

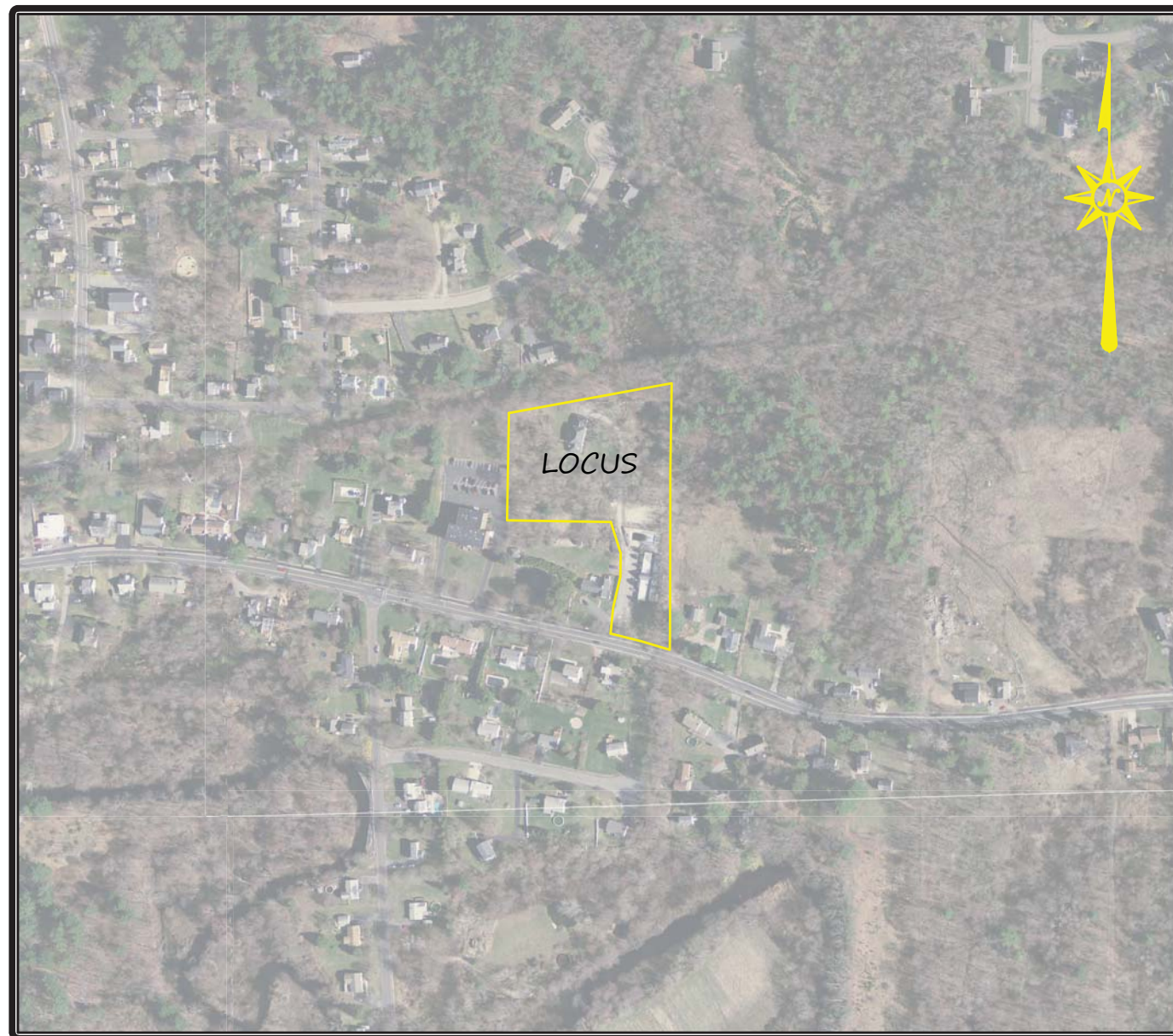
MEDWAY, MA

SITE PLAN

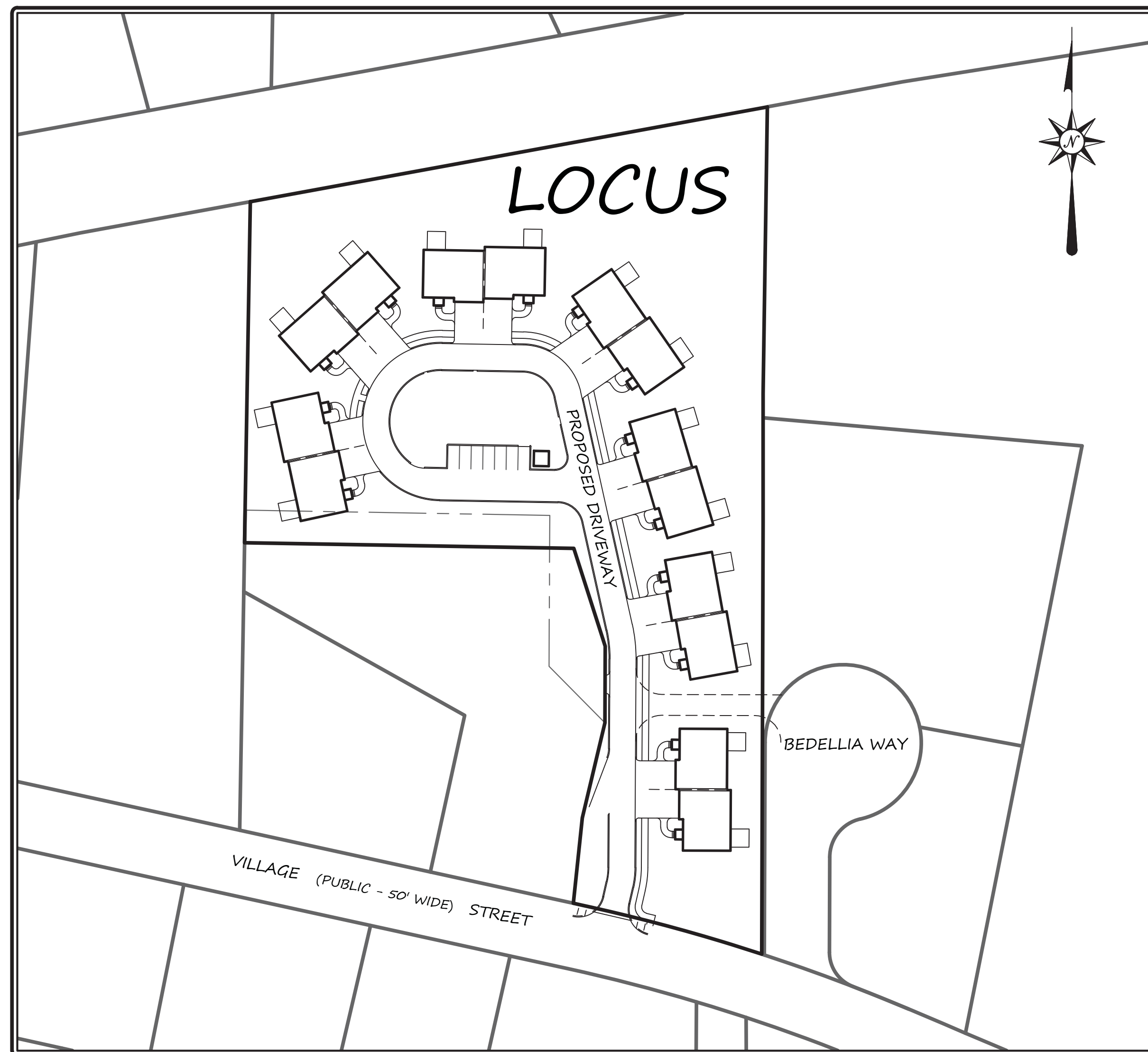
PREPARED BY:
LEGACY ENGINEERING LLC
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

