

# **Community Design Guidelines**

February 27, 2025



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### SECTION I

# Introduction

Highlake is nestled in the heart of Baton Rouge along the beautiful Highland Road corridor which is lined with centuries old oaks, magnolias, and other trees indigenous to the State of Louisiana and the historic bluffs.

Great care has been taken in the planning, design, and construction phases to ensure aesthetic harmony within Highlake; therefore, it is of the utmost importance that this special character not be compromised by housing designs which are improperly conceived, unresolved, or poorly executed. For this reason, an Architectural Review Committee (ARC) will review all designs, plans and construction for:

- Consideration of primary site design issues
- Excellence in architectural design

These Design Guidelines have been established to provide owners, architects, and contractors with a set of parameters for the architectural design and construction of homes and commercial improvements. By encouraging quality and attention to detail, the aesthetic harmony and overall property values at Highlake will be enhanced and preserved through the ARC and the Design Guidelines.

### SECTION II

### **Architectural Review Committee**

Highlake is designed to be a unique community of single-family homes. In order to ensure the quality of the community, a plan review process has been established to review individual building and landscape plans. Within the community, the goal is to maintain pleasing aesthetic relationships of building to site and building to building — while allowing individual creativity and preference.

The Architectural Review Committee is to review the plans and construction documents to ascertain that the Improvements will thoroughly comply with the Design Guidelines and all the restrictions set forth in the Declaration and any Supplemental Declarations. The Architectural Review Committee does not assume responsibility for the following:

- The structural adequacy, capacity, or safety features of the structure and/or improvement
- Non-compatible or unstable soil conditions, soil erosion, etc.
- Compliance with any or all building codes, safety requirements, and governmental laws, regulations or ordinances
- The performance or quality of work of any architect or contractor

The Architectural Review Committee is composed of three members who may or may not be members of the Board of Directors of Highlake Homeowner's Association, Inc. (HOA).

Professionals, such as architects, landscape architects and/or engineers, may serve on the ARC and aid in the review of building and landscape plans. In order to explain the review process and what is required for plan approval, the Architectural Review Committee has developed the Design Guidelines. The ARC will use these guidelines for the purpose of review but may consider individually the merits of any project due to special site conditions. Any project reviewed for special consideration must be shown to benefit the specific site, adjacent areas, and the community as a whole.

The inclusion of any guideline or recommendation herein shall not preclude the ARC's right to disapprove of any proposed project, for any reason. The ARC reserves the right to modify, impose more stringent, or waive any requirements herein, not conflicting with Local, state, or federal law.

### SECTION III

### **General Conditions**

All plans and designs must be approved by the Architectural Review Committee.

All plans for the construction, repair, or physical alteration of any improvements to or on a lot shall comply with the Design Guidelines, and shall be submitted to the Architectural Review Committee in advance.

The Architectural Review Committee shall review all applications for conformance with the Highlake Design Guidelines. In addition, the Architectural Review Committee shall review any and all aspects of architectural design that affect the character of Highlake, including but not limited to building placement, form, proportions, height and massing, exterior details, materials, color, and landscape.

Building elements, fixtures, and materials specifically noted herein are subject to approval by the Architectural Review Committee and shall be drawn and noted in submitted plans at the appropriate phase of design approval. Failure to do so may result in resubmittals and delay of the approval process.

Variances to the Design Guidelines may be applied for in the design-approval process and are granted at the discretion of the Architectural Review Committee. Variances shall not be approved based on existing precedents nor shall approved variances be considered precedents for future applications.

The Design Guidelines and its enforcement through review and approval are intended to regulate the aesthetic character of Highlake. All applications for building or improvement construction are required to conform with applicable building and life safety ordinances, and applicants shall be responsible for obtaining all necessary permits and approvals from local regulatory agencies. In any case, where building, improvements, or life safety ordinances conflict with the Design Guidelines of Highlake, the Architectural Review Committee shall be notified of the conflict.

The Design Guidelines may be amended by the Declarant in its sole discretion, without the approval of any Person, Owner or Mortgagee.

Stormwater Management: All lots shall follow their approved Stormwater Prevention Pollution Plan (SWPPP) or may submit an alternative drainage plan certified by a civil engineer as fulfilling its stormwater management requirements.

Adequate provisions shall be made for storm-water management on each lot. Gutters discharging in front yard, side yards and rear yard setback areas shall be collected to the interior of the lot through underground piping.

### SECTION IV

# **Application Process**

Prior to the commencement of any construction activity of any type on any site, a Design Review Request Form must be submitted by the owner to the ARC. Included with the Design Review Request Form shall be such documents and other information as requested by the ARC and outlined in the Design Guidelines, including all applicable fees. In addition, any requests for variances from the Design Guidelines must be submitted in writing with the Design Review Request Form. Approval of these documents by the ARC must be received prior to the start of any clearing, grading, or construction.

The property owner should familiarize themselves and their building team with the ARC and Design Guidelines as well as the General Rules for Contractors and Subcontractors.

East Baton Rouge Parish and its planning department have jurisdiction over the community at Highlake. They should be contacted at the beginning of the planning and design process to ensure compliance with their regulations. It should not be assumed, however, that mere compliance with East Baton Rouge Parish standards is acceptable to create a better overall community appearance.

### SECTION V

### Variance Process

If there are any requested variances to the Design Guidelines or Declaration, the applicant must submit a written description of the variance and the justification based on merit or hardship. The Architectural Review Committee, at its discretion, has the right to approve any waivers or deviations from the Design Guidelines or Declaration that it deems appropriate. Any variance granted shall be considered unique and will not set precedence for future decisions. Further, written approval of the Association must be obtained by an Owner for any waiver of the City/Parish Unified Development Code the Owner seeks to obtain; any waiver granted by the City/Parish without the prior written approval of the Association must nevertheless receive Association approval.

### SECTION VI

# **Required Forms**

Each Owner and their contractor shall review all required forms and construction rules. The owner, contractor, and their subcontractors are to comply with all rules including the contractor rules and regulations that are established by the Association from time to time.

### SECTION VII

# **Construction Deposit**

Each lot owner will be required to provide a construction deposit (payable to "Highlake Homeowner's Association") prior to any work commencing on the lot, including fill dirt, site clearing and site preparation. The purpose of the construction deposit is to ensure a clean job site, compliance with the contractors general rules, overall community appearance, and that the residence was built according to the approval plans.

### Licensed general contractors are required to pay a \$5,000 construction deposit.

The Contractor Code of Conduct, Dress Code and Construction Standards outline what is expected on the job site of personnel and site cleanliness. Inspections of the job site and community by the HOA will keep the ARC informed of any violations within the community.

A written notice will then be issued to the lot owner or agent to correct the violation. If the violation has not been corrected within the given period, the condition will be corrected by the HOA and charged to the lot owner. The amount will be deducted from the construction deposit until the deposit is exhausted, at which time the lot owner will be billed for any additional expense. Maintaining a clean and orderly job site within the community is one purpose of the construction deposit. The other reason for the deposit is to ensure that the home's exterior and landscaping are built according to the approved documents. The design review process focuses on creating a quality community and maintaining property values. Deviation from the approved plans and Design Guidelines defeats the purpose of the review process. Deviations from the approved plans may require the HOA to cause the owner to correct the situation. If not corrected in a timely manner, the HOA may correct the situation and charge the lot owner for the expense. If no violations occur, the construction deposit will be returned in full after the final review.

### SECTION VIII

# **Construction Signage**

Construction signs, which are required on all job sites, are purchased through the HOA. Contact the HOA office for information on purchasing a sign. This sign is for the construction period only, and is to be removed after construction.

