

Rotokauri Strategic Infrastructure Designation - Preliminary Site Investigation (Contamination)

Prepared for Hamilton City Council
Prepared by Beca Limited

24 April 2024



**Hamilton
City Council**
Te kaunihera o Kirikiriroa

Contents

1	Introduction.....	3
1.1	Project Description.....	3
1.2	Purpose and scope.....	7
2	Site Description and Assessment Approach.....	8
2.1	Site location and area.....	8
2.2	Proposed works.....	8
2.3	Approach to assessment.....	9
2.4	Current and surrounding land use.....	10
2.5	Topography.....	11
2.6	Sensitive receptors and hydrology.....	11
2.7	Geology and hydrogeology.....	11
2.8	Previous Beca Contamination Reports.....	12
3	Stage 1 Investigation.....	14
3.1	Historical aerial photography.....	14
3.2	Land Use Information Register.....	19
3.3	Consented activities.....	21
3.4	Alignment site visit.....	22
4	Summary of Stage 1 Investigation.....	23
5	Stage 2 Investigation.....	26
5.1	Records of Title.....	26
5.2	Property files.....	26
6	Discussion of Assessment.....	27
6.1	Summary of Stage 1 and 2 information search.....	27
6.2	Summary of findings - Potentially contaminating activities (HAIL areas).....	28
6.3	Exposure pathway assessment.....	31
7	Development Implications.....	33
8	Options for Next Steps.....	36
8.1	Option 1 – Staged consenting.....	36
8.2	Option 2 – Global consenting.....	36
9	Summary of Conclusions.....	37
10	Limitations.....	38
11	Reviewing Statement.....	39

Appendices

Appendix A – HAIL Map

Appendix B – WRC LUIR Summary

Appendix C – HCC Land Use Register Information

Appendix D – Consents Information

Appendix E – Selected Property File Information

Revision History

Revision N°	Prepared by	Description	Date
1	Holly Scott / Emma Lewis	Draft for approval	30 March 2022
2	Ryan Ainsworth	Notice of Requirement (Project-wide figures updated only)	30 June 2023
3	Holly Scott	Updated based on s92 queries. Primary changes relate to updated HCC and WRC Land Use Register information and consolidating information specifically to summarise properties within a 100m proximity to the alignment.	24 April 2024

Document Acceptance

Action	Name	Signed	Date
Prepared by	Holly Scott		24 April 2024
Reviewed by	Phillip Ware		24 April 2024
Approved by	Craig Sharman		24 April 2024
on behalf of	Beca Limited		

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Executive Summary

Beca Limited (Beca) has been commissioned by Hamilton City Council (HCC) to undertake a Preliminary Site Investigation - Contamination (PSI) of the proposed Rotokauri Strategic Infrastructure Designation (the Project) in Hamilton, Waikato.

Purpose and scope

The purpose of the desk study is the following:

- Identify current or historical activities listed on the Ministry for the Environment Hazardous Activities and Industries List (HAIL) within and adjacent to the Project to determine the likelihood of potential contaminants in soils.
- Comment on potential requirements for the proposed works under the following legislation:
 - Waikato Regional Plan – Land and Soil Module.
 - Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (NESC).

The scope of the assessment was to undertake a desk-based review of selected information sources. Given the number of properties located within (or immediately surrounding) the Project, a staged approach was undertaken to achieve the purpose of the assessment. Details of the approach to assessment and Stage 1 and Stage 2 investigations are provided in Section 2.3 of this report.

It is recommended that prior to any further work (such as soil sampling investigations based on the findings of this report), a review of this early-stage PSI is undertaken and depending on time lapsed, further desktop review be undertaken to best inform the scope of any sampling.

Summary of key findings

Based on the information reviewed in this investigation, a HAIL map is included in **Appendix A** that details the areas where potentially contaminative activities have been identified. In this map, areas are referenced 'Site 1' through to 'Site 14'. Reference to these areas is made in each report section respectively.

Stage 1 Investigation

Based on the information reviewed as part of Stage 1 in the original 2022 assessment, and the categorisation process undertaken, a total of 13 properties were selected for further investigation in Stage 2. These properties were those identified to be either Category 1 or Category 2 as follows:

- **Category 1:** A site / property that the Project runs directly through where there is potentially an elevated risk to human health or the environment.
- **Category 2:** A site /property that the Project runs directly through where additional information provided indicates the risk to human health or the environment is low OR a site / property that is immediately adjacent where earthworks are proposed where there is potentially an elevated risk to human health or the environment.

Note: Category 3 properties that were identified to be HAIL sites based on Waikato Regional Council information that were not pulled through for Stage 2 investigation will still require consideration under the NESC if works are proposed in these areas.

As part of the Resource Management Act Section 92 further information response process, amendments to this report have been made to include an updated 2024 Waikato Regional Council Land Use Information Register request, and an HCC contaminated land information request.

Stage 2 Investigation

Information reviewed as part of the Stage 2 investigation in the 2022 assessment provided further details of properties identified through the Stage 1 assessment. Through this process potential contaminants of concern have been identified for each HAIL activity and an exposure pathway assessment has been undertaken.

PSI key findings

This PSI has identified 14 HAIL sites within or within 100m of the Project that may have potential to impact on site soils. These are depicted in **Appendix A**. The following are the HAIL activities that have been identified:

- **A1:** Agrichemicals, including commercial premises used by spray contractors for filling, storing, or washing out tanks for agrichemical application
- **A8:** Livestock dip or spray race operations
- **A10:** Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds
- **A17:** Storage tanks or drums for fuel, chemicals or liquid waste
- **A18:** Wood treatment or preservation including the commercial use of antisapstain chemicals during milling, or bulk storage of treated timber outside
- **F4:** Motor vehicle workshops
- **F6:** Railway yards including good handling yards, workshops, refuelling facilities, or maintenance areas
- **F7:** Service stations including retail or commercial refuelling facilities
- **F8:** Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances
- **G5:** Waste disposal to land (excluding where biosolids have been used as soil conditioners)
- **I:** Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment

Development implications and next steps

The development of the Project will include 'trigger activities' within "pieces of land" as defined by the NESCS, and therefore consent under the NESCS is likely to be required. Two potential options in terms of contaminated land specific resource consenting have been discussed in Section 8 of this report.

In summary, whichever pathway is selected in terms of resource consenting for this Project, soil sampling in the form of a DSI may be required where works are proposed within identified HAIL areas.

It is likely that a Contaminated Soils Management Plan (CSMP) will need to be prepared for the works. A CSMP will be required either to support a 'global' discretionary NESCS resource consent application, or to meet the relevant criteria under a permitted activity and / or staged consent approach.

Regarding the Waikato Regional Plan, it is recommended that a full review of the rules under the Waikato Regional Plan be undertaken by a planner to determine whether a discharge resource consent is required in relation to the proposed soil disturbance works.

1 Introduction

Beca Limited (Beca) has been commissioned by Hamilton City Council (HCC) to undertake a Preliminary Site Investigation - Contamination (PSI) of the proposed Rotokauri Strategic Infrastructure Designation (the Project) in Hamilton, Waikato.

1.1 Project Description

This PSI report has been prepared to support the Notice of Requirement (NoR) being prepared by Beca on behalf of HCC as a requiring authority pursuant to section 167 of the Resource Management Act 1991 (RMA). HCC requires land to be designated in Hamilton City for the construction and operation of a key transportation network and strategic infrastructure corridor to service the Rotokauri growth cell. The Project will enable:

- Land required for key strategic infrastructure to be secured by HCC.
- Future construction of the strategic infrastructure networks.
- Facilitate planned future urban growth within the Rotokauri area.

The Project is situated in the northwest of Hamilton and is identified on the Rotokauri Structure Plan (RSP) as shown in Figure 1 below. The Rotokauri growth cell is an existing greenfield area and has been signalled for urbanisation since 1989. Iterations of the RSP have been in place since 2005 providing a land use development blueprint that enables, and will in time, result in a predominantly residential urban environment. The Rotokauri growth cell currently sustains a mixture of remnant rural land uses (pastoral farming, cropping and rural lifestyle living) and transitional urbanisation land uses envisaged under the RSP. The RSP provides for other urban activities including industrial, employment, educational, recreational, commercial (Suburban Centre) and associated network infrastructure as shown in Figure 2-8: Rotokauri Structure Plan¹ of the Hamilton City District Plan (HCDP).

The RSP requires the advanced or concurrent development of critical infrastructure to unlock the urbanisation planned in the catchment, including the designated Rotokauri Greenway corridor and the proposed Rotokauri Arterial Network. The Rotokauri Greenway is a necessary precursor to the construction of a significant component of the Rotokauri Arterial Network.

Urbanisation is under way in the Rotokauri growth cell with various consents lodged and several obtained by adjacent landowners and developers. Particularly relevant to the Rotokauri Arterial Network are the subdivision consents granted to RDL (197 lots) and Te Wetini Developments (5 lots). It is acknowledged that a degree of integration between HCC as the requiring authority and the development community is necessary during this transitional development phase. As such, it is anticipated the Rotokauri Strategic Infrastructure may be refined in co-ordination with adjacent landowners in the future.

¹ <https://hamilton.isoplan.co.nz/eplan/rules/0/17/0/0/0/79>

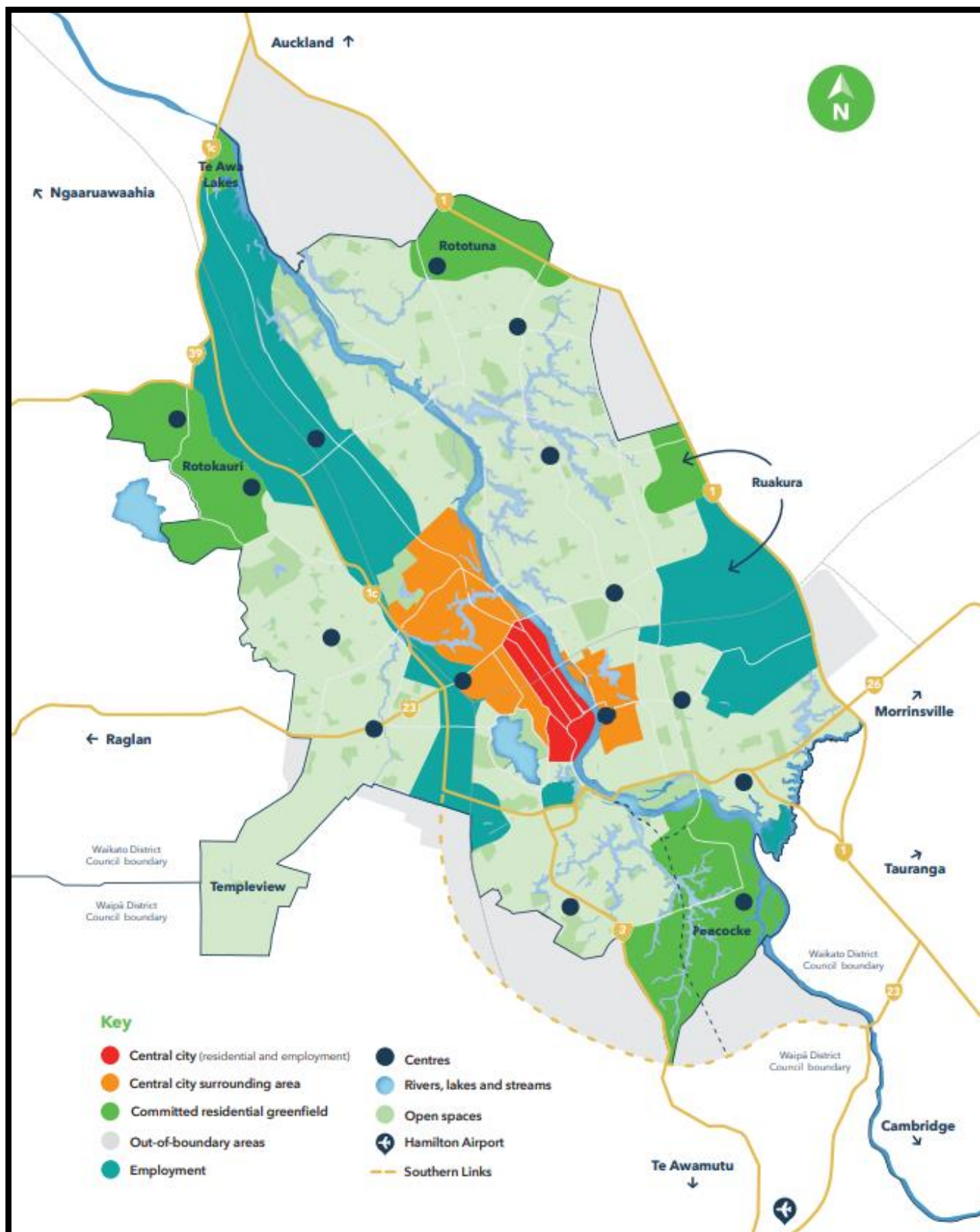


Figure 1: Rotokauri Development Location Plan (Source: Hamilton City Council Urban Growth Strategy, 2023)

The Project as depicted in **Figure 2** below covers a combined 5.8km length of corridors, including the design of a new 5.2km corridor relating to greenfield area which will support future growth and development in Rotokauri.

- Proposed major arterial – approx. 0.7km on existing roads (purple)
- Proposed minor arterials – approx. 3.8km (red)
- Proposed collector roads – approx. 0.8km (yellow)
- Proposed local roads – approx. 0.5km adjoining the realigned Arthur Porter Drive (blue)

This includes a north-south corridor that commences in the north at the State Highway 39 (SH39) and Koura Drive roundabout, and proceeds in a south-eastern direction to the future intersection with Te Wetini Drive.

There are also two east-west corridors (Te Kowhai East Road and Chalmers Road) that align with existing grade separated underpasses under State Highway 1 and link the Rotokauri growth cell to key transport destinations, and the wider Hamilton city transportation network. Arthur Porter Drive is a strategic local road (collector) connection which with an enhanced connection between two existing portions of the corridor to better connect the transportation network in this location.

The proposed design of the transport network has a strong urban design focus contributing to achieving HCC's strategic objectives for land use planning, urban growth infrastructure provision and economic development. These include those core aspects associated with the primary use of multimodal transportation and secondary functions of a strategic network designation including associated infrastructure provisions and how they affect the spatial requirements of the land to be designated. Broadly, these include multimodal transportation facilities, bus stops, parking, spatial provisions for utilities network including three waters infrastructure, connections to recreational spaces and small amenity areas where there is a transition in land-use or context.

The Project also includes associated stormwater facilities including treatment swales directly associated with the road that are needed to provide an appropriate level of treatment and allow the construction of the transport network to give effect to the proposed designation. Some elements of the broader Rotokauri scheme overlap with the proposed designation for the stormwater areas with specific wetland treatment areas to be included within the designated corridor.

The Project will build on the Greenway Project with stormwater facilities intended to work in conjunction with the Greenway and provide modal connections which enhance the identified recreation functions associated with the Greenway. Further descriptions and details of the Rotokauri Greenway and the interfacing aspects relevant to the proposal are outlined in the NoR document.

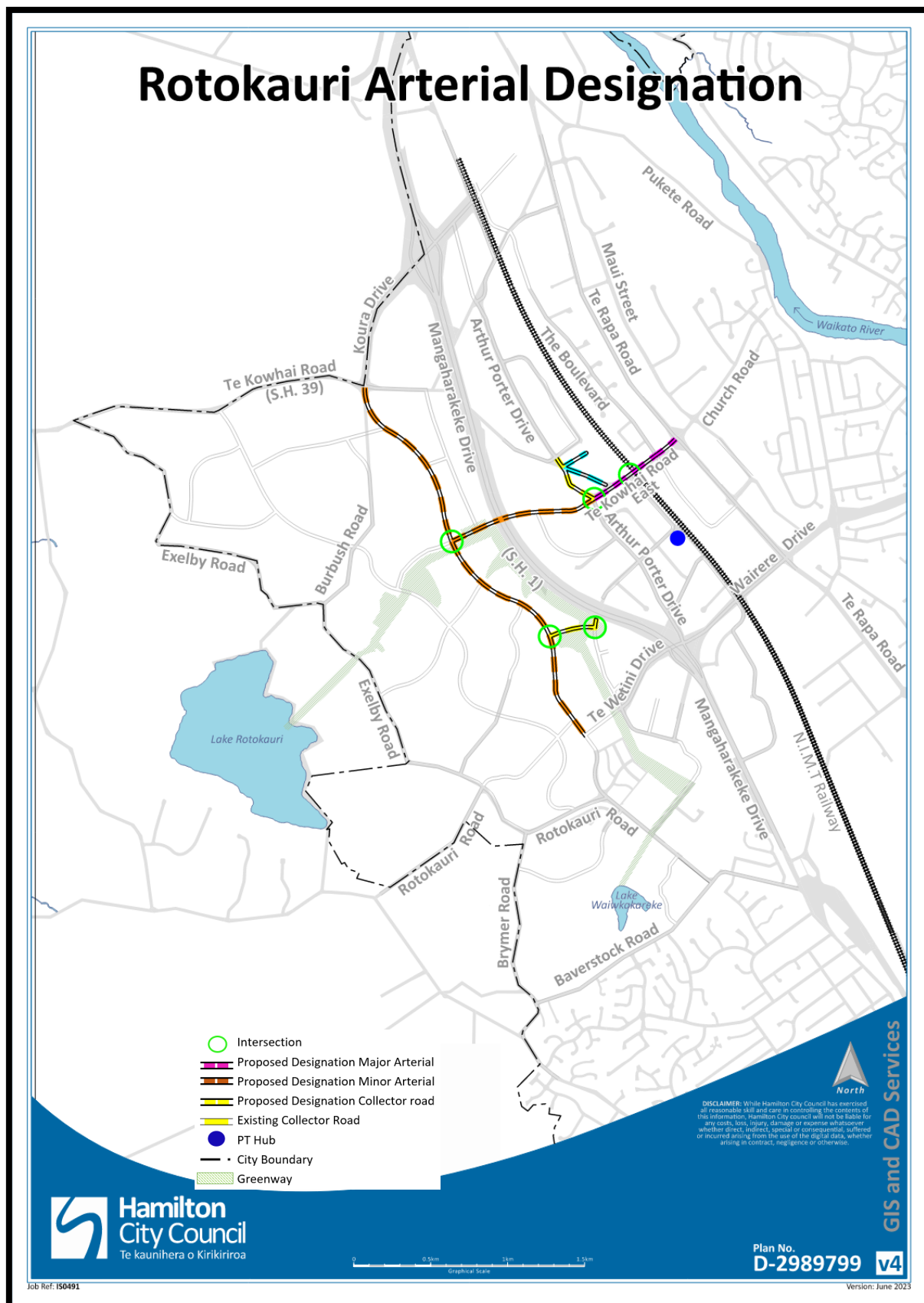


Figure 2: Proposed Rotokauri Arterial Network (Source: Hamilton City Council)

1.2 Purpose and scope

For the purposes of this report, the Project area, as shown in **Figure 3** will be referred to as ‘the alignment’ hereon.

The purpose of the desk study is the following:

- Identify current or historical activities listed on the Ministry for the Environment Hazardous Activities and Industries List (HAIL) within and adjacent to the alignment to determine the likelihood of potential contaminants in soils within the alignment.
- Comment on potential requirements for the proposed works under the following legislation:
 - Waikato Regional Plan – Land and Soil Module.
 - Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (NESCSCS).

The scope of works included a partial inspection of the alignment and a desk-based review of historical background information, including:

- Review of the following information sources:
 - Publicly available historical aerial photographs on and within a 100m radius of the alignment. Aerials were reviewed as of March 2022.
 - Waikato Regional Council (WRC) HAIL Register and any associated relevant reports for properties on and within a 100m radius of the alignment. WRC information was obtained in March 2022 and then an updated information package was obtained in March 2024.
 - HCC HAIL Register information for any information they hold relating to the alignment in addition to that provided by WRC. HCC contamination information was obtained in March 2024.
 - HCC property files for selected properties that are deemed to require further desk-based investigation, located within, or within an approximate 100m radius of the alignment. These records were as of March 2022.
 - Records of Title for selected properties that are deemed to require further desk-based investigation, located within, or within a 100m radius of the alignment.
 - Discharge resource consent information within an approximate 1km radius of the proposed alignment.
 - Published local geology and hydrogeology within a 100m radius of the proposed alignment.
- An opportunity to view the general alignment area was undertaken as part of a multi-disciplinary site visit in December 2019 and only selected areas were able to be visited. A walkover in line with Contaminated Land Management Guidelines (CLMG) has not been undertaken as part of this PSI and will be undertaken during the detailed investigation scoping.
- Most of the alignment is rural farmland and was able to be viewed from vantage points during the site visit.
- Assessment of the proposed works under the requirements of the NESCSCS and Waikato Regional Plan.
- Review of any other information considered relevant which becomes available during the timeframe for report delivery.

This assessment has been undertaken and reported in general accordance with the *Ministry for the Environment (MfE) Contaminated Land Management Guidelines No. 1 – Reporting on Contaminated Sites in New Zealand (2021)* and *MfE Contaminated Land Management Guidelines No. 5 – Site Investigation and Analysis (2021)*.

2 Site Description and Assessment Approach

2.1 Site location and area

The alignment is in Rotokauri, a committed residential greenfield growth cell in Hamilton. The alignment is approximately 5.8km in total length and is located within a predominantly 'greenfield catchment'. The alignment is identified in **Figure 3** below.

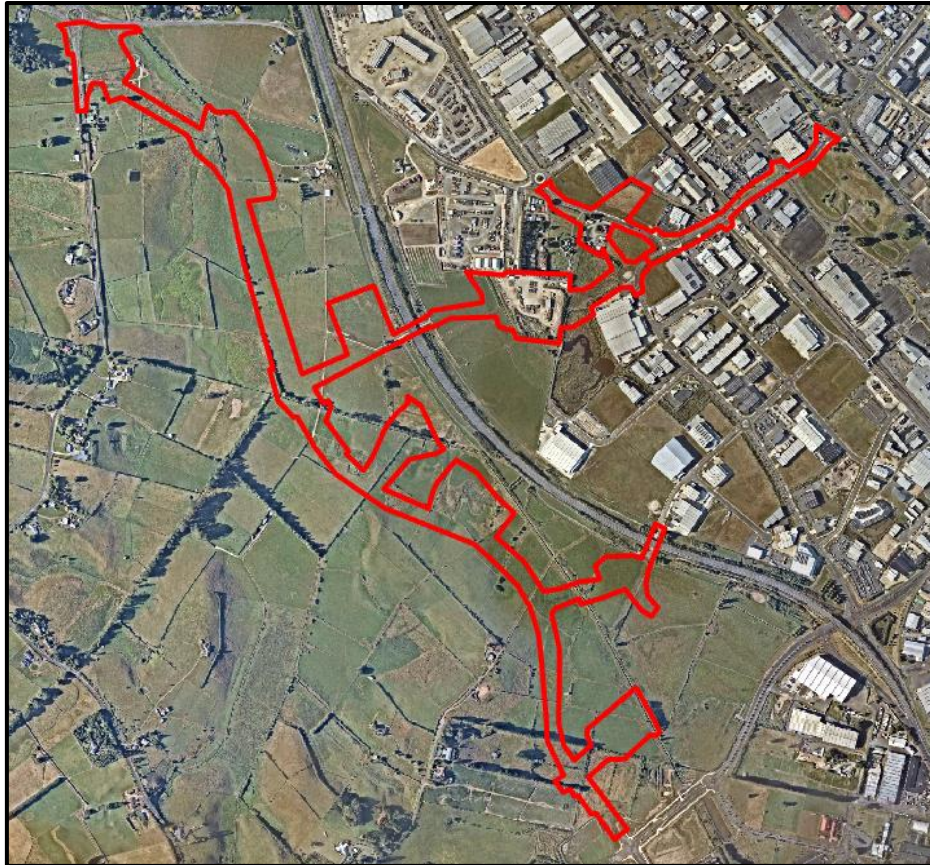


Figure 3: The alignment (red) (Base image source: Nearmap 2024).

2.2 Proposed works

HCC requires land to be designated for the construction and operation strategic transport and stormwater infrastructure.

The alignment consists of one main route which starts at the Te Kowhai Road roundabout, descending south to the Te Wetini Drive locality. This route will be designated as a 'minor arterial' and will consist of a two-lane road. Several additional proposed corridors run east off the main route, through a predominately commercial area, before connecting with existing roads in Hamilton City. These routes include a mixture of collector roads (two lanes), minor arterials (two lanes) and major arterials (four lanes). Widening works will additionally be undertaken on several existing roads within the proposed designation.

The exact design and associated soil disturbance volumes are not known at the time of this assessment.

2.3 Approach to assessment

The alignment currently passes through several properties, with multiple landowners and tenancies. This assessment is of the alignment with an approximate 100m buffer area around it. The approach outlined below was taken to achieve the purpose of identifying any potential contaminative activities that have occurred within or within 100m of the alignment, particularly where migration of contaminants to the alignment may be possible.

Figure 4 below illustrates the approach to assessment as a flow chart.

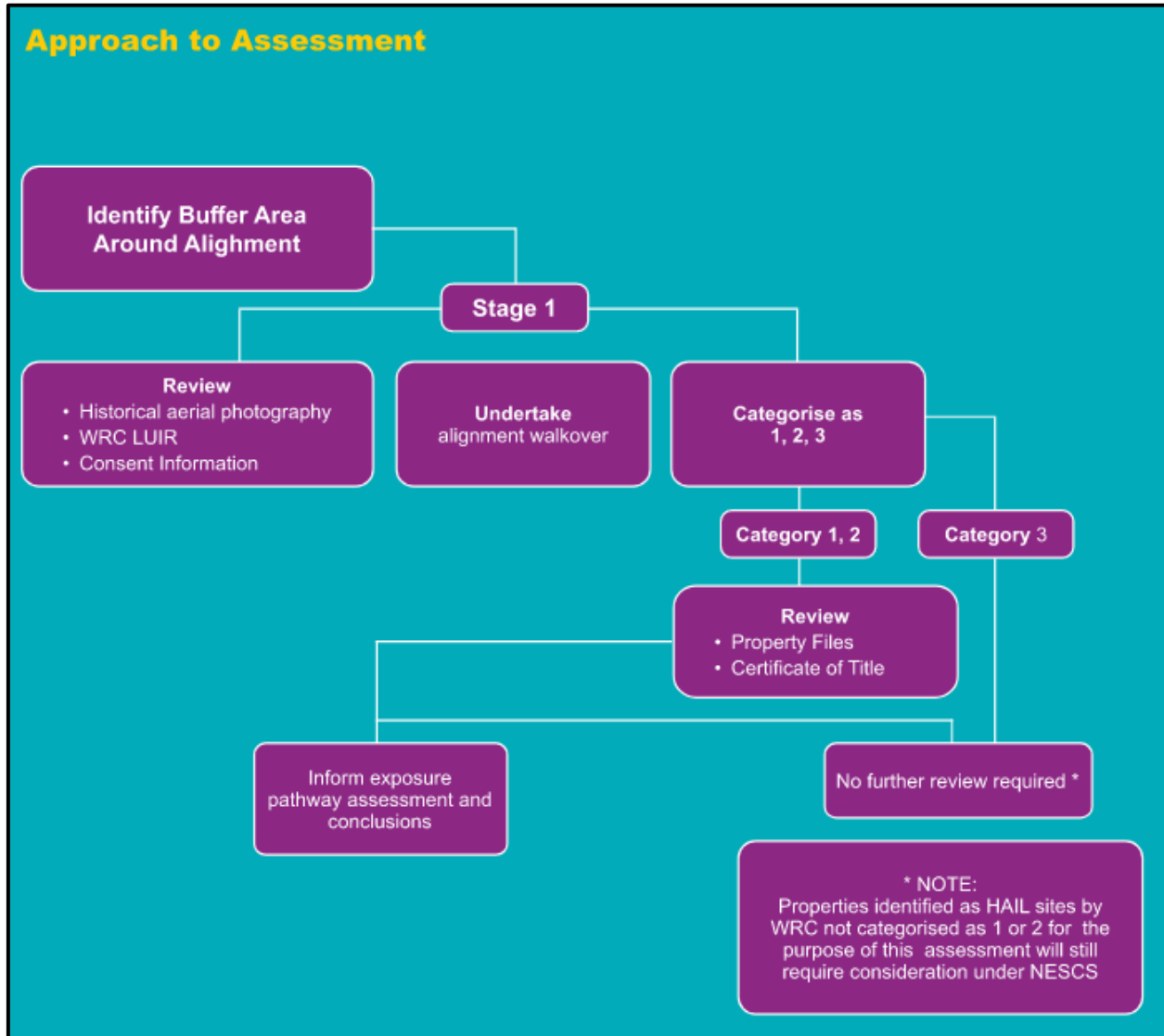


Figure 4: Approach to assessment flow. The HCC Land Use register was also reviewed for information that was in addition to the WRC LUIR information in response to s92 questions.

Due to the number of properties located within and within 100m of the alignment, the information review that forms this PSI has been undertaken in a staged approach as follows:

- **Stage 1:** for all properties within, and within an approximate 100m distance surrounding the alignment, the following selected information sources were reviewed:
 - Historical aerial photography
 - WRC Land Use Information Register
 - Consented Activities

- An 'alignment walkover' was also undertaken to make observations of the general area of the alignment.
- Following the completion of **Stage 1**, properties were categorised (**Section 2.3.1**) to inform whether further assessment was required. The following information sources were then reviewed if a property was selected for **Stage 2** assessment:
 - Property Files
 - Certificates of Title.

This report is formatted to follow the approach outlined above.

Note: Information from HCC's Land Use Register was sought in March 2024. The information request made to HCC was specific to the land parcels within the alignment as outlined in **Figure 3**. HCC's Land Use Register is held on a property address basis of which some information provided by HCC was not relevant to the alignment. The review of HCC information was specifically for anything that was new or additional to the information provided by WRC. This exercise was undertaken in response to RMA Section 92 queries in March 2024.

2.3.1 Categorisation

To determine whether the properties discussed in the Stage 1 sections would be selected for Stage 2 investigation, the following categorisation framework has been used specifically during the **Stage 1** assessment (**Section 3**):

- **Category 1:** A site / property that the alignment runs directly through where there is potentially an elevated risk to human health or the environment.
- **Category 2:** A site / property that the alignment runs directly through where additional information provided indicates the risk to human health or the environment is low OR a site / property that is immediately adjacent where earthworks are proposed where there is potentially an elevated risk to human health or the environment.
- **Category 3:** A site / property located adjacent or a distance away from the alignment where the risk to human health or the environment is considered low.

In summary, in the **Stage 1** properties or sites that were categorised as **Category 1** or **Category 2** were selected for Stage 2 assessment. However, it is noted that some sites / properties have been categorised as **Category 3** due to distance from the alignment OR risk to receptors is considered low, but they already are classified as HAIL sites by WRC (and will need to be considered as such in any future work).

2.3.2 Map and site references

Based on the information reviewed in this investigation, a HAIL map is included in **Appendix A** that details the areas where potentially contaminative activities have been identified. In this map, areas are referenced 'Site 1' through to 'Site 14'. Reference to these areas is made in each report section respectively.

2.4 Current and surrounding land use

The predominant land use of the alignment is dry stock grazing, dairy farming activity, and road (in areas of existing road). The surrounding land use generally consists of rural activities and lifestyle blocks. To the east of the alignment is a developing commercial/industrial area where various businesses (such as motor vehicle workshops) are present.

The corridors which run east off the main alignment route, travel beneath the Waikato Expressway before running through a developing commercial/industrial area.

A residential subdivision, the Waikato Institute of Technology (Wintec) and Nga Taiatea Wharekura High School are present adjacent to the latter portion (south) of the alignment.

2.5 Topography

The topography of the alignment is gently undulating with upward slopes both towards the eastern and western ends of the alignment. The area to the east that is predominantly farmland has many farm drains that traverse the properties. The commercial/industrial area to the west appears to have been reworked over time as part of the ongoing development.

2.6 Sensitive receptors and hydrology

Lake Rotokauri is present approximately 1.4km southwest of the alignment at its closet point. Lake Rotokauri is a peat lake and is part of the Waipa peat lake complex. Lake Rotokauri drains to the Waipa River through the Ohote Stream. A weir at the outlet controls the lake level.

Lake Waiwhakareke (Horseshoe Lake) is additionally present approximately 350m southwest of the alignment at its closet point. Lake Waiwhakareke ultimately drains to Lake Rotokauri. Both Lake Rotokauri and Lake Waiwhakareke are of a degraded quality due to the surrounding rural, residential and industrial land uses. However, significant regeneration works have been undertaken to improve both water quality and surrounding vegetation.

There are several unnamed streams or farm drains across the wider alignment area.

The Waikato Institute of Technology (Wintec) and Nga Taiatea Wharekura High School are located north of the latter portion of the alignment respectively.

2.7 Geology and hydrogeology

The alignment crosses through several geological units as prescribed by the New Zealand Institute of Geological and Nuclear Sciences² and listed below.

- Holocene swamp deposits and peat with a description of 'Soft, dark brown to black, organic mud, muddy peat and woody peat.
- Alluvial deposits with a description of 'Alluvium as above, but dominated by primary and reworked, non-welded ignimbrite.
- Hinuera Formation with a description of 'Cross-bedded pumice sand, silt and gravel with interbedded peat'.

Several geotechnical investigations have been undertaken in various locations on or within proximity of the alignment. A summary of the two closest geotechnical reports is included below. Locations of these investigations are shown on **Figure 5** below.

1 - The investigation was undertaken in March 2018 by Beca Ltd³. Investigation of the site encountered a variable profile of silt, sand and clay layers with interbedded organic silt or peat lenses. The investigations within the site and general vicinity encountered groundwater between 0.2m and 3.8m below ground level.

2 - The investigation was undertaken between March and April 2010 by Beca Infrastructure Ltd⁴. The investigation comprised 16 machine boreholes, seven test pits, 29 Cone Penetration Tests (CPTs) and Laboratory Testing. The investigations revealed the site to be underlain by soils (sands, silts, gravels and peats

² Heron D. W. (custodian) 2014. Geological Map of New Zealand 1:250 000. Institute of Geological & Nuclear Sciences

³ Beca Infrastructure Ltd. 'Dairy Goat Feasibility Study - Geotechnical Assessment Memorandum Rev B', March 2018.

⁴ Beca Infrastructure Ltd. 'Rotokauri Development – Factual Geotechnical Report', August 2010.

of the Piako (Hinuera Formation) and Walton Sub-Groups, with the latter outcropping and forming the low-lying hills in the western part of the site. Observations from shallow piezometers showed groundwater levels at approximately 4.2m below ground level.

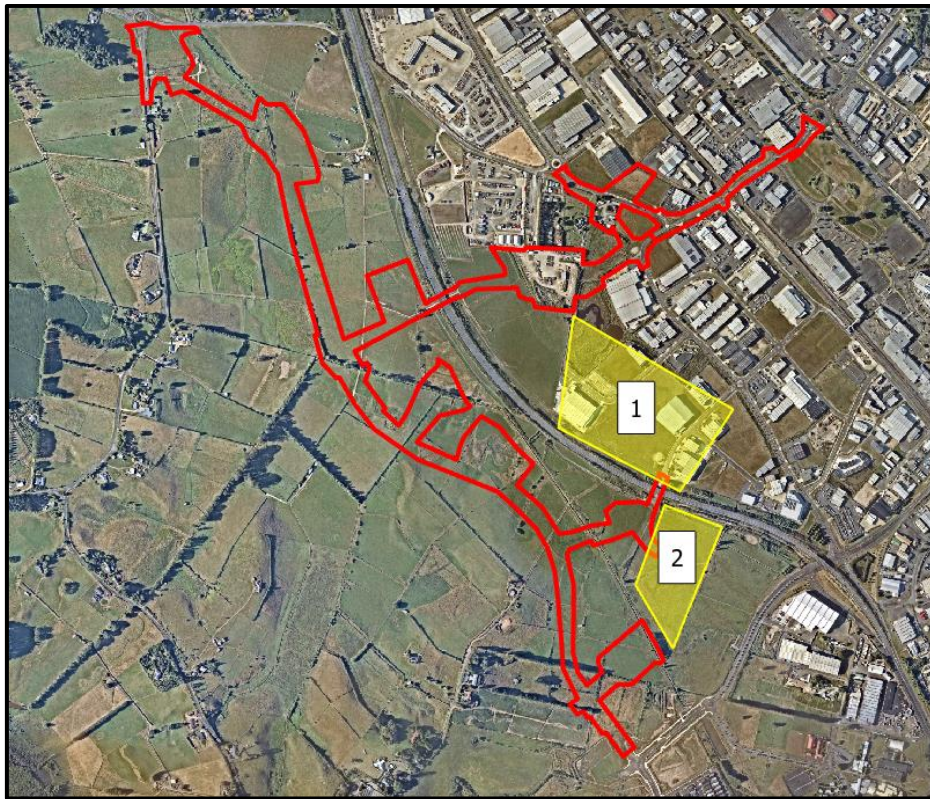


Figure 5: Location of Geotechnical reports as per Section 2.7 above (Base image source: Nearmap 2024).

2.8 Previous Beca Contamination Reports

A PSI was undertaken by Beca in 2018 of the Rotokauri Greenway Corridor⁵. The Rotokauri Greenway Corridor is approximately 3.2km in length and is intended to function as the principal stormwater management and drainage channel in the Rotokauri area. The Rotokauri Greenway Corridor (as shown in **Figure 6** below) intersects with several areas of the alignment.

A review of the information provided in the PSI identified one site, known as Site 16 in the Beca Greenway report, which has been subject to potential filling with evidence of potential construction and demolition waste present. Site 16 is approximately 2,000m² and is located adjacent to a settling pond, off Akoranga Road (See Site 16 in **Figure 6** below). Two activities on the HAIL list were considered to apply to Site 16 including:

- **G5** – Waste disposal to land
- **E1** – Asbestos products manufacture or disposal including sites with buildings containing asbestos products known to be in a deteriorated condition

The PSI identified two additional risk areas in which the relevant National Environmental Standards were not considered to apply to including:

⁵ Beca, October 2018 - Preliminary Site Investigation (contamination) – Rotokauri Greenway Designation.

- A stockpile of tyres was identified during the site walkover at 0 Exelby Road (Site 5 in **Figure 6** below). It was approximated that upwards of 150 tyres were present. It was stated in the PSI that the storage of large quantities of tyres outdoors can pose a potential risk to human health and the environment via the discharge of contaminants. Contaminants commonly associated with such activities include; cadmium, lead, aluminium, manganese and zinc. Due to the volume of tyres stores this activity was identified as permitted activity under the NES (Outdoor Storage of Tyres).
- Within the road reserve along Exelby Road, approximately seven sheets of cladding with potential ACM were noted (Site 3 in **Figure 6** below). Other small stockpiles of refuse material appeared to have also been disposed of these included a trampoline net and metal poles and two full household rubbish bags. The Rotokauri Greenway Designation did not intersect this area and no soil disturbance activities were proposed therefore the NESCS was not considered applicable in this area.

Summary

All activities identified within the Beca Greenway report are located more than 200m from the alignment that is the subject of this PSI.

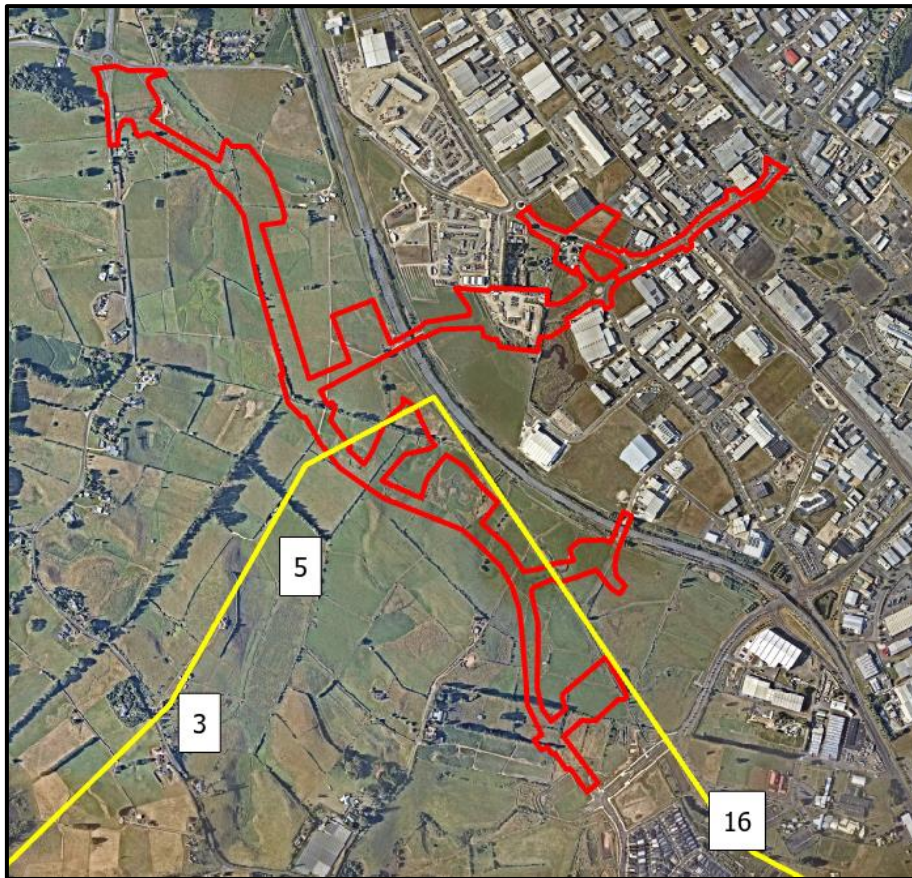


Figure 6 – Greenway (yellow) and Rotokauri arterial (red) alignments. (Base image source: Nearmap 2024).

3 Stage 1 Investigation

This section includes the Stage 1 assessment as outlined in the approach section (**Section 2.3**). Stage 1 comprised a review of the following selected information sources for properties within an approximate 100m radius of the alignment:

- Historical aerial photography
- WRC LUIR provided information
- HCC Contaminated Land Information specific to the alignment and in addition to the WRC information (undertaken as part of s92 response)
- Consented activities
- Alignment walkover/drive through of the general area.

3.1 Historical aerial photography

Historical aerial photographs have been sourced from Retrolens and Google Earth for the years 1943, 1963, 1979, 1991, 1995, 2008, 2017, and 2019 with the following observations made. There were no aerial photographs available for the 1950's and 1980's. Copies of the historical aerial images reviewed can be provided upon request.

For the purposes of this review the alignment has been divided up into four areas including the main alignment area, northern arterial area, southern arterial area, middle arterial area. All four areas include commentary of their general surrounding areas.

Table 1: Historical aerial photography review summary

	Main Road of the Alignment	Northern Arterial Area	Middle Arterial Area	Southern Arterial Area
1943	<ul style="list-style-type: none"> Heading south from the northern most point of the alignment, all sites are largely low-intensity rural/pastureland. Both Burbush Road and Rotokauri Road have been developed to the north and south of the alignment area respectively. No visible or notable structures are present within the alignment area. There are several unnamed streams or farm drains across the wider alignment area. The surrounding land use is predominately rural land used for pastoral/agricultural purposes. On surrounding land to the immediately north of Rotokauri Road is what appears to be a pig/poultry farm. 	<ul style="list-style-type: none"> All properties along this arterial are largely low-intensity rural/pastureland. Several sheds that appear to be associated with pastoral purposes are located towards the centre of the arterial road. An unnamed road has been constructed toward the eastern end of the arterial road. A railway line additionally cuts across the eastern extent of the arterial road. There are several unnamed streams or farm drains across the wider arterial road. The surrounding land use is predominately rural land used for pastoral/agricultural purposes. 	<ul style="list-style-type: none"> All properties along this arterial are largely low-intensity rural/pastureland. Several sheds and a small dwelling that appears to be associated with pastoral purposes are located towards the eastern extent of the arterial road. There are several unnamed streams or farm drains across the wider alignment area. The surrounding land use is predominately rural land used for pastoral/agricultural purposes. A railway line is located approximately 400m north of the arterial road. 	<ul style="list-style-type: none"> All properties along this arterial are largely low-intensity rural/pastureland. No visible or notable structures are present within the alignment area. There are several unnamed streams or farm drains throughout the wider alignment area. The surrounding land use is predominately rural land used for pastoral/agricultural purposes. A railway line is located approximately 400m north of the arterial road.
1963	<ul style="list-style-type: none"> All properties along the alignment continue to be predominately used for rural/pastoral purposes Several dwellings/sheds that appear to be associated with pastoral purposes have been constructed on surrounding land 	<ul style="list-style-type: none"> Several buildings have been constructed adjacent to the railway towards the centre of the arterial road. Several sheds that appear to be associated with pastoral purposes are additionally being constructed towards 	<ul style="list-style-type: none"> There are no significant changes to the arterial road. The surrounding land use is predominately rural land used for pastoral/agricultural purposes. 	<ul style="list-style-type: none"> There are no significant changes to the arterial road. The surrounding land use is predominately rural land used for pastoral/agricultural purposes.

