through permit streamlining, reduced setback requirements, increased allowable square footage, reduced parking requirements, and reduced fees
- **AB 1763:** Requires jurisdictions to provide a density bonus to development projects that restrict 100% of units to low- and moderate-income households
- **AB 101:** Requires jurisdictions to allow “low barrier navigation centers” by-right in areas zoned for mixed use and in nonresidential zones permitting multifamily uses (i.e., low-barrier, service-enriched shelter focused on moving people into more permanent housing)

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Background Legislation

New legislation passed during 2019 related to:

- Local Density Programs
- Housing Element Requirements
- Surplus Lands
- Accessory Dwelling Unit (ADU) Streamlining
- Removal of Local Barriers to Housing Production

- **AB 686:** Extends requirements for federal grantees and contractors to “affirmatively further fair housing” to public agencies in California (i.e., take meaningful actions that address specific disparities in housing needs and in access to opportunity)
- **AB 1255 and AB 1486:** Seek to identify and prioritize State and local surplus lands available for housing development affordable to lower-income households
- **AB 2162 and SB 2:** Address various methods and funding sources that jurisdictions may use to accelerate housing production

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Background Legislation

New legislation passed during 2019 related to:

- Local Density Programs
- Housing Element Requirements
- Surplus Lands
- Accessory Dwelling Unit (ADU) Streamlining
- Removal of Local Barriers to Housing Production

- **SB 330:** Changes local development policies, permitting, and processes through January 2025. Prevents decreasing the housing capacity of any site, establishing non-objective standards, and requires any proposed demolition of housing units to be replaced or exceed the total number of units demolished.

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Proposed Legislation

Proposals to:

- Restore property tax-based financing for affordable housing and infill
- Lower the vote approval threshold to 55 percent for general obligation bonds and taxes

- **SB 795 (Beall) Affordable Housing and Community Development Investment Program:** Restore a property tax-based financing mechanism focused on building affordable housing and infill infrastructure (up to \$2 billion annually)
- **ACA 1 (Aguiar-Curry) Affordable Housing and Public Infrastructure:** Would allow voters to lower the vote approval threshold from two-thirds to 55 percent for local general obligation bonds, sales taxes, or parcel taxes that invest in affordable housing and infrastructure

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Unsuccessful Legislation

- Unsuccessful proposal for increased building height near major transit

- **SB 50:** Proposal to allow for increased building height to five stories near major transit stops or in job-rich areas



State Density Bonus Program

- Allows for increased density for the provision of affordable and senior housing
- Developers are entitled to benefits and waivers
- Each jurisdiction is required to adopt an ordinance to comply with State law

— **Government Code section 65915**

- *Allows a developer to increase density above the maximum set under a local land use plan when a percentage of units are reserved for very low, low, or moderate income households or seniors*
- *Developers are entitled to receive certain benefits, such as reduced parking standards, and other waivers*
- *Each jurisdiction is required to adopt an ordinance specifying how compliance with State law will be implemented*

Local Policies and Incentives

- **City of San Diego: Housing SD**
- **Augmented Density Bonus Program**
 - *Increased density bonus (beyond State's Density Bonus Program)*
 - *Increased number of development incentives*
 - *Reduced permit process*
 - *Reduced parking ratio*
 - *Off-site affordable dwelling units*
- **Middle Income Density Bonus Program**
 - *Under Development*



Nook – City of San Diego (91 Affordable Micro-Units)

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Inclusionary Housing

- Cities can require affordable/inclusionary housing
- Example Program: City of San Diego

— **City of San Diego: Inclusionary Housing Program**

- *Developers of 2+ housing units are required to pay an Inclusionary Affordable Housing Fee*
- *Developments that set aside at least 10% of housing units as affordable for at least 55 years can be exempt from the Inclusionary Housing Fee*



6th Cycle Housing Element



6th Cycle Regional Housing Needs Assessment (RHNA)

- Planning Period: 2021-2029
- Draft methodology approved by SANDAG Board on September 6, 2019
- Target for this planning cycle: 5,437 units
- Net change from prior planning cycle: +3,574 units

NATIONAL CITY DRAFT 6TH CYCLE RHNA ALLOCATION

Income Group	Percentage of AMI	Share
Very Low Income	31-50	645
Low Income	51-80	506
Moderate Income	81-120	711
Above Moderate Income	>120	3,575
Total		5,437

Source: 6th Cycle Draft RHNA Allocation. SANDAG.



Strategies & Policy Considerations

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6th Cycle Strategies and Policy Considerations

- Adopt an **Accessory Dwelling Unit** ordinance
- Streamline **housing approval** processes
- Develop **objective** design review **standards**
- Analyze **development impact fees**
- Adopt an **inclusionary housing** ordinance
- Establish a **local housing trust**

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6th Cycle Strategies and Policy Considerations

- **Increase** allowable **heights** and densities
- Adopt **transit-oriented development overlay** (TODO) plan
- **Refine and implement parking** requirements
- Promote Fair Housing and **Tenant Protections**
- Establish sustainable service models - an **Enhanced Infrastructure Financing District** (EIFD) or a similar financing tool



Planning Commission Minutes

Planning Commission
Meeting of May 4, 2020
ONLINE ONLY MEETING
<https://www.nationalcityca.gov/webcast>
LIVE WEBCAST
Council Chambers, Civic Center
1243 National City Boulevard
National City, CA 91950

These minutes have been abbreviated. Video recordings of the full proceedings are on file and available to the public.

Agenda Items

The meeting was called to order by Chair Flores at 6:00 p.m.

Roll Call

Commissioners Present: Natividad, Dela Paz, Flores, Sendt, Yamane, Garcia

Commissioners Absent: None.

Staff Also Present: Director of Community Development Armando Vergara, Senior Assistant City Attorney Nicole Pedone, Principal Planner Martin Reeder, Principal Planner Ray Pe

Pledge of Allegiance Presented by Commissioner Flores.

1. Approval of Minutes from the Meeting of March 2, 2020.

Motion by Garcia, second by Natividad to approve the Minutes for the Meeting of March 2, 2020.

Motion carried by the following vote:

Ayes: Natividad, Dela Paz, Flores, Sendt, Yamane, Garcia

Abstain: None.

Noes: None.

Absent: None.

2. Approval of the Agenda for the Meeting of May 4, 2020.

Motion by Nativad, second by Yamane to approve the Agenda for the Meeting of May 4, 2020.

Motion carried by the following vote:

Ayes: Natividad, Dela Paz, Flores, Sendt, Yamane, Garcia

Abstain: None.

Noes: None.

Absent: None.

ORAL COMMUNICATION: None.

PRESENTATIONS:

3. Homefront to Waterfront
Presented by Director of Public Works/City Engineer Roberto Yano, KTUA Principal Mike Singleton, and KTUA Associate Jacob Leon

CONTINUED PUBLIC HEARINGS: None.

PUBLIC HEARINGS

4. Resolution Taking Action on a Conditional Use Permit for the on-site sale of beer and wine at an existing restaurant (Bonchon) located at 1420 Plaza Blvd. Ste. D-04. (Case File No.: 2020-03 CUP)

Presented by Principal Planner Martin Reeder.

Public comment received from Joan Rincon who referenced an existing restaurant.

Applicant Kevin Bang confirmed that he has read, understands, and accepts the conditions.

Motion by Yamane, second by Natividad to close the Public Hearing.

Motion by Natividad, second by Garcia to approve a Resolution Taking Action on a Conditional Use Permit for the on-site sale of beer and wine at an existing restaurant (Bonchon) located at 1420 Plaza Blvd. Ste. D-04. (Case File No.: 2020-03 CUP)

Motion passed by the following vote:

Ayes: Natividad, Dela Paz, Flores, Sendt, Yamane, Garcia

Abstain: None.

Noes: None.

Absent: None.

5. Resolution Taking Action on a Code Amendment amending Section 18.30.320 (Pawn shops and businesses engaged in secondhand dealing and/or the purchase and selling of gold and other precious metals) of Title 18 (Zoning) of the National City Municipal Code. (Case File No.: 2019-24 A)

Presented by Principal Planner Martin Reeder.

Senior Assistant City Attorney advised that the incorrect ordinance was included in the report and provided the correct ordinance language.

Motion by Yamane, second by Sendt to close the Public Hearing and approve a Resolution Taking Action on a Code Amendment amending Section 18.30.320 (Pawn shops and businesses engaged in secondhand dealing and/or the purchase and selling of gold and other precious metals) of Title 18 (Zoning) of the National City Municipal Code. (Case File No.: 2019-24 A) with the caveat that the correct ordinance language include the following statement under Restriction No. 4; “The Chief of Police shall charge a nonrefundable fee(s) or the required renewal fee(s) to cover the costs of processing the police permit and actual costs incurred to process the application and to collect and transmit the fee charged by the Department of Justice.”

Motion passed by the following vote:

Ayes: Natividad, Dela Paz, Flores, Sendt, Yamane, Garcia

Abstain: None.

Noes: None.

Absent: None.

OTHER BUSINESS:

6. Capital Improvement Plan (CIP) General Plan Conformance Review

Presented by Public Works/City Engineer Roberto Yano and Associate Civil Engineer Jose Lopez utilizing a PowerPoint presentation.

Motion by Dela Paz, seconded by Yamane to determine that the proposed Capital Improvement Plan for Fiscal Year 2020-21 is in conformity with the adopted General Plan.

Motion passed by the following vote:

Ayes: Natividad, Dela Paz, Flores, Sendt, Yamane, Garcia

Abstain: None.

Noes: None.

Absent: None.

STAFF REPORTS:

Principal Planner: Mr. Reeder advised that the next meeting would be June 1, 2020.

Nicole Pedone, Senior Assistant City Attorney: None.

Armando Vergara, Director of Community Development: None.

COMMISSIONER REPORTS:

Dela Paz: Inquired about filling the current Planning Commission vacancy. In response, Principal Planner Martin Reeder advised that he would inquire with the City Clerk's office.

Flores: None.

Sendt: None.

Natividad: None.

Garcia: Spoke to the 2020 Census and provided the latest response rate for National City. Thanked staff for their outreach.

Yamane: Congratulated City Engineer Steve Manganiello on his retirement.

ADJOURNMENT by Chair Flores at 7:43 p.m. to the meeting of June 1, 2020.

CHAIRPERSON

The foregoing minutes were approved at the Regular Meeting of June 1, 2020.



COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION
1243 NATIONAL CITY BLVD., NATIONAL CITY, CA 91950

PLANNING COMMISSION STAFF REPORT

Title: PUBLIC HEARING – CONDITIONAL USE PERMIT FOR THE OFF-SITE SALE OF ALCOHOL AND A CONSISTENCY REVIEW FOR A NEW 7-ELEVEN LOCATED AT 110 NATIONAL CITY BOULEVARD.

Case File No.: 2020-05 CUP, DSP

Location: Southwest corner of National City Blvd.

Assessor's Parcel No.: 555-020-15

Staff report by: Chris Stanley, Assistant Planner

Applicant: Steven Pollock

Property owner: Louis Attiq

Zoning designation: Downtown Specific Plan Development Zone 1A

Adjacent zoning / land use:

North: Development Zone 1A / Gas station across National City Blvd.

East: Development Zone 2 / Auto repair and commercial across National City Blvd.

South: Development 1A / Auto upholstery with residential beyond

West: Development Zone 1A / Multi-unit residential and commercial across alley

Environmental review: Categorical Exemption – Class 32, Section 15332 (In-Fill Development Projects)

Staff Recommendation: Approve subject to attached conditions

Staff Recommendation

Staff recommends approval of the Conditional Use Permit (CUP) and Downtown Specific Plan Consistency Review (DSP) for a new 7-Eleven convenience store with the sale of beer, wine, and spirits for off-site consumption, based on the attached findings and subject to the attached Conditions of Approval. This recommendation includes approval of requested deviations from design guidelines related to minimum street frontage and floor area ratio (FAR) requirements.

Executive Summary

The project applicant has applied for a CUP and DSP to construct a 7-Eleven convenience store in a new 2,700 square-foot commercial building. The project site is currently a convenience store (One Ten Liquor) with a legal non-conforming Type 21 (off-sale general) Alcohol Beverage Control (ABC) license. The convenience store proposes to sell beer, wine, and distilled spirits for off-site consumption from 6:00 a.m. to 2:00 a.m. daily. Conditions of Approval recommend that alcohol sales hours end at midnight.

Site Characteristics

The project site is located at the intersection of National City Boulevard and Osborn Street in Development Zone 1A of the Downtown Specific Plan. The parcel has an existing convenience store (One Ten Liquor), which has a legal non-conforming (no CUP) Type 21 ABC license. The surrounding properties are a mixture of commercial, auto repair, and residential land uses.

Proposed Use

The applicant is proposing to demolish the existing building and construct a new 2,700 square-foot convenience store. The 13,500 square-foot property would have eight parking spaces and two one-way driveways for ingress and egress to and from National City Blvd. The property is a corner parcel with National City Blvd, wrapping around the north and east portion of the property line. The proposal also includes the sale of beer, wine, and spirits. Four six-foot tall coolers are proposed for the display of beer and one for the display of wine; there will also be a four-foot tall gondola with four shelves for a room temperature display of wine. These coolers are located approximately 30 feet from the entrance of the store. The display of spirits would be located behind the sales counter in a six-foot tall cabinet, which only 7-Eleven staff would have access. The applicant is requesting alcohol sales between the hours of 6:00 a.m. and 2:00 a.m. daily, the maximum permitted by the State.

Downtown Specific Plan Consistency Review

Projects in the Downtown Specific Plan Area require Consistency Review, which is subject to one of three levels of approval with regard to process. A level one project meets all applicable General Plan, Specific Plan, and Municipal Code requirements; a Level Two project requests variances and/or deviations; a Level Three project requests an amendment to the Downtown Specific Plan that would necessitate additional environmental review (e.g. exceeding the maximum number of units permitted, changing the allowable type of development, etc.).

This project is subject to a Level Two Consistency Review, due to the need for variances/deviations from the development standards – the zone requires a minimum 75% street wall and a minimum floor area ratio (FAR) of 3:1 (three times the lot size), both requirements that are not met by the proposed design.

The Specific Plan designation and zoning for 110 National City Blvd. is Development Zone 1A of the Downtown Specific Plan, which allows for retail, entertainment or employment uses. These uses may be mixed either horizontally or vertically or developed on a parcel-by-parcel or block-by-block basis. Development may be “auto-oriented” (e.g. drive-through restaurant), but National City Boulevard is to have a pedestrian orientation. Mixed-use developments are highly encouraged. Since this development zone is part of the "gateway" to downtown, and National City Boulevard is intended to be its primary "ceremonial" artery, every effort should be made to strengthen the definition, streetscape and pedestrian character of National City Boulevard's pedestrian streetscape.

While mixed-use developments are highly encouraged, they are not required. Development Zone 1A refers to the Major Mixed-Use Corridor (MXC-2) development standards for any development standards not specifically mentioned in the specific plan; as such, the mixed-use zones require buildings to be built to the property line to provide projects that are pedestrian friendly. The proposed 7-Eleven would not be built to the property line, but instead would be constructed with parking in the front and the structure to the rear of the property.

The irregular shape of the parcel makes development that meets these requirements, difficult. Along with the requirement to build to the property line, a minimum 75% street wall is also required, meaning that the structure would need to be built along three fourths or more of the street frontage. The only viable automobile access would then be from the alley, meaning customers would need to turn into the alley to park and continue through the alley to exit; One Ten Liquor is currently configured this way and

suffers from circulation issues as a result. The current proposal would provide access to and from National City Blvd, which is more appropriate.