### SECTION IX

# Design Review Procedure

The design review is conducted to assure adherence to these design guidelines only and is not intended to approve or recommend the structural integrity, quality or performance of any design or material. The design review process is a simple procedure of following the step-by-step design review format and complying with the requirements outlined in the Design Guidelines. In order to expedite the review process, the review format has been structured to achieve a smooth and timely transition from preliminary review to final site inspections.

The ARC has established a schedule for plan submittal, review, and meeting with the owner/agent to discuss any questions or concerns.

Plans for the review must be submitted to the HOA and each submittal must be accompanied by a completed Design Request Review and Review Fee (detailed on the following page).

# Plan Review Fee Schedule

New Home Construction		
Plan Review Fees		
Custom Home	\$1,350	

Supplemental Review Fees	
Home Addition	\$600
Outdoor Kitchen	\$300
Pool	\$300
Fence / Wall	\$150
Generator	\$100
Gutters / Drainage Improvements	\$100
Landscaping	\$200
Exterior Paint	\$100
Roof Alterations	\$100
Other Minor Alterations	\$100

Any additional changes that require review will be billed hourly by the ARC.

This fee has been established to partially cover the expense of reviewing plans and related data as well as to compensate any consulting architects, landscape architects, urban designers, inspectors, or attorneys retained by the ARC.

# **Submission Requirements**

The following steps represent the necessary procedures required to build in Highlake. It is important to note that any deviation from the procedures could cause unnecessary delays and or additional costs and fines if approvals are not obtained prior to construction.

### STEP 1: PRELIMINARY DESIGN REVIEW

The Architectural Review Committee requires those who are building new structures or additions in the community to submit preliminary drawings for review. For the preliminary design review, you must submit the following:

- a complete Design Request Review Form
- the Review Fee
- the Required Drawings (see list in Step 2 below)

A preliminary design review does not constitute final approval on any aspect of the design. A copy of the Preliminarily Design Drawing Requirements may be submitted either electronically or physically. These requirements are considered minimum, and the Architectural Review Committee reserves the right to request additional drawings deemed necessary to conduct an adequate review.

### Surveyor's Topographic Survey:

- · Existing tree locations, type and size
- Existing site grade elevations (max 50' grid), street and existing curb elevations and elevations along each property line
- Property line boundaries and all servitudes
- PCE-Proposed Certificate of Elevation which states the minimum elevation required
- · Actual distance from property line to street curb

### **Proposed Site Plan:**

- · All of the above from surveyor's topography
- Proposed finish floor elevations
- Proposed surface and sub-surface site drainage for construction (prior to landscape). Note this is to be shown with contour lines and/or adequate point elevations, and in the case of sub-surface show catch basin locations, line sizes and locations and where they tie into existing drainage systems. All construction swales must be shown.
- · Driveway and curb cut elevations
- · Building outline
- · Other site improvements (walks, retaining walls and their materials and heights, etc.)

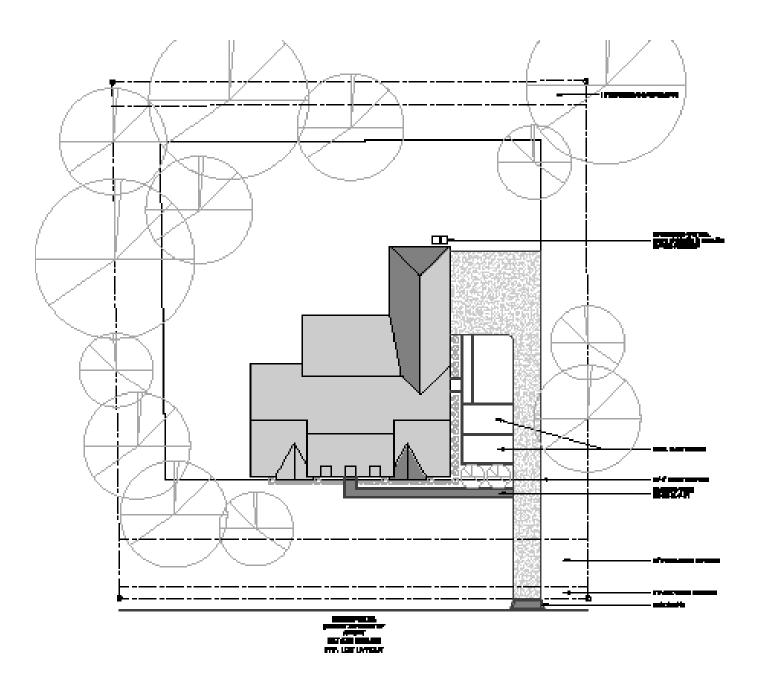
### **Proposed Floorplans:**

• Proposed floor plan(s) should include all interior and exterior spaces labeled with overall dimensions. Floor plan orientation should correspond with site plan orientation.

### **Proposed Building Elevations:**

- Proposed exterior materials, window and door types, shutters, etc.
- · Highest roof peak height dimension above proposed finish grade at the front entry

See typical site plan layout on following page



### STEP 2: CONSTRUCTION DOCUMENT SUBMISSION

The construction document submittal should incorporate the required drawings containing all of the requirements of the Design Guidelines as well as comments from any reviews.

### **Drawing Requirements:**

These requirements are considered minimum and the Architectural Review Committee reserves the right to request additional drawings deemed necessary to conduct an adequate review. Please note all required drawings must be submitted.

### Site Plan showing:

All information from surveyor's topographical survey (see Step 1).

- · Show trees to remain and trees to be removed, using different symbols
- Finish floor elevations. If this elevation is modified by minimum elevations required by the City of Baton Rouge, the Owner is required to notify the HOA office prior to any construction
- Proposed site drainage for construction (prior to landscape). Note this is to be shown with contour lines and or adequate point elevations
- · Driveway and guest parking with curb cut elevations
- · Sidewalks and entry walks
- · Air conditioning condensing unit locations
- Hardscape, (patios, courtyards, fountains, additional walks, pools and pool decks, etc. may be submitted with landscape plans, see step 6)
- · Building outline
- All servitudes locations and types
- Fencing location, height, and type (may be submitted with landscape plans, see step 6)
- · Retaining wall locations, size, type, height, and finish
- Trash and/or garbage can storage if applicable
- · Other site improvements

### First Floor Plan:

Materials and finishes, and all interior spaces should be located and dimensioned.

- · Floor plan should include all interior (heated/cooled) and exterior spaces labeled and dimensioned.
- Wall types used should be indicative of intended materials.
- Doors and windows should be labeled and correspond to a Door/Window schedule.
- · Notation of any revisions from preliminary approval (if applicable) should be included.

### **Second Floor Plan:**

- · Floor plan should include all interior (heated/cooled) and exterior spaces labeled and dimensioned.
- Wall types used should be indicative of intended materials.
- Doors and windows should be labeled and correspond to a Door/Window schedule.
- · Plan should include any lower roof projections, roof overhangs, chimney locations.
- The second-floor plan should correspond with the first-floor plan and site plan orientation.
- · Notation of any revisions from preliminary approval (if applicable) should be included.