	Main Road of the Alignment	Northern Arterial Area	Middle Arterial Area	Southern Arterial Area
	across all areas of the alignment.	<p>the centre of the arterial road.</p> <ul style="list-style-type: none"> The surrounding land use is predominately rural land used for pastoral/agricultural purposes. 		
1979	<ul style="list-style-type: none"> Towards the southern extent of the alignment there are several areas of reworked earth, likely in preparation of a new residential subdivision. There are no significant changes to land along the remainder of the main alignment route. To the pig/poultry farm on immediate surrounding land north of Rotokauri Road has been removed. This area now contains a new residential subdivision. 	<ul style="list-style-type: none"> Towards the eastern extent of the alignment there are several areas of reworked earth. Several additional buildings have been constructed adjacent to the railway lines. Surrounding land to the north, south and east has undergone significant commercial/industrial development. 	<ul style="list-style-type: none"> There are no significant changes to land along the minor arterial route. Surrounding land to the north, south and east has undergone significant commercial/industrial development. 	<ul style="list-style-type: none"> There are no significant changes to land along the minor arterial route. Surrounding land to the north, south and east has undergone significant commercial/industrial development.
1991	<ul style="list-style-type: none"> There are no significant changes to the alignment area A small horticulture section has been developed on 107 Rotokauri Road adjacent to the southern extent of the main alignment. Residential development has continued on surrounding land to the southern extent of the alignment. 	<ul style="list-style-type: none"> There are no significant changes to land along the minor arterial route. Surrounding land to the north, south and east has undergone significant commercial/industrial development. 	<ul style="list-style-type: none"> There are no significant changes to land along the minor arterial route. Surrounding land to the north, south and east has undergone significant commercial/industrial development. 	<ul style="list-style-type: none"> There are no significant changes to land along the minor arterial route. Surrounding land to the north, south and east has undergone significant commercial/industrial development.

	Main Road of the Alignment	Northern Arterial Area	Middle Arterial Area	Southern Arterial Area
1995	<ul style="list-style-type: none"> There are no significant changes to the alignment or surrounding area. 	<ul style="list-style-type: none"> Towards the eastern extent of the alignment, around the railway lines, there are several areas of reworked earth. This is likely to do with significant development of the industrial area. Surrounding land to the north, south and east is continuing to undergo significant commercial/industrial development. 	<ul style="list-style-type: none"> There are no significant changes to land along the minor arterial route. Surrounding land to the north, south and east is continuing to undergo significant commercial/industrial development. 	<ul style="list-style-type: none"> There is significant development on land to the immediate south of the minor arterial route. The clarity of the aerial image of poor however the development appears to be commercial in nature.
2004	<ul style="list-style-type: none"> Two small sheds have been constructed along the northern most portion of the alignment adjacent to Burbush Road. There is a small area of disturbed earth toward the centre of the main alignment. There is a pile of suspected debris / burned rubbish within the site boundary. Several pieces of farming equipment such as hay bales, water troughs etc can be identified across most of the alignment area. Horticulture activity is still present on 107 Rotokauri Road, adjacent to the southern extent of the main alignment. 	<ul style="list-style-type: none"> Towards the centre of the minor arterial road a small horticulture site can be seen on surrounding land to the immediate north. Several commercial/industrial properties are present on surround land the immediate east of the alignment. 	<ul style="list-style-type: none"> Several pieces of farming equipment such as hay bales and water troughs can be identified across most of the minor arterial road. Surrounding land to the north, south and east is continuing to undergo significant commercial/industrial development. 	<ul style="list-style-type: none"> Several pieces of farming equipment such as hay bales, water troughs etc can be identified across most of the minor arterial road. A commercial area has been developed on surrounding land to the immediate south of the arterial road.

	Main Road of the Alignment	Northern Arterial Area	Middle Arterial Area	Southern Arterial Area
	<ul style="list-style-type: none"> What appears to be a school is additionally located to the immediate north of Rotokauri Road, adjacent to the southern extent of the main alignment. 			
2017	<ul style="list-style-type: none"> To the south to the alignment Rotokauri Road has been extended and northwards and several new residential properties have been developed on surrounding land. The Waikato expressway have been developed on surrounding land to the east of the alignment. There are no additional significant changes to the alignment or surrounding area. 	<ul style="list-style-type: none"> Toward the centre of the arterial road is what appears to be an industrial transport depot. The Waikato expressway has been constructed, running through the centre of the arterial. 	<ul style="list-style-type: none"> The Waikato expressway has been constructed, running through the eastern extent of the arterial. Towards the east of the arterial route, beyond the Waikato Expressway, is a large area of earthworks, several new roads and several new commercial buildings. 	<ul style="list-style-type: none"> Te Wetini Drive has been developed along most of the arterial route area. There is a large area of earthworks and what appears to be a water retention pond to the west of the arterial route.
2019	<ul style="list-style-type: none"> No key changes to note since the 2017 image. 	<ul style="list-style-type: none"> Industrial activity of the properties in the surrounding area appears to have increased generally. No key changes to note. 	<ul style="list-style-type: none"> Further development of the roads/subdivision area to the east has occurred since the 2017 image. 	<ul style="list-style-type: none"> The area that was previously earthworks now appears to be a residential subdivision.

3.2 Land Use Information Register

3.2.1 Waikato Regional Council

WRC maintain a register of properties known to be contaminated based on chemical measurements, or potentially contaminated based on past land use. This register is called the Land Use Information Register (LUIR).

A request was made to WRC to determine the LUIR status of properties within, or within a 100m radius of the alignment. The response was initially received on 10 March 2022. Given the time elapsed since this initial response, an updated response was received on 25 March 2024 to ascertain whether there had been any changes to the WRC LUIR. A summary of the activities identified on the LUIR is provided in **Table 2**.

Appendix B includes a detailed summary table of the activities identified on the LUIR including the status of the HAIL site (i.e., verified/unverified), and the categorisation as part of the Stage 1 assessment. A copy of the LUIR summary provided by WRC can also be found in **Appendix B**.

Table 2: Summary of LUIR information reviewed (within, or within 100m of the alignment).

Activity	Number of sites
Previously listed as 'Greenfield' but advised by WRC in the updated response that these sites were 'entered in error'.	4
A8 – Livestock dip or spray race operations	1
A10 - Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds	2
A17 - Storage tanks or drums for fuel, chemicals, or liquid waste	1
A18 - Wood treatment or preservation including the commercial use of antisapstain chemicals during milling, or bulk storage of treated timber outside	3
F4 - Motor vehicle workshops	5
F6 - Railway yards including goods-handling yards, workshops, refuelling facilities or maintenance areas	1
F7 - Service stations including retail or commercial refuelling facilities	1
F8 - Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances	3
I – Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment.	1

Additional information provided by WRC for sites discussed in **Appendix B** is summarised below. The site references refer to **Appendix A**.

Site 1 – Environchem Evaluation Limited undertook a Preliminary Site Investigation in 2014 for 223 Te Kowhai Road with the following observations.

- The site has been used for long term production land, predominately as grazing for dairy cattle.
- Seven samples were collected and tested for cadmium.
- Routine applications of super-phosphorite and lime have occurred on the pastoral land.

- Several buildings are on site including milking shed, farm shed, barn and a residential dwelling. It was concluded by Envirochem there is a significant risk of soil contamination directly adjacent to these buildings and a DSI should be undertaken if the areas surrounding these buildings is to be developed.
- The soil testing indicated that the long-term use of superphosphate has increased cadmium levels in the soils at the site.
- Based on the representative sampling and the soil pH, the average cadmium concentration at the site is 'unlikely to exceed the applicable NESCS soil contaminant stand which is applicable of human health' according to Envirochem.

No site reference on map, LUIR Ref: LUI11242– Environmental Management Solutions (EMS) undertook a Site History Assessment in 2018 for Lot 2 DPS 15248 at Te Kowhai East Road, Northgate with the following observations:

- This site has historically been used for vacant pastoral grazing. The only structure to exist on the site is a corrugated iron 3-bay hay barn in the northwestern corner.
- EMS stated that based on the site history, it is highly unlikely that any HAIL activities have occurred on this site. It was concluded by EMS that in the absence of a HAIL activity on this land, the NES does not apply to the proposed activity.

Site 3 – Pattle Delamore Partners (PDP) undertook a soil sampling assessment from stockpiled soils at 88 Te Kowhai Road on the 21st of June 2013 with the following conclusions:

- The site has been used as a farmland with grassed paddock and grazing from as early as 1948.
- This land use continued around the late 1990s, when operations on site changed to maize cropping.
- Communications with a farm manager, undertaken by PDP, indicate that for the last 12 years during maize cropping herbicides containing acetochlor and atrazine were sprayed during this time.
- 8 samples were taken from a soil stockpile that had been excavated from the site.
- According to PDP, all 8 samples reported soil quality concentrations that were well below the NESCS guidelines and Tier 1 for residential use.

Site 7 – Geohazard Environmental undertook a Detailed Site Investigation from at Lot 2 DPS 14237 in 2016 with the following conclusions:

- The site has been previously used for cement storage/concrete batching.
- Anecdotal evidence reported by Geohazard indicated the site may have been used for bulk storage of fuel.
- Twelve surface soil samples were collected and analysed for heavy metals and asbestos.
- According to Geohazard, all metals were within guidelines for the protection of human health.
- Asbestos fibres (brown and/or white) were detected in three samples.
- Subsequent full risk assessment undertaken by Geohazard for asbestos using bulk samples did not identify any asbestos.
- Geohazard Environmental completed an Earthworks and Site Management Plan for the proposed earthworks at the site.

No site reference on map, LUIR Ref LUI11160– Pattle Delamore Partners Limited (PDP) undertook a Preliminary Site Investigation in 2013 for 103 Tasman Road with the following observations:

- The site has been utilised as farmland with grassed paddock and grazing from as early as 1948.
- Communication between PDP and farm manager suggest no contaminants were used or know about on site.
- According to PDP, no chemical sprays are known to have been used on the site.
- PDP concluded the proposed commercial/industrial end land use of the site is highly unlikely to result in a risk to the human health of future site users.

Site 12 – HD Environmental undertook an Environmental Site Investigation of the Rotokauri Growth Cell in May 2018 with the following conclusions:

- The site is comprised of approximately 78.4 ha and several land parcels.
- The site is primarily used for pasture and is predominantly vacant and grassed.
- There are three sheds present on the property which are used for storage of agrichemicals and farm equipment. There is a disused milking shed adjacent to one of the sheds.
- The site was not listed on the HAIL.
- Because the property is changing land use to residential, a conservative approach was taken by HD, and limited sampling and analysis was conducted across the site.
- The sample locations were selected by HD to be representative of up-slope and down-slope areas. Samples were also collected at the entrances to the sheds.
- Samples were analysed for heavy metals and organochlorine pesticides.
- According to HD, the heavy metal results were all below the SCS for residential land use and organochlorine pesticide results were below laboratory reporting limits.
- Sampling was not undertaken around the sheds where other potentially contaminative activities may have taken place (e.g. chemical use and storage).
- It was recommended by HD that the rubbish and hazardous substances should be removed from the sheds when farming operations cease, and sampling and analysis was recommended for areas within and adjacent to the sheds where contamination may be present.

3.2.2 Hamilton City Council

HCC also maintains a register of properties where HAIL activities have been identified.

A request was made to HCC regarding properties within the alignment to understand any information held on their register that is in addition to the WRC register. The response was received on 7 March 2024.

Appendix C includes a summary table of the HAIL activities identified on the HCC register that are in addition to those on the WRC register. Note that no new HAIL sites were recorded on the HCC HAIL register.

A copy of the summary provided by HCC can also be found in **Appendix C**. As the information provided by HCC is listed per property title, not all information provided is relevant to this assessment. Therefore, information relating to land at distances greater than 100m from the alignment has not been included in this PSI and the **Appendix C** summary.

3.3 Consented activities

Information in relation to discharge resource consents within an approximate 1km radius of the alignment was retrieved from the WRC online GIS. A total of 59 resource consents were identified, these were a range of:

- Discharge permits
- Water permits
- Land use consents
- Water takes

Appendix D includes a summary table with information regarding the resource consent type and relation to the alignment for the 59 consents identified.

One area (Site 1 in **Appendix A**) where a discharge permit for dairy effluent was identified has been categorised as Category 2 for the purposes of the Stage 1 assessment. All other consent information has been categorised as Category 3.

3.4 Alignment site visit

An opportunity to view the general alignment area was undertaken as part of a multi-disciplinary site visit in December 2019 and only selected areas were able to be visited. A walkover in line with CLMG has not been undertaken as part of this PSI and will be undertaken during the detailed investigation scoping.

Most of the proposed alignment is rural farmland and was able to be viewed from vantage points at the opportunistic visit.

The general route of the alignment was observed by vehicle and points of interest were observed on foot. Most of the properties along or adjacent to the alignment could not be accessed at the time of walkover and observations had to be made from the roadside.

Surrounding land to the west of the alignment is predominantly farmland that is flat and turns to rolling hills away from the alignment. Land to the east includes a mixture of commercial/industrial land and some apparent new residential developments. New residential developments were also evident in the southern area of the alignment and construction appeared to be ongoing in some areas. Surrounding the residential areas were man-made stormwater ponds.

Miscellaneous household items and refuse as well as a manhole were observed at the Te Wetini Drive and Akoranga Road intersection.

Observations were made from the end of Chalmers Road, looking out towards the west. The properties were all vacant land, seemingly used for pastoral farming purposes. What appeared to be various farm drains were evident across many of the land parcels.

The Watson Davies Landscape Supplies property was observed from a distance and appeared to have some form of earthwork activities being undertaken on it. Closer access to make further observations was not able to be gained at the time of the walkover.

In the northern portion of the alignment farm sheds were observed from outside the property (likely dairy farming related). This particular property, the northernmost of the alignment area, was not able to be accessed at the time of the walkover.

4 Summary of Stage 1 Investigation

Historical aerial photography, consent information, and WRC and HCC LUIR information has been reviewed for the alignment and the surrounding area (within an approximate 100m radius). A walkover visit of the general alignment was also undertaken for accessible properties, or sections that could be observed from the roadside.

In some portions of Stage 1, such as the historical aerial photography, the categorisation system was not used. Alternatively, the observations made were used to supplement information found within other reviews to paint a clearer picture of whether a property should be selected for further desk-based assessment in Stage 2.

During the WRC LUIR and consent information reviews, a categorisation of risk was undertaken to assist in determining whether further desk-based assessment was required for the properties within or near to the proposed alignment. Properties categorised as Category 3 were determined to be the lowest level of risk in terms of the proposed alignment, therefore properties given this categorisation are not considered to require further desk-based assessment. Whereas properties given Category 1 or 2 categorisations have been selected for further assessment in Stage 2.

Based on the observations and information found during Stage 1, and the categorisation approach, the properties listed in **Table 3** are considered (yes/no) for further desk-based assessment in Stage 2. Justification for whether the properties have been selected for further assessment is also provided. It should be noted that while some identified HAIL sites from the WRC LUIR will not be selected for further assessment, as they are already registered HAIL sites, they will still require consideration under the NESCS.

Table 3: Summary of properties selected for further assessment

Site Reference in Appendix A	Selected for further desk-based assessment?	Justification
Site 1 <ul style="list-style-type: none"> Lot 6 DP 359488 Pt Lot 2 DPS 15254 Pt Lot 7 DPS 15255 	Yes	<ul style="list-style-type: none"> Category 1 sites. Commentary that areas around the buildings have not previously been sampled.
Site 12 <ul style="list-style-type: none"> Lot 3 DP 468484 Pt Lot 1 DP 30552 	Yes	
Site 2 <ul style="list-style-type: none"> Lot 1 DPS 75261 	Yes	<ul style="list-style-type: none"> Category 1 site. Sampling has not been undertaken.
Site 4 <ul style="list-style-type: none"> Lot 1 DPS 8487 	Yes	<ul style="list-style-type: none"> Category 2 site. Widening works are likely to occur adjacent to the HAIL site. HAIL activity: transport/railway yards and motor vehicle workshops. Contaminants associated with these activities have the potential to migrate. Further assessment required to determine whether this is likely. Railway also noted within historical aerial photography review.
Site 5 <ul style="list-style-type: none"> Site of Waitomo Service Station 	Yes	<ul style="list-style-type: none"> Category 2 site. Service station still present on the site. Further assessment required to determined likelihood of any spills/leaks that could lead to soil contamination in the vicinity of the proposed alignment (hydrocarbon migration).
Site 6 <ul style="list-style-type: none"> Lot 3 DP 443316 Lot 8 DP 443316 	Yes	<ul style="list-style-type: none"> Category 2 sites (with the exception of Site 9 which is located further away from the alignment area and is Category 3). HAIL activity: motor vehicle workshops.
Site 8	Yes	

Site Reference in Appendix A	Selected for further desk-based assessment?	Justification
<ul style="list-style-type: none"> Lot 1 DP 492881 		<ul style="list-style-type: none"> These three sites are located near / adjacent to where widening works may be undertaken. Contaminants associated with these activities have the potential to migrate. Further assessment required to determine whether this is likely.
Site 9 <ul style="list-style-type: none"> Lot 6 DP S73160 	Yes	<ul style="list-style-type: none"> Category 2 sites. Noted HAIL activity: Wood treatment (antisapstain). Contaminants associated with such activities have the potential to migrate. Further assessment required to determine whether this is likely. Large area is covered, therefore further assessment required to determine likelihood of any other applicable HAIL codes. Land parcels located adjacent to where widening works are proposed have been selected for further assessment.
Site 10 <ul style="list-style-type: none"> Lot 10 DP 323782 	Yes	
Site 11 <ul style="list-style-type: none"> Pt Lot 1 DPS 89885 Sec 1 SO 42608 Lot Pt 2 DP 370343 Lot 2 DP 458761 Lot 1 DP 458761 	Yes	
<p>Not illustrated on HAIL map due to information updates in s92 process, however, was selected for further investigation in original assessment.</p> <ul style="list-style-type: none"> Lot 2 DP 393643 Sec 2 SO 538367 	Yes	<ul style="list-style-type: none"> Category 2 sites. Both sites have had sampling undertaken that in their respective circumstances identified elevated levels of arsenic present on the property. Widening works are proposed immediately adjacent to these properties, therefore further assessment is required to determine whether contamination has the potential to have migrated to impact soils related to the alignment.

5 Stage 2 Investigation

This section outlines the further information review undertaken for the sites/properties categorised as 1 or 2 in the initial information search (as identified in **Table 3**).

5.1 Records of Title

Records of Title, where possible, were obtained for addresses and legal parcels that corresponded with properties that were selected for further investigation as part of this PSI. Current and historic searches were made of the titles. The documents were reviewed for any information that may assist in forming the conclusion of this investigation. In summary, no information was found during the review of the Records of Title that pertained to contaminated land.

5.2 Property files

A property file request was made to HCC for addresses that corresponded with properties that were selected for further investigation as part of this PSI. **Appendix E** includes a summary table of key information reviewed from the property files, as well as copies of the key documents referred to.

Key information obtained from the property file review includes:

- Several property files contained information that structures present may be of a vintage where asbestos containing materials or lead based paints were used during construction.
- Documentation relating to 40 and 31 Te Kowhai Road indicate that car and trades workshops were present at these properties.
- A 2022 report for 31 Te Kowhai Road / 3 Maui Street notes that material in the northern portion of the property differs to that in the south and east. The south and east is noted to have fill material present (clean in the west, but 'contaminated' with organic silt and is poorly compacted in the SE). It is noted the potential contamination was related to 'organic silts' and likely refers to the geotechnical definition of fill rather than potentially contaminated uncontrolled fill.
- Based on anecdotal information, 'The Base' was previously used as a Defence Base and included facilities such as barracks, office blocks, and a sports field.

6 Discussion of Assessment

6.1 Summary of Stage 1 and 2 information search

The alignment appears to have been primarily farmland historically, and currently is still farmland in the western portion, with an industrial area that has been developed in the eastern portion.

The information reviewed as part of this desk study has identified that several potentially contaminating activities have been or are currently occurring within (or near to) the alignment area. **Table 4** below details these activities that are deemed ‘more likely than not’ to have occurred within, or within 100m of the alignment (as listed on the HAIL) and the rationale for these activities being included.

The locations of where the activities have been deemed ‘more likely than not’ to have occurred are best approximated on the HAIL map included in **Appendix A**.

Various structures were observed in historical aerial photographs and building consents were noted within the general area that were for prior to the year 2000. Structures of this vintage have the potential to have been constructed using asbestos containing materials (ACM). It is understood based on client provided information (electronic communications with Mr. Nathanael Savage) that for example the converted house at 71 Te Kowhai Road East has been constructed with ACM. Depending on their locality to the final position of the alignment, this may be something that requires further investigation. The conditions of these structures were not observed as part of the walkover. Similarly, information relating to pre-2000 structures was identified through the property file review. For the purposes of this PSI, these structures have not been classified as **E1** (asbestos known to be in deteriorated condition) as this has not been found by the information review to be the case with a ‘more likely than not’ level of certainty. There was a property identified as having asbestos confirmed (31 Te Kowhai East Road) and was proposed to be removed. This has also not been included as a HAIL area as the condition of any previously existing building was not able to be confirmed.

The HCC provided information classifies The Base property as **C3** due to the history as a military base. However, based on the reports provided the information indicates no explosives or ammunition detonation took place at the site. The HAIL description for C3 is “Training areas set aside exclusively or primarily for the detonation of explosive ammunition”. Therefore, for the purposes of this investigation, the site has not been classified as **C3** on a ‘more likely than not’ basis.

A wastewater treatment plant was noted within reports provided by HCC for ‘The Base’. This is understood to be located away from the alignment that is the subject of this investigation and has not been included in the summary table. Farm dips were noted as a potential activity in the area based on the previous use of the area for farming. Beca did not sight any information relating to dipping specifically as part of the high-level review, so this has not been included in the summary table. However, this information should be reviewed in detail prior to scoping any sampling exercise and prior to the development of a Contaminated Soils Management Plan (CSMP). The reports provided do indicate several other activities where HAIL codes may be applicable, and these have been included in the summary table.

Further to the above, information provided by HCC through the LUIR, and the property files also indicates a sports field was present in the north-eastern portion of the alignment where the Ministry of Defence historically used the property as a base. Based on the use as a sports field only with no evidence of pesticide usage, storage, or mixing HAIL code A10 is considered to not apply to the site.

Large scale earthworks were observed in various historical aerial photos, this is likely to be due to intensive residential and industrial development in their respective areas. Based on the information reviewed, it is not considered likely that such earthworks would have been ‘filling’ of an uncontrolled nature. Within the property files, Records of Title, and historical aerals it was noted that a railway line is present through the eastern

portion of a minor arterial. Based on the information reviewed, it is not considered that a depot or handling yard associated with this railway was (or is) located within the alignment.

6.2 Summary of findings - Potentially contaminating activities (HAIL areas)

Table 4 below outlines all HAIL codes considered to be applicable to the alignment, as well as within the 100m buffer area, based on the information search undertaken as part of this assessment. These findings are illustrated on **Appendix A**.

Table 4: Potentially contaminative activities relating to the alignment area and associated contaminants of concern.

Appendix A Ref.	Potential HAIL activity / land use	Rationale	Potential contaminants of concern
3 and 12	A1: Agrichemicals, including commercial premises used by spray contractors for filling, storing, or washing out tanks for agrichemical application	Identified on the information provided by HCC relating to their contaminated land register.	<ul style="list-style-type: none"> • Heavy metals • Pesticides/fungicides depending on nature of activity • Organic compounds (such as acid herbicides)
1	A8: Livestock dip or spray race operations	Based on information provided by WRC and HCC. The HCC response classified the site as A10 rather than A8 however for the purposes of this summary, the classification provided by WRC has been adopted.	<ul style="list-style-type: none"> • Heavy metals • Pesticides/fungicides depending on nature of activity • Organic compounds (such as acid herbicides)
8, and 12	A10: Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds	Horticultural areas had been identified during the historical aerial photography review, and a property was already listed on the WRC LUIR for having such activities being undertaken on it. Further information confirming this classification was provided by HCC.	<ul style="list-style-type: none"> • Heavy metals • Pesticides • Organic compounds (such as acid herbicides)
7, 11 and 12	A17: Storage tanks or drums for fuel, chemicals or liquid waste	Three properties within the alignment area were listed on the WRC LUIR as having had storage tanks or drums for fuel, chemicals, or liquid waste. One particular property was noted to have been remediated following a spill. Further information confirming this classification was provided by HCC.	<ul style="list-style-type: none"> • Petroleum hydrocarbons • Volatile and semi-volatile organic compounds • Benzene toluene ethylbenzene and xylene (BTEX)
9, 10, and 11	A18: Wood treatment or preservation including the commercial use of antisapstain chemicals during milling, or bulk storage of treated timber outside	Various properties in the industrial area surrounding the alignment were listed on the WRC LUIR for having A18 applicable to them. These are likely due to the nature of the industrial area and supporting information regarding this activity was found within the property file.	<ul style="list-style-type: none"> • Antisapstain chemicals • Dioxins and related compounds • Heavy metals • Pesticides • Pentachlorophenol (PCP)
4, 6, 8, and 13	F4: Motor vehicle workshops	Various properties within the alignment have been verified and listed on the WRC LUIR as being motor vehicle workshops. This is due to the industrial nature of the north-eastern alignment area. Information pertaining to properties already listed on the WRC LUIR as F4 was also found within the property files.	<ul style="list-style-type: none"> • Petroleum Hydrocarbons • Polycyclic aromatic hydrocarbons (PAH) • Heavy metals

Appendix A Ref.	Potential HAIL activity / land use	Rationale	Potential contaminants of concern
4 and 11	F6: Railway yards including good handling yards, workshops, refuelling facilities, or maintenance areas	Based on information provided by WRC in their updated LUIR response. For Site 11, based on reporting provided by HCC regarding activities that were present within 'The Base'. Railway siding noted.	<ul style="list-style-type: none"> • Petroleum Hydrocarbons • Polycyclic aromatic hydrocarbons (PAH) • Heavy metals • Asbestos
5	F7: Service stations including retail or commercial refuelling facilities	A property located adjacent to where widening works will take place has been verified as a service station and is listed on the WRC LUIR.	<ul style="list-style-type: none"> • Lead • Petroleum hydrocarbons • PAH • BTEX
2, 4, and 14	F8: Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances	Properties within the alignment area are listed on the WRC LUIR as having transport depots or yards occurring on them. Information pertaining to these properties and land uses was also found within the property file, and observations of transport yards were made during the historical aerial photograph review. Further information confirming this classification was provided by HCC.	<ul style="list-style-type: none"> • Various, including but not limited to: <ul style="list-style-type: none"> - Heavy metals - hydrocarbons
12	G5: Waste disposal to land (excluding where biosolids have been used as soil conditioners)	Area of waste pile / burn pile observed in aerial photography within the alignment. This was supported by information provided by HCC.	<ul style="list-style-type: none"> • Various depending on the nature of the fill material, including but not limited to: <ul style="list-style-type: none"> - Heavy metals - Hydrocarbons - PAH - Semi-volatile organic compounds (SVOC) - Asbestos
1	I: Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment	Information provided by WRC and HCC LUIR responses.	

6.3 Exposure pathway assessment

The Conceptual Site Model (CSM) (see **Table 5** below) was developed to inform the investigation and to describe the relationship between sources of contamination on site, the human and environmental receptors that may be exposed to those contaminants in the context of commercial/industrial use of the site, and the pathways by which those receptors may be exposed.

Table 5: CSM for the alignment area

Source activities (by HAIL code)	Receptor	Pathway	Pathway Complete?
<ul style="list-style-type: none"> A1: Agrichemicals, including commercial premises used by spray contractors for filling, storing, or washing out tanks for agrichemical application A8: Livestock dip or spray race operations A10: Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds A17: Storage tanks or drums for fuel, chemicals or liquid waste A18: Wood treatment or preservation including the commercial use of antiseptics during milling, or bulk storage of treated timber outside F4: Motor vehicle workshops 	Construction workers	Exposure of workers to contaminants in soils and groundwater during site redevelopment – dermal contact, ingestion or inhalation of dust/vapours	Potentially Complete Pathway - Contaminants could be present at a level that poses a risk to human health and may require specific controls. Some areas have had limited sampling undertaken, but not all. Further investigation is required to understand risk.
	General public during construction phase of works	Exposure of the general public to contaminants in soils and groundwater during site redevelopment due to dust and discharges – dermal contact, ingestion or inhalation of dust/vapours	Potentially Complete Pathway - Contaminants could be present at a level that poses a risk to human health and may require specific controls. Some areas have had limited sampling undertaken, but not all. Further investigation is required to understand risk.

Source activities (by HAIL code)	Receptor	Pathway	Pathway Complete?
<ul style="list-style-type: none"> • F6: Railway yards including good handling yards, workshops, refuelling facilities, or maintenance areas • F7: Service stations including retail or commercial refuelling facilities • F8: Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances • G5: Waste disposal to land (excluding where biosolids have been used as soil conditioners) • I: Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment 	Future site users/General Public	Exposure of future site users to contaminants in soils – dermal contact, ingestion or inhalation of dust/vapours	Potentially Complete Pathway – Future site users will include users of the road and road related area. It is acknowledged that the road will largely be sealed and therefore the risk in such areas to receptors will be low, however landscaped areas may be present and could pose a risk depending on their accessibility. As designs of the corridor are not yet known, this is a potentially complete pathway. Further investigation is required to understand risk.
	Groundwater resources for public consumption	Leaching and migration of soil contaminants into groundwater	Potentially Incomplete Pathway – No information has been found during this investigation to suggest that potable water bores are located within the area. However, this may be something that needs a detailed search undertaken at the time of future investigations to confirm the absence of any risk.
	Surface water	Sediment and runoff directly into surface water discharging into nearby watercourses	Potentially Complete Pathway – Contaminants may be present at levels that could pose a risk to environmental receptors. Potential pathways may include local farm drains, and streams that link up to larger waterbodies in the surrounding area. Further investigation is required to understand any risk.

7 Development Implications

7.1.1 National Environmental Standard

The NESCS applies to land as per clause 5(7):

“Land covered:

- (7) *The piece of land is a piece of land that is described by 1 of the following:*
- (a) an activity or industry described in the HAIL is being undertaken on it*
 - (b) an activity or industry described in the HAIL has been undertaken on it*
 - (c) it is more likely than not that an activity or industry described in the HAIL is being or has been undertaken on it.”*

The NESCS applies to any “piece of land” on which an activity or industry described on the HAIL is being undertaken, has been undertaken, or is *more likely than not* to have been undertaken. The following HAIL activities have been identified to have ‘more likely than not’ occurred within, or surrounding with the potential to impact the alignment area:

- **A1:** Agrichemicals, including commercial premises used by spray contractors for filling, storing, or washing out tanks for agrichemical application
- **A8:** Livestock dip or spray race operations
- **A10:** Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds
- **A17:** Storage tanks or drums for fuel, chemicals or liquid waste
- **A18:** Wood treatment or preservation including the commercial use of antisapstain chemicals during milling, or bulk storage of treated timber outside
- **F4:** Motor vehicle workshops
- **F6:** Railway yards including good handling yards, workshops, refuelling facilities, or maintenance areas
- **F7:** Service stations including retail or commercial refuelling facilities
- **F8:** Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances
- **G5:** Waste disposal to land (excluding where biosolids have been used as soil conditioners)
- **I:** Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment

The requirements of the NESCS apply where the following activities (‘trigger activities’) are undertaken in an area of a site identified as having a potentially contaminative activity being undertaken on it, as listed on the HAIL:

- **Soil disturbance:** Includes any soil disturbance such as scraping, levelling, trenching and earthworks.
- **Fuel storage removal or replacement:** Including replacing a whole system; removal or replacement of an underground part of the system; and/or taking away or returning soil that was associated with the removal or replacement of the system for the purpose of management, sampling, investigation, remediation or validation.
- **Soil sampling:** Sampling soil for the purposes of determining soil contaminant concentrations in the HAIL areas.
- **Subdividing the land:** Subdivision of the property including title changes.
- **Changing land use:** Where there is increased potential for people to come in contact with contaminated soil, or construction of enclosed structures.

Soil disturbance and change in land use have the potential to be triggered for the proposed alignment. Each trigger activities have a set of criteria, that if met the development can be undertaken as a Permitted activity.

If not, resource consent will be required from HCC under the NESCS for the proposed works. A Detailed Site Investigation would be required to be undertaken to inform the type of resource consent required.

Soil disturbance

Soil disturbance will be undertaken as part of the alignment development. Under Regulation 8(3) of the NESCS, soil disturbance of up to 25m³ per 500m² and disposal of up to 5m³ per 500m² 'piece of land' is allowed as a Permitted activity.

Furthermore, under Regulation 8 of the NESCS, the following criteria must also be met for the proposed works to be considered Permitted activity:

- Appropriate dust, erosion and sediment controls are put in place to limit contaminant mobility for the duration of the works and until the site is in an erosion free state.
- The soil is in an erosion free state within 1 month of the completion of works.
- Soil for offsite disposal must be taken to an appropriate facility.
- Duration of the works must not exceed 2 months.
- Onsite containment of contaminants must not be compromised.

Detailed information regarding the volumes of earthworks proposed to be undertaken as part of the development are not yet known. However, given the size and scale of the works it is unlikely the criteria of 'duration of 2 months' will be able to be met. Therefore, it is likely that consent under the NESCS from HCC will be required for these works.

Change in land use

The alignment is proposed to be changed from pastoral farmland to a road corridor. Portions in the eastern area of the alignment will be existing areas of road that are widened. Based on this information, there is a potential that a 'Change in Land Use' is triggered.

Under Regulation 8(4) of the NESCS, changing the use of a piece of land is a Permitted activity while the following requirements are met:

- A PSI of the land must exist.
- The PSI must state that it is highly unlikely that there will be a risk to human health if the activity is done to a piece of land.
- The PSI must be accompanied by a relevant site plan.
- The consent authority must have the report and the plan.

As the PSI has identified potentially contaminative activities across the alignment area that are not 'highly unlikely' to be a risk to human health, the proposed works potentially do not comply with the Change in Land Use Permitted activity criteria.

A Detailed Site Investigation is recommended to be undertaken to inform whether there is likely to be an increased risk to the future site users due to the development, and therefore whether consent is required under the NESCS for a 'Change in Land Use'.

Due to the likelihood that the works will not meet the Permitted activity criteria outlined above, it is considered likely that resource consent under the NESCS will be required from HCC.

7.1.2 The Waikato Regional Plan

WRC defines 'Contaminated Land' as follows:

"Contaminated Land means land of 1 of the following kinds:

1. *If there is an applicable National Environmental Standard on contaminants in soil, the land is more contaminated than the standard allows; or*

2. *If there is no applicable National Environmental Standard on contaminants in soil, the land has a hazardous substance in it or on it that-*
 - a. *has significant adverse effects on the environment; or*
 - b. *is reasonably likely to have significant adverse effects on the environment.”*

It is recommended that a full review of the rules under the Waikato Regional Plan be undertaken by a planner to determine whether a discharge resource consent is required in relation to the proposed soil disturbance works.

8 Options for Next Steps

For a project of this scale there are two potential pathways forward for next steps regarding contaminated land specific resource consenting.

It is recommended that prior to scoping any further investigation, such as sampling, a review of this early-stage PSI is undertaken and (depending on time lapsed) further desktop review be undertaken.

8.1 Option 1 – Staged consenting

Potential consents required for each stage of the works

As the proposed works are likely to be undertaken in stages over a longer time period, the first option is that a staged resource consenting approach be taken. Separate assessments against the NESCS Permitted activity criteria could be undertaken at each stage of the works. This would inform requirements for resource consenting and further assessment (such as a Detailed Site Investigation) would be sought as required throughout the Project.

8.2 Option 2 – Global consenting

Pursue a 'Global consent'

Given the scale of the works and the number of HAIL activities identified during this PSI, a 'site-wide' resource consenting approach could be discussed with HCC and WRC. This approach is efficient for large projects where soil disturbance under the NESCS can be covered by one 'global' consent. These approaches have been accepted by councils previously and are an ideal way to streamline contaminated land requirements for the proposed works. Resource consent could be sought as a 'discretionary activity' and an overarching CSMP would need to be prepared as part of the resource consent application. Conditions of consent may include the requirement for Detailed Site Investigations to be undertaken in areas identified as HAIL sites where earthworks are proposed.

9 Summary of Conclusions

In summary, the following potentially contaminative activities (HAIL activities) have been identified (at a more likely than not level of certainty) across the alignment area and are therefore considered a “piece of land” as defined by the NESCS User Guide.

- **A1:** Agrichemicals, including commercial premises used by spray contractors for filling, storing, or washing out tanks for agrichemical application
- **A8:** Livestock dip or spray race operations
- **A10:** Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds
- **A17:** Storage tanks or drums for fuel, chemicals or liquid waste
- **A18:** Wood treatment or preservation including the commercial use of antisapstain chemicals during milling, or bulk storage of treated timber outside
- **F4:** Motor vehicle workshops
- **F6:** Railway yards including good handling yards, workshops, refuelling facilities, or maintenance areas
- **F7:** Service stations including retail or commercial refuelling facilities
- **F8:** Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances
- **G5:** Waste disposal to land (excluding where biosolids have been used as soil conditioners)
- **I:** Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment

The Project will include ‘trigger activities’ within “pieces of land” as defined by the NESCS, and therefore resource consent under the NESCS is likely to be required. Two potential options in terms of contaminated land specific resource consenting have been discussed in Section 8. In summary, whichever pathway is selected in terms of consenting for the Project, soil sampling in the form of a Detailed Site Investigation may be required where works are proposed within identified HAIL areas. It is likely that a CSMP will need to be prepared for the works. A CSMP will be required either to support a ‘global’ discretionary NESCS resource consent application, or to meet the relevant criteria under a Permitted activity and / or staged resource consent approach.

Regarding the Waikato Regional Plan, it is recommended a full review of the rules under the Waikato Regional Plan be undertaken by a planner to determine whether a discharge resource consent is required in relation to the proposed soil disturbance works.

10 Limitations

This report has been prepared by Beca Ltd (Beca) solely for Hamilton City Council (Client). Beca has been requested by the Client to provide a Preliminary Site Investigation for the proposed Rotokauri Strategic Infrastructure Designation in Hamilton. This report is prepared solely for the purpose of the assessment of potential soil contamination for the purposes of soil disturbance (Scope). The contents of this report may not be used by Hamilton City Council for any purpose other than in accordance with the stated Scope.

This report is confidential and is prepared solely for the Client. Beca accepts no liability to any other person for their use of or reliance on this report, and any such use or reliance will be solely at their own risk.

In preparing this report Beca has relied on key information including the following: publicly available property file, historical aerial photographs, current and historical certificates of title and Council information.

Unless specifically stated otherwise in this report, Beca has relied on the accuracy, completeness, currency and sufficiency of all information provided to it by, or on behalf of, the Client or any third party, including the information listed above, and has not independently verified the information provided. Beca accepts no responsibility for errors or omissions in, or the currency or sufficiency of, the information provided. Publicly available records are often inaccurate or incomplete.

The contents of this report are based upon our understanding and interpretation of current legislation and guidelines (“Standards”) as consulting professionals and should not be construed as legal opinions or advice. Unless special arrangements are made, this report will not be updated to take account of subsequent changes to any such Standards.

This report should be read in full, having regard to all stated assumptions, limitations and disclaimers.

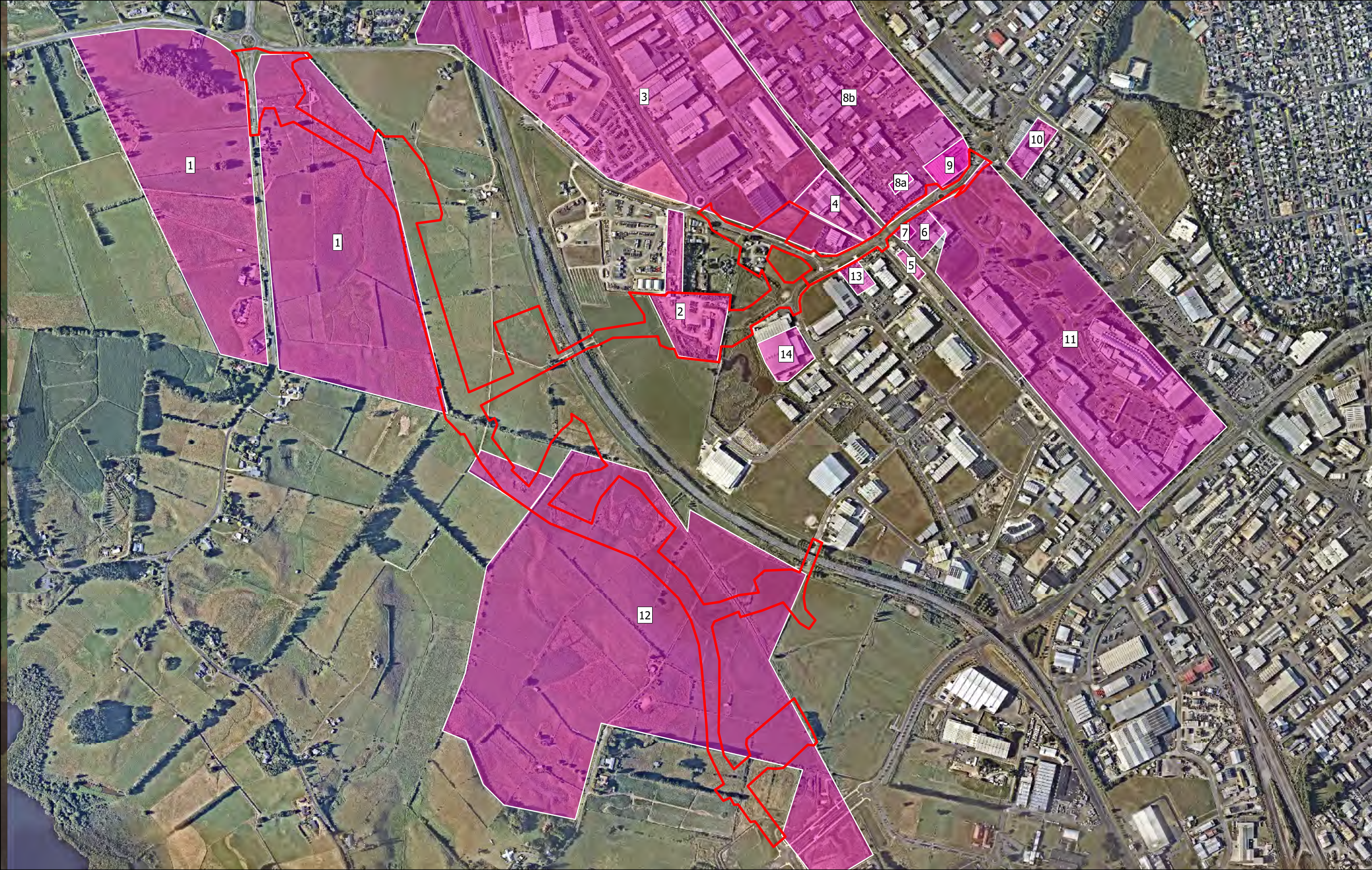
11 Reviewing Statement

This report has been reviewed by Phillip Ware, CEnvP Site Contamination Specialist. Phillip is a suitably qualified and experienced practitioner (SQEP) with over 20 years' experience as a contaminated land, hydrogeological and environmental consultant. He is a Technical Director and Technical Reviewer of contaminated soil, groundwater, and remediation projects across Australasia. Phillip has been a Certified Environmental Practitioner Site Contamination Specialist since 2015.





Appendix A – HAIL Map



	Revision	Drawer	Verified	Approved	Date	Title: HAIL Map	Client: Hamilton City Council		Discipline: ENVIRONMENTAL
	2	NM	PW	PW	02.04.2024				
							Project: Rotokauri Arterials		Drawing No. 001

This map contains data derived in part or wholly from sources other than Beca, and therefore, no representations or warranties are made by Beca as to the accuracy or completeness of this information. Map intended for distribution as an A3 PDF document, the scale may be incorrect if printed at different scales. Contains Crown Copyright Data. Crown Copyright Reserved. Basemap source: Eagle Technology, Land Information New Zealand, GEBCO, Community maps contributors

B

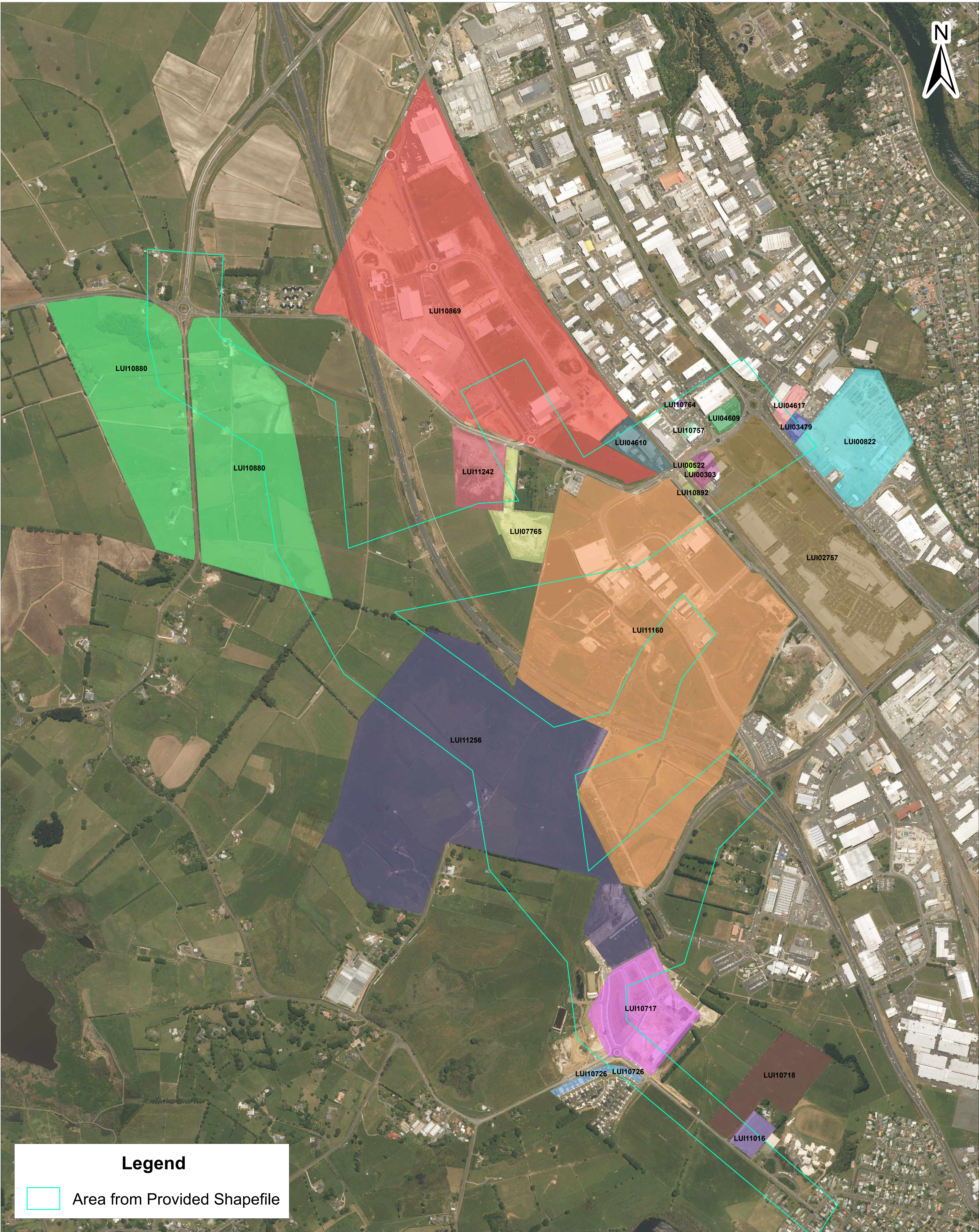
Appendix B – WRC LUIR Summary

Appendix A Ref.	WRC listed address and LUIR Ref	Approximate distance from the site	HAIL description (as listed on LUIR)	WRC Classification	Additional information	Category
1	223 Te Kowhai Road PSI (WRC ref.: LUI10880)	On-site	A8. Livestock dip or spray race operations & I. Other land subjected to the release of a hazardous substance	Sampled (under review)	Information provided by WRC notes that soil sample results indicate contaminants of concern are unlikely to exceed the applicable soil contaminant standards for human health. It was concluded (in the information provided by WRC) that there is a significant risk of soil contamination directly adjacent to the buildings on the property and sampling has not been undertaken in these areas. A new portion of the alignment will run directly through this property.	1
N/A	0 Te Kowhai Road (WRC ref.: LUI11242)	Immediately adjacent	2019 response "Greenfield" 2024 response "entered in error"	Unverified HAIL	Information provided by WRC notes that the property has been used for pastoral grazing. WRC did not list a specific HAIL activity, however considered that as the site was used for pastoral purposes there is a possibility fertiliser or other associated contaminating activities have occurred. The property is located approximately 100m north of the where alignment works are likely to occur.	3
2	Watson Davies Transport Ltd (WRC ref.: LUI07765)	On-site	F8 - Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances	Unverified HAIL	A new portion of the alignment will be constructed through this property and according to WRC information no reporting/sampling has been undertaken the risk.	1
3	88 Te Kowhai Road - Stockpiled Soil Assessment (WRC ref.: LUI10869)	Immediately adjacent	2019 response "Greenfield" 2024 response "entered in error"	Sampled	Information provided by WRC note that samples taken on the property reported soil quality concentrations that were well below the NESCS guidelines and Tier 1 for residential use. The property is immediately adjacent portions of the alignment (to the north) where construction/widening works will occur, however based on information provided the risk to human health and the environment is considered low.	3
4	Road Freighters / Just Fairings / Allround Engineering	Immediately adjacent	F8 - Transport depots or yards including areas used for refuelling or the bulk	Verified HAIL - No Sampling	This property is located immediately adjacent the alignment (to the north) where widening works will take place. According to information provided by WRC, no sampling has been undertaken the site.	2

	(WRC ref.: LUI04610)		storage of hazardous substances F4 - Motor vehicle workshops F6 - Railway yards including goods-handling yards, workshops, refuelling facilities or maintenance areas			
5	Waitomo Fuels Te Rapa (WRC ref.: LUI10892)	40m off-site	F7 - Service stations including retail or commercial refuelling facilities	Verified HAIL - No Sampling	Widening works will be undertaken along the alignment approximately 50 m to the north of this property. At service stations and refuelling facilities there is the potential for leaks and spills. No reporting or sampling has been undertaken according to the WRC information.	2
6	Duncan and Ebbett/Wright J D & Co Ltd/Northfert (WRC ref.: LUI00303, LUI100522)	Immediately adjacent	F4 - Motor vehicle workshops	Verified HAIL	This property is located immediately adjacent the alignment (to the east) where widening works will take place.	2
7	The Golden Bay Cement Co/Wilsons NZ Portland Cement Co (WRC ref.: LUI00303, LUI100522)	Immediately adjacent	A17 - Storage tanks or drums for fuel, chemicals or liquid waste	Sampled	This property is located immediately adjacent the alignment (to the east) where widening works will take place. According to the WRC provided information, sampling indicated all metals were within guidelines for the protection of human health and a full risk assessment for asbestos using bulk samples did not identify any asbestos.	3
N/A	Kia Motors Workshop	100m off-site	F4 - Motor vehicle workshops	Verified HAIL - No Sampling	According to the WRC provided information, no sampling has been undertaken. Hydrocarbons, associated with this type of activity, do have the potential to migrate. NOTE: This site is not illustrated on Appendix A as it is considered at a distance (approximately 100m) from the site where the risk of soils in the alignment area being directly impacted by this activity is low.	3
8	Winger Motors	50m off-site	F4 - Motor vehicle workshops	Verified HAIL - No Sampling	This property is located approximately 50 m north from where widening works will be undertaken.	2

	Workshop Hamilton (WRC ref.LUI10757) 8a				According to the WRC information, no sampling has been undertaken. Hydrocarbons, associated with this type of activity, do have the potential to migrate.	
	Potential Historical Market Garden – Te Rapa P (WRC ref.: LUI12684) 8b	Encroaching onto site	A10. Persistent pesticide bulk storage or use	Unverified HAIL	This property is included on the register for land use information only; WRC do not hold soil investigation reports regarding the presence or otherwise of hazardous substances in the soil.	N/A – updated based on updated request during s92 response
9	Placemakers WRC ref.: LUI04609)	Immediately adjacent	A18 - Wood treatment or preservation including the commercial use of antiseptant chemicals during milling, or bulk storage of treated timber outside	Verified HAIL - No Sampling	Widening works will be undertaken along the alignment directly adjacent to this property (to the east). According to WRC information, no sampling has been undertaken.	2
10	Carters (WRC ref.: LUI04617)	50m off-site	A18 - Wood treatment or preservation including the commercial use of antiseptant chemicals during milling, or bulk storage of treated timber outside	Verified HAIL - No Sampling	Widening works may be undertaken along the alignment near to this property (to the south-west). According to WRC, no sampling has been undertaken.	2
11	The Base/Te Awa (WRC ref.: LUI02757)	Immediately adjacent	A18 - Wood treatment or preservation including the commercial use of antiseptant chemicals during milling, or bulk storage of treated timber outside	Verified HAIL - No Sampling	Widening works will be undertaken along the alignment directly adjacent to this property (to the north-west). According to WRC, no sampling has been undertaken.	2
N/A	Joint Venture Limited - ex farm site (WRC ref.: LUI11160)	On-site	2019 response “Greenfield” 2024 response “entered in error”	Verified HAIL	A PSI held by WRC indicated the site as pastoral and no chemical sprays/contaminants are known to have been used/stored on this property. The proposed alignment runs through this property although evidence indicates it to be low risk.	2

12	Rotokauri Growth Cell (WRC ref.: LUI11256)	On-site	2019 response "Greenfield" 2024 response "entered in error"	Verified HAIL - Limited Sampling	According to WRC information, this property is used for pastoral purposes. WRC information notes that sampling of the green fields indicated all contaminants of concern were below the adopted guidelines, but sampling was not undertaken around the sheds where other activities were identified to have taken place (such as chemical use and storage). The proposed alignment runs through this property.	1
13	Ebbett Volkswagen – Hamilton (WRC ref.: LUI11976)	Immediately adjacent	F4. Motor vehicle workshops	Verified HAIL – no sampling	This property is included on the register for land use information only; WRC do not hold soil investigation reports regarding the presence or otherwise of hazardous substances in the soil.	N/A – updated based on updated request during s92 response
14	Normans Transport and Storage (WRC ref.: LUI12004)	40m off-site	F8. Transport depots or yards	Unverified HAIL	This property is included on the register for land use information only; WRC do not hold soil investigation reports regarding the presence or otherwise of hazardous substances in the soil.	N/A – updated based on updated request during s92 response
NA	Potential Historic Bowling Club – 5 Maui Street, Pukete (WRC ref.: LUI12391)	100m off-site	A10. Persistent pesticide bulk storage or use	Unverified HAIL	This property is included on the register for land use information only; WRC do not hold soil investigation reports regarding the presence or otherwise of hazardous substances in the soil. NOTE: This site is not illustrated on Appendix A as it is considered at a distance (approximately 100m) from the site where the risk of soils in the alignment area being directly impacted by this activity is considered low.	N/A – updated based on updated request during s92 response



Acknowledgements and Disclaimers
Aerial Photography – WRAPS 2017 – GIS Layer
http://oradblive.wairc.govt.nz:8080/ords/?p=135:12:0::NO::P12_METADATA_ID:7770
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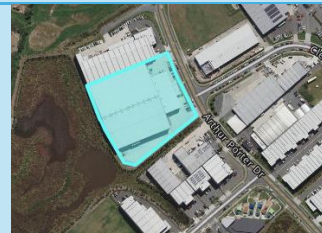
From: Rose Mayhead <Rose.Mayhead@waikatoregion.govt.nz>
Sent: Tuesday, March 26, 2024 9:01 AM
To: Nikki Mather <nikki.mather@beca.com>
Subject: RE: Land Use Information Register enquiry (REQ207919) - Map



Kia ora Nikki,

I've created this map for you with the updated HAILs but we no longer have the blue line shapefile that was initially sent of the site.

Here is additional HAIL information for a few sites that aren't on your record yet.

Map	WRC REF	Site name	Classifica tion	HAIL Code & Description	Comme nts and files or docume nts held
	LUI072 50	Tasman Road Substation	Verified HAIL - No Sampling	B4. Power stations, substations or switchyards	This site is included on the register for land use informati on only; we do not hold soil investigat ion reports regarding the presence or otherwis e of hazardou s substanc es in the soil.

	LUI115 51	BP Te Rapa Road	Verified HAIL - Limited Sampling	A17. Storage tanks or drums for fuel, chemicals or liquid waste	We currently hold a PSI/DSI for this site.
				F4. Motor vehicle workshops	
				D5. Engineering workshops with metal fabrication	
				D1. Abrasive blasting including cleaning and disposal	
				G4. Scrap yards including automotive dismantling and wrecking	
	LUI120 04	Normans Transport and Storage	Unverified HAIL	F8. Transport depots or yards	This site is included on the register for land use informati on only; we do not hold soil investigat ion reports regarding the

					presence or otherwise of hazardous substances in the soil.
	LUI125 49	Foster Engineering/Construction	Verified HAIL - No Sampling	A17. Storage tanks or drums for fuel, chemicals or liquid waste D3. Metal treatment or coating	This site is included on the register for land use information only; we do not hold soil investigation reports regarding the presence or otherwise of hazardous substances in the soil.
	LUI125 50	Hynds - Pipe Systems	Unverified HAIL	E4. Commercial concrete manufacture or cement storage	This site is included on the register for land use information only; we do not hold soil investigation

					ion reports regarding the presence or otherwise of hazardous substances in the soil.
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Please let me know if there's anything more you need.

Ngā mihi,

Rose

Rose Mayhead | CASUAL | Geothermal & Air, Land Ecology & Contamination, Science, Policy
WAIKATO REGIONAL COUNCIL | Te Kaunihera ā Rohe o Waikato
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From: Guy Sowry <Guy.Sowry@waikatoregion.govt.nz>
Sent: Monday, March 25, 2024 9:34 AM
To: Nikki Mather <nikki.mather@beca.com>
Subject: Land Use Information Register enquiry (REQ207919)

Dear Nikki


Thank you for your enquiry regarding information the Waikato Regional Council may hold relating to additional SLUR sites for the original REQ in 2019 as identified in the maps below:


Background: The Waikato Regional Council maintains a register of properties known to be contaminated on the basis of chemical measurements, or potentially contaminated on the basis of


past land use. This register (called the Land Use Information Register) is still under development and should not be regarded as comprehensive. The 'potentially contaminated' category is gradually being compiled with reference to past or present land uses that have a greater than average chance of causing contamination, as outlined in the Ministry for the Environment's Hazardous Activities and Industries List (HAIL):

<http://www.mfe.govt.nz/sites/default/files/hazards/contaminated-land/is-land-contaminated/hazardous-activities-industries-list.pdf>

This area: I can confirm that the additional site **do** appear on the Land Use Information Register.

Map	WR C REF	Site name	Classi fication	HAIL Activ ity	Per iod	Com ment s / Recor ds held	Con sen t file nu mb er
	LUI1 197 6	Ebbett Volks wagen - Hamilton	Verified HAIL - no sampling	F4. Motor vehicle workshops	Current	This site is included on the register for land use information only; we do not hold soil investigation reports regarding the presence or otherwise of hazard	

						dous subst ances in the soil.	
	LUI1 268 4	Poten tial Histo rical Mark et Gard en – Te Rapa P	Unveri fied HAIL	A10. Persi sten t pesti cide bulk stor age or use	Cur ren t	This site is includ ed on the regist er for land use infor matio n only; we do not hold soil invest igatio n report s regar ding the prese nce or other wise of hazar dous subst ances in the soil.	

	LUI1 239 1	Poten tial Histo ric Bowli ng Club – 5 Maui Stree t, Puket e	Unveri fied HAIL	A10. Persi sten t pesti cide bulk stor age or use	Cur ren t	This site is inclu ded on the regist er for land use infor matio n only; we do not hold soil invest igatio n report s regar ding the prese nce or other wise of hazar dous subst ances in the soil.
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City Council: Our records are not integrated with those of territorial authorities, so it would also be worth contacting the Hamilton City Council to complete your audit of Council records if you have not already done so. In general, information about known contaminated land will be included on a property LIM produced by the territorial authority.

Rural Land Considerations: Examples of sites that are "more likely than not" to have soil contamination (HAIL sites) include timber treatment activities, service stations and/or petroleum storage, panel beaters, spray painters, etc. Whilst pastoral farming is not included on this list, typical farming activities of horticulture, sheep dipping, chemical storage, petroleum storage and workshops are; but are more difficult to identify and may not be as well represented on the Land Use Information Register. Therefore, individuals interested in pastoral land may be interested in

completing further investigations in accordance with Ministry for the Environment Guidelines prior to land purchase and/or development.

Additional Information: Please note that:

- Significant use of lead-based paint on buildings can, in some cases, pose a contamination risk; the use of lead-based paint is not recorded on the Land Use Information Register.
- Buildings in deteriorated or derelict condition which contain asbestos can result in asbestos fibres in soil; the use of asbestos in building materials is not recorded on the Land Use Information Register.
- The long term, frequent use of superphosphate fertilisers can potentially result in elevated levels of cadmium in soil; the use of superphosphate fertiliser is not recorded on the Land Use Information Register.
- We are not currently resourced to fully incorporate historic aerial photographs in our region-wide assessment of HAIL activities. A significant proportion of the Crown historical aerial image archive for the Waikato region is available to view free of charge at <http://retrolens.nz/>. We recommend this resource is consulted for any HAIL assessment.
- Due to the large volume of enquiries being received, we may not be able to respond to your enquiry as quickly as previously. We are resourced to meet **20 day** response times as per LGOIMA, but endeavour to respond more quickly when workload permits. If your enquiry is urgent, please note this first in your enquiry and we will do our best to assist.

Please feel free to contact me if you have any further queries on this matter. For any new enquiries or requests for information please continue to use the [Request for Service form](#) for 'Contaminated Land/HAIL.'

Kind regards

Guy

Guy Sowry | CONTRACTOR | Land and Soil, Science and Strategy
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C

Appendix C – HCC Land Use Register Information

Appendix A Reference	Site Address as provided by HCC	HAIL description (as listed on HCC response)	HCC classification	Additional information
1	17 Burbush Road	<ul style="list-style-type: none"> A10. Persistent pesticide bulk storage or use I - Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment 	'Exceeds applicable NES Reg 7 standard'	<p>HCC provided three reports⁶ in addition to the classification information for this property. The PSI report indicates the area identified is the same as Site 1 identified on the WRC LUIR.</p> <p>The two DSI reports are in relation to areas that are more than 200m from the site of this PSI and so are not considered further.</p> <p>The HCC classification '<i>Exceeds applicable NES Reg 7 standard</i>' relates to an exceedance of lead at a location that is located away from the site of this PSI.</p> <p>It is noted that in the WRC information the site is classified as A8 rather than A10, and so the WRC classification has been carried through into the information summary.</p>
12	75 Lee Road	<ul style="list-style-type: none"> A1. Agrichemicals A10. Persistent pesticide bulk storage or use A17. Storage tanks or drums for fuel, chemicals, or liquid waste. 	'Exceeds applicable NES Reg 7 standard'	<p>HCC provided two reports⁷ in addition to the classification information for this property.</p> <p>The reports indicate the HAIL codes are applicable to discrete areas around identified sheds and storage areas within the wider property. The information provided aligns with the WRC information.</p> <p>A shed location with elevated lead was identified 100m away from the site. Therefore, the HCC classification '<i>Exceeds applicable NES Reg 7 standard</i>' is not applicable to the site of this PSI.</p>

⁶ Preliminary Site Investigation – Rotokauri North SHA, HD Geo, 11 July 2018

Detailed Site Investigation – Rotokauri SHA Stage 1, HD Geo, 22 July 2019

Detailed Site Investigation – Rotokauri SHA Stages 1 and 5, HD Geo, 7 October 2021

⁷ Environmental Site Investigation – Rotokauri Growth Cell, HD Geo, 18 May 2018

Detailed Site Investigation – Hounsell Block, HD Geo, 13 January 2023

Appendix A Reference	Site Address as provided by HCC	HAIL description (as listed on HCC response)	HCC classification	Additional information
11 (and 7 – Cement Facility)	The Base, Te Rapa	<ul style="list-style-type: none"> C3. Training areas set aside exclusively or primarily for the detonation of explosive ammunition. 	'Low Risk'	<p>The classification has been given based on the property's history of being used as an Air Force Base.</p> <p>A 2002 PSI⁸ detailed the history of site being used as an air force storage and distribution depot. The potentially contaminating activities identified included storage and use of substances involved in the military operations.</p> <p>A 2012 PSI⁹ identified a number of potentially contaminating activities associated with the property immediately adjacent the site of this PSI. Those relevant to the site of this PSI included:</p> <ul style="list-style-type: none"> - Recreational sports fields - Farming activities across the site and the potential for sheep dips. - A wastewater treatment plant in the south-western portion of the property (location not identified by high level review but likely at least 100m from the site). - Buildings in the south-eastern portion of the property (more than 100m from site). - Cement facility to the north-west (identified on WRC information). - Railway siding along the north-western corner of the property. - USTs were identified in the north-eastern corner of the site. <p>Additional reporting¹⁰ provided by HCC indicates that two USTs were removed from site and sampling indicates the area was suitable for commercial/industrial use.</p>

⁸ Preliminary Site Investigation – Former Te Rapa air force base site, Hamilton, New Zealand, Bloxam Burnett & Olliver Ltd, 22 February 2002

⁹ Preliminary Site Investigation – The Base 'Lot 2', Te Rapa Hamilton, URS, 12 October 2012

¹⁰ Former Te Rapa Airforce Base tank removal – Tonkin + Taylor, 13 July 2004

Appendix A Reference	Site Address as provided by HCC	HAIL description (as listed on HCC response)	HCC classification	Additional information
				The reports provided by HCC state there is no indication that ammunition use or detonation occurred.
12	Exelby Road	<ul style="list-style-type: none"> G5. Waste disposal to land 	'Exceeds applicable NES Reg 7 standard'	<p>Reporting¹¹ provided by HCC build on the Rotokauri Greenway investigation undertaken by Beca.</p> <p>Several items identified in the DSI are not relevant to the alignment subject of this PSI. The report does identify that a farm burn pit is present within the alignment and sampling indicates that heavy metals are above background but below human health screening criteria, and low-level hydrocarbons were detected. Beca has not sighted or verified the laboratory data as part of the high-level review of HCC information.</p>
2	7 Roger Kauai Place	<ul style="list-style-type: none"> F8. Transport depots or yards 	Confirmed	No reports were provided by HCC in relation to this property. However, based on the physical address and assigned HAIL code this is likely the same property identified as Site 2 by WRC information.
3	72 Te Kowhai Road	<ul style="list-style-type: none"> A1. Agrichemicals 	Low risk	No information provided that was not already covered by WRC, however HCC have classified the site as A1.

¹¹ Detailed Site Investigation – Rotokauri Greenway & Minor Arterial – HD Geo, 26 October 2023

07 March 2024

Holly Scott
Beca Ltd
Holly.Scott@beca.com

Dear Holly:

Request under Section 10 of the Local Government Official Information and Meetings Act 1987

This letter provides the response to your request for information under Section 10 of the Local Government Official Information and Meetings Act 1987. As at 7 March 2024 a search of Council records confirms the following properties have been used and investigated for an activity listed on the Ministry for the Environment (MfE) Hazardous Activities and Industries List (HAIL):

Address: 266 Rotokauri Road, Baverstock, Hamilton and 100 Taiatea Drive, Baverstock, Hamilton

Legal description: Lot 4004 DP 576817, Lot 2003 DP 576817 and Lot 4003 DP 576817

HAIL Landuse:

- A1 – Agrichemicals including commercial premises used by spray contractors for filling, storing or washing out tanks for agrichemical application

Status: Partially Investigated

Reports:

1. Preliminary Site Investigation Report - Prepared for Rotokauri Development Ltd. Envirochem Evaluation Ltd, March 2017
2. Detailed Site Investigation. HD Geo 2021. Rotokauri Stage 6

Address: 72 Te Kowhai Road East, Burbush, Hamilton

Legal description: Lot 802, 803 DP 572424 and Lot 57 DP 572424

HAIL Landuse:

- A1 – Agrichemicals including commercial premises used by spray contractors for filling, storing or washing out tanks for agrichemical application

Status: Low risk

Reports:

1. Preliminary Site Investigation – Porters Properties Limited – 88 Te Kowhai Road, Te Rapa. PDP 2013.
2. Representative Stockpile Soil Quality Assessment – Porters Properties Limited – 88 Te Kowhai Road, Te Rapa. PDP 2013

Address: 17 Burbush Road, Burbush, Hamilton

Legal description: Lot 6 DP 359488

HAIL Landuse:

- A10 – Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds
- I - Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment

Status: Exceeds applicable NES Reg 7 standard

Reports:

1. Preliminary Site Investigation – Rotokauri North SHA – HD Geo, 11 July 2018.

2. Detailed Site Investigation – Rotokauri SHA Stage 1 – HD Geo, 22 July 2019.
3. Detailed Site Investigation – Rotokauri SHA Stages 1 and 5 – HD Geo, 07 October 2021

Address: 75 Lee Road, Burbush, Hamilton

Legal description: Lot 53 DP 471831 and Lot 3 DP 468484

HAIL Landuse:

- A10 – Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds
- A17 - Storage tanks or drums for fuel, chemicals or liquid waste
- A1 – Agrichemicals including commercial premises used by spray contractors for filling, storing or washing out tanks for agrichemical application

Status: Exceeds applicable NES Reg 7 standard

Reports:

1. Environmental Site Investigation – Rotokauri Growth Cell – HD Geo, 18 May 2018.
2. Detailed Site Investigation – Hounsell Block – HD Geo, 13 January 2023.

Address: 19 Te Kowhai Road East, Northgate, Hamilton

Legal description: Section 1 SO 42608

HAIL Landuse:

- C3 - Training areas set aside exclusively or primarily for the detonation of explosive ammunition

Status: Low risk

Reports:

1. Limited Detailed Site Investigation – The Base “Lot 2”, Homeware and Outdoor Leisure Precinct – URS, 14 June 2013.
2. Former Te Rapa Airforce Base tank removal – Tonkin + Taylor, 13 July 2004.
3. Preliminary Site Investigation – The Base “Lot 2”, Te Rapa Hamilton – URS, 12 October 2012
4. Preliminary Site Investigation – Former Te Rapa air force base site, Hamilton, New Zealand – Bloxam Burnett & Olliver Ltd, 22 February 2002

Address: Exelby Road, Hamilton

Legal description: Lot 3 DP S62700

HAIL Landuse:

- G5 - Waste disposal to land (excluding where biosolids have been used as soil conditioners)

Status: Exceeds applicable NES Reg 7 standard

Reports:

1. Detailed Site Investigation – Rotokauri Greenway & Minor Arterial – HD Geo, 26 October 2023.

Address: 7 Roger Kauhi Place, Burbush, Hamilton

Legal description: Lot 1 DPS 75261

HAIL Landuse:

- F8 - Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances

Status: Confirmed

Reports: N/A

Note – we were unable to search for the properties listed as ‘Road – State Highway 1c’, ‘Road – Local Authority’, ‘Road - Waka Kotahi’ and ‘North Island Main Trunk Railway Line’.

Important notes: -

No inspection of the subject properties has been carried out because of this application. This response relates only to the likely presence of hazardous contaminants. It does not include any information Council may hold in relation to any other matters listed in Section 44A (2) of the Local Government Official Information and Meetings Act 1987.

The National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS) would apply to any tank removal, subdivision, change of use, soil disturbance or soil sampling activity proposed in relation to the subject properties above. This may require application for resource consent in accordance with the Resource Management Act 1991. Any site investigation required must be done and reported on by a suitably qualified and experienced practitioner in accordance with the NESCS.

Council is concerned with human receptors only. You are advised to contact the Waikato Regional Council, who may or may not have further information in relation to HAIL activity and the likely presence of hazardous contaminants for this land, particularly in relation to ecological receptors.

Disclaimer: -

Hamilton City Council accepts no liability for any inaccuracy in, or omission from, the information provided above, or for any consequence of that inaccuracy or omission.

Any person who wishes to make any commercial decisions that involve an assessment of whether the site is impacted by hazardous contaminants should make their own enquiries and decisions.

Further information:

More information on hazardous activities and industries that are considered likely to cause land contamination can be found at:- <http://www.mfe.govt.nz/issues/hazardous/contaminated/hazardous-activities-industries-list.html>.

Please contact me if you require any further assistance.

Regards

Laura Mills

Contaminated Land Officer

Council Building

Garden Place, Hamilton

Phone 07 838 6582

Website www.hamilton.co.nz

D

Appendix D – Consents Information

Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
1	Discharge Permit	320m north-east	<ul style="list-style-type: none"> To discharged treated wastewater to ground from the Brylyn Rest Home, Te Kowhai Road, Te Rapa. 	Low – As the consent indicates groundwater is treated before being discharged the risk to the alignment area is considered low	3
2	Discharge Permit	300m north-east	<ul style="list-style-type: none"> Discharge stormwater to a watercourse from a rest home and retirement village development 	Low – As the consent indicates groundwater is being discharged to a watercourse the risk to the alignment area is considered low.	3
3	Water permit	160m north-east	<ul style="list-style-type: none"> Groundwater diversion and surface water take 	Low – Risk of activity having impact on soils within alignment area considered to be low.	3
4	Land use consent	50m north-east	<ul style="list-style-type: none"> To construct, use and maintain a well for the purpose of dewatering for Wastewater pipeline construction 	Low – Dewatering during construction. Risk of activity having impact on soils within alignment area considered low.	3
6	Water permit	130m north-east	<ul style="list-style-type: none"> To take groundwater 	Low – Taking groundwater is not considered to present a contamination risk to the alignment area.	3
7	Discharge Permit	200m east	<ul style="list-style-type: none"> Farm dairy effluent discharge to land 	Moderate/Low There is a potential that the discharge of farm effluent approximately 200 m east of the alignment could migrate in sufficient quantities to impact soils within the alignment area.	2 Site 1 on Appendix A Map
8	Land use consent	200m east	<ul style="list-style-type: none"> To construct, use and maintain a well for the purpose of dewatering for Wastewater pipeline construction 	Low – Dewatering during construction. Risk of activity having impact on soils within alignment area considered low.	3

Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
9	Discharge Permit	40m north	<ul style="list-style-type: none"> Discharge stormwater and 10 cubic metres per day of treated wastewater to an unnamed tributary of the Waikato River, from a concrete product manufacturing plant 	Low – As the storm and wastewater is being treated before being discharged to a tributary the risk to the alignment area is considered low.	3
10	Water take	420m north	<ul style="list-style-type: none"> To take groundwater for dust suppression 	Low – Taking groundwater is not considered to present a significant contamination risk to the alignment area.	3
11	Land disturbance	550m north	<ul style="list-style-type: none"> To undertake bulk earthworks on a 63 ha site over four stages in association with the development of an industrial subdivision 	Low – The activity of undertaking earthworks 550 m north of the alignment area is not considered to present a significant contamination risk to the alignment area.	3
12	Land use consent	Immediately adjacent	<ul style="list-style-type: none"> To construct, use and maintain a well for groundwater monitoring 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
13	Land use consent	Immediately adjacent	<ul style="list-style-type: none"> To construct, use and maintain a well for groundwater monitoring 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
14	Land use consent	Immediately adjacent	<ul style="list-style-type: none"> To construct, use and maintain a well for groundwater monitoring 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
15	Discharge permit	165m south	<ul style="list-style-type: none"> To discharge stormwater to a tributary of the Mangaheka Stream from a car yard and service station development on the corner of Arthur Porter Road and Tasman Road, Te Rapa 	Low – As stormwater runoff and associated contaminants are discharged to the Mangaheka Stream the risk to the alignment area is considered low.	3

Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
				(Note – the presence of a car yard and service station may present an additional risk to the alignment area in the event of any spills/leaks – this is addressed in section 3.2 (LUIR information) above.	
16	Discharge permit	250m south	<ul style="list-style-type: none"> To divert and discharge urban stormwater runoff and associated contaminants to the Mangaheka Stream in association with an industrial land development 	Low – As urban stormwater runoff and associated contaminants are discharged to the Mangaheka Stream the risk to the alignment area is considered low.	3
17	Land disturbance	180m south-west	<ul style="list-style-type: none"> To undertake earthworks on a 58-hectare site in association with the development of a residential subdivision 	Low – The activity of undertaking earthworks 180 m south-west of the alignment area is not considered to present a significant contamination risk to the alignment area.	3
18	Land use consent	100m east	<ul style="list-style-type: none"> Construct, use and maintain up to 80 wells for groundwater control and dewatering purposes 	Low – Groundwater control and dewatering activities are unlikely to pose a significant risk to the soils in the alignment area.	3
19	Land use consent	100m east	<ul style="list-style-type: none"> Construct, use and maintain up to 80 wells for groundwater control and dewatering purposes 	Low – Groundwater control and dewatering activities are unlikely to pose a significant risk to the soils in the alignment area.	3
20	Land use consent	100m east	<ul style="list-style-type: none"> Construct, use and maintain up to 80 wells for groundwater control and dewatering purposes 	Low – Groundwater control and dewatering activities are unlikely to pose a significant risk to the soils in the alignment area.	3

Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
21	Water permit	120m east	<ul style="list-style-type: none"> Groundwater diversion and surface water take in association with construction of a Service Station 	Low – Groundwater control and dewatering activities are unlikely to pose a significant risk to the soils in the alignment area.	3
22	Land disturbance	500m south-west	<ul style="list-style-type: none"> To undertake earthworks and clean filling activities in association with an industrial subdivision 	Low – The activity of undertaking earthworks is not considered to present a significant contamination risk to the alignment area	3
23	Discharge permit	680m north-east	<ul style="list-style-type: none"> Discharge contaminants to air from a cremator 	Low – The discharge of contaminants to air from a cremator is not considered to present a significant contamination risk to the alignment area	3
24	Discharge permit	680m north-east	<ul style="list-style-type: none"> Discharge contaminants to air from a hot dip galvanising plant 	<p>Low – The discharge of contaminants to air from a hot dip galvanising plant 680 m north-east of the alignment area is not considered to present a significant contamination risk to the alignment area.</p> <p>(Note – As the galvanising plant is located 680 m north-east of the alignment it is not included in section 3.2 (LUIR information) above as HAIL activities at this distance are generally not considered to present a significant contamination risk to the alignment).</p>	3
25	Discharge permit	900m east	<ul style="list-style-type: none"> Discharge contaminants to air from an asphalt manufacturing plant 	Low – The discharge of contaminants to air from an asphalt manufacturing plant 900 m east of the alignment area is not considered to present a significant contamination risk to the alignment area.	3

Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
				(Note – As the asphalt manufacturing plant is located 680 m north-east of the alignment it is not included in section 3.2 (LUIR information) above as HAIL activities at this distance are generally not considered to present a significant contamination risk to the alignment).	
26	Discharge permit	830m east	<ul style="list-style-type: none"> Discharge contaminants into the air for asphalt manufacturing purposes 	<p>Low – The discharge of contaminants to air from an asphalt manufacturing plant is not considered to present a significant contamination risk to the alignment area.</p> <p>(Note – As the asphalt manufacturing plant is located 680m north-east of the alignment it is not included in section 3.2 (LUIR information) above as HAIL activities at this distance are generally not considered to present a significant contamination risk to the alignment).</p>	3
27	Land use consent	Immediately adjacent	<ul style="list-style-type: none"> To construct, use and maintain a well for groundwater monitoring 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
28	Land use consent	Immediately adjacent	<ul style="list-style-type: none"> To construct, use and maintain a well for groundwater monitoring 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
29	Land use consent	70m east	<ul style="list-style-type: none"> To undertake up to 174,000 cubic metres of cut/fill bulk earthworks in association with Kilroy Stage 1 	Low – The activity of undertaking earthworks at this distance from the alignment area is not considered to present a significant contamination risk to the alignment area.	3

Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
			development works at 75 Lee Road, Hamilton		
30	Land use consent	70m east	<ul style="list-style-type: none"> Construct, use and maintain spears for the purpose of dewatering in relation to APP142136 	Low – Dewatering activities are unlikely to pose a significant risk to the soils in the alignment area.	3
31	Land use consent	70m east	<ul style="list-style-type: none"> Construct, use and maintain 3 piezometers and 4 stilling wells for groundwater monitoring purposes in association with APP142233 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
32	Land use consent	400m west	<ul style="list-style-type: none"> To construct, use and maintain for groundwater monitoring 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
33	Land use consent	400m west	<ul style="list-style-type: none"> To construct, use and maintain for groundwater monitoring 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
34	Water permit	50m south-east	<ul style="list-style-type: none"> To temporarily divert groundwater and take surface water for infrastructure development dewatering purposes, in association with the RDL Stage 6 arterial road development and Rotokauri Drain crossing works near Rotokauri Road, Hamilton 	Low – The activity of diverting groundwater and taking surface water relating to dewatering purposes is considered to have a low risk of impacting the soils in the alignment area.	3
35	Water permit	50m south	<ul style="list-style-type: none"> To divert and realign the Rotokauri Drain and two modified tributaries of the Rotokauri Drain in association with the RDL Stage 6 arterial road development, Rotokauri, Hamilton 	Low – The activity of diverting and realigning drains is considered to have a low risk of impacting the soils in the alignment area.	3

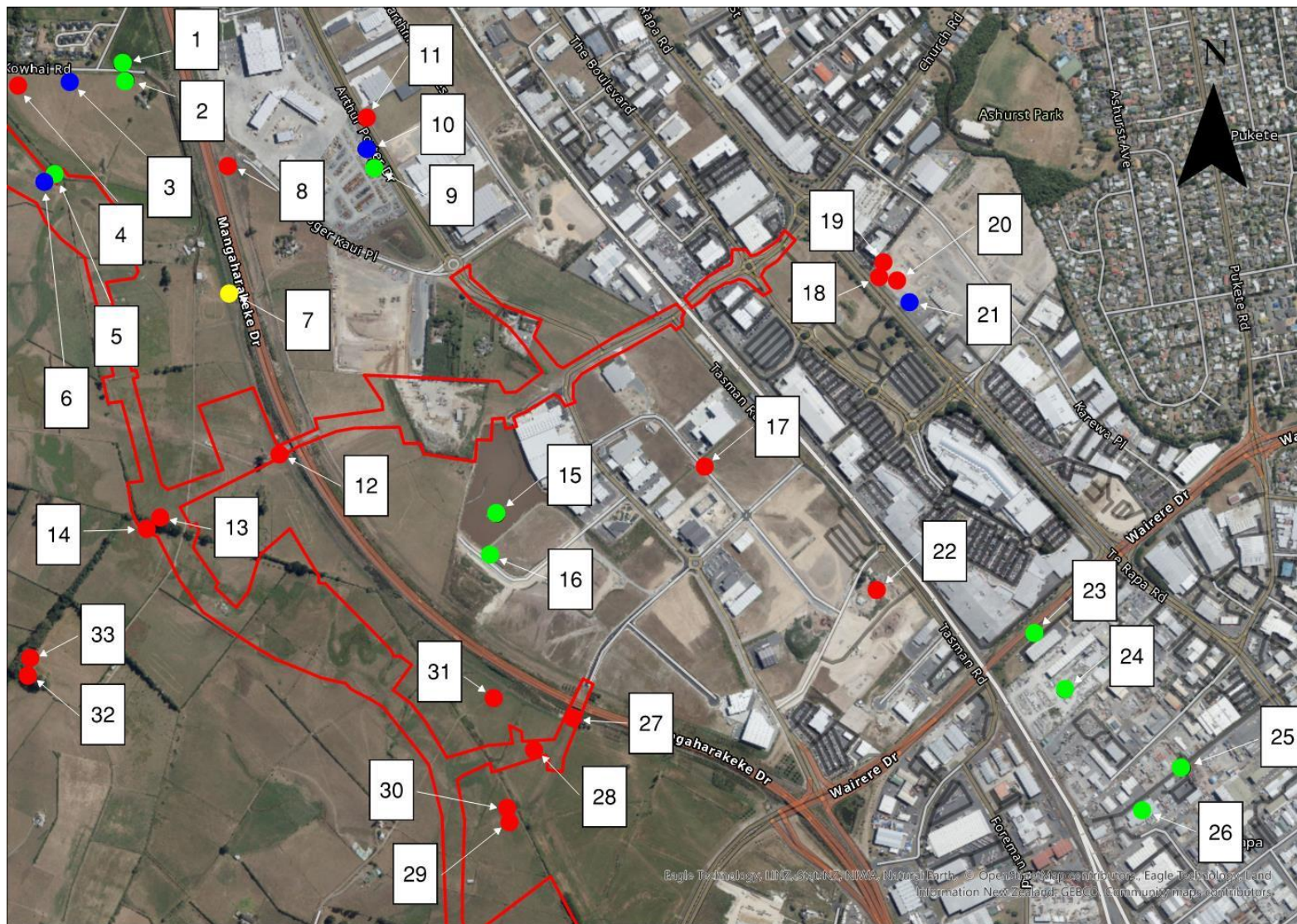
Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
36	Land use consent	50m south	<ul style="list-style-type: none"> To undertake soil disturbance works and clean filling activities for the construction of roads associated with Rotokauri Rise Development 	Low – The activity of undertaking soil disturbance works, and clean filling activities is not considered to present a significant contamination risk to the alignment area	3
37	Land use consent	120m south-east	<ul style="list-style-type: none"> To change resource consent AUTH136197.03.01 which authorises stormwater discharges from a subdivision, Rotokauri Road, Hamilton. 	Low – The discharge of stormwater from a residential subdivision 100 m to the east is not considered to present a significant contamination risk to the alignment area	3
38	Discharge permit	120m south-east	<ul style="list-style-type: none"> To change resource consent AUTH136197.03.01 which authorises stormwater discharges from a subdivision, Rotokauri Road, Hamilton 	Low – the activity of discharging stormwater at this distance from the alignment is considered to pose a low risk to soils in the alignment area.	3
39	Land use consent	80m south	<ul style="list-style-type: none"> Construct, use and maintain 3 piezometers and 4 stilling wells for groundwater monitoring purposes in association with APP142233. 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
40	Land use consent	80m south	<ul style="list-style-type: none"> Construct, use and maintain 3 piezometers and 4 stilling wells for groundwater monitoring purposes in association with APP142233. 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
41	Land use consent	500m south-east	<ul style="list-style-type: none"> To construct, use and maintain for groundwater monitoring 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
42	Water permit	500m south-east	<ul style="list-style-type: none"> To temporarily take groundwater for the purpose of monitoring groundwater drawdown effects, collection of 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3

Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
			hydrological data and enable access to fill material for use at Everton Heights		
43	Land use consent	500m south-east	<ul style="list-style-type: none"> To discharge stormwater from 2 car park areas to an unnamed tributary of Lake Rotokauri at the Wintec Rotokauri Campus, Hamilton 	Low – As stormwater is discharged to a tributary of Lake Rotokauri the risk to the alignment area is considered low.	3
44	Land use consent	900m south-east	<ul style="list-style-type: none"> Discharge stormwater from the Te Rapa bypass onto land and into the Te Rapa Stream, the Exelby Drain and their tributaries, and use and maintain associated discharge structures 	Low – As stormwater is discharged into the Te Rapa Stream, the Exelby Drain and their tributaries, the risk to the alignment area is considered low.	3
45	Land use consent	500m south-west	<ul style="list-style-type: none"> To divert and discharge stormwater from a residential subdivision development Divert and fill an unnamed water course 	Low - Details on the discharge consent indicate an unnamed water course has been filled approximately 150 m south-west of the alignment. No additional details were available regarding the type of fill used; however, it is considered this is located distally enough from the proposed alignment that it is unlikely to pose a significant risk.	3
46	Land use consent	900m south-east	<ul style="list-style-type: none"> To undertake soil disturbance and associated cleanfilling as part of a residential subdivision development, Rotokauri Road, Hamilton To discharge stormwater from a residential subdivision development to an unnamed tributary of Lake Rotokauri, Rotokauri Road, Hamilton 	Low – The activity of undertaking soil disturbance works and cleanfilling activities is not considered to present a significant contamination risk to the alignment area. In addition, as stormwater is discharged to a tributary of Lake Rotokauri the risk to the alignment area is also considered low.	3

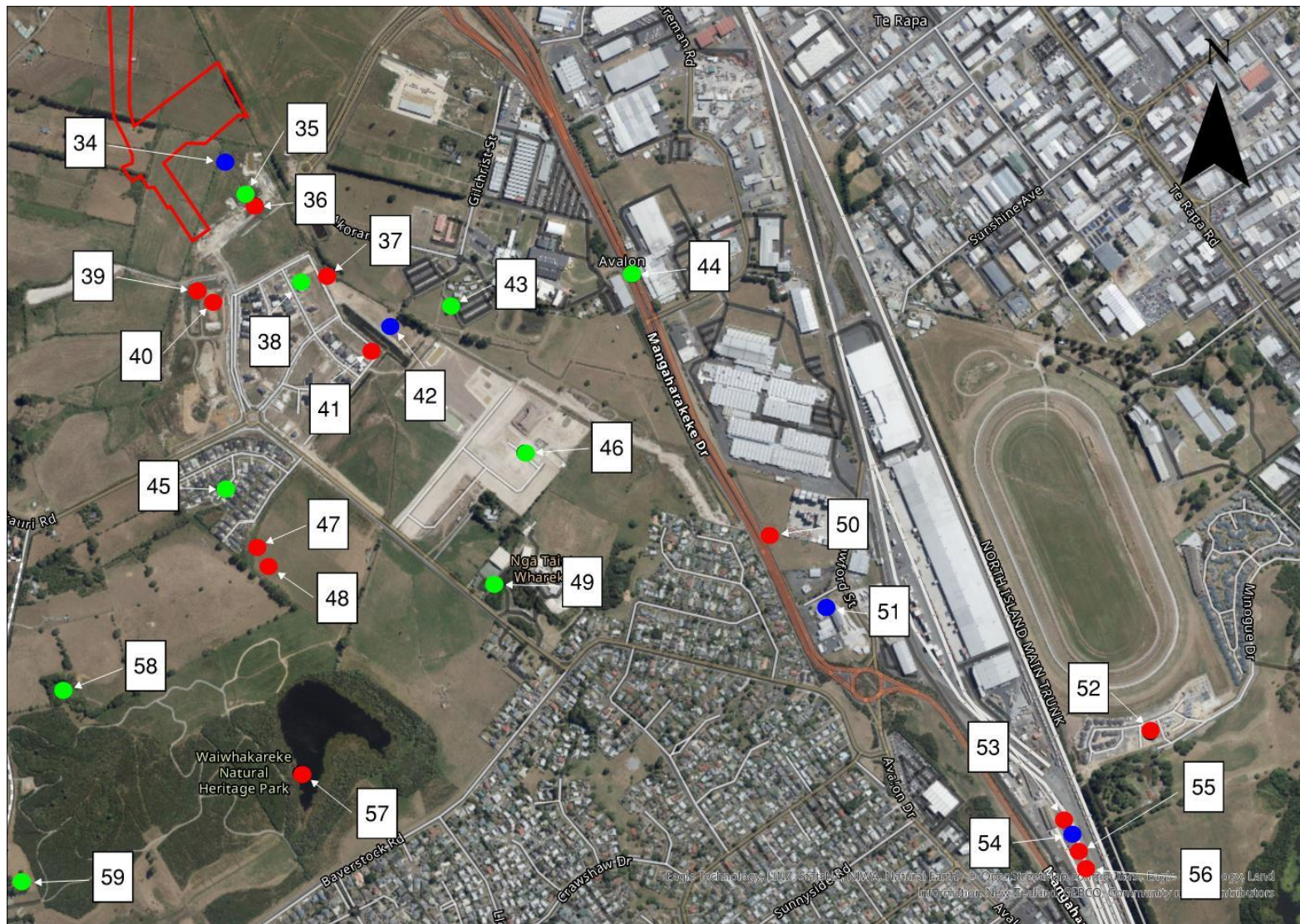
Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
47	Land use consent	600m south	<ul style="list-style-type: none"> Construct, use and maintain 3 piezometers and 4 stilling wells for groundwater monitoring purposes in association with APP142233 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
48	Land use consent	600m south	<ul style="list-style-type: none"> Construct, use and maintain 3 piezometers and 4 stilling wells for groundwater monitoring purposes in association with APP142233 	Low – Groundwater monitoring is not considered to pose a significant risk to soils in the alignment area.	3
49	Discharge permit	> 1km south	<ul style="list-style-type: none"> Discharge up to 0.7 cubic metre per day of treated domestic sewage into the ground of a 585 m² residential section 	Low - Septic tanks for domestic sewerage often contain a filtration system that treats the water. The location of this consent is also nearest to a section of the proposed alignment where no earthworks are proposed.	3
50	Land use consent	> 1km south-east	<ul style="list-style-type: none"> To undertake earthworks in association with the construction of a pipeline Construct, use and maintain a well for dewatering purposes To take up to 1000 cubic metres of water per day and associated diversion for dewatering in association with construction of a pipeline 	Low – The activity of undertaking earthworks in association with the construction of a pipeline, constructing a well and taking groundwater is not considered to present a significant contamination risk to the alignment area.	3
51	Water take	> 1km south-east	<ul style="list-style-type: none"> Top take groundwater for trucking services – yards/washing 	Low – Taking groundwater is not considered to present a significant contamination risk to the alignment area.	3

Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
52	Land use consent	> 1km south-east	<ul style="list-style-type: none"> To undertake earthworks including clean filling as part of retirement home development, Minogue Drive, Hamilton 	Low – The activity of undertaking soil disturbance works and clean filling activities is not considered to present a significant contamination risk to the alignment area.	3
53	Land use consent	> 1km south-east	<ul style="list-style-type: none"> Construct, use and maintain 2 wells for groundwater monitoring purposes and up to 100 well points for dewatering purposes 	Low – The activity is considered to pose a low risk to soils within the alignment area given the distance.	3
54	Water permit	> 1km south-east	<ul style="list-style-type: none"> The temporary groundwater take is for the purpose of dewatering during construction at 102 Crawford Street Avalon, Hamilton 	Low – The activity is considered to pose a low risk to soils within the alignment area given the distance.	3
55	Land use consent	> 1km south-east	<ul style="list-style-type: none"> Construct, use and maintain 2 wells for groundwater monitoring purposes and up to 100 well points for dewatering purposes 	Low – The activity is considered to pose a low risk to soils within the alignment area given the distance.	3
56	Land use consent	> 1km south-east	<ul style="list-style-type: none"> Construct, use and maintain 2 wells for groundwater monitoring purposes and up to 100 well points for dewatering purposes 	Low – The activity is considered to pose a low risk to soils within the alignment area given the distance.	3
57	Land use consent	> 1km south	<ul style="list-style-type: none"> Bed disturbance associated with the construction of two viewing platforms over Lake Waiwhakareke Earthworks in a high-risk erosion area (HREA) associated with the construction of two viewing platforms over Lake Waiwhakareke 	Low – The activity is considered to pose a low risk to soils within the alignment area given the distance.	3

Number on Figures Below	Activity Type	Distance from alignment	Description	Risk to alignment area from consented activity	Category and relation to Appendix A (if applicable)
			<ul style="list-style-type: none"> To construct and use two viewing platform structures over the bed of Lake Waiwhakareke 		
58	Land use consent	> 1km south	<ul style="list-style-type: none"> To clear vegetation and infill drains in association with a residential subdivision development 	Low – The activity is considered to pose a low risk to soils within the alignment area given the distance.	3
59	Discharge permit	> 1km south	<ul style="list-style-type: none"> Stormwater diversion and discharge in association with Hamilton Zoo Carpark upgrade 	Low – The activity is considered to pose a low risk to soils within the alignment area given the distance.	3



Consented activities with respect to the alignment. Image 1 of 2. Image Source @ WRC GIS



Consented activities with respect to the alignment. Image 2 of 2. Image Source @ WRC GIS

E

Appendix E – Selected Property File Information

Address of file	Appendix A Reference (where applicable)	Document date	Information Type	Key information	Relevance to potentially contaminating activities with respect to the alignment
208 Rotokauri Road, Nawton	Not illustrated on HAIL map due to information updates in s92 process, however, was selected for further investigation in original assessment.	September 1990	Letter included with Building Consent application	<ul style="list-style-type: none"> Dwelling to be relocated Letter notes the house is approximately 40-45 years old No site plan to indicate buildings location 	Information reviewed – Buildings of this vintage are likely to have been constructed or renovated with asbestos containing materials (ACM). No site plan provided to indicate location of building on land parcel. Aerial imagery indicates they were not likely to be located near to the roadside. Not relevant due to alignment due to distance away from site.
		November 1995	Building consent	<ul style="list-style-type: none"> Application to construct childcare centre and garage. 	Not relevant – Located at least 150m away from proposed alignment.
153 Te Kowhai Road, Burbush	N/A	July 1997	Building consent	<ul style="list-style-type: none"> Application to erect a dwelling and garage 	Not relevant – No dwellings on this property located near to where alignment is proposed.
		October 2010	Soils Report	<ul style="list-style-type: none"> A soils assessment was carried out to support the application to construct a dwelling on a dairy farm site (address in report is 173 Te Kowhai Road). Groundwater is reported at 700 mm below ground level Soils reported to generally be silts, with clays at depth. 	Potentially relevant – Report does not comment on anything related to contaminated land. However, it is identified that the property is a dairy farm site. Information regarding soil type and groundwater depth will be useful for future investigations in the area.
75 Lee Road, Burbush	Site 12	September 1997 and May 1995	Building Consents – appear to be	<ul style="list-style-type: none"> Application for a swimming pool. Relocation of dwelling 	Not relevant – Site plan indicates dwelling and pool are not near to area of proposed alignment.

Address of file	Appendix A Reference (where applicable)	Document date	Information Type	Key information	Relevance to potentially contaminating activities with respect to the alignment
			related to each other		
		March 1966	Building Permit	<ul style="list-style-type: none"> Application for a dwelling Lead paint mentioned in specifications for exterior 	Potentially relevant – Structures of this vintage are a potential source of lead and asbestos contamination. No site plan was included in the file to determine the location of this dwelling.
40 Te Kowhai Road, Burbush	Site 4	December 2006	Building Consent Application	<ul style="list-style-type: none"> Application to construct a trades workshop/warehouse. 	Relevant – Location is currently occupied by 'Protech Stainless' and is immediately adjacent to where widening works are proposed to take place. Site plan indicates building near to roadside.
		October 2001	Building Consent Application	<ul style="list-style-type: none"> Application for new cool store building. 	Potentially relevant – Located within the property near to where widening works will take place.
		November 2007	Soils Report	<ul style="list-style-type: none"> Soils report for existing sand pad at the property. A visual inspection and two hand augers to 1.9 m deep were undertaken. Compacted sand present to 600 m deep and silty sands noted below that. 	Not relevant – No commentary regarding contamination.
		May 2000	Letter	<ul style="list-style-type: none"> The buildings on the property are noted to be ex-cold stores originally used for the storage of apples. At the time of the letter, it is noted the buildings were used by a freight forward trucking company. 	Potentially relevant – Freight depot. Property is located immediately adjacent where widening works will take place.
31 Te Kowhai	Site 7	December 2016	Site Plan	<ul style="list-style-type: none"> Site plans included in a building consent indicating a car workshop and 	Relevant – This property is immediately adjacent to where widening works will take place and

Address of file	Appendix A Reference (where applicable)	Document date	Information Type	Key information	Relevance to potentially contaminating activities with respect to the alignment
East Road, Burbush				showroom to be located on the corner of Te Kowhai Road and Maahanga Drive.	contaminants associated with motor workshops have the potential to migrate.
		October 2016	Soils Report	<ul style="list-style-type: none"> Geotechnical report to supplement the proposed motor workshop and show room buildings. Discussed that potentially contaminated uncontrolled fill was encountered during the investigation, and this needed to be considered for the building's development. 	Relevant – Potentially contaminated material encountered. This property is located immediately adjacent where widening works will take place.
		November 2007	Building Consent Application	<ul style="list-style-type: none"> Application to demolish buildings as part of redevelopment. Fibrolite (asbestos containing material) noted to be known in the structure and proposed to be removed appropriately. 	Relevant – Located on the property immediately adjacent to where widening works will take place. Asbestos noted in document to be present.
17 Burbush Road, Burbush	N/A	June 1995	Building Consent Application	<ul style="list-style-type: none"> Application to close in existing courtyard for uses inclusive of storage and a home office. Address noted on application to be 64 Burbush Road. 	Not relevant – 64 Burbush Road is not located near to the proposed new arterial road.
10 Te Kowhai East	Site 9	January 2015	Geotechnical Report	<ul style="list-style-type: none"> Geotechnical report to support the application to undertake an office extension. 	Not relevant – Located immediately adjacent to where widening works will take place. No contamination commentary.

Address of file	Appendix A Reference (where applicable)	Document date	Information Type	Key information	Relevance to potentially contaminating activities with respect to the alignment
Road, Burbush				<ul style="list-style-type: none"> Two hand augers and strength tests were undertaken as part of the investigation. 	
		April 2015	Building Consent Documentation	<ul style="list-style-type: none"> Form included in the BC documentation that the NESCS does not apply and no HAIL activities were known on this property. 	Potentially relevant – Commentary around land use and NESCS requirements.
99 Te Kowhai Road, Burbush	Site 2	May 1995	Building Consent Application	<ul style="list-style-type: none"> Application to construct a shed. Site plan included, also indicates existing structures on the property. 	Relevant – Structure of a vintage where ACM may have been used during construction. New arterial road is proposed through this property. Site plan indicates buildings present/proposed approximately 50 m north of current proposed road location.
'The Base', Hamilton	Site 11	April 2020	E-mail Communication	<ul style="list-style-type: none"> An email was received (by Beca) from HCC on 15 April 2020 regarding property information for 'the base'. The Beca Environmental Scientist was informed that the area adjacent to where widening works will take place was once used by the Ministry for Defence as a Base. The communication noted that <i>the area was where all the barracks, offices and houses were and there was an open sports field. The Council would have never had access to the information.</i> 	Relevant – Historic presence of a sports field. Unknown timeframe where these structures would have been present on the site.

Address of file	Appendix A Reference (where applicable)	Document date	Information Type	Key information	Relevance to potentially contaminating activities with respect to the alignment
3 Maui Street, Hamilton	Site 10	July 2002	Soils Report to support Building Consent Application	<ul style="list-style-type: none"> Geotechnical report that indicates subsurface material is made up of clays and silts. The report notes that material in the northern portion of the property differs to that in the south and east. The south and east is noted to have fill material present (clean in the west, but 'contaminated' with organic silt and is poorly compacted in the SE). 	Unlikely relevant – Located approx. 20-50 m north where widening works will take place. Fill material information may be of importance for further work in this area. Reference to fill in this report is likely relating to the geotechnical definition of fill rather than potentially contaminated fill.
		June 2002	Building Consent Application	<ul style="list-style-type: none"> Application to remove show home and associated buildings. 	Potentially relevant – Removing structures constructed prior to the year 2000. Located near to where widening works are proposed.

WAIKATO BUILDING CONSENT GROUP BUILDING-CONSENT APPLICATION

PRINT CLEARLY WITH BLUE OR BLACK PEN

1. APPLICATION TYPE (tick one)

- ☒ Building Consent and PIM
☐ PIM only



OFFICE USE ONLY	Consent No. <u>2007/19755</u>
Date Received <u>21 NOV 2007</u>	Document No. <u>4512131</u>
BUILDING	Valuation No. <u>X</u>
	PIM No. <u>Demolition building</u>

2. THE BUILDING/PROJECT LOCATION

Street Number 27 Street Name Te Kowhai Rd
Town Hamilton
Level or Unit _____ Building name _____ Lot(s) 3
DP/S 14237 Site area .7722 (ha) 7722 m² (m²)
Other Information _____

3. OWNER

Name/Company Porter Properties Ltd
Mail Address Po Box 10073
Te Rapa
Hamilton
Phone (daytime) _____
Fax _____
Mobile 027 2202211
Email Mike-mcLennan@extra.co.nz
Attention Mike McL Ph _____

4. AGENT

Name/Company Mike McLennan
Mail Address Po Box 10073
Te Rapa
Hamilton
Phone (daytime) _____
Fax _____
Mobile 027 2202211
Email Mike-mcLennan@extra.co.nz
Attention Mike McL Ph 027 2202211
Relationship to Owner _____

Send Invoice to: ☒ Owner ☐ Agent (tick one)
First point of contact for communication: ☐ Owner ☒ Agent (tick one)

5. EVIDENCE OF OWNERSHIP ATTACHED

☒ Certificate of Title ☐ Lease ☐ Agreement for Sale and Purchase ☐ Other _____

6. THE PROJECT (tick one)

☐ New Building ☒ Demolition ☐ Addition ☐ Alteration
☐ Relocation ☐ Change of use ☐ Other (please specify below)

Description of Work: Demolish old buildings and clear site

Intended Use Vacant

Intended life of building (if less than 50 years) N/A

Estimated value of work: inc GST \$ 10,000

Existing floor area 2,730.75 m² New Floor Area TBA m²

Duplicate of original to be kept on site

7. INFORMATION REQUIRED FOR PROJECT INFORMATION MEMORANDUM ONLY

You may have information about the site that is unavailable to Council but needs to be considered as part of this consent, this could be critical to the success of what you plan to do on the site. Please supply any relevant information/documents/diagrams and tick checkboxes if your project involves one or more of these:

- ☐ Is there a proposed subdivision for this land?
- ☐ Are you digging out the site for a building platform?
- ☒ Are there new or altered connections to Council sewer, storm water or water mains?
- ☒ Are you altering domestic sewer or storm water drains?
- ☒ Are you building near or over any road or public space?
- ☒ Are you building near or over existing domestic sewer, storm water, water mains or wells?
- ☒ Are you building or altering a vehicle crossing?
- ☒ Is this site contaminated?
- ☐ Will the building be sited on sloping ground, or near to a bank, a stream or a coastal zone?
- ☒ Is there any other relevant information? Please state in the box or attach information

We are demolishing the old buildings and will start designing a plan for the redevelopment of the site. There is 2,730.75 m² of existing buildings on the site.

8. BUILDING PRACTITIONERS INVOLVED IN THIS PROJECT

Continue on a separate sheet if required

BUILDER:			
Name:		Registration Number:	
Address:			
Telephone:	Fax:	Mobile:	Email:

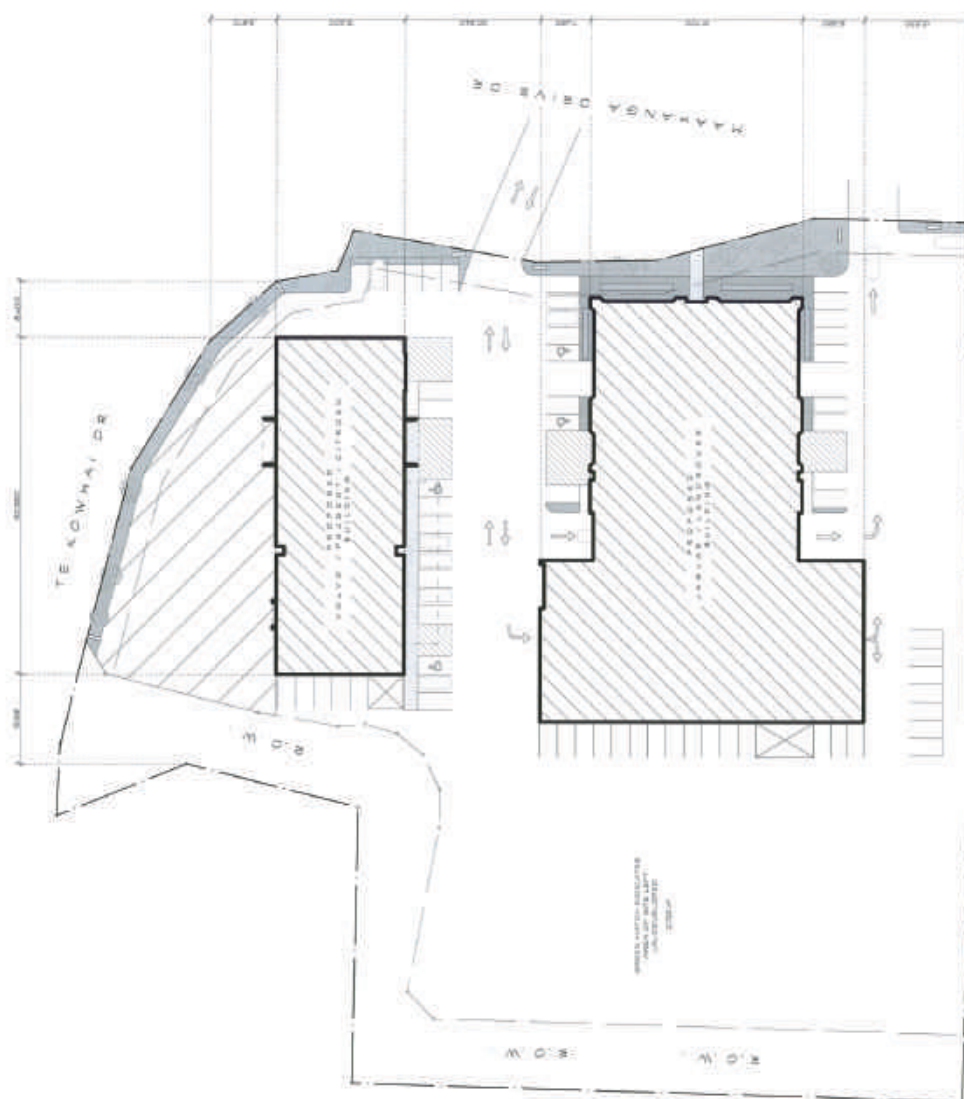
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DESIGNER:			
Name:		Registration Number:	
Address:			
Telephone:	Fax:	Mobile:	Email:

Project Role:			
Name:		Registration Number:	
Address:			
Telephone:	Fax:	Mobile:	Email:

Project Role:			
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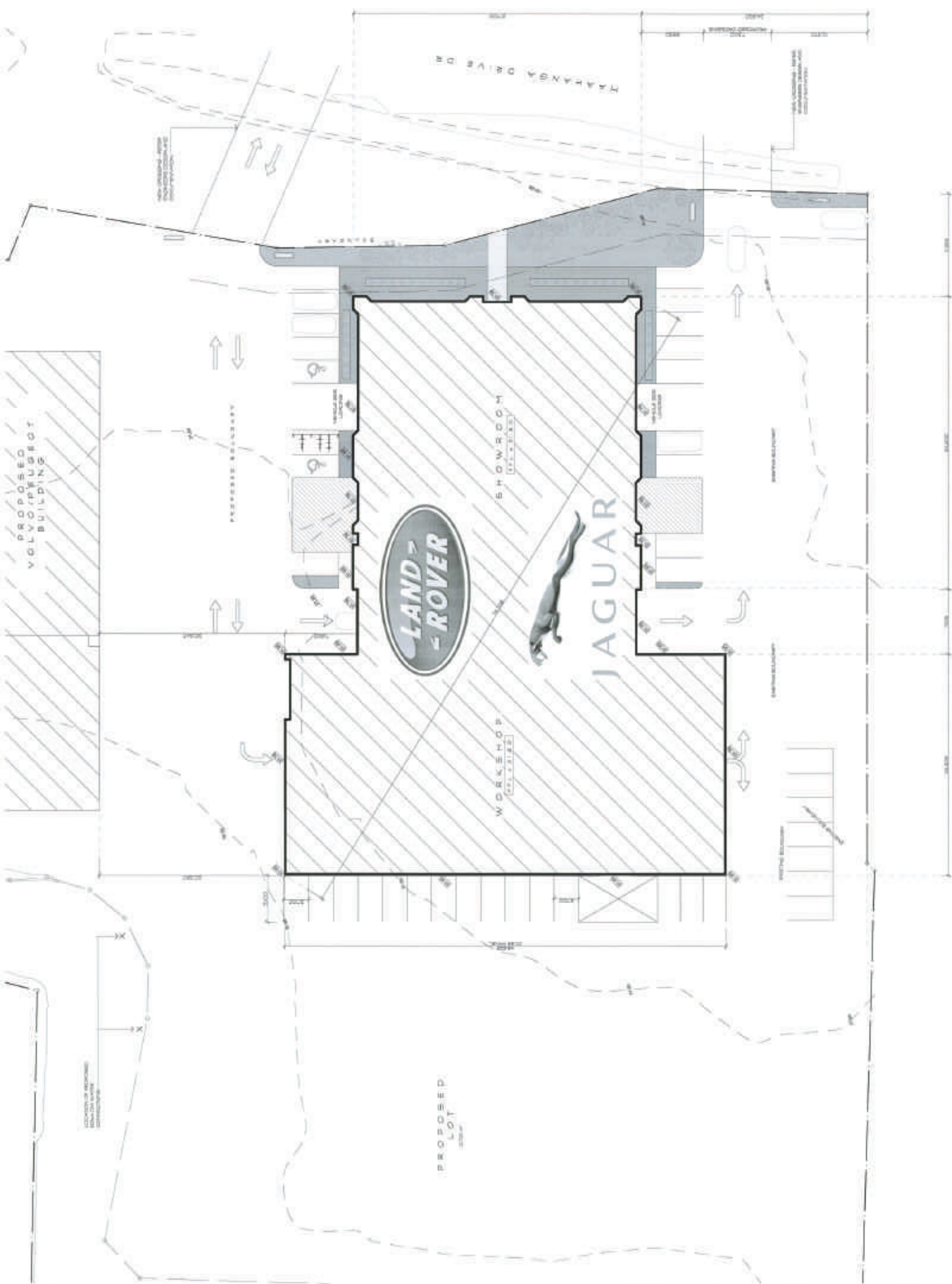
There Are Limitations
On This Project
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01-10-00

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On this day
we are celebrating
the 34th anniversary
of the
Lithuanian
Independence

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SUBJECT TO CONFORMANCE
TO BE KEPT ON SITE

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BUILDING CONSTRUCTION

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第 1 章 绪论	1
第 2 章 电路的基本概念和基本定律	10
第 3 章 电阻电路的分析和化简	25
第 4 章 正弦稳态电路的分析	45
第 5 章 非正弦周期电流电路和功率计算	65
第 6 章 动态电路分析	85
第 7 章 耦合电感和变压器	105
第 8 章 三相电路	125
第 9 章 异步电动机	145
第 10 章 同步电动机	165
第 11 章 继电接触器控制	185
第 12 章 可编程序控制器	205
第 13 章 变频器	225
第 14 章 电动机拖动	245
第 15 章 电动机保护	265
第 16 章 电动机安装	285
第 17 章 电动机检修	305
第 18 章 电动机运行	325
第 19 章 电动机故障排除	345
第 20 章 电动机应用	365
第 21 章 电动机设计	385
第 22 章 电动机制造	405
第 23 章 电动机试验	425
第 24 章 电动机维护	445
第 25 章 电动机修理	465
第 26 章 电动机改造	485
第 27 章 电动机节能	505
第 28 章 电动机安全	525
第 29 章 电动机环保	545
第 30 章 电动机发展	565
第 31 章 电动机应用案例	585
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第 109 章 电动机应用案例	2145
第 110 章 电动机应用案例	2165
第 111 章 电动机应用案例	2185
第 112 章 电动机应用案例	2205
第 113 章 电动机应用案例	2225
第 114 章 电动机应用案例	2245
第 115 章 电动机应用案例	2265
第 116 章 电动机应用案例	2285
第 117 章 电动机应用案例	2305
第 118 章 电动机应用案例	2325
第 119 章 电动机应用案例	2345
第 120 章 电动机应用案例	2365
第 121 章 电动机应用案例	2385
第 122 章 电动机应用案例	2405
第 123 章 电动机应用案例	2425
第 124 章 电动机应用案例	2445
第 125 章 电动机应用案例	2465
第 126 章	

PLEASE ENSURE YOU MAKE AN APPOINTMENT

OFFICE USE ONLY

Application Number:

7507/2003

~~Valuation Number~~

PI: 4433727

See
Note
1

Hamilton City Council Application for:

Project information memorandum and building consent together ☒

Project information memorandum only ☐

Building consent only (in accordance with project information memorandum) ☒

Number 1969/2001

See
Note
2

Project location:

40

Street Number

Street Name

TE KOWHAI

See
Note
3

LOT(S)

1

SITE AREA

2.237

ha /

m²

DPS

8487

See
Note
4.1

PROJECT:

Floor area (m²)

☐ New building

☐ Alteration/addition

☐ Relocation

☐ Demolition

☒ Other ROLLER DOOR

See
Note
4.2

INTENDED LIFE:

Indefinite but not less than 50 years ☒

Specified as

years

See
Note
4.3

Description of work: ADDITION OF A
COMMERCIAL ROLLER DOOR.

See
Note
4.4

Intended uses:

See
Note
4.5

Estimated value (incl GST): \$ 7000.00.

OWNER

See
Note
5

Name

R + R GILES

Postal Address

Phone (daytime)

Cellphone

Fax

Email

CONTACT (if not owner):

See
Note
6

Name

Noel Jessop : Architecture

Postal Address

P.O. Box 306

HAMILTON

Ph: (07) 854-6635

Phone (daytime)

Cellphone

Fax

Email

DECLARATION: Signed for or on behalf of the owner

See
Note
7

Print name

N. JESSOP

Signature

[Signature]

Date

11th SEP 03



Hamilton City Council

Te Kauhāhoro o Kiriikiriroa

Building Unit, Ground Floor, Hamilton City Council Offices, Garden Place

Private Bag 3010, Hamilton

Telephone 07-838-6677 Fax 07-838-6684

Email Building_unit_admin@hcc.govt.nz

HAMILTON CITY COUNCIL

APPROVED

AN IMPORTANT REMINDER FROM THE PLANNING GUIDANCE UNIT



- Is your legal description correct?
- Are you sure your proposal doesn't need a resource consent?
- Do you know: how high you can build?
how far from the boundaries your building/s must be?
how much of your site you can cover with buildings?

**Problems in complying with the District Plan requirements
and the Resource Management Act may cause delay in the
issue of your building consent.**

To ensure that this doesn't happen please contact the staff of
the Planning Guidance Unit
prior to lodging your Building Consent.

We have planners rostered on enquiry duty each day to help you.

Planning & Subdivision Enquiries Counter
Ground Floor, Hamilton City Council Offices, Garden Place, HAMILTON
Phone: (07) 838 6800
Fax: (07) 838 6819

WANT TO MAKE IT SIMPLE ????

Read these notes before and during filling
in this application form.

- NOTE 1** The Building Act 1991 states that before Council can issue a building consent, the applicant (owner) shall have already obtained a Project Information Memorandum (PIM). The Act allows that a building consent application and PIM can be applied for jointly, or the PIM may be applied for separately. If this application is for a building consent and you already have a PIM then write the PIM number in the space provided. If for a PIM only then place a tick in the second box.
- NOTE 2** This is the street address including street number if known.
- NOTE 3** The legal description is the lot and deposited plan number. You can get this information from several sources:
- rates demand
 - copy of certificate of title
 - if not from the above sources, we may be able to provide this information.
- Site area is the size of the section/property in square metres or hectares.
- NOTE 4**
- 4.1 Please identify the project being undertaken by placing a tick in the appropriate box.
e.g. New House (☒ New Building).
 - 4.2 You may specify the actual life of the building being constructed or it will be assumed to be 50 years (50 years is the time frame under the Building Act 1991).
 - 4.3 Please describe the work e.g. 3 bedroom dwelling and attached garage.
 - 4.4 Describe the intended use e.g. Family housing.
 - 4.5 This is the full retail value based on square metre rates. If in doubt please ask the Building Review Officer.
- NOTE 5** The owner may be the person who is entitled to the rent of the building or land, or who would be so entitled if the land were let to a tenant at a rent and for the purposes of the Building Act includes:
- The owner of the fee simple of the land
 - Any person who has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take out a lease of the land while the agreement remains in force - and the "ownership" has a corresponding meaning.
- NOTE 6** Please provide the contact person's name, address and other particulars so that we may address all verbal or written correspondence to this person. Only complete this section if the owner is not the contact.
- NOTE 7** This may be signed by the owner or on behalf of the owner by his/her representative. For legal purposes the person signing the declaration is acting for the owner with his/her knowledge.
- NOTE 8** If known please complete this section and include registration numbers and means of contact.
- NOTE 9** Under the Building Act you have the right to have plans and details held confidential if you wish.

FOR OFFICE USE ONLY

FEES PAYABLE:

Building Consent	\$ 70-
Project Information Memorandum	15-
Code Compliance Certificate	15-
BRANZ Levy	
BIA Levy	
Photocopying	
Microfilming	25-
Structural Check	
External Consultants Check	
Crossing Administration	
Planning Bond	
Reserves Contribution (Residential)	
Reserves Contribution (Commercial)	
Water Main Connection	
Water Connection (Nearside)	
Water Connection (Farside)	
Water Connection (Rural)	
Water Disconnection	
Backflow Device	
Backflow Inspect/Permit Fee	
Sanitary Connection	
Stormwater Connection	
Sanitary Disconnection	
Stormwater Disconnection	
CCTV Survey Sanitary	
CCTV Survey Stormwater	
Kerb & Channel Connection	
Cellar Indemnity	
Compliance Schedule	

Total Fees (including GST).

\$ 125.

BUILDER:

G. GRIFFITHS.

Address: _____

Fax: _____

Phone - day: _____

Cellphone: _____

PLUMBER:

Address: _____

Fax: _____

Phone - day: _____

Cellphone: _____

Reg # _____

DRAINLAYER:

Address: _____

Fax: _____

Phone - day: _____

Cellphone: _____

Reg # _____

OFFICE USE ONLY 7/10/03

Receipt # 368140 \$125.00

Date of issue 7/10/03

Authorised by [Signature]

Date authorised 25/9/05

REFERRALS:

	Sent	Returned
Structural		

CONFIDENTIALITY

You have the option to request confidentiality for reasons of **building security** and **copyright**. Please ask the Building Review Officer you are dealing with for further information.

CORRESPONDENCE

I/we, the applicant, acknowledge that all correspondence is to be directed to:

☐ Myself/ourselves

☒ My/our agent whose responsibility it is to forward all council documentation as received as appropriate.

Document Edit Help

OK Cancel Cut Copy Paste Add Update Delete Find Excel Help

Document

Memo

Module

Account

Assessment

Type

Number

Date

Start Date End Date

Text

Site inspected 15.03.11. No health and safety issues. Due to age of consent No Code Compliance Certificate issued 15.03.11.

Document Navigation

New Document



Document History

Created Modified

Operator

OVR



Name R & R Giles

Address 40 Te Kawhau Rd

Dear Sir or Madam:

RE: Building Consent No. 2003/7807

Address 40 Te Kawhau Rd

Lot 1 DP/S 8487

No CCC issued due to age of consent (Building pre-dates the Building Act 2004)

A Code Compliance Certificate (CCC) will not be issued for this Building Consent because Council is not satisfied that the following provisions of the Building Code have been complied with because of the age of the building. In particular:

1. Durability
2. Weathertightness

Because a CCC will not be issued at this stage the options available to you are:

1. Make an application for determination to the Department of Building and Housing (DBH) if you disagree with Council's decision not to issue a CCC. You would need to provide reasons why you consider Council should issue a CCC.
2. Obtain a building report from an independent expert regarding the condition of your building and you may submit a copy to Council to file against the property register.

The inspector has identified that the following work is of an urgent nature as it could affect health and safety of the building occupants. Please ensure you carry out the remedial work within the timeframe stated below:

A copy of this letter will be placed on your property file and will form part of Council's records which will be disclosed should a Land Information Memorandum be applied for.

Bryce Keogh
Building Control Officer (Name)

8 15-3-11
Signature

Building Unit Policy

Sponsor: Building Control Manager
Date Approved: 25 May 2007
Date Reviewed:
File Reference:

Objective

Management of outstanding building consents pre-Building Act 2004 (31 March 2005)

Policy

- Code compliance certificates will not be issued for outstanding building consents where the building consent was issued under the Building Act 1991.
- Building consent records for all building consents as above will be removed from circulation, scanned or microfilmed and stored.
- Where an owner makes an application for a code compliance certificate (CCC) it will be refused and the owner will be advised of the following options:
 - The owner can apply to the Department of Building and Housing to make a determination that Council issue the CCC. Council is bound by the outcome of the determination and will act accordingly.
 - Or the owner may obtain a building report from an independent expert that Council will lodge with the property file.
- In accordance with the Local Government Official Information and Meetings Act (LGOIMA), Council will disclose any information held on the property file through a Land Information Memorandum or written request in terms of the LGOIMA.

Previous Review Dates

Issue Date:

7-Oct-03

Builder: Noel Jessop Architecture
07 854 6635

Property Reference: LOT: 1 DP: S8487

1

PLUMBING & DRAINAGE INSPECTIONS

DATE _____

No

COMMENTS:

COMMENTS:

Building Consent No: 2003/7507

Section 35, Building Act 1991

Issued by Hamilton City Council**Date:** 25.09.2003**Applicant:** R & R Giles C/O Noel Jessop: Architecture
Mailing Address: PO Box 306
Hamilton**Application Lodged:** 17/09/2003**Project:**
Application Description: new commercial roller door
Intended Use:
Work Type: Alteration/Repairs**Intended Life:** >50 years
Value of Work: \$7000**Property:**
Address: 40 Te Kowhai Road HAMILTON 2001
Property Reference: LOT: 1 DP: S8487

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in Building Consent:
2003/7507

Signed for and on behalf of the Hamilton City Council:

Name:

Position: Authorised Officer

Building Control Unit

Building

25 September 2003

Noel Jessop Architecture
P O Box 306
HAMILTON 2015

Dear Sir/Madam

Consent Number: 2003/7507

Project: new commercial roller door

Project Address: 40 Te Kowhai Road HAMILTON 2001

Legal Description: LOT: 1 DP: S8487

Thank you for the application for building consent. We are pleased to advise that this consent has been processed and is now ready for collection.

Your next steps are:

1. Please arrange for the payment and collection of the consent documents (If this has been pre-paid, then these will be sent to you). Please bring your invoice in with you when you pay. Your approved documentation must be kept on site for the building inspector to view.
2. This Building Consent is issued subject to the conditions outlined on page 2. In particular please note the requirements for inspections. The phone number to arrange inspections is 838 6677 available from 8:00 am to 11:00 pm.
3. Your final step after the completion of the project, is to apply for the issue of a Code Compliance Certificate. Please fill out the "Advise of Completion of Building Work" form attached and we will contact you to arrange a suitable time. We have found that many people do not complete this last task with the result that legal difficulties can arise at the time of sale or with insurance companies.

It is also a legal requirement of the Building Act, therefore the keeping and processing of the Advise of Completion is very important to both yourself and Council.

Good luck with your building project and we look forward to our staff assisting you with this and any future building work.

Regards



Kim Southcombe
Council Building
Garden Place, Hamilton
Phone 07 838 6444
Fax 07 838 6445

These are your Building Consent Conditions.
Please read these carefully

Building

- (1) Please quote building consent number when requesting an inspection.
- (2) A pre-lining inspection required. Please provide 24 hours notice.
- (3) Completion inspection required prior to issue of interim or final code compliance certificate. Please make application on the appropriate form, that is included in Building Consent.

Important Notes:

1. If the work has not commenced within 6 months or if there is a lack of reasonable progress within 12 months then your building consent may lapse. Please contact the processing officer if you feel you may exceed these times and we can discuss extending the time frames.
2. The Project Information Memorandum lapses if a building Consent for the work concerned has not been issued within 24 months after the date of the issue of the Project information Memorandum.
3. Please check with your local Network Utilities Operator as to where your services are located, i.e. Telecom, Wai Energy and Gas.
4. To avoid unreasonable noise affecting neighboring properties it is requested that noisy construction activities that would cause sleep disturbance not be undertaken until after 07:30am, and not at all on Sundays and public holidays.

ADVICE OF COMPLETION OF BUILDING WORK

Section 43(1), Building Act 1991

TO HAMILTON CITY COUNCIL

Building consent no: 2003/7507

(Insert a cross in each application box. Attach relevant documents.)

Owner Please Complete this Section

Name: Contact Phone:

Project Location: 40 Te Kowhai Road HAMILTON 2001

Mailing Address:

.....
This is to advise Council that:

- ☐ All of the building project or
☐ Part only as specified in the attached particulars

Have been completed to the extent required by the building consent.

Hamilton City Council are requested to issue

- ☐ A Final Code Compliance Certificate or,
☐ An Interim Code Compliance Certificate

Please Contact the processing officer if you require clarification of these.

Building Certifier to Complete

Code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

Building certificates

Code compliance certificate no:

issued by

.....(building certifier).

Signed by/for and on behalf of the owner:

Name:

Position:

Date:/...../.....

Building
8

25 September 2003

Noel Jessop Architecture
P O Box 306
HAMILTON 2015

Dear Sir/Madam

Consent Number: 2003/7507

Project: new commercial roller door

Project Address: 40 Te Kowhai Road HAMILTON 2001

Legal Description: LOT: 1 DP: 58487

Thank you for the application for Project Information Memorandum. We are pleased to advise that this consent has been processed and is included in this letter.

Your next steps are:

1. Read carefully the Project Information Memorandum comments on page 2 of this letter. This information may be important to you during the construction process.
2. When you have completed the design and have all the documentation, please lodge your consent application with us. If you have carefully followed this PIM, then this should make the consent application process a lot quicker and easier for you.

Good luck with your building project and we look forward to our staff assisting you with the consent and any future building work.

Yours faithfully

Kim Southcombe
Council Building
Garden Place, Hamilton
Phone 838 6702

Please check with your Local Network Utilities Operator as to where your services are located, ie Telecom, WEL Energy and the Gas Centre.

This Is your Project Information Memorandum

This describes (if relevant) any special features of the land, Information of other Acts relating to the land or buildings, Details of waste and storm water systems and confirmation that the works will comply with the Building Act subject to the requirements of the building consent.

Planning

nil

Building

- (1) All work to comply with the New Zealand Building Code.
- (2) Wind zone is rated as low.
- (3) The Earthquake Zone for your area is designated as B.

Project Information Memorandum

No: 8.2003.7507.1

Section 43(3), Building Act 1991

Issued by the Hamilton City Council

Date: 25 September 2003

Applicant: R & R Giles C/O Noel Jessop: Architecture

Mailing Address: PO Box 306
Hamilton

Application Lodged: 17/09/2003

Project

Application Description: new commercial roller door

Stage:

Intended Use:

Work Type: Alteration/Repairs

Intended Life: >50 years

Value of Work: \$7000

Property

Address: 40 Te Kowhai Road HAMILTON 2001

Property Reference LOT: 1 DP: 58487

This is:

Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.

() Not yet applied for.

() No.: 8.2003.7507.1 attached.

() Not yet issued.

or

() Notification that other authorisations must be obtained before a building consent will be issued.

or

() Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.

This project information memorandum includes (cross each applicable box, attach relevant documents, and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings):

() Information identifying relevant special features of the land concerned. Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.