Public Comment

As discussed below, two emails were forwarded to staff related to the online project presentation, which was a requirement of the CUP application. One of which was from a local developer who stated that the proposal did not meet the goals and objectives of the Downtown Specific Plan, in particular as it relates to housing. While it is true that mixed-use development is highly encouraged in the Downtown Specific Plan area, stand-alone retail use is also permitted. Staff reached out to the project applicant about the possibility of including a residential element in the design (as suggested by the developer in the email previously mentioned); however, the applicant stated that it was not economically feasible for them to do so.

It should be noted that this area is a gateway to the City and could be developed with a landmark project more in line with the overarching goals of the Downtown Specific Plan. However, it is ultimately up to property owners on what they can and cannot accomplish. Although a more ambitious project is possible, it would likely necessitate parcel assemblage and additional funding, things that the property owner has stated are not possible at this time. Parcel assemblage, in particular, is difficult, due to an alley to the west and established or long-term uses further south on the same block (a single-family residence, a long-operating auto upholstery shop, and a commercial building with a telecommunications facility located on the property).

Architecture

In order to take advantage of the unique shape of the property, the proposed building is roughly triangle in shape with the longest building frontage roughly parallel to National City Blvd. (this portion of National City Blvd. is angled at approximately 45 degrees to the northwest as it transitions into Main Street in the City of San Diego). While the building design and layout fits well on the lot, the design is very straightforward, being primarily a tan-colored painted Concrete Masonry Unit block wall. In order to be of more visual interest, as well as consistent with Land Use Code (LUC) design regulations, a condition has been added to require compliance with code requirements related to building aesthetics and materials, among others (No. 23).

Findings for Approval of the Consistency Review

There are no formal findings for approval of a Consistency Review, other than determining consistency with the Downtown Specific Plan. However, the following three findings are included.

1. The design, location, size, and operating characteristics of the proposed activity would be compatible with the existing and future land uses in the vicinity.

The building is new and will improve upon the existing convenience store design by moving it to a location on the property that allows for more function and accessibility. The parcel is an irregular shape that has non-conforming parking making access difficult. If the project adheres to all required standards, the main access would be an alley that would continue the trend of difficult accessibility.

2. The site is physically suitable for the type, density, and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

The proposed use is the same as that existing on-site and is a permitted use per the zoning. The project is far under the maximum Floor Area Ratio (FAR), meaning that both the density and intensity of the project is physically suitable for the site. The existing infrastructure is capable of handling the new development.

3. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA).

Per Section Class 32, Section 15332 (In-Fill Development Projects), the project is categorically exempt from CEQA analysis, as the proposed development replaces the existing use with the same type of use, and because the property can be adequately served by all required utilities and public services.

Required Findings for Approval of the development standards exemptions

While there are no formal findings for approval of the consistency review contained in the Specific Plan, there is the need for a finding to be made in order to approve an exemption from the required development standards. The approving body may approve the exemption based on one of the following findings:

1. The project includes a significant public amenity that would otherwise not be required or be achievable with the strict enforcement of these standards; or

2. The project makes a significant contribution to off-site public space in downtown National City, such as street improvements, public plazas, public park improvements and other improvements that are called for in the Specific Plan.

In this case, the project would be required to contribute a significant amount of money (10% of the project valuation) towards off-site improvements (e.g. curb, gutter, and sidewalk).

In addition, the project is providing significant landscape improvements, including street trees, along the property frontage, thus improving the current area's aesthetics.

Findings for Denial of the Consistency Review

1. While the use itself is consistent with the Downtown Specific Plan, the proposed project does not meet all of the required development standards; the minimum FAR for Development Zone 1A is 3:1. The project also requires a street wall of at least 75% and a maximum street frontage setback of 10 feet, both aspects that the project does not meet.
2. The project does not include a significant public amenity that would otherwise not be required or be achievable with the strict enforcement of the standards contained in the Downtown Specific Plan
3. The project does not make a significant contribution to off-site public space in downtown National City, such as public plazas, public park improvements and other improvements that are called for in the Specific Plan, with the exception of required street improvements generally included as conditions of any development project.

Alcohol Sales

Section 18.30.050 of the LUC allows for the off-site sale of alcoholic beverages with an approved CUP. Additional requirements for alcohol CUPs include expanded notification, a community meeting, and distance requirements.

Mailing - All property owners and occupants within a distance of 660 feet are required to be notified of a public hearing for alcohol-related CUP applications. Notice of this public hearing was sent to 190 occupants and owners.

Community Meeting - Pursuant to LUC Section 18.30.050 (C), a community meeting is required to be held by the applicant prior to a public hearing at Planning Commission.

Because of the social distancing requirements necessary due to the COVID-19 pandemic, it was not possible to hold a traditional community meeting, as required. However, the applicant worked with Planning staff on finding an alternative solution to meet the requirement. The applicant posted a pre-recorded project description on YouTube and included the presentation link in the mailer informing all owners and occupants of the project. Comments received via the email address were forward to Planning staff for inclusion in the staff report. The video was uploaded on Monday, April 20, 2020 and the owners and occupants were given two weeks (May 4, 2020) to view the video and provide comment. There were 100 views of the video and, two emails received on the project, which were forwarded to staff. The meeting advertisement and comments are attached (Attachment 5). According to the applicant, the same 190 occupants and owners that were notified of the Planning Commission meeting were notified of the community meeting. One of the responses to the video is discussed above. The other was from a community member who supported the current business and stated they wished it to remain.

Distance Requirements

The LUC states that a business shall not be located within 660 feet of any public school. The closest public school is Central Elementary School, which is over 3,000 feet away.

Alcohol Sales Concentration/Location – Per The California Department of Alcoholic Beverage Control, there are currently seven off-sale permits issued in the subject census tract (219). These permits are:

Name	Address	License Type*	CUP	Close
Arco Gas Station	133 W 8 th St.	20	Yes	11 p.m.
Valero Gas Station	10 Osborn St.	20	Yes	12 a.m.
One Ten Liquor & Market	110 National City Blvd.	21	No	2 a.m.
Big B Market	1540 Coolidge Ave.	20	No	2 a.m.
Cozine’s Grocery	402 Civic Center Dr.	21	Yes	10 p.m.
My Goody’s	2424 Hoover Ave. Ste. ‘E’	20	Yes	9 p.m.
Shell Gas Station	3230 National City Blvd.	20	Yes	10 p.m.

- * Type 20 - Off-Sale Beer and Wine
- Type 21 - Off-Sale General

Three of the off-sale licenses are gas stations, and the remaining four are markets. The attached census tract map shows the location of the subject tract. ABC recommends

that a total of four off-sale alcohol permits be issued in this census tract, where seven exist. However, there will be no net increase in the number of licenses, due to the existing license carrying over to the new business. It should be noted that, while there is no existing CUP for the property, and thus no City conditions on the ABC license (as with conditionally-permitted businesses), conditions included in this CUP application will be placed on the ABC license when it is transferred to the new operator.

It should be noted that there are nine other 7 Eleven locations in the City. All but one have an ABC Type 20 (off-sale beer and wine) license. Only the location at 3100 East Plaza Blvd. has a Type 21 (off-sale general) license, as is being requested in this case.

Hours of operation

As noted in the table above, only the two existing ABC licenses without a CUP (of which this CUP would replace one) have a closing time after midnight (the maximum allowed by the state is 2 a.m.). One of the five outlets with a CUP closes at 12 a.m. and is located across the street to the north of the project (10 Osborn Street). The remaining outlets close at 11 p.m. or before. The most recent CUP approval (3230 National City Blvd.), which was approved in 2019, has alcohol sales hours ending at 10 p.m. In order to be consistent with recent approvals, it is suggested that the proposed 7-Eleven have alcohol sales hours no later than midnight. Conditions of approval reflect this time (No. 8).

Police Department

Based on a Risk Assessment provided by the Police Department, 7-Eleven has a risk factor of 15 points, which is a medium risk (13-18 points) out of 24. Each category has a maximum of three points possible. The business received three points for hours of operation (closing after 11:00 pm), three points for crime rate (high), and three points for alcohol businesses per census tract.

Institute for Public Strategies (IPS)

IPS stated that they had no concerns in regards to the project and as such had no comments on the project.

Required Findings for Approval of the CUP

The Municipal Code contains six required findings for CUPs as follows:

1. The proposed use is allowable within the applicable zoning district pursuant to a Conditional Use Permit and complies with all other applicable provisions of the Land Use Code.

The use is allowable within Development Zone 1A pursuant to a CUP, and the proposed use meets the required guidelines in the LUC for the sale of alcoholic beverages, as discussed in the staff report.

2. The proposed use is consistent with the General Plan and any applicable specific plan.

The commercial use is consistent with the General Plan and Downtown Specific Plan designation of Development Zone 1A, which allows for retail uses.

3. The design, location, size, and operating characteristics of the proposed activity would be compatible with the existing and future land uses in the vicinity.

The existing use of the property is a local market/liquor store, which is practically the same as the proposed use; there would be little change in operating characteristics related to alcohol sales other than the use coming into compliance with City Council Policy 707, which regulates alcohol sales.

4. The site is physically suitable for the type, density, and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

The proposed 2,700 square-foot building can accommodate the proposed alcohol sales, without resulting in an increase in demand for parking on the property.

5. Granting the permit would not constitute a nuisance or be injurious or detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone in which the property is located.

There are conditions limiting the hours of alcohol sales and establishing operating regulations, which increase the compliance of the proposed business over the previous business, which did not have a CUP and was only regulated by ABC license requirements.

6. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA).

The alcohol sales portion of this application is not subject to CEQA, as it is not considered a project per section 15378. The sale of alcohol would not result in a physical impact.

The following conditions also apply to this CUP:

7. The proposed use is deemed essential and desirable to the public convenience or necessity.

The alcohol sales will contribute to the viability of the convenience store, an allowed use in Development Zone 1A. Alcohol sales would also add to the convenience of the consumer, in that customers would be able to purchase alcohol at the same outlet that they are purchasing other products and not need to visit multiple locations, thus reducing vehicle trips.

8. Based on findings 1 through 7 above, public convenience and necessity will be served by a proposed use of the property for the retail sales of alcoholic beverages pursuant to law.

Findings for Denial of the CUP

1. That granting the permit would constitute a nuisance or be injurious or detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone in which the property is located, because increased alcohol sales may contribute to the high crime rate in the area.
2. The proposed use is not deemed essential and desirable to the public convenience and necessity because there are six other off-sale alcohol outlets located in the same census tract as the subject property where alcohol can be purchased.
3. That based on findings 1 and 2 above, public convenience and necessity will not be served by a proposed use of the property for the retail sales of alcoholic beverages pursuant to law.

Conditions of Approval

Comments were received from the Engineering and Fire departments; the comments focused on Building and Fire Code requirements. All comments are included as

Conditions of Approval. In addition, standard Council Policy 707 conditions for off-site alcohol sales have been included with this permit (hours of operation, employee training, accessory sales, etc.). In addition to the alcohol-related conditions, there are also Planning Division conditions related to development standards that will be reviewed during the building permit process (e.g. building design, site design, and landscaping).

Summary

The proposed convenience store meets all of the requirements of the LUC in regards to alcohol sales for off-site consumption due to the use being conditionally-allowed in Development Zone 1A. The project is not consistent with all of the development standards of the LUC and Downtown Specific Plan in regards to setbacks and FAR. However, it should be mentioned that the parcel suffers from an irregular shape and from access issues stemming from it being adjacent to a major access point to National City from the freeway (National City Boulevard). In addition, the alley adjacent to the westerly property line affects its ability to meet these standards. Furthermore, the project will contribute jobs and sales tax to the City.

The addition of alcohol sales is not expected to increase the demand for parking, other services on the property, or have any significant effects on the area. Conditions of approval are intended to offset potential impacts which may result from operation of the business. The hours of alcohol sales, as recommended by staff, are from 6:00 a.m. to 12:00 a.m. daily. Staff is recommending approval based on the findings of this report.

OPTIONS

1. Approve 2020-05 CUP, DSP subject to the conditions listed below, based on attached findings; or
2. Deny 2020-05 CUP, DSP based on attached findings and findings to be determined by the Planning Commission; or,
3. Continue the item for additional information.

ATTACHMENTS

1. Recommended Findings
2. Recommended Conditions
3. Overhead
4. Applicant's Plans (Exhibit A Case File No. 2020-05 CUP, DSP, dated 3/9/2020)
5. Public Hearing Notice (Sent to 190 property owners and occupants)
6. Community meeting advertisement and comments
7. Police Dept. comments
8. Census Tract and Police Beat maps
9. City Council Policy 707
10. CEQA Notice of Exemption
11. Resolutions



CHRIS STANLEY
Assistant Planner



ARMANDO VERGARA
Director of Community Development

RECOMMENDED FINDINGS FOR APPROVAL OF THE CONSISTENCY REVIEW

2020-05 CUP, DSP – 110 National City Blvd.

1. The design, location, size, and operating characteristics of the proposed activity would be compatible with the existing and future land uses in the vicinity, because the building is new and will improve upon the existing convenience store design by moving it to a location on the property that allows for more function and accessibility.
2. The site is physically suitable for the type, density, and intensity of use being proposed, including access, utilities, and the absence of physical constraints, because the proposed use is the same as that existing on-site and is a permitted use per the zoning. The project is also under the maximum permissible floor area ratio and provides excess parking on site. In addition, the existing infrastructure is capable of handling the new development.
3. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA) and is considered to be categorically exempt from CEQA analysis per Section Class 32, Section 15332 (In-Fill Development Projects). The proposed development replaces the existing use with the same type of use and the property can be adequately served by all required utilities and public services.

RECOMMENDED FINDING FOR APPROVAL OF THE EXEMPTIONS FROM THE DEVELOPMENT STANDARDS

1. The project would be required to contribute a significant amount of money (10% of the project valuation) towards off-site improvements (e.g. curb, gutter, sidewalk). In addition, the project is providing significant landscape improvements, including street trees, along the property frontage, thus improving the current area's aesthetics.

RECOMMENDED FINDINGS FOR APPROVAL OF THE CONDITIONAL USE PERMIT

1. The proposed use is allowable within the applicable zoning district pursuant to a Conditional Use Permit and complies with all other applicable provisions of the Land Use Code, because the use is allowable within Development Zone 1A pursuant to a CUP, and the proposed use meets the required guidelines in the LUC for the sale of alcoholic beverages, as discussed in the staff report.
2. The proposed use is consistent with the General Plan and any applicable specific plan, because the commercial use is consistent with the General Plan and

Downtown Specific Plan designation of Development Zone 1A, which allows for retail uses.

3. The design, location, size, and operating characteristics of the proposed activity would be compatible with the existing and future land uses in the vicinity, because the existing use of the property is a local market/liquor store, which is practically the same as the proposed use; there would be little change in operating characteristics related to alcohol sales other than the use coming into compliance with City Council Policy 707, which regulates alcohol sales.
4. The site is physically suitable for the type, density, and intensity of use being proposed, including access, utilities, and the absence of physical constraints, because the proposed 2,700 square-foot building can accommodate the proposed alcohol sales, without resulting in an increase in demand for parking on the property.
5. Granting the permit would not constitute a nuisance or be injurious or detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone in which the property is located, because issuance of the discretionary permit will increase the compliance of the proposed business over the previous business, which did not have a CUP and was only regulated by ABC license requirements, because they can lose the right to sell if all conditions are not met
6. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA), because the alcohol sales portion of this application is not subject to CEQA, as it is not a considered a project per section 15378. The sale of alcohol would not result in a physical impact.
7. The proposed use is deemed essential and desirable to the public convenience or necessity, because the alcohol sales will contribute to the viability of the convenience store, an allowed use in Development Zone 1A. Alcohol sales would also add to the convenience of the consumer, in that customers would be able to purchase alcohol at the same outlet that they are purchasing other products and not needing to visit multiple locations for their needs, thus reducing vehicle trips.
8. Based on findings 1 through 7 above, public convenience and necessity will be served by a proposed use of the property for the retail sales of alcoholic beverages pursuant to law.