### **Roof Plan:**

- · All roof areas and corresponding slopes
- · Roof material
- · Label and locate all roof vents, projections, gutters, downspouts, crickets, chimneys, flashing, skylights, and vents

### **Building Elevations:**

- All elevations are to articulate material, finish, window types, shutters, trims, fascia details and other architectural detailing. The proposed finish grades at building must be indicated, along with air conditioning and trash screens, decks, and exterior stairs.
- The elevations should indicate height from first floor finished elevation to the uppermost roof peak.
- Schedules (Door, Window, and Finish)
- Materials palatte. All exterior finishes and colors arranged together.
- Details at appropriate scale. All details required for construction, particularly exterior details, including but not limited to:
  - Typical exterior wall section
  - Sections through all porches and balconies
  - Column details
  - Chimney details
  - Shutter details
  - Dormer details

### STEP 3: PLAN REVIEW

After construction document review, the committee's review decision will be returned to the property owner "Approved" (construction may proceed), "Conditionally Approved" (construction may proceed with noted corrections to plans), "Revise and Resubmit" (construction may not proceed and resubmission is required) or "Rejected" (construction may not proceed). In some instances, particularly those in which multiple final reviews are required, an additional review fee may be levied. In any such instance, the property owner or their authorized agent will be advised in advance of any impending problem, and prior to the levying of an additional review fee.

The Architectural Review Committee will retain the final reviewed drawings for a maximum one hundred eighty (180) days after final review. If work has not started, or a continuance has been received by the lot owner or owner's agent within one hundred eighty (180) days, the approval will automatically expire. A reapplication and review (subject to any new regulations) will then be necessary in order to begin construction.

### **STEP 4: SITE PREPARATION**

Based on the construction document review, approval to clear the site and prepare the site for construction (excavation or fill) may be granted. This approval must be obtained from the HOA in writing before any site work can commence.

### **STEP 5: SITE REVIEW & INSPECTION**

After plan approval, the owner may proceed with foundation forming. There are three site reviews or approvals that are required from the Architectural Review Committee during the construction process. The purpose of the site review is to ensure compliance with the approved plans. After obtaining approval with each step, permission will be granted to continue with construction. They are as follows:

- A form or slab survey is required
- A site review or inspection is required after the framing is completed
- A final inspection is required when home construction and all landscaping/hardscaping is complete. Final review approval
  must be obtained prior to release of any deposits and owner move in.

A \$10,000 deposit is required prior to occupancy if final review is not approved. This deposit will be refunded when final inspection or review is approved.

Please note a re-inspection fee may be charged if the architect must re-inspect the site. To arrange for a site inspection, contact the HOA. This approval must be obtained from the HOA in writing before any site work can commence.

### STEP 6: LANDSCAPE REVIEW

It is recommended that landscape plans be submitted with construction drawings. However, if landscape plans are to be submitted at a later date, they must be submitted and approved prior to driveway construction.

### **Landscape Plan showing:**

- Size, spacing, quality and quantity of plants, drawn sized and spaced to scale.
- An accurate plant list.
- All hardscape surfaces (driveways, walks, patios, retaining walls, courtyard walls, fountains, pools, fencing, decks, etc.) with point elevations and heights.
- Final site drainage. This is to be shown with contour lines and adequate point elevations. The landscape plan is the final drainage plan for the property and will be reviewed for all requirements related to individual lot drainage.

Mulching is required for all planted areas. The mulched areas provide a smooth transition to the existing natural vegetation. Irrigation systems, although not required, are strongly encouraged. Irrigation helps to maintain a quality landscape throughout the year, especially in times of drought.

The Architectural Review Committee will consider all elements of the individual landscape plan and plant materials selected in the review process. Many plant types will be acceptable for use within the community. In these guidelines, the ARC has recommended a variety of plant types to be used in planning the various landscape designs. The materials have been selected because of their traditional influence in Louisiana and their other desirable characteristics.

In all cases, the entire yard shall be adequately landscaped, as determined by the ARC. In any instance involving phasing of landscape, the initial landscape work shall encompass the entire yard; front, rear and sides, with planned enhancement to follow. All phases must be approved by the ARC prior to installation.

### STEP 7: FINAL REVIEW

After landscape installation and all construction is completed, a final review of the project is required. Final review approval must be obtained prior to release of any deposits.

# Approval of Architects, Designers, & Builders

A complete list of all designers, architects, builders, or construction tradesmen that will perform work on a lot must be submitted as part of the Construction Documents review.

The Architectural Review Committee shall have the power to determine that any designer, architect, builder, or construction tradesman is unsuitable for construction or architectural work on any lot within Highlake, and to prohibit the designer, architect, builder or construction tradesman from working on any project or lot.

All designers, architects, or builders must be pre-approved by the Association to build in Highlake. A list of pre-approved designers, architects, and builders who understand the high quality of construction expected at Highlake is available upon request.

# **Building Guidelines & Specifications**

### **Parking Standards**

There is a minimum of 3,500 square feet of heated and cooled space or living area in Highlake.

### **Setbacks**

The principal facade of each residence constructed on a Lot must be located no closer than fifty (50) feet from the center point of the roadway directly in front of the subject property. The principal façade of the sides of each residence constructed on a Lot (defined as the boundaries not facing the street on which the Lot fronts and not facing the rear of said Lot) must be located no closer to the side property lines than twenty-five (25) feet from the closest property line. The rear facade of any residence constructed on a Lot must be located no closer than twenty-five (25) feet from the rear property line of said Lot.

### **Architectural Styles**

The intent of these guidelines is to encourage a community of individually outstanding architectural statements that when viewed together create a superbly designed community. It is not the intent of these guidelines to designate specific architectural styles, but rather to give property owners and their architects or designers a set of guidelines to follow. Each architectural design should be customized for the individual homesite to maximize the existing natural features. Traditional styles such as French Quarter, Acadian, Plantation, West Indies or Louisiana vernacular are preferred. Contemporary/modern styling is also acceptable but should adhere to the same criteria as contained in these guidelines and must be metal and/or flat roof. Mediterranean styling is also acceptable but should adhere to the same criteria as contained in these guidelines and must have Terra Cotta roofing.

### **Siting**

The ARC shall consider each site independently but shall give extensive consideration to each individual plan's impact upon adjacent homesites and view corridors. Care must be taken to locate each structure, whenever possible, so as not to infringe upon adjacent structures and homesites, view corridors, and natural amenities of the area. Consideration in this regard includes the following:

- Topography of the site and surrounding homesites
- Distant and intimate views from the homesite
- Existing vegetation type and quality
- Existing water and drainage patterns
- Driveway access
- Height of proposed and adjacent structures

### **General Architectural Guidelines**

Evaluation of the appearance of any improvements shall be based on the quality of its design and relationship to its surroundings. Buildings and improvements shall have good scale and be in harmony with permanent neighboring development.

Building components, such as windows, doors, eaves, columns, column bays, dormers, roofs, roof slopes and parapets, shall have good proportions and relationships to one another.

Materials shall have good architectural character and shall be selected for harmony of the building and adjoining buildings.

Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have similar materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from common areas.

Materials shall be of durable quality.

In any design in which the structural frame is exposed to view, the structural materials shall be compatible within themselves and harmonious with their surroundings.

Mechanical equipment or other utility hardware on roof, ground, buildings, or improvements may be required to be screened from public view from the adjoining property at street level with materials harmonious with the improvements or they shall be so located as not to be visible from any common areas when viewed from street level.

Exterior lighting shall be part of the architectural concept. Fixtures and all exposed accessories shall be harmonious with building design.

To the extent permitted by the Declaration, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from view from common areas with screening masses compatible to the building design.