JUNE 25, 2019

PREPARED FOR:
PAPAYA PROPERTIES, LLC
9 LORING DRIVE
ASHLAND, MA 02721



2013 MASSGIS AERIAL LOCUS
SCALE: 1" = 500'



LOCUS
SCALE: 1" = 70'



MEDWAY ASSESSORS LOCUS
SCALE: 1" = 200'

OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984

SHEET LEGEND

- C-0: COVER SHEET
C-1: EXISTING CONDITIONS PLAN
C-2: EROSION CONTROLS PLAN
C-3: LAYOUT PLAN
C-4: GRADING PLAN
C-5: UTILITIES PLAN
C-6: SNOW PLAN
C-7: LANDSCAPE PLAN
C-8: DETAILS
C-9: DETAILS
C-10: DETAILS

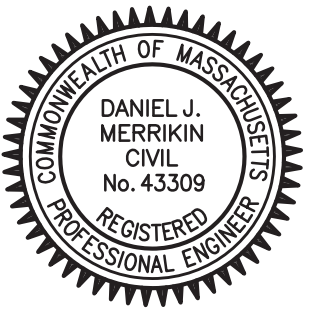
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-0



LEGACY
ENGINEERING

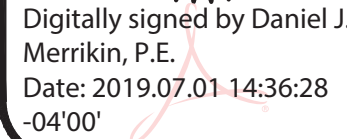
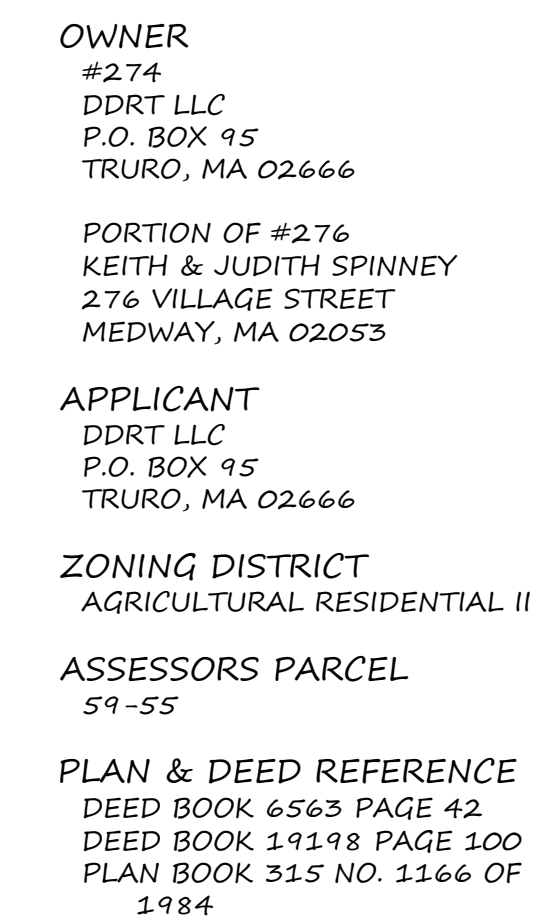
WILLIAM WALLACE VILLAGE
COVER SHEET
PLAN OF LAND
IN
MEDWAY, MA



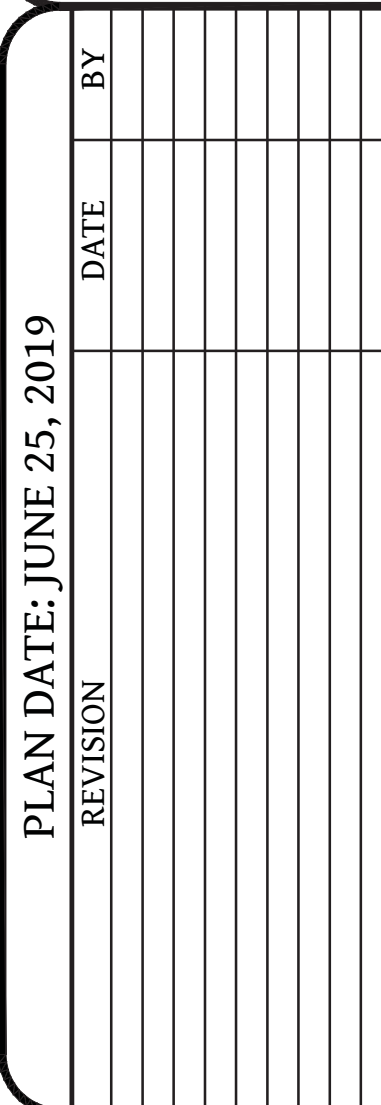
Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2019.07.01 14:37:19
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PLAN SCALE: AS NOTED

[illegible]



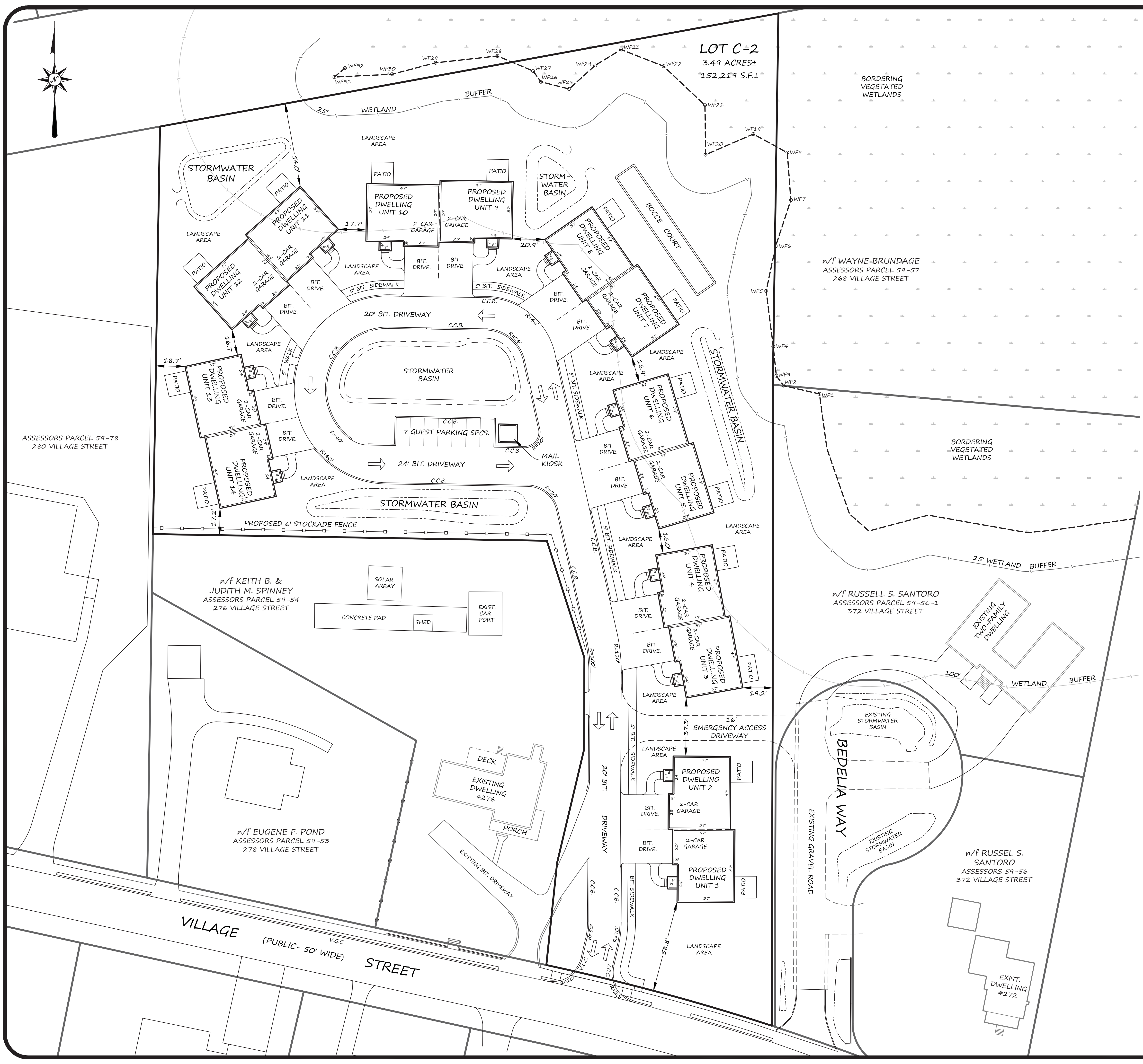
1. PARCEL A & B WILL BE SWAPPED PRIOR TO CONSTRUCTION AND THE EXISTING SHED WILL BE DEMOLISHED. THE DEVELOPMENT WILL THEREFORE CONSIST OF LOT C-2 AND PARCEL A. THE REST OF THE PLAN SHEETS DEPICT THESE PARCELS AS THE PROJECT BOUNDARIES.
2. THE LOCATION OF EXISTING UTILITIES IS BASED ON AVAILABLE INFORMATION SUCH AS SURFACE FEATURES AND RECORD PLANS. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE, ARE NOT WARRANTED TO BE CORRECT, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONDUCTING ANY EXCAVATION ON THE SITE.
4. OFFSITE FEATURES SUCH AS BUILDING, PAVING LIMITS, UTILITIES, ETC... ARE APPROXIMATE ONLY AND BASED ON MASSGIS AERIAL PHOTOGRAPHS.
5. ELEVATIONS ARE ON THE NAVD88 DATUM.