() Details of relevant utility systems.

() Details of authorisations which have been granted.

() Details of authorisations which must be obtained before a building consent will be issued.

() Details of authorisations which have been refused.

Signed for and on behalf of the Hamilton City Council:

Name:

Position: Authorised Officer
Building Control Unit

Building

BUILDING CONSENT / PIM ACTION SHEET / CONSENT NO

/

	W/Held	Issue		
Health Yes No <input type="checkbox"/> <input type="checkbox"/> Contaminated site				
Roads & Traffic				
Water <input type="checkbox"/> <input type="checkbox"/> Water connection <input type="checkbox"/> <input type="checkbox"/> Water disconnection <input type="checkbox"/> <input type="checkbox"/> Backflow Device <input type="checkbox"/> <input type="checkbox"/> Sheet filled out				
Drainage <table border="0"> <tr> <td> <input type="checkbox"/> <input type="checkbox"/> CCTV <input type="checkbox"/> <input type="checkbox"/> Contact Drainage <input type="checkbox"/> <input type="checkbox"/> Connections <input type="checkbox"/> <input type="checkbox"/> Waste water <input type="checkbox"/> <input type="checkbox"/> Storm water <input type="checkbox"/> <input type="checkbox"/> Kerb & Channel <input type="checkbox"/> <input type="checkbox"/> Sheet filled out </td> <td> Yes No <input type="checkbox"/> <input type="checkbox"/> Disconnections <input type="checkbox"/> <input type="checkbox"/> Waste water <input type="checkbox"/> <input type="checkbox"/> Storm water <input type="checkbox"/> <input type="checkbox"/> Hydrant Coverage </td> </tr> </table>	<input type="checkbox"/> <input type="checkbox"/> CCTV <input type="checkbox"/> <input type="checkbox"/> Contact Drainage <input type="checkbox"/> <input type="checkbox"/> Connections <input type="checkbox"/> <input type="checkbox"/> Waste water <input type="checkbox"/> <input type="checkbox"/> Storm water <input type="checkbox"/> <input type="checkbox"/> Kerb & Channel <input type="checkbox"/> <input type="checkbox"/> Sheet filled out	Yes No <input type="checkbox"/> <input type="checkbox"/> Disconnections <input type="checkbox"/> <input type="checkbox"/> Waste water <input type="checkbox"/> <input type="checkbox"/> Storm water <input type="checkbox"/> <input type="checkbox"/> Hydrant Coverage		
<input type="checkbox"/> <input type="checkbox"/> CCTV <input type="checkbox"/> <input type="checkbox"/> Contact Drainage <input type="checkbox"/> <input type="checkbox"/> Connections <input type="checkbox"/> <input type="checkbox"/> Waste water <input type="checkbox"/> <input type="checkbox"/> Storm water <input type="checkbox"/> <input type="checkbox"/> Kerb & Channel <input type="checkbox"/> <input type="checkbox"/> Sheet filled out	Yes No <input type="checkbox"/> <input type="checkbox"/> Disconnections <input type="checkbox"/> <input type="checkbox"/> Waste water <input type="checkbox"/> <input type="checkbox"/> Storm water <input type="checkbox"/> <input type="checkbox"/> Hydrant Coverage			
Plumbing & Drainage PIM: Withheld: Conditions:				
Building PIM: Withheld: Conditions:		 		

PIM NUMBER:

7507

Resource Consent NOT Required

☒

Resource Consent in PROCESS
File Number:

7

Resource Consent GRANTED
File Number:

Not enough info in PIM to assess District Plan requirements



Resource Consent REQUIRED

5

Applicant Contacted?

1

Unsuccessful Attempt Made ☐

4

☐ Phone

4

Fax

5

Email

Building Officer to include attached material to PIM letter

10

☐ EPO

10

☐ Home Occupation

5

☐ Reserve Contribution

1

☐ Other

Comments:

Please do not release any building consent for this work until the above issues have been resolved.

Planner:

Date: _____

Comments:

Letter Door Only

Please note the above comments for the PIM letter and include any attached material with the PIM letter.

Planner:

Date:

11/19/90

File No. 524/158

SEARCH

Land and Deeds 69

Register No. S.274338

6 DEC 1999

COPY

REGISTER

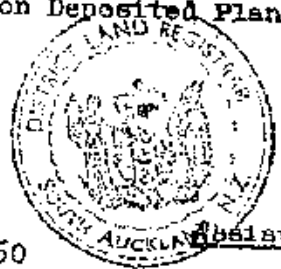
2D/721

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 16th day of December, one thousand nine hundred and sixty three under the seal of the District Land Registrar of the Land Registration District of South Auckland

WITNESSETH that NEW ZEALAND APPLE AND PEAR MARKETING BOARD a body corporate

... of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 5 ACRES 2 RODS 4.7 PERCHES more or less being Lot 1 on Deposited Plan S. 8487 and being part Allotment 215 Parish of Pukete.



[Signature]

Repealing covenant in covenant No. 377460

Assistant Land Registrar

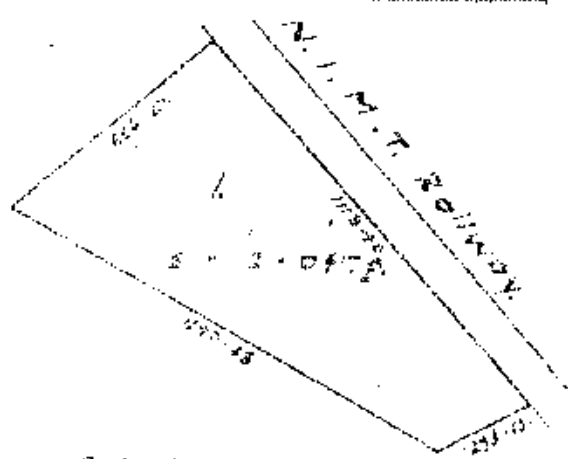
Building line restriction in S.258278.

1.000043 Mortgage to ~~21.3.1968~~ Investments Limited produced 21.3.1968 at 10.35 a.m.

1.000069 Variation of terms of Mortgage S.143543 produced 12.9.1974 at 10.33 a.m.

3/4 Kiri Komakorou S.D.

METRIC AREA IS 2.2376 ha



Scale: 1 inch = 2 ft Chain.



Hamilton City Council

Te kaunihera o Kirikiriroa

**BUILDING CONSENT
ACCOUNT DUE**

TAX INVOICE
G.S.T. REG. No. 11-174-531

Private Bag 3010 Hamilton, Phone 07 838 6699, Fax 07 838 6684
Office Hours: Monday to Friday 8am to 4.45pm

PLEASE QUOTE ACCOUNT No. ON
ALL CORRESPONDENCE

R & R Giles C/O Noel Jessop:
Architecture
PO Box 306
Hamilton

Account No. 65759/37
Page 01
Date 25/09/2003
TAX INVOICE

DATE	INVOICE No.	DETAILS	BALANCE
25/09/2003	7507	Code Compliance Cert	15.00
		GST \$1.67	
		Building Consent	70.00
		GST \$7.78	
		A4 Microfilming	25.00
		GST \$2.78	
		2003/7507 - 40 Te Kowhai Road HAMILTON	110.00
		Invoice Total (including GST)	110.00
			110.00
		Total Value non-taxable supply(s)	0.00
		Total Value taxable supply(s) excluding GST	97.77
		Total GST Payable	12.23

ALL QUERIES TO BUILDING CONSENTS

DUE DATE 25/09/2003

TOTAL DUE 110.00

ALL FEES & CHARGES MUST BE PAID PRIOR TO THE BUILDING CONSENT BEING UPLIFTED. THIS ACCOUNT INCLUDES G.S.T.
THE CUSTOMER WILL BE LIABLE FOR UNPAID DEBTS AS WELL AS ASSOCIATED COLLECTION COSTS.

HAMILTON CITY COUNCIL BUILDING CONSENTS

PRIVATE BAG 3010

HAMILTON

R & R Giles C/O Noel Jessop:
Architecture
PO Box 306
Hamilton

DUE DATE

25/09/2003

TOTAL DUE

110.00

ACCOUNT No.

65759/37 7507

INVOICE

IF ADDRESS IS INCORRECT PLEASE
COMPLETE THE FOLLOWING:

NAME: _____

ADDRESS: _____

☐ THIS ACCOUNT ONLY

☐ ALL COUNCIL SERVICES



Hamilton City Council

Te kaunihera o Kirikiriroa

**BUILDING CONSENT
ACCOUNT DUE**

TAX INVOICE

G.S.T. REG. No. 11-174-531

Private Bag 3010 Hamilton, Phone 07 838 6699, Fax 07 838 6684

Office Hours: Monday to Friday 8am to 4.45pm

PLEASE QUOTE ACCOUNT No. ON
ALL CORRESPONDENCE

R & R Giles C/O Noel Jessop:
Architecture
PO Box 306
Hamilton

Account No. 65759/39
Page 01
Date 25/09/2003
TAX INVOICE

DATE	INVOICE No.	DETAILS	BALANCE
25/09/2003	7507	Project Information	15.00
		GST \$1.67	
		2003/7507 - 40 Te Kowhai Road HAMILTON	15.00
		Invoice Total (including GST)	15.00
			15.00
		Total Value non-taxable supply(s)	0.00
		Total Value taxable supply(s) excluding GST	13.33
		Total GST Payable	1.67

ALL QUERIES TO BUILDING CONSENTS

DUE DATE 25/09/2003

TOTAL DUE 15.00

ALL FEES & CHARGES MUST BE PAID PRIOR TO THE BUILDING CONSENT BEING UPLIFTED. THIS ACCOUNT INCLUDES G.S.T.
THE CUSTOMER WILL BE LIABLE FOR UNPAID DEBTS AS WELL AS ASSOCIATED COLLECTION COSTS.

HAMILTON CITY COUNCIL BUILDING CONSENTS

PRIVATE BAG 3010

HAMILTON

R & R Giles C/O Noel Jessop:
Architecture
PO Box 306
Hamilton

DUE DATE

25/09/2003

TOTAL DUE

15.00

ACCOUNT No.

65759/39 7507

INVOICE

IF ADDRESS IS INCORRECT PLEASE
COMPLETE THE FOLLOWING:

NAME: _____

ADDRESS: _____

☐ THIS ACCOUNT ONLY

☐ ALL COUNCIL SERVICES

DRAWING NOTES

- All dimensions are to be confirmed by the Contractor before commencing any work.
 - These drawings must be read in conjunction with the specifications and other relevant documents.
 - All details not shown shall comply with the relevant building code
 - **Subsoil conditions have not been investigated.**
It is assumed that the ground will support a min. allowable bearing pressure of 100 KPa. (ult. bearing 300 KPa.)
 - Structural steel to be grade 300 unless otherwise specified
 - Welding procedure specification to be approved by a welding inspector before any work commences
 - Welds to be conducted by an operator with a 477 weld certificate
 - All welding to be in accordance with AS/NZS1554:1995
 - All welds to be 5 mm continuous fillet welds category SP (structural purpose)
 - All interior steel to be thoroughly wire brushed to Swedish standard st2 and primed with one coat of zinc chromate of 0.075 mm thickness
 - Bolts to be hot dip galvanised Grade 8.8 unless otherwise specified
 - The engineer must observe the:
- 6) Structural steel & their fixings when completed



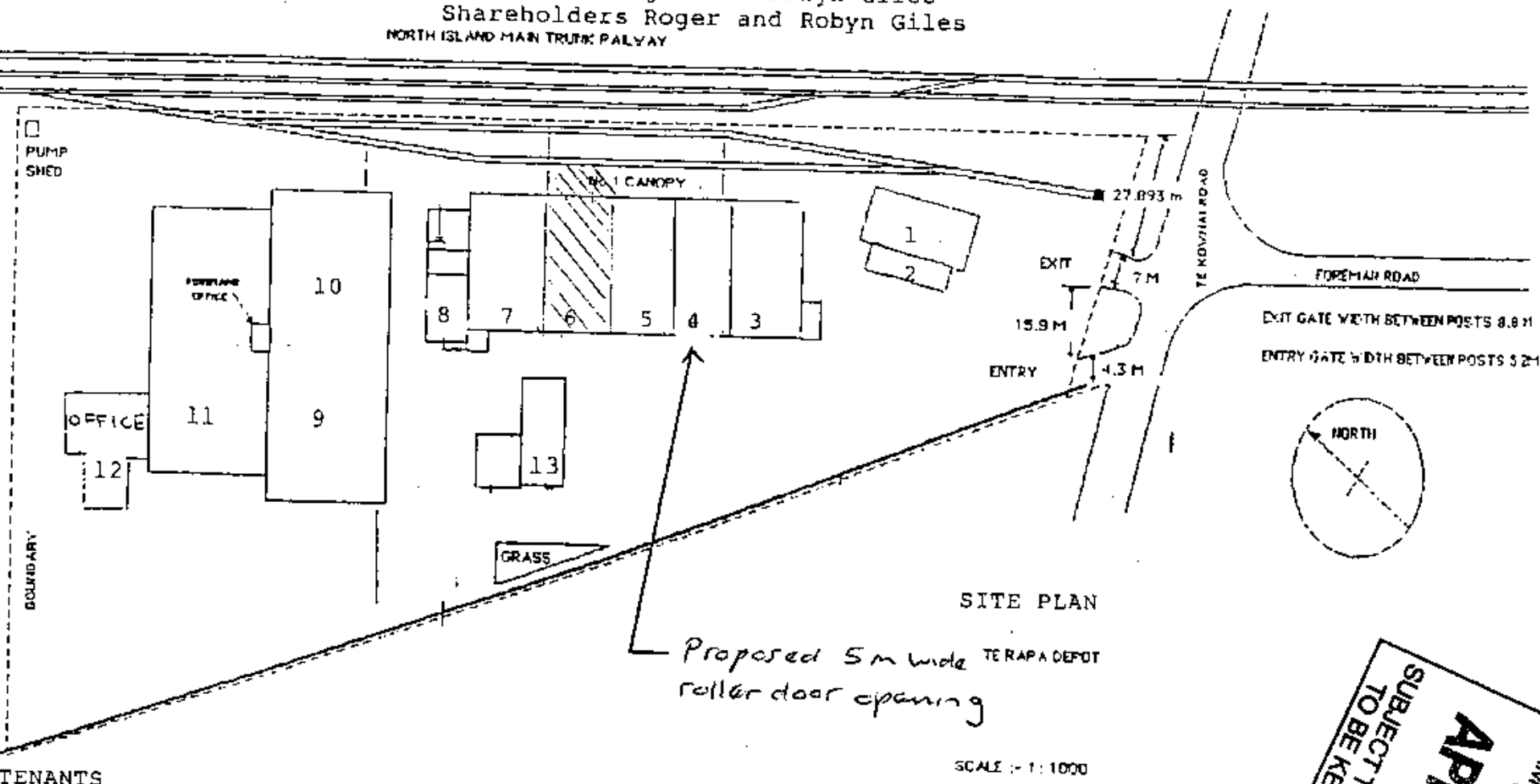
Те Ковнаі Росс.

Owners 499 TeRapa Properties LTD

Directors Roger and Robyn Giles

Shareholders Roger and Robyn Giles

NORTH ISLAND MAIN TRUCK PALYAY



TENANTS

1. T K haulage
2. Todays Foods
3. Allied Pickford Furniture Division
4. Allied Pickford Record Storage
5. Allied Pickford Record Destruction
6. Auto Craft Engineering
7. P C Hunter Pumps
8. P C Hunter Pumps

13. A G Attachments
9, 10.
11, 12. Road Freighters
Ltd

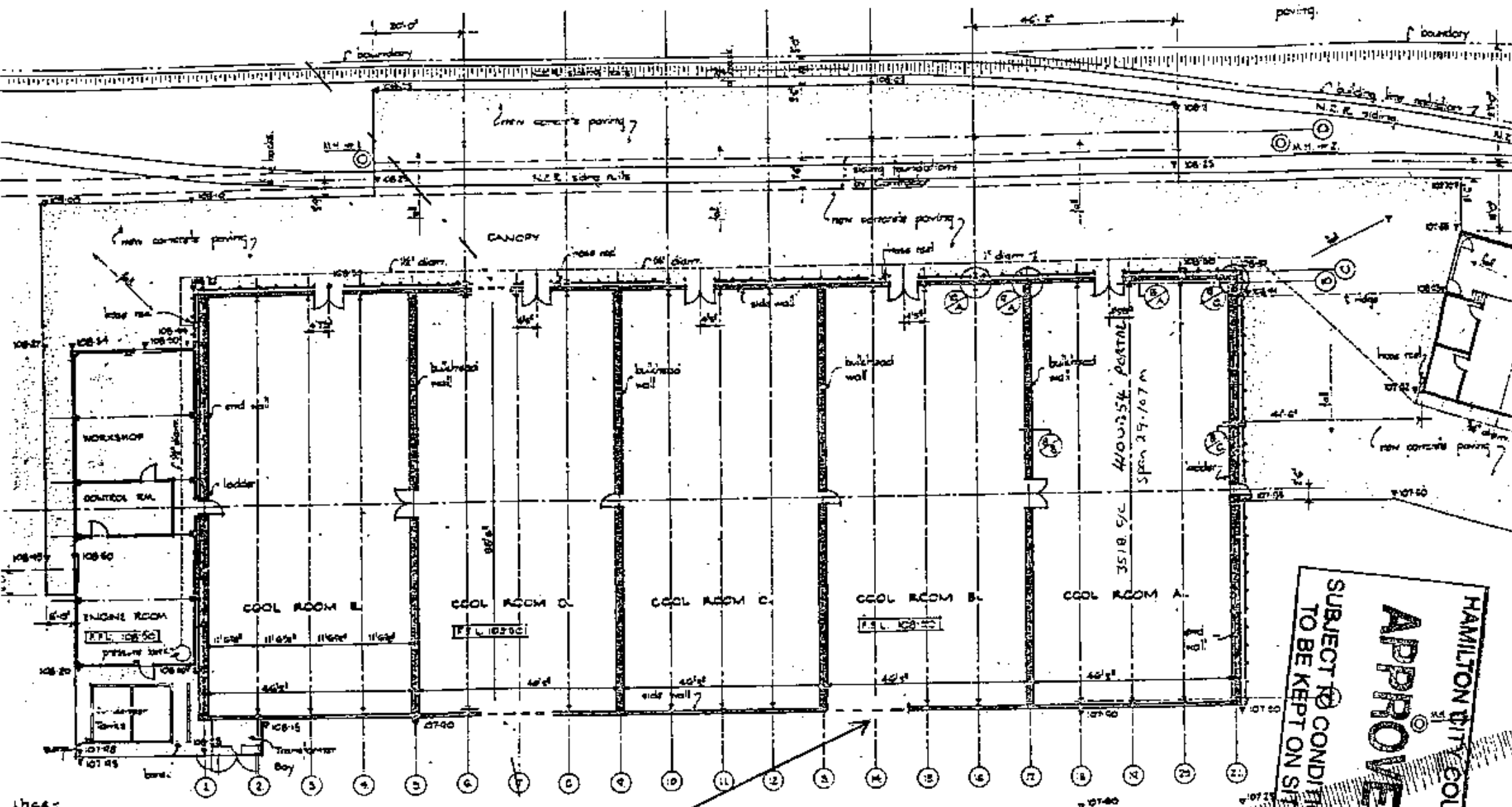
SCALE :- 1 : 1000

DATE 1-4-2000

REDUCED 33 % FOR PRINTING

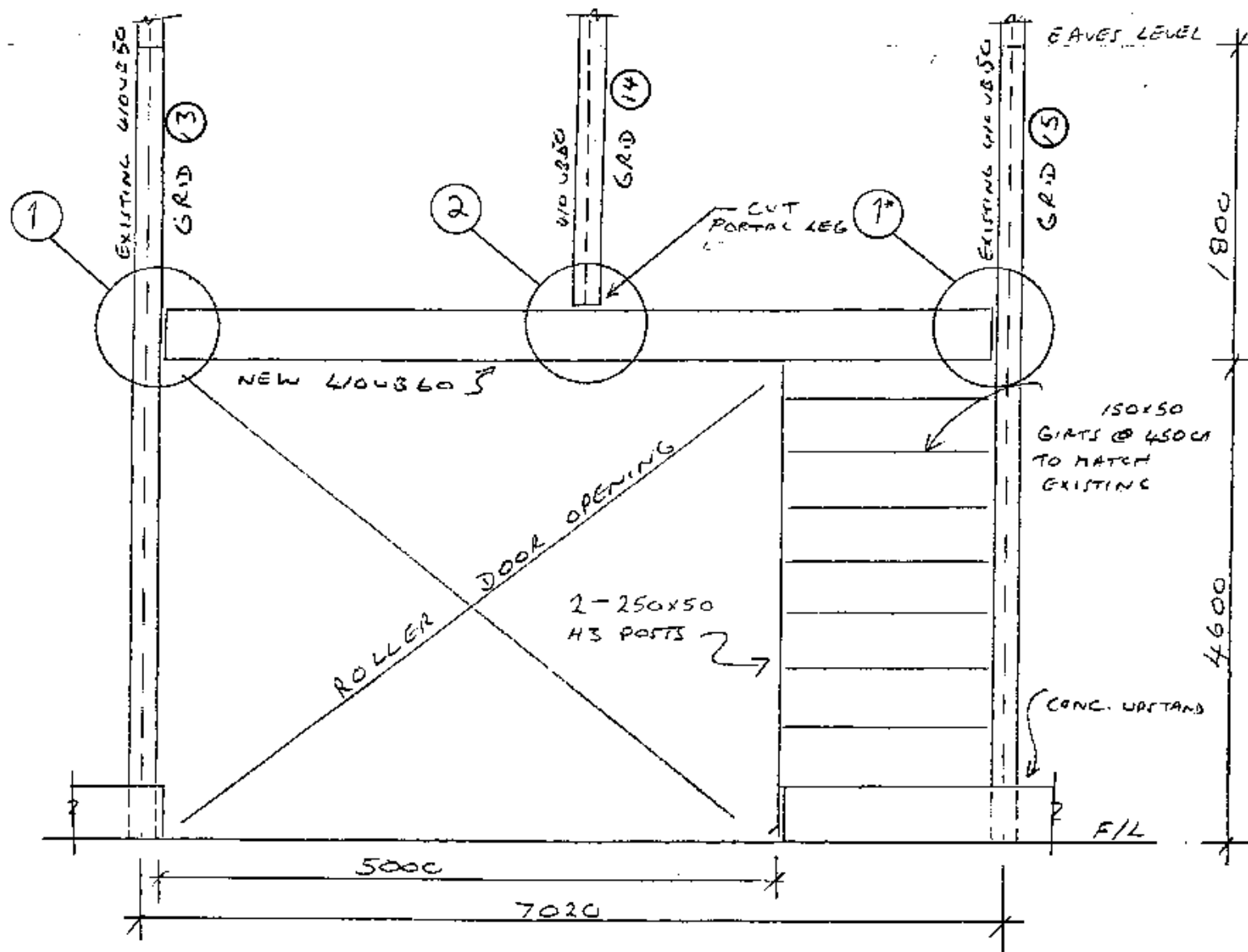
HAMILTON CITY COUNCIL
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TO BE KEPT ON SITE

Finish floor
Cold water reticulation
N.B. for existing levels see dwg. no 2027.
Unless otherwise shown, ground surface
shall finish flat with adjoining concrete
paving.



HAMILTON CITY COUNCIL
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TO BE KEPT ON SITE

Proposed 5m wide x 4.5m high Roller Door
across portal on grid line 14



ELEVATION OF 5m WIDE ROLLER DOOR OPENING

1:50

OAKLEY CONSULTING ENGINEERS LTD.
DAVE OAKLEY B.E.(CIVIL)
Riverglade Drive
R.D. 3, Hamilton
Ph./Fax 07 856-8742

D. Oakley

Job No. 03-296

51

DRILL 2-18 ϕ HOLE
FOR 2-M16 GRADE 8.8 BOLTS

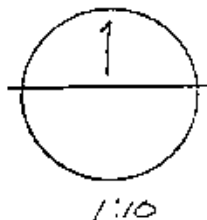
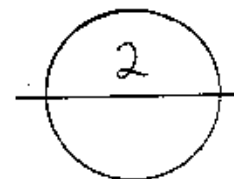
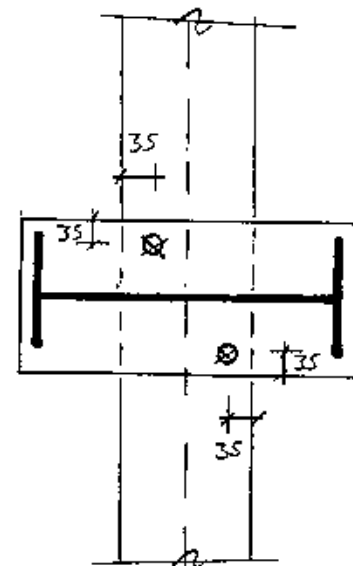
EXISTING
410 UB40
PORTAL LEG. CUT TO
FIT 16mm PLATE

450x200x16 PL

410 UB60

12mm
STIFFENER PL

SHOT FIRE 200x50
TIMBER PLATE @ 600CT



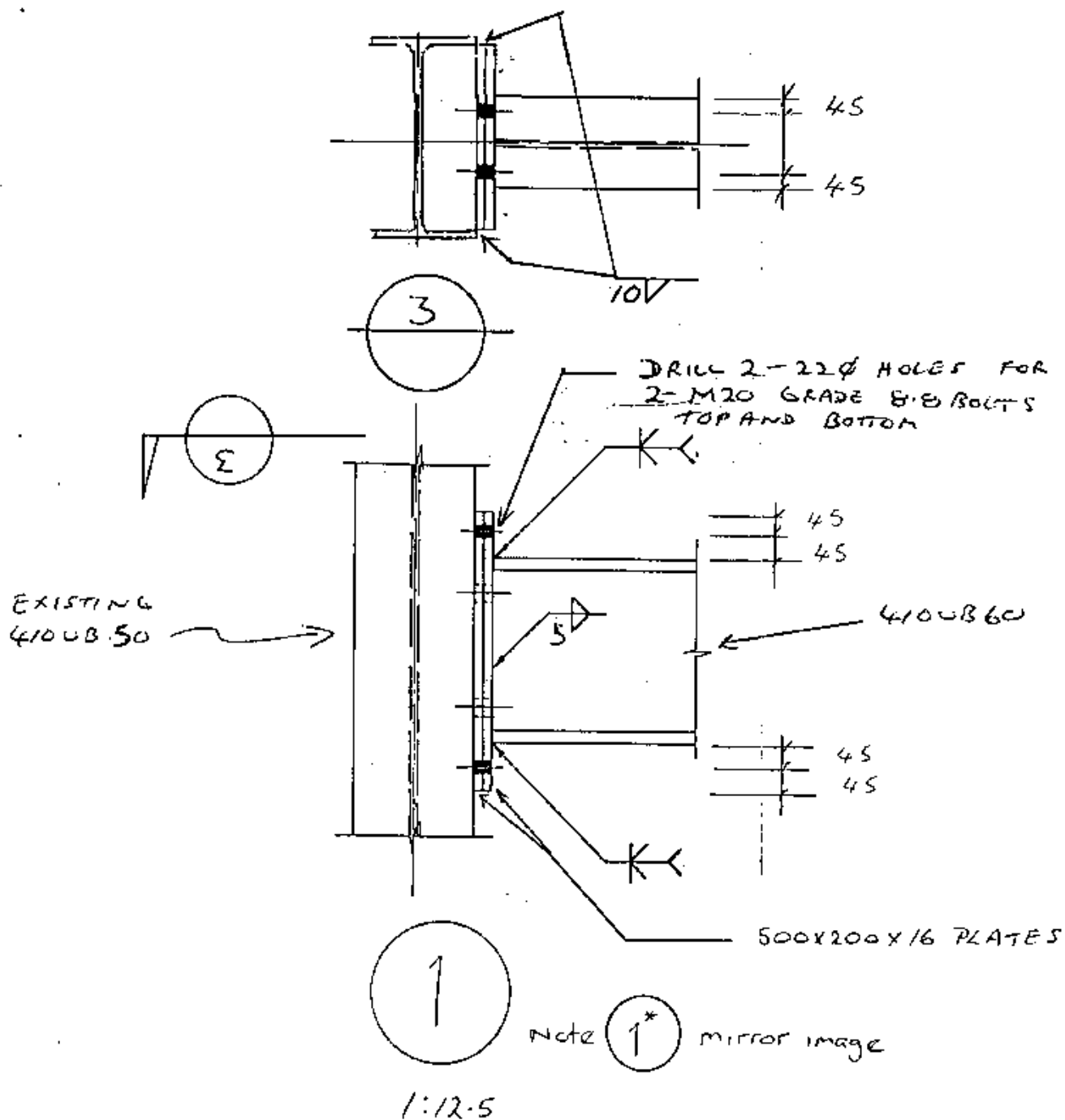
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OAKLEY CONSULTING ENGINEERS LTD.
DAVE OAKLEY B.E.(CIVIL)
Riverglade Drive
R.D. 3, Hamilton
Ph./Fax 07 856-8742

D/Ocker

Job No' 03-296

S2



OAKLEY CONSULTING ENGINEERS LTD.
DAVE OAKLEY B.E.(CIVIL)
Riverglade Drive
R.D. 3, Hamilton
Ph/Fax 07 856-8742

JOckey

**REGULATORY BUILDING CONTROL
PRODUCER STATEMENT - DESIGN**

Hamilton City Council

ISSUED BY.....Oakley Consulting Engineers Ltd.....

TO: ROGER + ROBYN GILES (Suitably qualified Design Professional)

IN RESPECT OF: S.M. WARE OPENING FOR ROLLER DOOR (PORTAL LEG REMOVED) (Owner)

AT: TE KAWHAU ROAD HAMILTON (Description of Building Work)

LOT 1.....DPS 8487.....SO..... (Address)

Oakley Consulting Engineers Ltd, has been engaged by (Design firm) (Owner/Developer/Contractor)

to provide, Structural Engineering services in respect of the requirements of Clause(s), B1.....of the Building Regulations 1992 for the building work.

The following specific design elements have been considered:

BEAM TO SUPPORT PORTAL LEG
ABOVE ROLLER DOOR: ADDITIONAL
LOAD TO ADJACENT PORTAL LEGS
AND FOUNDATIONS: STABILITY OF
ALTERED PORTAL

Drawing by OAKLEY CONSULTING
ENGINEERS LTD
Titled: ALTERATIONS TO COOL STORE
NO. 1 COOL ROOM B

The following specific design elements have not been considered:

All those elements not mentioned above.....

Drawing No. S1 - S4.....

Structure Class I II III
Verification level 2 2 3

(refer reverse of page for explanation of verification)

Verification to be carried out by (if known)

Design prepared in accordance with, NZS4230, 3603 + 3604..... (Codes of Practice used)

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS that subject to:

- (i) the site verification of the following design assumptions... ALLOWABLE SOIL BEARING
PRESSURE 100 kPa.....
- (ii) all proprietary products meeting the performance specification requirements, the drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.

[Signature]
(Signature suitably qualified Design Professional)

Date 9/9/2003.....

B.E.(Civil).....
(Professional Qualification)

Job Number 03-296.....

Member ACENZ ☐ IPENZ ☐

72A Riverglade Drive R.D.3, Hamilton: Phone/Fax 07 856 8742, Email: oakley@wave.co.nz
(Address)

This form to accompany Form 3 of the Building Regulations 1992 for the application of a Building Consent.

OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY B.E. (CIVIL)

72a Riverglade Drive, R.D. 3, Hamilton. Ph./Fax. 07 856-8742

9/09/2003

Job No. 03-296

Chief Building Inspector
HAMILTON CITY COUNCIL
Private Bag
Hamilton

Dear Sir

Re: ERNEST PARK 200 (EX-ENZA) BUILDING AT TE KOWHAI ROAD

I confirm that I have been engaged by the owner Mr. Roger Giles to inspect the structural engineering content in the proposed alterations to the EX-ENZA building.

This structural engineering content will include the material covered in the structural engineering calculations and drawings.

Yours sincerely,



D. J. Oakley B.E (Civil)



OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY B.E. (CIVIL)

72a Riverglade Drive, R.D. 3, Hamilton. Ph./Fax. 07 856-8742

9/09/2003

Job No. 03-296

THE BUILDING CONTRACTOR
c/- Mr. R Giles
442 Peacocks Road
R.D.2 HAMILTON

Dear Sir

Re: NEW ROLLER DOOR OPENING EX-ENZA BUILDING AT TE KOWHAI RD

The H.C.C. require that the engineer inspect all the structural engineering content that is covered in his calculations and associated drawings.

In order for a certificate of engineering inspection to be completed, I will need to inspect work progress at critical stages, these being :

- 1) Completed erection of the steel beam and support column to the 5 metre roller door opening and the fixing of the cut portal leg to the steel support beam

I will require 48 hours notice from you to inspect each of these stages before work is covered up. If notice is not given, the uninspected completed work may have to be removed.

Please forward a copy of this letter to your builder so that he can liaise with me.

Yours sincerely,



D. J. Oakley B.E (Civil)



ALTERATIONS TO
COOL STORE NO. 1 (COOL ROOM B)
ENZA SITE TE KOWHAI

JOB NAME: ROGER GILES

PAGE No:

SECTION:

1

JOB No: 03-296

DESIGNED:

DATE: 9/9/03

CHECKED:

CALCULATION SHEET

The following calculations and sketch drawings support the design for 2 roller door opening in the existing building. The 5.0 m wide door requires the removal of an existing portal leg.

The existing portals are @ 3.518 m c/c and span 29.107 m. There 410 UB 54 Portals have a 35mm ϕ tie rod @ the knee which are supported @ $\frac{1}{3}$ points @ the rollers by 12mm ϕ hangers to reduce sag.

I have inspected the existing plans that are held by Council and have copies for my reference the complete set.

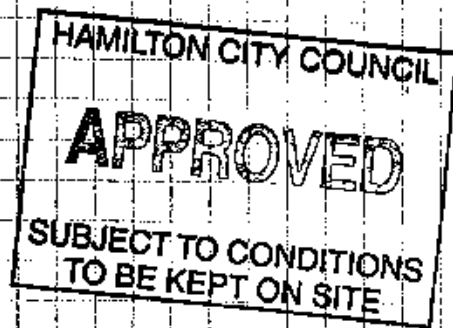
It is proposed that at the 5.0 m door opening the portal leg will be cut at 1950 mm below the knee. Computer analysis (enclosed) show that the maximum lateral thrust to be taken by the support beam which will span between the two adjacent portals is 17.4 kN (under 1.2 G + W_s) and the vertical load 55.2 kN (under 1.2 G + 1.6 Q).

The lateral thrust will be taken by the double diaphragm timber ceiling enclosing the cool store insulation to the braced end wall in cooler room D.

There is no lateral movement of the cut portal leg, the 35mm ϕ tie rod will prevent this.

The additional 25.1 kN vertical load on the adjacent portal legs can be taken by the 410 UB 54 and the wide foundation footing beam.

A check has also been carried out on the 35mm ϕ eaves tie rod and is shown to be well within its capacity.



ALTERATIONS TO
COOL STORE No. 1 (COOL ROOM B)
ENZA SITE TE KOWHAI

JOB NAME: ROGER GILES

PAGE No:

SECTION:

1

JOB No: 03-296

DESIGNED:

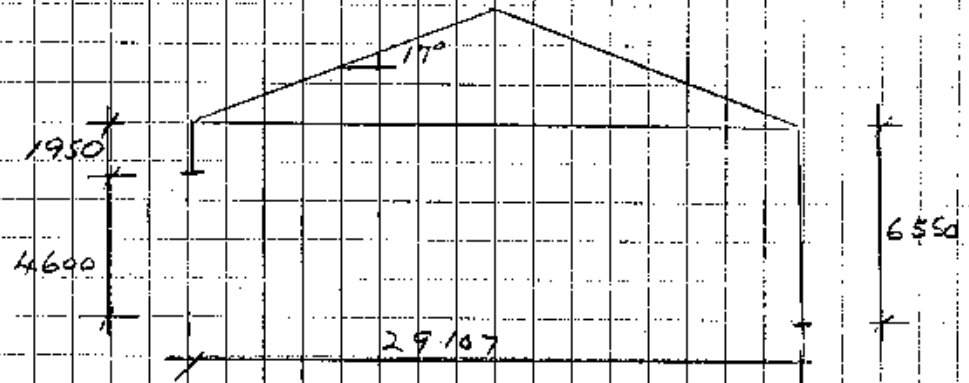
DATE: 9/9/03

CHECKED:

CALCULATION SHEET

Portal Centre: 3.518m

Portal 4100854



LOADINGS

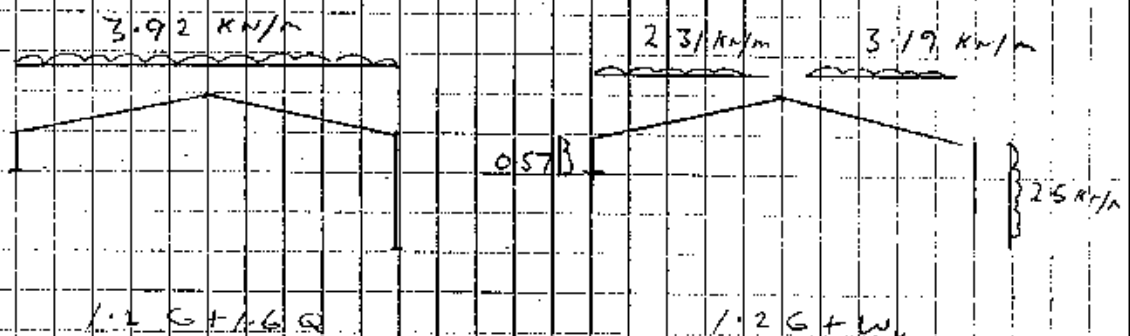
$$s_{18} A = \frac{54/100}{3.518} = 0.15 \text{ kN/m}$$

$$G_{\text{roof}} = 0.45 + 0.15 = 0.6 \text{ kN/m}$$

$$1.2 G + 1.6 Q = (1.2 \times 0.6 + 1.6 \times 0.25) 3.5 = 3.92 \text{ kN/m}$$

$$1.2 G + W_u = (1.2 \times 0.6 - 0.06) 3.5 = 2.31 \downarrow$$

$$(1.2 \times 0.6 + 0.19) 3.5 = 3.19$$



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ALTERATIONS TO
COOL STORE NO. 1 (COOL ROOM B)
ENZA SITE TE KOWHAI

CALCULATION SHEET

JOB NAME: ROGER GILES

SECTION:

JOB No: 03-296

DATE: 9/9/03

ENGINE No:

DESIGNED:

CHECKED:

SUBJECT TO CONDITIONS
TO BE KEPT ON SITE

APPROVED

HAMILTON CITY COUNCIL

TIE ROD

Member 5

$$T_{max} = 70 \text{ kN} \quad (1.2G + 1.6Q)$$

35mm ϕ Rod Grade 4.6 mild steel

$$\phi N_{tR} = 261 \text{ kN} > T_{max} \quad \text{O.K.}$$

STRIP FOOTING

$R_y = 58 \text{ kN} \quad (1.2G + 1.6Q)$ on each portal leg
increased load to adjacent portal

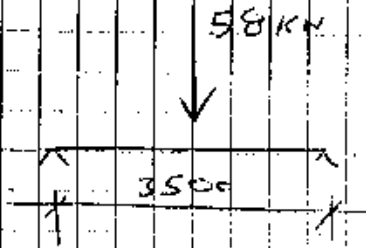
$$R_y^* = 58 + 58 / 2 = 87 \text{ kN}$$

Foot width = 1.2m portal width 3.5m

$$P_b = \frac{87}{3.5 \times 1.2} = 20.7 \text{ kPa} \quad \text{ultimate} < 100 \text{ kPa} \quad \text{O.K.}$$

SUPPORT BEAM TO PORTAL LEG

$$M^* = \frac{58 \times 7}{4} = 101.5 \text{ kNm}$$



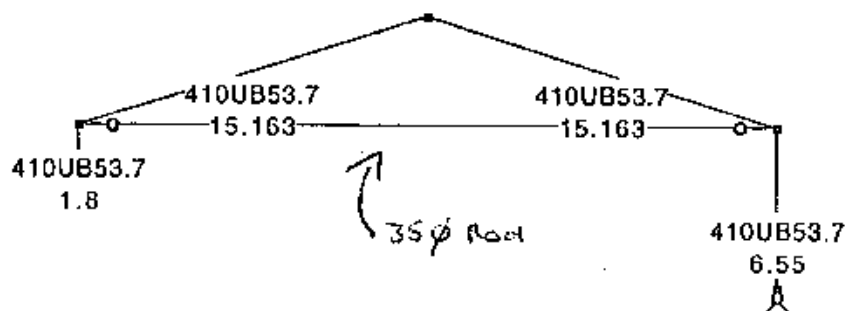
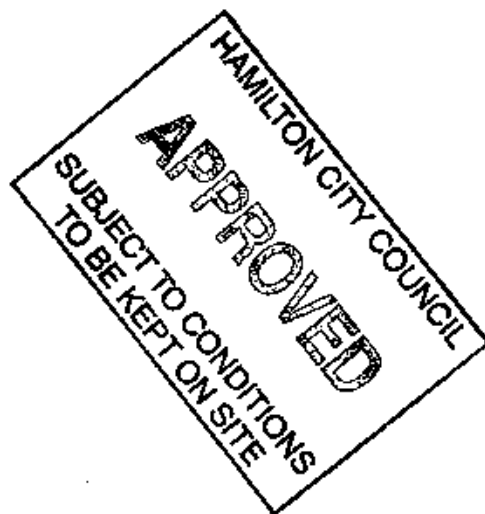
R_{y1} 410 UB 60 ~ deflection critical

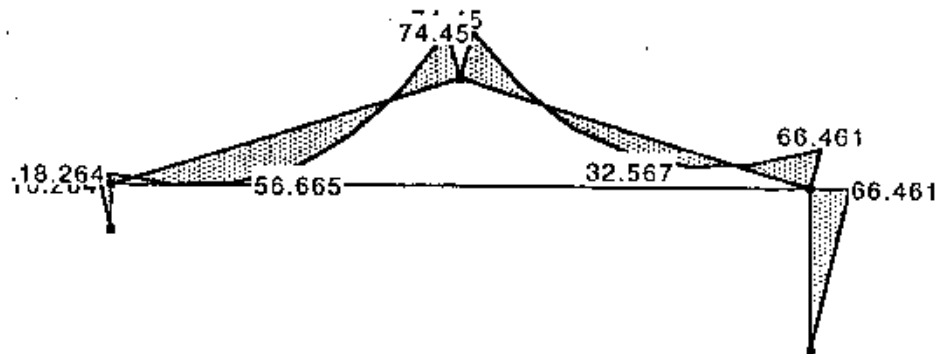
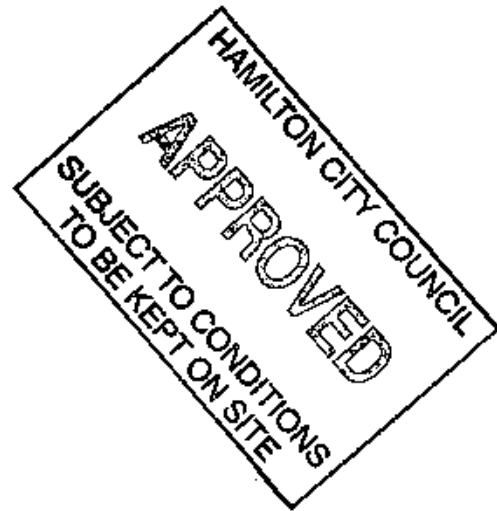
$$\phi M_p = 193 \text{ kNm} \quad L_e = 4 > M^* \quad \text{O.K.}$$

lateral restraint @ leg connection
if portal

$$\Delta = \frac{58 \times 10^3 \times 7000^3}{48 \times 200 \times 10^3 \times 216 \times 10^6} = 10 \text{ mm} \quad \text{O.K.}$$

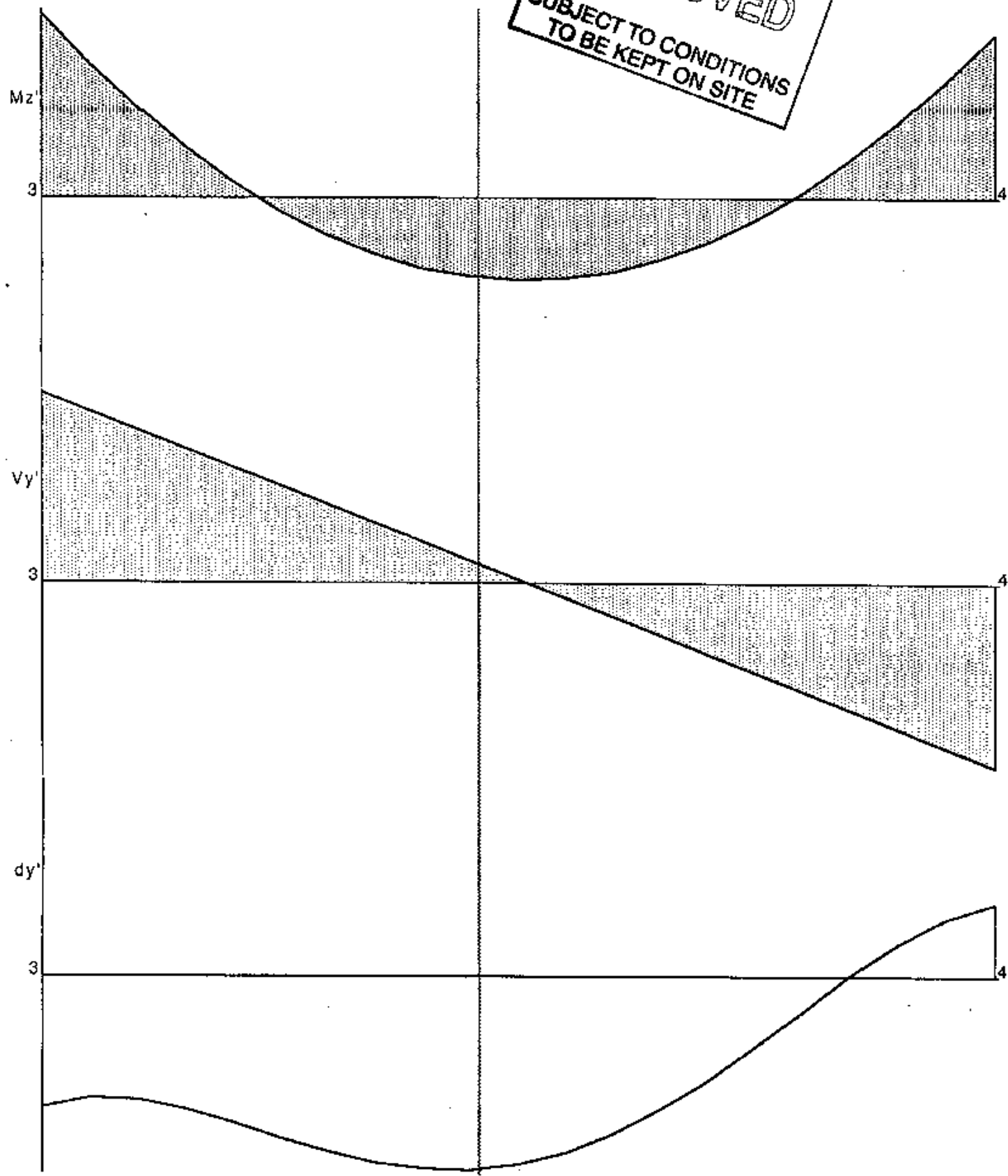
410 UB 60



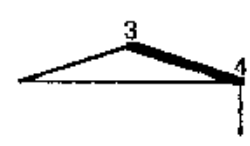


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Multiframe2D 5.2



M_z' -31.557 kN-m
 V_y' 2.742 kN
 dy' -14.352 mm
Dist 6.963 m



Static Case: '1.2G+1.6Q' Member No 3 410UB53.7



Multiframe2D 5.2

Joint Coordinates (m)

Joint	x	y	Type
1	0.000	4.750	Rigid
2	0.000	6.550	Rigid
3	14.500	10.983	Rigid
4	29.000	6.550	Rigid
5	29.000	0.000	Rigid

Member Geometry (m,deg)

Member	Joint 1	Joint 2	Length	Slope	Orient.
1	1	2	1.800	90.000	0.000
2	2	3	15.163	17.000	0.000
3	3	4	15.163	-17.000	0.000
4	5	4	6.550	90.000	0.000
5	2	4	29.000	0.000	0.000

Member Types

Member	Øz'	Self Weight
1	Rigid/Rigid	Yes
2	Rigid/Rigid	Yes
3	Rigid/Rigid	Yes
4	Rigid/Rigid	Yes
5	Pin/Pin	Yes

Member Sections

Member	Group	Section
1	UB	410UB53.7
2	UB	410UB53.7
3	UB	410UB53.7
4	UB	410UB53.7
5	SHS	89x89x6.3

Section Properties

Section	A mm ²	I _x 10 ⁸ mm ⁴	I _y 10 ⁶ mm ⁴	J 10 ⁸ mm ⁴	E MPa	G MPa
410UB53.7	6840.000	186.000	10.200	0.227	2.000e+5	7.700e+4
89x89x6.3	1950.000	2.120	2.120	3.670	2.000e+5	7.700e+4

Total Mass (kg) 2520.551

Joint Restraints and Prescribed Displacements (mm,radE-3)

Joint	dx	dy	Øz
1	0.000	0.000
5	0.000	0.000

There are no springs

There are no joint loads in 1.2G+1.6Q



Member Loads (kN,kN-m) 1.2G+1.6Q

Member	Load Type	Left Dist	Right Dist	Left Mag	Right Mag
2	Wy	0.000	0.000	-3.920	-3.920
3	Wy	0.000	0.000	-3.920	-3.920

There are no thermal loads in 1.2G+1.6Q

There are no joint loads in 1.2G+Wu

Member Loads (kN,kN-m) 1.2G+Wu

Member	Load Type	Left Dist	Right Dist	Left Mag	Right Mag
2	Wy	0.000	0.000	-2.310	-2.310
3	Wy	0.000	0.000	-3.190	-3.190
4	Wx	0.000	0.000	-2.500	-2.500
1	Wx	0.000	0.000	-0.570	-0.570

There are no thermal loads in 1.2G+Wu

Joint Displacements (mm,radE-3)

Joint	Load Case	dx	dy	θz
1	1.2G+1.6Q	0.000	0.000	-7.028
1	1.2G+Wu	0.000	0.000	-0.778
2	1.2G+1.6Q	12.915	-0.073	-7.470
2	1.2G+Wu	1.848	-0.047	-1.520
3	1.2G+1.6Q	16.300	-15.074	1.630
3	1.2G+Wu	3.734	-8.834	-0.790
4	1.2G+1.6Q	19.611	-0.280	0.807
4	1.2G+Wu	5.565	-0.210	1.505
5	1.2G+1.6Q	0.000	0.000	-4.944
5	1.2G+Wu	0.000	0.000	-1.634

Joint Reactions (kN,kN-m)

Joint	Load Case	Rx	Ry	Mz
1	1.2G+1.6Q	10.147	55.178	0.000
1	1.2G+Wu	17.385	35.887	-0.000
2	1.2G+1.6Q	0.000	-0.000	0.000
2	1.2G+Wu	0.000	-0.000	0.000
3	1.2G+1.6Q	-0.000	-0.000	0.000
3	1.2G+Wu	0.000	-0.000	0.000
4	1.2G+1.6Q	-0.000	0.000	0.000
4	1.2G+Wu	-0.000	0.000	0.000
5	1.2G+1.6Q	-10.147	58.502	-0.000
5	1.2G+Wu	0.016	43.863	-0.000

Sum of Reactions (kN,kN-m) 1.2G+1.6Q

Rx	0.000
Ry	113.680
Mz	1648.360

Sum of Reactions (kN,kN-m) 1.2G+Wu

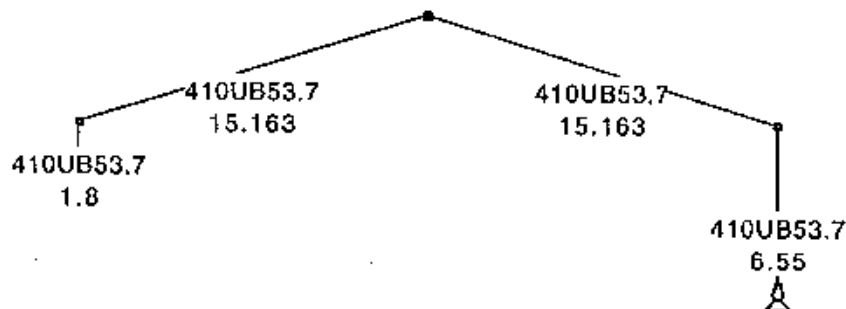
Rx	17.401
----	--------

Ry 79.750
Mz 1189.460

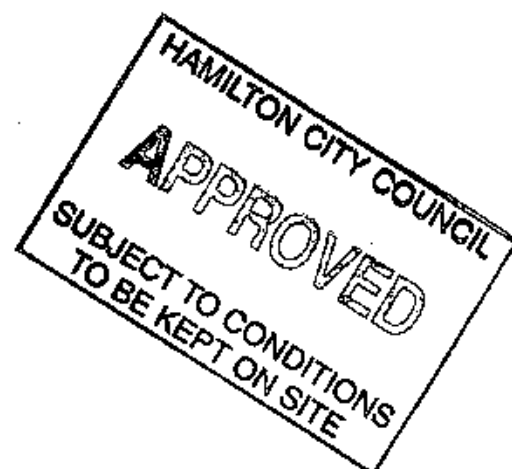
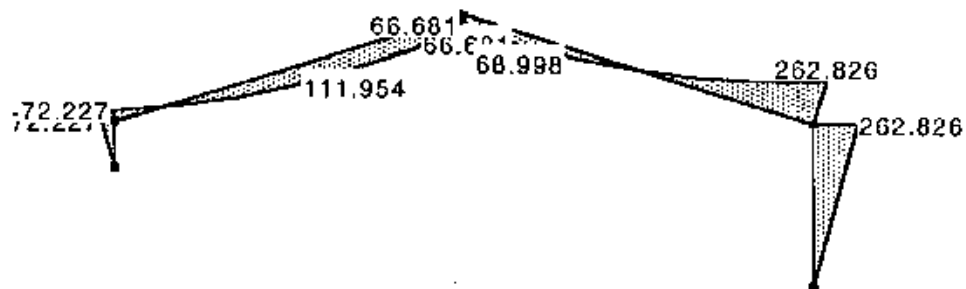
Member Actions (kN,kN-m)

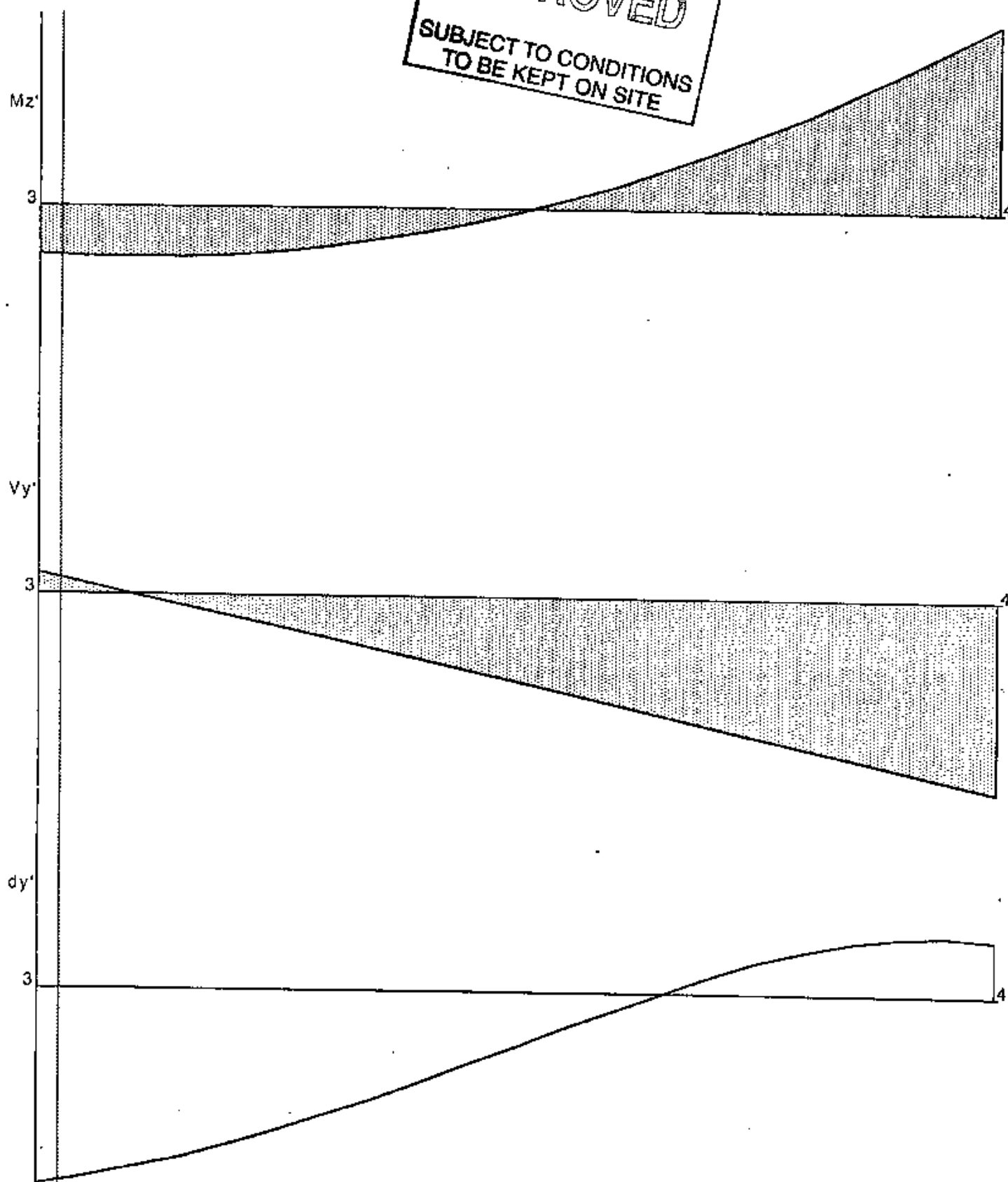
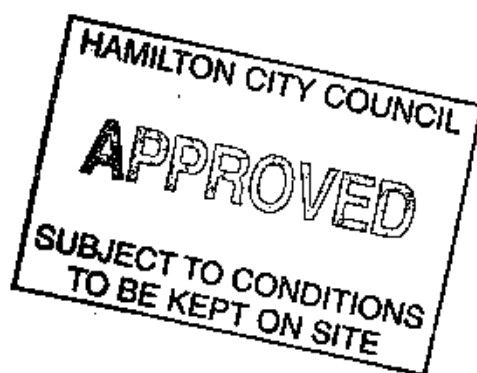
Member	Load Case	Px'	Vy'	Mz'
1	1.2G+1.6Q	55.178	-10.147	0.000
		-55.178	10.147	-18.264
1	1.2G+Wu	35.887	-17.385	-0.000
		-35.887	16.359	-30.370
2	1.2G+1.6Q	111.950	23.473	18.264
		-95.332	30.884	-74.450
2	1.2G+Wu	73.944	14.919	30.370
		-64.151	17.112	-46.994
3	1.2G+1.6Q	96.304	27.705	74.450
		-112.922	26.651	-66.461
3	1.2G+Wu	62.752	21.686	46.994
		-76.276	22.548	-53.526
4	1.2G+1.6Q	58.502	10.147	-0.000
		-58.502	-10.147	66.461
4	1.2G+Wu	43.863	-0.016	-0.000
		-43.863	-16.359	53.526
5	1.2G+1.6Q	-90.049	0.000	0.000
		90.049	0.000	0.000
5	1.2G+Wu	-49.991	0.000	0.000
		49.991	0.000	0.000



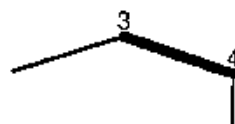


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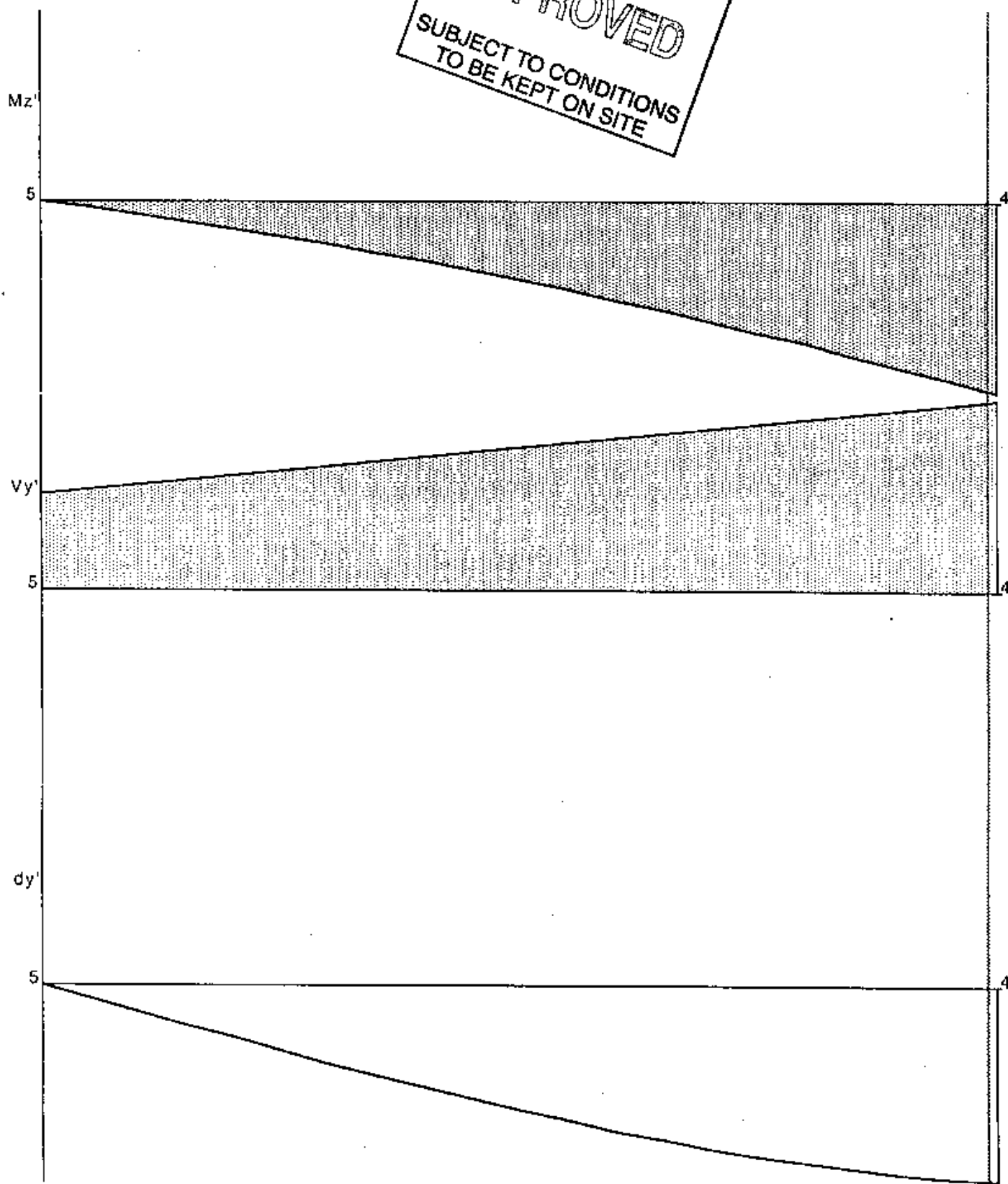




Mz' -68.295 kN-m
 Vy' 4.254 kN
 dy' -134.851 mm
 Dist 0.333 m

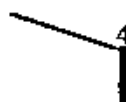


Static Case: '1.2G+1.6Q' Member No 3 410UB53.7



M_z' -160.849 kN-m
 V_y' 32.874 kN
 dy' -70.710 mm
Dist 6.499 m

Static Case: '1.2G+Wu' Member No 4 410UB53.7





Joint Coordinates (m)

Joint	x	y	Type
1	0.000	4.750	Rigid
2	0.000	6.550	Rigid
3	14.500	10.983	Rigid
4	29.000	6.550	Rigid
5	29.000	0.000	Rigid

Member Geometry (m,deg)

Member	Joint 1	Joint 2	Length	Slope	Orient.
1	1	2	1.800	90.000	0.000
2	2	3	15.163	17.000	0.000
3	3	4	15.163	-17.000	0.000
4	5	4	6.550	90.000	0.000

Member Types

Member	Øz'	Self Weight
1	Rigid/Rigid	Yes
2	Rigid/Rigid	Yes
3	Rigid/Rigid	Yes
4	Rigid/Rigid	Yes

Member Sections

Member	Group	Section
1	UB	410UB53.7
2	UB	410UB53.7
3	UB	410UB53.7
4	UB	410UB53.7

Section Properties

Section	A mm ²	I _x 10 ⁶ mm ⁴	I _y 10 ⁶ mm ⁴	J 10 ⁶ mm ⁴	E MPa	G MPa
410UB53.7	6840.000	186.000	10.200	0.227	2.000e+5	7.700e+4
Total Mass (kg)	2076.851					

Joint Restraints and Prescribed Displacements (mm,radE-3)

Joint	dx	dy	Øz
5	0.000	0.000
1	0.000	0.000

There are no springs

There are no joint loads in 1.2G+1.6Q

Member Loads (kN,kN-m) 1.2G+1.6Q

Member	Load Type	Left Dist	Right Dist	Left Mag	Right Mag
2	Wy	0.000	0.000	-3.920	-3.920



3	Wy	0.000	0.000	-3.920	-3.920
---	----	-------	-------	--------	--------

There are no thermal loads in 1.2G+1.6Q

There are no joint loads in 1.2G+Wu

Member Loads (kN,kN-m) 1.2G+Wu

Member	Load Type	Left Dist	Right Dist	Left Mag	Right Mag
2	Wy	0.000	0.000	-2.310	-2.310
3	Wy	0.000	0.000	-3.190	-3.190
4	Wx	0.000	0.000	-2.500	-2.500
1	Wx	0.000	0.000	-0.570	-0.570

There are no thermal loads in 1.2G+Wu

Joint Displacements (mm,radE-3)

Joint	Load Case	dx	dy	dz
1	1.2G+1.6Q	0.000	0.000	-18.65
1	1.2G+Wu	0.000	0.000	-7.23
2	1.2G+1.6Q	34.621	-0.066	-20.39
2	1.2G+Wu	13.898	-0.044	-8.69
3	1.2G+1.6Q	85.947	-169.643	6.46
3	1.2G+Wu	42.399	-94.644	1.89
4	1.2G+1.6Q	137.156	-0.304	-5.51
4	1.2G+Wu	70.821	-0.223	-2.06
5	1.2G+1.6Q	0.000	0.000	-28.65
5	1.2G+Wu	0.000	0.000	-14.79

Joint Reactions (kN,kN-m)

Joint	Load Case	Rx	Ry	Mz
1	1.2G+1.6Q	40.126	50.260	-0.000
1	1.2G+Wu	34.029	33.160	-0.000
2	1.2G+1.6Q	-0.000	0.000	0.000
2	1.2G+Wu	-0.000	0.000	-0.000
3	1.2G+1.6Q	-0.000	-0.000	0.000
3	1.2G+Wu	0.000	0.000	-0.000
4	1.2G+1.6Q	0.000	0.000	0.000
4	1.2G+Wu	-0.000	-0.000	-0.000
5	1.2G+1.6Q	-40.126	63.412	-0.000
5	1.2G+Wu	-16.628	46.590	-0.000

Sum of Reactions (kN,kN-m) 1.2G+1.6Q

Rx	-0.000
Ry	113.680
Mz	1648.360

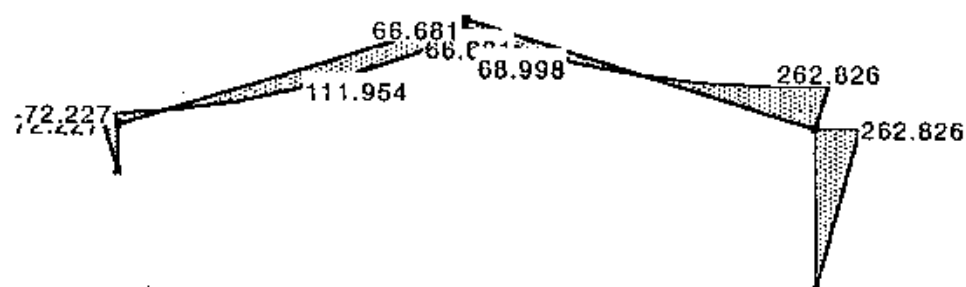
Sum of Reactions (kN,kN-m) 1.2G+Wu

Rx	17.401
Ry	79.750
Mz	1189.460

Member Actions (kN,kN-m)

Member	Load Case	Px'	Vy'	Mz'
1	1.2G+1.6Q	50.268	-40.126	-0.000
		-50.268	40.126	-72.227
1	1.2G+Wu	33.160	-34.029	-0.000
		-33.160	33.003	-60.328
2	1.2G+1.6Q	53.070	36.339	72.227
		-36.451	18.017	66.681
2	1.2G+Wu	41.256	22.062	60.328
		-31.463	9.969	31.356
3	1.2G+1.6Q	40.294	5.447	-66.681
		-56.913	48.910	-262.826
3	1.2G+Wu	31.658	9.329	-31.356
		-45.182	34.905	-162.539
4	1.2G+1.6Q	63.412	40.126	-0.000
		-63.412	-40.126	262.826
4	1.2G+Wu	46.590	16.628	-0.000
		-46.590	-33.003	162.539





STRUCTURAL STEELWORK

HAMILTON CITY COUNCIL

APPROVEDSUBJECT TO CONDITIONS
TO BE KEPT ON SITE**1.0 GENERAL****1.1 EXTENT OF WORK**

This part of the Contract shall include the supply, handling, fabrication, and erection of all steelwork beams, columns, frames, bracing, fixings, etc. and the application of the specified protective coatings. The Contractor shall fabricate and supply structural steelwork brackets, bolts etc., which are to be cast in to concrete or masonry. He shall supply all materials, labour, equipment, etc. necessary for the satisfactory completion of the work.

1.2 COOPERATION

The Contractor shall cooperate with other trades on site to ensure the proper positioning of all fixing cleats, studs, bolt holes, etc.

1.3 INSPECTIONS

The Engineer or his representative shall be allowed access to inspect the work at any stage of completion during working hours.

1.4 SPLICES

Splicing of short lengths of steel to make long members shall not be permitted. The position and details of splices to facilitate transportation and erection are to be approved by the Engineer.

1.5 DOCUMENTS

The following standards relate to this section of the work. Work and materials shall generally be in accordance with the listed standards unless there is conflict with this specification in which case this specification shall take precedence.

NZS 3404	Steel Structures Standard
NZS 4711	Qualification Tests for Metal-Arc Welders
AS 1554	SAA Structural Steel Welding Standard
AS 3678	Structural Steel - Hot Rolled Plates, Floor Plates and Slabs
AS 3679	Structural Steel
AS 1111	ISO Metric Hexagon Commercial Bolts and Screws
AS 1112	ISO Metric Hexagon Nuts
AS 1163	Structural Steel Hollow Sections
BS 1387	Steel Tubes and Tubulars Suitable for Screwing to BS 21 Pipe Threads

2.0 MATERIALS**2.1 GENERAL**

All steelwork shall be free of kinks, mill scale, heavy rusting, and surface pitting.

2.2 SUBSTITUTION

The Contractor shall not substitute for any specified member size another member size, either bigger or smaller, nor shall he substitute with a grade of material other than that specified below, without the approval of the Engineer.

2.3 STEEL

Steel beams, columns, and angles shall be mild steel complying with AS 3679.1 grade 300, or BHP-300PLUS.

Steel rounds, squares, and flats shall be mild steel complying with AS 3679.1 grade 300, or BHP-300PLUS.

Structural steel plate shall be mild steel complying with AS 3678 grade 250.

RHS shall comply with AS 1163. Grade C350 shall be used unless noted on the drawings otherwise.

Tubes shall comply with BS 1387 unless shown on the drawings otherwise.

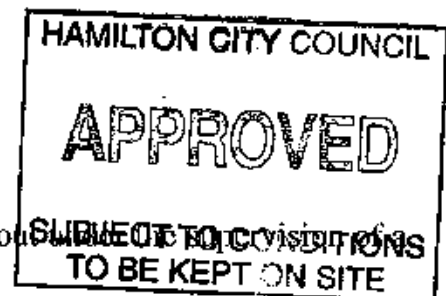
2.4 BOLTS

Bolts and nuts shall be grade 4.6 (commercial grade) complying with AS 1111 and AS 1112. All bolts shall be hot dipped galvanised.

3.0 WORKMANSHIP

3.1 GENERAL

All work in this section of the Contract shall be carried out by a competent tradesman experienced in this form of construction.



3.2 HANDLING

Steelwork shall be carefully handled, stored, and transported, so that no undue strain or loading is applied, and so that the surface protection is not damaged.

3.3 WELDING

All preparation, workmanship, welding materials and welding consumables shall be in accordance with AS 1554.1, AS 1554.2, or AS 1554.5 as appropriate.

Welding of purlin and girt cleats may be GP (general purpose) welds. All other welds shall be SP (structural purpose) welds.

Completed welds shall be neat in appearance and cleaned of all weld slag. Weld spatter shall be removed.

Welding shall be carried out by certified welders, qualified under NZS 4711:1984 "Qualification Tests for Metal-Arc Welders", for the type and position of welding being carried out.

3.4 FABRICATION AND ERECTION

Fabrication and erection shall be in accordance with NZS 3404:Part 1:1997, Sections 14 and 15 respectively.

Check the positions of hold down bolts before erection and report any discrepancies to the Engineer. Straining of parts to accommodate poorly positioned hold down bolts shall not be permitted.

Provide temporary bracing and propping as necessary to support frames etc. during erection.

4.0 PAINTING

4.1 GENERAL

Paint shall be applied in appropriate weather conditions as recommended by the paint manufacturer. In particular conditions such as high humidity or low temperatures shall be avoided.

Painting shall generally be completed in the fabrication shop as far as possible. Do not paint within 75 mm of site welds. After site welding, unpainted steel shall be treated as in clause 4.3 below.

Steelwork to be encased in concrete or masonry shall be cleaned of all grease and dirt but left unpainted.

The Contractor may submit to the Engineer for approval alternative paint systems to those shown below.

4.2 INTERIOR STEELWORK OR HIDDEN STEELWORK

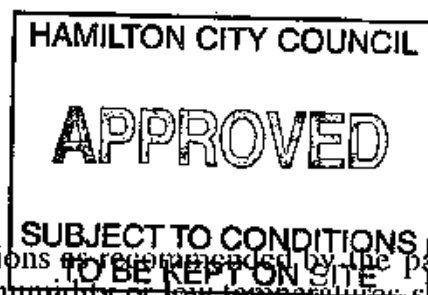
All interior steelwork or steelwork hidden from view and protected from the weather shall be given two coats of Altex Rust Barrier Metallic Lead so that the final dry film thickness of the combined coats is at least 75 microns.

Before painting, surfaces shall be carefully cleaned of all dust, grease, dirt, rust and scale, to a standard suitable for the paint system above, as specified by the paint manufacturer.

Paint shall be thinned to suit the method of application, as recommended by the paint manufacturer.

4.3 DAMAGE REPAIR

Damage to the paint coating sustained during transportation or erection shall be repaired on completion of erection. Damaged areas shall be wire brushed back to sound paint and the paint film reinstated using two coats giving a dry film thickness as specified above.



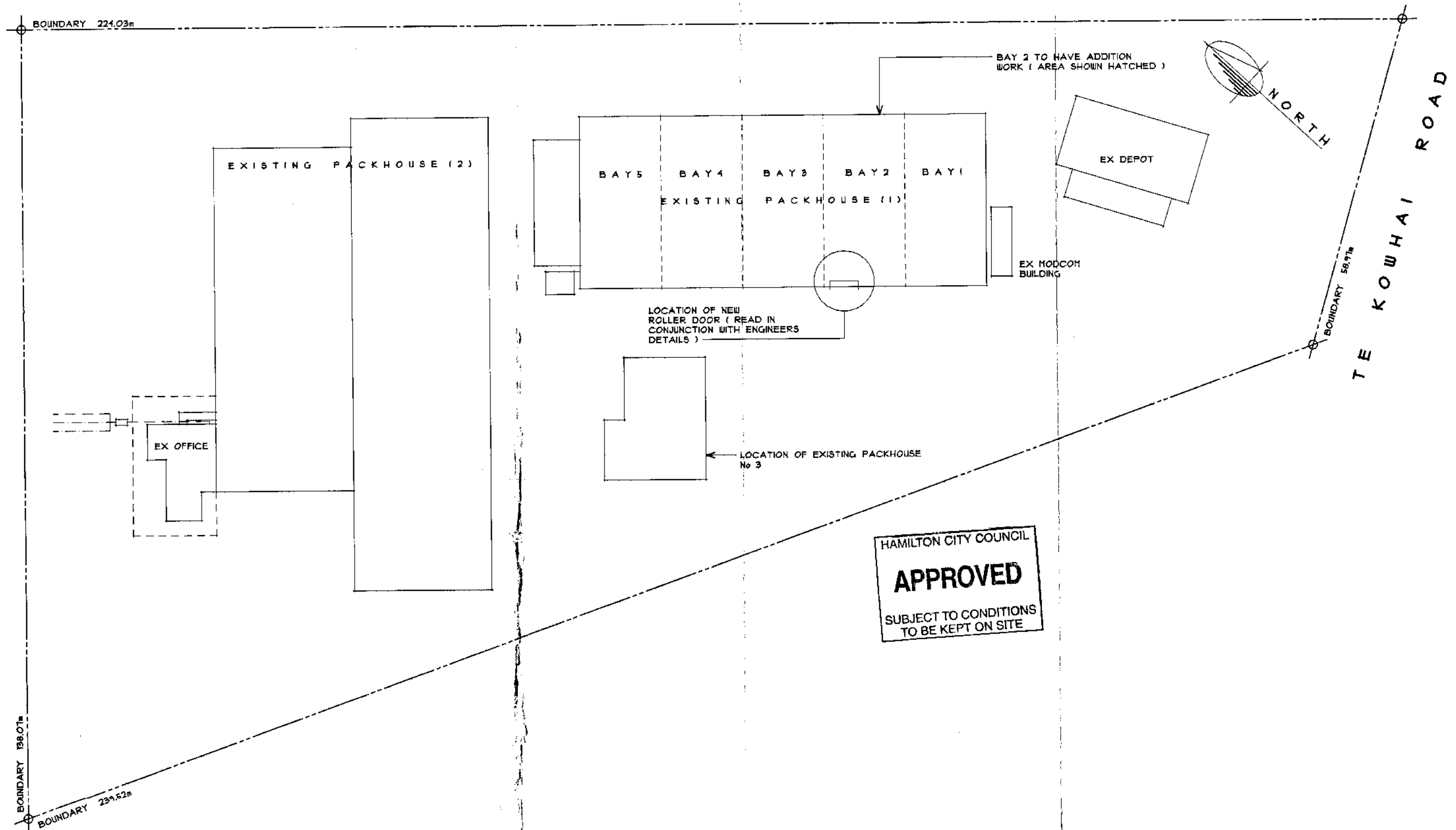
5.0 GALVANISING

All steelwork which is specifically noted, on the drawings, and all nuts and bolts, shall be hot dipped galvanised.

Plates or reinforcing bars which are to be galvanised and also bent to shape, shall be galvanised first and bent to shape afterwards.

END OF SECTION





SITE LOCATION PLAN

SCALE 1:500

NOTES

1. ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCING CONTRACT

LEGAL DESCRIPTION

LOT
DP5
AREA
8487
2.2316ha

NOEL JESSOP ARCHITECTURE LTD
RESIDENTIAL - COMMERCIAL - INDUSTRIAL - INTERIOR FITOUTS

NOEL JESSOP ARCHITECTURE
p.o box 21-060 hamilton
p 07 854-6836
f 07 854-6836
n.d.s. inc

Amendment	Date	Description

job: **ROLLER DOOR ADDITION TO EX ENZA SITE BUILDING**
sheet: **SITE PLAN**

date: **SEP 03**
scale: **1:500**
design: **NOEL J**
drawn: **NOEL J**

Contractor to check and verify all levels and dimensions on site prior to commencing work. Do not scale off drawings. All drawings and documentation remain the property of NOEL JESSOP ARCHITECTURE LTD. No duplication is permitted without prior written consent. Drawings to be read in conjunction with specification.

job no: **ONE OF ONE**
sheet no: **ONE OF ONE**

SOILS REPORT

for

**Existing sand pad
40 Te Kowhai Road
Hamilton**

Report prepared for:

 **Double R Properties**

Report prepared by:

 **Jones Gray Partners Ltd**

Jones Gray Partners Ltd
CONSULTING ENGINEERS

54 Church Road
Hamilton
Phone 8395 225
Fax 8395 249

LIMITED SITE SOILS INVESTIGATION, EXISTING SAND PAD - 40 TE KOWHAI ROAD, HAMILTON

At the request of Mr Keith Parlane, we have undertaken a limited soils investigation at the above site to determine whether the soils are adequate to provide a safe bearing pressure of 100kPa, for the proposed industrial building with a concrete floor and light weight steel frame, as shown on the drawing prepared by Harris Foster Consulting, titled "Sheds R Us Taupo, Double R Properties, Earnest Park, Hamilton - Foundation Plan and Details Sheet S103, Issue A".

INVESTIGATION WORK

We have carried out a visual surface inspection of the site and undertaken two hand auger boreholes to a depth of 1.9 together with associated Scala penetrometer soil tests.

RESULTS

The boreholes showed that the existing layer of compacted pit sand to a depth of approx 600mm has been compacted, but that compaction is not to a high standard at the southern end of the platform, where Scala penetrometer tests gave readings of 3 blows per 100mm. A copy of the borelogs and site plan is attached.

Underneath the sand, there is firm damp silty clays.

RECOMMENDATIONS

We recommend that the southern end of the excavated sand pad be re-compacted before construction and then re-tested to give a minimum reading of 4 blows per 100mm using a Scala penetrometer.

When such a test has been achieved, the pad will be adequate for a safe allowable bearing pressure of 100kPa. (100 kPa is the standard design pressure for foundations, according to NZS3604:1999, New Zealand Standard for Timber Framed Buildings.

LIMITATIONS

The recommendations and opinions in this report are based on the results of the boreholes and testing carried out at a limited number of test locations. Inferences about the nature and continuity of subsoil away from these locations cannot be guaranteed.

Our testing and this report have been prepared specifically for our client for this particular project, as briefed and no responsibility is accepted for the use of any part of this report by others or for any other purpose.

Report prepared by:

.....
Bruce McDowall

Report reviewed by:

.....
Robert A.M. Gray

Date:

6 November 2007

LEE RD 75 LOT 1 D P 28015 B P B057717
1/2

2 plans

WAIPA COUNTY

4182/348

Application for Building Permit (SEE BACK HEREOF)

TO THE WAIPA COUNTY COUNCIL,

I hereby apply for permission to

ERECT

(Erect, etc.)

at

ROTOKAURI

LEE RD

(House No. and Road)

for

MR. JOSHUA LEE

(Owner)

of

ROTOKAURI

R.D. 9 FRANKTON

(Address)

according to locality plan and detailed plans, elevations, cross-sections, and specifications of building deposited herewith,

Nature of Building (s)

DWELLING

(General description, type, etc.)

Particulars of Building (s) — Foundations

CONCRETE BLOCK

Walls

COVERLINE

Roof

C. IRON

Area of Ground Floor 928 sq. ft. Area other Floor (s) sq. ft. Area Outldgs. sq. ft.

Particulars of Land — Lot No.

1

ALL OT 215

PUKETE PARISH ALL D.P. 28015

Estimated Cost

Number on Valuation Roll

Building

\$2746

Plumbing and Drainage

\$ 300

OWNER TO DO DRAINAGE

Total

\$ 2746.

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose):

Dwelling

(Dwelling, Apartments, Private Garage, Joinery, Factory, Offices, etc.)

Estimated Time of Completion

TWO MONTHS

Dated, 19

Signature of Owner JOSHUA LEE

Signature of Builder HAY HOMES LIMITED

(State name of Licensed Plumber, if known):

Address

R.D. No. 8 FRANKTON

7'-6" x 2'-6" x 3'-2" = 371 gal.

THIS SPACE RESERVED FOR THE USE OF THE INSPECTOR OF BUILDINGS

Received

24-3-66

Date of Permit

15-6-66

Receipt No.

61 726

Building Fees

6 10-0

Drainage and Plumbing Fees

3-0-0

Permit No.

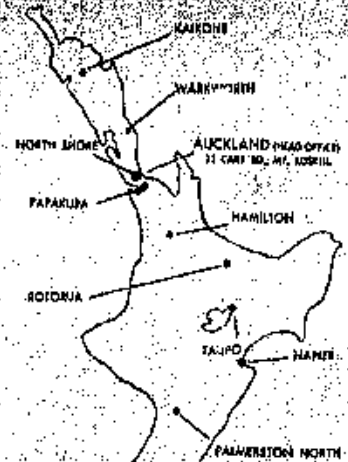
3057717

REMARKS

- (1) W.C. compartment to have a floor of 12 sq. ft measured between interior linings of said compartment.
- (2) Chimney on approved, means of heating to be provided in living room.
- (3) No work to be commenced on Septic tank or drain until full details of same have been discussed with and approved by a County Health Inspector on site & details approved.

Keith Hay Homes Ltd

GREAT SOUTH ROAD, HOROTIU
P.O. BOX 161X TELEPHONE 82-107
R.D. No. 8 FRANKTON



14th June 1966

The Building Inspector,
Waipa County Council
TE AWAHITU

Dear sir,

Enclosed please find cheque for £16.10/- replacing cheque sent you for an incorrect amount, and we apologise for any inconvenience.

We have a transport permit to deliver Mr. Lee's house to Rotokauri on Tuesday 21st June.

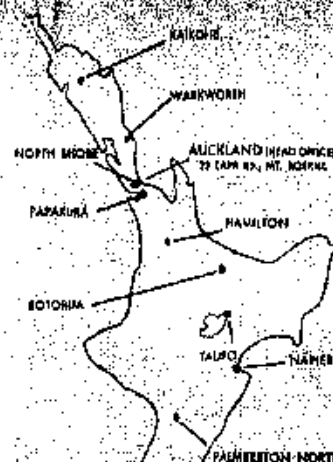
Yours faithfully,

KEITH HAY HOMES LIMITED.

A. STEEL - Manager for Waikato

Keith Hay Homes Ltd

GREAT SOUTH ROAD, HOROTIU
P.O. BOX 18 TELEPHONE 82-107
R.D. 8 Frankton



13th June 1966

The Building Inspector,
Waipa County Council
TE AWAHUTU

Dear sir,

We have to thank you for your notifications re Mr. Bentley's house and Mrs. Harrison's house, and we enclose herewith cheques to cover these building permits. We have noted your conditions regarding these houses.

Yours faithfully,

KEITH HAY HOMES LIMITED.


Manager for Waikato

11th May, 1966.

The Manager,
Keith Hay Homes Ltd.,
R.D. 8,
FRANKTON.

Dear Sir,

I thank you for your letter (undated) which was received at this office on the 9th May, 1966 and which referred to an application for building permit made to this office on the 21st March, 1966 for a dwelling for Mr. Joshua Lee.

This application for a permit received at this office on the 24th March, 1966 was the subject of a letter to you on that date to which you replied on the 25th March, 1966 advising that a copy of said letter had been sent to Mr. Lee.

On the 10th May, 1966 the writer was contacted by Mr. O'Connell a registered drainlayer who I understand has been commissioned to do the drainage work. The site was visited with him on that day and when the nature of the subsoil has been determined by him, details of the soakage system will be submitted for approval, when this is to hand with a formal application for permit to do the drainage work the application for a building permit will be further considered.

