



Community Design Guidelines



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SECTION I

Introduction

Benton at Magnolia Woods is nestled in the heart of Baton Rouge along the beautiful Highland Road corridor which is lined with centuries old oaks, magnolias, and other trees indigenous to the State of Louisiana and the historic bluffs, making Benton a part of that enriched Baton Rouge tradition.

Great care has been taken in the planning, design, and construction phases to ensure aesthetic harmony within Benton at Magnolia Woods; therefore, it is of the utmost importance that this special character not be compromised by housing designs which are improperly conceived, unresolved, or poorly executed. For this reason, an Architectural Review Committee (ARC) will review all designs, plans and construction for:

- Consideration of primary site design issues.
- Excellence in architectural design.
- Sensitivity to blending/complimenting the residential and commercial designs and spaces.

These Design Guidelines have been established to provide owners, architects, and contractors with a set of parameters for the architectural design and construction of homes and commercial improvements. By encouraging quality and attention to detail, the aesthetic harmony and overall property values at Benton at Magnolia Woods will be enhanced and preserved through the ARC and the Design Guidelines.

SECTION II

Architectural Review Committee

Benton at Magnolia Woods is designed to be a unique community of single-family homes and townhomes. In order to ensure the quality of the community, a plan review process has been established to review individual building and landscape plans. Within the community, the goal is to maintain pleasing aesthetic relationships of building to site and building to building — while allowing individual creativity and preference.

The Architectural Review Committee is to review the plans and construction documents to ascertain that the Improvements will thoroughly comply with the Design Guidelines, PUD and all the restrictions set forth in the Declaration and any Supplemental Declarations. The Architectural Review Committee does not assume responsibility for the following:

- The structural adequacy, capacity, or safety features of the structure and/or improvement.
- Non-compatible or unstable soil conditions, soil erosion, etc.
- Compliance with any or all building codes, safety requirements, and governmental laws, regulations or ordinances.
- The performance or quality of work of any architect or contractor.

The Architectural Review Committee is composed of three members who may or may not be members of the Board of Directors of Benton at Magnolia Woods Homeowners Association, Inc. (HOA).

Professionals, such as architects, landscape architects and/or engineers, may serve on the ARC and aid in the review of building and landscape plans. In order to explain the review process and what is required for plan approval, the Architectural Review Committee has developed the Design Guidelines. The ARC will use these guidelines for the purpose of review but may consider individually the merits of any project due to special site conditions. Any project reviewed for special consideration must be shown to benefit the specific site, adjacent areas and the community as a whole.

The inclusion of any guideline or recommendation herein shall not preclude the ARC's right to disapprove of any proposed project, for any reason. The ARC reserves the right to modify, impose more stringent, or waive any requirements herein, not conflicting with Local, state, or federal law.



SECTION III

Definitions

Any terms not defined in the Declaration and Supplemental Declarations.

Outbuilding or Accessory Building shall mean a roofed Improvement located within the designated portion of the yard on a Lot. Examples include covered porches, shade pavilions, cabanas, storage buildings, etc. These should match the architecture and materiality of the main residence.

Height shall mean the vertical distance between the crown of the road at the centerline of a Lot and Mean Roof Height on an Improvement.

Balcony shall mean an unglazed overhanging structure or Improvement.

Porch shall mean an unglazed roofed structure or Improvement not enclosed or screened.

Yard shall mean the open space on the same Lot as the principal building.

Mean Roof Height shall mean the highest point at the top of an Improvement or the highest point of the coping of a flat roof Improvement, the deck line of a mansard roof of an Improvement, or the mean height level between eaves and ridge for gable, hip, domed, curved, and gambrel roofed Improvements. Improvement features such as chimney height shall not be included in the methodology for measurement for Mean Roof Height.

Frontage or Frontage Line shall be defined as the dimension of the lot facing the thoroughfare that is designed for the most traffic, maybe a vehicular passage or pedestrian passage.

SECTION IV

Architectural Code

The following General Conditions shall apply unless prohibited or restricted by the PUD, Declaration, and Supplemental Declarations.

SECTION V

General Conditions

All plans and designs must be approved by the Architectural Review Committee.

All plans for the construction, repair, or physical alteration of any improvements to or on a lot shall comply with the Design Guidelines, PUD, Declaration, and Supplemental Declarations shall be submitted to the Architectural Review Committee in advance.

The Architectural Review Committee shall review all applications for conformance with the Benton at Magnolia Woods Design Guidelines. In addition, the Architectural Review Committee shall review any and all aspects of architectural design that affect the character of Benton at Magnolia Woods, including but not limited to building placement, form, proportions, height and massing, and exterior details, materials, color, and landscape.

Building elements, fixtures, and materials specifically noted herein are subject to approval by the Architectural Review Committee and shall be drawn and noted in submitted plans at the appropriate phase of design approval. Failure to do so may result in resubmittals and delay of the approval process.

Variances to the Architectural Code may be applied for in the design-approval process and are granted at the discretion of the Architectural Review Committee. Variances shall not be approved based on existing precedents nor shall approved variances be considered precedents for future applications.

The Design Guidelines and its enforcement through review and approval are intended to regulate the aesthetic character of Benton at Magnolia Woods. All applications for building or improvement construction are required to conform with applicable building and life safety ordinances, and applicants shall be responsible for obtaining all necessary permits and approvals from local regulatory agencies. In any case, where building, improvements, or life safety ordinances conflict with the Design Guidelines of Benton at Magnolia Woods, the Architectural Review Committee shall be notified of the conflict.



The Design Guidelines may be amended by the Declarant in its sole discretion, without the approval of any Person, Owner or Mortgagee.

Stormwater Management: All lots shall follow their approved Stormwater Prevention Pollution Plan (SWPPP) or may submit an alternative drainage plan certified by a civil engineer as fulfilling its stormwater management requirements.

Adequate provisions shall be made for storm-water management on each lot. Gutters discharging in front yard, side yards and rear yard setback areas shall be collected to the interior of the lot through underground piping.

The following shall be subject to approval from the Architectural Review Committee: mortar colors, awning colors and patterns, fence designs and exterior light fixtures, roof materials, paint colors, column types, and windows.

The following shall be submitted to the Architectural Review Committee for approval and if permitted, shall only be allowed in rear yards and where not easily visible from streets or paths: HVAC equipment (“silent” models preferred), utility meters, permanent grills, permanent play equipment and hot tubs (those as ground level must be covered). Plot plan submitted in plans labeling equipment locations.

The following shall not be permitted: Panelized wall materials, quoins, keystones or wall perforations, window air-conditioning units, exterior fluorescent lights, exterior flood lights, above-ground pools, (except those of the inflatable variety), sign (on private property), scroll work and external alarm systems.

Elevation of sidewalks: Sidewalks shall be constructed one inch (1”) above the ribbon curb of the nearest on-street parking space.

Finished floor elevations shall be a minimum of twenty four inches (24”) above existing sidewalk with an exception for garages, or as approved by the ARC.

Elevation of buildings: Main buildings shall be elevated using raised slab, wood or masonry pile foundations, or masonry stem walls and spread footings.

SECTION VI

Application Process

Prior to the commencement of any construction activity of any type on any site, a Design Review Request Form must be submitted by the owner to the ARC. Included with the Design Review Request Form shall be such documents and other information as requested by the ARC and outlined in the Design Guidelines, including all applicable fees. In addition, any requests for variances from the Design Guidelines must be submitted in writing with the Design Review Request Form. Approval of these documents by the ARC must be received prior to the start of any clearing, grading, or construction.

The property owner should familiarize themselves and their building team with the ARC and Design Guidelines as well as the General Rules for Contractors and Subcontractors.

East Baton Rouge Parish and its planning department have jurisdiction over the community at Benton at Magnolia Woods. They should be contacted at the beginning of the planning and design process to ensure compliance with their regulations. It should not be assumed, however, that mere compliance with East Baton Rouge Parish standards is acceptable to create a better overall community appearance.

SECTION VII

Construction Deposit

Each lot owner will be required to provide a construction deposit (payable to “Benton at Magnolia Woods Homeowners Association”) prior to any work commencing on the lot, including fill dirt, site clearing and site preparation. The purpose of the construction deposit is to ensure a clean job site, compliance with the contractors general rules, overall community appearance, and that the residence was built according to the approval plans.

Licensed general contractors are required to pay a \$2,000 construction deposit.



The General Rules for all Contractors, Sub-Contractors, Vendors and Service Personnel outline what is expected on the job site of personnel and site cleanliness. Inspections of the job site and community by the HOA, will keep the ARC informed of any violations within the community.

A written notice will then be issued to the lot owner or agent to correct the violation. If the violation has not been corrected within the given period, the condition will be corrected by the HOA and charged to the lot owner. The amount will be deducted from the construction deposit until the deposit is exhausted, at which time the lot owner will be billed for any additional expense. Maintaining a clean and orderly job site within the community is one purpose of the construction deposit. The other reason for the deposit is to ensure that the home's exterior and landscaping are built according to the approved documents. The design review process focuses on creating a quality community and maintaining property values. Deviation from the approved plans and Design Guidelines defeats the purpose of the review process. Deviations from the approved plans may require the HOA to cause the owner to correct the situation. If not corrected in a timely manner, the HOA may correct the situation and charge the lot owner for the expense. If no violations occur, the construction deposit will be returned in full after the final review.

SECTION VIII

Construction Signage

Construction signs, which are required on all job sites, are purchased through the HOA. This sign is designed to be used during the construction period only and should be promptly removed after construction.

The developer offers two signage configurations — one for a built-for-sale property and one for a custom, pre-sold property.

Signage components may be re-used if the sign is still in good condition. The Developer reserves the right to require a Contractor purchase a new sign in the event that the site signage is damaged beyond a reasonable amount.

Sample Available Property Sign



Sample Pre-Sold Property Sign



SECTION IX

Design Review Procedure

The design review is conducted to assure adherence to these design guidelines only and is not intended to approve or recommend the structural integrity, quality or performance of any design or material. The design review process is a simple procedure of following the step-by-step design review format and complying with the requirements outlined in the Design Guidelines. In order to expedite the review process, the review format has been structured to achieve a smooth and timely transition from preliminary review to final site inspections.

The ARC has established a schedule for plan submittal, review, and meeting with the owner/agent to discuss any questions or concerns. Plans for the review must be submitted to the HOA and each submittal must be accompanied by a completed Design Request Review Form and Review Fee (detailed on the following page).