RECOMMENDED FINDING FOR DENIAL OF THE CONSISTENCY REVIEW

2020-05 CUP, DSP – 110 National City Blvd.

1. While the use itself is consistent with the Downtown Specific Plan, the proposed project does not meet all of the required development standards; the minimum FAR for Development Zone 1A is 3:1. The project also requires a street wall of at least 75% and a maximum street frontage setback of 10 feet, both aspects that the project does not meet.

RECOMMENDED FINDINGS FOR DENIAL OF THE EXEMPTIONS FROM THE DEVELOPMENT STANDARDS

1. The project does not include a significant public amenity that would otherwise not be required or be achievable with the strict enforcement of the standards contained in the Downtown Specific Plan
2. The project does not make a significant contribution to off-site public space in downtown National City, such as public plazas, public park improvements and other improvements that are called for in the Specific Plan, with the exception of required street improvements generally included as conditions of any development project.

RECOMMENDED FINDINGS FOR DENIAL OF THE CONDITIONAL USE PERMIT

1. That granting the permit would constitute a nuisance or be injurious or detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone in which the property is located, because increased alcohol sales may contribute to the high crime rate in the area.
2. The proposed use is not deemed essential and desirable to the public convenience and necessity because there are six other off-sale alcohol outlets located in the same census tract as the subject property where alcohol can be purchased.
3. That based on findings 1 and 2 above, public convenience and necessity will not be served by a proposed use of the property for the retail sales of alcoholic beverages pursuant to law.

RECOMMENDED CONDITIONS OF APPROVAL

2020-05 CUP, DSP – 110 National City Blvd.

General

1. This *Conditional Use Permit and Downtown Specific Plan Consistency Review* authorizes the sale of alcohol for off-site consumption at 110 National City Blvd. Plans submitted for permits associated with this project shall conform to Exhibit A, Case File No. 2020-05 CUP, DSP dated 3/9/2020.
2. Before this *Conditional Use Permit and Downtown Specific Plan Consistency Review* shall become effective, the applicant and the property owner shall both sign and have notarized an Acceptance Form, provided by the Planning Division, acknowledging and accepting all conditions imposed upon the approval of this permit. Failure to return the signed and notarized Acceptance Form within 30 days of its receipt shall automatically terminate the *Conditional Use Permit and Downtown Specific Plan Consistency Review*. The applicant shall also submit evidence to the satisfaction of the Planning Division that a Notice of Restriction on Real Property is recorded with the County Recorder. The applicant shall pay necessary recording fees to the County. The Notice of Restriction shall provide information that conditions imposed by approval of the *Conditional Use Permit and Downtown Specific Plan Consistency Review* are binding on all present or future interest holders or estate holders of the property. The Notice of Restriction shall be approved as to form by the City Attorney and signed by the Director of Community Development prior to recordation.
3. This permit shall become null and void if not exercised within one year after adoption of the resolution of approval unless extended according to procedures specified in the Municipal Code.
4. This permit shall expire if the use authorized by this resolution is discontinued for a period of 12 months or longer. This permit may also be revoked, pursuant to provisions of the Land Use Code, if discontinued for any lesser period of time.
5. This *Conditional Use Permit* may be revoked if the operator is found to be in violation of any Conditions of Approval.
6. Violation of the ABC license for the business located at this property shall constitute a violation of this Conditional Use Permit.

Planning

7. The sale of alcohol shall be permitted only between the hours of 6 a.m. to 12 a.m. daily.
8. Coolers containing alcohol products shall be locked and made inaccessible to the public between the hours of 12:00 a.m. and 6:00 a.m.

9. The sale of beer or malt beverages in quantities of quarts, 22 ounce, 32 ounce, 40 ounce, or similar size containers is prohibited.
10. No beer products shall be sold of less than manufacturer's pre-packaged three-pack quantities of 24 ounce cans per sale. There shall be no sale of single cans or bottles.
11. No sale of wine shall be sold in containers of less than 750 milliliters. The sale of wine with an alcoholic content greater than 15% by volume is prohibited.
12. Flavored malt beverages, also known as premium malt beverages and flavored malt coolers, and sometimes commonly referred to as wine coolers, may be sold only by four-pack or other manufacturer's pre-packaged multi-unit quantities.
13. The consumption of alcoholic beverages is prohibited on the subject premises, and on all parking lots and outbuildings and any property or adjacent property under the control of the applicant.
14. All cups and containers shall be sold at or above prevailing prices and in their original multi-container packages of no fewer than 12, and no cups and containers shall be given free of charge.
15. Ice may be sold only at or about prevailing prices in the area and in quantities of not less than three pounds per sale. Ice shall not be provided free of charge.
16. The display of alcoholic beverages shall be limited to an area in substantial conformance with Exhibit A, Case File No. 2020-05 CUP, DSP, dated 3/9/2020.
17. Permittee shall post signs on the exterior building walls in compliance with Chapter 10.30.070 of the National City Municipal Code. Additionally, the permittee shall post signs, to be approved by the Planning Division, at each entrance to the applicant's premises and parking lot, prohibiting loitering and consumption of alcohol on the premises and adjacent property under his control. Said signs shall not be less than 17 by 22 inches in size, with lettering not less than one inch in height. The signs shall read as follows:
 - a. "No open alcoholic beverage containers are allowed on these premises."
 - b. "No loitering is allowed."
18. Containers of alcohol may not be stored on the premises, after being sold to patrons, for the purpose of later consumption.
19. Exterior advertising and signs of all types, promoting or indicating the availability of alcoholic beverages, including advertising/signs directed to the exterior from within, are prohibited. Interior displays of alcoholic beverages and signs, which are clearly visible to the exterior, shall constitute a violation of this condition.
20. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of all other commodities during the same period. The applicant shall at all times keep records

which reflect separately the gross sales of alcoholic beverages and the gross sales of all other items. Said records shall be kept no less frequently than on a quarterly basis and shall be made available to the City Finance Department and any Peace Officer of the California Department of Alcoholic Beverage Control upon demand.

21. All sellers and servers of alcohol shall receive Responsible Beverage Service and Sales (RBSS) training, including all owners, and managers. The RBSS training must be certified by the Department of Alcoholic Beverage Control (ABC). Proof of completion of an approved RBSS program must be provided prior to issuance of a city business license. As part of the RBSS training, the permittee shall make available a domestic violence training session as provided by the Institute of Public Strategies.
22. A landscape and underground irrigation plan shall be submitted as part of the construction permitting process. All landscaping and irrigation improvements shall be maintained for the life of the project.
23. Plans submitted for construction shall conform to Land Use Code Sections 18.42.040 (Screening mechanical equipment and elevator housing), 18.42.050 (Commercial and institutional building design standards.), and 18.46 (Outdoor Lighting).
24. Security lighting shall be installed on the west elevation of the building along the alley. The lighting shall be shielded so as not to shine directly towards adjacent residential properties.
25. Plans submitted for construction permits shall show that a non-combustible cover for all trash enclosures be provided. Trash enclosure gates shall not open into the City right-of-way (i.e. alley).
26. All proposed business signage shall be in conformance with Land Use Code requirements. Signs are limited to one sign per frontage along a street, freeway, parking lot, or alley.

Engineering

27. A drainage plan shall be submitted showing all of the proposed and existing on-site and off-site improvements. The plan shall be prepared by a Registered Civil Engineer, or other qualified professional, and shall be in accordance with the City requirements.
28. The Storm Water BMP Requirements Applicability Form I-1 and if required I-2 checklist for the National Pollutant Discharge Elimination System (NPDES) is required to be completed and submitted to the Engineering Department. The checklist will be required when a project site is submitted for review of the City Departments. The checklist is available at the Engineering Division web site at the link below *. If it is determined that the project is subject to the "Priority Project Permanent Storm Water

BMP Requirements” and the City of National City Storm Water Best Management Practices of the Jurisdictional Urban Runoff Management Program (JURMP) approved Standard Urban Storm Water Mitigation Plan (SUSMP) documentation will be required prior to issuance of an applicable engineering permit. The SUSMP shall be prepared by a Registered Civil Engineer.

*<http://www.nationalcityca.gov/city-government/engineering-public-works/engineering-division/online-services-forms-fees>.

29. All existing and proposed curb inlet on property shall be provided with a “No Dumping” signage in accordance with the NPDES program.
30. A sewer permit will be required. The method of sewage collection and disposal shall be shown on the grading/drainage plan. Any new sewer lateral in the City right-of-way shall be of 6-inch size with a clean out. A sewer stamp “S” shall be provided on the curb to mark the location of the lateral.
31. Separate street and sewer plans prepared by Registered Civil Engineer, shall be submitted showing all of the existing and proposed improvements. The plans shall be in accordance with City requirements.
32. The deteriorated portions of the existing street improvements along the property frontages shall be removed and replaced. Those portions of the alley and sidewalk adjacent to the property as marked in the field.
33. The existing street improvements along the property frontage(s) shall be kept free from weed growth by the use of special weed killers, or other approved methods.
34. All existing survey monuments, including any benchmark, within the boundaries of the project shall be shown on the plans. If disturbed, a licensed land surveyor or civil engineer shall restore them after completion of the work. A Corner Record shall be filed with the County of San Diego Recorder. A copy of the documents filed shall be given to the City of National City Engineering Department as soon as filed.
35. A permit shall be obtained from the Engineering Department for all improvement work within the public right-of-way, and any grading construction on private property.
36. Street improvements shall be in accordance with the City Standards. All missing street improvements shall be constructed. Abandoned driveway aprons shall be replaced with curb, gutter, and sidewalks.

37. A title report shall be submitted to the Engineering Department, after the Planning Commission approval, for review of all existing easements and the ownership at the property.

38. The existing sewer lateral is not of the minimum size required by the City. The building shall have a new six inch lateral installed to the street main.

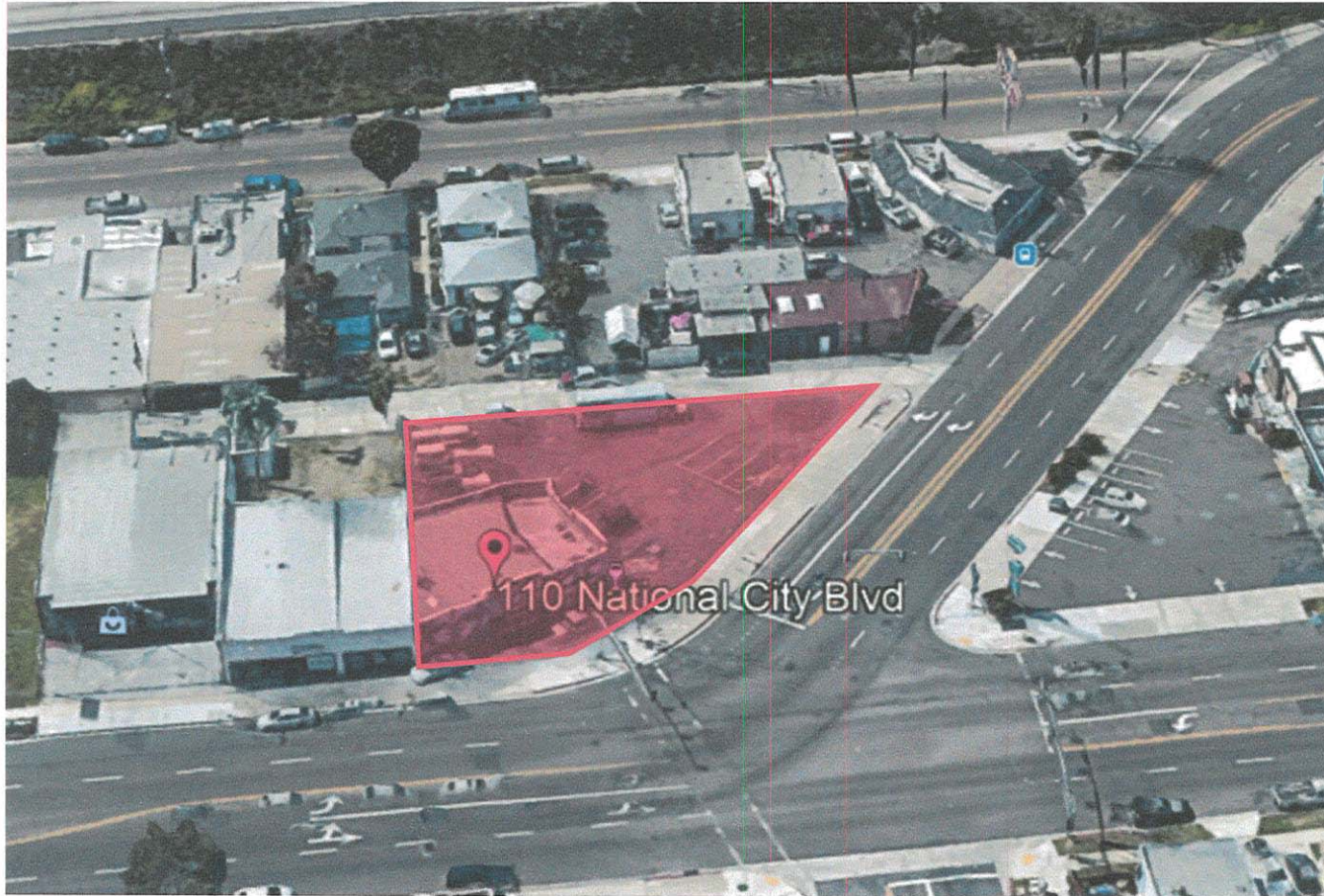
Fire

39. Project shall be designed to the current editions of NFPA, CFC and CCR.

Building

40. Plans submitted for demolition or construction improvements must comply with the current editions of the California Building, Electrical, Plumbing, Mechanical, and Fire Codes.

2020-05 CUP, DSP – 110 National City Blvd. – Overhead





7-ELEVEN

CONDITIONAL USE PERMIT FOR ALCOHOLIC BEVERAGE OUTLET

7-11. #1043592
110 NATIONAL CITY BLVD.
NATIONAL CITY, CA 91950

SHEET INDEX

- 1 - COVER SHEET
- 2 - CONCEPTUAL SITE PLAN
- 3 - CONCEPTUAL LANDSCAPE PLAN
- 4 - A2.0-FLOOR PLAN
- 5 - A3.0-EXTERIOR ELEVATIONS
- 6 - A3.1-EXTERIOR ELEVATIONS
- 7 - A3.2-EXTERIOR ELEVATIONS
- 8 - A3.3-EXTERIOR ELEVATIONS

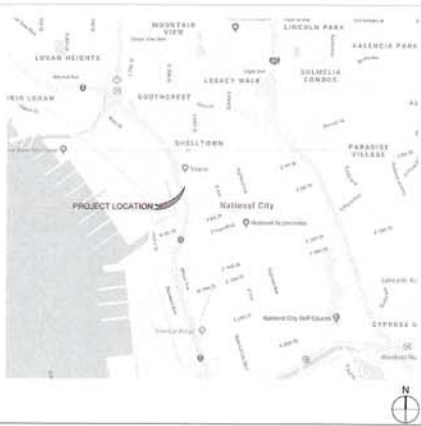
REQUEST

A CONDITIONAL USE PERMIT (CUP) PURSUANT TO NATIONAL CITY MUNICIPAL CODE 18.30.050 FOR AN ALCOHOLIC BEVERAGE OUTLET IN THE 1A ZONE. HOURS OF OPERATION ARE TO BE 24 HOURS PER DAY, 7 DAYS A WEEK.

DEVELOPMENT SUMMARY

PROJECT NAME: 7-ELEVEN #1043592
OWNER'S ADDRESS: 3205 HACKBERRY RD. IRVING, TX 75063
YEAR CONSTRUCTED: N/A
ZONING DISTRICT: 1A- DEVELOPMENT ZONE 1A
APR: 185-03-15-00
LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED NATIONAL CITY, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
LOTS 20, 21 AND 22 IN BLOCK 2 OF NATIONAL CITY, IN THE CITY OF NATIONAL CITY, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 348, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 5, 1995.
ALSO ALL THAT PORTION OF THE SOUTH HALF OF FIRST STREET IN SAID NATIONAL CITY ADJOINING SAID LOT 22 IN SAID BLOCK 2 ON THE NORTH AS CLOSED JANUARY 7, 1913, BY RESOLUTION NO. 347, BY THE BOARD OF TRUSTEES OF THE CITY OF NATIONAL CITY.
EXCEPTING FROM SAID LOTS 21 AND 22 THAT PORTION THEREOF CONVEYED BY SAN DIEGO LAND COMPANY, A CORPORATION, TO THE CITY OF NATIONAL CITY BY DEED RECORDED IN BOOK 923, PAGE 255 OF DEEDS, RECORDS OF SAID SAN DIEGO COUNTY

VICINITY MAP



SITE LOCATION MAP



VICINITY MAP
NOT TO SCALE

PROJECT DATA

BUILDING CODE:	2016 CALIFORNIA BUILDING CODE
MECHANICAL CODE:	2018 CALIFORNIA MECHANICAL CODE
PLUMBING CODE:	2018 CALIFORNIA PLUMBING CODE
ELECTRICAL CODE:	2018 CALIFORNIA ELECTRICAL CODE
ENERGY CODE:	2019 CALIFORNIA ENERGY CODE
GAS CODE:	2019 CALIFORNIA GAS CODE
BUILDING OCCUPANCY:	M-AMERCANTILE
CONSTRUCTION TYPE:	SB NON-SPRINKLERED
PROPERTY AREA:	11,226 SF
TOTAL BUILDING AREA:	42,700 SF
LANDSCAPE AREA:	2,248 SF

PROJECT DIRECTORY

7-ELEVEN CONSTRUCTION MANAGER
ROGER SHADOWNIK
7-ELEVEN, INC.
3205 HACKBERRY RD
IRVING, TX 75063
ROGER.SHADOWNIK@7-11.COM
858.780.9529

ENGINEER
MATTHEW BARLOW, PE
KIMLEY-HORN AND ASSOCIATES, INC.
401 B ST #600
SAN DIEGO, CA 92101
MATTHEW.BARLOW@KIMLEY-HORN.COM
619.744.0142

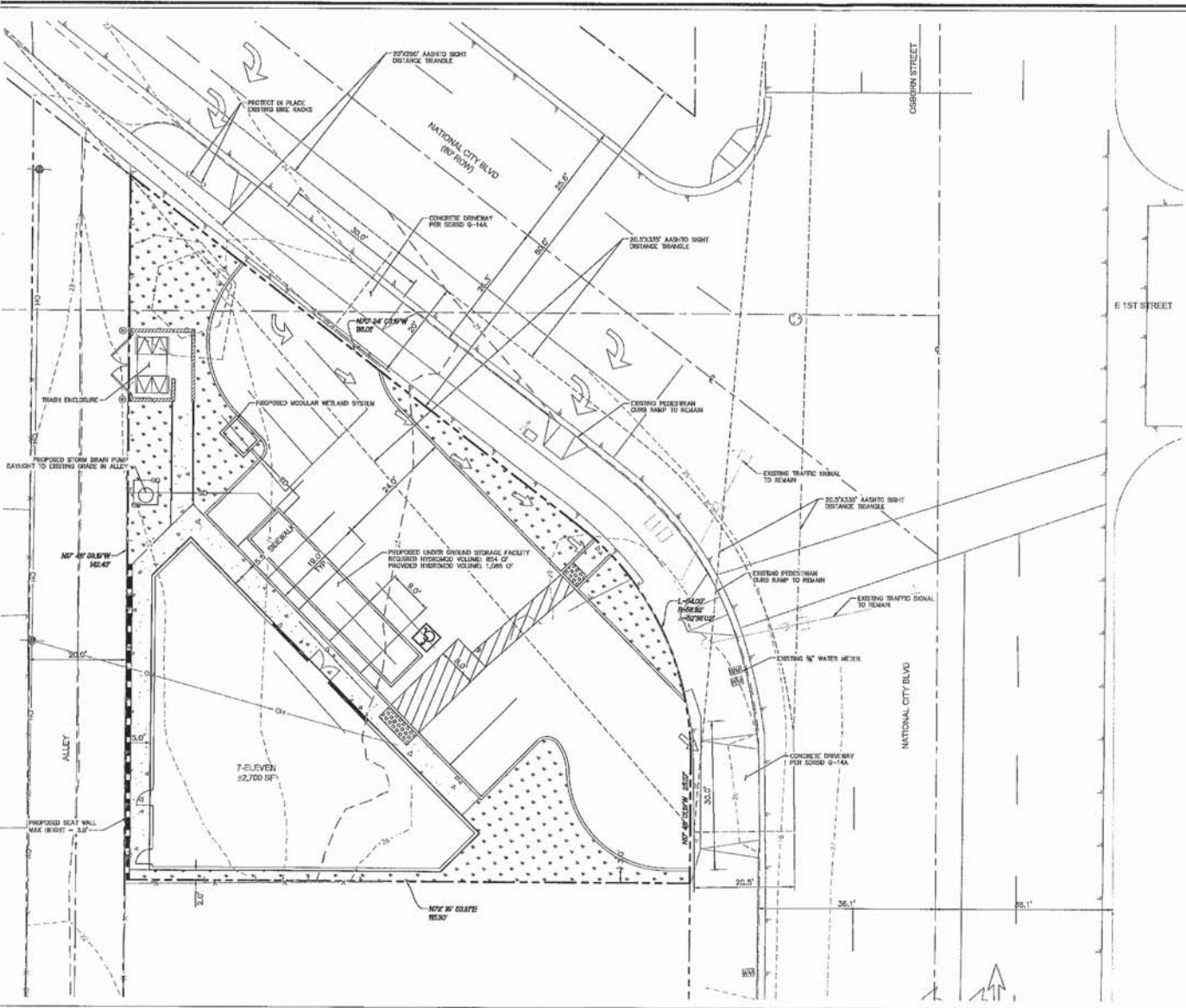
NOTE: CONTACT THE CONSTRUCTION PROJECT MANAGER FOR ALL REVISIONS, QUESTIONS REGARDING RECORDS, OR FOR A LIST OF GENERAL CONTRACTORS.

ARCHITECT
LYONS WARREN ENGINEERS + ARCHITECTS
1950 CAHOGA ST.
SAN DIEGO, CA 92128
LWA@LYONSWARREN.COM
619.573.8999

SURVEYOR
MICHAEL KRAPTON
KIMLEY-HORN AND ASSOCIATES, INC.
401 B ST #600
SAN DIEGO, CA 92101
MICHAEL.KRAPTON@KIMLEY-HORN.COM
619.744.0142

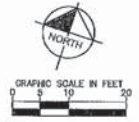
EXHIBIT: A
CASE FILE NO.: 2020-05 CUP, ASP
DATE: 3-9-20

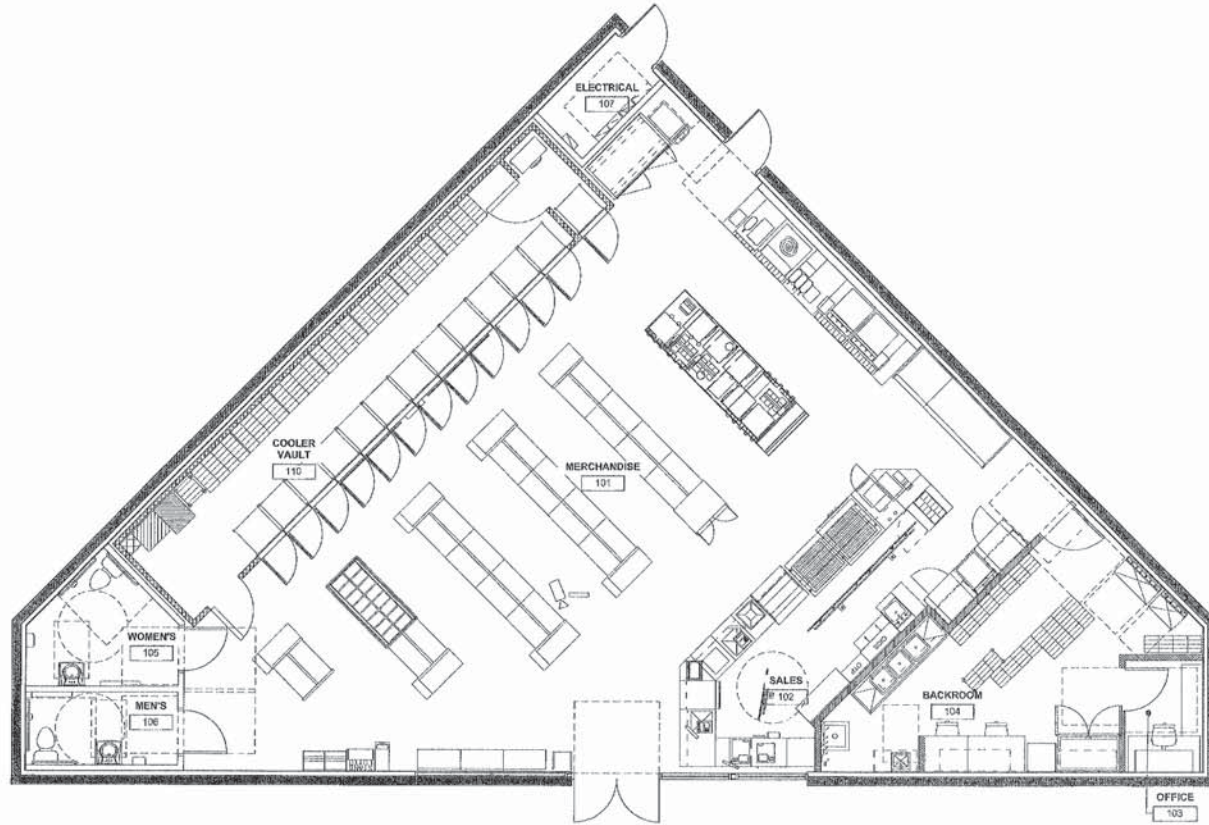
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SITE INFORMATION

ASSESSORS PARCEL NUMBER	55-020-015
SITE LOCATION	110 NATIONAL CITY BLVD, NATIONAL CITY, CA
TOTAL SITE AREA	46,257 AC
EXISTING ZONING	DEVELOPMENT ZONE 1A - NATIONAL CITY DOWNTOWN SPECIFIC PLAN
PROPOSED ZONING	NO CHANGE
EXISTING USE	CONVENIENCE STORE
PROPOSED USE	CONVENIENCE STORE
PROPOSED BUILDING AREA	2,700 SF
BUILDING SETBACK	0' MIN / 10' MAX
LANDSCAPE SETBACK	2' MIN ABUTTING STREET
PARKING REQUIREMENTS	2 SPACES PER 1000 SF
PARKING STALLS REQUIRED	5
PARKING STALLS PROVIDED	8





LAYOUT INFORMATION

ROLLER GRILLS	2 (SELF SERVE)
SANDWICH CASE	9'
VAULT DOORS	12
LOW TEMP DOORS	2
ICE MERCH. DOORS	1
NOVELTY CASE	1
BAKERY CASE	1 (LG)
SLURPEE BARRELS	8

GONDOLA UNITS (60"H)	28
END CAPS (60"H)	07
POWER WINGS	(06) - NOT IN TOTAL
LOW WALLS (36"H)	03
HIGH WALLS (72"H)	00
TOTAL	38

TOTAL SQ FT	= 2,700 SF
SALES FLOOR AREA	= 1,682 SF

GAS: NO LIQUOR: YES
 BEER: YES WINE: YES

OCCUPANCY LOAD (>49) = 53
 TRAVEL DISTANCE (<200) = 96'
 COMMON PATH OF TRAVEL (<75) = 30'
 RESTROOMS REQUIRED = 2
 EXITS REQUIRED = 2

OVERHEAD SHELVES = 37 FT
 FLOOR SHELVES = 32 FT

WALL TYPE LEGEND

CMU WALL	
WALL FURRING	
NEW WALL	
NEW PARTIAL HEIGHT WALL	
NEW COOLER WALL	

OCCUPANCY CALCULATION

MERCHANDISE
 KITCHEN / SALES
 STORAGE / BACK ROOM
 OFFICE
 RESTROOM

1392 SF	/	30	=	47 PEOPLE
290 SF	/	200	=	2 PEOPLE
794 SF	/	300	=	3 PEOPLE
57 SF	/	100	=	1 PERSON
167 SF	/	N/A	=	0 PEOPLE

TOTAL = 53 PEOPLE



1043592 - NATIONAL CITY, CA - LAYOUT 2

110 NATIONAL CITY BLVD
 NATIONAL CITY, CA

SCALE: 1/4"=1'-0"

APPROVED: YES NO

00/00/18

06/05/18

7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING, TEXAS 75038 7-ELEVEN #1043592 110 NATIONAL BLVD NATIONAL CITY, CA 91960 FLOOR PLAN	Description Date Rev. # PROTO 10-23-2019 7-ELEVEN #1043592 110 NATIONAL BLVD NATIONAL CITY, CA 91960 FLOOR PLAN LYONS WARREN ARCHITECTS & ENGINEERS 1800 JENSEN ST. SAN DIEGO, CA 92108-6002 (619) 572-2899 lyons@lyonswarren.com (619) 572-2899
JOB#: SEI-1500 Scale: AS NOTED DWG#: 1/24/2020 Drawn By: KC Checked By: RS	Drawn By: KC Checked By: RS I am a registered professional engineer in the State of California. My license number is 11111. SHEET: A2.0



ALCOHOL - SALES FLOOR

- BEER SALES AREA = 30 SF
- WINE SALES AREA = 21 SF
- LIQUOR SALES AREA = 9 SF
- ALCOHOL STORAGE AREA

- OCCUPANCY CALCULATION**
- MERCHANDISE
 - KITCHEN / SALES
 - STORAGE/ BACK ROOM
 - OFFICE
 - RESTROOM

1392 SF	/	30	=	47 PEOPLE
290 SF	/	200	=	2 PEOPLE
794 SF	/	300	=	3 PEOPLE
57 SF	/	100	=	1 PERSON
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LOW WALLS (36"H)	03
HIGH WALLS (72"H)	00
TOTAL	38
TOTAL SQ FT = 2,700 SF	
SALES FLOOR AREA = 1,682 SF	
GAS: NO	LIQUOR: YES
BEER: YES	WINE: YES
OCCUPANCY LOAD (>49) = 53	
TRAVEL DISTANCE (<200) = 96'	
COMMON PATH OF TRAVEL (<75) = 30'	
RESTROOMS REQUIRED = 2	
EXITS REQUIRED = 2	
OVERHEAD SHELVES = 37 FT	
FLOOR SHELVES = 32 FT	

WALL TYPE LEGEND

- CMU WALL
- WALL FURRING
- NEW WALL
- NEW PARTIAL HEIGHT WALL
- NEW COOLER WALL

1043592 - NATIONAL CITY, CA - LAYOUT 2

110 NATIONAL CITY BLVD
NATIONAL CITY, CA

SCALE: 1/4"=1'-0"

APPROVED: YES NO

06/05/18



Rev. #	Date	Description

7-ELEVEN, INC.
3000 HACKBERRY ROAD, IRVING, TEXAS 75063
7-ELEVEN #1043592
110 NATIONAL BLVD.
NATIONAL CITY, CA 95160
FLOOR PLAN