C8: SINGLE-GRATE CATCH BASIN
 C9: DOUBLE-GRATE CATCH BASIN
 OPTU KUC: PROPRIETARY STORMWATER UNIT
 ENH: ENHANCED MANHOLE
 TR. DR: DRENCH DRAIN
 INFIL. TR: INFILTRATION TRENCH
 X" P: _____ DRAIN PIPELINE
 RCP: REINFORCED CONCRETE PIPE
 PVC: POLYVINYL CHLORIDE PIPE
 OSMH: SEWER MANHOLE
 X" _____ SEWER PIPELINE
 O.C.D.: SEWER SERVICE CLEANOUT
 X" W _____ WATER MAIN
 HYD. HYDRANT
 G.V. WATER GATE VALVE
 O.C.S.: WATER SERVICE CURB STOP
 O.M.B.: WATER SERVICE METER BOX
 X" _____ GAS PIPELINE
 E _____ ELECTRIC CONDUIT
 ☆ L.P.: LIGHT POLE
 ☆ U.P.: UTILITY POLE
 ☆ G.W.: GUY WIRE
 ☆ S.P.: TRAFFIC SIGNAL POLE
 ☆ _____ EXISTING CONTOUR
 ☆ _____ PROPOSED CONTOUR
 E.O.P.: EDGE OF PAVEMENT
 C.B.: INTEGRAL SLOPED BIT. BERM
 V.C.B.: VERTICAL GRANITE CURB
 S.G.C.: SLOPED GRANITE CURB
 V.G.C.: VERTICAL GRANITE CURB
 V.C.C.: VERTICAL CONCRETE CURB
 C.C.S.: CONCRETE SLAB
 G.V.: GATE VALVE
 C.L.F.: CHAIN LINK FENCE
 S.D. STOCKPILE
 P.P.F.: PICK PICKET FENCE
 G.R.: GUARD RAIL
 C.C.: HANDICAP CURB CUT

LEGACY
ENGINEERING

**WILLIAM WALLACE VILLAGE
EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA**



OWNER
#274
DDRT LLC
P.O. BOX 45
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

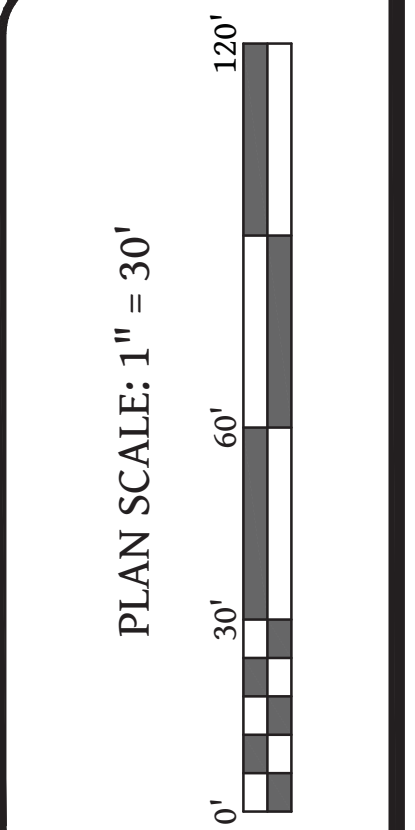
APPLICANT
DDRT LLC
P.O. BOX 45
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984

Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.07.01 14:35:16 -0400



- ZONING REQUIREMENTS**
- 1. PROPOSED PARKING SPACES ARE 9' WIDE BY 18' DEEP.
 - 2. 12% OF THE UNITS ARE REQUIRED TO BE AFFORDABLE, WHICH EQUALS 1.68 UNITS (ROUNDED UP TO TWO UNITS).
 - 3. UNITS 1 & 14 WILL BE THE AFFORDABLE UNITS.

ZONING REQUIREMENTS:

ZONE: AGRICULTURAL RESIDENTIAL II
MIN. LOT AREA:
REQUIRED: 30,000 S.F. (FOR TWO FAMILY DWELLINGS)
PROVIDED: 158,269 S.F.

MIN. FRONTAGE:
REQUIRED: 50' (FOR MULTIFAMILY)
PROVIDED: 150.00'

MIN. FRONT SETBACK:
REQUIRED: 35'
PROVIDED: 58.8'

MIN. SIDE SETBACK:
REQUIRED: 15'
PROVIDED: 18.7'

MIN. REAR SETBACK:
REQUIRED: 15'
PROVIDED: 54.0'

MAX. HEIGHT:
REQUIRED: 40' (FOR MULTIFAMILY)
PROVIDED: 40'

MAX. BUILDING COVERAGE:
REQUIRED: 30%
PROVIDED: 18% (28,602 S.F.)