In addition to the requirements set forth in the Declaration and any Supplemental Declarations, the following factors and characteristics, which affect the appearance of a development, shall govern the evaluation of an application:

- Preservation of natural landscaping
- Conformance to Design Guidelines and Declaration
- Logic of design
- Exterior space utilization
- Architectural character
- Attractiveness
- Material selection
- Conformity and compatibility with existing architectural styles
- Maintenance aspects

### **Massing**

Excluding porches and balconies, the massing is limited to a maximum of three (3) plan rectangles: These corresponding to main house, wing, and garage. Buildings shall be oriented parallel to a straight principal frontage determined by the Architectural Review Committee in its sole discretion.

Lines should be confirmed with the Architectural Review Committee. Exceptional shaped lots shall be reviewed by the Architectural Review Committee. Houses on corner lots shall have composed facades on both street frontages.

The Declaration may require ground finished floors of buildings and improvements to be raised a minimum of twenty-four inches (24") above the average sidewalk grade along the building frontage, or as approved by the ARC.

### **Building Walls**

Exterior building walls shall be made of concrete/masonry or wood stud and finished in stone, brick, stucco, or wood. Wood finishes included: wood clapboard, smooth sided Hardi plank, board and batten, or board on board, and then sealed with an approved color of paint or stain. All paint and stain colors must be approved for the location of use. Stucco finish shall be smooth (steel-troweled) only. A sample of stucco must be submitted before installation.

Foundation Walls, piers and pilings shall be parged block, smooth-finished poured concrete, or wood. Retaining walls shall be masonry and finished in stone, brick, or stucco. Foundation walls may be articulated with projected stucco, exposed concrete, or stone facing. Stone facing shall be aligned with the wall. Stone must be natural stone.

Maximum 12" of visible exposed foundation above grade.

Parapet copings shall be made of stucco, concrete, stone, painted metal, or copper.

Exterior stucco shall be applied without visible control joints and to temporary grounds at all corners and projections. Permanent beads or stops and control joints are strictly prohibited. Architects are advised to note as such in final building plans, and to notify the builder prior to stucco application.

### Prohibited:

- Panelized wall materials, exposed CMU, wood grained Hardi siding/cement board
- Precast or foam applied molding (except when encased in 3-coat stucco finish), and trim
- Plastic or metal stucco beads or stops
- Stucco control joints where visible from a common area (except at abutment to adjoining house placement to be coordinated with the Architectural Review Committee)

Building walls may be built of no more than three (3) materials and shall only change materials at inside corners, at possibly a horizontal transition between 1st and 2nd floors, or underneath covered areas.

Horizontal Siding to be a maximum of 7" Reveal.

Exposed Siding Corner Joints are encouraged and shall be Artisan siding by James Hardie or approved equal.

Stucco or plaster coating may be applied to concrete block or poured concrete. Stucco shall be steel troweled smooth finish.

The Architectural Review Committee encourages a mixture of different facades, textures, and materials for building walls such as natural brick with stucco, wood, painted or washed brick. As example: a brick façade with wood or stucco on sides, etc. If a single material is desired for building walls:

- An all wood, stucco, or siding house is allowed.
- − A brick house may be painted or lime washed.
- − The use of natural brick (often called old brick or antique brick), because of its historical nature, is encouraged.
- If new brick, modular in size and a true tumbled brick
- Preferable vendors include
  - Old Texas (OldTexasBrick.com)
  - Cherokee (OldTexasBrick.com)

### **Roofs and Eaves**

Roofs shall be clad in one of the following materials, in its natural color: galvanized roofing to be architectural shingles, 5-V crimp or standing seam metal, metal roofing to have no striations, slate, or cedar as approved by the ARC.

Gutters and Downspouts, when used, shall be made of galvanized steel, copper (not copper-coated), anodized or ESP aluminum and should be minimum six inch (6") half-round. Case style can be approved if built into a crown molding. Downspouts must be round. Metal chains may be used in lieu of downspouts. Downspouts shall be placed at the corner of the building less visible from nearby streets. Splash blocks shall be made of concrete, brick, or gravel. Gutters may be concealed in roof or attached to eaves.

Flashing shall be copper, lead or anodized aluminum. Downspouts at sides between houses must tie in downspouts to sub surface drainage.

Minimum roof slopes to be 6:12 and maximum 16:12, gabled hips, hipped gables, and flared hips allowed, flat roofs with parapets are also allowed.

Ancillary buildings roofs (attached to or detached from principal walls or roofs) may be gabled, hipped, shed (no less than 6:12), domed, vaulted, or flat with a parapet. Roofs on towers shall be flat, domed or have a slope which matches the primary structure. Pigeoneer roof slopes may exceed 12:12. Parapets are encouraged to reflect vernacular conditions as found in French Colonial, French Creole, and Franco-Caribbean colonial towns. French and Parisian influences are acceptable based upon architectural merit and as approved by the Architectural Review Committee.

Eaves shall be continuous, unless overhanging a balcony or porch. Roof slopes may break to a shallower pitch at the eave. Corniced eaves are permitted if approved by the Architectural Review Committee.

Bay window roofs shall be independent of building roof and shall be hipped or shed.

Parapets at uninhabited roofs shall be at minimum eighteen inches (18") high.

Primary roofs and ancillary or incidental pitched roofs of stoops, porches, canopies, bay windows, pigeoneers, and the like may be made of metal or shingles.

Exposed gutters shall be K-shaped or half-round in profile. Downspouts shall be round in profile. Gutters and downspouts shall be made of unpainted copper to match flashing. Rain chains are permitted in lieu of leaders.

Gutters may be concealed in roof or attached to eaves.

Roof penetrations, except stucco or brick chimneys, shall be placed so as not to be easily visible from streets or paths. Roof penetrations, except stucco or brick chimneys, shall be painted to match the color of the roof, except those of metal which may be left unpainted.

Skylights are not permitted. Lanterns are permitted on pitched or flat roofs, subject to approval of the Architectural Review Committee.

### **Doors and Windows**

Exterior doors shall be made of wood or metal-clad wood. Windows shall be factory finished (metal-clad), painted or stained. Intended color shall be submitted with project material/color selections.

All exterior doors shall be installed with brick molds. Doors shall be painted or stained. Intended color shall be submitted with project material/color selections.

Windows shall be predominantly operable sash type and made of wood or metal-clad wood with impact-resistant glazing. Windows and doors shall be glazed with clear glass, except as otherwise required. All windows shall be installed with brick molds.

Casement and fixed-window types may be used incidentally. Fixed windows must be sash set. Figural windows are permitted, subject to approval of Architectural Review Committee. Windows shall be rectangular, vertically proportioned, and operable.

Transoms may be oriented horizontally with panes having other opening configurations, but primarily horizontally proportioned. Multiple windows in the same rough opening shall be separated by a 4" minimum post or 1-1/2" wide minimum mullion. Window and exterior doors shall be mounted within wall thickness at centerline or toward interior face of wall to allow operable shutters to be flush with exterior wall when closed. Windowsills in masonry construction shall project a minimum of 1" from the face of the building.

Window Muntins are encouraged and shall be true divided lite or fixed on the interior and exterior surfaces. Individual window and door lites shall create panels of square or vertical proportion in 2:3 ratio. Lites within windows and doors of differing sizes shall be similarly proportioned. Individual lites shall be vertically proportioned. Muntins shall be traditionally profiled and no greater than 7/8" inch in width.

Bay windows shall extend to the ground or be supported by wood or concrete brackets of appropriate scale.

Shutters shall be made of wood or a composite material. Shutters shall be operable, top- or side-hinged, or a combination. Shutters shall be properly sized to opening and equipped with holdbacks at building wall. Shutters shall be in louvered panel, solid panel (recessed), board-and-batten, or diagonal plank construction. Combinations of these types are permissible (i.e.: 2-panel shutter with louvers above and soled panel below) and are subject to approval of Architectural Review Committee. Decorative cutouts are permitted subject to Architectural Review.