Plan Review Fee Schedule

New Home Construction	
Plan Review Fees	
Built-for-Sale Home	\$1,100
Custom Home	\$1,350

Supplemental Review Fees	
Home Addition	\$600
Outdoor Kitchen	\$300
Pool	\$300
Fence / Wall	\$150
Generator	\$100
Gutters / Drainage Improvements	\$100
Landscaping	\$200
Paint	\$100
Roof Alterations	\$100
Other Minor Alterations	\$100

Any additional changes that require review will be billed hourly by the ARC.

This fee has been established to partially cover the expense of reviewing plans and related data as well as to compensate any consulting architects, landscape architects, urban designers, inspectors, or attorneys retained by the ARC.

SECTION XI

Submission Requirements

The following steps represent the necessary procedures required to build in Benton at Magnolia Woods. It is important to note that any deviation from the procedures could cause unnecessary delays and or additional costs and fines if approvals are not obtained prior to construction.

STEP 1: PRELIMINARY DESIGN REVIEW

The Architectural Review Committee requires those who are building new structures or additions in the community to submit preliminary drawings for review. For the preliminary design review, you must submit the following:

- the required drawings (see below)
- a complete Design Request Review Form
- the Review Fee

A preliminary design review does not constitute final approval on any aspect of the design. A copy of the Preliminary Design Drawing Requirements may be submitted either electronically or physically. These requirements are considered minimum, and the Architectural Review Committee reserves the right to request additional drawings deemed necessary to conduct an adequate review.

Surveyor's Topographic Survey:

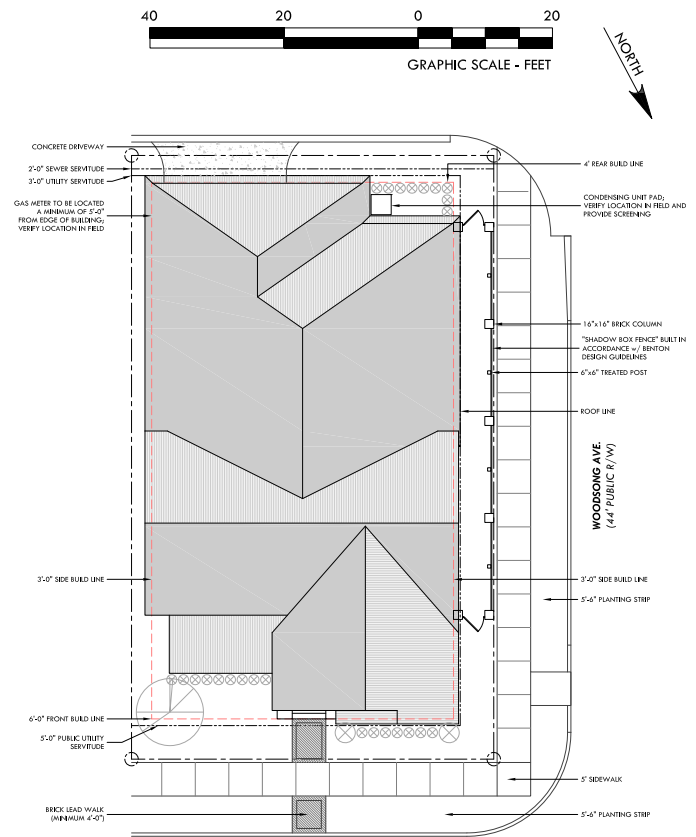
- Existing tree locations, type and size
- Existing site grade elevations (max 50' grid), street and existing curb elevations and elevations along each property line
- Property line boundaries and all servitudes
- PCE-Proposed Certificate of Elevation which states the minimum elevation required
- Actual distance from property line to street curb

Proposed Site Plan:

- All of the above from surveyor's topography
- Proposed finish floor elevations
- Proposed surface and sub-surface site drainage for construction (prior to landscape). Note this is to be shown with contour lines and or adequate point elevations and in the case of sub-surface show catch basin locations, line sizes and locations and where they tie into existing drainage systems. All construction swales must be shown.
- Driveway and curb cut elevations
- Building outline
- Other site improvements (walks, retaining walls and their materials and heights, etc.)

Proposed Building Elevations:

- Proposed exterior materials, window and door types, shutters, etc.
- Highest roof peak height dimension above proposed finish grade at the front entry



Typical Site Plan

STEP 2: PRELIMINARY DESIGN REVIEW

The Architectural Review Committee requires those who are building new structures or additions in the community to submit the following construction documents. The construction document submittal should incorporate the required drawings containing all of the requirements of the Design Guidelines as well as comments from any reviews.

Drawing Requirements:

These requirements are considered minimum, and the Architectural Review Committee reserves the right to request additional drawings deemed necessary to conduct an adequate review. Please note all required drawings must be submitted to the HOA.

Site Plan:

All information from surveyor's topographical survey (see Step 1).

- Show trees to remain and trees to be removed, using different symbols
- Finish floor elevations. If this elevation is modified by minimum elevations required by the City of Baton Rouge, the Owner is required to notify the HOA office prior to any construction
- Proposed site drainage for construction (prior to landscape). Note this is to be shown with contour lines and or adequate point elevations
- Driveway and guest parking with curb cut elevations
- Sidewalks and entry walks with point elevations
- Air conditioning condensing unit locations
- Hardscape, (patios, courtyards, fountains, additional walks, pools and pool decks, etc. may be submitted with landscape plans, see step 6)
- Building outline
- All servitudes locations and types
- Fencing location, height, and type (may be submitted with landscape plans, see step 6)
- Retaining wall locations, size, type, height, and finish
- Other site improvements

Landscape Plan:

May be submitted after construction begins.

First Floor Plan:

Decks, patios, stoops, retaining walls, trash enclosures or garbage can storage, air conditioning and utility screening, front entry steps with sizes, materials and finishes, driveway, walks and all interior spaces should be located and dimensioned.

Second Floor Plan:

Indicate dimensions and draw to scale lower roof projections, roof overhangs, chimney locations and interior spaces. The second-floor plan should correspond with the first-floor plan and site plan orientation.

Roof Plan:

- All roof areas and corresponding slopes
- Roof material
- Label and locate all roof vents, projections, gutters, downspouts, crickets, chimneys, flashing, skylights, and vents

Building Elevations:

- All elevations are to articulate material, finish, window types, shutters, trims, fascia details and other architectural detailing. The proposed finish grades at building must be indicated, along with air conditioning and trash screens, decks, and exterior stairs.
- The elevations should indicate height from first floor finished elevation to the uppermost roof peak.
- Schedules
- Door schedule
- Window schedule



- Finish schedule
- Details at appropriate scale. All details required for construction, particularly exterior details, including but not limited to:
 - Typical exterior wall section
 - Sections through all porches and balconies
 - Column details
 - Chimney details
 - Shutter details
 - Dormer details

STEP 3: PLAN REVIEW

After construction document review, the committee's decision will be returned to the property owner with one of the following responses: "No exceptions taken" (construction may proceed), "Make corrections noted" (construction may proceed with noted corrections to plans), "Revise and Resubmit" (construction may not proceed) or "Resubmit" (construction may not proceed). In some instances, particularly those in which multiple final reviews are required, an additional review fee may be levied. In any such instance, the property owner or their authorized agent will be advised in advance of any impending problem, and prior to the levying of an additional review fee.

The Architectural Review Committee will retain the final reviewed drawings for a maximum of one hundred eighty (180) days after final review. If work has not commenced or if the property owner has not been issued a continuance within the above time period, the approval will expire. A re-application and review (subject to any new regulations) will then be required in order to begin construction.

STEP 4: SITE PREPARATION

Based on the construction document review, approval to clear and prepare the site for construction (excavation or fill) may be granted. This approval must be obtained from the HOA in writing before any site work can commence.

STEP 5: SITE REVIEW & INSPECTION

After plan approval, the owner may proceed with foundation forming. There are three site reviews or approvals that are required from the Architectural Review Committee during the construction process. The purpose of the site review is to ensure compliance with the approved plans. After obtaining approval with each step, permission will be granted to continue with construction. They are as follows:

- A form or slab survey is required
- A site review or inspection is required after the framing is completed
- A final inspection is required when home construction and all landscaping/hardscaping is complete. Final review approval must be obtained prior to release of any deposits and owner move in.

A \$10,000 deposit is required prior to occupancy if final review is not approved. This deposit will be refunded when final inspection or review is approved.

Please note a re-inspection fee may be charged if the architect must re-inspect the site. To arrange for a site inspection, contact the HOA. This approval must be obtained from the HOA in writing before any site work can commence.

STEP 6: LANDSCAPE REVIEW

The landscape plan should indicate size, spacing, quality, and quantity of plants, drawn sized and spaced to scale with an accurate plant list. All hardscape surfaces (driveways, walks, patios, retaining walls, courtyard walls, fountains, pools, fencing, decks, etc.) must include point elevations and heights.

Final site drainage plan is to be shown with contour lines and adequate point elevations. Also, all sub-surface drainage is to be shown. The landscape plan is the final drainage plan for the property and will be reviewed for all requirements related to individual lot drainage.

STEP 7: FINAL REVIEW

After landscape installation and all construction is completed, a final review of the project is required. Final review approval must be obtained prior to release of any deposits.



SECTION XII

Urban Code

New Home Construction	MINIMUM ALLOWABLE CONDITIONED BUILDING SIZE	MAX BUILDING HEIGHT	FRONT SETBACK	REAR SETBACK	SIDE SETBACK	SIDE SETBACK (CORNER)*
Village Residential						
Village Cottage	1,700 SF	35'	6'	10'	5'	8'
Village Estates	2,500 SF	35'	15'	15'	5'	8'
Village Park — Cottage	1,700 SF	35'	6'	10'	5'	8'
Village Park — House	1,700 SF	35'	6'	10'	5'	8'
Village House	2,200 SF	35'	10'	10'	5'	8'
Highland Rowe	—	35'	5'	4'	—	—
Village Commercial						
Benton Commercial District	—	52.5'	5'	5'	5'	—

*Corner lots: 7, 20, 21, 24, 38, 43, 44, 50, 51, 55, 58, 59, 63, 64, 68, 69, 71, 72, 74

Lot setbacks listed above subject to change.

SECTION XIII

Building Types

Village Cottage House: The cottages are known for their distinct architectural style. They are smaller homes, intended to house a single family. Cottages are typically asymmetrical, one to one-and-a-half story dwellings with low-pitched gable roofs and small covered porches. Benton Cottage Homes are an interior cluster of homes with rear load garages.

