



ՀԱՅՏՐԱՆՈՒԹՅԱՆ ԳՐԱԿԱՆՈՒԹՅԱՆ ԿՈՄԻՏԵ

Գործադիր Կոմիտեի Կազմի Կազմակերպչական Կարգադրություն

Վճարման Կարգադրություն

Վճարման Կարգադրություն (Կազմակերպչական Կարգադրություն)	Վճարման Կարգադրություն:
(IUL)401-E/401/2023/15	Վճարման Կարգադրություն:
09 Ելակետային 2023 (Կազմակերպչական)	Վճարման Կարգադրություն:
15 Դեկտեմբեր 2023 (Կարգադրության ժամանակ)	Վճարման Կարգադրություն:
21 Դեկտեմբեր 2023 (Կարգադրության ժամանակ)	Վճարման Կարգադրություն:
https://forms-gle/MJ1n3MuMV9JCmUQF8	Վճարման Կարգադրություն:

3 1. مەزمۇن

3 2. مەزمۇن ۋە مەزمۇن

4 3. مەزمۇن ۋە مەزمۇن

5 4. مەزمۇن ۋە مەزمۇن

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7 14. مەزمۇن ۋە مەزمۇن

7 15. مەزمۇن ۋە مەزمۇن

7 16. مەزمۇن ۋە مەزمۇن

7 17. مەزمۇن ۋە مەزمۇن

8 18. مەزمۇن ۋە مەزمۇن

8 19. مەزمۇن ۋە مەزمۇن

9 20. مەزمۇن ۋە مەزمۇن

10 21. مەزمۇن ۋە مەزمۇن

10 22. مەزمۇن ۋە مەزمۇن

10 23. مەزمۇن ۋە مەزمۇن

12 مەزمۇن - 1: مەزمۇن ۋە مەزمۇن

13 مەزمۇن - 2: مەزمۇن ۋە مەزمۇن

29 مەزمۇن - 3: مەزمۇن ۋە مەزمۇن

חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס.

18.1 - חוק ההגנה מפני פגיעה בנכס

18.2 - חוק ההגנה מפני פגיעה בנכס (חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס)

18.3 - חוק ההגנה מפני פגיעה בנכס

18.4 - חוק ההגנה מפני פגיעה בנכס

18.5 - חוק ההגנה מפני פגיעה בנכס

18.6 - חוק ההגנה מפני פגיעה בנכס

18.7 - חוק ההגנה מפני פגיעה בנכס

18.8 - חוק ההגנה מפני פגיעה בנכס

חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס.

18.9 - חוק ההגנה מפני פגיעה בנכס

19.1 - חוק ההגנה מפני פגיעה בנכס

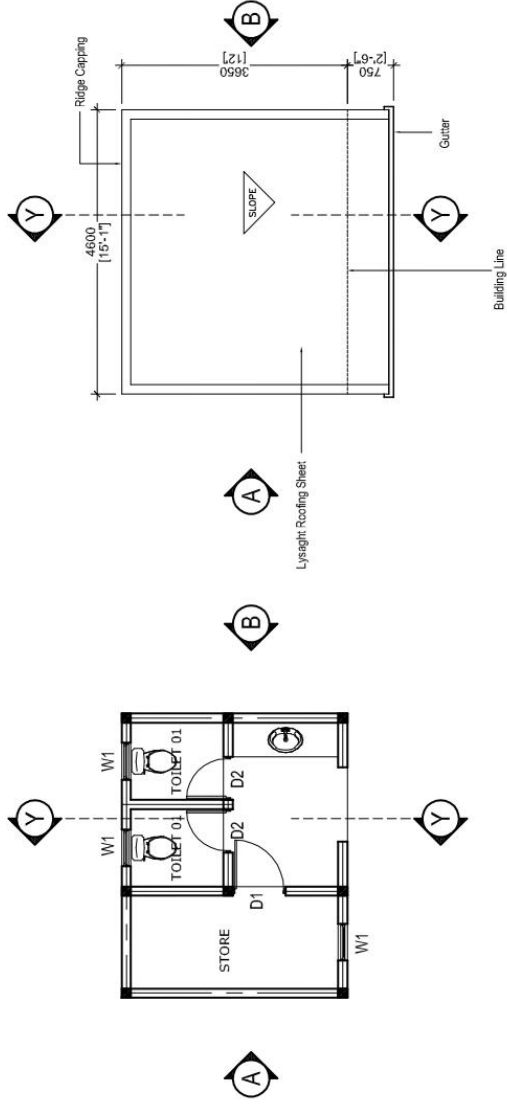
חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס.

חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס, חוק ההגנה מפני פגיעה בנכס.

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19.2 - חוק ההגנה מפני פגיעה בנכס

19.3 - חוק ההגנה מפני פגיעה בנכס



ROOF PLAN

FLOOR PLAN

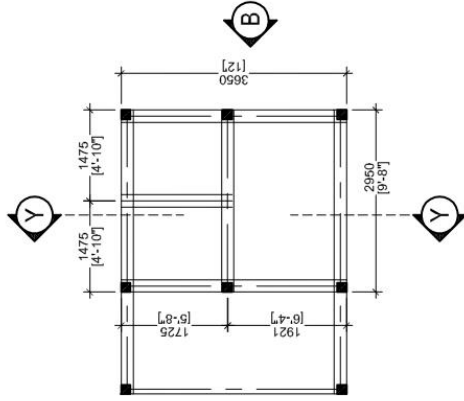
BEACH TOILET - BLOCK
1:100

NOTE:

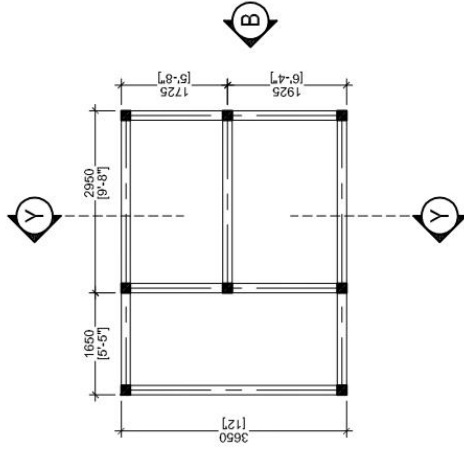
FB1 = 200x200 with 4T10 - R6@150 c/c
C2 = 150x150 with 2T10 - R6 hook@150 c/c
RB3 = Cast over wall, after masonry works with 2T10 - R6@200 c/c

NOTE:

All foundation beams are FB1
All columns are C2
All Roof beams are RB3

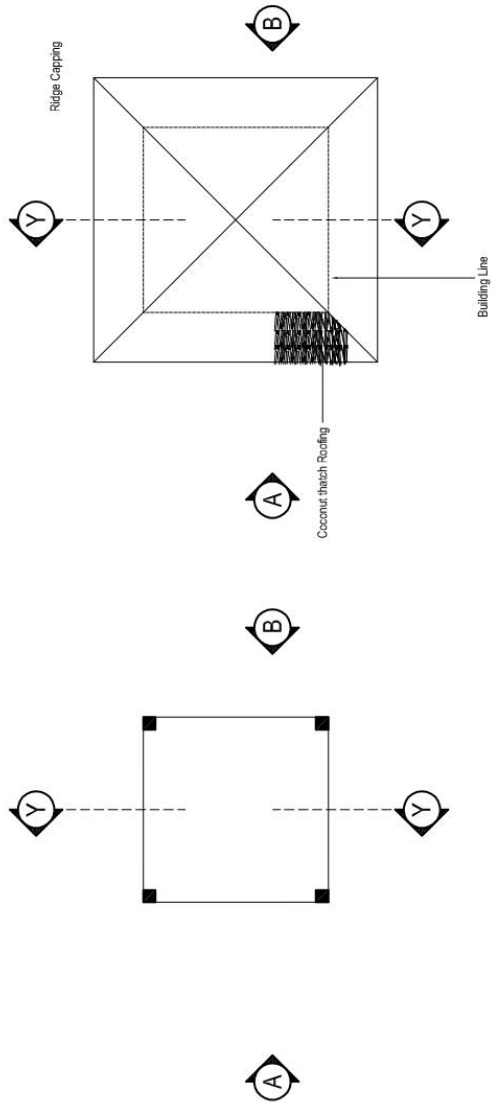


FOUNDATION PLAN



ROOF BEAM PLAN

BEACH TOILET - BLOCK
1:100



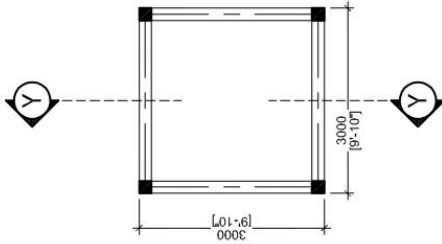
FLOOR PLAN

ROOF PLAN

BEACH HUT TYPE - 1
1:100

NOTE:

FB1 = 200x200 with 4T10 - R6@150 c/c
C1 = 200x200 with 4T10 - R6 @150 c/c
RB1 = 200x200 with 4T12 - R6@150 c/c
Foundation depth = 300mm

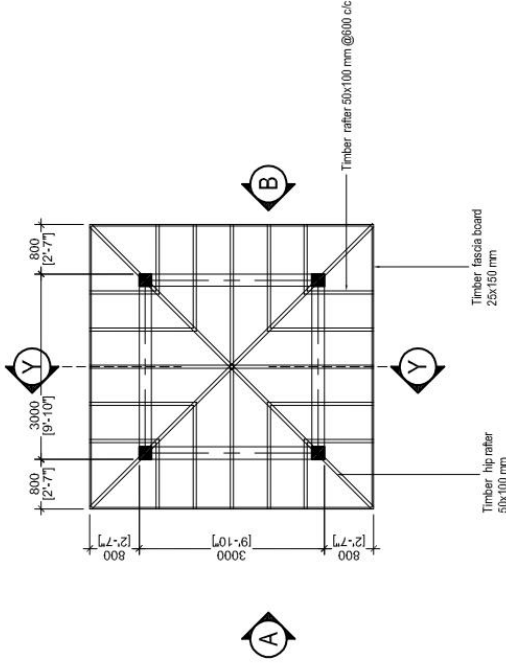


NOTE:

All foundation beams are FB1
All columns are C1
All Roof beams are RB1

NOTE:

- 12mm plywood to be fixed on rafters
finished with fiber laminating
- 50x35mm purlin to be fixed over plywood
- Coconut that roofing will be fixed over plywood



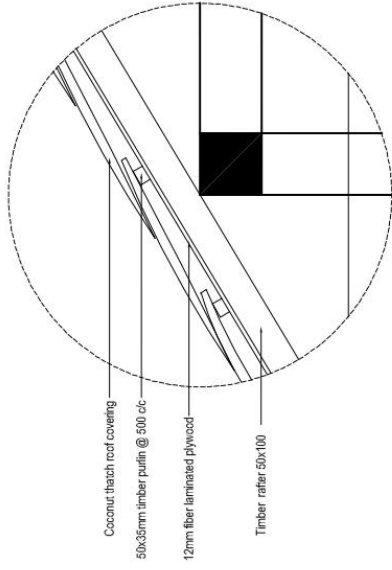
FOUNDATION PLAN

ROOF BEAM PLAN
ROOF STRUCTURE LAYOUT

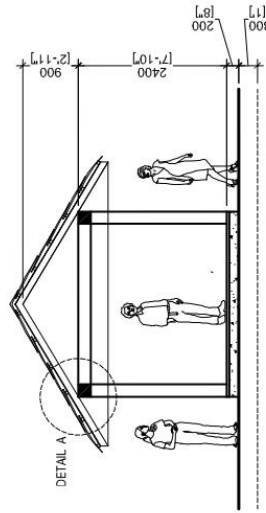
BEACH HUT TYPE - 1
1:100

NOTE:

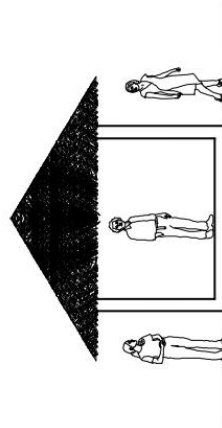
- 12mm plywood to be fixed on rafters finished with fiber laminating
- 50x35mm purlin to be fixed over plywood
- Coconut that roofing will be fixed over plywood



DETAIL - A
1:20

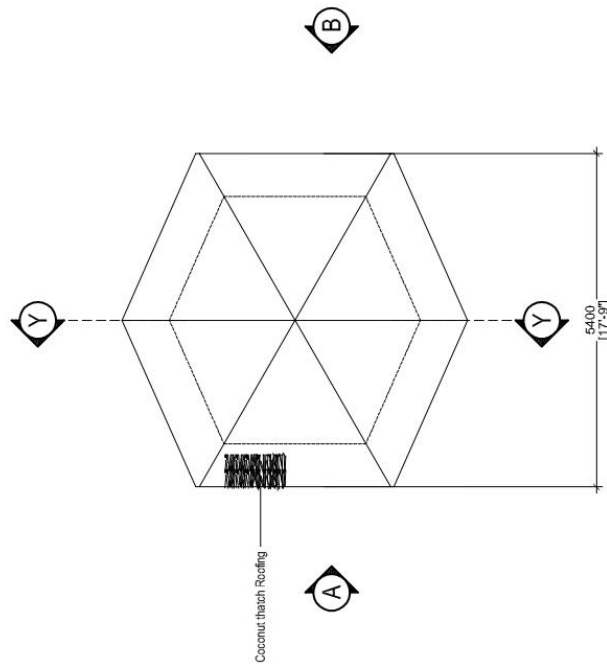


SECTIONAL ELEVATION Y-Y

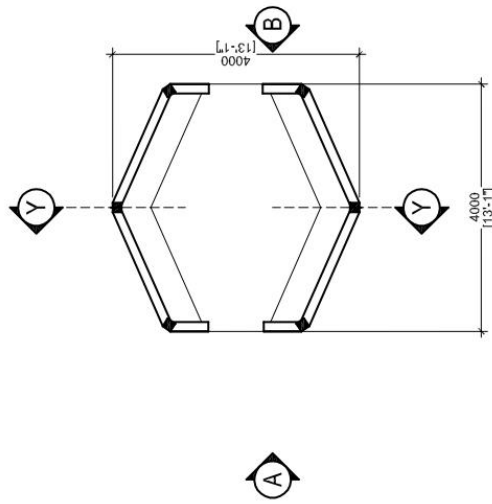


FRONT ELEVATION

BEACH HUT TYPE - 1
1:100



ROOF PLAN

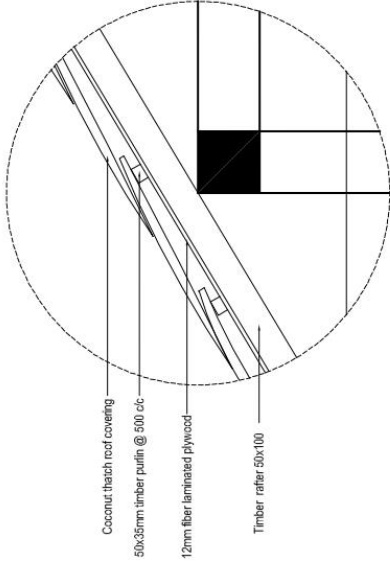


FLOOR PLAN

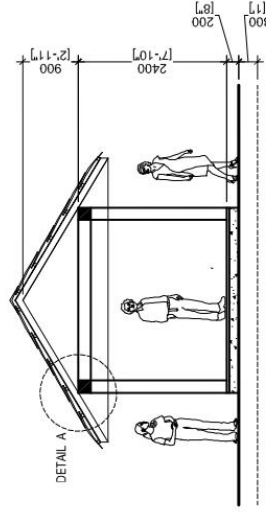
BEACH HUT TYPE - 2
1:100

NOTE:

- 12mm plywood to be fixed on rafters finished with fiber laminating
- 50x35mm purlin to be fixed over plywood
- Coconut that roofing will be fixed over plywood



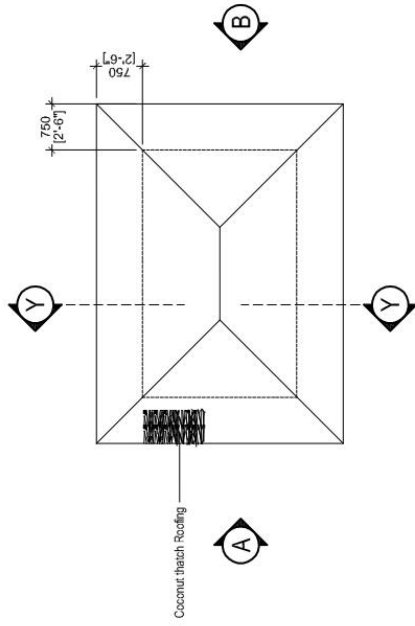
DETAIL - A
1:20



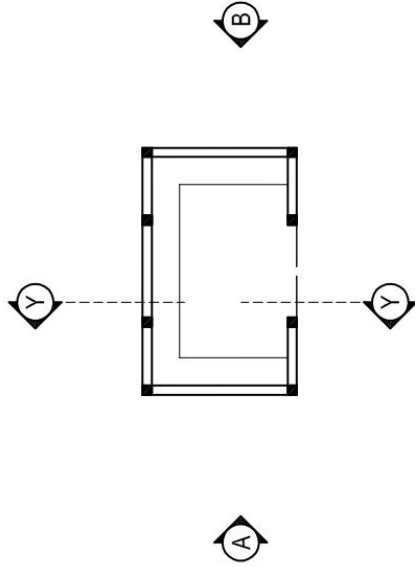
FRONT ELEVATION

BEACH HUT TYPE - 2
1:100

SECTIONAL ELEVATION Y-Y



ROOF PLAN



FLOOR PLAN

BEACH HUT TYPE - 3
1:100

NOTE:

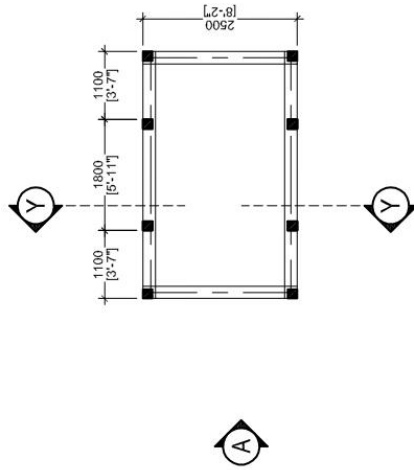
FB1 = 200x200 with 4T10 - R6@150 c/c
C1 = 150x1500 with 2T10 - R6 @150 c/c
RB1 = 150x200 with 4T10 - R6@150 c/c
Foundation depth = 300mm

NOTE:

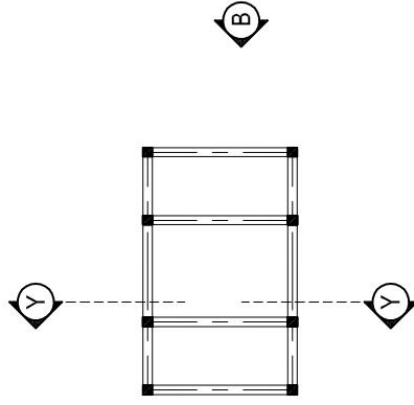
All foundation beams are FB1
All columns are C1
All Roof beams are RB1

NOTE:

- 12mm plywood to be fixed on rafters
finished with fiber laminating
- 50x35mm purlin to be fixed over plywood
- Coconut that roofing will be fixed over plywood



FOUNDATION PLAN

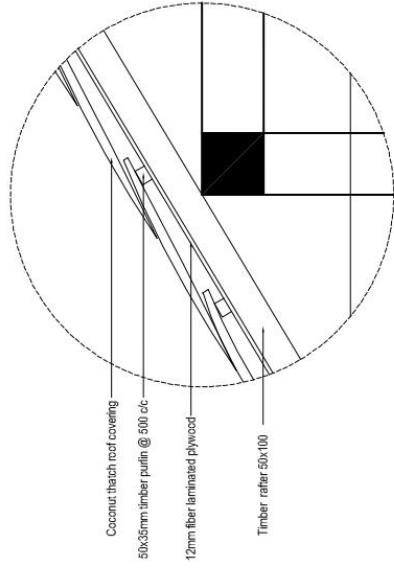


ROOF BEAM PLAN
ROOF STRUCTURE LAYOUT

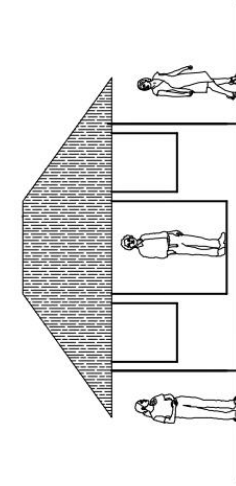
BEACH HUT TYPE - 3
1:100

NOTE:

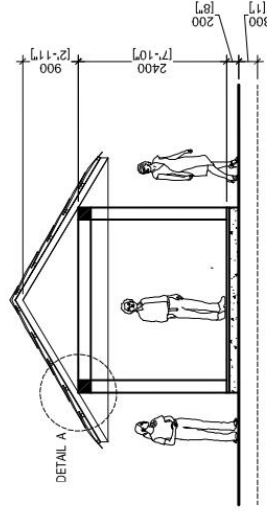
- 12mm plywood to be fixed on rafters finished with fiber laminating
- 50x35mm purlin to be fixed over plywood
- Coconut that roofing will be fixed over plywood



DETAIL - A
1:20

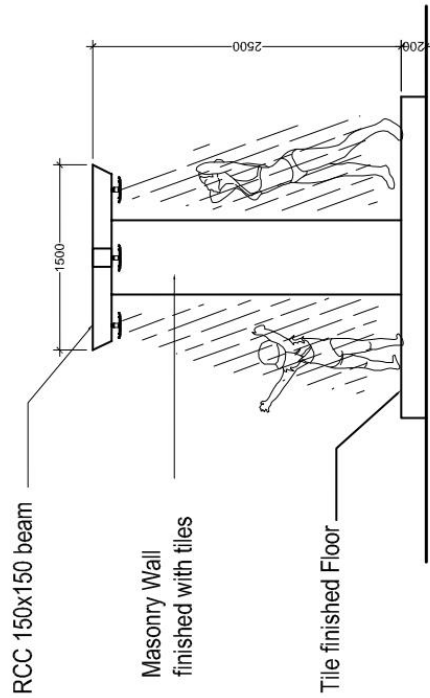


FRONT ELEVATION

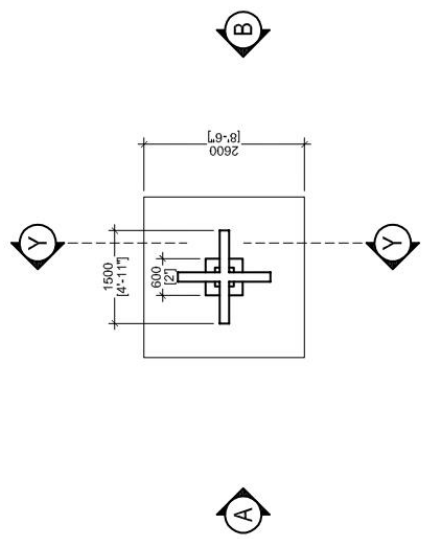


SECTIONAL ELEVATION Y-Y

BEACH HUT TYPE - 3
1:100

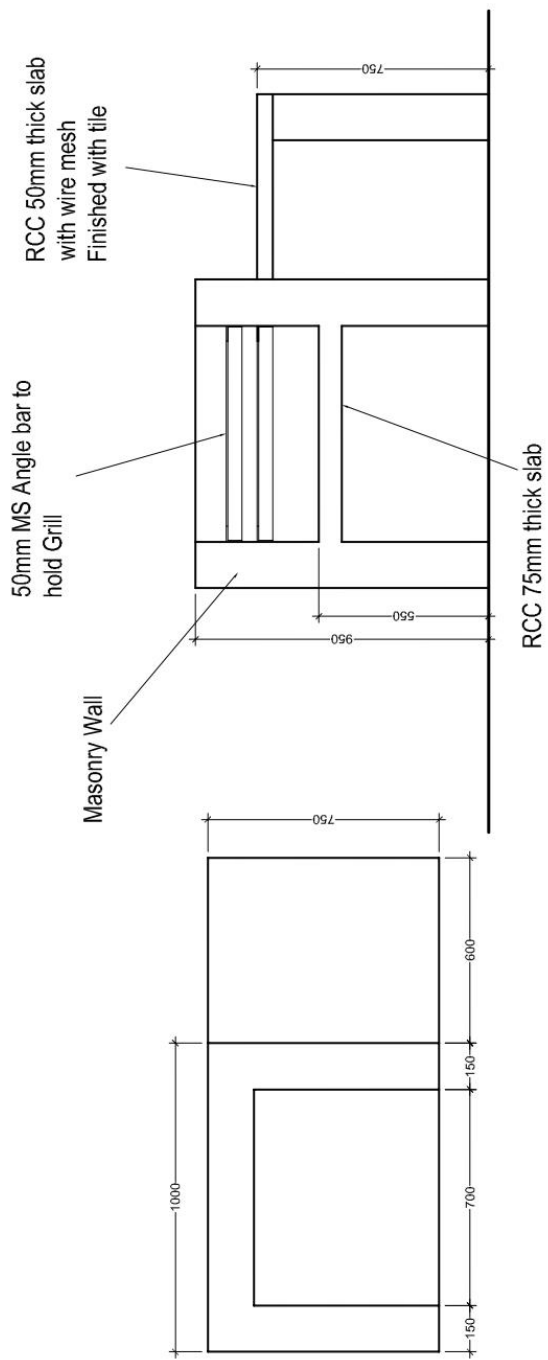


FRONT ELEVATION
1:50



FLOOR PLAN

OPEN SHOWER
1:100



ELEVATION

PLAN

BBQ STAND
1:20

NO	DESCRIPTION	QTY	UNIT
1	PRELIMINARIES		
A	Site Management Costs		
1	Allow for all on and off site management cost including costs of foreman and assistants, temporary electricity, water supply, hoardings, transport and include for hire equipment, plant, props, etc.	1	item
B	Demolition		
1	Demolition of existing structure. (If required)	-	Item
C	Site Clearing		
1	Site clearing for construction (If required)	-	sqft
D	Clean Up after completion		
1	Cleaning the site after completion of works	-	sqft
2	GROUND WORKS		
A	General		
	Rates include for: leveling, grading, trimming, compacting to faces of excavation, keep sides plumb, backfilling, consolidating and disposing surplus soil.		
B	Excavation		
1	Excavation for foundation	5.63	m ³
3	CONCRETE WORKS		
	General		
1	Rates include for: placing in position; making good after removal of formwork and casting in all required items; additional concrete required to conform to structural and excavated tolerances.		
2	Concrete quantity is measured to the edges of concrete foundation members. Rates shall be inclusive for any additional concrete required to place the formwork.		
A	FOUNDATION AND GROUND LEVEL		
1	Foundation Beam FB1		
	Concrete (1:2:3)	2.90	m ³
	Steel deformed bars, 20mm dia	-	no
	Steel deformed bars, 16mm dia	-	no
	Steel deformed bars, 10mm dia		no

		54.00	
	Steel Ring bars, 6mm dia (Ring)	68.00	no
	Formwork	29.00	m ²
3	Columns C1		
	Concrete (1:2:3)	0.50	m ³
	Steel deformed bars, 25mm dia	-	no
	Steel deformed bars, 10mm dia	11.00	no
	Steel deformed bars, 6mm dia	9.00	no
	Formwork	5.00	m ²
4	Columns C2		
	Concrete (1:2:3)	1.50	m ³
	Steel deformed bars, 25mm dia	-	no
	Steel deformed bars, 10mm dia	63.00	no
	Steel deformed bars, 6mm dia	13.00	no
	Formwork	21.00	m ²
5	Roof Beam RB1		
	Concrete (1:2:3)	0.50	m ³
	Steel deformed bars, 16mm dia	-	no
	Steel deformed bars, 12mm dia	9.00	no
	Steel deformed bars, 6mm dia	16.00	no
	Formwork	5.00	m ²
6	Roof Beam RB2		
	Concrete (1:2:3)	1.80	m ³
	Steel deformed bars, 16mm dia	-	no
	Steel deformed bars, 10mm dia	43.00	no
	Steel deformed bars, 6mm dia	75.00	no

	Formwork	24.00	m ²
7	BBQ Stand Complete		
	BBQ Stand complete as specified in the drawing including Concrete works, Masonry Works, Tiling, Fixing Grill	3.00	Item
8	Open Shower Complete		
	Open Shower Complete specified in the drawing including concrete works, Masonry works, Screeding, Tiling, plumbing and fixing Head Showers	1.00	Item
9	Hut Benches		
	Hut Benches Complete specified in the drawing including concrete works, Masonry works	1.00	Item
4	MASONRY and PLASTERING		
A	Masonry Wall		
1	100mm thick hollow block external wall	62	m ²
2	100mm thick hollow block internal wall	24	m ²
3	100mm thick hollow block parapet wall	19	m ²
B	Plastering		
1	Plastering external surfaces of walls, 12mm thick.	66	m ²
2	Plastering internal surface of walls, 12mm thick	117	m ²
3	Plastering surface of parapet walls, 12mm thick	51	m ²
4	45mm thick floor screed	56	m ²
5	ROOFING		
	General		
a	Rates shall include for: fair edges, dressing over angel fillets, turning into grooves, all other labours, circular edges, nails, screws and other fixings and laps.		
A	Roof Structure		
1	50x100mm timber rafters at 900 c/c	113	m
2	35x50 mm timber battons at 600c/c	200	m
B	Roof Covering		

1	Lysaght Corrugated Colour Bond Roofing Sheet Total coated thickness: 0.47mm Color: Cottage Green or Off-White	23.00	m ²
2	Aluminum and glasswool heat resistance blanket	23.00	m ²
3	Galvanize steel mesh	23.00	m ²
4	Coconut thatch Roofing	76.00	m ²
C	Flashing / Ridge Capping		
1	MSP Color bond ridge capping	15.00	m
D	Gutter		
1	MSP Color bond flat sheet gutter including supports, straps, brackets, clips, stop ends, overflow, downpipe outlets and all fixings and fastenings.	5.00	m
2	Fiber Cement Facia Board	5.00	m
E	Downpipe		
1	75 mm dia PVC down pipes including bends, junctions, straps, brackets, clips and all fixings	6.00	m
6	DOORS AND WINDOWS		
A	General		
1	Rates include for locks, latches, closers, push plates, pull handles, bolts, kick plates, hinges and all door & window hardware.		
A	GROUND FLOOR		
A	Doors / Windows		
1	D1	1	no
2	D2	2	no
3	W1	3	no
7	CEILING		
	General		
a	Ceiling boards shall be as specified in the drawing / by the consultant.		
b	Rates shall include for removing, replace, framing, fixing and all other works.		
1	12mm plywood ceiling over roof rafters including treating and finished with varnish paint as specified in the drawing.	91	m ²
8	HYDRAULICS AND DRAINAGE		

A	General		
1	Rates shall include for: valves, sockets, running joints, connectors, elbows, junctions, reducers, expansion joints; back nuts and similar; incidental fittings, clips, saddles, brackets, straps, hangers, screws, nails and fixing complete, including cutting and forming holes;		
	excavating, laying pipes and backfilling trenches.		
2	Sanitary fixtures complete including brackets, flush pipes, valves, overflows, plugs and washers, as specified.		
	Plumbing		
1	Contactor has to check the sizes and quantities of the pipe works, as per the site.	1	item
2	Inspection Chambers and its all necessary works to be provide	1	item
3	High pressure Ground well water pump	1	no
	Sanitary fixtures		
1	No. of toilets	2	no
2	WC	2	no
3	Wash basin	2	no
4	Wash basin tap	2	no
5	Towel hook	2	no
6	Soap holder	2	no
7	Mirror set	2	no
8	Muslim shower	2	no
9	Water Tap	6	no
10	Floor drain	3	no
9	ELECTRICAL INSTALLATION		
	General		
a	Rates shall include for: screws, nails, bolts, nuts, standard cable fixing or supporting clips, brackets, straps, rivets, plugs and all incidental accessories		
1	Main electric connection	1	no