Storm Windows and Screens shall be integral with the window. Screens shall be made of aluminum, brass, bronze or black vinyl. Driveway Gates shall be in-swinging and have a maximum opening width of ten feet (10').

All wood doors, windows, shutters, entry doors, and gates can be either primed and painted or stained.

### Garages

To maintain design continuity throughout the community all residences must have enclosed garage space for a minimum of two (2) cars. Houses with five (5) bedrooms must provide enclosed garage space for three (3) cars.

It is encouraged that all garage locations be located as far from the street as possible within the constraints of the design of the home. Further, "front-loading" or street-facing garages are discouraged by the ARC and will only be given consideration if the garage door material and construction are of a superior quality and enhance the aesthetic of the residence in a significant way as determined by the sole discretion of the Architectural Review Committee.

All owner's cars not parked in a garage must be screened from offsite views. Golf carts must also be stored in the garage. Guest or visitor parking is an important feature that should be incorporated into the overall site and driveway design of all homesites.

Garage doors shall be overhead sectional or side-hinged, shall be made of wood or metal, and shall contain lites. Metal doors shall be faced in wood at exterior and shall resemble swinging doors. Garage door design must be approved by the Architectural Review Committee.

Garage door openings shall be a minimum of eight feet (8') tall. Garage doors do not require lites. If home type is J-load, garage doors must have applied panels or be carriage style.

### **Galleries & Porches**

Screened porches are permitted. Screened porches and enclosures are considered vertical construction and shall not encroach into the required setback areas. Screens shall be installed within porch structure openings, made of black vinyl, aluminum, dark color, or bronze, and framed in wood, brick, stucco, and wood siding only, and installed behind framed railings. No aluminum, steel or other metal structure may be exposed except for a minimal amount to hold the screen. The exception to this rule is the roof members, which may be the exposed metal structure. However, framing members must be bronze, black, or a dark color that blends with the screen, while anodized aluminum will not be allowed. Prefabricated enclosures of any kind are prohibited.

Column/post and beam faces shall be aligned, and beams shall be exposed at interior face. Cased beam fascia's shall overlap beam soffit.

### **Driveways**

Driveway apron depth must be 7 foot minimum from the street. Must use Oklahoma blue tumble edgers or Oklahoma brown tumble edgers from Jim Stone Co.

Lots 10, 11 and 12 may have a rear yard driveway onto Edmund Hawes Drive, provided the driveway is gated and the gate remains closed, except when in use.

### Fences, Walls & Gates

All walls, fences, and retaining walls must be approved by the ARC prior to construction. It is required that walls and fences be constructed of solid masonry, cast aluminum or wrought iron with masonry/stucco columns. Columns shall not be spaced greater than 18' on center. The ARC will consider variance requests for decorative fencing of another material. Walls and fences should utilize the same material as found in the architecture of the residence. Wood fences with brick columns may be allowed in rear yards of interior lots. No wood fences will be allowed on the front of lots and view from the street will be taken into consideration on all wood with brick column fence proposals. In order to ensure a quality appearance, chain link or welded wire fences will not be permitted within the community. Maximum height of walls and fences is 8' behind the front setback. If the wall or fence is located prior to the front setback, the height is lowered to 3' to ensure that the architectural design of the home is not compromised.

Driveway gates shall be in-swinging, made of wood or decorative metal, and shall not exceed twelve feet (12') in width.

All walls, fences, and gates made of wood must be primed and painted or stained where applicable, with colors approved by the ARC.

Fiberglass, composite, or vinyl gate and fencing material is prohibited.

### **Building Elements**

Chimneys shall be finished with stucco, brick, or stone. Chimneys shall be a minimum of 2:1 proportion in plan and capped to conceal spark arresters. Flues shall be no taller than required by the Building Code. Fireplace enclosures and chimneys shall extend to the ground. Exposed chimney flues are prohibited.

Exterior stairs, when visible from a common area, shall be made of stucco, concrete/masonry, brick, wood, or stone. Masonry finish shall match building wall finish. Wood stairs are permitted on porches and stoops in residential districts. Flooring at steps and landings shall be made of exposed concrete, concrete pavers, brick, colored cement tile, or stone. Tile and brick selection is subject to approval of Architectural Review Committee.

### Pools & Spas

In-ground swimming pools may be approved within private lots, provided they are not readily visible from a common area. No pools are allowed closer than 5' to any property line. No encroachment is permitted into any easement. Pool and equipment enclosures must architecturally relate to the residence and other structures in their placement, mass and detail. They should be screened or treated so as not to distract adjoining property owners because of noise or view. Pools must be completely enclosed by security fencing and gates meeting the safety requirements of East Baton Rouge Parish ordinances and Design Guidelines.

Above-ground pools, other than a temporary, small wading pool are prohibited. Fountains and water basins may be approved.

### **Lighting & Signage**

All landscape and exterior lighting must be approved by the ARC prior to installation. The location, placement and direction of lighting should enhance the landscape and residence and not infringe upon adjacent property owners. Owners are encouraged to use authentic gas lanterns on the exterior of the residence. Electric fixtures designed to mimic the "flicker" of a gas lantern are strictly prohibited. Soffit lighting is prohibited on any elevation except over garage doors, provided the garage doors are rear-load from the alley.

### **Ancillary Structures**

Dog runs, storage houses, greenhouses and other similar detached ancillary structures shall be in a yard enclosed by a solid patio wall. No metal or prefabricated buildings are permitted. All structures must be approved by the ARC.

### **Solar & Geothermal Guidelines**

"Solar collector" means any device or combination of elements which relies on sunlight as an energy source.

Solar rooftop devices are defined as:

- Photovoltaic (PV) panels/modules
- Solar Water Heating (SWH) panels/modules and
- Integrated Photovoltaic Systems (IPS) (i.e., photovoltaic "shingles, tiles or siding" or "thin-film laminates")

As stated in LA RS 9:1255, No person or entity shall unreasonably restrict the right of a property owner to install or use a solar collector.

Solar rooftop devices must be visually integrated with the architecture of the house regarding style, location, size and color. The installation of such devices should eliminate or minimize visibility from the street. Tracking platforms or mechanisms that allow devices to tilt seasonally, permanently or by time of day are not allowed.

Solar collector systems must meet the following criteria:

- Installations must comply with applicable building codes; all necessary permits must be obtained.
- Solar panels must have a non-reflective surface.
- The maximum panel clearance (distance from the roof surface to the top surface of the panel) should be eight (8") inches.
- A maximum of two (2) roof planes should be used for a single type of installation.
- Panels must be installed on the plane of roof material and may not extend above the ridge line of the roof. Panels (collectors) must be a continuous unit without gaps.
- All conduit or pipe runs should be internal/concealed (non-visible from the outside) or, if external, be painted to match background color.
- PV systems require that the inverter should be placed either inside or within three feet (3') of the existing utility meter, preferably on the same plane as the existing utility meter.
- $\cdot$  Inverters and additional utility meters should not be installed in plain sight from the street.

### **SOLAR PANEL SUBMISSION**

A completed application must include a color visualization and/or simulated image of the installation. The solar system must be accompanied by a professional construction drawing(s) to scale for the proposed installation. The exact location and number of collectors, means of attachment to the roof structure, and location of all exterior components must be shown. A site map is also required, showing the orientation of the home in relation to other properties.