Village Cottage Lots: 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68

Village Estate House: An edge-yard building type consisting of a single-family dwelling on a larger sized lot, sometimes shared with an ancillary building. Benton Estate lots are exterior lots facing Magnolia Woods Subdivision and have front load garages.

Village Estate Lots: 7, 8, 9, 10, 11, 12, 40, 41, 42, 43, 44, 45, 46

Village Park Cottage/House: A detached house located on a lot fronting the park. These houses are single family homes ranging from a variety of architectural styles, including courtyard homes. These homes are in a prominent area of the community, or our “front door” therefore, great care should be given to the details of the house.

Village Park Cottage Lots: 21, 22, 23, 24

Village Park House Lots: 25, 26, 27, 28, 29, 30, 74

Village House: An edge-yard building type consisting of a single-family dwelling on a larger sized lot, sometimes shared with an ancillary building. Benton Village Houses have front-loaded garages and face the interior of the development with views of the park and cottages.

Village House Lots: 13, 14, 15, 16, 17, 18, 19, 20, 31, 32, 33, 34, 35, 36, 37, 38, 39, 47, 48, 49, 50, 51, 52, 53, 54, 69, 70, 71, 72, 73



Highland Rowe: Townhouses are single family houses that are narrow, vertical multi- floor homes that share one- to two walls with adjacent properties but have their own entrances. Highland Rowe faces Highland Road with architectural styles and details that blend with the other structures at the entrance of Benton at Magnolia Woods. The garage will be a rear-load from the alley.

Highland Rowe Lots: 1, 2, 3, 4, 5, 6

Outbuilding: A roofed Improvement located within the designated portion of the yard on a Lot. Examples include covered porches, shade pavilions, cabanas, storage buildings, garages, etc.

Commercial Mixed-Use Building: A rear-yard, flexible commercial building type with commercial and office uses on all floors, including hospitality uses (hotels). Commercial buildings have floorplates deeper than residential ones. This type lines urban blocks with a continuous street wall with large parking lots or structured parking behind. Syn.: Commercial Building, Office Building, Hotel

SECTION XIV

General Architectural Guidelines

Modern, Victorian, and Mediterranean architectural styles are prohibited. Evaluation of the appearance of any improvements shall be based on the quality of its design and relationship to its surroundings.

Buildings and improvements shall have good scale and be in harmony with permanent neighboring developments.

Building components, such as windows, doors, eaves, columns, column bays, dormers, roofs, roof slopes and parapets, shall have good proportions and relationships to one another.

Materials shall have good architectural character and shall be selected for harmony of the building and adjoining buildings.

Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have similar materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from common areas.

Materials shall be of durable quality.

In any design in which the structural frame is exposed to view, the structural materials shall be compatible within themselves and harmonious with their surroundings.

Mechanical equipment or other utility hardware on roof, ground, buildings, or improvements may be required to be screened from public view from the adjoining property at street level with materials harmonious with the improvements. Alternatively, they shall be positioned so as to be screened from any common areas when viewed from street level.

Exterior lighting shall be part of the architectural concept. Fixtures and all exposed accessories shall be harmonious with building design.

To the extent permitted by the Declaration, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from view from common areas with screening masses compatible to the building design.

In addition to the requirements set forth in the Declaration and any Supplemental Declarations, the following factors and characteristics, which affect the appearance of a development, shall govern the evaluation of an application:

- Preservation of natural landscaping
- Conformance to Design Guidelines and Declaration and Supplemental Declarations
- Logic of design
- Exterior space utilization
- Architectural character
- Attractiveness
- Material selection
- Conformity and compatibility with existing architectural styles
- Traffic circulation — vehicular and pedestrian
- Maintenance aspects

Parking Standards

Owners must be able to fully park a minimum of 2 vehicles within their lot, whether within garage or on driveway.

For Lots that do not have a rear alley, the garage shall be at least 18 feet behind the front building setback line as designated on the Final Plat. Guest parking is provided in designated areas along the street (on-street parking) and adjacent to or within certain common areas (head-in parking) within the masterplan. All vehicular traffic and parking will be done so in conformance with the Louisiana Vehicle Code. Minimum required parking is set forth on the PUD Circulation Plan. Additional parking requirements may be set forth in the Declarations or Supplemental Declarations.

Please see Exhibit B for Approved Driveway Specifications.

Mailboxes and Dwelling Numbers

No mailbox, newspaper box, or other receptacle of any kind for use in the delivery of mail, newspapers, magazines, or similar material shall be allowed. An address plaque may be established by the Committee, as well as house numbers on the garage side of each home being required.

Massing

Excluding porches and balconies, the massing is limited to a maximum of three (3) plan rectangles: These corresponding to main house, wing, and garage. Buildings shall be oriented parallel to a straight principal frontage determined by the Architectural Review Committee in its sole discretion. Lines should be confirmed with the Architectural Review Committee. Exceptional shaped lots shall be reviewed by the Architectural Review Committee. Houses on corner lots shall have composed facades on both street frontages.

The Declaration and Supplemental Declarations may require ground finished floors of building and improvements to be raised a minimum of twenty-four inches (24") above the average sidewalk grade along the building frontage, or as approved by the ARC.

Building Walls

Exterior building walls shall be made of concrete/masonry or wood stud and finished in stone, brick, stucco, or wood. Wood finishes included: wood clapboard, smooth sided Hardi plank, board and batten, or board on board, and then sealed with an approved color of paint or stain. All paint and stain colors must be approved for the location of use. Stucco finish shall be smooth (steel-troweled) only. A sample of stucco must be submitted before installation.

Where a building party wall directly abuts a future building party wall, owners must provide +/- 1" setback from property line to accommodate stucco finish at outside face of party wall. Foundation Walls, piers and pilings shall be parged block, smooth-finished poured concrete, or wood. Retaining walls shall be masonry and finished in stone, brick, or stucco. Brick skirting should be included at the front porch.

Brick can be mortar sacked, lime washed, and/or painted. Used brick is recommended for all masonry that is to be exposed. Request to use new brick can be submitted for consideration by the ARC.

The ARC will employ discretion in allowing homes with the same or similar color palettes next to each other. White houses will not be positioned next door to each other unless permitted otherwise by the ARC. It is required to submit photos of the homes on the left and on the right of the lot under review.

Foundation walls may be articulated with projected stucco, exposed concrete, or stone facing. Brick facing shall be aligned with the wall. Stone materials must be natural stone — as opposed to synthetic or faux finish material made to look like stone. Maximum 12" of visible exposed foundation above grade.

Parapet copings shall be made of stucco, concrete, stone, painted metal, or copper.

Exterior stucco shall be applied without visible control joints and to temporary grounds at all corners and projections. Permanent beads or stops and control joints are strictly prohibited. Architects are advised to note as such in final building plans and to notify the builder prior to stucco application.

Prohibited:

- Panelized wall materials, exposed CMU, wood-grained Hardi siding/cement board
- Pre-cast or foam applied molding (except when encased in 3-coat stucco finish), and trim
- Plastic or metal stucco beads or stops
- Stucco control joints where visible from a common area (except at abutment to adjoining house – placement to be coordinated with the Architectural Review Committee)

Building walls may be built of no more than three (3) materials and shall only change materials at inside corners, at possibly a horizontal transition between 1st and 2nd floors or underneath covered areas.



Horizontal siding shall include a maximum of seven inch (7") reveal. Exposed siding corner joints are encouraged.

Stucco or plaster coating may be applied to concrete block or poured concrete. Stucco shall be steel troweled smooth finish.

The Architectural Review Committee encourages a mixture of different facades, textures, and materials for building walls such as natural brick with stucco, wood, painted or washed brick. As example: a brick façade with wood or stucco on sides, etc. If a single material is desired for building walls:

- An all wood, stucco, or siding house is allowed.
- The use of natural brick (often called old brick or antique brick), because of its historical nature, is encouraged.
- If new brick, modular in size and a true tumbled brick
- Preferable vendors include
 - Old Texas (OldTexasBrick.com)
 - Cherokee (CherokeeBrick.com)

Roofs and Eaves

Roofs shall be clad in one of the following materials, in its natural color: galvanized roofing to be architectural shingles, 5-V crimp or standing seam metal, metal roofing to have no striations, slate, or cedar as approved by the ARC.

Gutters and Downspouts, when used, shall be made of galvanized steel, copper (not copper-coated), anodized or ESP aluminum in seamless half round or square profile. Metal chains may be used in lieu of downspouts. Downspouts shall be placed at the corner of the building less visible from nearby streets. Splash blocks shall be made of concrete, brick, or gravel.

Flashing shall be copper, lead or anodized aluminum. Downspouts at sides between houses must tie in downspouts to sub surface drainage. Minimum roof slopes to be 6:12 and maximum 16:12, gabled hips, hipped gables and flared hips allowed, flat roofs with parapets are also allowed.

Ancillary buildings roofs (attached to or detached from principal walls or roofs) may be gabled, hipped, shed (no less than 6:12), domed, vaulted, or flat with a parapet. Roofs on towers shall be flat, domed or have a slope which matches the primary structure. Pigeonier roof slopes may exceed 12:12.

Parapets are encouraged to reflect vernacular conditions as found in French Colonial, French Creole, and Franco-Caribbean colonial towns. French and Parisian influences are acceptable based upon architectural merit and as approved by the Architectural Review Committee. Eaves shall be continuous, unless overhanging a balcony or porch. Roof slopes may break to a shallower pitch at the eave. Corniced eaves are permitted if approved by the Architectural Review Committee. Bay window roofs shall be independent of building roof and shall be hipped or shed. Parapets at uninhabited roofs shall be at minimum eighteen inches (18") high.

Primary roofs and ancillary or incidental pitched roofs of stoops, porches, canopies, bay windows, pigeoneers, and the like may be made of metal or shingles.

Exposed gutters shall be K-shaped or half-round in profile. Downspouts shall be round in profile. Gutters and downspouts shall be made of unpainted copper to match flashing. Rain chains are permitted in lieu of leaders. Where extending over adjacent property line(s) or paths, gutter(s) are required and shall be returned within property lines wherever possible. Gutters may be concealed in roof or attached to eaves.

Roof penetrations except stucco or brick chimneys, shall be placed so as not to be easily visible from streets or paths. Roof penetrations, except stucco or brick chimneys, shall be painted to match the color of the roof, except those of metal which may be left unpainted. Skylights are not permitted. Lanterns are permitted on pitched or flat roofs, subject to approval of the Architectural Review Committee.

Doors and Windows

Exterior doors shall be made of wood or metal-clad wood stained. All exterior doors shall be installed with brick molds. All exterior doors, including garage doors, shall be painted or stained.

Garage doors shall be overhead sectional or side-hinged and shall be made of wood, composite or metal. Full overlay doors are encouraged but not required. Doors must contain hardware. Garage door design must be approved by the Architectural Review Committee.

Garage door openings shall be a minimum of eight feet (8') tall. Garage doors do not require lites. If home type is street facing, front load, or J-load, garage doors must have applied panels or be carriage style.

Garage doors facing an alley shall have a cantilevered light fixture centered above the door or lights in a soffit providing light to each garage door with an incandescent or LED bulb equivalent to 40 watts activated by a photocell. Garage doors shall be painted or stained.

Windows shall be predominantly operable sash type and made of wood or metal-clad wood with impact-resistant glazing. Windows and door windows shall be glazed with clear glass, except as otherwise required. All windows shall be installed with brick molds.

Casement and fixed-window types may be used incidentally. Fixed windows must be sash set. Figural windows are permitted, subject to approval of Architectural Review Committee. Windows shall be rectangular, vertically proportioned, and operable.

Transoms may be oriented horizontally with panes having other opening configurations, but primarily horizontally proportioned. Multiple windows in the same rough opening shall be separated by a four inch (4") minimum post or one and a half inch (1-1/2") wide minimum mullion. Windows and exterior doors shall be mounted within wall thickness at centerline or toward interior face of wall to allow operable shutters to be flush with exterior wall when closed. Windowsills in masonry construction shall project a minimum of one inch (1") from the face of the building.

Window muntins are encouraged and shall be true divided lite or fixed on the interior and exterior surfaces. Simulated Divided Lites are acceptable on sides and rear of home not facing a street. Individual window and door lites shall create panels of square or vertical proportion in 2:3 ratio. Lites within windows and doors of differing sizes shall be similarly proportioned. Individual lites shall be vertically proportioned. Muntins shall be traditionally profiled and no greater than seven-eighths inches (7/8") in width.

Storefront windows in the Benton Commercial District may be square in proportion, fixed, and made of wood or metal-clad wood. Metal windows are subject to approval of Architectural Review Committee. Storefront windows shall be painted a dark gloss color.

Bay windows shall extend to the ground or be supported by wood or concrete brackets of appropriate scale.

Shutters shall be made of wood or a composite material.

Shutters shall be operable, top- or side-hinged, or a combination. Shutters shall be properly sized to opening and equipped with holdbacks at building wall. Shutters shall be in louvered panel, solid panel (recessed), board-and-batten, or diagonal plank construction. Combinations of these types are permissible (i.e., 2-panel shutter with louvers above and soled panel below) and are subject to approval of Architectural Review Committee. Decorative cutouts are permitted subject to Architectural Review.

Storm Windows and Screens shall be integral with the window. Screens shall be made of aluminum, brass, bronze or black vinyl.

Driveway Gates shall be in-swinging and have a maximum opening width of ten feet (10') (vs. twelve feet (12')). All wood doors, windows, shutters, entry doors, and gates can be either primed and painted or stained.

Galleries, Porches, Stoops & Balconies

Porches shall be a minimum depth of eight feet (8') and shall cover over fifty percent (50%) of the front portion of a home, cottage, or villa. Multiple porches are encouraged – rear, courtyard, side, to connect the interior with its exterior. Porches, stoops, and balconies shall be made of stucco, concrete/masonry, brick, stone, metal, or wood. Stucco finish shall match building wall finish.

Galleries at retail frontage in the Benton Commercial District shall be continuous and made of wood or metal. Decking at second- and third-story floors shall be made of wood or tile, and railing shall be made of wood or metal. Galleries, colonnades, arcades, balconies, and breezeways shall have vertically-proportioned openings.

Stoops are permitted at all building entries and may be covered by roofs or canopies. Awnings shall have a metal structure covered with canvas or synthetic canvas in retail areas.

Flooring at entry stoops, porches, and steps shall be made of stone, wood, exposed concrete, concrete pavers, brick, or colored cement tile. Tile, stone, and brick selection is subject to approval of ARC.

Porch and stoop roofs may be exposed or closed with wood deck or panel-and-batten ceiling. Balcony roofs shall be exposed. Porch Railings shall be made of wood or metal while Porch Floors and Posts may be wood, tile or masonry. Porches may be enclosed with screens; Porch ceilings may be enclosed with painted wood; exposed joists shall be painted or stained.

Screened porches are permitted. Screened porches and enclosures are considered vertical construction and shall not encroach into the required setback areas. Screens shall be installed within porch structure openings, made of black vinyl, aluminum, dark color, or bronze, and framed in wood, brick, stucco and wood siding only, and shall be installed behind framed railings. No aluminum, steel or other metal structure may be exposed except for a minimal amount to hold the screen. The exception to this rule is the roof members, which may be the exposed metal structure. However, framing members must be bronze, black or a dark color that blends with the screen, while anodized aluminum will not be allowed. Prefabricated enclosures of any kind are prohibited.

Column/post and beam faces shall be aligned, and shall be exposed at interior face. Cased-beam fascia shall overlap beam soffit.

Fences, Garden Walls, Gates, Stairs & Paving

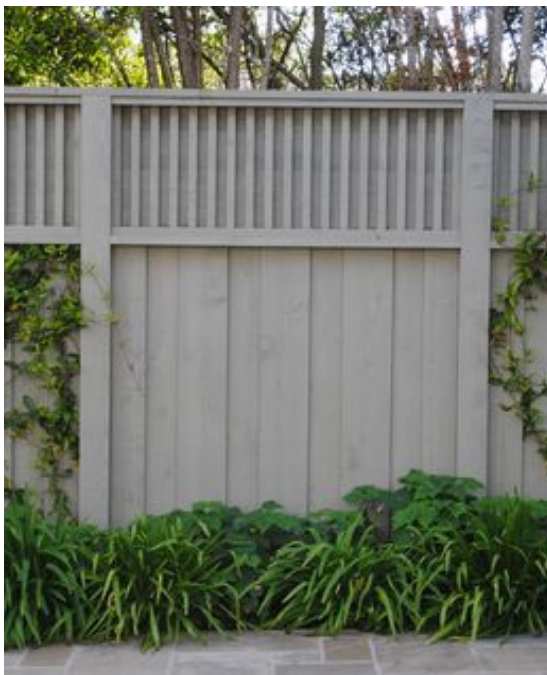
Fences may be made of wood, stucco over frame, concrete/masonry with stucco, wood, stone or brick and/or wrought iron. Wood is only permitted for use in the rear of the home. These wood fences must be stained with Sherwin Williams SuperDeck Exterior Water-Born Semi Transparent Stain, color SW6172 Hardware. Fences may not exceed eight feet (8') in height when not on property line. Garden walls and piers shall be capped with a coping made of stucco, wood, concrete, brick or stone. Gates in building walls may be made of wood and/or metal. Decorative metal work is subject to approval of Architectural Review. All garden walls, fences, and gates made of wood or Hardieplank must be painted or stained where applicable. All garden walls, fences, and gates made of brick must be Sack Finished in Porcelain color.

Exterior stairs, when visible from a common area, shall be made of stucco, concrete/masonry, brick, wood, or stone. Masonry finish shall match building wall finish. Wood stairs are permitted on porches and stoops in residential districts. Flooring at steps and landings shall be made of exposed concrete, concrete pavers, brick, colored cement tile, or stone. Tile and brick selection is subject to approval of Architectural Review Committee.

Driveway gates shall be in-swinging, made of wood or decorative metal, and shall not exceed ten feet (10') in width.

Adjoining homes must have solid fencing at a minimum height of six feet (6').

Radiused corners at driveway entries shall not exceed five feet (5'). Prohibited: Fiberglass, composite or vinyl gate and fencing material.



Building Elements

Chimneys shall be finished with stucco, brick, or stone. Chimneys shall be a minimum of 2:1 proportion in plan and capped to conceal spark arresters. Flues shall be no taller than required by the Building Code. Fireplace enclosures and chimneys shall extend to the ground. Exposed Chimney flues are prohibited unless on rear of home.

In-ground swimming pools may be approved within private lots provided they are not readily visible from a common area. Above-ground pools, other than a temporary, small wading pool are prohibited. Fountains and water basins may be approved.

Lighting and Signage

A minimum of one (1) gas lantern is required on homes. Lanterns should be located at the front of the house, mounted at the sides of the entry door, or hanging from a yoke facing a common area. The size of the lanterns are subject to approval of the ARC. Bright white and cool-toned exterior lighting is strictly prohibited. Soffit lighting is prohibited on any elevation except over garage doors, provided the garage doors are rear-load from the alley.

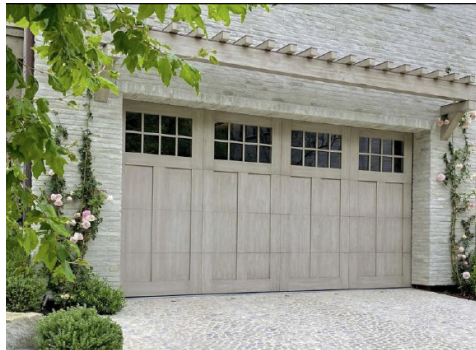
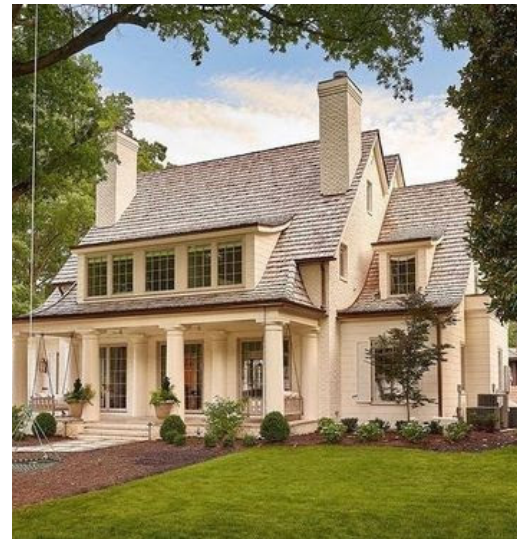
Color

All exterior Wood Siding shall be stained or painted. Colors will be evaluated on a lot-by-lot basis with consideration given to the color scheme of the neighboring homes. Nature-inspired colors and naturally occurring hues are encouraged.



Architectural References

Homes pictured are for reference and illustrative purposes only.



SECTION XV

Design Review Policy

The function of the Design Review Process is to encourage the architectural harmony of Benton at Magnolia Woods. Owners are bound by regulations defined in the PUD, Design Guidelines, and Declaration.

No Improvements shall be commenced, erected, or maintained, nor shall any addition, change or alteration of any kind thereto be made, on a Lot, until plans and specifications prepared by (or stamped by) an approved designer or architect licensed under the laws of Louisiana, showing the nature, kind, shape, height, materials, floorplans, elevations, exterior color schemes, locations, and the grading and drainage plan of the Lot and plans for landscaping of the Lot on which the Improvements are to be erected and all other requirements of the Design Guidelines shall have been submitted to and approved in writing by the ARC. A complete list of all builders, contractors and architects that will perform work on a Lot must also be submitted in writing by the Owner to the ARC.

SECTION XVI

Approval of Architects, Designers, and Builders

A complete list of all designers, architects, builders, or construction tradesmen that will perform work on a lot must be submitted as part of the Construction Documents review.

The Architectural Review Committee shall have the power to determine that any designer, architect, builder, or construction tradesman is unsuitable for construction or architectural work on any lot within Benton at Magnolia Woods and to prohibit the designer, architect, builder or construction tradesman from working on any project or lot.

All designers, architects, or builders must be pre-approved by the Association to build in Benton at Magnolia Woods. A list of pre-approved designers, architects, and builders who understand the high quality of construction expected at Benton at Magnolia Woods is available upon request.

The following list of architects have been approved:

- Demma Residential Architects — Erin Demma, AIA
- Looney Ricks Kiss — Mike Sullivan, AIA
- LFB — Lionel Bailey, AIA

Landscape and Hardscape Design

The community of Benton at Magnolia Woods has been carefully planned. Various hardwoods and oak trees are very prolific within the area surrounding the community, and it is the intent of the ARC to maintain this landscape integrity. The determining factor of good landscape design should always be the architecture and location of the residence. The ARC will take into account various relationships of house-to-site, house-to-house, views, and other amenities in making decisions regarding specific landscape plans. To ensure that the overall beauty of the community is preserved and enhanced, the ARC has the authority to approve or disapprove landscape plans for individual residences.

A fundamental portion of the design criteria is the need for gardens and lawns to harmonize with the natural beauty of the community. Owners will be encouraged to landscape their lots with plant material which is indigenous to the area.

The landscape plan must show all proposed site structures and features including drives and turnarounds, walks, patios, decks, fences, pools, spas, and any other site features. Utility yards, trash and garbage areas, swimming pool pumps and filters, and air conditioning units shall be screened from view, either by fencing, walls or evergreen planting. They should be as high as the objects being screened when planted in order to ensure immediate effect. The landscape plan should accurately locate and describe all existing vegetation to remain, as well as all proposed planting as to location, variety, and quantity. A complete plant list is required indicating the size, quality and spacing of the proposed plantings. Complete front, rear and side specifications are required for bed preparation. Areas to be mulched or planted as a lawn should also be indicated. Lawns may be seeded, sprigged, plugged, or sodded with the selected planting method indicated on the landscape plans. Areas contiguous to streets shall be sodded.

LANDSCAPE PLAN SUBMISSION

It is recommended that landscape plans be submitted with construction drawings. However, if landscape plans are to be submitted at a later date, they must be submitted and approved prior to driveway construction.

Landscape Plan:

- Size, spacing, quality and quantity of plants, drawn sized and spaced to scale
- An accurate plant list
- All hardscape surfaces (driveways, walks, patios, retaining walls, courtyard walls, fountains, pools, fencing, decks, etc.) with point elevations and heights
- Final site drainage. This is to be shown with contour lines and adequate point elevations. The landscape plan is the final drainage plan for the property and will be reviewed for all requirements related to individual lot drainage.

Mulching is required for all planted areas. The mulched areas provide a smooth transition to the existing natural vegetation. Irrigation systems, although not required, are strongly encouraged. Irrigation helps to maintain a quality landscape throughout the year, especially in times of drought.

The Architectural Review Committee will consider all elements of the individual landscape plan and plant materials selected in the review process. Many plant types will be acceptable for use within the community. In these guidelines, the ARC has recommended a variety of plant types to be used in planning the various landscape designs. The materials have been selected because of their traditional influence in Louisiana and their other desirable characteristics.

In all cases, the entire yard shall be adequately landscaped, as determined by the ARC. In any instance involving phasing of landscape, the initial landscape work shall encompass the entire yard; front, rear and sides, with planned enhancement to follow. All phases must be approved by the ARC prior to installation. Additional drawings may be deemed necessary to conduct an adequate review.

Theme Plants:

The following list of plants have been selected to complement the vision of the community. It is desired that individual property owners continue with this type of planting to add to the prevailing mood of our community. There are many other plants not listed that may also be used within the community, but are not necessarily considered theme plants.

ENCOURAGED TREE SPECIMEN

Southern Magnolia - *Magnolia Grandiflora*
Sweetbay Magnolia - *Magnolia Virginiana*
Saucer Magnolia - *Magnolia Soulangiana*
Live Oak - *Quercus Virginiana*
Red Oak - *Quercus Falcata*
Cow Oak - *Quercus Michauxii*
Swamp Red Maple - *Acer Rubrum* “*Drummondii*”
Cypress - *Taxodium Distichum*
Eagleston Holly - *Ilex x attenuata*
American Holly - *Ilex Opaca*
Chaste Tree - *Vitex Angus Cactus*
Fringe Tree - *Chionanthus virginicus*
Tulip Tree - *Liriodendron Tulipifera*
Crab Apple - *Malus Angustifolia*
Cherry Laurel - *Prunus Caroliniana*
Crepe Myrtle - *Lagerstroemia Indica*
Princeton Elm - *Ulmus Americana*

ENCOURAGED SHRUB SPECIMEN

Azalea - *Azalea Indica*
Dwarf Azalea - *Azalea Obtusum*
Wild Azalea - *Azalea Canescens*
Sansanqua Camellia - *Camellia Sasangua*
Reeve's Spirea - *Spiraea Contoniensis*
Gardenia August Beauty - *Gardenia Jasminoides*
Drift Rose - *Rosa Hybrida*
Pringles Yew - *Podocarpus Macrophyllus*
Distylium
Compacta Holly - *Ilex Crenata*
Dwarf Burford Holly - *Ilex Cornuta*
Sweet Olive - *Osmanthus Fragrans*
Banana Shrub - *Michelia Figo*
Mock Orange - *Philadelphus Coronarius*
Limelight Hydrangea - *Hydrangea Paniculata*
Cleyera
Sweet viburnum - *Viburnum Odoratissimum*

ENCOURAGED VINE SPECIMEN

Carolina Yellow Jessamine - *Gelsemium Sempervirens*
Lady Banksia Rose - *Rosa Banksiae*
Confederate Jasmine - *Trachelospermum Jasminoides*
Wisteria - *Wisteria Sinensis*
Fig Vine - *Ficus Pumila*

ENCOURAGED GROUND COVER SPECIMEN

Liriope - *Liriope Muscari* or *Spicata*
Monkey Grass - *Ophiopogon Japonicus*
Ligularia - *Ligularia Giganteum*
Algerian Ivy - *Hedera Camariensis*
English Ivy - *Hedera Helix*
Aspidistra - *Aspidistra Elatior*
Vinca - *Vinca Major*
Daylily - *Heemerocallis Fulva*
Louisiana Iris - *Fulva*, *Hexagona*, *Brevicaulis*, *Giganticaerulea*
New Gold Lantana - *Lantana Camara*
Wood Fern - *Dryopteris Marginalis*
Autumn Fern - *Dryopteris Erythrosora*

PROHIBITED SPECIMEN

(Freeze damage, insect and disease problems, incompatibility with overall theme)

Jerusalem Thorn - *Parkinsonia Aculeata*
Mimosa - *Albizia Julibrissin*
Golden Rain Tree - *Kielreuteria Bipinnata*
Loguat - *Eriobottya Japonica*
Golden Euonymus - *Euonymus Japonica*
Oleander - *Nerium Oleander*
Italian Cyprus - *Cupressus Sempervirens*
Asian Jasmine - *Trachelospermum Asiaticum*
Bradford Pear - *Pyrus Calleryana*
Riverbirch - *Betula Nigra*
Medjool Palms - *Phoenix Dactylifera*
Sylvester Palms - *Phoenix Sylvestris*
Chinese Pistache - *Pistacia Chinensis*
Dogwood - *Cornus*
Indian Hawthorne (dwarf variety) - *Rhaphiolepis Indica*
Leyland Cypress - *Cupressus x Leylandii*
Nandina - *Nandina Domestica*
Cheesewood - *Pittosporum Tobira*
Photinia
Boxwood - *Buxus*
Pineapple Guava - *Acca Sellowiana*

Tree Requirements

In order to improve and enhance the streetscapes of the community, each landscape plan shall incorporate trees in the front yard of each residence with the exception of the Highland Rowe homes. The selected tree type shall be four inch (4”) caliper minimum. Ball and burlap trees are recommended for winter installations and containerized trees are recommended for summer installation.



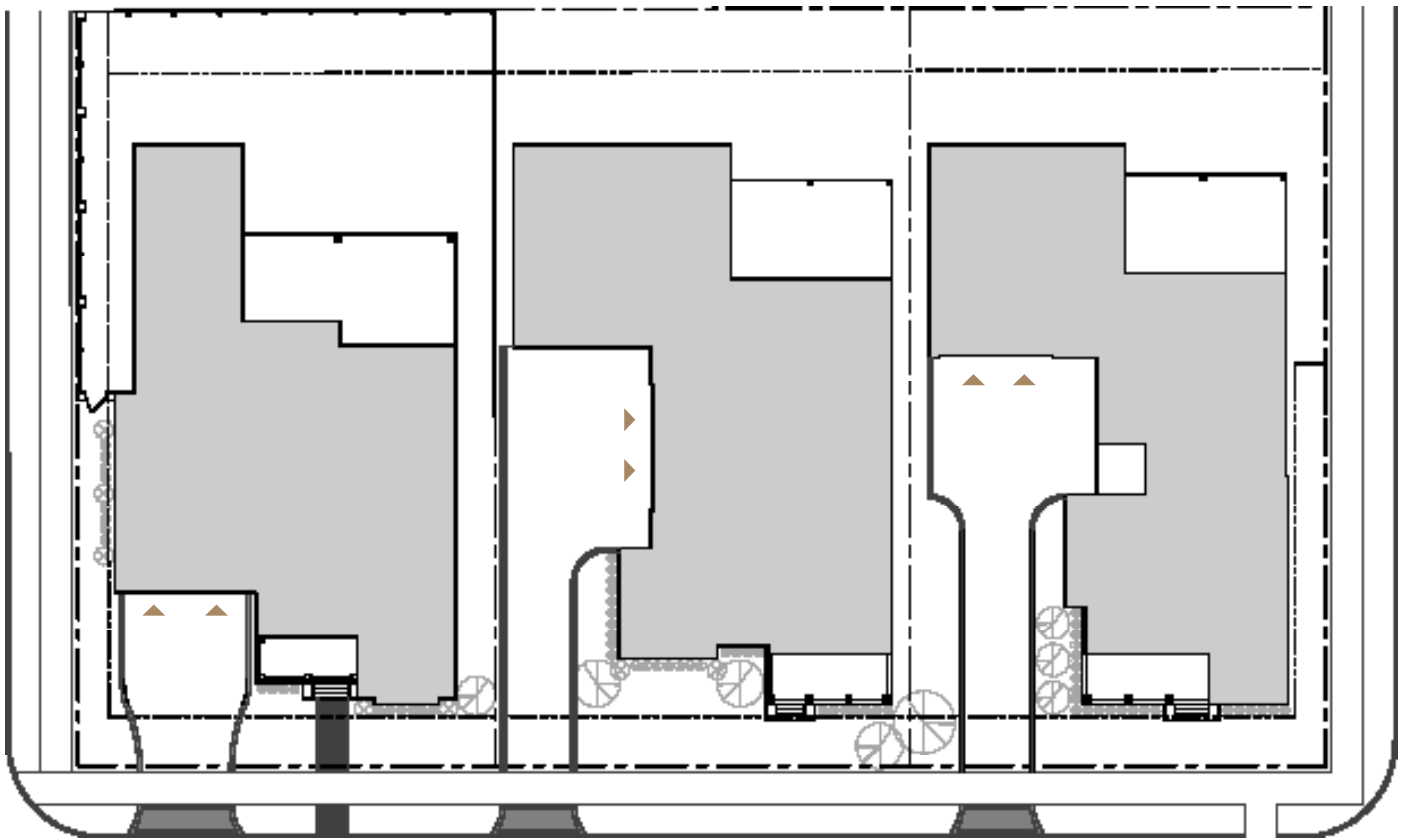
Design Approval Process

All plans for the construction, repair, or physical alteration of any Improvements to or on a Lot shall comply with the Design Guidelines, PUD, Declaration and Supplemental Declarations, and shall be submitted to the Architectural Review Committee in advance.

The Architectural Review Committee shall review the plans to ascertain that the Improvements will thoroughly comply with the Design Guidelines. In order to assure that location and size of Improvements will be harmonious, the Architectural Review Committee shall have the absolute and sole right to control and decide the precise site, location, and orientation of any Improvement upon all Lots. The criteria for approval by the Architectural Review Committee is intended to be subjective and not objective and all criteria for approval or disapproval for proposed plans cannot be determined in advance of the review process.

- **Pre-submission Meeting** — Prior to submission of plans to the Architectural Review Committee, the Owner (without any architect or designer) may schedule a pre-submission meeting with the ARC and/or its HOA manager to discuss the site, the approval process, and the spirit of the Design Guidelines. This is required so that the owner has a clear understanding of Benton at Magnolia Woods, the Design Review Process and Design Guidelines, in order to prevent unnecessary misunderstandings, modifications and revisions to the plans. As a part of this conversation, Owner shall be prepared to discuss all builders, contractors and architects that will perform work on a Lot.
- **Preliminary Plan Submittal** — The Design Review Request Form shall be submitted with the submission of a preliminary plan. At this time, a Review Fee will be charged for the review and approval process. The review fee shall be due and payable to Benton at Magnolia Woods Homeowner Association, Inc.
- **Variance Process** — If there are any requested variances to the Design Guidelines, Declaration or Supplemental Declarations, the applicant must submit a written description of the variance and the justification based on merit or hardship. The Architectural Review Committee, at its discretion, has the right to approve any waivers or deviations from the Design Guidelines, Declaration or Supplemental Declarations that it deems are appropriate. Any variance granted shall be considered unique and will not set precedence for future decisions. Further, written approval of the Association must be obtained by an Owner for any waiver of the City/Parish Unified Development Code; any waiver granted by the City/Parish without the prior written approval of the Association must also receive subsequent Association approval.
- **Submit Required Forms** — Each Owner and their contractor shall review all construction rules, as the contractor and their subcontractors are to comply with the contractor rules and regulations that are established by the Association from time to time.
- **Construction Deposit Paid** — Prior to commencement of construction of any Improvements on any Lot, the Owner or contractor shall make a construction deposit payable to the Association in an amount of Two Thousand Dollars (\$ 2,000) per lot. The deposit will be used to reimburse Benton at Magnolia Woods for any damages or non-compliance charges.

Approved Driveway Specifications



Front-Load

A front-load garage configuration provides visible, direct garage access from the street.

This is the most space efficient configuration — allowing you to retain more buildable area on the lot and provide more flexibility for the rear yard. It also requires the least amount of concrete.

Garage doors in a front load configuration are required to be a higher quality and have additional design detail. Additionally, single garage doors are prohibited in front-load configurations.

Mid-Load

A mid-load configuration positions the garage in the middle of the home — with vehicles turning 90 degrees to enter the garage.

While this configuration is more aesthetically pleasing in terms of street view, it can limit the options for rear yard programming.

A mid-load configuration also limits the ability to have an open concept floorplan.

Garage doors in a mid-load configuration are screened from street views so they are allowed to be a single door with less design detail.

Slip Lane

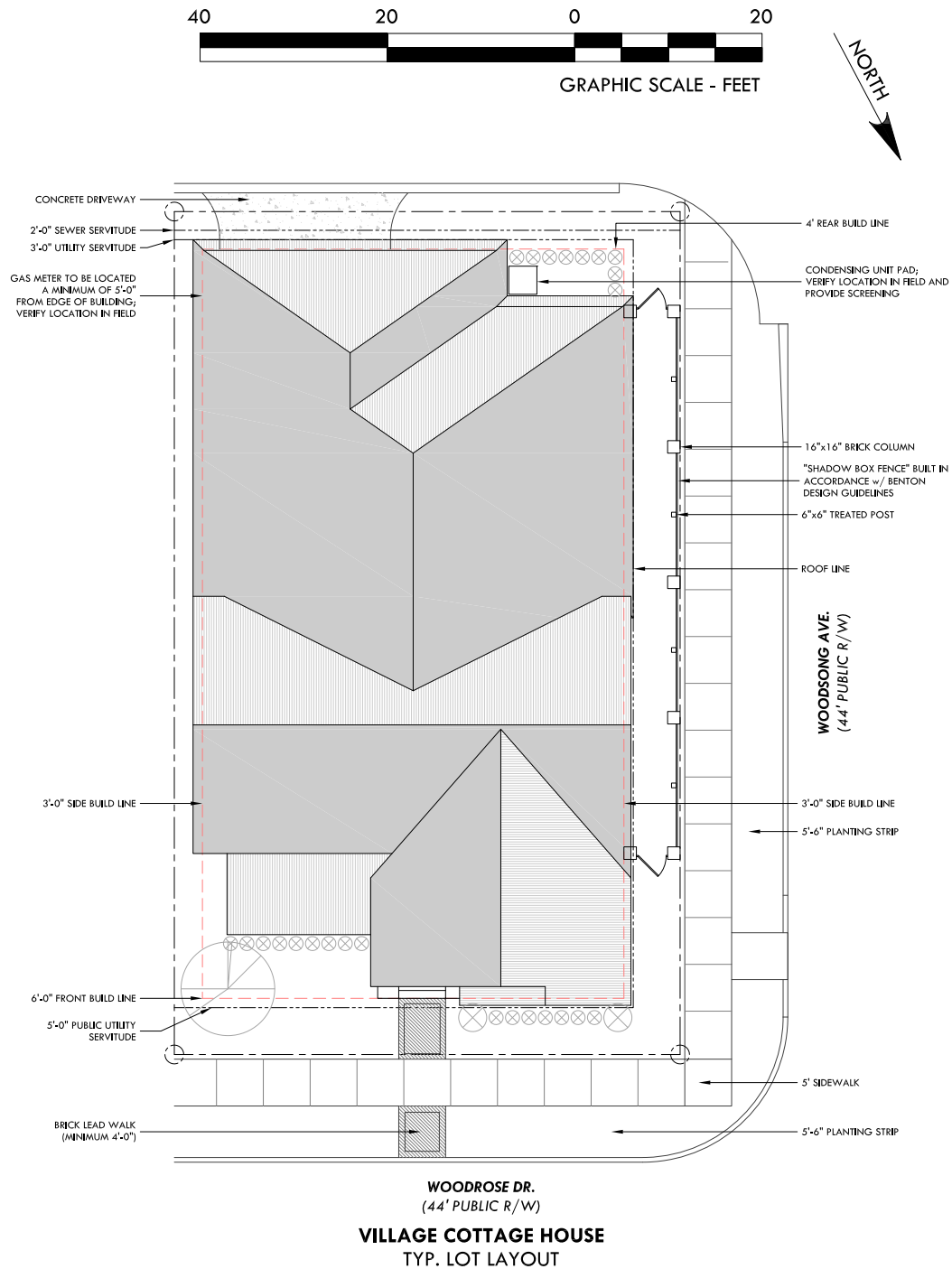
A slip lane configuration positions the garage at the rear of the lot — away from the street.

While this configuration is more aesthetically pleasing in terms of street view, it can limit the options for rear yard programming.

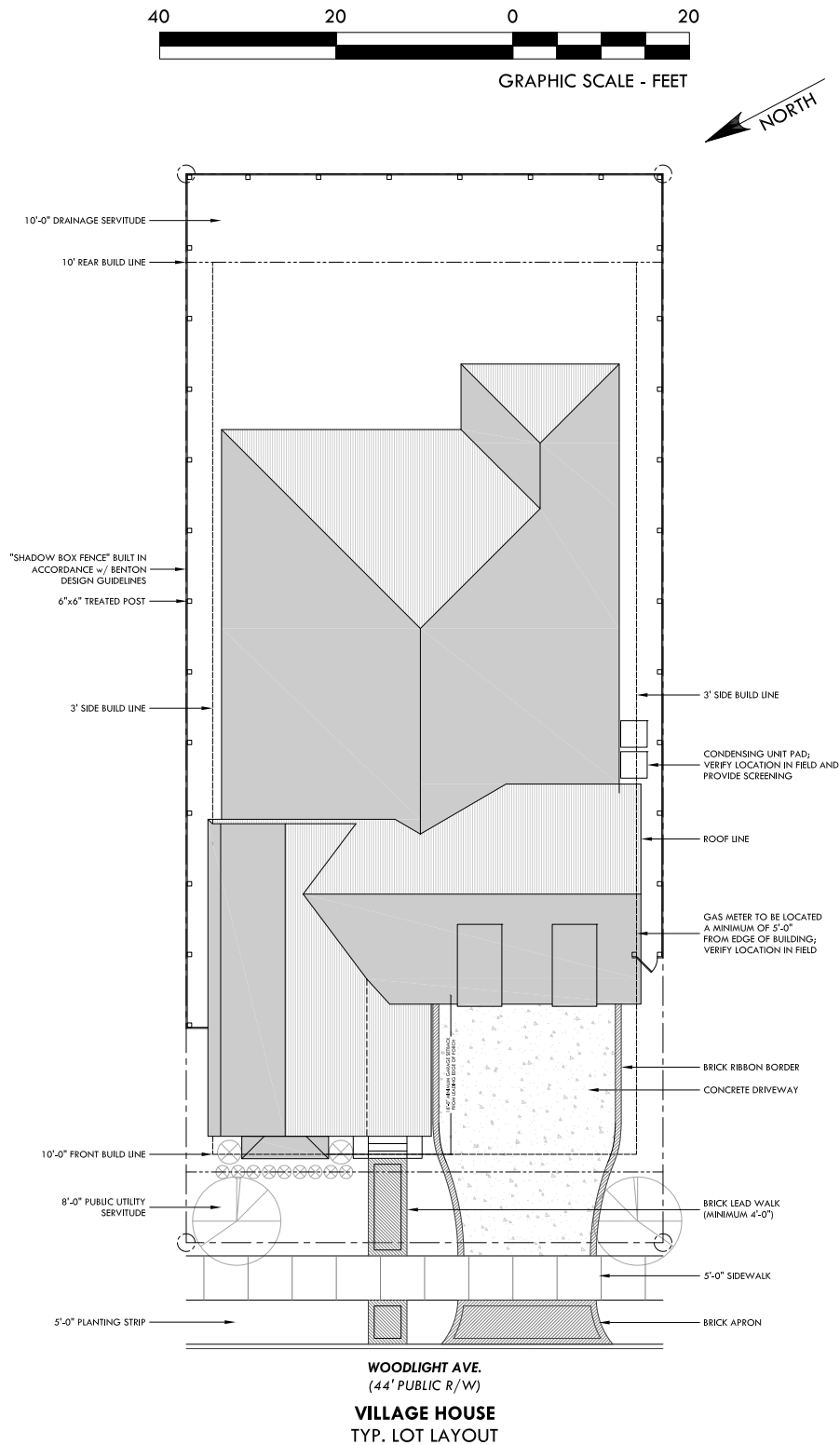
A slip lane configuration also limits the ability to have an open concept floorplan.

Garage doors in a slip lane configuration are still visible from the street and, as such, are required to be a higher quality and have additional design detail. However, a single garage door is permitted in a slip lane configuration.

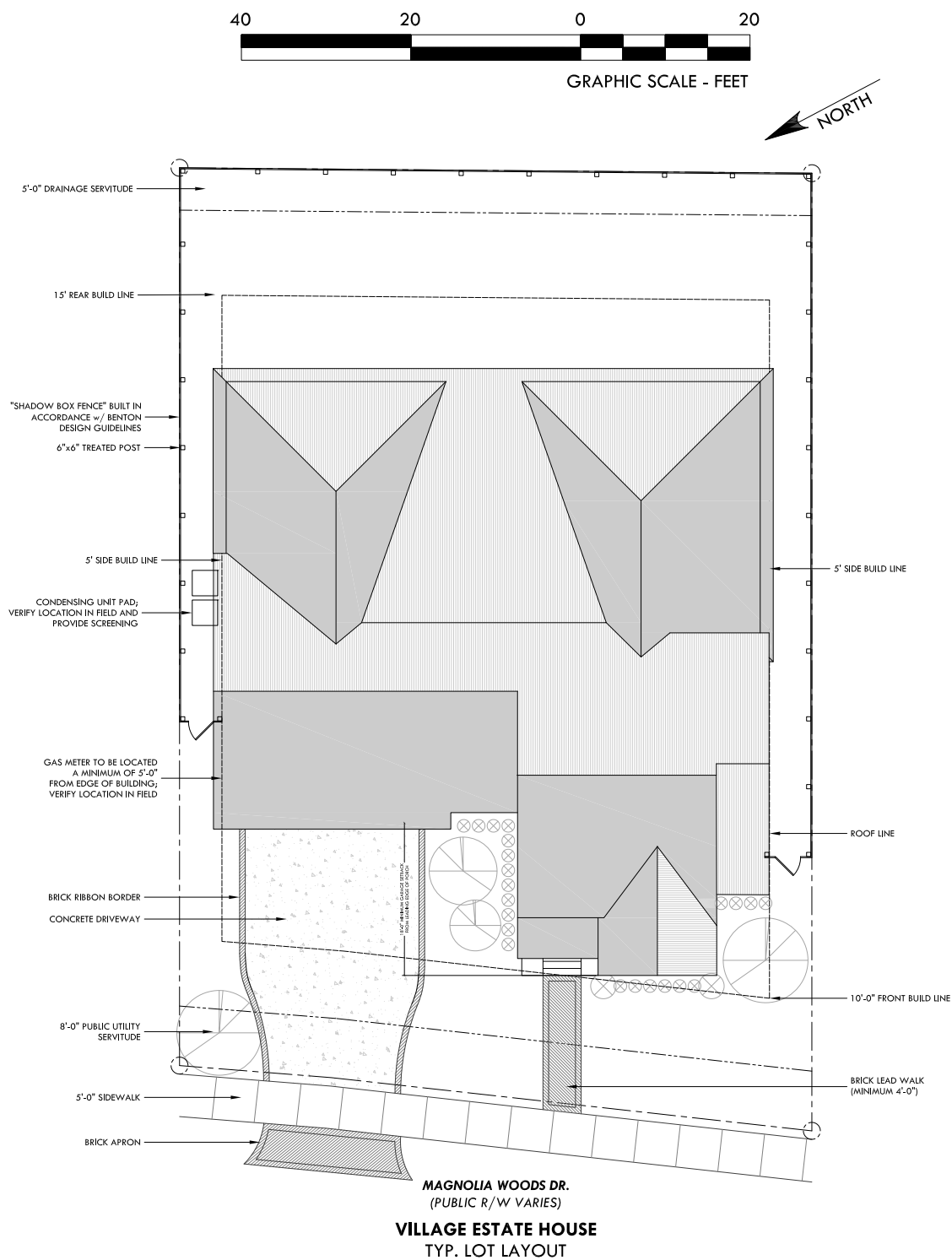
Sample Lot Layout — Village Cottage



Sample Lot Layout — Village House



Sample Lot Layout — Village Estate



Please complete, sign, and return this form to the Benton at Magnolia Woods Homeowners Association, along with the requirements as set forth in the Design Guidelines Submission Requirements section. If you need any assistance, please contact Carol Wilson with Community Association Management (carol@camgmtllc.com). Once all information is received, as required, and all appropriate fees are paid, your submittal will be sent to the Architectural Review Committee for review. The process may take up to thirty (30) days for the review. You will receive written notification detailing the decision of the committee.

Homeowner Information

Name(s): _____ Lot: _____

Current Mailing Address: _____

Email: _____ Phone: _____

Architect/Designer: _____ Builder: _____

Submittal Description

SUBMISSION PHASE

☐ Conceptual Plan Review ☐ Preliminary Plan Review ☐ Final Plan Review

PLAN TYPE (NEW CONSTRUCTION)

☐ Custom ☐ Built-for-Sale

SUPPLEMENTAL ADDITIONS

☐ Addition
☐ Landscape
☐ Pool
☐ Fence / Wall
☐ Exterior Colors / Finishes
☐ Generator
☐ Roof Alterations
☐ Other _____

SUPPLEMENTAL ADDITIONS

Expected Start Date: _____ Expected Completion Date: _____

Important Notices & Acknowledgment

ALL IMPROVEMENTS ARE EXPRESSLY SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, FOR BENTON AT MAGNOLIA WOODS, AND ALL RULES AND REGULATIONS ADOPTED THEREUNDER, INCLUDING, BUT NOT LIMITED TO, THE DESIGN GUIDELINES (THE “DECLARATION”)

IN AN EFFORT TO PROVIDE AND PROTECT EACH INDIVIDUAL OWNER’S RIGHTS AND VALUES, EACH OWNER CONSIDERING IMPROVEMENT ON THEIR PROPERTY MUST SUBMIT A REQUEST FOR HOME IMPROVEMENT APPROVAL TO THE ARC PRIOR TO INITIATING WORK ON PLANNED IMPROVEMENTS. THE ARCHITECTURAL REVIEW PROCESS OR COMMENTS WITH RESPECT TO YOUR PLANS AND RELATED INFORMATION BY THE ARC OR THE HOA SOLEY RELATE TO COMPLIANCE WITH THE PROVISIONS OF THE DECLARATION, THE STRUCTURAL SOUNDNESS, DURABILITY, SAFETY OF ANY STRUCTURE, THE PROPER FUNCTIONING OF ANY OF THE COMPONENTS AND EQUIPMENT, CONFORMITY TO BUILDING CODES, AND PROPER AND LEGAL LOCATION OF IMPROVEMENTS ARE BEYOND THE SCOPE OF OUR REVIEW AND ANY SUCH RESPONSIBILITY IS DISCLAIMED. RESPONSIBILITY FOR SUCH MATTERS ARE EXCLUSIVELY WITH THE OWNER. THIS REVIEW DOES NOT RELIEVE THE OWNER FROM ADHERING TO THE DECLARATION AND ALL RULES AND GUIDELINES ISSUED BY BENTON AT MAGNOLIA WOODS. THE OWNER IS RESPONSIBLE FOR DETERMINING ALL BUILDING LINES, SETBACK REQUIREMENTS, PROPERTY LINES, SERVITUDES AND ENCROACHMENTS. NO APPROVALS FOR ANY CONSTRUCTION OR LOCATION OF ANY STRUCTURE MAY BE GIVEN ORALLY, BUT ONLY IN WRITING. IF ANY CHANGE IS MADE THAT HAS NOT BEEN APPROVED, THE HOA HAS THE RIGHT TO DEMAND THAT THE OWNER REMOVE THE IMPROVEMENT FROM HIS/HER PROPERTY.