Further to the above, it was noticed on the 10th May, that the private garage for B.K. & D.M. Murray had been erected without permit, and it is noticed that the rafters are not spaced at 24" centre to centre as specified in your letter dated 9th May, 1966.

It is required that the centres of rafters supporting 3" x 2" purlins on their flat not exceed 3'0" centres. Would you accordingly please alter the roof to comply with the by-law requirements.

2.

With regard to the breach of the Bylaw and the erection of a building without permit, I have to advise that should this occur again, the matter will be placed before the Council with a recommendation that summary action be taken.

Yours faithfully,

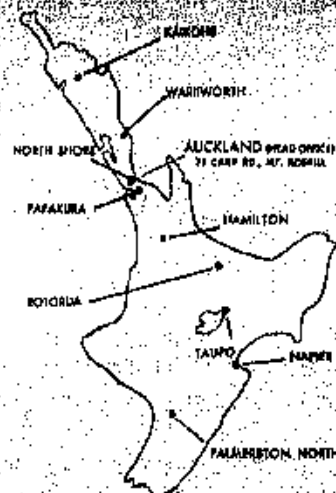


F.J. AMES.

COUNTY HEALTH & BUILDING INSPECTOR.

Keith Hay Homes Ltd

GREAT SOUTH ROAD, HOROTIU
P.O. BOX 14 TELEPHONE 82 107
R.D. No. 8 FRANKTON



Mr. Amess,
Building Inspector,
Waipa C.C.
TE ANAMUTU

Dear sir,

We are in receipt of your two letters regarding Mr. Bentley's house and as soon as we hear from him we will be advising you accordingly.

We find that we have heard nothing from you regarding our application for Mr. Joshua Lees house, made on the 21st March. We would be pleased to know something further in this matter. Mr. Lee lives in the Rotokauri Area.

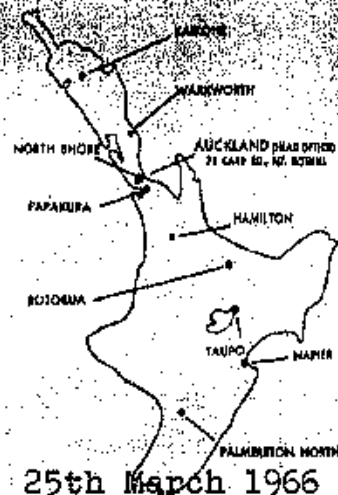
Yours faithfully,

KEITH HAY HOMES LIMITED.


A. STEEL Manager for Waikato

Keith Hay Homes Ltd

GREAT SOUTH ROAD, HOROTIU
P.O. BOX 188 TELEPHONE 82-107
R.D. No. 8 FRANKTON



Mr. Amess,
Building Inspector,
Waipa County Council
TE AWAMUTU

Dear sir,

We are in receipt of your letter concerning Mr. Lee's proposed house, at Rotokauri, and we have sent a copy of this letter to him.

We would point out however that Mr. Lee has only asked us to nog for a future chimney, and as far as we know he is not putting one in this house until a much later date if not at all.

Yours faithfully,

KEITH HAY HOMES LIMITED.


A. STEEL - Manager for Waikato

WAIAPA COUNTY COUNCIL.

P.O. Box 12,

TE AWAMUTU.

10th June, 1966.

Owner/Builder,

Mr. Keith Hay Homes Limited,.....

R.D. 3,

FRANKTON.

Dear Sir,

Re..... Dwelling...../..... Rotokauri..... Road.

Owner..... Joshua Lee.....

Your application for a Building Permit for the above has been considered and on receipt of fees as required by the By-laws, the permit may be uplifted subject to the conditions noted below.

The Permit must be obtained before any work is commenced and the fees and charges payable are £9/10/-..... This amount is made up as follows:-

£. 6/10/- Building Fee.

£. 3/- Plumbing & Drainage Fee.

Yours faithfully,



F.J. AMESS.

BUILDING INSPECTOR.

1. W.C. compartment to have a floor area of a minimum of 12 square feet measured between interior linings of said compartment.
2. An approved means of heating to be provided in living room;
3. No work to be commenced on septic tank or drains until full details of same have been discussed with drainlayer, owner and County Health Inspector on site and details approved.

24th March, 1966.

The Manager,
Keith Hay Homes Ltd.,
R.D. 8,
FRANKTON.

Dear Sir,

I wish to acknowledge receipt of an application for building permit for a dwelling for Mr. J. Lee, Rotokauri and have to advise that unless the Owner of the proposed building is a registered drainlayer it will not be permitted that he do the drainage work as specified by you.

If the owner intends to enter into a separate contract however with a registered drainlayer it will be necessary that details of the drainage and disposal of sewage be given and approved before a permit to construct a house which contains a water-albust etc. can be approved.

I regret that I must withhold the building permit in accordance with Section 208 of the Waipa County Building Bylaw 1959 until the required information is provided and approved.

Further to the above it is noticed that you intend to trim an opening in the end wall of the living room for a chimney which presumably is to be erected by the owner.

Would you please advise which type of chimney is intended to erect and sizes of jambs etc. to same.

Yours faithfully,

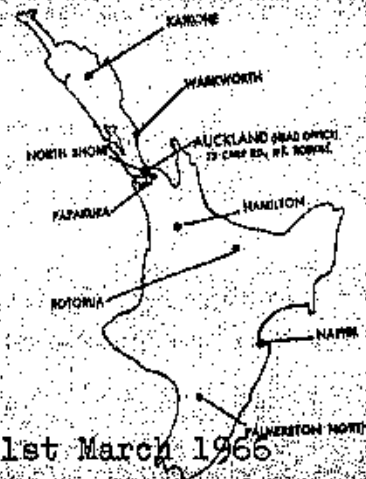


F.J. AMES.

COUNTY HEALTH & BUILDING INSPECTOR

Keith Hay Homes Ltd

GREAT SOUTH ROAD, HOROTIU
XXXXXX TELEPHONE 82-107
R.D. No. 8 FRANKTON



21st March 1966

Mr. Amess,
Building Inspector,
TE AWAMUTU


Dear sir,

Enclosed please find application for Building Permit for Mr. J. Lee's proposed new house to his property, with plan, site plan and specifications which we trust you will find in order.

We hope to be laying the foundations in a few days time and will be pleased to have you call and inspect same at your convenience.

Yours faithfully,

KEITH HAY HOMES LIMITED.


A. STEEL - Manager for Waikato

*Thank you for prompt attention to
points which obliged*

THE NATIONAL BANK OF NEW ZEALAND LTD.

SPECIFICATION of work done and materials used in the construction of "Ready-built" homes, designed and built to conform with N.Z. Building Code Standards and Local Body By-laws, by KEITH HAY HOMES LTD. Building Contractors of:

HEAD OFFICE: 73 CARR ROAD, MT. ROSKILL, AUCKLAND.

BRANCHES: AT: KAIKOHE - WARKWORTH - NORTH SHORE
DRURY - HOROTIU - ROTORUA
TAUPO - NAPIER - PALMERSTON NORTH

GENERAL: "Ready-built" Homes are stoutly constructed by thoroughly competent tradesmen, and under the constant supervision of the principals, and to the true intent and meaning of these plans and Specifications.

"Ready-built" Homes are completed in every detail at the Assembly Yards of the Contractors, and are delivered to the Purchaser, level and plumb, on Concrete Blocks with all necessary jack-studding and bracing to height not exceeding 2'3" from ground to underside of joists at any point.

All measurements on plan, materials and fittings used and quoted in the following Specification are Standard and any deviation from measurements, fittings, finishings, etc., as scheduled in these Specifications must be by arrangement with the Builders and to the approval of the Local Body concerned.

SITE: Cleaning and preparation of the site on which the "Ready-built" homes is to be placed, is the responsibility of the Purchaser unless arrangements to the contrary are made. The site must be clearly marked with pegs indicating the position that the Building is to be placed. Boundary pegs must also be clearly marked.

INSURANCES: It is clearly understood that the Builder is fully responsible for any damage to the house during delivery and until the house is fastened to the concrete blocks. It is the Purchasers liability to arrange Insurance on the building as soon as it is on his property. If the Purchaser so desires the Builders can make arrangements for Edward Lumley and Sons, Insurance Company, to take over the Insurance on behalf of the Purchaser.

BUILDING PERMIT: The Building Permit is to be obtained by the ~~Purchaser~~ and lodged at the Office before the building is commenced.

DAMAGE TO PROPERTY: The Contractors cannot be held responsible for any damage to property other than that of careless workmanship. The Builders will if necessary, adjust doors or windows up to ninety days after delivery, at no extra charge. The whole of the work involved in supplying a "Ready-built" Home is carried out by first-class tradesmen, to the complete satisfaction of the Local Body Building Inspector.

TIMBER SCHEDULE: The Contractors reserve the right to change the timber used in any building, but in all cases these changes will comply with the Local-by-laws. Any change will be subject to an increase or decrease in the price originally quoted.

for: Keith Hay Homes Limited.

.....*W. H. Hay*.....

PAGE TWO.

TIMBER SCHEDULE:

Jack-studs @ 4'6" o.c.	B.Ht. R. or B.H.M.	4" x 3"
Jack-studs block plates	" "	6" x 6" x 2"
Sleeper plates	" "	4" x 3"
Floor joists @ 18" o.c.	Treated Pine	6" x 2"
Top and bottom plates to exterior walls	Treated Pine	4" x 2"
Studs to exterior walls	" "	4" x 2"
Braces checked into exterior "	" "	6" x 1"
Trimmers to openings	" " up to 4'6"	4" x 3"
	4'6" to 6'0"	6" x 2"
	6'0" to 8'0"	8" x 2"
	8'0" to 10'0"	8" x 4"
Trimmers studs		
Openings under	4'6" checked $\frac{1}{2}$ "	4" x 2"
" over	4'6" double studs	4" x 2"
spiked to-gether, one supporting lintel		
Trusses @ 3'0" o.c. Top and bottom chords.	Treated Pine	4" x 2"
Struts and Hangers double	" "	4" x 1"
Purlins @ 30" ϕ on flat.	" "	3" x 2"
Top and bottom plates to partitions.	" "	3" x 2"
Studs to partitions.	" "	3" x 2"
Ceiling Joists.	" "	4" x 2"
Strong-backs full length	" "	6" x 2"
Flooring (T & G)	Treated Tawa or Treated Pine	4" x 1" or 3" x 1"

EXTERIOR SHEATHING:

~~WEATHERBOARDS (Sov. Back) Treated Rimu, Treated Matai or~~
~~Treated Kaihikatea 6" x 1" LB~~
~~or Rebatad Cedar. (Subject to supply) 6" x 1" LB~~

~~BUROCK SIDINGS OVER 2 PLY MALTHOID COVERLINE OVER BLOC. PAPER~~ ~~LB~~

All interior finishing timbers. Untreated Pine Joinery Grade.

Any timbers not mentioned in above schedule are of same class as timbers in similar position.

CARPENTER & JOINER: All timbers are strictly in accordance with the classes specified, all internal doors, frames, moulding and finishing timbers, and Joiners work are clean, selected Radiata Pine. Exterior Joinery, frames and sills also outside doors, are clean treated Matai, Tawa or Rimu. All nails in exposed work have been punched, and exposed timbers dressed.

FLOOR JOISTS: Are gauged down on Sleeper Plates to uniform level and securely spiked in long lengths with 12" laps at passings, well spiked to-gether.

FRAMING: The whole of the building is framed, nailed and fastened to-gether in a thorough and tradesmanlike manner with materials as scheduled and hereafter specified.

PLATES & STRINGERS: Are in long lengths, and where scarfed, scarves are resting on bearers, Jack-studs skew-nailed to block plates.

for: Keith Hay Homes Limited.

NB

PAGE THREE

STUDS: Studs to external walls 4" x 2" @ 18" ϕ . Studs to internal walls 3" x 2" @ 18" ϕ .

CEILING JOISTS: 4" x 2" ϕ , with full bearing to top plates and hung from full length 6" x 2" strongbacks at 4'6" o.c.

BRACING: External walls securely braced where possible with 6" x 1" checked in braces. Internal walls braced with 3" x 2" cut in braces.

ROOF FRAME: Is constructed robustly of trusses and jack rafters of 4" x 2" @ 3'0" ϕ , securely nailed and birdmouthed over plates. Purlins 3" x 2" on flat @ 30" ϕ s.

EXTERIOR SHEATHING & FINISHING: ~~6" bevelled back weatherboards~~
(as described in schedule) in as long lengths as possible and securely nailed at each stud, covered with galvanised angle soakers at all external angles, butted and covered with galvanised soakers at joists, or with a 4" x 1" and scriber.

OR DUROCK SIDINGS OVER MALTHOID.

COVERLINE

SOFFITT: Boxed with Fibrolite Covering.

FACINGS: 4" x 1" D.A. Rimu or D.A. Matai; D.A. Totara, treated Matai or Rimu Scribes.

FLOORING: (As scheduled) fitted out to studs and run under all partitions, butts are under partitions where possible.

INTERIOR WALL COVERING AND FINISHINGS: All walls are covered with $\frac{1}{2}$ " Gibraltar Board, battened at joints with $1\frac{1}{2}$ " wall batten. $\frac{1}{2}$ " quadrant moulding at internal angles. Ceilings of Pinex Softboard suitably battened at joints; $1\frac{1}{8}$ " wood scotia to cornices. $2\frac{1}{2}$ " x $\frac{1}{2}$ " Bullnose skirings and $1\frac{1}{2}$ " x $\frac{1}{2}$ " Bullnose architraves. One wall of lounge has been nogged for pre-caste chimney.

JOINERY:

DOORS, SASHES & FRAMES: of materials as previously specified.

ALL INTERIOR DOORS: Clean selected flush type 6'6" x 2'6" to main rooms. 6'6" x 2'2" to utility rooms. Wardrobes 6'0" x 2'0" approximately with cupboards above.

FRONT & BACK DOORS: Cedar or Redwood. 4 Lt. Obscure glass.
Front door: 6'6" x 2'10"
Back door: 6'6" x 2'8"

PLUMBING: All plumbing work has been carried out under strict supervision by reputable and registered Contractors. Standard equipment as follows:

BATHROOM: Porcelain enamel bath, hot and cold water, chromium taps. White porcelain hand basin, hot and cold water, chromium taps. W.C. complete with low silent flush.

LAUNDRY: Single/~~Double~~ Pre-caste wash tubs. Hot and cold water, chromium taps. 10

KITCHEN: 30 Gallon Hot Water Cylinder installed under airing cupboard. Formica sink bench with stainless steel bowl, hot and cold water, chromium taps. All hot and cold water run in concealed copper pipe to a point ready to connect to main supply. Kitchen sink installed complete with plug and waste.

For: Keith Hay Homes Limited.

.....*W. B. Hay*.....

BATHROOM & W.C. Water closet complete with terminal vent and ready for outflow to drain and sewerage. Bath and basin complete with plug and waste.

ROOF: Corrugated Iron roofing has been fitted over building paper supported on galvanised netting. All ridges, guttering etc., securely fixed and downpipes ready for outflow to soakhole or drain. All laps of iron primed with zinc chromate primer.

PAINTING: All painting work has been carried out under strict supervision, with high grade materials. Exterior and interior colour schemes may be selected by the Purchaser. Generally the paintwork is as follows:

EXTERIOR: Corrugated Iron Roof. UNPAINTED.
~~Prime all weatherboards 1 coat of RED LEAD priming before fixing.~~ 105
Then stop with first grade putty to all nail holes, scribes and any defects. Then apply to all exposed woodwork 2 coats of approved Mid-cote undercoat (this clause does not apply to Rotorua where only 1 undercoat is given) followed by 1 coat of High Glose finish or LZ 521 State Housing Paint. Soil pipe to be treated with 1. stinging or approved sealer to stop bleeding, then to receive 2 good coats of paint. Spouting and downpipes to receive 2 good coats of paint.

INTERIOR: Ceilings to bedrooms, hall and lounge to receive 2 coats of P.V.A. plastic paint. All woodwork to above rooms etc., to receive 3 good coats of paint. Walls to same to receive 2 coats of P.V.A. plastic paint or flat enamel paint. Paint to any approved colour.
In lieu of paint to walls in bedrooms, hall and lounge, paper will be supplied and fixed to the value of 8/6d per standard roll. The Purchaser is required to pay travelling time and vehicle hire to site for paperhanger. When papered all plaster joints etc., to receive 1 coat of sealer. Doors: All interior doors standard varnish to main rooms. ~~To utility rooms varnish one side with paint finish to other.~~ 106
~~Painted side to selected colours and standard painting specifications.~~ Wardrobe doors. ~~one side varnish and inside painted to selected colour.~~ Both Sides
Varnish: 1 coat Brolite and 2 coats of varnish. Paint: 3 coats of paint. Interior wardrobes 1 coat of P.V.A. plastic paint. Kitchen, bathroom and laundry walls, ceiling and inside of cupboard doors to receive 1 coat of sealer, 1 coat of enamel undercoat and 1 coat of approved enamel. Interior of all cupboards are unpainted.

FLOORING: Flooring is left in milled condition.

ELECTRICIAN: All electrical work and installations executed by reputable and registered Contractors and the following details are standard. All circuits are run in British T.R.S. cable. Main switchboard located in top of airing cupboard or alternate position decided by Contractor and serviced from outside of building.

Total of lights, power points are as follows:

Interior ceiling lights:	No. 9	OK
Power Points:	No. 3	OK
Wall lights: (No wall fitting)	No.	
Exterior lights:	No: 2	OK
Point for Hot water service.		
Point on Kitchen Stove.		

(All lights complete with plain opal shades).

1 Hot water element and thermostat supplied.

1 Full size Champion "Pennant" or Neeco "Countess" stove.

Power entry from pole to switchboard is NOT included in the electrical wiring.

For: Keith Hay Homes Limited.

U.B.H.

- STEPS: Pre-caste concrete steps fitted to front door.
Wooden steps to back door.
- WASTE PIPES: Carry waste pipes from fittings to gulley traps with all necessary fittings etc., to conform to any governing regulations or by-laws.
- WATER CONNECTION: Run feeder supply from main in $\frac{1}{2}$ " copper tube.
- DRAINAGE: ^{OWNER TO DO} Instal complete sanitary and stormwater drainage system in accordance with best trade practice to the satisfaction of any governing authority.
- AERIAL ELECTRICAL MAINS: Run mains from switchboard to point of entry on house.
- CHIMNEY: ~~Instal external Pre-caste parallel chimney with fireplace complete with fireback and grate.~~
~~Exterior of chimney plastered. P.C. sum of £20. 0. 0 allowed for surround and hearth.~~ *AKB*
- FLOOR SANDING: ~~At completion all floors to be treated with electric sanding machine.~~ *AKB*

For: Keith Hay omes Limited.

.....

PAGE FIVE

STANDARD FITTINGS AND FIXTURES SUPPLIED.

- KITCHEN: Formica or Laminex sink bench with stainless steel bowl, three cupboards under bench.
- Cupboard unit and dresser to approximately 35 sq.ft. in face area.
- Floor to ceiling fly-proof cool cupboard and safe.
30 gallon hot water cylinder with airing cupboard over.
- BATHROOM: Bath, basin and W.C. (as previously described and under plumbing), built-in shaving cabinet and accessory shelves, toilet roll fixture, chromium towel rail, soap recesso, chromium tooth brush rack.
- LAUNDRY: ^{1/2} pre-caste concrete wash tubs with cupboards under. Built-in ironing board wherever possible. Soap recesso over tub.
- SUNDRY: Night-latch to front door.
Lock-set to back door.
Latch sets to interior doors.
Casement, whitco, or top hung windows. (See plan).
- BASE SHEATHING: Base of dwelling to be sheathed with $\frac{1}{4}$ " flat asbestos cement sheets suitably battened at joints and corners and finished with plaster splash coat.
- or Asbestos cement sheathing affixed to State Advances Corporation requirements.

25 September 1990

Mr C Parsons
Te Kowhai Road
R.D.8.
FRANKTON
HAMILTON

COPY

RECEIVED
28 SEP 1990
BLDG DIV.

Dear Sir/Madam,

RE: HOUSE AT ROTOKAURI ROAD, HAMILTON FOR RESITING -
APPROX 40-45 YEARS OLD.

- 1/ That Council's criteria for resiting buildings in the City be strictly adhered to.
- 2/ That a building permit is uplifted and approved prior to resiting the building.
- 3/ That all work be completed within the period set by the Chief Building Officer.
- 4/ A bond is to be entered into to the satisfaction of the Chief Building Officer and all work be completed before the building is occupied.
- 5/ All plumbing and drainage to comply with the Plumbing & Drainage Regulations, and to the satisfaction of the Plumbing and Drainage Inspectors requirements.
- 6/ Electrical wiring to be checked and upgraded, if necessary, to the Electric Supply Authority requirements.
- 7/ Repair any damage due to transportation.
- 8/ Replace any rotten or badly cracked weatherboards.
- 9/ Replace window sashes and replace broken window panes.
- 10/ Roof and exterior of dwelling to be repainted.
- 11/ Rewire dwelling.
- 12/ Replace ceiling linings where damaged.
- 13/ Remove match linings and reline with gib-board.

cont'd over/.....

COPY

14/ Repaint and repaper interior.

15/ Bora Bomb or Boracure dwelling.

The building is suitable for resiting, subject to the above conditions. Please make application for a permit in the usual manner.

Yours faithfully,
R H HARGOOD
CHIEF BUILDING OFFICER

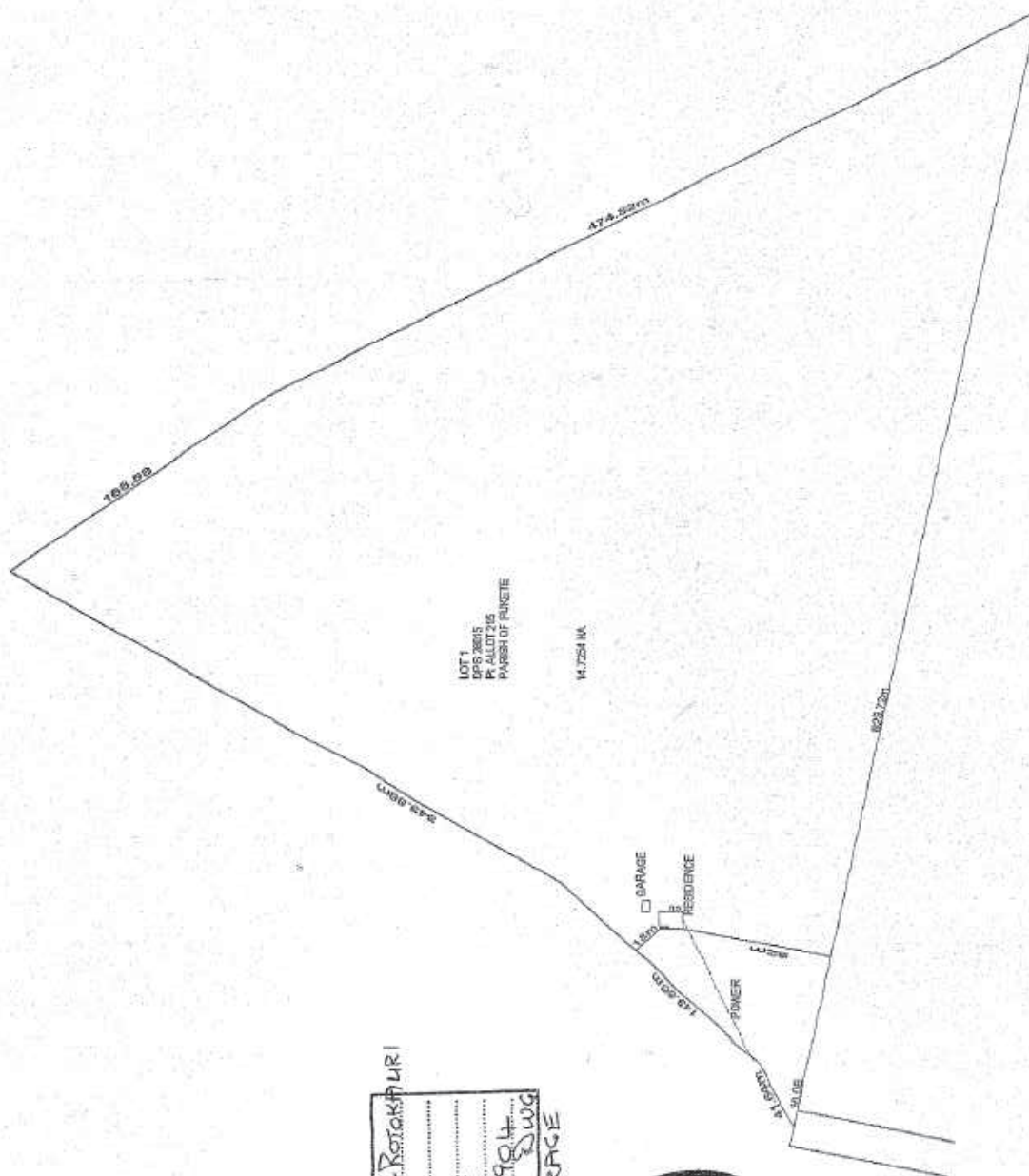
per:

P MARTENS
CO-ORDINATOR FIELD INSPECTION



~~STREET
ST NO
LOT
DPS
CONSENT NO
DETAILS~~

STREET LEE ROAD - ROTAKAPURI
ST NO
LOT 1
DPA 28015
CONSENT NO 95/994
DETAILS REMOVE DWG
OF GARAGE



ENGINEERING & COMPUTER SERVICES

C & A NEWBY - LEE ROAD - ROTOKAURI

RESIDENCE & GARAGE FOR REMOVAL FROM SITE

Scient. No.

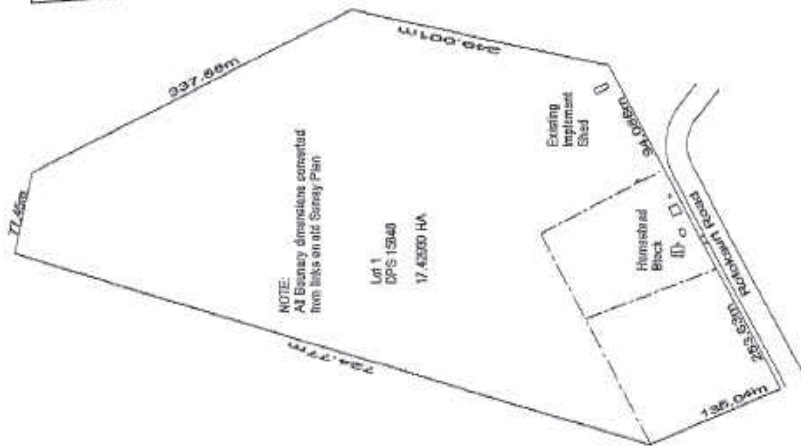
Drawn	RWT	Checked	Stains
Date	11-5-1935	Date	Approx

Source of Ref.	Year	Sample Size	Response Rate	Response Rate by Age Group	Response Rate by Gender	Response Rate by Education	Response Rate by Income	Response Rate by Race	Response Rate by Religion	Response Rate by Marital Status	Response Rate by Political Affiliation	Response Rate by Employment Status	Response Rate by Health Status	Response Rate by Other Factors
1	2000	1000	85%	80% (18-24)	85% (Male)	85% (High School)	85% (\$10,000-\$19,999)	85% (White)	85% (Protestant)	85% (Married)	85% (Democrat)	85% (Full-time)	85% (Good)	85% (Other)
2	2001	1500	78%	75% (18-24)	78% (Male)	78% (High School)	78% (\$10,000-\$19,999)	78% (White)	78% (Protestant)	78% (Married)	78% (Democrat)	78% (Full-time)	78% (Good)	78% (Other)
3	2002	2000	92%	90% (18-24)	92% (Male)	92% (High School)	92% (\$10,000-\$19,999)	92% (White)	92% (Protestant)	92% (Married)	92% (Democrat)	92% (Full-time)	92% (Good)	92% (Other)
4	2003	1200	88%	85% (18-24)	88% (Male)	88% (High School)	88% (\$10,000-\$19,999)	88% (White)	88% (Protestant)	88% (Married)	88% (Democrat)	88% (Full-time)	88% (Good)	88% (Other)
5	2004	1800	80%	78% (18-24)	80% (Male)	80% (High School)	80% (\$10,000-\$19,999)	80% (White)	80% (Protestant)	80% (Married)	80% (Democrat)	80% (Full-time)	80% (Good)	80% (Other)
6	2005	1100	82%	80% (18-24)	82% (Male)	82% (High School)	82% (\$10,000-\$19,999)	82% (White)	82% (Protestant)	82% (Married)	82% (Democrat)	82% (Full-time)	82% (Good)	82% (Other)
7	2006	1300	86%	84% (18-24)	86% (Male)	86% (High School)	86% (\$10,000-\$19,999)	86% (White)	86% (Protestant)	86% (Married)	86% (Democrat)	86% (Full-time)	86% (Good)	86% (Other)
8	2007	1600	83%	81% (18-24)	83% (Male)	83% (High School)	83% (\$10,000-\$19,999)	83% (White)	83% (Protestant)	83% (Married)	83% (Democrat)	83% (Full-time)	83% (Good)	83% (Other)
9	2008	1400	87%	85% (18-24)	87% (Male)	87% (High School)	87% (\$10,000-\$19,999)	87% (White)	87% (Protestant)	87% (Married)	87% (Democrat)	87% (Full-time)	87% (Good)	87% (Other)
10	2009	1700	81%	79% (18-24)	81% (Male)	81% (High School)	81% (\$10,000-\$19,999)	81% (White)	81% (Protestant)	81% (Married)	81% (Democrat)	81% (Full-time)	81% (Good)	81% (Other)
11	2010	1900	89%	87% (18-24)	89% (Male)	89% (High School)	89% (\$10,000-\$19,999)	89% (White)	89% (Protestant)	89% (Married)	89% (Democrat)	89% (Full-time)	89% (Good)	89% (Other)
12	2011	1550	84%	82% (18-24)	84% (Male)	84% (High School)	84% (\$10,000-\$19,999)	84% (White)	84% (Protestant)	84% (Married)	84% (Democrat)	84% (Full-time)	84% (Good)	84% (Other)
13	2012	1650	86%	84% (18-24)	86% (Male)	86% (High School)	86% (\$10,000-\$19,999)	86% (White)	86% (Protestant)	86% (Married)	86% (Democrat)	86% (Full-time)	86% (Good)	86% (Other)
14	2013	1750	88%	86% (18-24)	88% (Male)	88% (High School)	88% (\$10,000-\$19,999)	88% (White)	88% (Protestant)	88% (Married)	88% (Democrat)	88% (Full-time)	88% (Good)	88% (Other)
15	2014	1850	90%	88% (18-24)	90% (Male)	90% (High School)	90% (\$10,000-\$19,999)	90% (White)	90% (Protestant)	90% (Married)	90% (Democrat)	90% (Full-time)	90% (Good)	90% (Other)
16	2015	1950	91%	89% (18-24)	91% (Male)	91% (High School)	91% (\$10,000-\$19,999)	91% (White)	91% (Protestant)	91% (Married)	91% (Democrat)	91% (Full-time)	91% (Good)	91% (Other)
17	2016	2050	92%	90% (18-24)	92% (Male)	92% (High School)	92% (\$10,000-\$19,999)	92% (White)	92% (Protestant)	92% (Married)	92% (Democrat)	92% (Full-time)	92% (Good)	92% (Other)
18	2017	2150	93%	91% (18-24)	93% (Male)	93% (High School)	93% (\$10,000-\$19,999)	93% (White)	93% (Protestant)	93% (Married)	93% (Democrat)	93% (Full-time)	93% (Good)	93% (Other)
19	2018	2250	94%	92% (18-24)	94% (Male)	94% (High School)	94% (\$10,000-\$19,999)	94% (White)	94% (Protestant)	94% (Married)	94% (Democrat)	94% (Full-time)	94% (Good)	94% (Other)
20	2019	2350	95%	93% (18-24)	95% (Male)	95% (High School)	95% (\$10,000-\$19,999)	95% (White)	95% (Protestant)	95% (Married)	95% (Democrat)	95% (Full-time)	95% (Good)	95% (Other)
21	2020	2450	96%	94% (18-24)	96% (Male)	96% (High School)	96% (\$10,000-\$19,999)	96% (White)	96% (Protestant)	96% (Married)	96% (Democrat)	96% (Full-time)	96% (Good)	96% (Other)

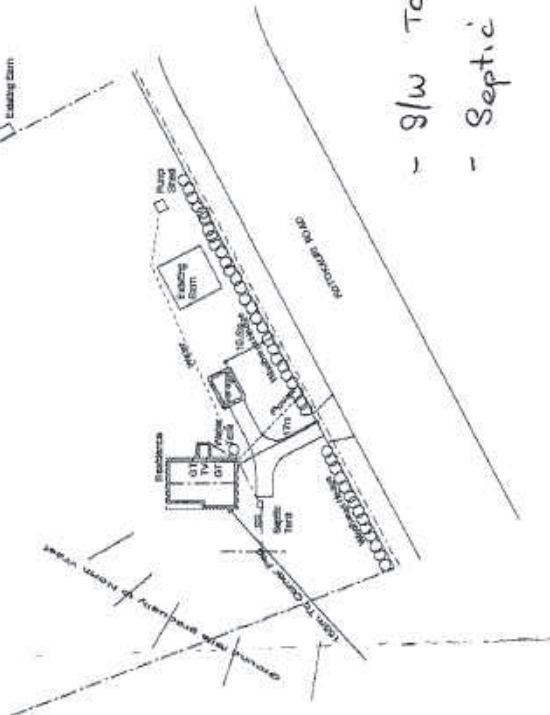
RECEIVED
13 MAY 1995
BUILDING

- 9/10 To Tank.
- Septic Tank.

STREET
ST NO
LOT
DPS
CONSENT NO
DETAILS



STREET : ROTOKAURI RD
ST NO : 258
LOT : 1
DP : S.86764
CONSENT : 1995/906
DETAILS : LOCATION & SITE DEVELOPMENT PLANS
1/2



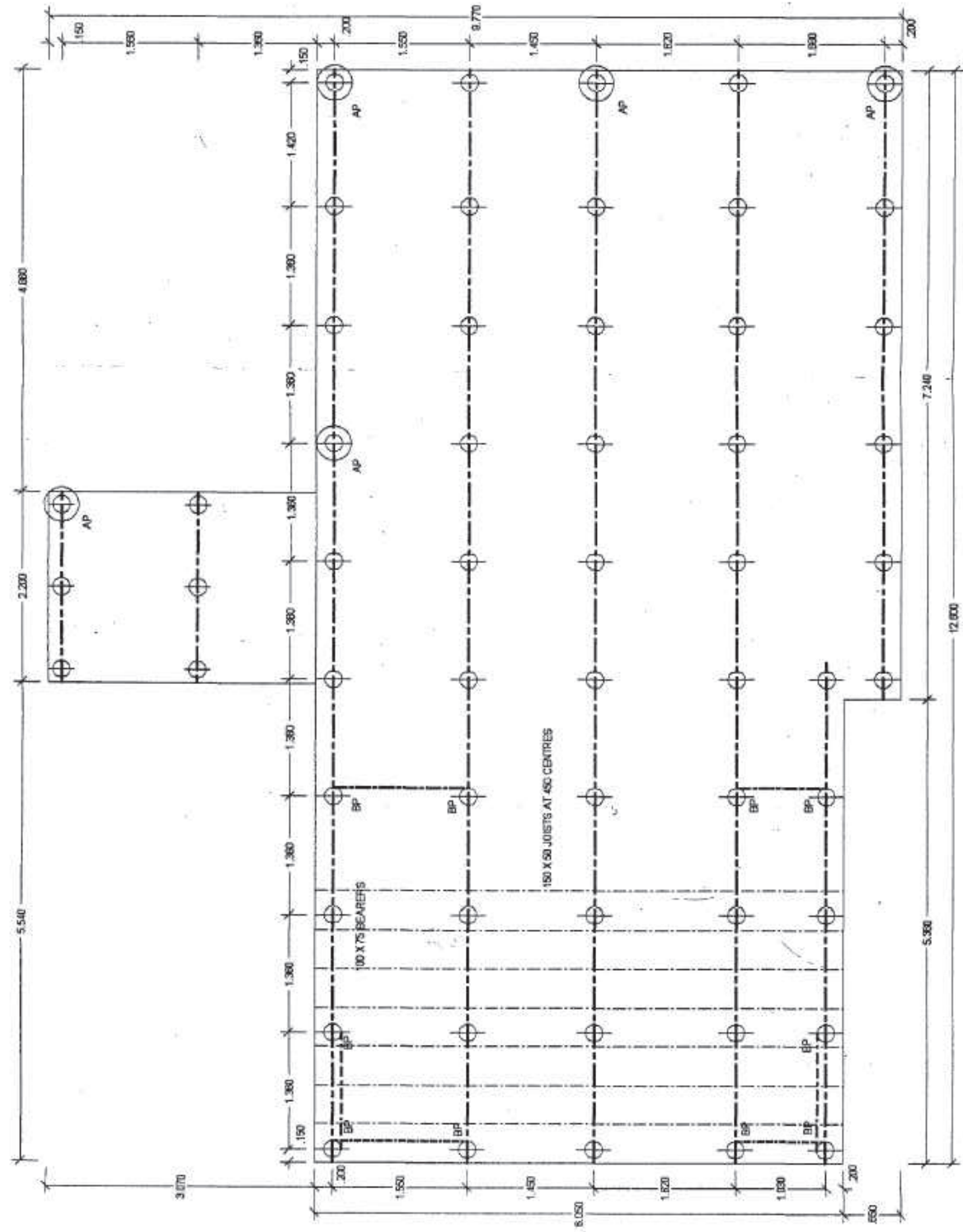
ENGINEERING & COMPUTER SERVICES

RELOCATED RESIDENCE AND GARAGE FOR C & A NEWBY - ROTOKAURI ROAD

LOCATION & SITE DEVELOPMENT PLANS				Sheet No.
Drawn	RMV	Checked	Scales	1
Date	12. 1995	Date	Not To Scale	2
				Client

STREET
 ST NO
 LOT
 DPS
 CONSENT NO
 DETAILS

A. MENDEZ PLUMBS
 Date **26 MAY 1995**
 Cal P.
 P. & D.
 GL
 Design
 ST/TR



BRACING

ACROSS: 5 Anchor Piles - 4 Sub Floor Braces Total 8 x 180 = 1440 BU
 ALONG: 5 Anchor Piles - 2 Sub Floor Braces Total 7 x 180 = 1140 BU

PILE NOTES:

All perimeter pile footings 275 Sq. x 300 deep
 Brace pile footings 350 Sq. x 450 deep
 Anchor pile footings 350 Sq. x 600 deep
 Perimeter and bracing piles - 200 Sq. x 300 deep
 All piles 12M dia. headings
 All piles to meet NZS 3804 requirements

STREET : ROTOKAURI RD
 ST NO : 258
 LOT : 1
 DP : S.86764
 CONSENT : 1995/906
 DETAILS : PILING PLAN
 2/2

RELOCATED RESIDENCE FOR C & A NEWBY - ROTOKAURI ROAD

ENGINEERING & COMPUTER SERVICES

PILING PLAN

Drawn	Rev	Checked	Date
25.5.1995			

Scale 1:50

Sheet No. 2
 Series of 2
 Ref. QLEM3

ID L1168857

OFFICE USE ONLY

APPLICATION NUMBER:

1997/1214

PROPERTY ID:

D-006700-008

VALUATION No:

04182-34102

Hamilton City Council

PLAN REVIEW APPLICATION

For a building consent or
Project information memorandum or
For building consent only

Project information memorandum #



CITY OF HAMILTON

See Note

New 2 storey DWG - 2nd Garage

No CCC Issued

Project location:

Street Number

131

Street Name

TE KOWHIA -

LOT(S)

1

SITE AREA

6.2725 HA

m²

DPS

15248

PROJECT:

floor area (m²)

New building

☒277 m²

Alteration/addition

☐

Relocation

☐

Demolition

☐

Other

Intended life:

Indefinite but not less than 50 years

☒

Specified as

years

Description of work:

BUILD RESIDENTIAL HOME.

Intended uses:

PRIVATE

Estimated value (incl GST): \$ 194000

OWNER:

Name

WAYNE CLARKE

Postal address

TE KOWHIA RD
Hamilton

Phone day:

8493588

night

Cellphone

Fax

CONTACT (if not owner):

Name

RIGHT HOMES LTD
(MERVE MATENGA)

Postal address

231A KILLARNEY RD
Hamilton

Phone day:

8296059

night

07-8470446

Cellphone

025

863567

Fax

8470484

DECLARATION:

Signed on or behalf of the owner

Print Name

RIGHT HOMES LTD

Signature

DIRECTOR

Date 23/05/97



Hamilton City Council

Municipal Offices, Garden Place, Private Bag 3010, Hamilton
Tel 07-838-6444. Fax 07-838-6445

Winners of
1996
Best Practice
in Service
Award



OFFICE USE ONLY

Application Number:

1834/2001

Valuation Number:



Hamilton City Council Application for:

Project information memorandum and building consent together ☐

Project information memorandum only ☐

Building consent only (in accordance with project information memorandum) ☒

FAXED

Number

See Note 2

Project location:

Street Number

50

Street Name

TE KOWHAI RD.

See Note 3

LOT(S)

1

SITE AREA

2.2376

ha /

m²

DPS

8487

See Note 4.2

INTENDED LIFE:

Indefinite but not less than 50 years ☒

Specified as

years

PROJECT:

See Note 4.1

Floor area (m²)

☐ New building

☒ Alteration/addition

☐ Relocation

☐ Demolition

☐ Other

90

See Note 4.3

Description of work: NEW COOL STORE ADDITION

See Note 4.4

Intended uses: COOL STORE

See Note 4.5

Estimated value (incl GST): \$ 40,000

OWNER

See Note 5

Name

R & R GILES

Postal Address

Phone (daytime)

Cellphone

Fax

Email

CONTACT (if not owner):

See Note 6

Name

N. JESSOP

Postal Address

P.O. Box 21060

HAMILTON.

Phone (daytime)

854 6635

Cellphone

Fax

854 6636

Email

n.jessop@xtva.co.nz

DECLARATION: Signed for or on behalf of the owner

See Note 7

Print name

N. JESSOP

Signature

[Signature]

Date

16-10-01

564-60577

HAMILTON CITY COUNCIL



Hamilton City Council

Te kaunihera o Kiriikiriroa

Building Unit, Ground Floor, Hamilton City Council Offices, Garden Place

Private Bag 3010, Hamilton

Telephone 07-838-6685 Fax 07-838-6684

Email Building_unit_admin@hcc.govt.nz

Duplicate

APPROVED TO CONDITIONS

15 23.10.01 944

AN IMPORTANT REMINDER FROM THE PLANNING GUIDANCE UNIT



- Is your legal description correct?
- Are you sure your proposal doesn't need a resource consent?
- Do you know: how high you can build?
how far from the boundaries your building/s must be?
how much of your site you can cover with buildings?

**Problems in complying with the District Plan requirements
and the Resource Management Act may cause delay in the
issue of your building consent.**

To ensure that this doesn't happen please contact the staff of
the Planning Guidance Unit
prior to lodging your Building Consent.

We have planners rostered on enquiry duty each day to help you.

Planning & Subdivision Enquiries Counter
Ground Floor, Hamilton City Council Offices, Garden Place, HAMILTON
Phone: (07) 838 6800
Fax: (07) 838 6819

FOR OFFICE USE ONLY

FEES PAYABLE:

Building Consent	\$500
Project Information Memorandum	15
Code Compliance Certificate	55
BRANZ Levy	60
BIA Levy	26
Photocopying	
Microfilming	92
Structural Check	
External Consultants Check	
Crossing Administration	
Planning Bond	
Reserves Contribution (Residential)	
Reserves Contribution (Commercial)	
Water Main Connection	
Water Connection (Nearside)	
Water Connection (Farside)	
Water Connection (Rural)	
Water Disconnection	
Backflow Device	
Backflow Inspect/Permit Fee	
Sanitary Connection	
Stormwater Connection	
Sanitary Disconnection	
Stormwater Disconnection	
CCTV Survey Sanitary	
CCTV Survey Stormwater	
Kerb & Channel Connection	
Cellar Indemnity	
Compliance Schedule	

*checked
existing.*

Total Fees (including GST).