Specifications for the installation must include:

- Documentation that the system meets the required technical guidelines
- · Current roof material and color
- · Proposed panel manufacturer and panel color, including stock photos of the panel from the manufacturer's website
- Proposed panel frame color and material

# **Architectural References**





















# Landscape and Hardscape Design

The community of Highlake has been carefully planned. Various hardwoods and oak trees are very prolific within the area surrounding the community, and it is the intent of the ARC to maintain this landscape integrity. The determining factor of good landscape design should always be the architecture and location of the residence. The ARC will take into account various relationships of house-to-site, house-to-house, views, and other amenities in making decisions regarding specific landscape plans. To ensure that the overall beauty of the community is preserved and enhanced, the ARC has the authority to approve or disapprove landscape plans for individual residences.

A fundamental portion of the design criteria is the need for gardens and lawns to harmonize with the natural beauty of the community. Owners will be encouraged to landscape their lots with plant material which is indigenous to the area.

The landscape plan must show all proposed site structures and features including drives and turnarounds, walks, patios, decks, fences, pools, spas, and any other site features. Utility yards, trash and garbage areas, swimming pool pumps and filters, and air conditioning units shall be screened from view, either by fencing, walls or evergreen planting. They should be as high as the objects being screened when planted in order to ensure immediate effect. The landscape plan should accurately locate and describe all existing vegetation to remain, as well as all proposed planting as to location, variety, and quantity. A complete plant list is required indicating the size, quality and spacing of the proposed plantings. Complete front, rear and side specifications are required for bed preparation. Areas to be mulched or planted as a lawn should also be indicated. Lawns may be seeded, sprigged, plugged, or sodded with the selected planting method indicated on the landscape plans. Areas contiguous to streets shall be sodded.

### LANDSCAPE PLAN SUBMISSION

It is recommended that landscape plans be submitted with construction drawings. However, if landscape plans are to be submitted at a later date, they must be submitted and approved prior to driveway construction.

### **Landscape Plan:**

- Size, spacing, quality and quantity of plants, drawn sized and spaced to scale
- An accurate plant list
- All hardscape surfaces (driveways, walks, patios, retaining walls, courtyard walls, fountains, pools, fencing, decks, etc.) with point
  elevations and heights
- Final site drainage. This is to be shown with contour lines and adequate point elevations. The landscape plan is the final drainage plan for the property and will be reviewed for all requirements related to individual lot drainage.

Mulching is required for all planted areas. The mulched areas provide a smooth transition to the existing natural vegetation. Irrigation systems, although not required, are strongly encouraged. Irrigation helps to maintain a quality landscape throughout the year, especially in times of drought.

The Architectural Review Committee will consider all elements of the individual landscape plan and plant materials selected in the review process. Many plant types will be acceptable for use within the community. In these guidelines, the ARC has recommended a variety of plant types to be used in planning the various landscape designs. The materials have been selected because of their traditional influence in Louisiana and their other desirable characteristics.

In all cases, the entire yard shall be adequately landscaped, as determined by the ARC. In any instance involving phasing of landscape, the initial landscape work shall encompass the entire yard; front, rear and sides, with planned enhancement to follow. All phases must be approved by the ARC prior to installation. Additional drawings may be deemed necessary to conduct an adequate review.

### **Theme Plants:**

The following list of plants have been selected to complement the vision of the community. It is desired that individual property owners continue with this type of planting to add to the prevailing mood of our community. There are many other plants not listed that may also be used within the community, but are not necessarily considered theme plants.

### **ENCOURAGED TREE SPECIMEN**

Southern Magnolia - Magnolia Grandiflora Sweetbay Magnolia - Magnolia Virginiana Saucer Magnolia - Magnolia Soulangiana

Live Oak - *Quercus Virginiana* Red Oak - *Quercus Falcata* Cow Oak - *Quercus Michauxii* 

Swamp Red Maple - Acer Rubrum "Drummondii"

Cypress - Taxodium Distichum
Eagleston Holly - Ilex x attenuata
American Holly - Ilex Opaca
Chaste Tree - Vitex Angus Cactus
Fringe Tree - Chionanthus virginicus
Tulip Tree - Liriodendron Tulipifera
Crab Apple - Malus Angustifolia
Cherry Laurel - Prunus Caroliniana
Crepe Myrtle - Lagerstroemia Indica
Princeton Elm - Ulmus Americana

### **ENCOURAGED SHRUB SPECIMEN**

Azalea - Azalea Indica

Dwarf Azalea - *Azalea Obtusum* Wild Azalea - *Azalea Canescens* 

Sansanqua Camellia - Camellia Sasangua Reeve's Spirea - Spiraea Contoniensis

Gardenia August Beauty - Gardenia Jasminoides

Drift Rose - Rosa Hybrida

Pringles Yew - Podocarpus Macrophyllus

Distyllium

Compacta Holly - *Ilex Crenata*Dwarf Burford Holly - *Ilex Cornuta*Sweet Olive - *Osmanthus Fragrans*Banana Shrub - *Michelia Figo* 

Mock Orange - Philadephus Coronarius Limelight Hydrangea - Hydrangea Paniculata

Cleyera

Sweet viburnum - Viburnum Odoratissimum

### ENCOURAGED VINE SPECIMEN

Carolina Yellow Jessamine - Gelsemium Sempervirens Lady Banksia Rose - Rosa Banksiae Confederate Jasmine - Trachelospermum Jasminoides Wisteria - Wisteria Sinensis Fig Vine - Ficus Pumila

### ENCOURAGED GROUND COVER SPECIMEN

Liriope - Liriope Muscari or Spicata Monkey Grass – Ophiopogon Japonicus Ligularia - Ligularia Giganteum Algerian Ivy – Hedera Camariensis English Ivy – Hedera Helix Aspidistra – Aspidistra Elatior

Vinca – Vinca Major

Daylily – Hemerocallis Fulva

Louisiana Iris – Fulva, Hexagona, Brevicaulis, Giganticaerulea

New Gold Lantana - Lantana Camara Wood Fern – Dryopteris Marginalis Autumn Fern – Dryopteris Erythrosora

### PROHIBITED SPECIMEN

(Freeze damage, insect and disease problems, incompatibility with overall theme)

Ierusalem Thorn - Parkinsonia Aculeata

Mimosa - Albizia Julibrissin

Golden Rain Tree - Kielreuteria Bipinnata

Loguat - Eriobottya Japonica

Golden Euonymus - Euonymus Japonica

Oleander - Nerium Oleander

Italian Cyprus - Cupressus Sempervirens Asian Jasmine - Trachelosperum Asiaticum

Bradford Pear - *Pyrus Calleryana* Riverbirch - *Betula Nigra* 

Medjool Palms - Phoenix Dactylifera Sylvester Palms - Phoenix Sylvestris Chinese Pistache - Pistacia Chinensis

Dogwood - Cornus

Indian Hawthorne (dwarf variety) - Rhaphiolepis Indica

 $Leyland \ Cypress - \textit{Cupressus} \times \textit{Leylandii}$ 

Nandina - Nandina Domestica Cheesewood - Pittosporum Tobira

Photinia

Boxwood - Buxus

Pineapple Guava - Acca Sellowiana

### **Tree Requirements**

In order to improve and enhance the streetscapes of the community, each landscape plan shall incorporate a minimum of six(6) trees in the front yard of each residence. The selected tree type shall be four inch (4) caliper minimum. Ball and burlap trees are recommended for winter installations and containerized trees are recommended for summer installation.

# **Design Approval Process**

All plans for the construction, repair, or physical alteration of any Improvements to or on a Lot shall comply with the Design Guidelines, Declaration, and Supplemental Declarations, and shall be submitted to the Architectural Review Committee in advance.