FINAL REVIEW IS VALID FOR SIX (6) MONTHS FROM THE DATE SHOWN BELOW, ALL EXTERIOR IMPROVEMENTS MUST BE COMPLETED WITHIN ONE (1) YEAR AFTER THE CONSTRUCTION HAS COMMENCED. ALL REQUESTS FOR TIME EXTENSIONS MUST BE MADE IN WRITING TO THE BOARD OF DIRECTORS. THE ARCHITECTURAL REVIEW COMMITTEE MUST APPROVE ANY CHANGES PRIOR TO ANY WORK COMMENCEMENT. AN INSPECTION UPON COMPLETION OF CONSTRUCTION WILL BE MADE FOR COMPLIANCE WITH THE FINAL APPROVED PLAN,

ACKNOWLEDGMENTS

I (we) have read and agree to all of the conditions listed above, and I (we) agree to abide by the decision of the Architectural Review Committee.

Homeowner Signature

Printed Name

Date

Homeowner Signature

Printed Name

Date

I have read, understand, and agree that failure to abide by any of the rules outlined in the Contractor Code of Conduct, or failure to require compliance by my employees or subcontractors, or the lapse of any of the insurance requirements will, at the ARC’s and/or Association’s discretion, result in fines according to the schedule of charges in the Construction Violation Fee Schedule, or suspension and/or removal of my building privileges within Benton at Magnolia Woods.

Contractor Signature

Printed Name

Date





Contractor Code of Conduct & Construction Standards

Contractor Code of Conduct

Pursuant to Benton at Magnolia Woods Design Guidelines, the undersigned Builder agrees to and understands the following conditions within Benton at Magnolia Woods:

1. All contractors, sub-contractors, vendors, and visitors to the Project Site shall always conduct themselves in a professional and courteous manner.
2. Offensive and/or vulgar language is prohibited. Violations for continued offenses may result in the individual or individuals being escorted off the Project Site and the involved parties may be banned from working on the site permanently.
3. While on the Project Site, music must be kept at a reasonable level as to comply with all municipal noise abatement policies and code. Music or programming that uses offensive and/or vulgar language is prohibited.
4. Alcohol and illegal drugs are prohibited on site. Intoxicated persons or persons who appear to be under the influence of drugs or alcohol will be escorted off site and may be banned from working on the site permanently.
5. No pets are allowed on the Project Site.
6. All contractors, sub-contractors, vendors, and trades must adhere to all OSHA regulations regarding PPE (personal protective equipment) as well as any safety requirements particular to the trade/activity being performed by that particular individual or trade.

Dress Code

The following dress code requirements pertain to all contractors, sub-contractors and vendors while on the Project Site:

1. Personnel are required to always maintain a professional appearance and demeanor while on the Project Site. All dress items and PPE must meet safety requirements.
2. Shirts must be worn at all times. Shirts or other types of clothing with language or images that can be considered profane, vulgar or offensive are not permitted on the Project Site.

Construction Standards

The following will apply to all construction, improvements, alteration or any change to the exterior of any structure, and to the grading, excavating, tree removal, landscaping, or other change to the grounds of a single-family, multi-family, or commercial site within Benton at Magnolia Woods. Compliance is mandatory and violations may result in a stop work order, or non-compliance charge as defined in the Contractor Rule Violation and Non-Compliance Charge Schedule:

- **Construction Approval(s):** Prior to the commencement of any construction activity, I must have a signed copy of Architectural Review Committee approved plans and written notice to proceed. I will also provide the Architectural Review Committee signed copy of this Construction Agreement stating the understanding of all obligations set forth for both the General Contractor and their sub-contractors.
- **Building Codes:** I agree to follow all applicable Building Codes (including state, parish, and municipal codes). I understand that the Architectural Review Committee is intended only to assure compliance with the aesthetic concerns of the Benton at Magnolia Woods Design Guidelines and neither the Architectural Review Committee nor the Developer/Declarant of Benton at Magnolia Woods is liable for any design or construction defects affecting the safety or structural integrity of any improvements.
- **Insurance:** I will always carry and keep in force the following minimum insurance coverage, and at the signing of this Agreement, have provided evidence of such coverage to the Developer/Declarant:
 - Workmen's compensation as required by law
 - Commercial General liability insurance. Min. \$1,000,000 per occurrence
- **Construction Hours:** I understand that all construction activity and all construction personnel shall not begin work earlier than 7:00 a.m. and must end work by 7:00 p.m. Monday through Saturday. There shall be no construction activity on Sundays or on any principal holidays without the express permission of the Developer/Declarant.
- **Parking:** I understand all roadways, alleyways, sidewalks and walkways must be kept open for the passage of through traffic and parking is restricted to parking spaces on the street or in areas designated by the Developer/Declarant, and driveways of other residences cannot be used at any time. All vehicular traffic and parking must be in conformance with the Louisiana Vehicle code.
- **Signage:** I agree that all construction signage must conform to the Design Guidelines and be approved by the Architectural Review Committee prior to installation.



- **Staging:** Staging of any equipment, materials, fixtures, any building materials, tools, etc. is done so at the sole risk of the Owner, General Contractor and/or the Owner of the items being staged. Benton at Magnolia Woods, Benton at Magnolia Woods Homeowners Association and Architectural Review Committee or any employee, representative or member of any organization or company associated with the Developer cannot be held responsible for the loss, theft or damage of any items staged at the site. Sidewalks, roadways, and common areas should not be obstructed from their intended use without permission. If used, these areas should be properly protected from damage caused by contractor activities. Staging of materials on any lot other than the lot owned by the constructing Owner will not be allowed, unless the Owner of the other property has granted permission to do so.
- **Speed Limits:** I understand vehicular speeds will be limited to the posted speed limit or 20 miles per hour, whichever is less.
- **Sub-contractors:** I am responsible for the behavior and actions of all workers and subcontractors who do work on my project while they are in Benton at Magnolia Woods. I understand that abusive and vulgar language will NOT be tolerated. Contractors and sub-contractors are NOT allowed to bring dogs or other pets in Benton at Magnolia Woods.
- **Construction Quality:** I understand that any construction being executed in a poor and unworkmanlike manner, or in violation of, or inconsistent with the plans previously approved by the Architectural Review Committee may be stopped by the Architectural Review Committee or the Homeowners Association of Benton at Magnolia Woods until the work has been corrected to the satisfaction of the Architectural Review Committee, or Association.
- **Notification(s):** I understand that I need to give notice to the Architectural Review Committee or its representative twenty-four (24) hours prior to (a) de-grassing the lot (b) concrete or driveway pours (c) large or special deliveries and (d) any other circumstances that would require road closures and/or communication to Benton at Magnolia Woods property owners.
- **Containment of Project Site:** I understand that it is the intent of the Architectural Review Committee and the Developer/Declarant to maintain and preserve as much of the natural vegetation as possible and preserve all common areas. I will not clear or damage the vegetation outside of the building and drive areas. Prior to the start of any site construction, I will by means of a temporary fence barricade any area of vegetation that is to be preserved outside of the building and driveway areas. I am responsible for containing work activity on the job site, taking care that it does not encroach on any adjacent Common Area.
- **Stormwater and Erosion Control:** I have reviewed and understand requirements for storm water and erosion control for construction sites within East Baton Rouge Parish, and all related other ordinances applying to development in Benton at Magnolia Woods.
- **Project Site Cleanliness:** I am responsible for always maintaining a clean construction site. I agree to furnish trash containers and keep the Project Site and always surrounding Common Areas free from accumulation of waste materials. All workers will pick up all paper and debris each day before leaving the site. No burning is allowed. All grass and weeds must be kept no higher than 6". Upon completion of the work, all remaining waste materials shall be disposed of legally, and tools, construction equipment, machinery and surplus material shall be removed from the site. If I fail to maintain a clean construction site as stated herein, the Architectural Review Committee will have the right to perform, without notice, any cleanup necessary and charge me accordingly.
- **Concrete Pours:** I will notify a Benton at Magnolia Woods representative a minimum of twenty-four (24) hours prior to all concrete pours. During the pour, I will have a representative with an accessible water hose, and I will be responsible for washing out in the proper place and cleaning up all spilled concrete on street, sidewalks, on street parking spaces or any other Common Spaces. If I fail to maintain a clean construction site as stated herein, the Architectural Review Committee will have the right to perform, without notice, any cleanup necessary and charge me accordingly.
- **Damages:** I understand and agree that I am responsible for any and all damages on the Project Site, including to the sidewalks or common areas, during construction. Upon completion of construction, I understand it is my responsibility to restore the sidewalk and any other area(s) disturbed to its original condition.
- **Inspections:** I agree to contact the Architectural Review Committee for each required inspection.
- **Non-compliance Charges:** I understand and agree to the non-compliance charges that are in place to remedy any failure on my part to abide by the above conditions.

I have read, understand, and agree that failure to abide by any of the above rules, or failure to require compliance by my employees or subcontractors, or the lapse of any of the insurance requirements will, at the Architectural Review Committee and/or Association's discretion, result in fines according to the schedule of charges in the Construction Violation Fee Schedule, or suspension and ultimately removal of my building privileges within Benton at Magnolia Woods.

Please complete and return a signed copy to Benton at Magnolia Woods Homeowner's Association, Inc.

Owner: _____

Phone: _____

Owner Email: _____

Address: _____

Lot #: _____

General Contractor: _____

General Contractor Phone: _____

General Contractor Email: _____

Owner Signature: _____

Date: _____

Contractor Signature: _____

Date: _____