\$ 728.

BUILDER:

Address: _____

Fax: _____

Phone - day: _____

Cellphone: _____

PLUMBER:

Address: _____

Fax: _____

Phone - day: _____

Cellphone: _____

Reg # _____

DRAINLAYER:

Address: _____

Fax: _____

Phone - day: _____

Cellphone: _____

Reg # _____

OFFICE USE ONLY

Receipt # 312937 \$ 728=

Date of issue 24/10/01

Authorised by *[Signature]*

Date authorised _____

REFERRALS:

	Sent	Returned
Structural		

CONFIDENTIALITY

You have the option to request confidentiality for reasons of building security and copyright. Please ask the Building Review Officer you are dealing with for further information.

CORRESPONDENCE

I/we, the applicant, acknowledge that all correspondence is to be directed to:

☐ Myself/ourselves

☐ My/our agent whose responsibility it is to forward all council documentation as received as appropriate.

WANT TO MAKE IT SIMPLE ????

Read these notes before and during filling
in this application form.

- NOTE 1** The Building Act 1991 states that before Council can issue a building consent, the applicant (owner) shall have already obtained a Project Information Memorandum (PIM). The Act allows that a building consent application and PIM can be applied for jointly, or the PIM may be applied for separately. If this application is for a building consent and you already have a PIM then write the PIM number in the space provided. If for a PIM only then place a tick in the second box.
- NOTE 2** This is the street address including street number if known.
- NOTE 3** The legal description is the lot and deposited plan number. You can get this information from several sources:
- rates demand
 - copy of certificate of title
 - if not from the above sources, we may be able to provide this information.
- Site area is the size of the section/property in square metres or hectares.
- NOTE 4.**
- 4.1 Please identify the project being undertaken by placing a tick in the appropriate box.
e.g. New House (☒ New Building).
 - 4.2 You may specify the actual life of the building being constructed or it will be assumed to be 50 years (50 years is the time frame under the Building Act 1991).
 - 4.3 Please describe the work e.g. 3 bedroom dwelling and attached garage.
 - 4.4 Describe the intended use e.g. Family housing.
 - 4.5 This is the full retail value based on square metre rates. If in doubt please ask the Building Review Officer.
- NOTE 5** The owner may be the person who is entitled to the rent of the building or land, or who would be so entitled if the land were let to a tenant at a rent and for the purposes of the Building Act includes:
- The owner of the fee simple of the land
 - Any person who has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take out a lease of the land while the agreement remains in force - and the "ownership" has a corresponding meaning.
- NOTE 6** Please provide the contact person's name, address and other particulars so that we may address all verbal or written correspondence to this person. Only complete this section if the owner is not the contact.
- NOTE 7** This may be signed by the owner or on behalf of the owner by his/her representative. For legal purposes the person signing the declaration is acting for the owner with his/her knowledge.
- NOTE 8** If known please complete this section and include registration numbers and means of contact.
- NOTE 9** Under the Building Act you have the right to have plans and details held confidential if you wish.

Building Consent No: 2006/16519

Section 51, Building Act 2004

Issued by Hamilton City Council

Date:

The building:

Street address of building: 40 Te Kowhai Road HAMILTON 2001

Legal description of land where building is located: Lot 1 DP 58487

The owner

Name of owner: Double R Ltd

Mailing Address: 442 Peacockes Road
R D 2
HAMILTON 2021

First point for communications with the council/building consent authority:

Hamilton City Council

Municipal offices

Garden Place

Private Bag 3010

Hamilton 2001

Phone 07 838 6677

Fax 07 838 6684

Building work

The following building work is authorised by this building consent:

Application Description: Upgrade existing alarm -Army headquarters building and building behind

Intended Use:

Work Type: Alteration/Repairs

Intended Life: >50 years

Value of Work: \$9600

This building consent is issued under section 51 of the building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Building

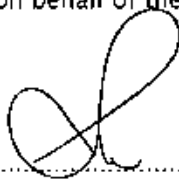
Compliance schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:
Project information memorandum number 2006/16519

Signed for and on behalf of the Hamilton City Council:



Name: A C Arcus..... 14 March 2007

Position: Authorised Officer

Building Control Unit

Building

14 March 2007

Double R Ltd
442 Peacockes Road
R D 2
HAMILTON 2021

Dear Sir/Madam

Consent Number: 2006/16519

Project: Upgrade existing alarm - Army headquarters building and building behind

Project Address: 40 Te Kowhai Road HAMILTON 2001

Legal Description: Lot 1 DP S8487

Thank you for the application for building consent. We are pleased to advise that this consent has been processed and is now ready for collection.

Your next steps are:

1. If this consent has not been pre-paid, please come in, pay for, and pickup your copy of the plans.
2. Please ensure that your approved documentation is kept on the building site for the building inspector to view.
3. This Building Consent is issued subject to the conditions outlined on page 2. In particular please note the requirements for inspections. The phone number to arrange inspections is 838 6677 available from 8:00 am to 11:00 pm.
4. Your final step after the completion of the project, is to apply for the issue of a Code Compliance Certificate.

Good luck with your building project and we look forward to our staff assisting you with this and any future building work.

Regards



Allister Arcus
Council Building
Garden Place, Hamilton
Phone 07 838 6677
Fax 07 838 6684

Building

These are your Building Consent Conditions.

Please read these carefully

Building

Please be aware that if your building is being constructed using the old timber treatment rules (before 1 April 2004), these buildings will need to be completed on or before the 1st April 2005. If this is not the case, Council may be unable to issue this structure with a Code Compliance Certificate.

- (1) Please quote building consent number when requesting an inspection.
- (2) Completion inspection required prior to issue of final code compliance.
- (3) Please provide verification that the alarm alteration complies with the building code and provide as built plans for the layout for these systems before the issue of the Code Compliance Certificate. A producer statement from the installer may be accepted. For any fire alarm installed to NZS4512 we require an FPIS certification, before the Code Compliance certificate is issued

Water and Drainage

nil

Please refer to PIM 2006/16519 issued for this development for any addition requirements that may effect this development

Roads and Traffic

nil

Please refer to PIM 2006/16519 issued for this development for any addition requirements that may effect this development.

Health

nil

Please refer to PIM 2006/16519 issued for this development for any addition requirements that may effect this development

Important Notes:

1. The Project Information Memorandum lapses If a building Consent for the work concerned has not been Issued within 24 months after the date of the issue of the Project information Memorandum.
2. Please check with your local Network Utilities Operator as to where your services are located, i.e. Telecom, Wel Energy and Gas.

Building

3. To avoid unreasonable noise affecting neighboring properties it is requested that noisy construction activities that would cause sleep disturbance not be undertaken until after 07:30am, and not at all on Sundays and public holidays.

4. Berm Protection

Kerb and channel, footpaths and grassed areas must be protected whilst work is undertaken on the site. Whilst granular material is preferred for this, clean sand may be used. Other approved alternatives are timber panels and rubber matting. However the channel flow must be maintained at all times by placing a 100mm dia steel pipe in the channel through which water can freely flow.

Where catchpits or berm pits are located within 1m of the temporary crossing point, the consent holder is responsible for ensuring that the grate is kept clear at all times.

5. Silt Control

Where stormwater runoff from the site is flowing to the road kerb and channel, or to an adjacent waterway, the consent holder is required to provide adequate silt control measures. Where material from the site is found to be causing a hazard on a road, the consent holder is required to remove the material as soon as possible. If this is not undertaken, Council will undertake to clear the hazard, the cost of which will be sought from the Consent holder.

6. NZS3604:1999 amendment 2

Please be aware that there are significant amendments to NZS 3604 that can affect your project and you should discuss these with your designer or builder. Hamilton City Council is up until 1 September 2006 accepting designs that meet either the old version of NZS3604 without the amendments or the new version with all or any amendments. After 1 September 2006 you will be required to fully comply with the amended version of NZS 3604

Project Information Memorandum

No: 8.2006.16519.1

Section 34, Building Act 2004

Issued by the Hamilton City Council

Date: 14 March 2007

Applicant: Double R Ltd

Mailing Address: 442 Peacockes Road
R D 2
HAMILTON 2021

Application Lodged: 04/10/2006

Project

Application Description: Fire Alarm System

Stage:

Intended Use:

Work Type:

Alteration/Repairs

Intended Life:

>50 years

Value of Work:

\$9600

Property

Address: 40 Te Kowhai Road HAMILTON 2001

Property Reference: Lot 1 DP S8487

This is:

Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the building consent.

() Not yet applied for.

(✓) No.:7.2006.16519.1 attached.

() Not yet issued.

Building

This Project Information Memorandum includes the following information:

- ☐ (a) Information likely to be relevant to the proposed building work that identifies
 - (i) the heritage status of the building (if any); and
 - (ii) each special feature of the land concerned (if any); and
- ☐ (b) Information likely to be relevant to the proposed building work that, in terms of any other Act, has been notified to the territorial authority by a statutory authority; and
- ☐ (c) Details of any existing stormwater or wastewater utility systems that
 - (i) relate to the proposed building work; or
 - (ii) are on, or adjacent to, the site of the proposed building work; and
- ☐ (d) details of any authorisation in respect of the proposed building work that the territorial authority, on its own behalf and on behalf of any network utility operator (if the territorial authority is acting as agent for a network utility operator by prior agreement with the network utility operator), is authorised to refuse or require under any Act, except this Act, and, in respect of each authorisation,
 - (i) a statement of the requirements to be met in order for the authorisation to be granted or imposed; and
 - (ii) the conditions to which an authorisation will be subject; and
- ☐ (e) if the territorial authority considers that the owner of the building or proposed building to which the project information memorandum relates is likely to be required, under section 21A of the Fire Service Act 1975, to make provision for a scheme that provides for evacuation from the scene of a fire, a statement to that effect; and
- ☐ (f) if the territorial authority considers that notification to the New Zealand Historic Places Trust is likely to be required under section 39, a statement to that effect; and
- ☒ (g) confirmation, subject to this Act, that building work may be carried out subject to the requirements of a building consent and subject also to all other necessary authorisations being obtained; and
- (h) if section 75 applies, the statement referred to in section 75(2).

Signed for and on behalf of the Hamilton City Council:

Name: A C Arcus  14 March 2007

Position: Authorised Officer
Building Control Unit

Building

14 March 2007

Double R Ltd
442 Peacockes Road
R D 2
HAMILTON 2021

Dear Sir/Madam

Consent Number: 2006/16519

Project: Fire Alarm System

Project Address: 40 Te Kowhai Road HAMILTON 2001

Legal Description: Lot 1 DP S8487

Thank you for the application for Project Information Memorandum. We are pleased to advise that this consent has been processed and is included in this letter.

Your next steps are:

1. PIM only:

- Read carefully the Project Information Memorandum comments on page 2 of this letter. This information may be important to you during the construction process.
- When you have completed the design and have all the documentation, please lodge your consent application with us. If you have carefully followed this PIM, then this should make the consent application process a lot quicker and easier for you.

2. PIM/Consent application:

- Read carefully the Project Information Memorandum comments on page 2 of this letter. This information may be important to you during the construction process.

Good luck with your building project and we look forward to our staff assisting you with the consent and any future building work.

Yours faithfully



Peter Conder
Council Building
Garden Place, Hamilton
Phone 07 838 6677

This is your Project Information Memorandum

This describes (if relevant) any special features of the land, Information of other Acts relating to the land or buildings, Details of waste and storm water systems and confirmation that the works will comply with the Building Act subject to the requirements of the building consent.

Planning

nil

Building

- (1) All work to comply with the New Zealand Building Code.

Electricity Transmission Lines and Towers

Please be aware that if your property is built under or adjacent to high-voltage electricity lines, or transmission towers/pylons, you are required to ensure that the proposed building complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Devices (NZECP34:2001).

It is the responsibility of the property owner to ensure compliance with NZCEP34:2001 and if necessary to contact the line owner to determine whether the proposed building will comply, prior to commencing any site activity or construction.

Please check with your Local Network Utilities Operator as to where your services are located, ie Telecom, WEL Energy and the Gas Centre.

WAIKATO BUILDING CONSENT GROUP BUILDING-CONSENT APPLICATION

PRINT CLEARLY WITH BLUE OR BLACK PEN

1. APPLICATION TYPE (tick one)

- ☒ Building Consent and PIM
☐ PIM only



OFFICE USE ONLY	Consent No. <u>2006/17086</u>
Date Received <u>13 DEC 2006</u>	Document No. <u>104433727</u>
Valuation No. _____	PIM No. _____
BUILDING	

2. THE BUILDING/PROJECT LOCATION

Street Number 40 Street Name TE KOWHAI RD.
Town HAMILTON CITY
Level or Unit _____ Building name _____ Lot(s) 1
DP/S 8487 Site area 2.2376 (ha) _____ (m²)
Other Information _____

3. OWNER

Name/Company DOUGLE R LTD
Mail Address P.O. 442 PEACOCKS RD
HAMILTON
Phone (daytime) _____
Fax _____
Mobile _____
Email _____
Attention _____ Ph _____

4. AGENT

Name/Company N. JESSOP ARCH.
Mail Address P.O. Box 306
HAMILTON
Phone (daytime) 854 6635
Fax 854 6636
Mobile _____
Email noel@nja.co.nz
Attention NOEL Ph _____
Relationship to Owner DESIGNER

Send Invoice to: ☒ Owner ☐ Agent (tick one)
First point of contact for communication: ☐ Owner ☒ Agent (tick one)

5. EVIDENCE OF OWNERSHIP ATTACHED

- ☒ Certificate of Title ☐ Lease ☐ Agreement for Sale and Purchase ☐ Other

6. THE PROJECT (tick one)

- ☒ New Building ☐ Demolition ☐ Addition ☐ Alteration
☐ Relocation ☐ Change of use ☐ Other (please specify below)

Description of Work: CONSTRUCT NEW WAREHOUSE WITH ATTACHED SINGLE STOREY OFFICE.

Intended Use INDUSTRIAL

Intended life of building (if less than 50 years) _____

Estimated value of work: inc GST \$ 395,000

Existing floor area _____ m² New Floor Area 442.10 m²

7. INFORMATION REQUIRED FOR PROJECT INFORMATION MEMORANDUM ONLY

You may have information about the site that is unavailable to Council but needs to be considered as part of this consent, this could be critical to the success of what you plan to do on the site. Please supply any relevant information/documents/diagrams and tick checkboxes if your project involves one or more of these:

- ☐ Is there a proposed subdivision for this land?
- ☒ Are you digging out the site for a building platform?
- ☐ Are there new or altered connections to Council sewer, storm water or water mains?
- ☐ Are you altering domestic sewer or storm water drains?
- ☐ Are you building near or over any road or public space?
- ☐ Are you building near or over existing domestic sewer, storm water, water mains or wells?
- ☐ Are you building or altering a vehicle crossing?
- ☐ Is this site contaminated?
- ☐ Will the building be sited on sloping ground, or near to a bank, a stream or a coastal zone?
- ☐ Is there any other relevant information? Please state in the box or attach information

8. BUILDING PRACTITIONERS INVOLVED IN THIS PROJECT

Continue on a separate sheet if required

BUILDER: <u>DOUBLE R LTD</u>			
Name:		Registration Number:	
Address:			
Telephone:	Fax:	Mobile:	Email:

PLUMBER: <u>DAVE HUNTER</u>			
Name:		Registration Number:	
Address:			
Telephone:	Fax:	Mobile:	Email:

DRAINLAYER:			
Name:		Registration Number:	
Address:			
Telephone:	Fax:	Mobile:	Email:

DESIGNER: <u>NOEL JESSOP ARCHITECTURE LTD</u>			
Name:		Registration Number:	
Address:			
Telephone:	Fax:	Mobile:	Email:

Project Role:			
Name:		Registration Number:	
Address:			
Telephone:	Fax:	Mobile:	Email:

Project Role:			
---------------	--	--	--

9. MODIFICATIONS AND/OR WAIVER REQUESTED FROM BUILDING CODE: ☐ Yes ☒ No
If yes, please specify clause and waiver/modification required, attach additional pages if needed:

10. APPLICABLE BUILDING CODE CLAUSES & MEANS OF COMPLIANCE FOR THIS BUILDING CONSENT

This application contains solutions that are different to the acceptable solutions contained in the Building Code: ☐ Yes ☒ No
If yes, please specify clause and the alternative solution to the Building Code. Attach additional pages if needed.

11. COMPLIANCE SCHEDULE - THE FOLLOWING SYSTEMS APPLY TO/ARE MODIFIED BY THIS PROJECT


Please tick appropriate boxes

Automatic Systems for fire suppression	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Automatic or manual emergency warning systems for fire and other dangers	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Electromagnetic or automatic doors or windows	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Emergency lighting systems	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Escape route pressurisation systems	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Riser mains for use by fire services	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Automatic back-flow preventers connected to potable water supplies	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Mechanical ventilation or air conditioning systems	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Laboratory fume cupboards	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Audio loops or other assisted listening systems	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Smoke control systems	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Lifts, escalators, travelators or other systems to move people or goods within buildings	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Building maintenance units providing access to exterior and interior walls of buildings	<input type="checkbox"/> New	<input type="checkbox"/> Modified
Emergency power systems for, or signs to, a system or feature specified in the above clauses	<input type="checkbox"/> New	<input type="checkbox"/> Modified

12. CONFIDENTIALITY

Please discuss with the Building Review Officer, this is generally for commercial or public buildings.

13. DECLARATION: SIGNED BY OWNER/AGENT ON BEHALF OF AND WITH AUTHORITY OF THE OWNER

Print name: N. JESSOP	Signature: 	Date: 11.12.06
-----------------------	---	----------------

14. PLEASE ENSURE THAT YOUR APPLICATION FOR BUILDING CONSENT CONTAINS:

- ☐ Complete application form with relevant documents
☐ Accurate set of plans and design statements
☐ Accurate set of specifications
☐ Other information relevant to this application, please specify:



OFFICE USE ONLY

FEES PAYABLE	
Project Information Memorandum	\$ 270
Building Consent - Application Fee	\$ 2440
- Approval Fee	\$
- Inspection Fee	\$
- Mileage	\$
Code Compliance Certificate	\$ 70
BRANZ Levy	\$ 395
DBH Levy	\$ 778.15
Photocopying	\$
Microfilm - A4	\$ 120
- A3	\$ 30
Street Crossing Administration	\$
Structural Check	\$ 40
Amendments to Consent	\$
External Consultants Check 1	\$
External Consultants Check 2	\$
NZ Fire Service Check	\$
Planning Bond/Resource Consent	\$
Reserves Contribution	\$
Rural Connection	\$
Fire Main	\$
Water Connection	\$
Water Disconnection	\$
Wastewater/Sewerage Connection	\$
Wastewater Disconnection	\$
Backflow Inspection	\$
Stormwater Connection - Mains	\$
- Kerb and Channel	\$
Stormwater disconnection	\$
CCTV Survey Wastewater	\$
CCTV Survey Stormwater	\$
Cellar Indemnity	\$
Council Bonds	\$
	\$
Compliance Schedule	\$
Development Contributions	
- Water	\$ 1386.32
- Stormwater	\$
- Wastewater	\$
- Transport	\$ 14130.36
- Community Infrastructure	\$ 801.31
Total Fees (inc GST)	\$ 20191.4
Less Deposit Paid - Receipt No:	\$
Reminder Fees Due	\$
	\$

REFERRALS

Structural Consultant:

Name:

Sent:

Returned:

Structural Consultant:

Name:

Sent:

Returned:

Other Consultant:

Name:

Sent:

Returned:

Other Consultant:

Name:

Sent:

Returned:

New Zealand Fire Service:

Sent:

Returned:

Historic Places Trust (Notification)

Date advised:

ADDITIONAL NOTES AND/OR FEES

AUTHORISED BY:

DATE AUTHORISED:

ISSUED BY:

DATE ISSUED:

RECEIPT No:

RECEIPT No:

RECEIPT No:

John Blake Consulting
PO Box 31
Otorohanga 3940

Ph/fax: 07 873 7698 Mob: 021 621 790
john@nzbuildingsoils.com



Hamilton City Council

Te Kaunihera o Kirikiriroa
**Building
NZ SOILS**

Phone 07 838 6699
Fax 07 838 6599

info@hcc.govt.nz
www.hamilton.co.nz

SOIL TESTS AND SITE ASSESSMENT NZS 3604 - Soil Capacity Testing and Site Suitability

Premises: M & G Clarke Trust Report : S1304 Date: 16 October 2010

Engineer:
J Blake

EXECUTIVE SUMMARY

It is proposed to construct a dwelling on a dairy farm site which is generally level. Soils are silts overlying clays. Ground water depth was shallow, but much lower than previously assessed when large volumes of water were being delivered from infrastructure works on adjacent land. Testing of soils and site assessment was carried out in accordance with Sec3 NZS 3604, the results of which, demonstrated that from a depth of 500mm, the supporting soils are 'good ground' (sec3.1.3.1) and the site and soil conditions (Sec3.1.3.2) are met.

The building foundations provisions of NZS:3604: 1999 apply to this building site.

1.1 Location Details

Premises Address/ location	173 Te Kowhai Road RD8 Hamilton
Owner:	M & G Clarke Trust
Contact:	Jody Barrett Production Administrator Keith Hay Homes jody@khh.co.nz (07) 829 9809
Legal description:	Lot3 DP 17176
Topographic map No:	Val No:
Regional Authority:	Environment Waikato
Local Authority:	Hamilton City Council

2.0 Site Assessment and Soil Testing

The site assessment carried out on 15 October 2010 was to investigate the suitability of the soils for the construction of foundations for the proposed dwelling, and their compliance with the criteria of NZS 3604:1997.

NZS 3604 requires determination of 'good ground' at the base of foundations by demonstration of ultimate soil bearing capacity by the performance of specified cone penetrometer tests and boreholes, plus the observation of site and soil conditions in respect of site profile, buried services, fill etc.

Four cone penetrometer tests were carried out, located at each corner, as shown on the attached plan, with a 50mm borehole augured adjacent to each test, in compliance with NZS 3604 Sec 3-Test Method for Soil Bearing Capacity

3.0 Soil Properties

This area is predominantly ridge and swale topography on soils of the Hinuera formation. These alluvial deposits cover much of the Waikato lowlands, and provide a variety of soils with different characteristics. Land is almost level. The site will be levelled by removal topsoil.

Alluvial soils were found to consist topsoils overlying sandy silts, overlying clayey silts and clays. Four 50mm dia boreholes were excavated at the locations indicated on the attached plan to 1200mm. Soils were uniform across the building platform.

As the depth of the silts increased, colour varied. Groundwater was found in the boreholes at 700mm depth.

PO Box 31
Otorohanga
Ph/Fax 07 873 7698
Mob 021 621 790

Member: Building Officials Institute NZ

**Building
NZ SOILS**

4.0 Scala Penetrometer Testing

Scala Penetrometer tests were carried out at locations adjacent to the boreholes and shown on the attached plan, to a depth of 1200mm

4.1 The soil layers consisting medium densely packed soils to 1200mm depth and generally giving Scala Penetrometer readings of 3 to 6 blows per 100mm, from a depth of 500mm below undisturbed ground level.

4.2 The results of the tests indicate that soil strength is generally more than the minimum requirements of NZS 3604:1999 Sec 3.3, and are therefore considered good ground pursuant to Sec 3.1

4.3 The strength of the soil does increase with depth as all layers are medium packed, and good bearing strength will be maintained.

5.0 Slope Stability

Site almost level. No risk of slips in the vicinity of this property

6.0 Site and Subsoil Conditions

Observation on site provided :-
No evidence of buried services;
No indication of landslips in the vicinity;
No evidence of earth fill;
No organic topsoils, soft peat or soft clays, thus meeting site conditions criteria.

7.0 Conclusion

The site was assessed on Tues 15 October 2010 and:-

- 1- specified scala penetrometer tests were performed, and the test results exceeded requirements of 3.3.6 , from 500mm to confirm that they have a bearing pressure of not less than 300KPa.
- 2- Observation and investigation showed that there is no organic topsoil, no soft peat, soft clay or fill below the depth of the underside of the proposed footings.

All the requirements of Sec 3.3.6 , are complied with, thus demonstrating that the supporting soils of this building site are 'good ground' pursuant to NZS 3604:1999 Sec 3.1.3.1 - Determination of Good Ground.

Signed :



John Blake

Report No: S1304

Date: 16 October 2010

PO Box 31
Otorohanga
Ph/Fax 07 873 7698
Mob 021 621 790

Member: Building Officials Institute NZ



Appx1 - Test Summary - Penetrometer Log

Date: 15/10/2010 Clarke Trust, Te Kowhai Rd Hamilton

Depth (mm)	Scala Penetrometer Test (Blows/100mm)					
	Test1	Test2	Test3	Test4	Test5	Test6
0-100	TS	TS	TS	TS		
100-200	2	2	2	2		
200-300	2	2	2	2		
300-400	1	3	2	2		
400-500	2	3	3	4		
500-600	3	3	2	3		
600-700	3	4	4	4		
700-800	3	6	5	4		
800-900	3	6	4	5		
900-1000	3	6	5	4		
1000-1100	4	6	5	5		
1100-1200	5	6	6	6		
1200-1300						
1300-1400						
1400-1500						
1500-1600						
1600-1700						
1700-1800						

TS - topsoil

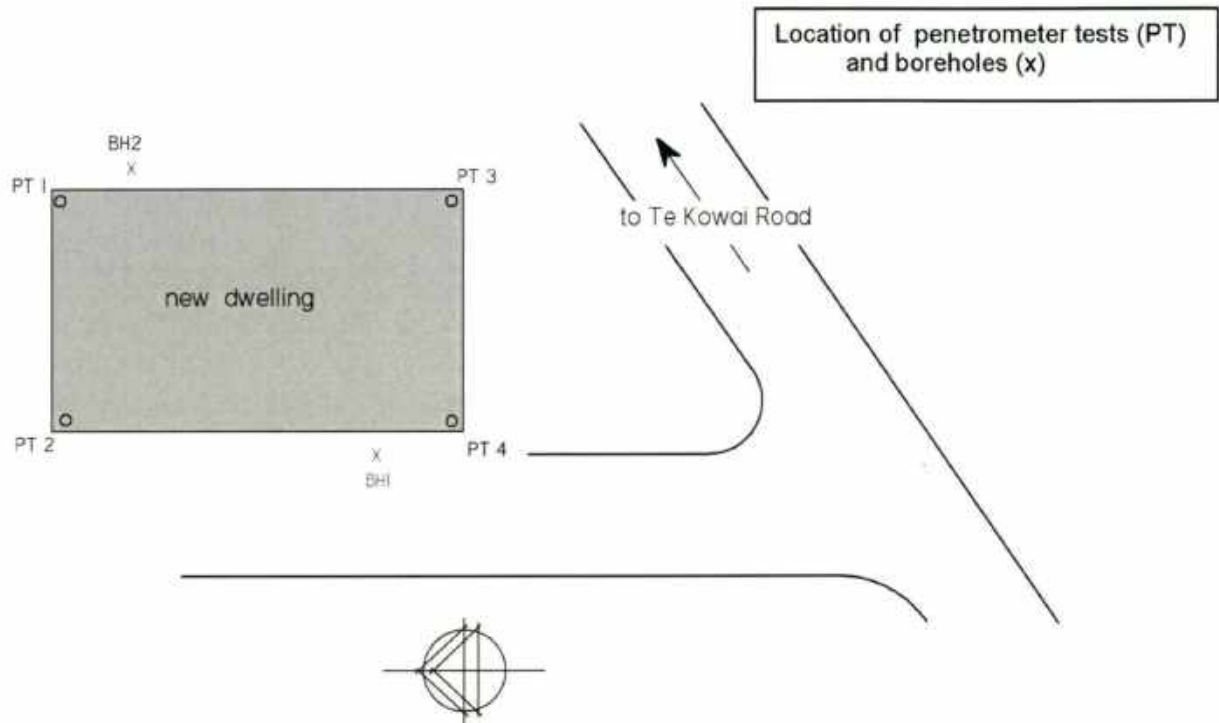
PO Box 31
Otorohanga
Ph/Fax 07 873 7698
Mob 021 621 790

Member: Building Officials Institute NZ



Appx2 - Test Summary - Soil Profile

Date: 15/10/2010 Clarke Trust, Te Kowhai Road Hamilton



Borehole Log 1		Clarke Trust property	Date: 15 October 2010
	A _p	- TOPSOIL - friable dark brown, grass on topsoil	
300	B _w	- SILTS – pale -,sandy silt, friable moist	
500	B _t	- SILTS - pale, clayey , moist mottled	
		current water table	
800		- CLAYS – silty clays, light brown	
1200		- Borehole completed	


John Blake Consulting
PO Box 31
Otorohanga

07 873 7698

Mob: 021 621 790


john@septic-solutions.com

SITE AND SOIL ASSESSMENT ONSITE WASTEWATER and STORMWATER MANAGEMENT

Premises: M & G Clarke Trust Report : A1288 Date: 20 Sept 2010 Assessor: 

J Blake

EXECUTIVE SUMMARY

The topography of the site of the dwelling is gently undulating . There are constraints to onsite wastewater management by virtue of the high ground water conditions, and the poor permeability of the silty soils on site. Huge volumes of water were pumped onto land in the vicinity to drain major infrastructure works, at the time of assessment.

Site provides choices for effluent application. (see attached plan) .

The design utilizes pressure-dosed septic tank effluent discharged to a raised sand mound. The mound both increases the depth of unsaturated soils for effluent remediation and avoidance of groundwater contamination. The sand mound also provides some secondary treatment which enables improved long-term permeability in the silty soils and avoidance of nuisance .

Environment Waikato's Permitted Activity Rules are met , and the requirements of the NZ Building Code and AS/NZS 1547 Domestic Wastewater Management Standard complied with.

1.0 SITE INFORMATION

1.1 Location Details

Premises Address/ location	173 Te Kowhai Road RD8 Hamilton
Owner:	M & G Clarke Trust
Contact:	Brad Kells, Laser Plumbing Hamilton West, 021 379 871 brad.k@laserplumbing.co.nz
Legal description:	Lot3 DP 17176
Topographic map No:	Val No:
Regional Authority:	Environment Waikato
Local Authority:	Hamilton City Council

1.2 Climate

Annual rainfall: 1200 mm
Annual evaporation: 843mm

1.3 Intended water Source

Dwelling will be served by farm reticulated water supply.

1.4 Local Experience

Number systems in vicinity: Performance: 5 . However typical of the area.
Problems evident: Some constraints. The area is flat, and although no watercourses are in the vicinity, has high ground water levels. The sedimentary soils , clays and silts have low permeability.

12 Long View Cres Otorohanga
Fax 07 873 7698
Mob 021 621 790
john@septic-solutions.com



2.0 SITE EVALUATION

2.1 Work Undertaken:

Details: Site walk-over. Confirm boundaries, physical characteristics, assess position regarding bores and water bodies . Identify appropriate location for onsite sewage disposal. Identify soil horizons and characteristics, groundwater depth etc . using 5 hand-augured holes,
Date: 14 September 2010 Weather: Previous 7 days heavy rain.

2.2 Topography

Slope: Site is almost level. Adjoining areas of original ground on the property are similar topography. An area adjacent to the building platform is at slightly lower level allowing application of primary effluent at a shallow depth.

Geology Confirm: Sandy silts overlaying clayey silts and clays.
1.00m depth, below topsoil.

Soil landscape Confirm: The clay silts are mottled indicating fluctuating water table.

Drainage Patterns:

Waterways: No watercourse in proximity.

Stands trees: Several trees in the vicinity. No effects on land application area..

Well / Bores: >30metres

Embankments: Nil.

Buildings: Nil

2.3 Site Exposure

Aspect: Open exposure to all winds.

Prevailing wind: Westerly

Shelterbelts: No

Topographical features: Flat, slight slope to South.

Site drainage: Farm drain to South of platform..

2.4 Environmental concerns

- Constraints.
- Management of risk of ground water contamination by wastewater discharge by virtue of the shallow water tables and low permeability soils.
 - Management of low permeability of soils to avoid nuisance conditions arising.

2.5 Site Stability Nil
Expert Assistance necessary No

2.6 Drainage Control

Depth seasonal Water table:	300 mm
Required cut-off drains	No
Required surface water cut-off / swales	Not applicable

Extreme conditions in respect of heavy rainfall, and large earthworks on adjacent property, with resultant pumping of high volumes of stormwater onto the land, creates adverse effects.

2.7 Reserve area available Yes
100% required . Available



3.0 SOIL ASSESSMENT

3.1 Soil Profile determination

Method: 2 hand auqured holes. On site soil assessment per ARC TP58 3rd Edn

3.2 Reporting Attached Bore Hole logs

3.3 Estimated Soil Category

Site	1	2				
Soil Category	4	4				

Remarks: Light clays – moderately structured Indicative Permeability: K= 0.06 – 0.12 m/day
Moderately structured

Recommended DLR : Raised mound application bed DLR – 30mm/d. Basal DLR – 8mm/d

3.4 Constraints

Main constraint – is high GW table, during heavy rainfall and during earthworks adjacent.
Depth of unsaturated soil must be created by construction of raised mound. Effluent quality
imptovement requd .required, with application at low rate consistent with receiving soils.

4.0 SYSTEM DESIGN Based on: AS/NZS 1547:2000 On-site Wastewater

4.1 Design Parameters	Loading	3 bedroom = 5 persons
	Wastewater Flow Rate	180L/person/day = 900 L/day
	Soil Type / Category:	Clay silts - Cat 4
	Design Loading Rate:	8 mm/day
	Site Drainage:	Moderately well drained
	Groundwater table:	300mm – See notes

4.2 Available system choices

- 1- Primary treatment and effluent land application via raised sand mound creates unsaturated soil conditions. Effluent treatment in sand fill improves quality and permeability in the poor subsoils. Septic tank ,outlet filter and pump chamber sited near dwelling. Effluent pressure-dosing to mound is intermittent, aerobic and uniform.
- 2 - Reduced water use by use of water reduction fixtures allowing reduced application area - low flush WCs, aerator faucets, low flow showers, FOFC on all outlets. These can achieve flow allowance of 120L/p/d from the 180L/person/day.
- 3 - Secondary treatment and distribution via dripper irrigation. However, ongoing maintenance, and operation costs required.

4.3 Recommended land application system

Septic tank and pump-dosed raised mound. Mound is constructed by removing part of topsoil only. Sand provides some 2ndary effluent treatment and increases permeability to subsoils. Depth of sand is 600mm , (500 above ground level). Application area is a conventional pressure-dosed bed set on sand – min depth 300mm. Flushing plugs are end of each line

Land Application Area = $\frac{Q}{DLR}$ where ... $Q = \text{Design daily flow (L/day)}$
 $DLR = \text{Design Loading rate}$
 $Q = 900 \text{ L/d} + 10\% \text{ peak load contingency allowance} = 1000\text{L/d}$
 $LAA = 1000 @ DLR - 30 \text{ mm} = 33\text{m}^2 \text{ application bed on sand mound}$

$\text{Mound EffluentApplication Area} = 33\text{m}^2$ Mound construction provides-
 $\text{Mound Basal Area} - 125\text{m}^2$ (Basal DLR – 8mm/d)
 $\text{Reserve area} - 100\% = 125\text{m}^2$

Application Bed shown – 8m x 4m(see drawing) or similar Bed layout – 3 lines , 1000mmm spacing, min sidewall clearance – 1000mm. Pressure dosed-dosed bed has nested 32mm pressure pipe in 100mm slotted rigid pipe, with 3mm squirt holes at 300mm centres. Pipe levels not critical since pressure dosing is uniform. Basal area - 125 m² provides effluent application uniformly at 8mm/day to the interface.



5.0 Stormwater Management Using NZBC E1 / VM1 Sec9

Introduction:

- ❖ Soils on site are shown to consist, poorly drained silts and clays to 1200mm .
Roof area, house – 101 m². Access road and driveway, will not be sealed.
- ❖ Ground water table, at the time of assessment was found to be 300mm depth. There were extenuating circumstances in addition to heavy rains, earthworks and discharge of pump surface waters carried out on adjacent land.
- ❖ Installation of an infiltration trench is not possible, to provide adequate storage and soakage under a storm of 1 hr duration and 10% probability of occurring annually, since groundwater levels are very shallow .

Conclusion:

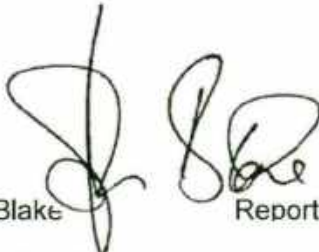
- ❖ Most appropriate method of stormwater management is to convey roof water to discharge to farm drainage system. In this case, the discharge from a small collection area will not adversely affect the very large farm drainage system, and attenuation has not been provided.

6.0 Soil Profile – Land Application Area

Borehole Log 1		Clarke Trust property Date: 14 September 2010	
	A _P	- TOPSOIL - friable dark brown, grass on topsoil .	
	B _W	300 ————— current water table ————— - SILTS – pale -,sandy silt, friable moist	Cat4
	B _T	500 - SILTS - pale, clayey , moist mottled	Cat4
		800 - CLAYS – silty clays, light brown	Cat5
		1200 - Borehole completed	

6.1 Factors of Safety and Rationale

- Factor of Safety – Mound Application bed increases unsaturated depth of subsoil for remediation
- Factor of Safety – Sand fill provides some secondary effluent treatment to increase permeability.
- Factor of Safety – intermittent pressure dosing provides aerated conditions.
- Factor of Safety – Basal mound area allows lower loading rate of only 8mm/day.
- Factor of Safety – 100% reserve Area designated


John Blake Report No: A1288

20 September 2010

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16 May 2000

Reference N° 11400

499 Te Rapa Properties Ltd
442 Peacockes Road
RD 2
HAMILTON



Peter C Dunkin
M.I.Fire E. F.N.Z.F.B.I.

Fire and Egress Consultants
IQP

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ATTENTION: Roger Giles

Dear Roger

**EMERGENCY LIGHTING SYSTEM
EARNEST PARK (ex ENZA site)
TE KOWHAI ROAD, HAMILTON**

As requested, I have reviewed the provisions of the Building Code and Approved Document C4 to determine the requirements for an emergency lighting systems in the buildings on the above site and forward the following for your consideration.

To summarise, an emergency lighting is not required in these buildings.

The basis for this conclusion is as follows:

The buildings are ex single level cold stores originally used for the storage of apples. When ENZA left the site, and prior to you taking over, it appears that the emergency lighting system was decommissioned. All that is left is illuminated EXIT signs that are no longer connected to a battery backup system.

The buildings are now used by freight forwarding trucking companies. The maximum number of occupants per building does not exceed 10 people.

From Approved Document C4:

Purpose Group	WL
Hazard Category	2
Occupant load	<10
Firecell rating	F0
Alarm	nil - no alarm system is required although a Type 3 alarm is installed
Other precautions	nil - no other fire safety systems are required

The installation of an emergency lighting system in these buildings is not a mandatory minimum requirement of Table B1/3. It does not have to be reinstated provided a Building Consent Application is lodged with the Hamilton City Council to formally request the removal of the emergency system, and of course they approve the application.

The Building Consent process will also remove the emergency lighting system from the Compliance Schedule.

Please include this letter with the Building Consent Application.

Annual IQP Inspection

Attached is a copy of the annual IQP inspection report to be included with the Building Consent Application for the information of the Council.

Should you require any further information please do not hesitate in contacting me.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Peter C Dunkin', with a stylized flourish at the end.

Peter C Dunkin

20 April 2000

Ref: 11400

499 Te Rapa Properties Ltd
442 Peacockes Road
RD 2
HAMILTON

ATTENTION: Roger Giles

Dear Sir

**EARNEST PARK (ex ENZA site)
TE KOWHAI ROAD, HAMILTON
1999 / 2000 ANNUAL IQP INSPECTION**

**Compliance Schedule N°s 363, 364, 365, 366, 367, 368, 369, 370
Expires 17 March 2000**

The annual IQP inspection was carried out on the above premises on the 28 March 2000.

The following systems and features are in the building

- CS 3 Emergency Warning System
- CS 4 Emergency Lighting systems
- CS 9 Mechanical ventilation and air conditioning systems
- CS 12 & CS 17 Signs
- CS 13 Means of escape
- CS 14 Safety barriers
- CS 15 Access and facilities for people with disabilities.
- CS 16 Fire hose reels

INTRODUCTION

The site formally known as the ENZA site was vacant for some time. It has now changed ownership and been redeveloped as an industrial park for freight forwarding businesses.

As site is under single ownership, the fire alarm system is one system with a main alarm indicator panel and 2 sector panels, it is proposed to maintain only 1 Compliance Schedule number for the entire site, **Number 00363.**



Peter C Dunkin
M.I.Fire E. F.N.Z.F.B.I

Fire & Egress Consultants
IQP

P O Box 601,
HAMILTON

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CS 3 Emergency Warning System

An automatic fire alarm system with heat detectors and manual call points is installed in all the buildings on site.

A service contract is being put in place with Wormald to carry out the monthly and annual inspections and testing of the system in accord with NZS46512: 1997.

CS 4 Emergency Lighting system

The emergency lighting is also no longer operable as it is now operated solely on the mains power supply, with no battery backup.

As the buildings are single level buildings the NZBC and Approved Document C4 does not require emergency lighting in any of the buildings on site. Therefore it is proposed that Compliance Schedule item CS 4 be removed from the Compliance Schedule.

CS 9 Mechanical ventilation and air conditioning systems

Mechanical ventilation systems originally used for the cool stores have been decommissioned and are no longer operable.

As the buildings are single level buildings the NZBC and Approved Document C4 does not require mechanical ventilation systems in any of the buildings on site. Therefore it is proposed that Compliance Schedule item CS 9 be removed from the Compliance Schedule.

I have carried out the annual IQP surveys on the following:**CS 12 & CS 17 Signs**

All signage in the buildings on site is satisfactory.

CS 13 Means of escape

The means of escape from all buildings on site is satisfactory.

All door hardware is in a satisfactory condition.

CS 14 Safety barriers

The barriers on the internal and external walkways and stairways are satisfactory.

CS 15 Access and facilities for people with disabilities.

An accessible toilet is provided on site for the use of all occupants on site. It is in a satisfactory condition.

CS 16 Fire hose reels

Most of the existing fire hose reels on site have had their annual service by Firewatch on the 3 January 2000.

The fire hose reels in the T.D.S. and Today's Foods tenancies require servicing as it was missed during the January visit. Although they appear in good condition and are in working order.

The 5 old fire hose reels under the canopy of the Allied Pickfords building have not been serviced for some time. As fire hose reels are not a mandatory minimum requirement of this building I recommend they be either removed or painted a different colour to remove the perception that they are an approved fire hose reel.

Records

As this site has been vacant for quite some time the Compliance Schedules and Building Warrant of Fitness inspections and recording had lapsed. It is understood the ex owners of the site have kept the existing records, as they are no longer on site.

The systems and features on the existing Compliance Schedules have been readdressed and updated to reflect the new site use. One new Building Warrant of Fitness Owners Manual has now been put in place to cover the entire site. The site maintenance person has been given the training to carry out the Owners inspections.

Building Warrant of fitness

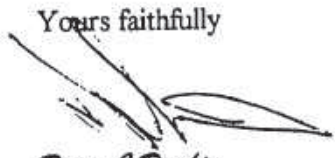
Because the inspections and records have only just been reactivated, the BWOFF has been signed stating that the requirements contained in the Compliance Schedule have been fully complied with during the previous 1 month.

The annual Building Warrant of Fitness has been renewed and a copy sent to the Hamilton City Council. The Building Warrant of Fitness is to be hung in the Roadfreighters Office at the rear of the site.

A copy of this report has been included in Owner Manual kept on site in the Roadfreighters Office at the rear of the site.

Should you require any further information please do not hesitate in contacting me.

Yours faithfully



Peter C Dunkin

IQP approval N° 1995080002

cc Regulatory Group
 Hamilton City Council
 Private Bag 3010
 HAMILTON