The Architectural Review Committee shall review the plans to ascertain that the Improvements will thoroughly comply with the Design Guidelines. In order to assure that location and size of Improvements will be harmonious, the Architectural Review Committee shall have the absolute and sole right to control and decide the precise site, location, and orientation of any Improvement upon all Lots. The criteria for approval by the Architectural Review Committee is intended to be subjective and not objective and all criteria for approval or disapproval for proposed plans cannot be determined in advance of the review process.

- **Pre-submission Meeting** Prior to submission of plans to the Architectural Review Committee, the Owner (without any architect or designer) may schedule a pre-submission meeting with the ARC and/or its HOA manager to discuss the site, the approval process, and the spirit of the Design Guidelines. This is required so that the owner has a clear understanding of Highlake, the Design Review Process and Design Guidelines, in order to prevent unnecessary misunderstandings, modifications and revisions to the plans. As a part of this conversation, Owner shall be prepared to discuss all builders, contractors and architects that will perform work on a Lot.
- **Preliminary Plan Submittal** The Design Review Request Form shall be submitted with the submission of a preliminary plan. At this time, a Review Fee will be charged for the review and approval process. The review fee shall be due and payable to Highlake Homeowner's Association, Inc.
- Variance Process If there are any requested variances to the Design Guidelines, Declaration or Supplemental Declarations, the applicant must submit a written description of the variance and the justification based on merit or hardship. The Architectural Review Committee, at its discretion, has the right to approve any waivers or deviations from the Design Guidelines, Declaration or Supplemental Declarations that it deems are appropriate. Any variance granted shall be considered unique and will not set precedence for future decisions. Further, written approval of the Association must be obtained by an Owner for any waiver of the City/Parish Unified Development Code; any waiver granted by the City/Parish without the prior written approval of the Association must also receive subsequent Association approval.
- **Submit Required Forms** Each Owner and their contractor shall review all construction rules, as the contractor and their subcontractors are to comply with the contractor rules and regulations that are established by the Association from time to time.
- Construction Deposit Paid Prior to commencement of construction of any Improvements on any Lot, the Owner or contractor shall make a construction deposit payable to the Association in an amount of Five Thousand Dollars (\$ 5,000) per lot. The deposit will be used to reimburse Highlake for any damages or non-compliance charges.



# Design Review Request Form

Please complete, sign, and return this form to the Highlake Homeowner's Association, along with the requirements as set forth in the Design Guidelines Submission Requirements section. If you need any assistance, please contact Carol Wilson with Community Association Management (carol@camgmtllc.com). Once all information is received, as required, and all appropriate fees are paid, your submittal will be sent to the Architectural Review Committee for review. The process may take up to thirty (30) days for the review. You will receive notification of the decision of the committee in writing

Homeowner Information	
Name(s):	Lot:
Current Mailing Address:	
Email:	Phone:
Architect/Designer:	Builder:
Submittal Description SUBMISSION PHASE	
Conceptual Plan Review Preliminary Plan Review	ew Final Plan Review
SUPPLEMENTAL ADDITIONS	
Addition	
Landscape	
Pool	
Fence / Wall	
Exterior Colors / Finishes	
Generator	
Roof Alterations	
Other	
PROJECT DESCRIPTION	
Expected Start Date: Exp	ected Completion Date:

# Important Notices & Acknowledgment

ALL IMPROVEMENTS ARE EXPRESSLY SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, FOR HIGHLAKE, AND ALL RULES AND REGULATIONS ADOPTED THEREUNDER, INCLUDING, BUT NOT LIMITED TO, THE DESIGN GUIDELINES (THE "DECLARATION")

IN AN EFFORT TO PROVIDE AND PROTECT EACH INDIVIDUAL OWNER'S RIGHTS AND VALUES, EACH OWNER CONSIDERING IMPROVEMENT ON THEIR PROPERTY MUST SUBMIT A REQUEST FOR HOME IMPROVEMENT APPROVAL TO THE ARC PRIOR TO INITIATING WORK ON PLANNED IMPROVEMENTS. THE ARCHITECTURAL REVIEW PROCESS OR COMMENTS WITH RESPECT TO YOUR PLANS AND RELATED INFORMATION BY THE ARC OR THE HOA SOLEY RELATE TO COMPLIANCE WITH THE PROVISIONS OF THE DECLARATION, THE STRUCTURAL SOUNDNESS, DURABILITY, SAFETY OF ANY STRUCTURE, THE PROPER FUNCTIONING OF ANY OF THE COMPONENTS AND EQUIPMENT, CONFORMITY TO BUILDING CODES, AND PROPER AND LEGAL LOCATION OF IMPROVEMENTS ARE BEYOND THE SCOPE OF OUR REVIEW AND ANY SUCH RESPONSIBILITY IS DISCLAIMED. RESPONSIBILITY FOR SUCH MATTERS ARE EXCLUSIVELY WITH THE OWNER. THIS REVIEW DOES NOT RELIEVE THE OWNER FROM ADHERING TO THE DECLARATION AND ALL RULES AND GUIDELINES ISSUED BY Highlake. THE OWNER IS RESPONSIBLE FOR DETERMINING ALL BUILDING LINES, SETBACK REQUIREMENTS, PROPERTY LINES, SERVITUDES AND ENCROACHMENTS. NO APPROVALS FOR ANY CONSTRUCTION OR LOCATION OF ANY STRUCTURE MAY BE GIVEN ORALLY, BUT ONLY IN WRITING. IF ANY CHANGE IS MADE THAT HAS NOT BEEN APPROVED, THE HOA HAS THE RIGHT TO DEMAND THAT THE OWNER REMOVE THE IMPROVEMENT FROM HIS/HER PROPERTY.

FINAL REVIEW IS VALID FOR SIX (6) MONTHS FROM THE DATE SHOWN BELOW, ALL EXTERIOR IMPROVEMENTS MUST BE COMPLETED WITHIN ONE (1) YEAR AFTER THE CONSTRUCTION HAS COMMENCED. ALL REQUESTS FOR TIME EXTENSIONS MUST BE MADE IN WRITING TO THE BOARD OF DIRECTORS. THE ARCHITECTURAL REVIEW COMMITTEE MUST APPROVE ANY CHANGES PRIOR TO ANY WORK COMMENCEMENT. AN INSPECTION UPON COMPLETION OF CONSTRUCTION WILL BE MADE FOR COMPLIANCE WITH THE FINAL APPROVED PLAN,

# ACKNOWLEDGMENTS I (we) have read and agree to all of the conditions listed above, and I (we) agree to abide by the decision of the Architectural Review Committee. Homeowner Signature Printed Name Date I have read, understand, and agree that failure to abide by any of the rules outlined in the Contractor Code of Conduct, or failure to require compliance by my employees or subcontractors, or the lapse of any of the insurance requirements will, at the ARC's and/or Association's discretion, result in fines according to the schedule of charges in the Construction Violation Fee Schedule, or suspension and/or removal of my building privileges within Highlake. Contractor Signature Printed Name Date



# Submittal Review

Homeowner Information		
Homeowner Name(s):		
Project Name:		
Submittal Approval Status		
Approved Conditionally Approved	Revise and Resubmit Reject	ed
Comments:		
Reviewing ARC Member Signature	Printed Name	Date



Contractor Code of Conduct & Construction Standards

## Contractor Code of Conduct

Pursuant to Highlake Design Guidelines, the undersigned Builder agrees to and understands the following conditions within Highlake:

- 1. All contractors, sub-contractors, vendors, and visitors to the Project Site shall always conduct themselves in a professional and courteous manner.
- 2. Offensive and/or vulgar language is prohibited. Violations for continued offenses may result in the individual or individuals being escorted off the Project Site and the involved parties may be banned from working on the site permanently.
- 3. While on the Project Site, music must be kept at a reasonable level as to comply with all municipal noise abatement policies and code. Music or programming that uses offensive and/or vulgar language is prohibited.
- 4. Alcohol and illegal drugs are prohibited on site. Intoxicated persons or persons who appear to be under the influence of drugs or alcohol will be escorted off site and may be banned from working on the site permanently.
- 5. No pets are allowed on the Project Site.
- 6. All contractors, sub-contractors, vendors, and trades must adhere to all OSHA regulations regarding PPE (personal protective equipment) as well as any safety requirements particular to the trade/activity being performed by that particular individual or trade.