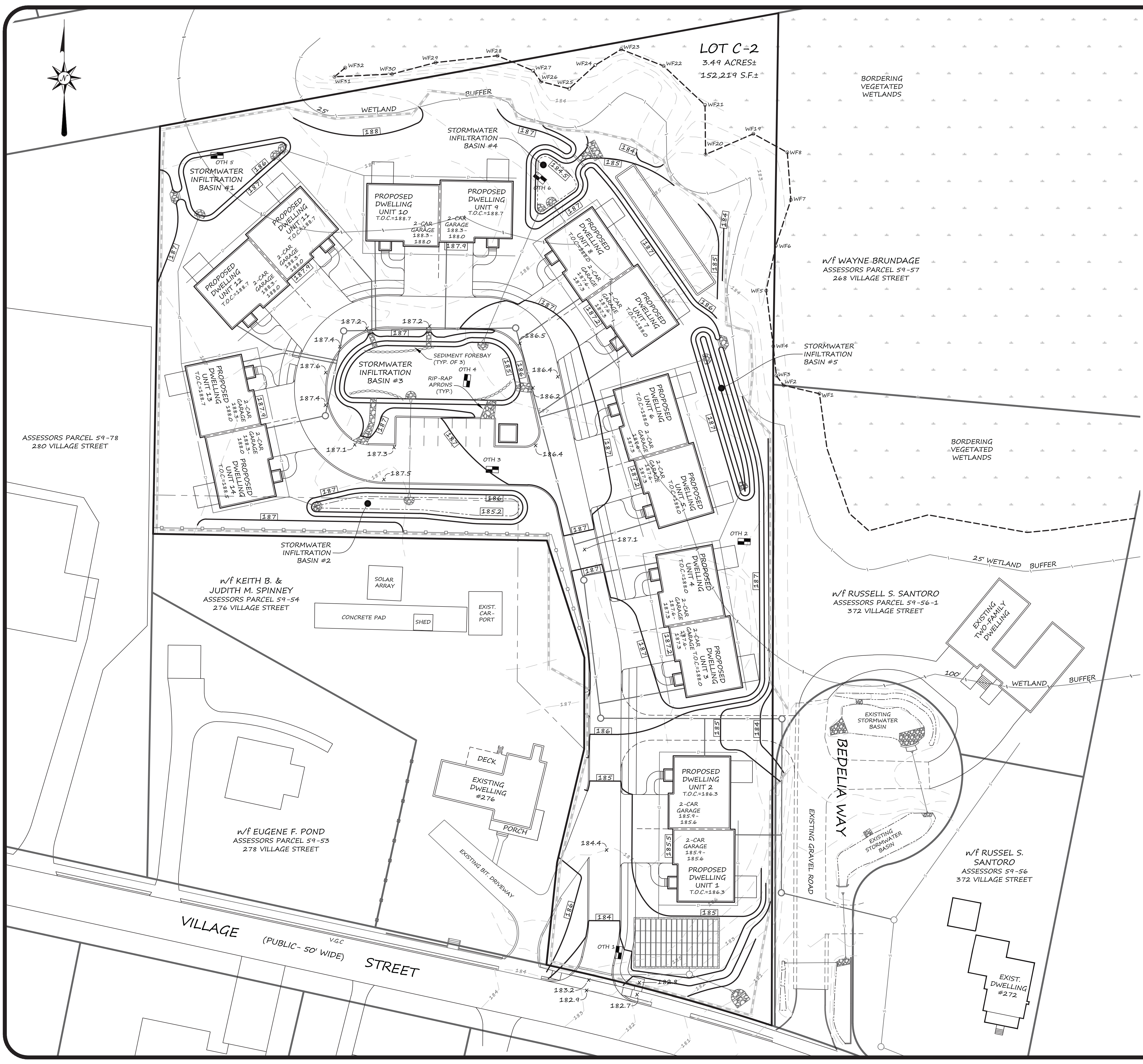
MAX. LOT COVERAGE:
REQUIRED: 40%
PROVIDED: 37% (58,088 S.F.)

OPEN SPACE:
REQUIRED: 15% (FOR MULTIFAMILY)
PROVIDED: 51%

PARKING SPACES:
REQUIRED: 1.5/UNIT + 1 VISITOR/2 UNITS
= 28 PARKING SPACES
PROVIDED: 4/UNIT + 7 VISITOR = 63 SPACES

PLAN DATE: JUNE 25, 2019		BY
REVISION	DATE	

WILLIAM WALLACE VILLAGE
LAYOUT
PLAN OF LAND
IN
MEDWAY, MA



OWNER
#274
DDRT LLC
P.O. BOX 45
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 45
TRURO, MA 02666

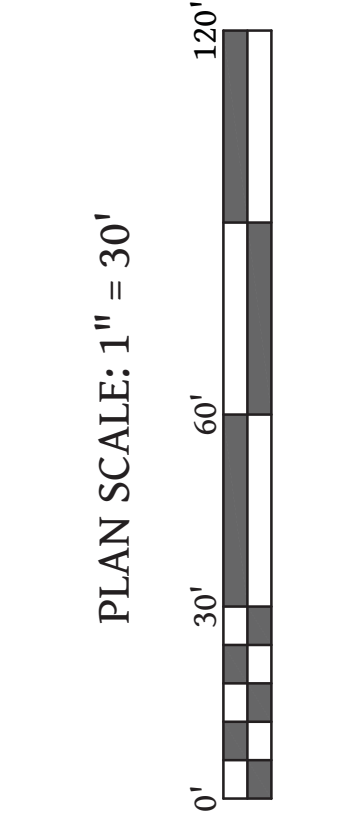
ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
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DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.07.01 14:34:40 -04'00'



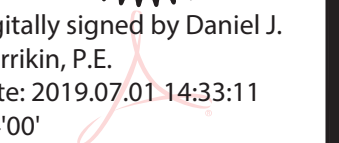
REVISION	DATE	BY

WILLIAM WALLACE VILLAGE
GRADING & UTILITIES
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
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1984



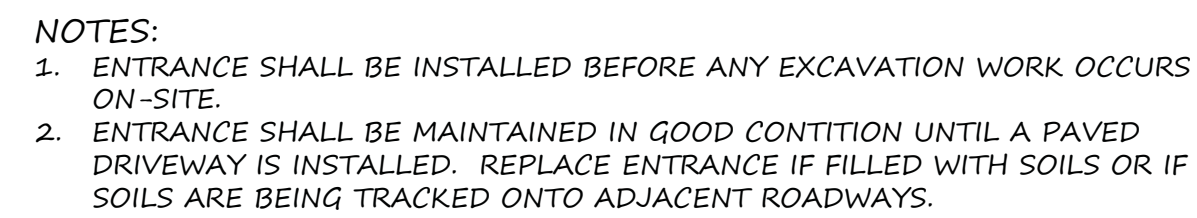
1. PROVIDE SHRUB BED PLANTINGS IN FRONT OF BUILDING FOUNDATIONS.
2. ALL PLANTINGS WITHIN THE 100' BUFFER ZONE TO BE NATIVE WITH NO CULTIVARS OR HYBRIDS ALLOWED.
3. PROPOSED EVERGREEN TREES SHALL BE MIN. 6' TALL AT INSTALLATION AND SHALL CONSISTS OF A MIX. OF THUJA PLICATA AND NORWAY SPRUCE..
4. PROPOSED DECIDUOUS TREES SHALL HAVE AN INSTALLATION CALIPER OF AT LEAST 2".

PLAN SCALE: 1" = 30'

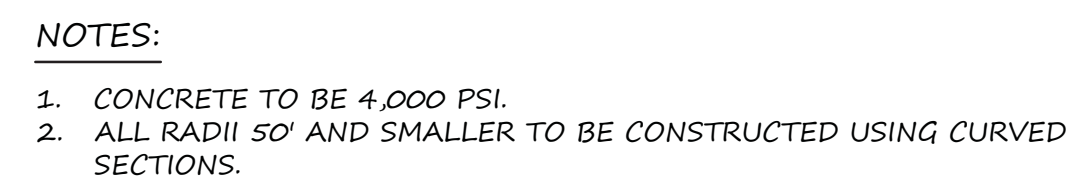
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WILLIAM WALLACE VILLAGE
LANDSCAPE
PLAN OF LAND
IN
MEDWAY, MA

LEGACY
ENGINEERING



NOT TO SCALE

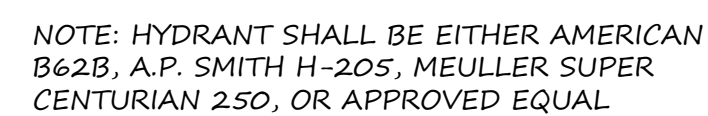


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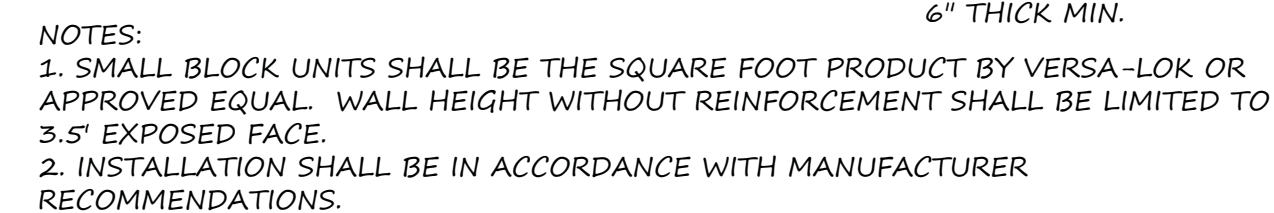
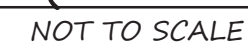
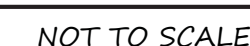


1. COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
2. 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

PLAN SCALE: NOT TO SCALE

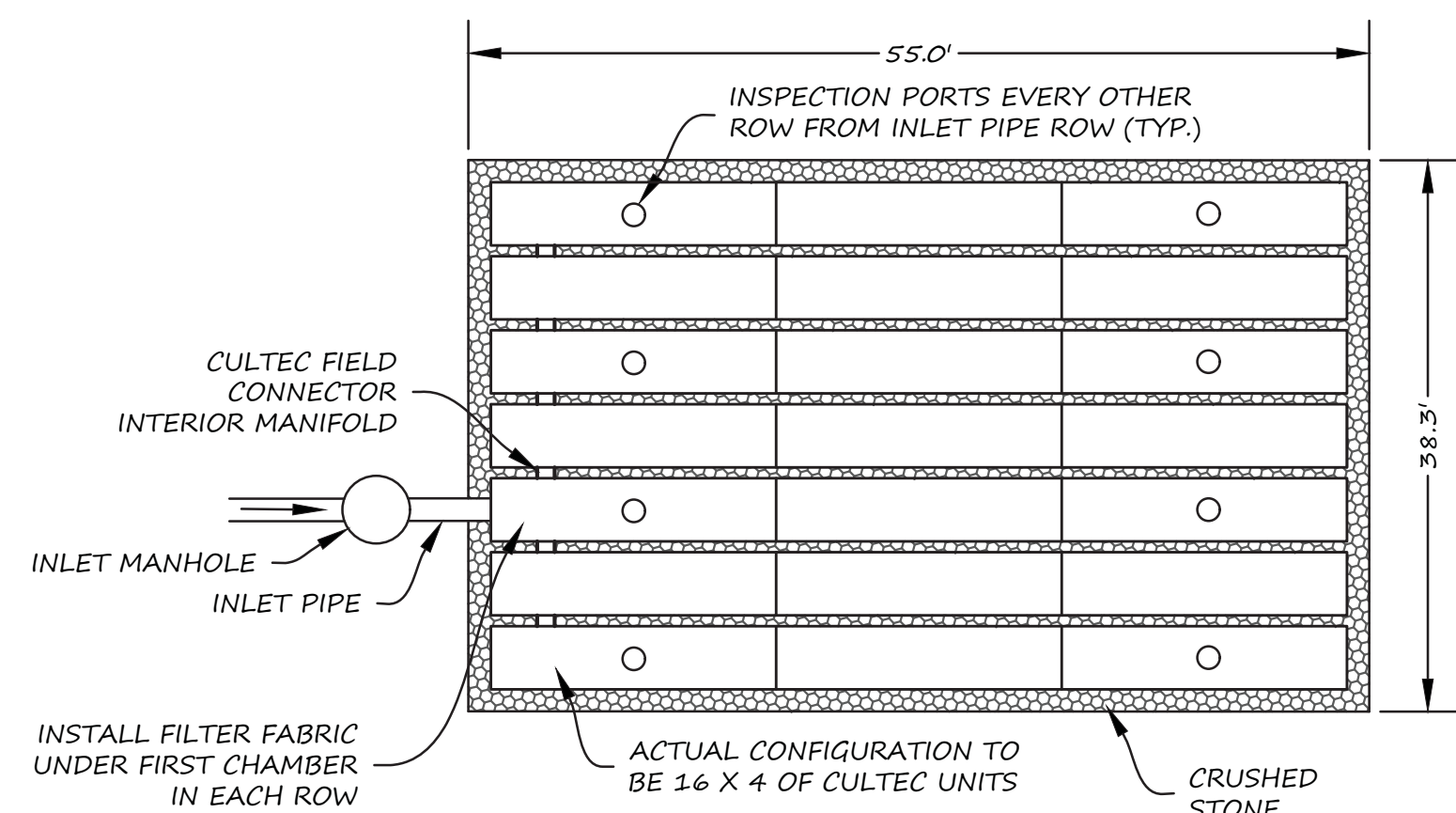
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WILLIAM WALLACE VILLAGE
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

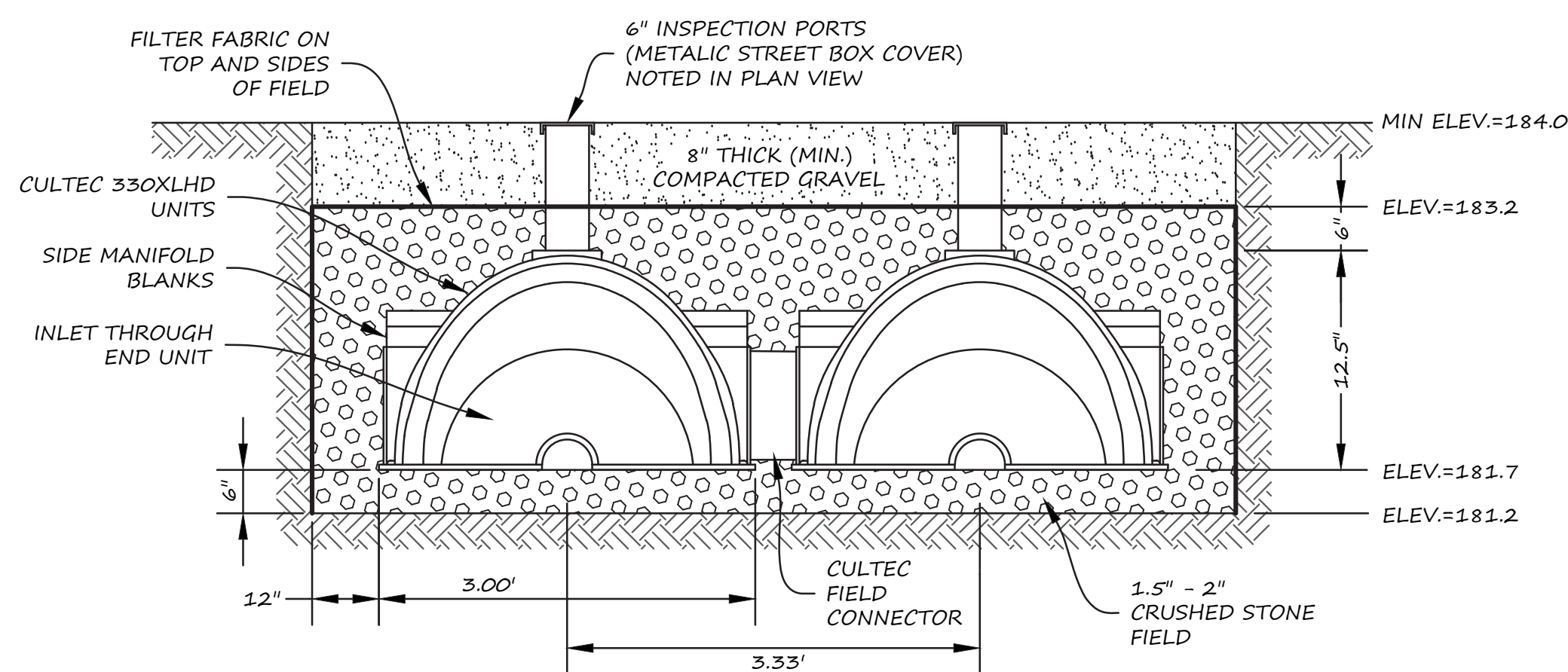


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ENGINEERING

D158-01



FIELD PLAN VIEW



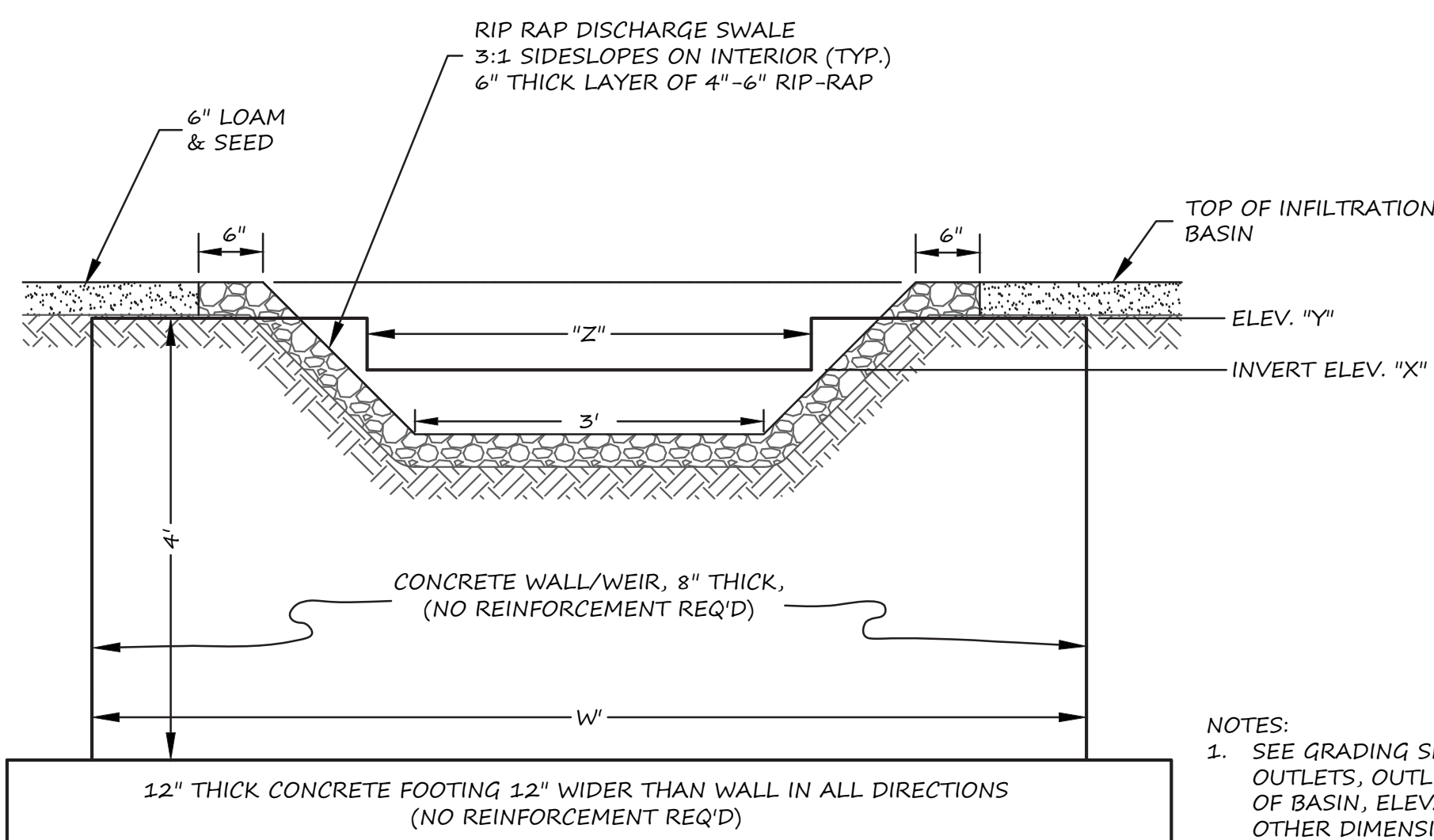
SECTION THROUGH TYPICAL LEACHING FIELD

NOTES:

1. INFILTRATION TRENCH UNITS TO BE RECHARGER 100XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. REMOVE ALL TOPSOIL AND SUBSOIL BELOW SYSTEM AND REPLACE WITH GRAVEL MEETING ENGINEER'S APPROVAL AS NEEDED.

INFILTRATION FIELD DETAIL

NOT TO SCALE



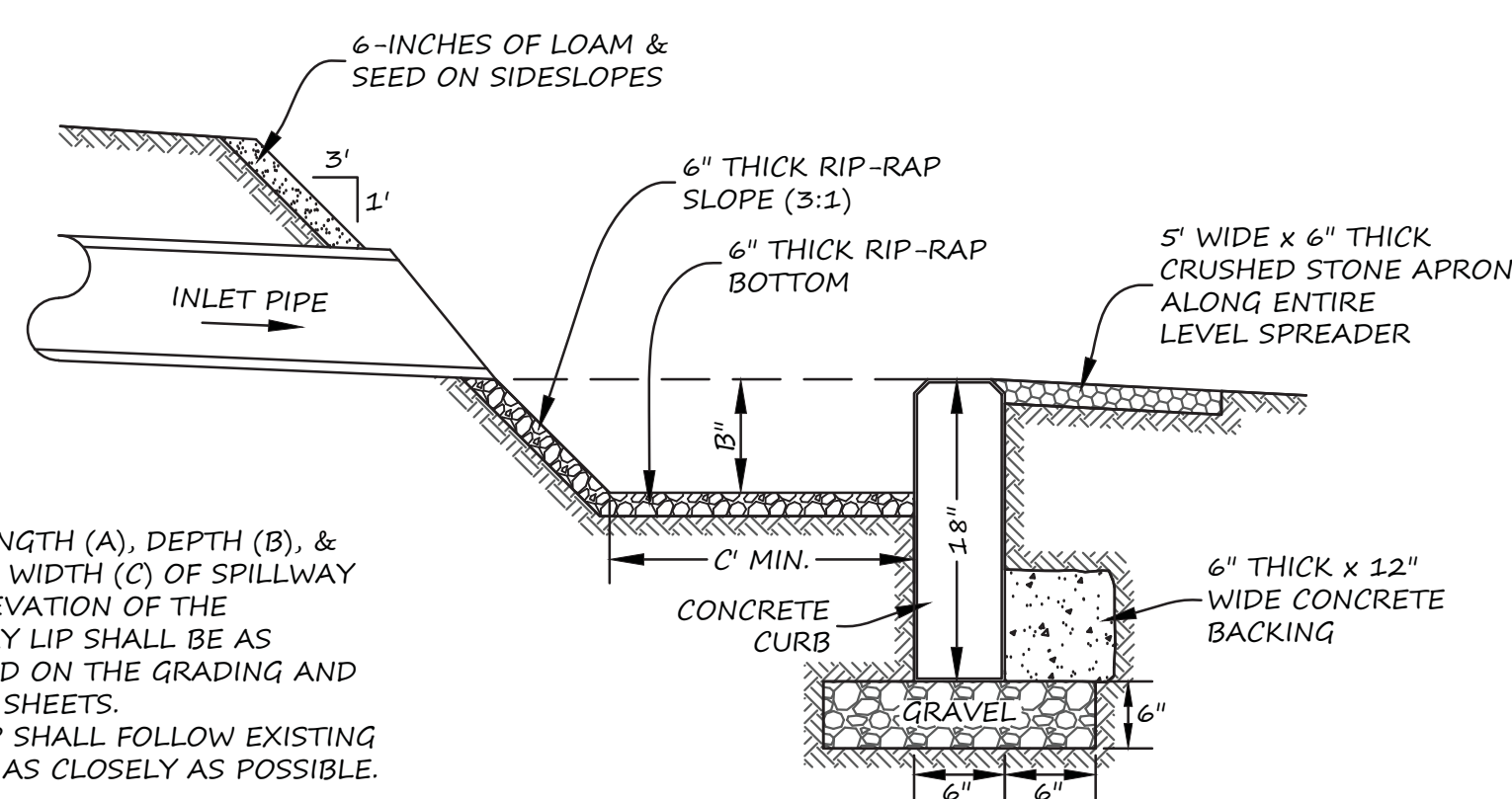
BASIN OUTLET WEIR AND RIP-RAP SWALE DETAIL

NOTES:

1. SEE GRADING SHEETS AND PROFILE SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
2. ALL TOPSOIL AND SUBSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN GRAVEL. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SANDY LOAM, (TITLE V CLASSIFICATIONS).
3. BERM AREAS SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.

TYPICAL INFILTRATION BASIN CROSS-SECTION

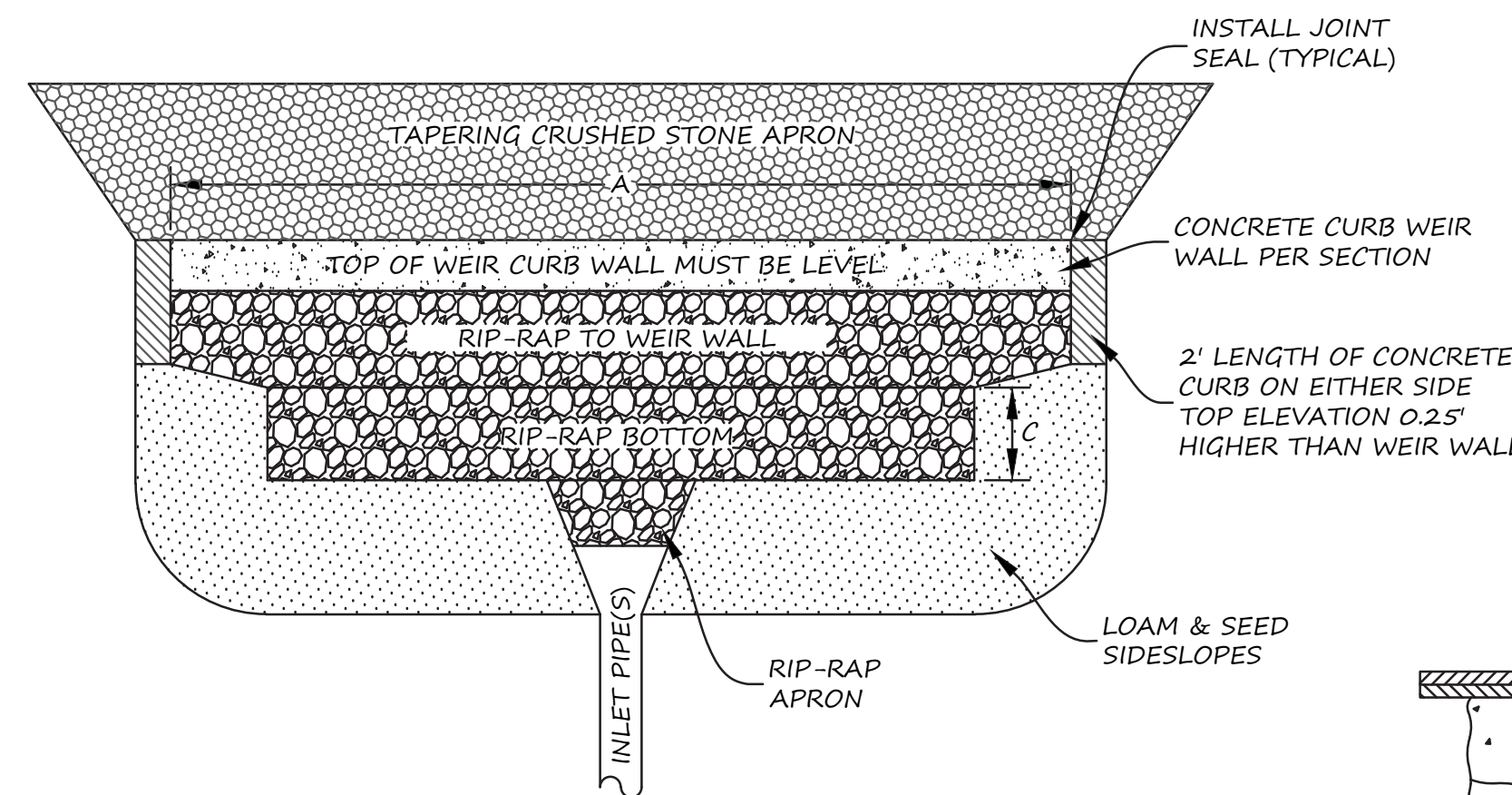
NOT TO SCALE



TYPICAL SECTIONAL VIEW

NOTES:

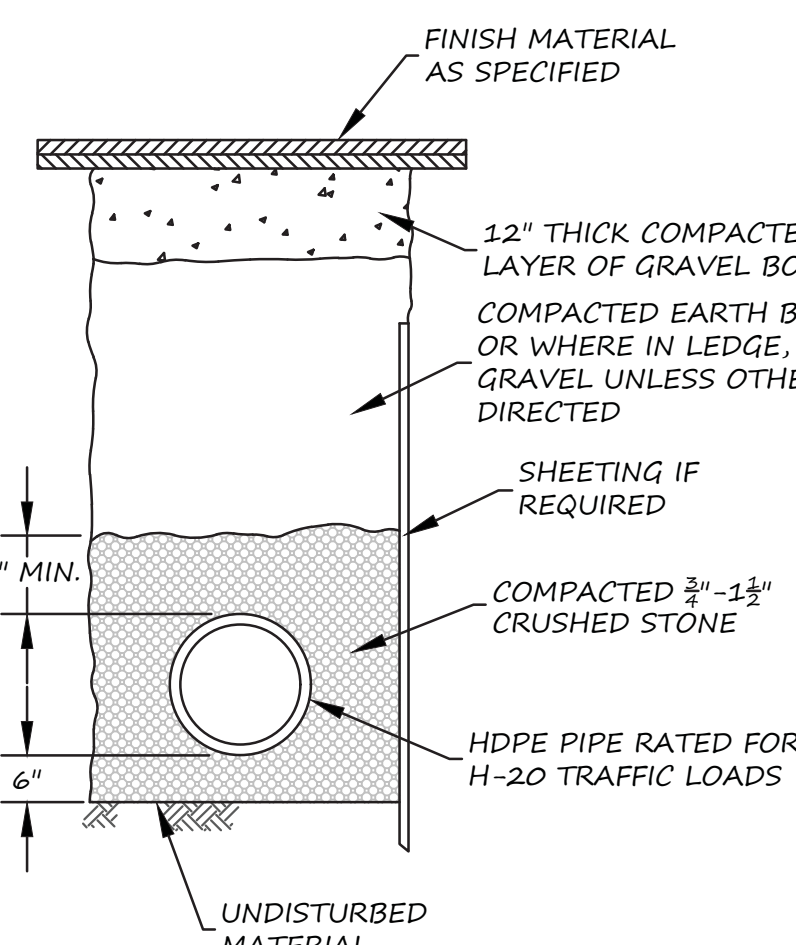
1. WEIR LENGTH (A), DEPTH (B), & BOTTOM WIDTH (C) OF SPILLWAY AND ELEVATION OF THE SPILLWAY LIP SHALL BE AS SPECIFIED ON THE GRADING AND PROFILE SHEETS.
2. WEIR LIP SHALL FOLLOW EXISTING GRADES AS CLOSELY AS POSSIBLE.



PLAN VIEW

LEVEL SPREADER DETAIL

NOT TO SCALE



TYPICAL DRAIN TRENCH

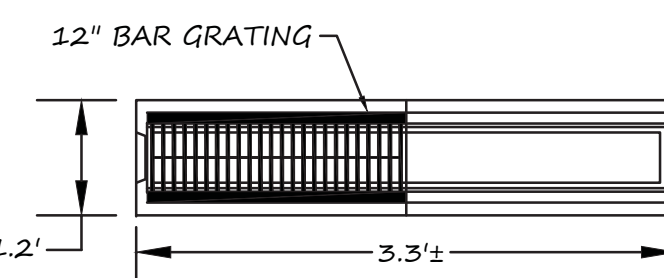
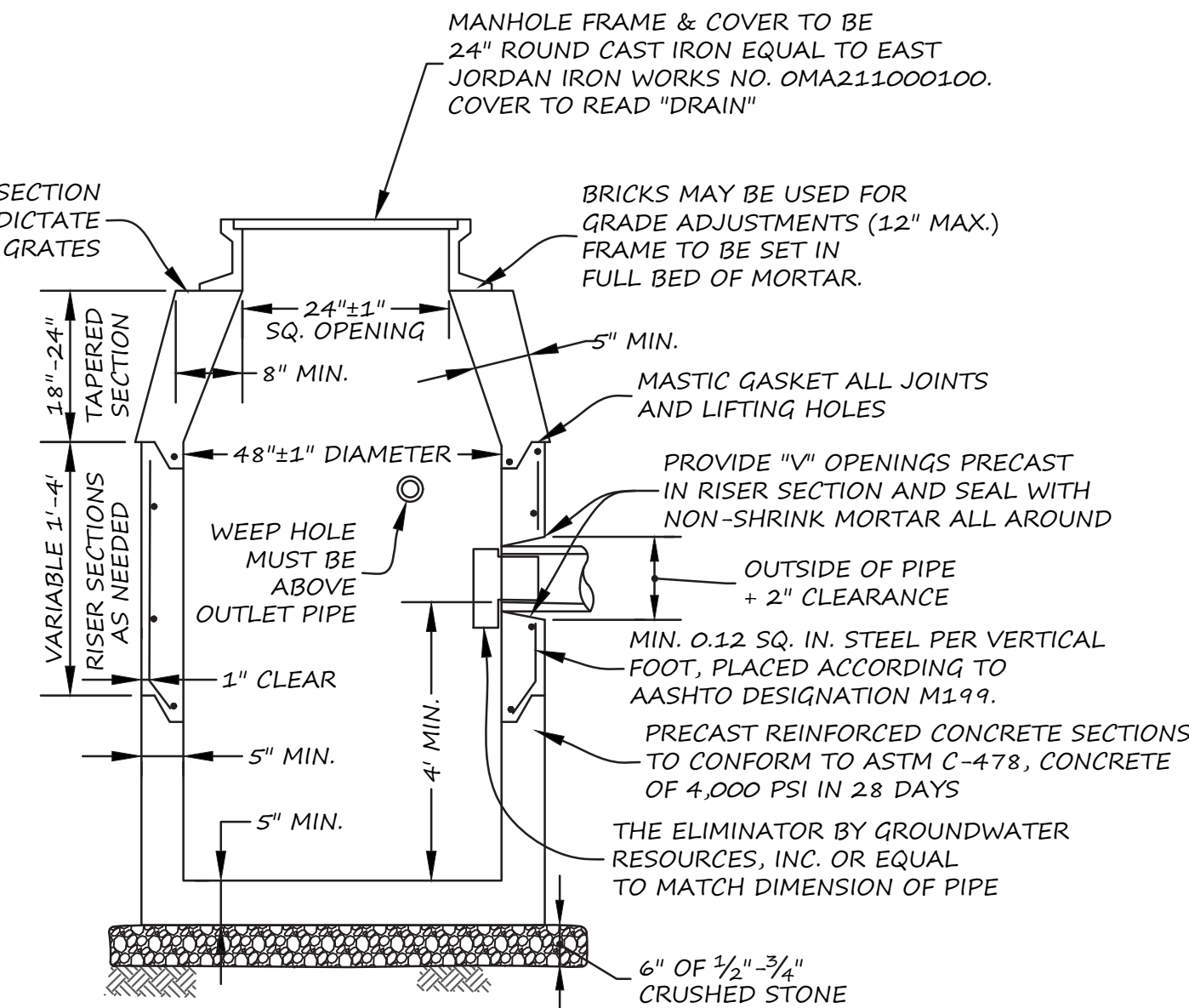
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NOTES:

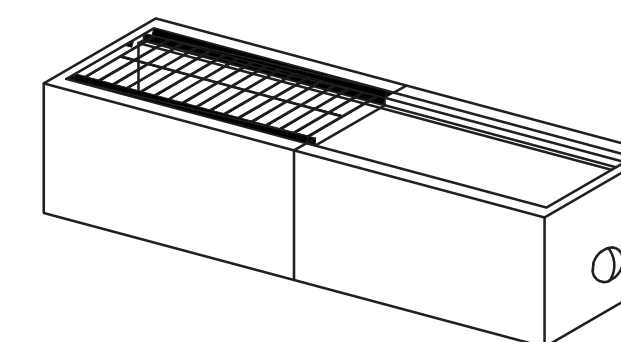
1. MANHOLE DIAMETER SHALL BE INCREASED IF NUMBER, SIZE, AND CONFIGURATION OF INLET/OUTLET PIPING NECESSITATES A LARGER MANHOLE DIAMETER.
2. SUBSTITUTE FRAME AND COVERS SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.

PRECAST CONCRETE DRAIN MANHOLE

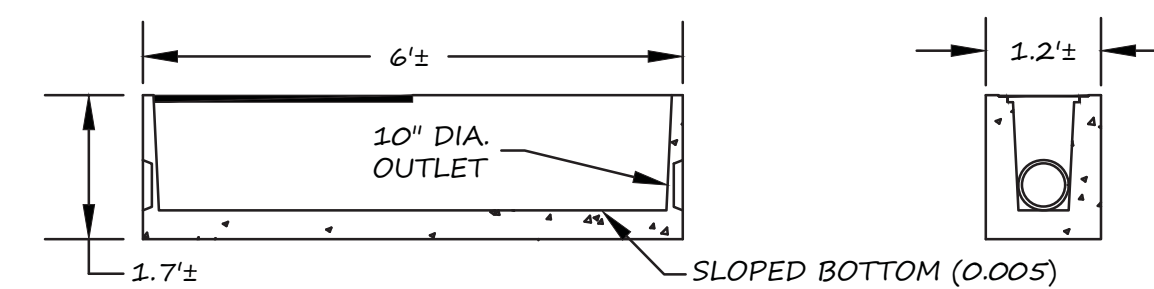
NOT TO SCALE



PLAN VIEW



ISOMETRIC VIEW



SIDE-SECTION VIEW

END SECTION VIEW

NOTES:

1. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
2. SHALL CONFORM TO H-20 LOADINGS.
3. SHALL BE POWER DRAIN 5300K BY ACO DRAIN OR EQUAL.

TRENCH DRAIN DETAIL

NOT TO SCALE

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59-55

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Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.07.01 14:32:15 -0400

PLAN SCALE: NOT TO SCALE

PLAN DATE: JUNE 25, 2019

REVISION

DATE

BY

WILLIAM WALLACE VILLAGE
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-9

D158-01



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ENGINEERING



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PLAN SCALE: NOT TO SCALE

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DETAIL
PLAN OF LAND
IN
MEDWAY, MA