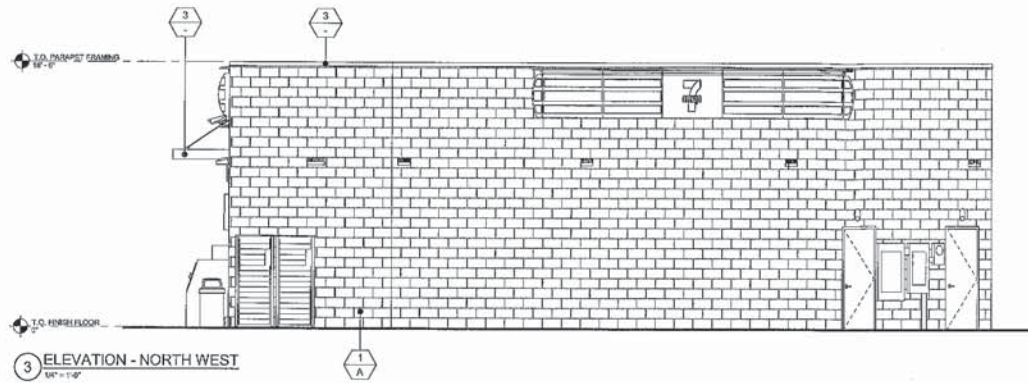


LYONS WARREN
14400 BARKER ST.
IRVING, TEXAS 75038
1-800-333-9999
www.lyonswarren.com

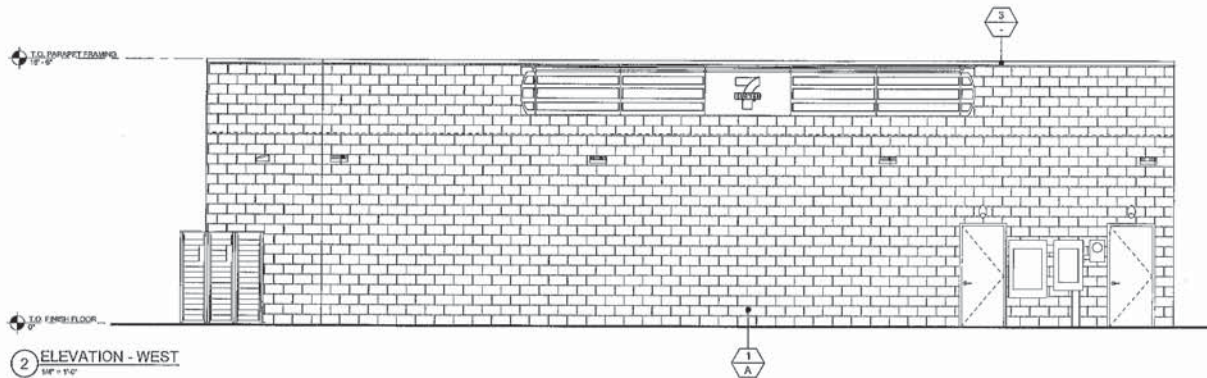
Job#: SEH-1805
Scale: AS NOTED
Date: 1/24/2020
Drawn By: KC
Checked By: RS
Documents prepared by the contractor shall be the responsibility of the contractor. Any information on this drawing is for informational purposes only and should not be used for construction without the approval of the architect. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.



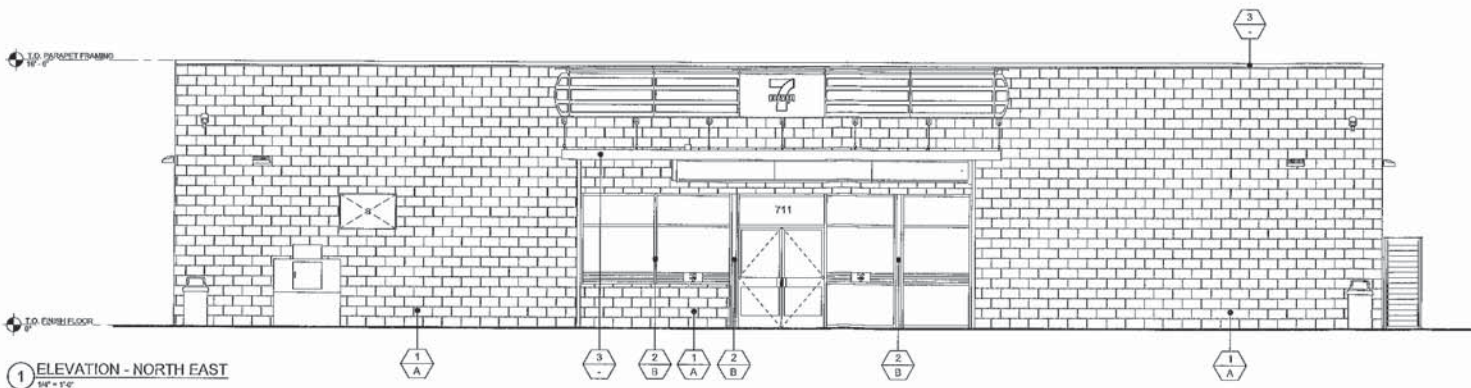
SHEET:
A2.0



3 ELEVATION - NORTH WEST
1/4" = 1'-0"



2 ELEVATION - WEST
1/4" = 1'-0"



1 ELEVATION - NORTH EAST
1/4" = 1'-0"

MATERIAL SAMPLES



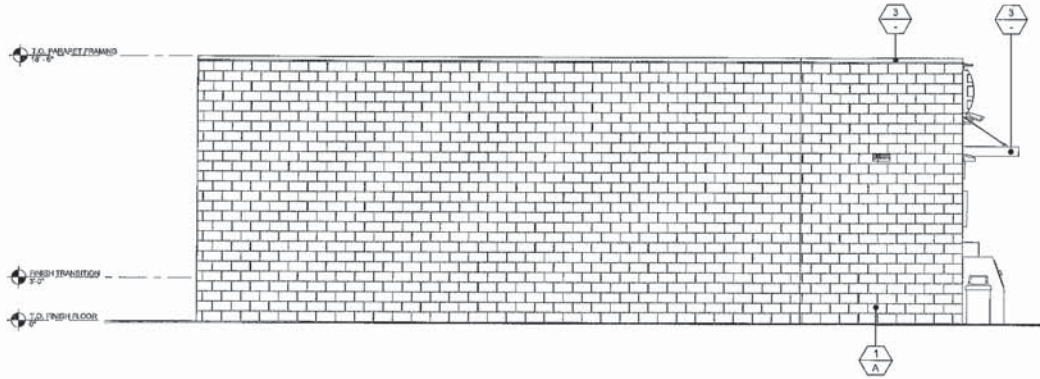
FINISHES

- 1 PAINTED CMU
- 2 STORE FRONT - ALUMINUM GLAZING
- 3 GALVANIZED SHEET METAL COPING, PAINTED BRONZED FINISH.

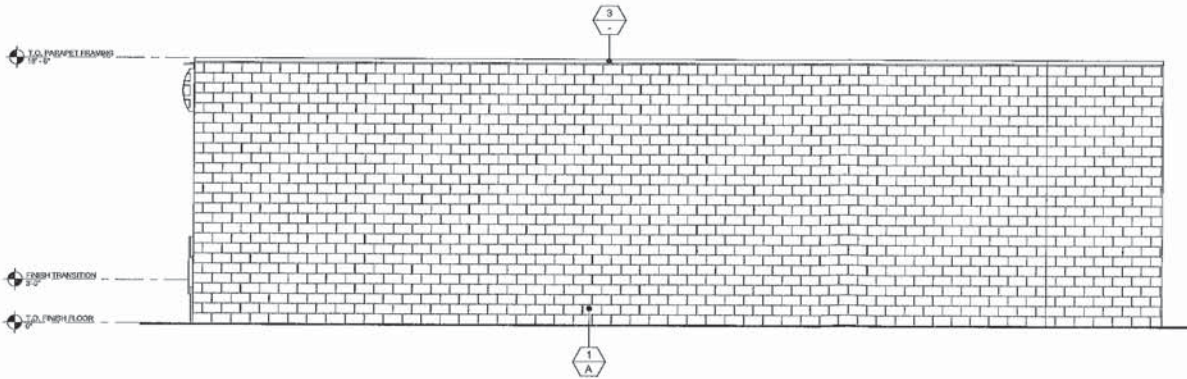
MATERIAL SAMPLES



<p>7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING, TEXAS 75063 7-ELEVEN #1043592 110 NATIONAL BLVD. NATIONAL CITY, CA 91860</p> <p>EXTERIOR ELEVATIONS</p>	<p>DATE: _____</p> <p>REV. # _____</p> <p>PROTO 10-23-2019</p>
<p>LYONS WARREN 127 WEST • 1133 WEST 660 DOWLE ST. SAN JOSE, CA 95128-0585 TEL: 415.225.8800</p>	<p>JOB#: SH-1905</p> <p>SCALE: AS NOTED</p> <p>DATE: 1/24/2020</p> <p>DRAWN BY: KC</p> <p>CHECKED BY: RS</p>
<p>DESIGNING PROGRAMS BY THE ARCHITECT FOR THE PROJECT PROVIDED AND NOT FOR THE ARCHITECT'S USE. ANY REVISIONS TO THE DRAWINGS SHALL BE MADE BY THE ARCHITECT. GROUP A WORK IS THE ARCHITECT'S RESPONSIBILITY. GROUP B WORK IS THE ARCHITECT'S RESPONSIBILITY. GROUP C WORK IS THE ARCHITECT'S RESPONSIBILITY. GROUP D WORK IS THE ARCHITECT'S RESPONSIBILITY. GROUP E WORK IS THE ARCHITECT'S RESPONSIBILITY.</p>	<p>PROFESSIONAL SEAL</p> <p>REGISTERED ARCHITECT</p> <p>STATE OF CALIFORNIA</p>
<p>SHEET: A3.0</p>	



2 ELEVATION - SOUTH EAST
WF = 1/2"



1 ELEVATION - SOUTH
WF = 1/2"

MATERIAL SAMPLES



ROW HOUSE TAN BW 7969
SEBRYN WILLIAMS

DARK BRONZE STOREFRONT



Rev. #	Date	Description

FINISHES

- 1 PAINTED CMU
- 2 STORE FRONT - ALUMINUM GLAZING
- 3 GALVANIZED SHEET METAL COPING, PAINTED BRONZED FINISH

MATERIAL SAMPLES

- A ROW HOUSE TAN BW 7969
SEBRYN WILLIAMS
- B DARK BRONZE STORE FRONT
KARENZEE

PROTO 10-23-2019
7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063
7-ELEVEN #1043592
110 NATIONAL BLVD.
NATIONAL CITY, CA 91550
EXTERIOR ELEVATIONS

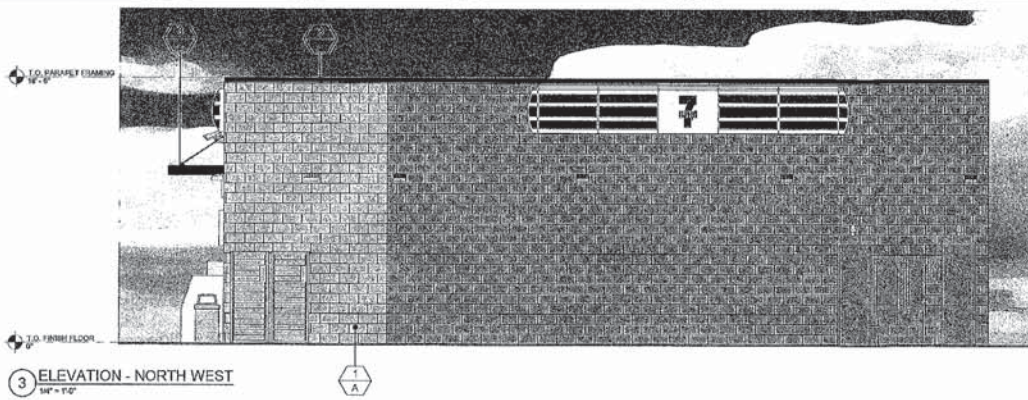


LYONS WARREN
ARCHITECTS • 1913.2023
2646 DUNDAS ST.
SUNNYVALE, CA 95134-4108
415.272.6999 | 415.272.8555 fax
lwarren@lyonswarren.com

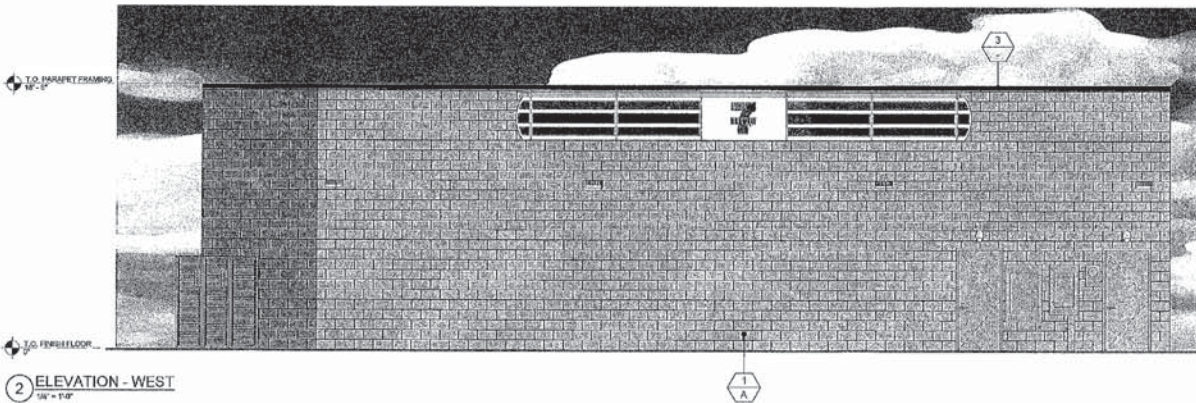
JOB#: SEI-1001
Scale: AS NOTED
Date: 1/24/2020
Drawn By: KJC
Checked By: RS

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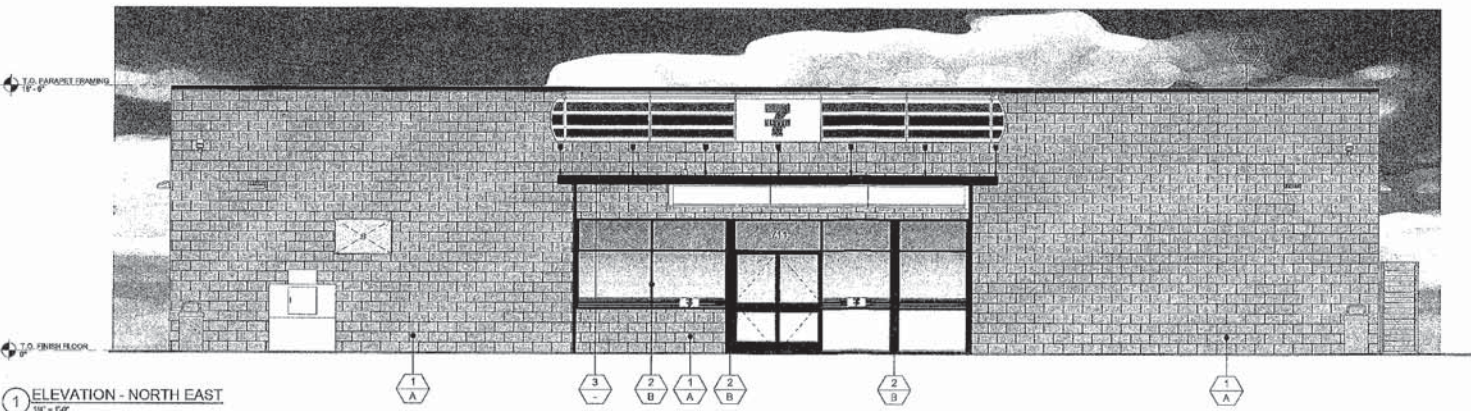




3 ELEVATION - NORTH WEST
1/4" = 1'-0"

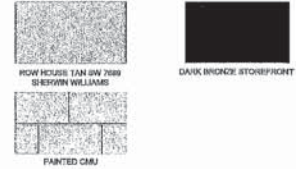


2 ELEVATION - WEST
1/4" = 1'-0"



1 ELEVATION - NORTH EAST
1/4" = 1'-0"

MATERIAL SAMPLES



FINISHES

- 1 PAINTED CMU
- 2 STORE FRONT - ALUMINUM GLAZING
- 3 GALVANIZED SHEET METAL COPING, PAINTED BRONZED FINISH

MATERIAL SAMPLES



Rev. #	Date	Description

PROTO 10-23-2019

7-ELEVEN, INC.
3200 HACHERRY ROAD, IRVING, TEXAS 75039
7-ELEVEN #1043592
110 NATIONAL BLVD.
NATIONAL CITY, CA 91860
EXTERIOR ELEVATIONS



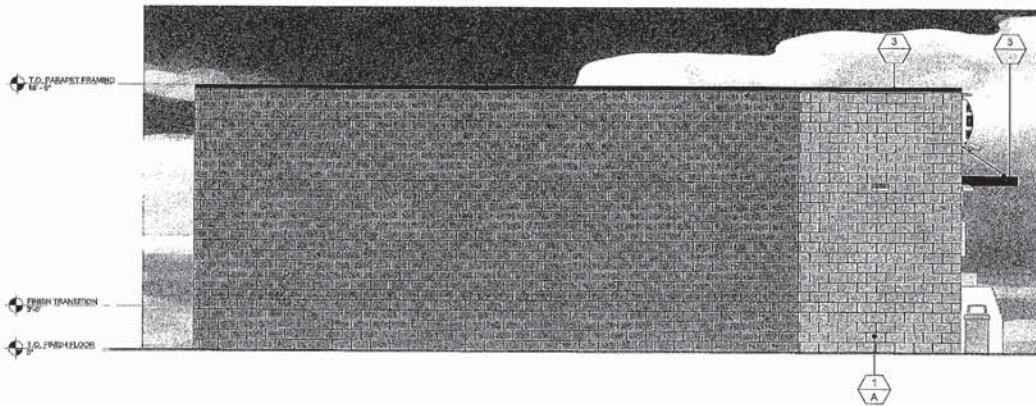
LYONS WARREN
ARCHITECTS + INTERIORS
9800 QUINCY ST.
SAN DIEGO, CA 92123-0908
TEL: 619.449.1811
WWW.LYONSWARREN.COM

Job#: SEI-1906
Scale: AS NOTED
Date: 1/24/2020
Drawn By: KC
Checked By: RS

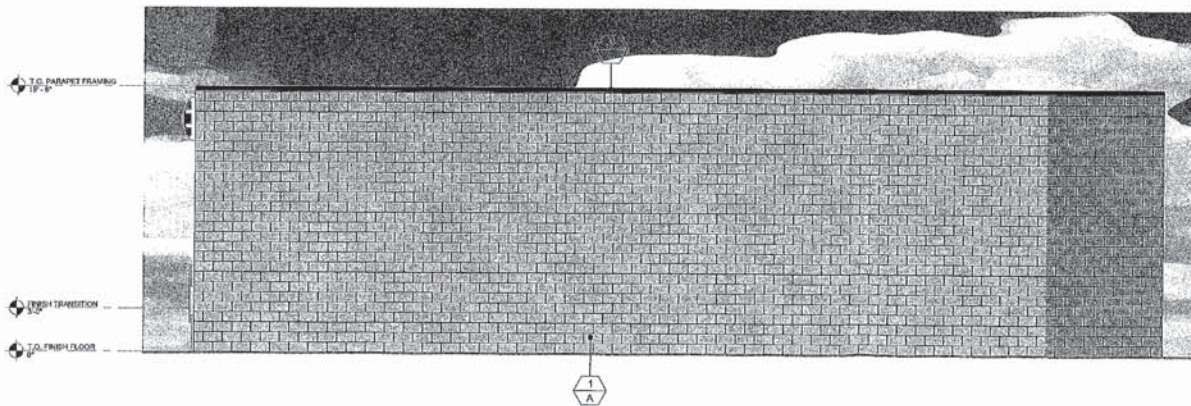
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SHEET:
A3.2



2 ELEVATION - SOUTH EAST
1/4" = 1'-0"



1 ELEVATION - SOUTH
1/4" = 1'-0"

MATERIAL SAMPLES



ROW HOUSE TAN SW 7509
SHERWIN WILLIAMS



DARK BRONZE STOREFRONT



PAINTED CMU

FINISHES



1 PAINTED CMU



2 STORE FRONT - ALUMINUM GLAZING



3 GALVANIZED SHEET METAL COPING, PAINTED
BRONZED FINISH

MATERIAL SAMPLES



A ROW HOUSE TAN SW 7509
SHERWIN WILLIAMS



B DARK BRONZE STORE FRONT
KAWNEER

Rev. #	Date	Description

PROTO 10-23-2019

7-ELEVEN, INC.
3000 HACKBERRY ROAD, IRVING, TEXAS 75033
7-ELEVEN #1043692
110 NATIONAL BLVD.
NATIONAL CITY, CA 91860
EXTERIOR ELEVATIONS



LYONS WARREN
Architects + Interiors
5000 Oakdale St.
San Diego, CA 92134-4100
619.577.3399
lwar@lyonswarren.com 1.811.713.6993 Fax

Job#: SEH1905
Scale: AS NOTED
Date: 1/24/2020
Drawn By: KC
Checked By: RS

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SHEET:
A3.3



COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION
1243 NATIONAL CITY BLVD., NATIONAL CITY, CA 91950

NOTICE OF PUBLIC HEARING
**CONDITIONAL USE PERMIT FOR THE OFF-SITE SALE OF ALCOHOL AND A
CONSISTENCY REVIEW FOR A NEW 7-ELEVEN LOCATED AT
110 NATIONAL CITY BOULEVARD.
CASE FILE NO.: 2020-05 CUP, DSP
APN: 555-020-15**

The National City Planning Commission will hold a public hearing at their regular online meeting after the hour of 6:00 p.m. **Monday, June 1, 2020** on the proposed request. The meeting will be LIVE WEBCAST from the City Council Chambers, Civic Center, 1243 National City Boulevard, National City, California. (Applicant: Steven Pollock)

Due to the precautions taken to combat the spread of coronavirus (COVID-19), City Hall, including the City Council Chambers, are closed to the public. Anyone interested in this public hearing may observe it on the City's website at <http://www.nationalcityca.gov/government/city-clerk/council-webcast>.

The project site is in Development Zone 1A of the Downtown Specific Plan. The applicant is proposing to sell beer, wine, and spirits for off-site consumption (Type 21 License) in a new 2,700 square-foot commercial building. The applicant is proposing to demolish the existing 2,171 square-foot liquor store and construct the new 7-Eleven. The existing Type 21 license would transfer to the new business. The proposed hours for the sale of alcohol are 6 a.m. to 2 a.m. daily.

Members of the public are invited to comment. Written comments should be received on or before 4:00 p.m., **June 1, 2020** by the Planning Division, who can be contacted at 619-336-4310 or planning@nationalcityca.gov.

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

NATIONAL CITY PLANNING DIVISION

ARMANDO VERGARA
Director of Community Development

ATTACHMENT 5

MEMORANDUM

To: Resident of National City
Planning / Development Services

Date: April 20th, 2020

Subject: **110 National City Blvd. – Community Presentation**

COMMUNITY INVOLVEMENT

Dear Current Resident,

I would like to first apologize for the inconvenience of cancelling the previous community meeting. Amidst the COVID-19 situation, we were informed we needed to cancel all in person meetings, this being one of them.

We are continuing with a virtual community meeting, to reach out to community members to obtain questions and concerns about our project. You are receiving this mailer as you are located within 600' of our proposed project, and we would like your input. Below is the link to a Youtube video:

<https://youtu.be/7wOe8LDLDik>

Please use the link to view the virtual community group presentation. If you have any questions, comments, or would like to show support of the project, email us at 110nationalblvd@gmail.com. All correspondence will be included in the project submittal to the National City Planning Department. Only correspondence received by **May 4th, 2020** will be considered official concerns and submitted. The video will be removed following that date.

We appreciate your time and input as a community member, and we look forward to hearing from you.

Thank you,



Steven Pollock, Project Manager
(619) 272-7112

Hoffman, Scott

From: Wolf Klauschie <wolfkla1@cox.net>
Sent: Thursday, April 30, 2020 3:00 PM
To: 110nationalblvd@gmail.com
Subject: NO!

No, no, no! I love this liquor store and the people who own it!

--

This email has been checked for viruses by AVG.
<https://www.avg.com>

Wolf Klauschie had also reached out by phone:

Conversation: Thursday April 30, 2020 at 3:05PM

Notes:

- Wolf lives close by and enjoys the existing store
- Believes it is the cornerstone of their community
- Enjoys seeing it from his window, and likes the mural
- Opposed to tearing the building down

Hoffman, Scott

From: Colin Lowry <colin@cladinc.us>
Sent: Sunday, May 3, 2020 9:59 PM
To: 110nationalblvd@gmail.com
Subject: 110 National City Blvd - community input

Hello,

I am the owner of 129 National City Blvd. I am also an architect and developer and have been involved with numerous residential and mixed use projects in and around National City. My input is based on the limited information I've been provided regarding the project. The video link provided in the last mail correspondence did not work.

From what I understand, the project is proposing a 7-11 convenience store.

The proposed project does not meet many of the stated goals of National City's Downtown Specific Plan including the following:

1.2.1.1 GOAL: Significant Economic Investment and Revitalization in Downtown

Objectives:

- A. A substantial increase of Navy personnel that live and shop in downtown.
- B. Housing densities that support local retail and service markets.
- C. Adequate affordable housing that increases housing ownership levels.

1.2.1.2 GOAL: Provide Housing.

1.2.1.3 GOAL: Effective Parking Management

Objectives:

- F. Increased use of alternative transportation vehicles including motorcycles, scooters, bicycles, electric and other low emission vehicles, and small automobiles.
- G. Increased use of carsharing, ridesharing, van-pooling, autonomous vehicles, and valet services.

1.2.1.4 GOAL: Desirable Land Use and Quality Urban Design

Objectives:

- A. Concentrated density closer to freeway on-ramps, lower volume roadways, and the trolley station.
- B. Street level activation through land use regulations, development standards, and design guidelines.
- C. The creation of micro-units with appropriate amenities.
- D. High quality, intense, and dense development through land use regulations, development standards, and design guidelines.

The project as I understand it does not provide any housing and the proposed use is car-centric and does not increase the use of alternative transportation or street level activation for pedestrian use.

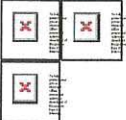
In my professional opinion and my knowledge of the National City's goals for the Downtown area, this proposed project is a missed opportunity, and a poor use of the location. The property is zoned for high density residential (75 DU/A) and commercial uses, and could easily provide for a substantial number of new and sorely needed dwellings, in addition to a ground floor retail element. Housing costs are rising in National City, pushing out people who have lived here for decades. Adding housing, especially on a lot where no displacement would occur, is important to the well being of the City and provide a boost to local business.

I recommend to the Owner that they reconsider the scope of the project to include a mixed use component, with residential units over ground floor retail. Due to the project's proximity to the Naval base, the 5, and downtown San Diego, National City's low vacancy and the City's overall positive attitude toward density, the location is prime for residential development. Any project that does not include housing would be a mistake.

Thank you for your consideration, feel free to call me if you would like to discuss further.

Regards,

Colin Lowry, AIA
Architect/Owner
619 800 8105





NATIONAL CITY POLICE DEPARTMENT
ALCOHOL BEVERAGE CONTROL
RISK ASSESSMENT

DATE: 03/18/2020

BUSINESS NAME: 7-Eleven Convenience Store

ADDRESS: 110 National City Blvd, National City, CA 91950

OWNER NAME: Bobbie Jo King DOB: _____

OWNER ADDRESS: 401 B Street, #600, San Diego, CA 92101

(add additional owners on page 2)

I. Type of Business

- Restaurant (1 pt)
- Market (2 pts)
- Bar/Night Club (3 pts)
- Tasting Room (1pt)

II. Hours of Operation

- Daytime hours (1 pt)
- Close by 11pm (2 pts)
- Close after 11pm (3 pts)

III. Entertainment

- Music (1 pt)
- Live Music (2 pts)
- Dancing/Live Music (3 pts)
- No Entertainment (0 pts)

IV. Crime Rate

- Low (1 pt)
- Medium (2 pts)
- High (3 pts)

V. Alcohol Businesses per Census Tract

- Below (1 pt)
- Average (2 pts)
- Above (3 pts)

<p>Notes:</p> <p>V. 4 off sale licenses are allowed. There are currently 7 active off sale licenses.</p> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>

VI. Calls for Service at Location (for previous 6 months)

- Below (1 pt)
- ✓ Average (2 pts)
- Above (3 pts)

VII. Proximity Assessment (1/4 mile radius of location)

- Mostly commercial businesses (1 pt)
- ✓ Some businesses, some residential (2 pts)
- Mostly residential (3 pts)

Low Risk (12pts or less) Medium Risk (13 – 18pts) High Risk (19 – 24pts) Total Points <u>15</u>
--

VIII. Owner(s) records check

- ✓ No criminal incidents (0 pts)
- Minor criminal incidents (2 pts)
- Multiple/Major criminal incidents (3 pts)

OWNER NAME: _____ DOB: _____

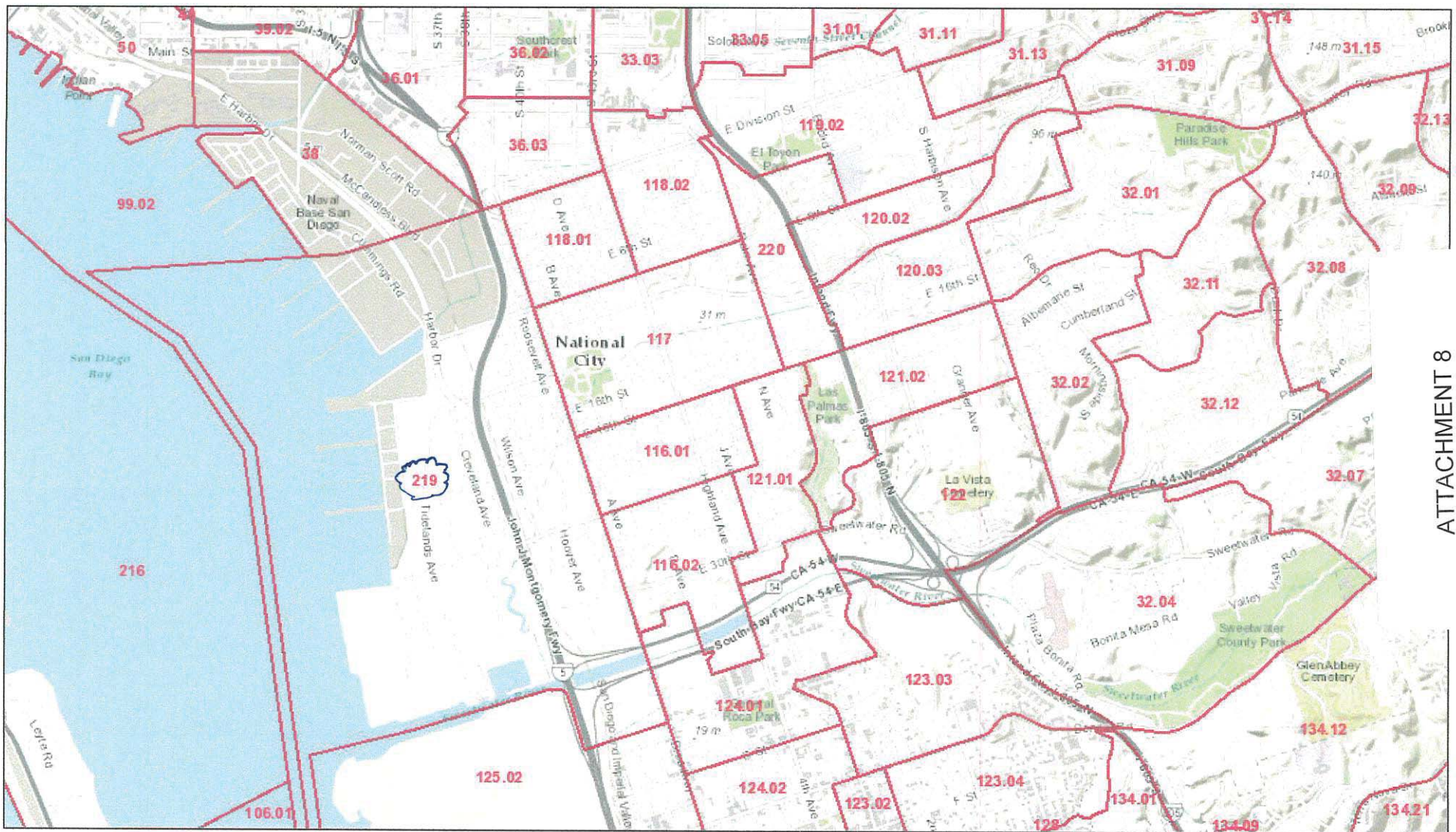
OWNER ADDRESS: _____

OWNER NAME: _____ DOB: _____

OWNER ADDRESS: _____

Recommendation:

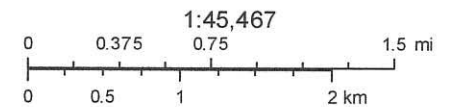
Completed by: W.Walters Badge ID: 398



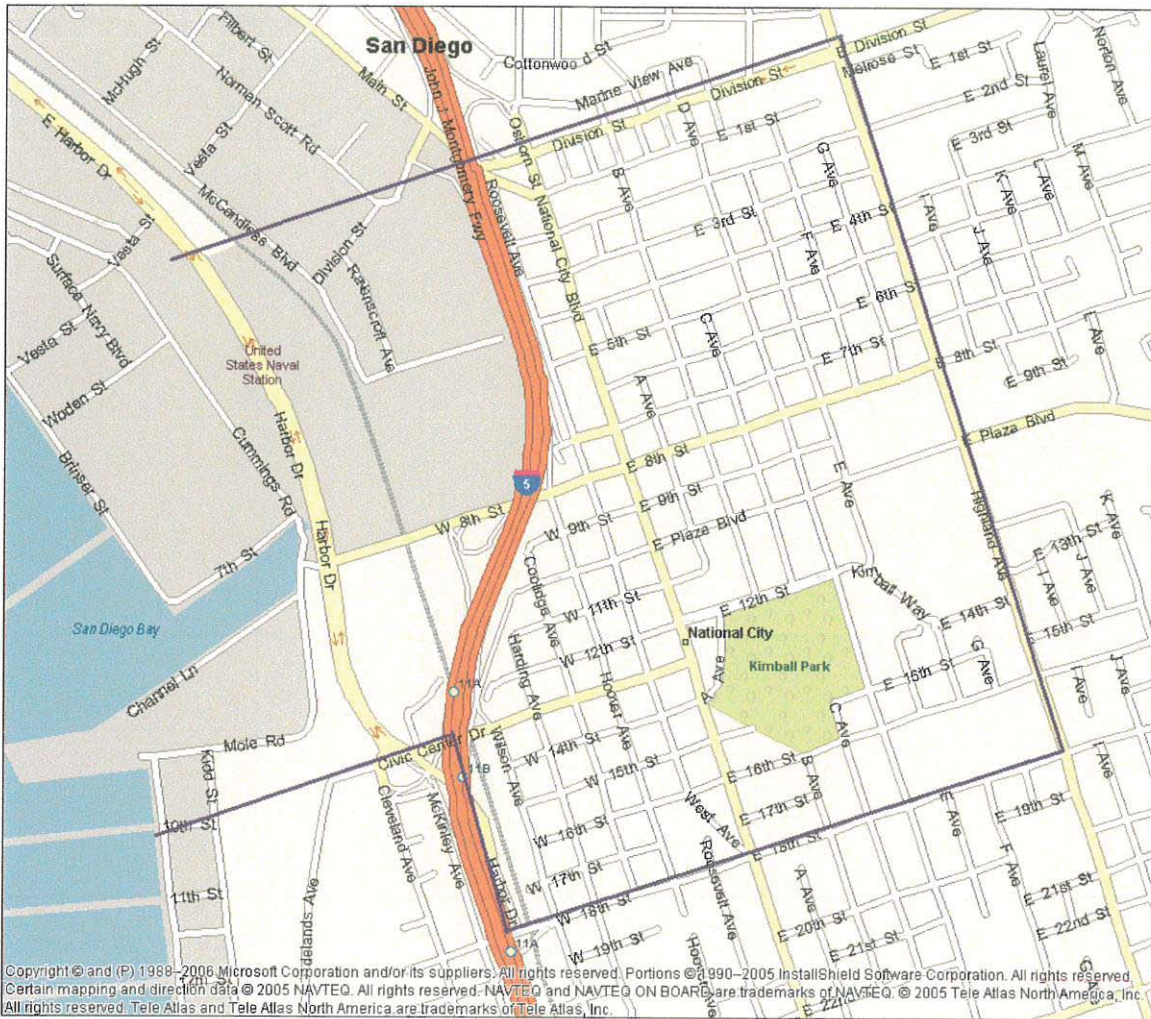
ATTACHMENT 8

August 25, 2014

Census Tracts 2010



Sources: Esri, HERE, DeLorme, TomTom, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



City of National City Beat 20

Source: Microsoft Mappoint
NCPD CAU, 4/18/07

CITY COUNCIL POLICY

TITLE: Alcohol Beverage License Application Review Process
and Alcohol Conditional Use Permit Standards

POLICY
NUMBER 707

ADOPTED: November 12, 1991

AMENDED OR
REVISED: July 17, 2018

Page 1 of 5

PURPOSE/BACKGROUND:

To streamline the process of alcohol license application review to ensure timely staff responses and/or protests to the Department of Alcoholic Beverage Control regarding these applications.

The City Municipal Code requires Conditional Use Permits for the sale of alcohol. Such land use regulation is designed to ensure that the health, safety and welfare of the community does not become negatively impacted. In order to minimize any potential adverse effects of alcohol sales for both on and off-site consumption, including public drunkenness, disorderly conduct, illegal sales or domestic violence, the City adopts conditions of approvals and enact policies designed to protect the public from such effects. The following sets forth the City Council's policy on the applicable alcohol standards for Conditional Use Permit applications for both on and off-sale alcohol sales, as well as the Department of Alcoholic Beverage Control application notification requirements.

POLICY:

The Department of Alcoholic Beverage Control (ABC) sends copies of all alcoholic beverage license applications to the Police Department. The City has thirty days from the date of the ABC mailing to provide comments to the ABC. If no protests are received within that time period, the ABC issues the license.

The Police Department is responsible for ensuring that an appropriate Conditional Use Permit (CUP) exists for the applicant business. If such a CUP exists, the copy of the application is simply filed by the Police Department in the existing file with the notation that there were no objections to the issuance of the license. If it is a new (in the case of an "original" license application) or expanding business or one seeking a license to effect a premises transfer, and no CUP exists, the Police Department is responsible for sending a letter to the ABC protesting the issuance of the license until a CUP is issued by the City.

Whenever such a protest letter is sent to the ABC, that agency notifies the applicant that they must begin the process of obtaining a CUP with the City's Planning Division and that the issuance of the alcoholic beverage license will be delayed until such time as the protest is withdrawn.

CITY COUNCIL POLICY

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Page 2 of 5

Once a CUP has been issued, the Planning Division notifies the Police Department of that issuance and it is then the responsibility of the Police Department to notify the ABC that the protest is withdrawn.

The CUP application, approval and issuance process is such that it provides all the checks, balances and controls necessary to ensure that businesses seeking alcoholic beverage licenses are in compliance with local standards.

These conditions of approval shall apply to all new Conditional Use Permits (CUPs) for the sale of alcohol for on and/or off-site consumption and modifications of existing CUPs for such sales as specified by the preceding parenthetical references with each condition. These references specify to which type of alcohol CUP being applied for the conditions would apply to – on-sale (restaurant, bar, etc) or off-sale (market, grocery store, etc). Regulation of these conditions and allowances shall be enforced through the Conditional Use Permit process, specifically conditions of approval to read as follows:

1. **(off-sale alcohol)** The sale of beer or malt beverages in quantities of quarts, 22 ounce, 32 ounce, 40 ounce, or similar size containers is prohibited.
2. **(off-sale alcohol)** No beer products shall be sold of less than manufacturer's pre-packaged three-pack quantities of 24 ounce cans per sale. There shall be no sale of single cans or bottles.
3. **(off-sale alcohol)** No sale of wine shall be sold in containers of less than 750 milliliters. The sale of wine with an alcoholic content greater than 15% by volume is prohibited.
4. **(off-sale alcohol)** Flavored malt beverages, also known as premium malt beverages and flavored malt coolers, and sometimes commonly referred to as wine coolers, may be sold only by four-pack or other manufacturer's pre-packaged multi-unit quantities.
5. **(off-sale alcohol)** The consumption of alcoholic beverages is prohibited on the subject premises, and on all parking lots and outbuildings and any property or adjacent property under the control of the applicant.
6. **(off-sale alcohol)** All cups and containers shall be sold at or above prevailing prices and in their original multi-container packages of no fewer than 12, and no cups and containers shall be given free of charge.

CITY COUNCIL POLICY

TITLE: Alcohol Beverage License Application Review Process
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POLICY
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ADOPTED: November 12, 1991

AMENDED OR
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Page 3 of 5

7. **(off-sale alcohol)** Ice may be sold only at or about prevailing prices in the area and in quantities of not less than three pounds per sale. Ice shall not be provided free of charge.
8. **(off-sale alcohol)** The display of alcoholic beverages shall be limited to an area in substantial conformance with Exhibit ____, Case File No. ____, dated ____.
9. **(off-sale alcohol)** Permittee shall post signs on the exterior building walls in compliance with Chapter 10.30.070 of the National City Municipal Code. Additionally, the permittee shall post signs, to be approved by the Planning Division, at each entrance to the applicant's premises and parking lot, prohibiting loitering and consumption of alcohol on the premises and adjacent property under his control. Said signs shall not be less than 17 by 22 inches in size, with lettering not less than one inch in height. The signs shall read as follows:
 - a. "No open alcoholic beverage containers are allowed on these premises."
 - b. "No loitering is allowed."
10. **(off-sale alcohol)** Containers of alcohol may not be stored on the premises, after being sold to patrons, for the purpose of later consumption.
11. **(off-sale alcohol)** Exterior advertising and signs of all types, promoting or indicating the availability of alcoholic beverages, including advertising/signs directed to the exterior from within, are prohibited. Interior displays of alcoholic beverages and signs, which are clearly visible to the exterior, shall constitute a violation of this condition.
12. **(off-sale alcohol)** The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of all other commodities during the same period. The applicant shall at all times keep records which reflect separately the gross sales of alcoholic beverages and the gross sales of all other items. Said records shall be kept no less frequently than on a quarterly basis and shall be made available to the City Finance Department and any Peace Officer of the California Department of Alcoholic Beverage Control upon demand.
13. **(on and off-sale alcohol)** All sellers and servers of alcohol shall receive Responsible Beverage Service and Sales (RBSS) training, including all owners, and managers. The RBSS training must be certified by the Department of Alcoholic Beverage Control (ABC). Proof of completion of an approved RBSS program must be provided prior to issuance of a city business license. As part -

CITY COUNCIL POLICY

TITLE: Alcohol Beverage License Application Review Process
and Alcohol Conditional Use Permit Standards

POLICY
NUMBER 707

ADOPTED: November 12, 1991

AMENDED OR
REVISED: July 17, 2018

Page 4 of 5

- of the RBSS training, the permittee shall make available a domestic violence training session as provided by the Institute of Public Strategies.

14. **(on-sale alcohol)** The sale of alcohol shall not exceed the sale of food. With the annual renewal of the City business license, the business proprietor shall submit a statement clearly indicating total alcoholic beverage sales and total food sales. Said statement shall be subject to audit and verification by employees of the City, who are authorized to examine, audit and inspect such books and records of the license, as may be necessary in their judgment to verify that the sale of alcohol does not exceed the sale of food. All information obtained by an investigation of records shall remain confidential.
15. **(on-sale alcohol)** Alcohol shall be available only in conjunction with the purchase of food.
16. **(on-sale alcohol with patio)** Permittee shall post signs in the patio dining area, including all exits to outdoor seating areas, indicating that alcoholic beverages must be consumed inside the restaurant or patio area and may not be taken off-premises.
17. **(tasting rooms)** The requirements that alcohol be available only with the purchase of food and that alcohol sales not exceed food sales shall not apply to tasting rooms.
18. **(tasting rooms)** Sales of sealed bottles or containers (commonly known as growlers) for off-site consumption of the product manufactured by the master licensee may be sold and/or consumed at this location.
19. **(tasting rooms)** Hours of operation of tasting rooms shall be limited to between 10:00 a.m. to 10:00 p.m. with last call being at 9:00 p.m.
20. **(tasting rooms)** With the submittal of a business license for a tasting room, the Police Department shall provide an ABC Risk Assessment for each business applicant that indicates whether the business is considered a low, medium, or high risk. In the event that a risk assessment for the business allocates or more than 15 points, no business license shall be issued without the issuance of a Conditional Use Permit.

CITY COUNCIL POLICY

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Page 5 of 5

The sale of three-packs of 24-oz cans of beer shall apply retroactively to all existing off-sale CUPs where a condition exists limiting sales to no less than six-pack quantities. However, business wishing to avail themselves of this modification must conform with all regulations of the Department of Alcoholic Beverage Control (ABC).

The Council may, at its sole discretion, choose to waive or modify any of the above conditions.



NOTICE OF EXEMPTION

TO: Assessor/Recorder/County Clerk
Attn: Fish and Wildlife Notices
1600 Pacific Highway, Suite 260
San Diego, CA 92101
MS: A-33

Lead Agency: City of National City

Project Title: 2020-05 CUP, DSP

Project Location: 110 National City Boulevard, National City, CA 91950

Contact Person: Chris Stanley

Telephone Number: (619) 336-4381

Description of Nature, Purpose and Beneficiaries of Project:

Conditional Use Permit for the off-site sale of alcohol and Consistency Review for a new 7-Eleven convenience store.

Applicant:

Steven Pollock
401 'B' Street #600
San Diego, CA 92101

Telephone Number:

(619) 234-9411

Exempt Status:

Categorical Exemption. Class 32 Section 15332 (Infill Development Projects)

Reasons why project is exempt:

It can be seen with certainty that the project will not have a significant effect on the environment. The project involves new development that will not increase the density of the zone and is categorized as an infill development project.

Date:

CHRIS STANLEY
Assistant Planner

RESOLUTION NO. 2020-05

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF NATIONAL CITY, CALIFORNIA
APPROVING A CONDITIONAL USE PERMIT FOR THE OFF-SITE SALE OF
ALCOHOL AND A CONSISTENCY REVIEW FOR A NEW 7-ELEVEN LOCATED AT
110 NATIONAL CITY BOULEVARD
CASE FILE NO. 2020-05 CUP, DSP
APN: 555-020-15

WHEREAS, the Planning Commission of the City of National City considered a Conditional Use Permit for the off-site sale of alcohol and a consistency review for a new 7-Eleven located at 110 National City Blvd. at a duly advertised public hearing held on June 1, 2020, at which time oral and documentary evidence was presented; and,

WHEREAS, at said public hearings the Planning Commission considered the staff report contained in Case File No. 2020-05 CUP, DSP maintained by the City and incorporated herein by reference along with evidence and testimony at said hearing; and,

WHEREAS, this action is taken pursuant to all applicable procedures required by State law and City law.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of National City, California, that the testimony and evidence presented to the Planning Commission at the public hearing held on June 1, 2020, support the following findings:

Findings for Approval of the Consistency Review

1. The design, location, size, and operating characteristics of the proposed activity would be compatible with the existing and future land uses in the vicinity, because the building is new and will improve upon the existing convenience store design by moving it to a location on the property that allows for more function and accessibility.
2. The site is physically suitable for the type, density, and intensity of use being proposed, including access, utilities, and the absence of physical constraints, because the proposed use is the same as that existing on-site and is a permitted use per the zoning. The project is also under the maximum permissible floor area ratio and provides excess parking on site. In addition, the existing infrastructure is capable of handling the new development.

3. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA) and is considered to be categorically exempt from CEQA analysis per Section Class 32, Section 15332 (In-Fill Development Projects). The proposed development replaces the existing use with the same type of use and the property can be adequately served by all required utilities and public services.

Findings for Approval of the Exemptions from Development Standards

1. The project would be required to contribute a significant amount of money (10% of the project valuation) towards off-site improvements (e.g. curb, gutter, sidewalk). In addition, the project is providing significant landscape improvements, including street trees, along the property frontage, thus improving the current area's aesthetics.

Findings for Approval of the Conditional Use Permit

1. The proposed use is allowable within the applicable zoning district pursuant to a Conditional Use Permit and complies with all other applicable provisions of the Land Use Code, because the use is allowable within Development Zone 1A pursuant to a CUP, and the proposed use meets the required guidelines in the LUC for the sale of alcoholic beverages, as discussed in the staff report.
2. The proposed use is consistent with the General Plan and any applicable specific plan, because the commercial use is consistent with the General Plan and Downtown Specific Plan designation of Development Zone 1A, which allows for retail uses.
3. The design, location, size, and operating characteristics of the proposed activity would be compatible with the existing and future land uses in the vicinity, because the existing use of the property is a local market/liquor store, which is practically the same as the proposed use; there would be little change in operating characteristics related to alcohol sales other than the use coming into compliance with City Council Policy 707, which regulates alcohol sales.
4. The site is physically suitable for the type, density, and intensity of use being proposed, including access, utilities, and the absence of physical constraints, because the proposed 2,700 square-foot building can accommodate the proposed alcohol sales, without resulting in an increase in demand for parking on the property.
5. Granting the permit would not constitute a nuisance or be injurious or detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone in which the property is

located, because issuance of the discretionary permit will increase the compliance of the proposed business over the previous business, which did not have a CUP and was only regulated by ABC license requirements, because they can lose the right to sell if all conditions are not met

6. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA), because the alcohol sales portion of this application is not subject to CEQA, as it is not a considered a project per section 15378. The sale of alcohol would not result in a physical impact.
7. The proposed use is deemed essential and desirable to the public convenience or necessity, because the alcohol sales will contribute to the viability of the convenience store, an allowed use in Development Zone 1A. Alcohol sales would also add to the convenience of the consumer, in that customers would be able to purchase alcohol at the same outlet that they are purchasing other products and not needing to visit multiple locations for their needs, thus reducing vehicle trips.
8. Based on findings 1 through 7 above, public convenience and necessity will be served by a proposed use of the property for the retail sales of alcoholic beverages pursuant to law.

BE IT FURTHER RESOLVED that the application for a Conditional Use Permit is approved subject to the following conditions:

General

1. This *Conditional Use Permit and Downtown Specific Plan Consistency Review* authorizes the sale of alcohol for off-site consumption at 110 National City Blvd. Plans submitted for permits associated with this project shall conform to Exhibit A, Case File No. 2020-05 CUP, DSP dated 3/9/2020.
2. Before this *Conditional Use Permit and Downtown Specific Plan Consistency Review* shall become effective, the applicant and the property owner shall both sign and have notarized an Acceptance Form, provided by the Planning Division, acknowledging and accepting all conditions imposed upon the approval of this permit. Failure to return the signed and notarized Acceptance Form within 30 days of its receipt shall automatically terminate the *Conditional Use Permit and Downtown Specific Plan Consistency Review*. The applicant shall also submit evidence to the satisfaction of the Planning Division that a Notice of Restriction on Real Property is recorded with the County Recorder. The applicant shall pay necessary recording fees to the County. The Notice of Restriction shall provide information that conditions imposed by approval of the *Conditional Use Permit and Downtown Specific Plan Consistency Review* are binding

on all present or future interest holders or estate holders of the property. The Notice of Restriction shall be approved as to form by the City Attorney and signed by the Director of Community Development prior to recordation.

3. This permit shall become null and void if not exercised within one year after adoption of the resolution of approval unless extended according to procedures specified in the Municipal Code.
4. This permit shall expire if the use authorized by this resolution is discontinued for a period of 12 months or longer. This permit may also be revoked, pursuant to provisions of the Land Use Code, if discontinued for any lesser period of time.
5. This *Conditional Use Permit* may be revoked if the operator is found to be in violation of any Conditions of Approval.
6. Violation of the ABC license for the business located at this property shall constitute a violation of this Conditional Use Permit.

Planning

7. The sale of alcohol shall be permitted only between the hours of 6 a.m. to 12 a.m. daily.
8. Coolers containing alcohol products shall be locked and made inaccessible to the public between the hours of 12:00 a.m. and 6:00 a.m.
9. The sale of beer or malt beverages in quantities of quarts, 22 ounce, 32 ounce, 40 ounce, or similar size containers is prohibited.
10. No beer products shall be sold of less than manufacturer's pre-packaged three-pack quantities of 24 ounce cans per sale. There shall be no sale of single cans or bottles.
11. No sale of wine shall be sold in containers of less than 750 milliliters. The sale of wine with an alcoholic content greater than 15% by volume is prohibited.
12. Flavored malt beverages, also known as premium malt beverages and flavored malt coolers, and sometimes commonly referred to as wine coolers, may be sold only by four-pack or other manufacturer's pre-packaged multi-unit quantities.
13. The consumption of alcoholic beverages is prohibited on the subject premises, and on all parking lots and outbuildings and any property or adjacent property under the control of the applicant.
14. All cups and containers shall be sold at or above prevailing prices and in their original multi-container packages of no fewer than 12, and no cups and containers shall be given free of charge.
15. Ice may be sold only at or about prevailing prices in the area and in quantities of not less than three pounds per sale. Ice shall not be provided free of charge.

16. The display of alcoholic beverages shall be limited to an area in substantial conformance with Exhibit A, Case File No. 2020-05 CUP, DSP, dated 3/9/2020.
17. Permittee shall post signs on the exterior building walls in compliance with Chapter 10.30.070 of the National City Municipal Code. Additionally, the permittee shall post signs, to be approved by the Planning Division, at each entrance to the applicant's premises and parking lot, prohibiting loitering and consumption of alcohol on the premises and adjacent property under his control. Said signs shall not be less than 17 by 22 inches in size, with lettering not less than one inch in height. The signs shall read as follows:
 - a. "No open alcoholic beverage containers are allowed on these premises."
 - b. "No loitering is allowed."
18. Containers of alcohol may not be stored on the premises, after being sold to patrons, for the purpose of later consumption.
19. Exterior advertising and signs of all types, promoting or indicating the availability of alcoholic beverages, including advertising/signs directed to the exterior from within, are prohibited. Interior displays of alcoholic beverages and signs, which are clearly visible to the exterior, shall constitute a violation of this condition.
20. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of all other commodities during the same period. The applicant shall at all times keep records which reflect separately the gross sales of alcoholic beverages and the gross sales of all other items. Said records shall be kept no less frequently than on a quarterly basis and shall be made available to the City Finance Department and any Peace Officer of the California Department of Alcoholic Beverage Control upon demand.
21. All sellers and servers of alcohol shall receive Responsible Beverage Service and Sales (RBSS) training, including all owners, and managers. The RBSS training must be certified by the Department of Alcoholic Beverage Control (ABC). Proof of completion of an approved RBSS program must be provided prior to issuance of a city business license. As part of the RBSS training, the permittee shall make available a domestic violence training session as provided by the Institute of Public Strategies.
22. A landscape and underground irrigation plan shall be submitted as part of the construction permitting process. All landscaping and irrigation improvements shall be maintained for the life of the project.
23. Plans submitted for construction shall conform to Land Use Code Sections 18.42.040 (Screening mechanical equipment and elevator housing), 18.42.050 (Commercial and institutional building design standards.), and 18.46 (Outdoor Lighting).

24. Security lighting shall be installed on the west elevation of the building along the alley. The lighting shall be shielded so as not to shine directly towards adjacent residential properties.
25. Plans submitted for construction permits shall show that a non-combustible cover for all trash enclosures be provided. Trash enclosure gates shall not open into the City right-of-way (i.e. alley).
26. All proposed business signage shall be in conformance with Land Use Code requirements. Signs are limited to one sign per frontage along a street, freeway, parking lot, or alley.

Engineering

27. A drainage plan shall be submitted showing all of the proposed and existing on-site and off-site improvements. The plan shall be prepared by a Registered Civil Engineer, or other qualified professional, and shall be in accordance with the City requirements.
28. The Storm Water BMP Requirements Applicability Form I-1 and if required I-2 checklist for the National Pollutant Discharge Elimination System (NPDES) is required to be completed and submitted to the Engineering Department. The checklist will be required when a project site is submitted for review of the City Departments. The checklist is available at the Engineering Division web site at the link below *. If it is determined that the project is subject to the "Priority Project Permanent Storm Water BMP Requirements" and the City of National City Storm Water Best Management Practices of the Jurisdictional Urban Runoff Management Program (JURMP) approved Standard Urban Storm Water Mitigation Plan (SUSMP) documentation will be required prior to issuance of an applicable engineering permit. The SUSMP shall be prepared by a Registered Civil Engineer.

*<http://www.nationalcityca.gov/city-government/engineering-public-works/engineering-division/online-services-forms-fees>.

29. All existing and proposed curb inlet on property shall be provided with a "No Dumping" signage in accordance with the NPDES program.
30. A sewer permit will be required. The method of sewage collection and disposal shall be shown on the grading/drainage plan. Any new sewer lateral in the City right-of-way shall be of 6-inch size with a clean out. A sewer stamp "S" shall be provided on the curb to mark the location of the lateral.

31. Separate street and sewer plans prepared by Registered Civil Engineer, shall be submitted showing all of the existing and proposed improvements. The plans shall be in accordance with City requirements.
32. The deteriorated portions of the existing street improvements along the property frontages shall be removed and replaced. Those portions of the alley and sidewalk adjacent to the property as marked in the field.
33. The existing street improvements along the property frontage(s) shall be kept free from weed growth by the use of special weed killers, or other approved methods.
34. All existing survey monuments, including any benchmark, within the boundaries of the project shall be shown on the plans. If disturbed, a licensed land surveyor or civil engineer shall restore them after completion of the work. A Corner Record shall be filed with the County of San Diego Recorder. A copy of the documents filed shall be given to the City of National City Engineering Department as soon as filed.
35. A permit shall be obtained from the Engineering Department for all improvement work within the public right-of-way, and any grading construction on private property.
36. Street improvements shall be in accordance with the City Standards. All missing street improvements shall be constructed. Abandoned driveway aprons shall be replaced with curb, gutter, and sidewalks.
37. A title report shall be submitted to the Engineering Department, after the Planning Commission approval, for review of all existing easements and the ownership at the property.
38. The existing sewer lateral is not of the minimum size required by the City. The building shall have a new six inch lateral installed to the street main.

Fire

39. Project shall be designed to the current editions of NFPA, CFC and CCR.

Building

40. Plans submitted for demolition or construction improvements must comply with the current editions of the California Building, Electrical, Plumbing, Mechanical, and Fire Codes.

BE IT FURTHER RESOLVED that copies of this Resolution be transmitted forthwith to the applicant and to the City Council.

BE IT FINALLY RESOLVED that this Resolution shall become effective and final on the day following the City Council meeting where the Planning Commission resolution is set for review, unless an appeal in writing is filed with the City Clerk prior to 5:00 p.m. on the day of that City Council meeting. The City Council may, at that meeting, appeal the decision of the Planning Commission and set the matter for public hearing.

CERTIFICATION:

This certifies that the Resolution was adopted by the Planning Commission at their meeting of June 1, 2020, by the following vote:

AYES:

NAYS:

ABSENT:

ABSTAIN:

CHAIRPERSON

RESOLUTION NO. 2020-05

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF NATIONAL CITY, CALIFORNIA
DENYING A CONDITIONAL USE PERMIT FOR THE OFF-SITE SALE OF ALCOHOL
AND A CONSISTENCY REVIEW FOR A NEW 7-ELEVEN LOCATED AT
110 NATIONAL CITY BOULEVARD
CASE FILE NO. 2020-05 CUP, DSP
APN: 555-020-15

WHEREAS, the Planning Commission of the City of National City considered a Conditional Use Permit for the on-site sale of beer and wine at a bar located at 309 Highland Ave. at a duly advertised public hearing held on June 1, 2020, at which time oral and documentary evidence was presented; and,

WHEREAS, at said public hearings the Planning Commission considered the staff report contained in Case File No. 2020-05 CUP, DSP maintained by the City and incorporated herein by reference along with evidence and testimony at said hearing; and,

WHEREAS, this action is taken pursuant to all applicable procedures required by State law and City law.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of National City, California, that the testimony and evidence presented to the Planning Commission at the public hearing held on June 1, 2020, support the following findings:

Findings for Denial of the Consistency Review

1. While the use itself is consistent with the Downtown Specific Plan, the proposed project does not meet all of the required development standards; the minimum FAR for Development Zone 1A is 3:1. The project also requires a street wall of at least 75% and a maximum street frontage setback of 10 feet, both aspects that the project does not meet.
2. The project does not include a significant public amenity that would otherwise not be required or be achievable with the strict enforcement of the standards contained in the Downtown Specific Plan
3. The project does not make a significant contribution to off-site public space in downtown National City, such as public plazas, public park improvements and other

improvements that are called for in the Specific Plan, with the exception of required street improvements generally included as conditions of any development project.

Findings for Denial of the Conditional Use Permit

1. That granting the permit would constitute a nuisance or be injurious or detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone in which the property is located, because increased alcohol sales may contribute to the high crime rate in the area.
2. The proposed use is not deemed essential and desirable to the public convenience and necessity because there are six other off-sale alcohol outlets located in the same census tract as the subject property where alcohol can be purchased.
3. That based on findings 1 and 2 above, public convenience and necessity will not be served by a proposed use of the property for the retail sales of alcoholic beverages pursuant to law.

BE IT FURTHER RESOLVED that copies of this Resolution be transmitted forthwith to the applicant and to the City Council.

BE IT FINALLY RESOLVED that this Resolution shall become effective and final on the day following the City Council meeting where the Planning Commission resolution is set for review, unless an appeal in writing is filed with the City Clerk prior to 5:00 p.m. on the day of that City Council meeting. The City Council may, at that meeting, appeal the decision of the Planning Commission and set the matter for public hearing.

CERTIFICATION:

This certifies that the Resolution was adopted by the Planning Commission at their meeting of June 1, 2020, by the following vote:

AYES:

NAYS:

ABSENT:

ABSTAIN:

CHAIRPERSON