### **Dress Code**

The following dress code requirements pertain to all contractors, sub-contractors and vendors while on the Project Site:

- 1. Personnel are required to always maintain a professional appearance and demeanor while on the Project Site. All dress items and PPE must meet safety requirements.
- 2. Shirts must be worn at all times. Shirts or other types of clothing with language or images that can be considered profane, vulgar or offensive are not permitted on the Project Site.

### **Construction Standards**

The following will apply to all construction, improvements, alteration or any change to the exterior of any structure, and to the grading, excavating, tree removal, landscaping, or other change to the grounds of a single-family, multi-family, or commercial site within Highlake. Compliance is mandatory and violations may result in a stop work order, or non-compliance charge as defined in the Contractor Rule Violation and Non-Compliance Charge Schedule:

- Construction Approval(s): Prior to the commencement of any construction activity, I must have a signed copy of Architectural Review Committee approved plans and written notice to proceed. I will also provide the Architectural Review Committee signed copy of this Construction Agreement stating the understanding of all obligations set forth for both the General Contractor and their sub-contractors.
- **Building Codes:** I agree to follow all applicable Building Codes (including state, parish, and municipal codes). I understand that the Architectural Review Committee is intended only to assure compliance with the aesthetic concerns of the Highlake Design Guidelines and neither the Architectural Review Committee nor the Developer/Declarant of Highlake is liable for any design or construction defects affecting the safety or structural integrity of any improvements.
- Insurance: I will always carry and keep in force the following minimum insurance coverage, and at the signing of this
  Agreement, have provided evidence of such coverage to the Developer/Declarant:
  - Workmen's compensation as required by law
  - Commercial General liability insurance. Min. \$1,000,000 per occurrence
- Construction Hours: I understand that all construction activity and all construction personnel shall not begin work earlier than 7:00 a.m. and must end work by 7:00 p.m. Monday through Saturday. There shall be no construction activity on Sundays or on any principal holidays without the express permission of the Developer/Declarant.
- Parking: I understand all roadways, alleyways, sidewalks and walkways must be kept open for the passage of through traffic and parking is restricted to parking spaces on the street or in areas designated by the Developer/Declarant, and driveways of other residences cannot be used at any time. All vehicular traffic and parking must be in conformance with the Louisiana Vehicle code.
- Signage: I agree that all construction signage must conform to the Design Guidelines and be approved by the Architectural Review Committee prior to installation.

- Staging: Staging of any equipment, materials, fixtures, any building materials, tools, etc. is done so at the sole risk of the Owner, General Contractor and/or the Owner of the items being staged. Highlake, Highlake Homeowner's Association and Architectural Review Committee or any employee, representative or member of any organization or company associated with the Developer cannot be held responsible for the loss, theft or damage of any items staged at the site. Sidewalks, roadways, and common areas should not be obstructed from their intended use without permission. If used, these areas should be properly protected from damage caused by contractor activities. Staging of materials on any lot other than the lot owned by the constructing Owner will not be allowed, unless the Owner of the other property has granted permission to do so.
- Speed Limits: I understand vehicular speeds will be limited to the posted speed limit or 20 miles per hour, whichever is less.
- Sub-contractors: I am responsible for the behavior and actions of all workers and subcontractors who do work on my project while they are in Highlake. I understand that abusive and vulgar language will NOT be tolerated. Contractors and sub-contractors are NOT allowed to bring dogs or other pets in Highlake.
- Construction Quality: I understand that any construction being executed in a poor and unworkmanlike manner, or in violation of, or inconsistent with the plans previously approved by the Architectural Review Committee may be stopped by the Architectural Review Committee or the Homeowner's Association of Highlake until the work has been corrected to the satisfaction of the Architectural Review Committee, or Association.
- **Notification(s):** I understand that I need to give notice to the Architectural Review Committee or its representative twenty-four (24) hours prior to (a) de-grassing the lot (b) concrete or driveway pours (c) large or special deliveries and (d) any other circumstances that would require road closures and/or communication to Highlake property owners.
- Containment of Project Site: I understand that it is the intent of the Architectural Review Committee and the Developer/
  Declarant to maintain and preserve as much of the natural vegetation as possible and preserve all common areas. I will not
  clear or damage the vegetation outside of the building and drive areas. Prior to the start of any site construction, I will by means
  of a temporary fence barricade any area of vegetation that is to be preserved outside of the building and driveway areas. I am
  responsible for containing work activity on the job site, taking care that it does not encroach on any adjacent Common Area.
- **Stormwater and Erosion Control:** I have reviewed and understand requirements for storm water and erosion control for construction sites within East Baton Rouge Parish, and all related other ordinances applying to development in Highlake.
- Project Site Cleanliness: I am responsible for always maintaining a clean construction site. I agree to furnish trash containers and keep the Project Site and always surrounding Common Areas free from accumulation of waste materials. All workers will pick up all paper and debris each day before leaving the site. No burning is allowed. All grass and weeds must be kept no higher than 6". Upon completion of the work, all remaining waste materials shall be disposed of legally, and tools, construction equipment, machinery and surplus material shall be removed from the site. If I fail to maintain a clean construction site as stated herein, the Architectural Review Committee will have the right to perform, without notice, any cleanup necessary and charge me accordingly.
- Concrete Pours: I will notify a Highlake representative a minimum of twenty-four (24) hours prior to all concrete pours. During the pour, I will have a representative with an accessible water hose, and I will be responsible for washing out in the proper place and cleaning up all spilled concrete on street, sidewalks, on street parking spaces or any other Common Spaces. If I fail to maintain a clean construction site as stated herein, the Architectural Review Committee will have the right to perform, without notice, any cleanup necessary and charge me accordingly.
- **Damages:** I understand and agree that I am responsible for any and all damages on the Project Site, including to the sidewalks or common areas, during construction. Upon completion of construction, I understand it is my responsibility to restore the sidewalk and any other area(s) disturbed to its original condition.
- Inspections: I agree to contact the Architectural Review Committee for each required inspection.
- **Non-compliance Charges:** I understand and agree to the non-compliance charges that are in place to remedy any failure on my part to abide by the above conditions.

I have read, understand, and agree that failure to abide by any of the above rules, or failure to require compliance by my employees or subcontractors, or the lapse of any of the insurance requirements will, at the Architectural Review Committee and/or Association's discretion, result in fines according to the schedule of charges in the Construction Violation Fee Schedule, or suspension and ultimately removal of my building privileges within Highlake.

Please complete and return a signed copy to Highlake Homeowner's Association, Inc.

Owner:	Phone:
Owner Email:	
Address:	Lot #:
General Contractor:	
General Contractor Phone:	
General Contractor Email:	
Owner Signature:	Date:
Contractor Signature:	Date: