

# WILLIAM WALLACE VILLAGE

## MEDWAY, MA

### SITE PLAN

PREPARED BY:  
**LEGACY ENGINEERING LLC**  
 730 MAIN STREET, SUITE 2C  
 MILLIS, MA 02054

JUNE 25, 2019  
 Latest Revision: December 27, 2019

PREPARED FOR:  
**DTRT LLC**  
 P.O. BOX 95  
 TRURO, MA 02666

FOR REGISTRY USE

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

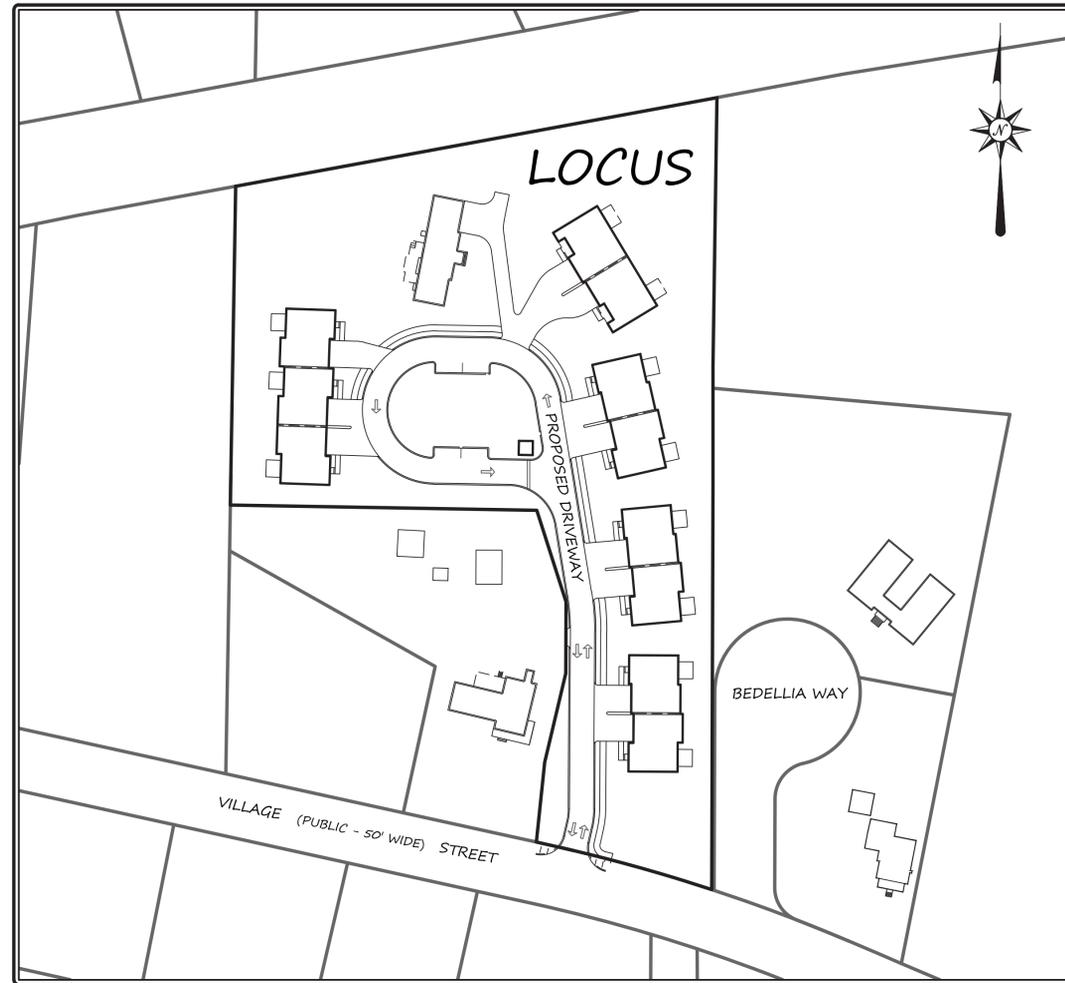
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DATE: \_\_\_\_\_

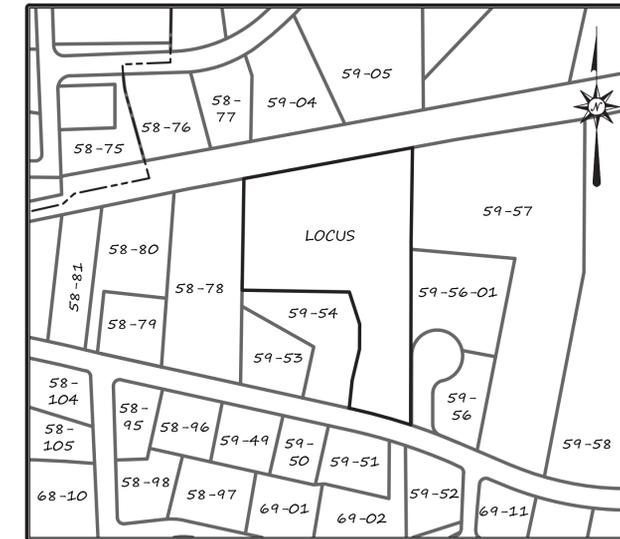
REGISTERED LAND SURVEYOR



2013 MASSGIS AERIAL LOCUS  
 SCALE: 1" = 500'



LOCUS  
 SCALE: 1" = 70'



MEDWAY ASSESSORS LOCUS  
 SCALE: 1" = 200'

**OWNER**  
 #274  
 DDRT LLC  
 P.O. BOX 95  
 TRURO, MA 02666

**PORTION OF #276**  
 KEITH & JUDITH SPINNEY  
 276 VILLAGE STREET  
 MEDWAY, MA 02053

**APPLICANT**  
 DDRT LLC  
 P.O. BOX 95  
 TRURO, MA 02666

**ZONING DISTRICT**  
 AGRICULTURAL RESIDENTIAL II

**ASSESSORS PARCEL**  
 59-55

**PLAN & DEED REFERENCE**  
 DEED BOOK 6563 PAGE 42  
 DEED BOOK 14198 PAGE 100  
 PLAN BOOK 315 NO. 1166 OF 1984

**WAIVERS LIST**

- PLANNING BOARD RULES AND REGULATIONS
- 204-3.A.7.a TO NOT REQUIRE A TRAFFIC IMPACT ASSESSMENT.
  - 204-3.A.7.b TO NOT REQUIRE AN ENVIRONMENTAL IMPACT STUDY.
  - 204-5.C.3 & D.7 TO NOT REQUIRE LOCATING EXISTING TREES OVER 1' IN DIAMETER.
  - 205-3.B.2 TO ALLOW A DRIVEWAY WITHIN 15' OF A SIDE PROPERTY LINE.
  - 205-6.H TO ALLOW CAPE COD BERM AT PARKING LOTS.
  - 205-6.G.3.a TO ALLOW 18' DEEP PARKING SPACES.
  - 205-9.F TO NOT REQUIRE FULL REPLACEMENT OF TREES.

**SHEET LEGEND**

- C-0: COVER SHEET
- C-1: SITE CONTEXT SHEET
- C-2: EXISTING CONDITIONS PLAN
- C-3: EROSION CONTROLS PLAN
- C-4: LAYOUT PLAN
- C-5: GRADING PLAN
- C-6: UTILITIES PLAN
- C-7: LIGHTING PLAN
- C-8: LANDSCAPE PLAN (NOT INCLUDED)
- C-9: SNOW PLAN
- C-10: DETAILS
- C-11: DETAILS
- C-12: DETAILS

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2019-09-04	
REVISIONS PER TOWN COMMENTS	2019-10-07	
REVISIONS PER TOWN COMMENTS	2019-11-27	
REVISED SITE LAYOUT	2019-12-27	

PLAN DATE: JUNE 25, 2019

WILLIAM WALLACE VILLAGE  
 COVER SHEET  
 PLAN OF LAND  
 IN  
 MEDWAY, MA



Digitally signed by Daniel J. Merrikin, P.E.  
 Date: 2019.12.27 10:03:38 -05'00'

PLAN SCALE: AS NOTED

730 MAIN STREET  
 SUITE 2C  
 MILLIS, MA 02054  
 508-376-8883(o)

C-0





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ASSESSORS PARCEL  
59-55

PLAN & DEED REFERENCE  
DEED BOOK 6563 PAGE 42  
DEED BOOK 14198 PAGE 100  
PLAN BOOK 315 NO. 1166 OF  
1984



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REVISED SITE LAYOUT		

PLAN DATE: JUNE 25, 2019

**WILLIAM WALLACE VILLAGE  
SITE CONTEXT  
PLAN OF LAND  
IN  
MEDWAY, MA**

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2019.12.27 10:02:52 -05'00'

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

C-1

D158-01





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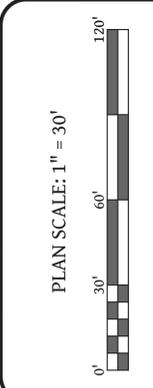
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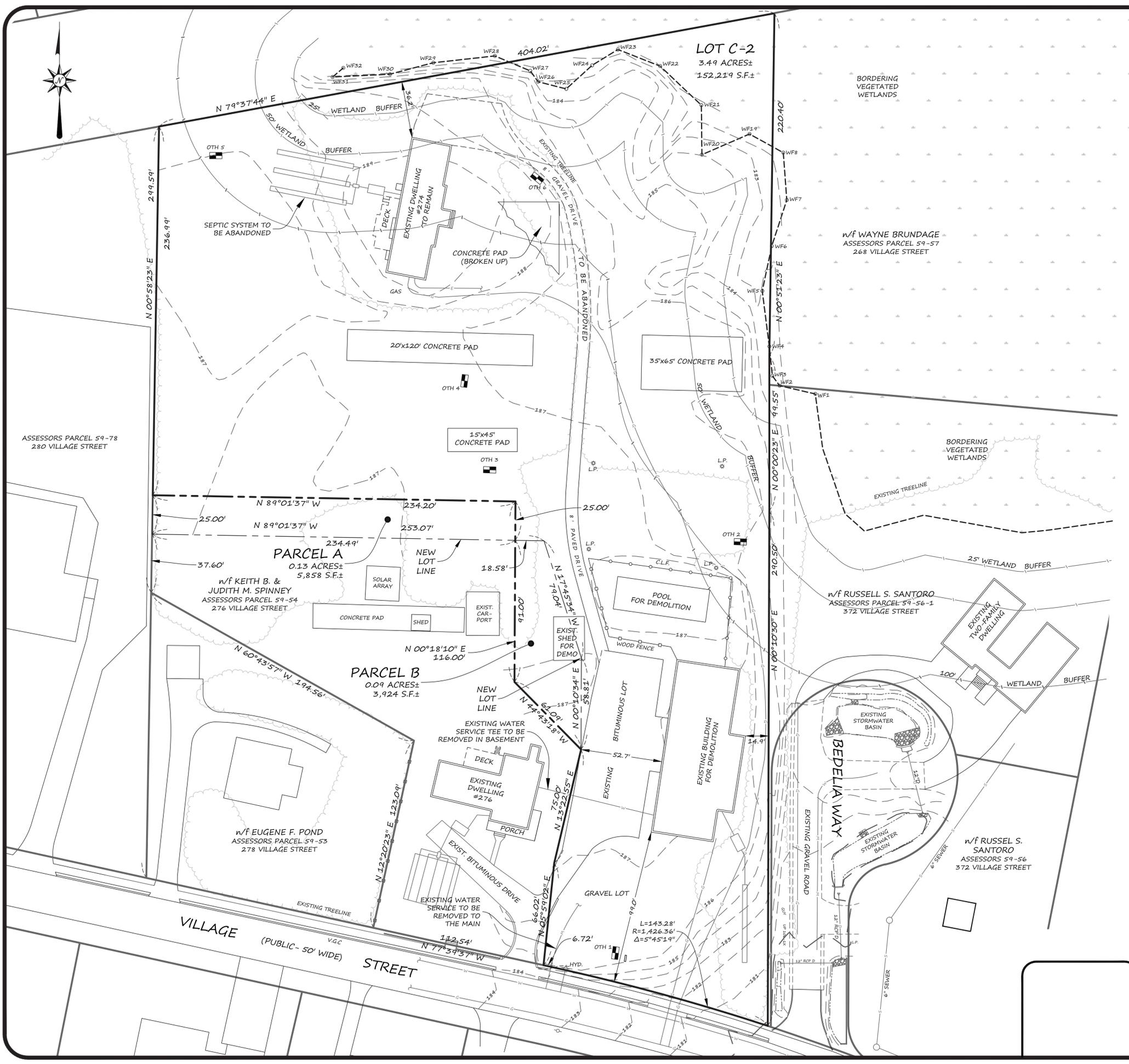
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PLAN DATE: JUNE 25, 2019

**WILLIAM WALLACE VILLAGE EXISTING CONDITIONS PLAN OF LAND IN MEDWAY, MA**



**LEGEND & ABBREVIATIONS**

- CB: SINGLE-GRATE CATCH BASIN
- CB: DOUBLE-GRATE CATCH BASIN
- OPTU xxx: PROPRIETARY STORMWATER UNIT
- ODMH: DRAIN MANHOLE
- TR: TRENCH DRAIN
- INFIL: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- OSMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- CCO: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- I.G.V: WATER GATE VALVE
- C.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P: EDGE OF PAVEMENT
- C.C.B: INTEGRAL SLOPED BIT. BERM
- V.B.B: VERTICAL BITUMINOUS BERM
- S.G.C: SLOPED GRANITE CURB
- V.G.C: VERTICAL GRANITE CURB
- V.C.C: VERTICAL CONCRETE CURB
- E.C.S: EDGE CONCRETE SLAB
- G.V: GATE VALVE
- C.L.F: CHAIN LINK FENCE
- W.S.F: WOOD STOCKADE FENCE
- P.F.F: PVC PICKET FENCE
- G.R: GUARD RAIL
- C.C: HANDICAP CURB CUT

**EXISTING CONDITION NOTES:**

- PARCEL A & B WILL BE SWAPPED PRIOR TO CONSTRUCTION AND THE EXISTING SHED WILL BE DEMOLISHED. THE DEVELOPMENT WILL THEREFORE CONSIST OF LOT C-2 AND PARCEL A. THE REST OF THE PLAN SHEETS DEPICT THESE PARCELS AS THE PROJECT BOUNDARIES.
- THE LOCATION OF EXISTING UTILITIES IS BASED ON AVAILABLE INFORMATION SUCH AS SURFACE FEATURES AND RECORD PLANS. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE, ARE NOT WARRANTED TO BE CORRECT, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONDUCTING ANY EXCAVATION ON THE SITE.
- OFFSITE FEATURES SUCH AS BUILDING, PAVING LIMITS, UTILITIES, ETC... ARE APPROXIMATE ONLY AND BASED ON MASSGIS AERIAL PHOTOGRAPHS.
- ELEVATIONS ARE ON THE NAVD88 DATUM.

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_  
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)  
**C-2**  
D158-01



Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2019.12.27 10:02:10 -05'00'



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DDRT LLC  
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276 VILLAGE STREET  
MEDWAY, MA 02053

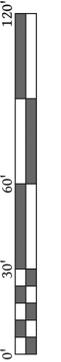
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**ZONING DISTRICT**  
AGRICULTURAL RESIDENTIAL II

**ASSESSORS PARCEL**  
59-55

**PLAN & DEED REFERENCE**  
DEED BOOK 6563 PAGE 42  
DEED BOOK 14198 PAGE 100  
PLAN BOOK 315 NO. 1166 OF  
1984

PLAN SCALE: 1" = 30'



**CONSTRUCTION NOTES:**

- FOR A FULL EXPLANATION OF EXPECTED CONSTRUCTION PRACTICES, PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN IN THE STORMWATER MANAGEMENT REPORT.
- CONSTRUCTION SEQUENCE:**
  - INSTALL CONSTRUCTION ENTRANCE AND PERIMETER EROSION CONTROLS
  - LOCATE EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA
  - DEMOLISH THE EXISTING GYM AND APPURTENANCES
  - CLEAR AND GRUB THE DEVELOPMENT AREA
  - INSTALL TEMPORARY STORMWATER BASIN
  - GRADE THE SITE
  - CONSTRUCT THE STORMWATER BASINS
  - INSTALL UTILITIES & BEGIN ROAD CONSTRUCTION
  - INSTALL BUILDING FOUNDATIONS FOR ALL UNITS EXCEPT FOR UNITS 7 & 8
  - COMPLETE BUILDING CONSTRUCTION AND BEGIN LANDSCAPING
  - ONCE NEW STORMWATER SYSTEMS ARE ONLINE, CONSTRUCT UNITS 7 & 8
  - FINISH LANDSCAPING AND PAVEMENT TOP COAT
  - ENSURE THAT ALL STORMWATER FACILITIES ARE CLEANED OUT AND OPERATE AS INTENDED
- REMOVE INVASIVE PLANT SPECIES WHERE DIRECTED BY THE CONSERVATION COMMISSION AGENT.

**EROSION CONTROL NOTES:**

- EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY EXCAVATION. EROSION CONTROLS SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES. EROSION CONTROLS SHALL REMAIN UNTIL SUCH TIME AS THE ADJACENT DISTURBED AREAS ARE COMPLETELY STABILIZED AS APPROVED BY THE CONSERVATION COMMISSION.
- ALL SOIL STOCKPILES SHALL BE PROTECTED WITH COMPOST SOCK PERIMETER CONTROLS AND SEEDING/STABILIZATION PROTOCOL.
- ALL EXISTING CATCH BASINS NEAR THE SITE AND ALL PROPOSED CATCH BASINS ARE TO BE PROTECTED WITH A SILTSAC UNTIL ALL UPSTREAM AREAS ARE STABILIZED. CLEAN AS NEEDED THROUGHOUT CONSTRUCTION.
- INSPECT AND CLEAN NEWLY INSTALLED UNDERGROUND INFILTRATION SYSTEMS REGULARLY.
- REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS.
- THE TOTAL AREA OF DISTURBANCE IS 136,807 S.F.

DATE APPROVED: \_\_\_\_\_

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MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

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PLAN DATE: JUNE 25, 2019

**WILLIAM WALLACE VILLAGE  
EROSION CONTROL  
PLAN OF LAND  
IN  
MEDWAY, MA**

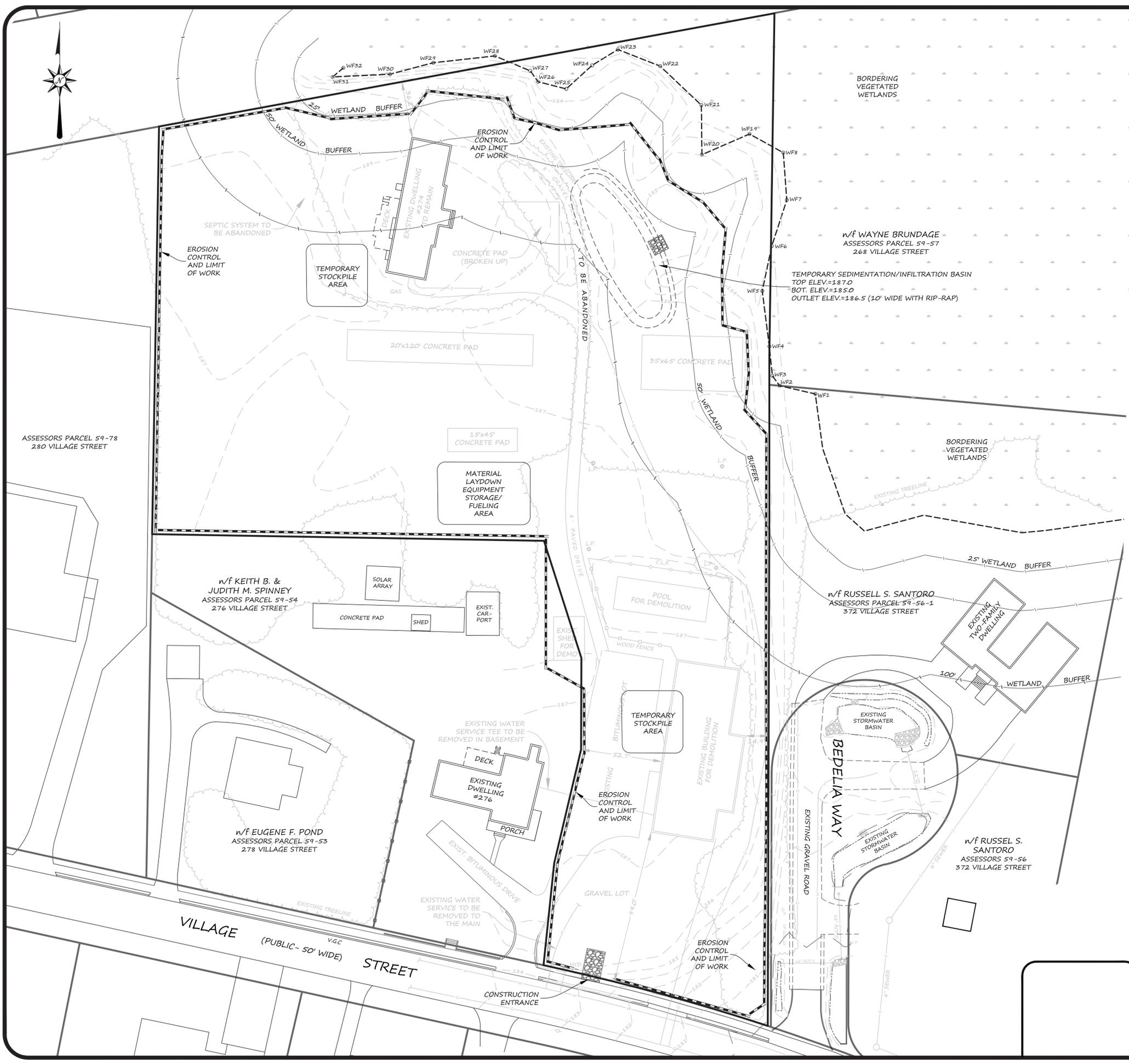


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Date: 2019.12.27 10:01:26 -05'00'

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

C-3

D158-01



ASSESSORS PARCEL 59-78  
280 VILLAGE STREET

w/f KEITH B. &  
JUDITH M. SPINNEY  
ASSESSORS PARCEL 59-54  
276 VILLAGE STREET

w/f EUGENE F. POND  
ASSESSORS PARCEL 59-53  
278 VILLAGE STREET

w/f RUSSELL S. SANTORO  
ASSESSORS PARCEL 59-56-1  
372 VILLAGE STREET

w/f RUSSEL S.  
SANTORO  
ASSESSORS 59-56  
372 VILLAGE STREET



**LOT C-2/  
PARCEL A**  
3.63 ACRES±  
158,077 S.F.±

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**LAYOUT NOTES**

1. TRASH WILL BE COLLECTED BY PRIVATE CURBSIDE PICKUP WITHIN THE DEVELOPMENT AND NOT AT THE VILLAGE STREET FRONTAGE.
2. ALL PATIOS TO BE CONSTRUCTED OF PERVIOUS PAVEMENT SYSTEMS AND ARE TO BE EXCLUDED FROM IMPERVIOUS COVERAGE CALCULATIONS.
3. REMOVE EXISTING DRIVEWAY APRON, SAWCUT STREET PAVING, INSTALL MATCHING CONCRETE CURB, INSTALL MATCHING GRASS STRIP, AND REPAVE EXISTING SIDEWALK AND PATCH STREET PAVING AS NEEDED FROM EXISTING CURB CUT TO NEW DRIVEWAY.

**ZONING REQUIREMENTS**

1. PROPOSED PARKING SPACES ARE 9' WIDE BY 18' DEEP.
2. 10% OF THE UNITS ARE REQUIRED TO BE AFFORDABLE, WHICH EQUALS 1.2 UNITS (ROUNDED DOWN TO ONE UNIT).
3. UNIT 11 WILL BE THE AFFORDABLE UNIT.

**OWNER**

#274  
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P.O. BOX 95  
TRURO, MA 02666

PORTION OF #276  
KEITH & JUDITH SPINNEY  
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MEDWAY, MA 02053

**APPLICANT**

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**ZONING DISTRICT**  
AGRICULTURAL RESIDENTIAL II

**ASSESSORS PARCEL**  
59-55

**PLAN & DEED REFERENCE**  
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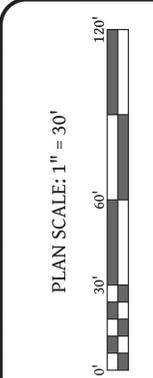
**ZONING REQUIREMENTS:**

ZONE: AGRICULTURAL RESIDENTIAL II  
MIN. LOT AREA:  
REQUIRED: 30,000 S.F. (FOR TWO FAMILY DWELLINGS)  
PROVIDED: 158,077 S.F.  
MIN. FRONTAGE:  
REQUIRED: 50' (FOR MULTIFAMILY)  
PROVIDED: 150.01'  
MIN. FRONT SETBACK:  
REQUIRED: 35'  
PROVIDED: 73.6'  
MIN. SIDE SETBACK:  
REQUIRED: 15'  
PROVIDED: 23.9'  
MIN. REAR SETBACK:  
REQUIRED: 15'  
PROVIDED: 36.2'  
MAX. HEIGHT:  
REQUIRED: 40' (FOR MULTIFAMILY)  
PROVIDED: APPROX. 26'  
MAX. BUILDING COVERAGE:  
REQUIRED: 30%  
PROVIDED: 15% (24,273 S.F.)  
MAX. LOT COVERAGE:  
REQUIRED: 40%  
PROVIDED: 35% (56,121 S.F.)  
OPEN SPACE:  
REQUIRED: 15% (FOR MULTIFAMILY)  
PROVIDED: 55%  
PARKING SPACES:  
REQUIRED: 1.5/UNIT + 1 VISITOR/2 UNITS  
= 24 PARKING SPACES  
PROVIDED: 4/UNIT + 4 VISITOR = 52 SPACES

DATE APPROVED: \_\_\_\_\_

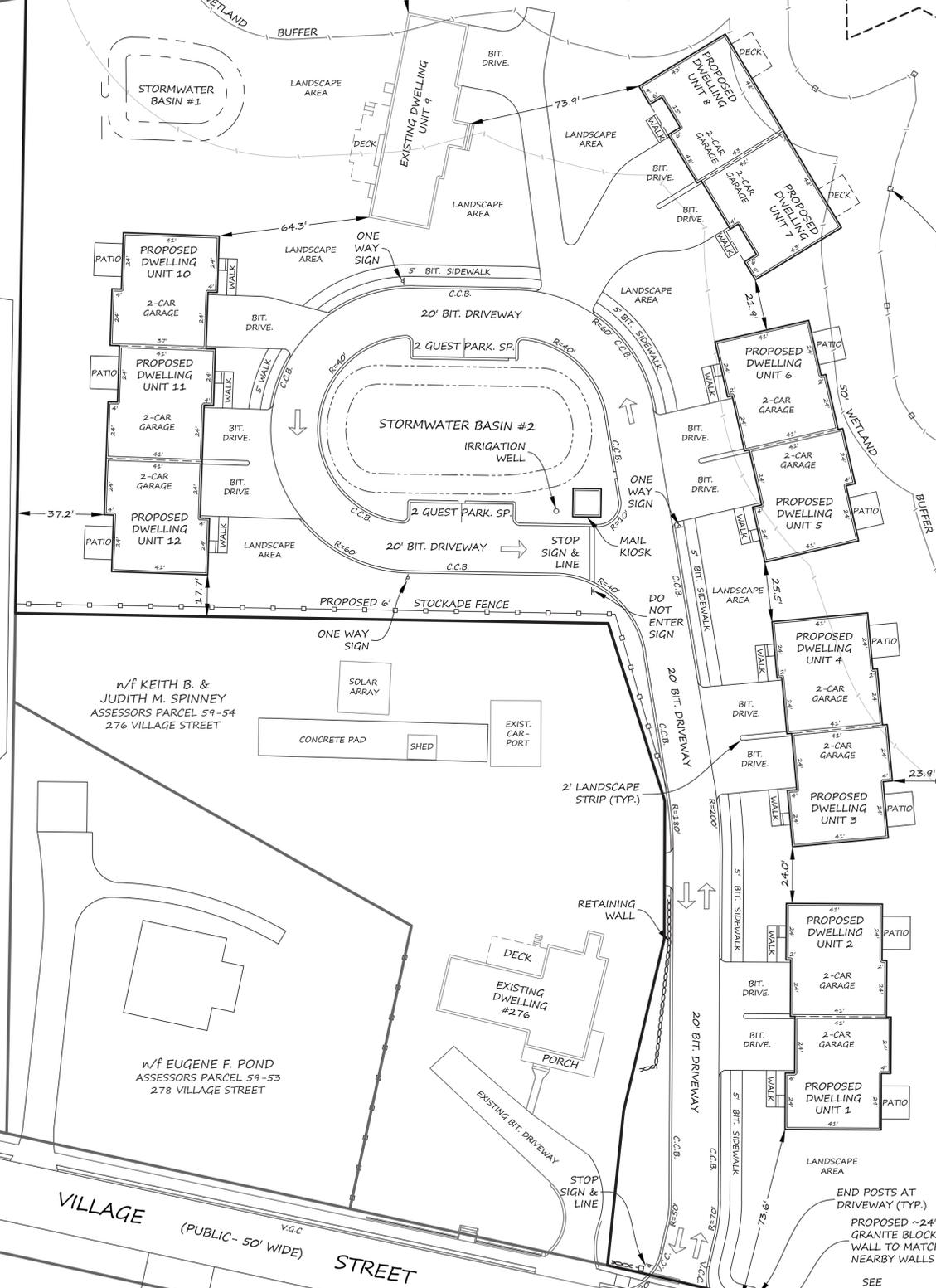
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**WILLIAM WALLACE VILLAGE  
LAYOUT  
PLAN OF LAND  
IN  
MEDWAY, MA**



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730 MAIN STREET  
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C-4

D158-01





**LOT C-2/  
PARCEL A**  
3.63 ACRES±  
158,077 S.F.±

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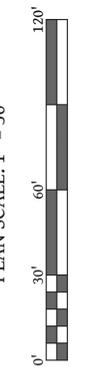
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59-55

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**GRADING NOTES**

1. EXPECTED SOIL IMPORT: ~900 C.Y.
2. EXPECTED SOIL EXPORT: ~350 C.Y.
- 2.1. MOSTLY CONCRETE & PAVEMENT DEBRIS
3. LOAM AND SEED BUFFER ZONE RESTORATION AREAS WITH AN UPLAND EROSION CONTROL MIX. PLANT A TOTAL OF 10 SHRUBS (MIN 18" TALL AT INSTALLATION) IN RESTORATION AREAS. (SPECIES TO BE APPROVED BY CONSERVATION AGENT).



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REVISED SITE LAYOUT		

PLAN DATE: JUNE 25, 2019

**WILLIAM WALLACE VILLAGE  
GRADING & UTILITIES  
PLAN OF LAND  
IN  
MEDWAY, MA**

DATE APPROVED: \_\_\_\_\_

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MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD



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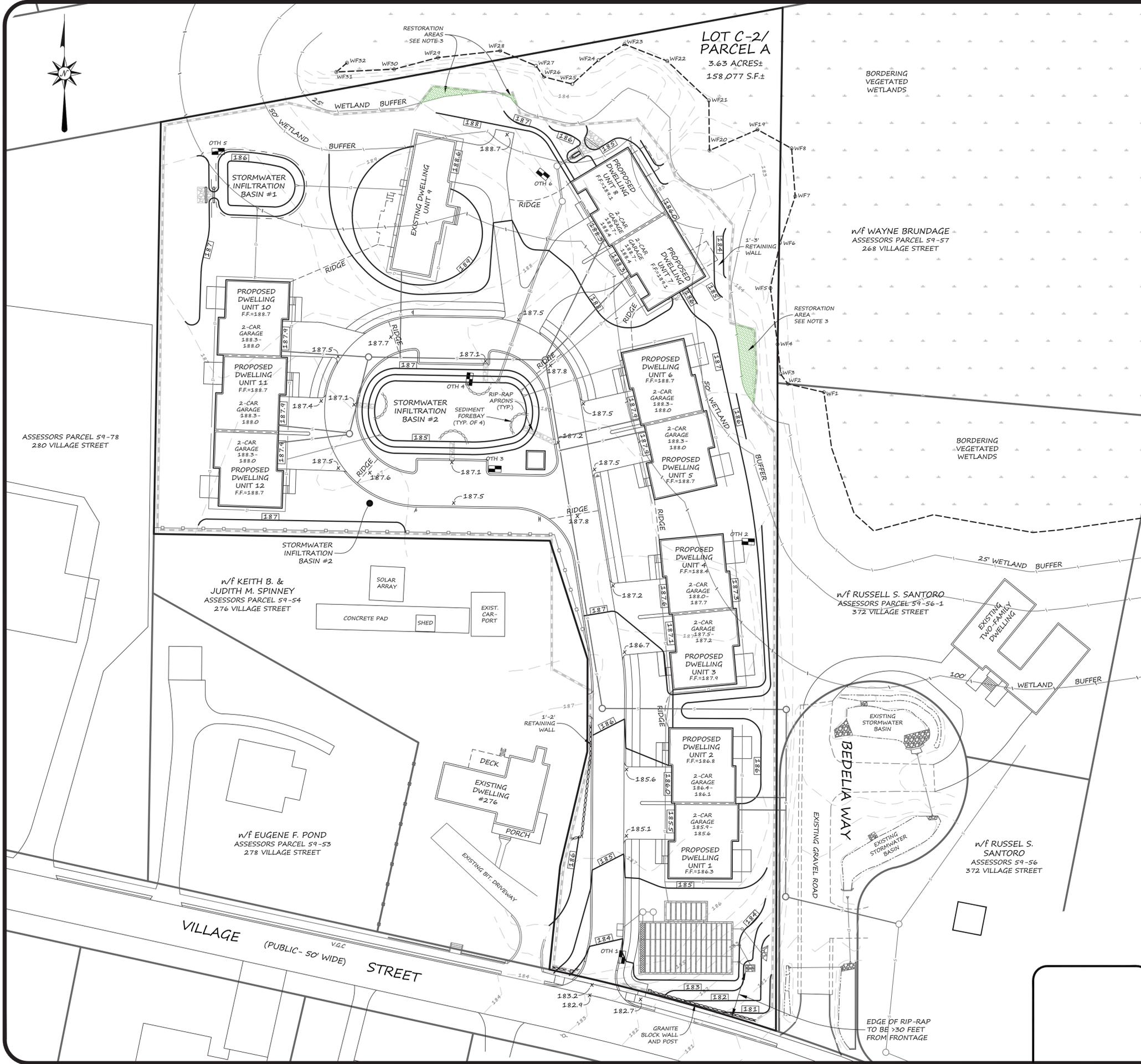
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C-5



**LEGACY  
ENGINEERING**

D158-01



ASSESSORS PARCEL 59-78  
280 VILLAGE STREET

STORMWATER INFILTRATION BASIN #1

EXISTING DWELLING UNIT 4

PROPOSED DWELLING UNIT 10  
FF=188.7  
2-CAR GARAGE  
188.3-188.0

PROPOSED DWELLING UNIT 11  
FF=188.7  
2-CAR GARAGE  
188.3-188.0

PROPOSED DWELLING UNIT 12  
FF=188.7  
2-CAR GARAGE  
188.3-188.0

STORMWATER INFILTRATION BASIN #2

PROPOSED DWELLING UNIT 6  
FF=188.7  
2-CAR GARAGE  
188.3-188.0

PROPOSED DWELLING UNIT 5  
FF=188.7  
2-CAR GARAGE  
188.3-188.0

PROPOSED DWELLING UNIT 4  
FF=188.4  
2-CAR GARAGE  
188.0-187.7

PROPOSED DWELLING UNIT 3  
FF=187.9  
2-CAR GARAGE  
187.5-187.2

PROPOSED DWELLING UNIT 2  
FF=186.8  
2-CAR GARAGE  
186.4-186.1

PROPOSED DWELLING UNIT 1  
FF=186.3  
2-CAR GARAGE  
185.9-185.6

w/f KEITH B. & JUDITH M. SPINNEY  
ASSESSORS PARCEL 59-54  
276 VILLAGE STREET

w/f EUGENE F. POND  
ASSESSORS PARCEL 59-53  
278 VILLAGE STREET

w/f RUSSELL S. SANTORO  
ASSESSORS PARCEL 59-56-1  
372 VILLAGE STREET

w/f RUSSEL S. SANTORO  
ASSESSORS 59-56  
372 VILLAGE STREET

VILLAGE STREET  
(PUBLIC - 50' WIDE)

BEDELLIA WAY

EDGE OF RIP-RAP TO BE >30 FEET FROM FRONTAGE

**LOT C-2/  
PARCEL A**  
3.63 ACRES±  
158,077 S.F.±

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: \_\_\_\_\_

REGISTERED LAND SURVEYOR

FOR REGISTRY USE

**UTILITY NOTES:**

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT. THE PROJECT ARCHITECT SHALL VERIFY THE DOMESTIC, IRRIGATION AND FIRE WATER SERVICE PIPE SIZE REQUIREMENTS FOR THE BUILDINGS.
2. WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
3. SEWER SERVICE SHALL BE 6-INCH SDR35 PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MEDWAY SEWER AND WATER DEPARTMENT. MIN SLOPE = 0.02. CLEANOUTS SHALL BE POSITIONED IN LANDSCAPE AREAS. PROVIDE MIN. 18" VERTICAL SEPARATION BETWEEN SEWER SERVICES AND WATER MAIN.
4. STORMWATER PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL) PIPES.
5. EXCEPT WHERE NOTED, ROOF DRAIN PIPING TO BE 6" HDPE.
6. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER. ALL ON-SITE ELECTRICAL WIRING SHALL BE UNDERGROUND.
7. FIRE PROTECTION SPRINKLERS SHALL BE PROVIDED FOR ALL RESIDENTIAL UNITS.
8. THE EXISTING HYDRANT MAY NEED TO BE RELOCATED DURING CONSTRUCTION IF REQUIRED BY THE DPW.
9. ALL FIRE SERVICE LINES SHALL BE CONNECTED DIRECTLY TO THE MAIN.
10. CURB STOPS LOCATED IN PAVEMENT SHALL BE FURNISHED WITH A STREET BOX TOP PER DPW REQUIREMENTS.

**OWNER**  
#274  
DDRT LLC  
P.O. BOX 95  
TRURO, MA 02666

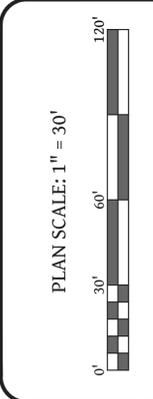
**PORTION OF #276**  
KEITH & JUDITH SPINNEY  
276 VILLAGE STREET  
MEDWAY, MA 02053

**APPLICANT**  
DDRT LLC  
P.O. BOX 95  
TRURO, MA 02666

**ZONING DISTRICT**  
AGRICULTURAL RESIDENTIAL II

**ASSESSORS PARCEL**  
59-55

**PLAN & DEED REFERENCE**  
DEED BOOK 6563 PAGE 42  
DEED BOOK 14198 PAGE 100  
PLAN BOOK 315 NO. 1166 OF  
1984



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2019-09-04	
REVISIONS PER TOWN COMMENTS	2019-10-07	
REVISIONS PER TOWN COMMENTS	2019-12-27	
REVISED SITE LAYOUT		

**WILLIAM WALLACE VILLAGE  
UTILITY  
PLAN OF LAND  
IN  
MEDWAY, MA**

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

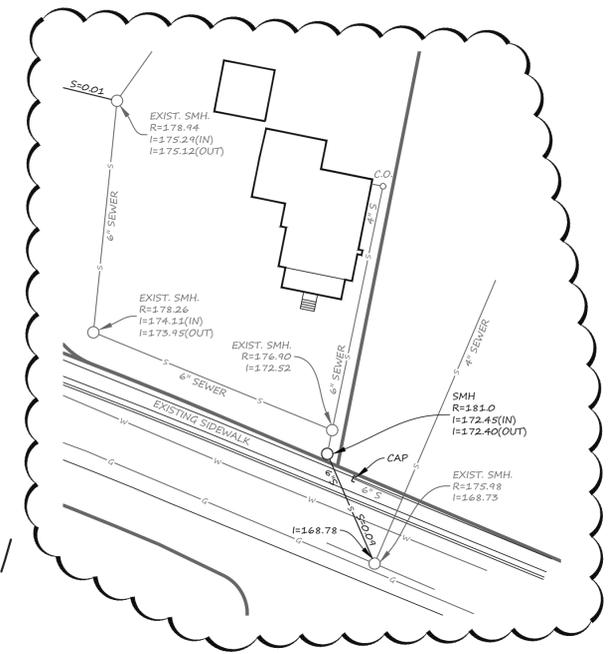
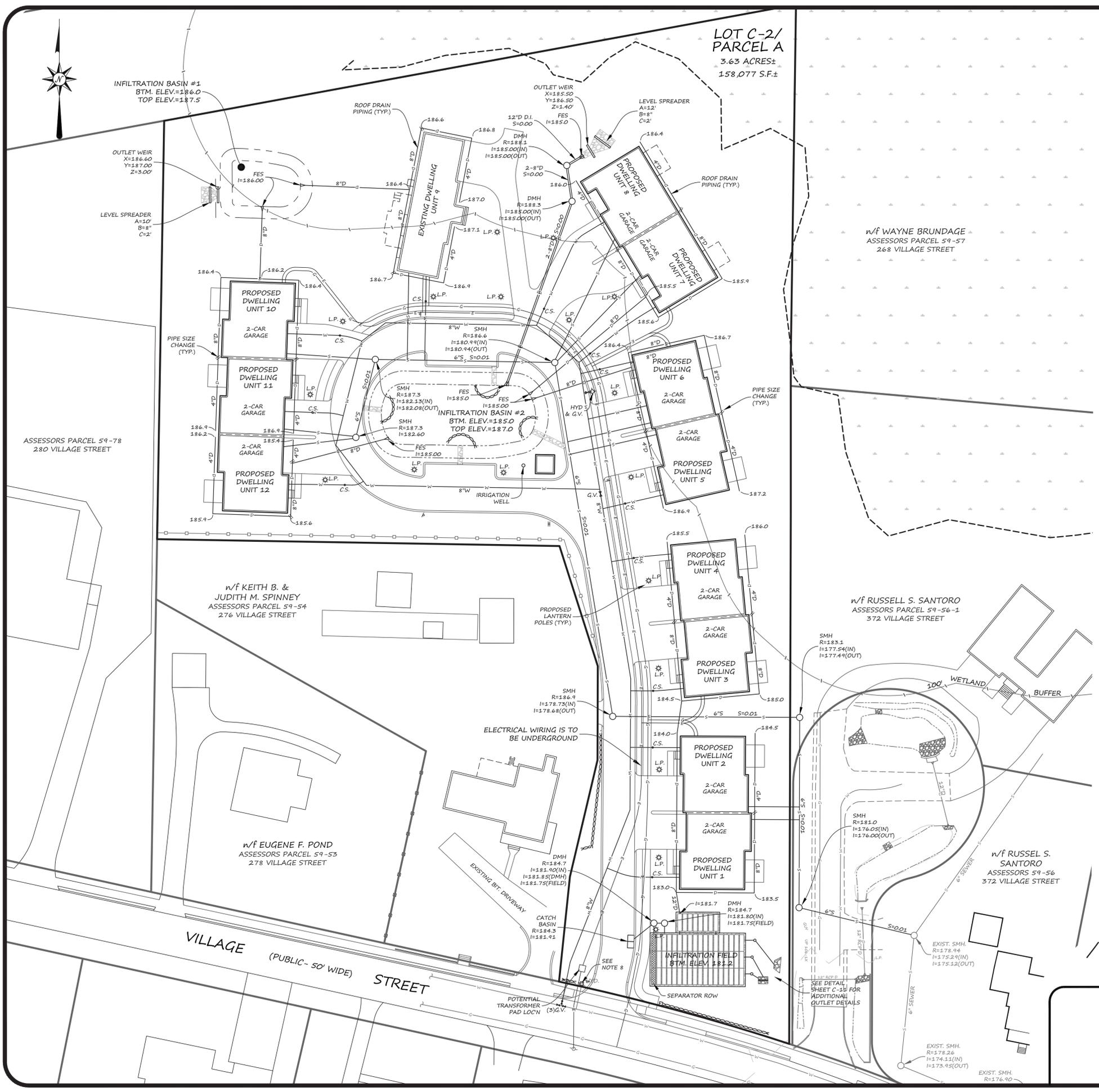


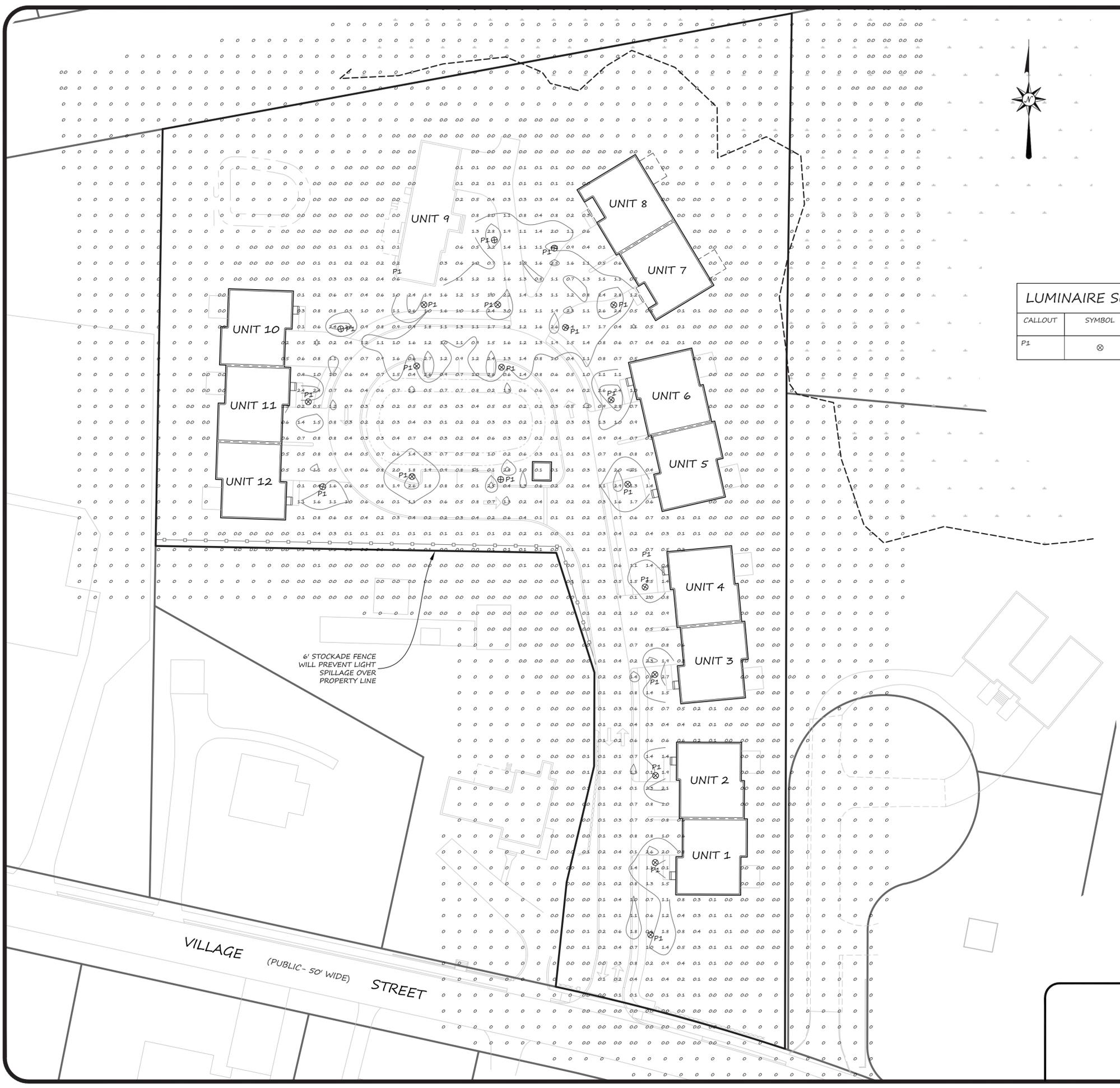
Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2019.12.27 09:59:25 -05'00'

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

C-6

D158-01





OWNER  
 #274  
 DDRT LLC  
 P.O. BOX 95  
 TRURO, MA 02666

APPLICANT  
 DDRT LLC  
 P.O. BOX 95  
 TRURO, MA 02666

ZONING DISTRICT  
 AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL  
 59-55

PLAN & DEED REFERENCE  
 DEED BOOK 6563 PAGE 42  
 DEED BOOK 19198 PAGE 100  
 PLAN BOOK 315 NO. 1166 OF 1984

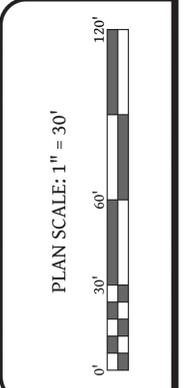
I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

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DATE: \_\_\_\_\_  
 REGISTERED LAND SURVEYOR

FOR REGISTRY USE

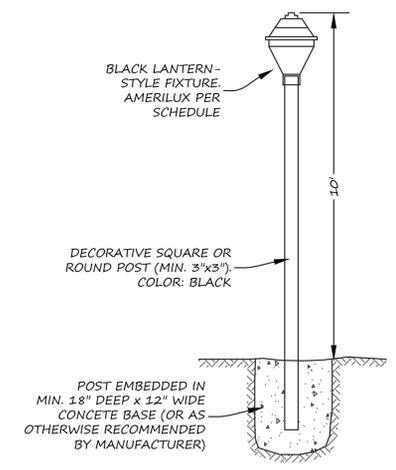
LUMINAIRE SCHEDULE						
CALLOUT	SYMBOL	QUANTITY	LAMP	MOUNTING	MOUNTING HEIGHT	MODEL
P1	⊗	20	LED	POLE TOP	10'	AMERILUX D623-FDR FULL-CUTOFF FIXTURE



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2019-09-04	
REVISIONS PER TOWN COMMENTS	2019-10-07	
REVISIONS PER TOWN COMMENTS	2019-12-27	
REVISED SITE LAYOUT		

PLAN DATE: JUNE 25, 2019

WILLIAM WALLACE VILLAGE  
 LIGHTING  
 PLAN OF LAND  
 IN  
 MEDWAY, MA



RESIDENTIAL LIGHTPOST  
 NOT TO SCALE

6' STOCKADE FENCE WILL PREVENT LIGHT SPILLAGE OVER PROPERTY LINE

VILLAGE STREET (PUBLIC - 50' WIDE)

DATE APPROVED: \_\_\_\_\_  
 DATE ENDORSED: \_\_\_\_\_  
 \_\_\_\_\_  
 MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.  
 Date: 2019.12.27 09:58:54 -05'00'

730 MAIN STREET  
 SUITE 2C  
 MILLIS, MA 02054  
 508-376-8883(o)  
 C-7



D158-01

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DATE: \_\_\_\_\_

REGISTERED LAND SURVEYOR

FOR REGISTRY USE

**OWNER**  
#274  
DDRT LLC  
P.O. BOX 95  
TRURO, MA 02666

PORTION OF #276  
KEITH & JUDITH SPINNEY  
276 VILLAGE STREET  
MEDWAY, MA 02053

**APPLICANT**  
DDRT LLC  
P.O. BOX 95  
TRURO, MA 02666

**ZONING DISTRICT**  
AGRICULTURAL RESIDENTIAL II

**ASSESSORS PARCEL**  
59-55

**PLAN & DEED REFERENCE**  
DEED BOOK 6563 PAGE 42  
DEED BOOK 14198 PAGE 100  
PLAN BOOK 315 NO. 1166 OF  
1984

**SNOW REMOVAL NOTES:**

1. SNOW SHALL BE PLOWED INTO WINDROWS ALONG PAVEMENT WHERE POSSIBLE AND STOCKPILED IN DESIGNATED SNOW STORAGE AREAS.
2. NO SNOW STORAGE ALLOWED WITHIN THE 100' BUFFER ZONE.
3. SNOW SHALL NOT BE PILED AT THE ENTRANCE CORNERS IN SUCH A MANNER THAT IT WILL OBSTRUCT SIGHT DISTANCE
4. ICE CONTROL SHALL BE BY SAND, SODIUM CHLORIDE OR CALCIUM CHLORIDE.
5. THE TOTAL AREA REQUIRING SNOW REMOVAL IS APPROXIMATELY 16,171 S.F. THE SNOW STORAGE AREAS TOTAL APPROXIMATELY 9,910 S.F.

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

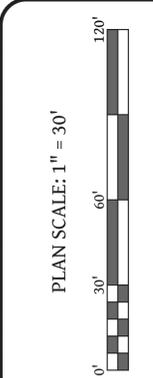
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\_\_\_\_\_

\_\_\_\_\_

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2019-09-04	
REVISIONS PER TOWN COMMENTS	2019-10-07	
REVISIONS PER TOWN COMMENTS	2019-12-27	
REVISED SITE LAYOUT		

**WILLIAM WALLACE VILLAGE  
SNOW STORAGE  
PLAN OF LAND  
IN  
MEDWAY, MA**

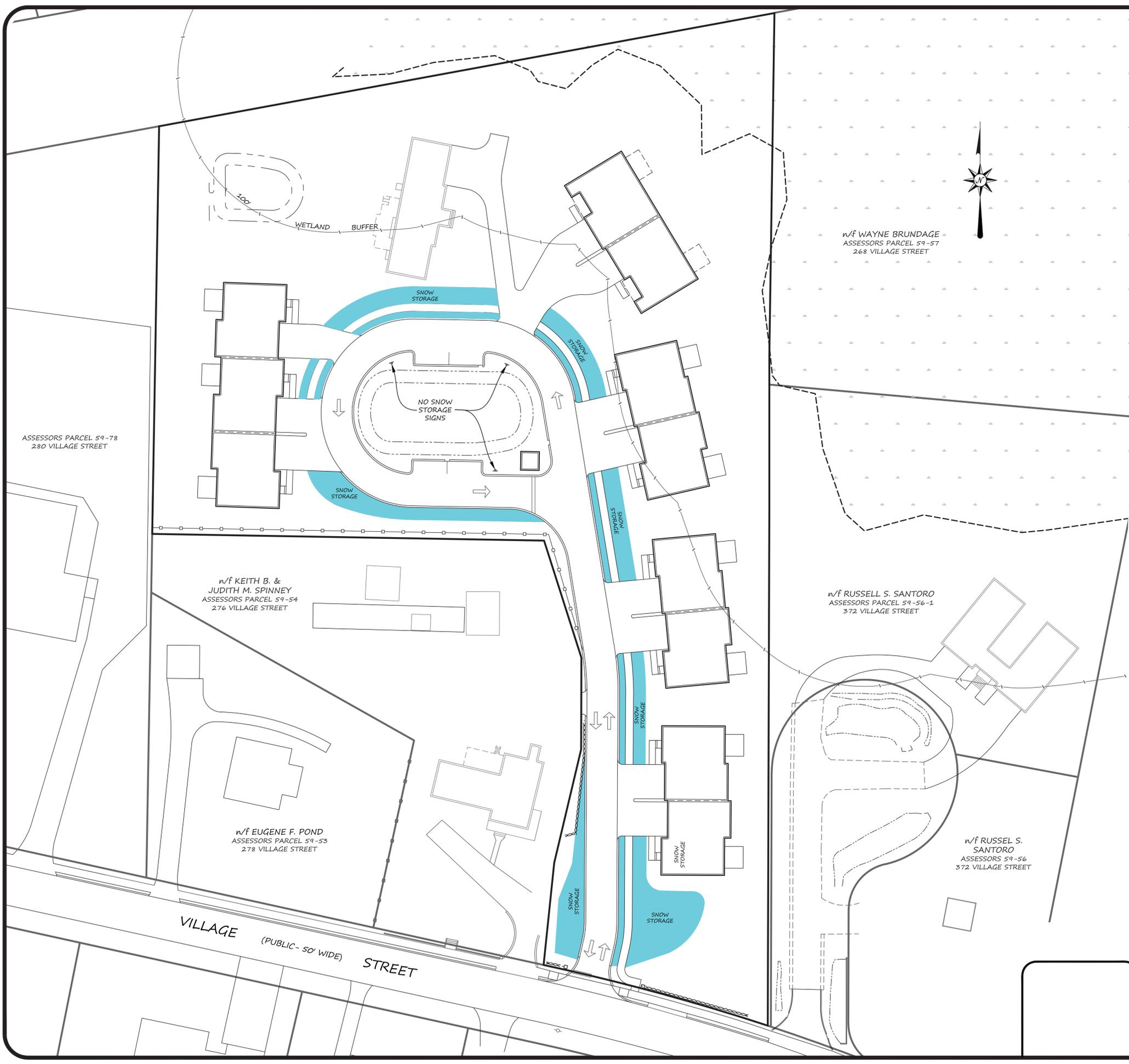


730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

C-9



D158-01



ASSESSORS PARCEL 59-78  
280 VILLAGE STREET

w/f KEITH B. &  
JUDITH M. SPINNEY  
ASSESSORS PARCEL 59-54  
276 VILLAGE STREET

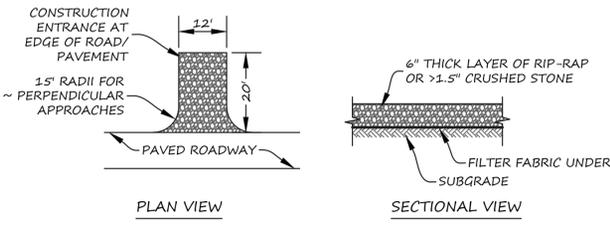
w/f EUGENE F. POND  
ASSESSORS PARCEL 59-53  
278 VILLAGE STREET

w/f RUSSELL S. SANTORO  
ASSESSORS PARCEL 59-56-1  
372 VILLAGE STREET

w/f RUSSEL S.  
SANTORO  
ASSESSORS 59-56  
372 VILLAGE STREET

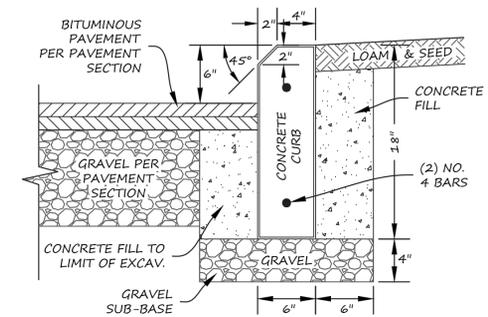
w/f WAYNE BRUNDAGE  
ASSESSORS PARCEL 59-57  
268 VILLAGE STREET

VILLAGE STREET  
(PUBLIC - 50' WIDE)



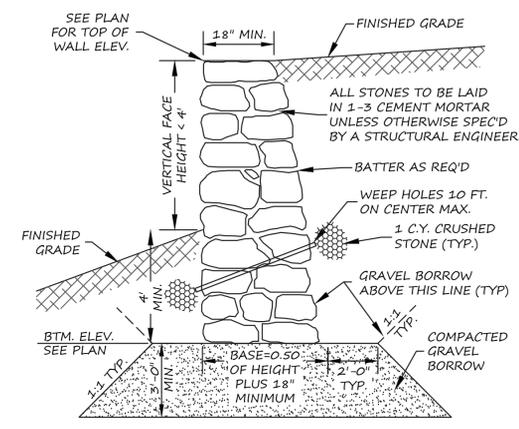
**NOTES:**  
 1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.  
 2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

**CONSTRUCTION ENTRANCE DETAIL**  
 NOT TO SCALE

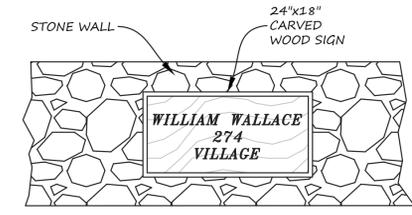


**NOTES:**  
 1. CONCRETE TO BE 4,000 PSI.  
 2. ALL RADII 50' AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

**PRECAST CONCRETE CURB DETAIL**  
 (NO SCALE)



**TYPICAL STONE RETAINING WALL**  
 NOT TO SCALE



**ENTRANCE SIGNS**  
 NOT TO SCALE

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DATE: \_\_\_\_\_

REGISTERED LAND SURVEYOR

FOR REGISTRY USE

**OWNER**  
 #274  
 DDRT LLC  
 P.O. BOX 95  
 TRURO, MA 02666

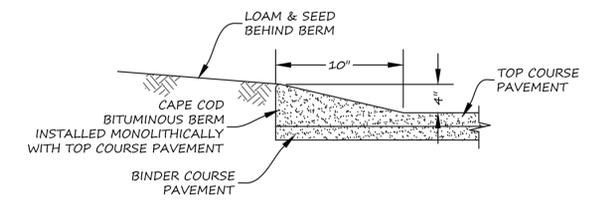
**PORTION OF #276**  
 KEITH & JUDITH SPINNEY  
 276 VILLAGE STREET  
 MEDWAY, MA 02053

**APPLICANT**  
 DDRT LLC  
 P.O. BOX 95  
 TRURO, MA 02666

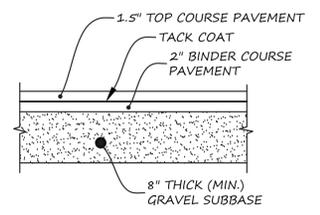
**ZONING DISTRICT**  
 AGRICULTURAL RESIDENTIAL II

**ASSESSORS PARCEL**  
 59-55

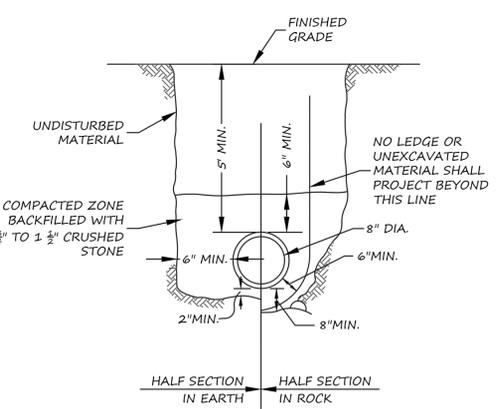
**PLAN & DEED REFERENCE**  
 DEED BOOK 6563 PAGE 42  
 DEED BOOK 14198 PAGE 100  
 PLAN BOOK 315 NO. 1166 OF 1984



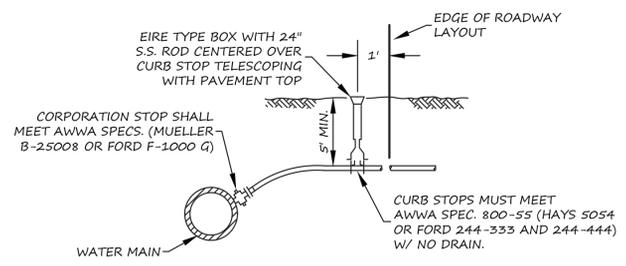
**MONOLITHIC CAPE COD BERM DETAIL**  
 (NO SCALE)



**TYPICAL PARKING LOT PAVING SECTION**  
 NOT TO SCALE

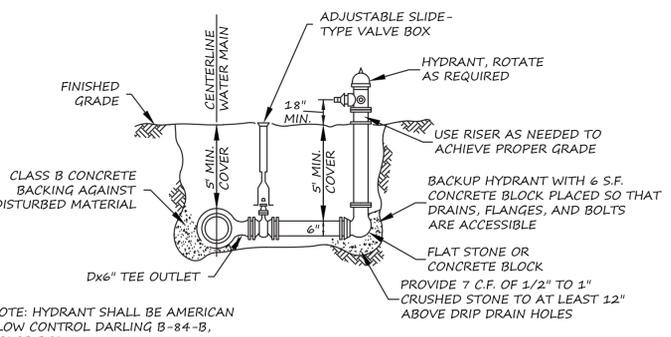


**WATER MAIN TRENCH DETAIL**  
 NOT TO SCALE

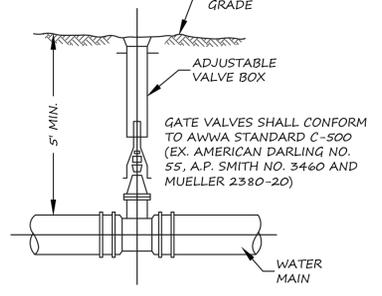


**NOTES:**  
 1. COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.  
 2. 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

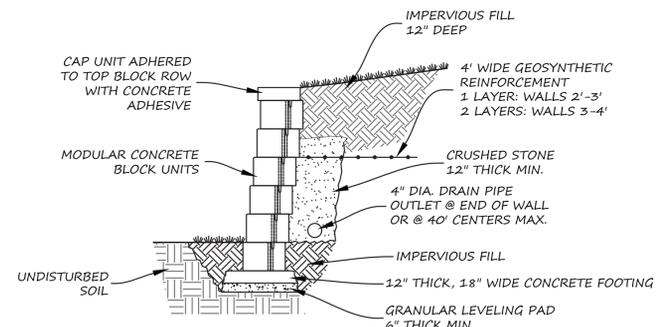
**TYPICAL WATER SERVICE CONNECTION**  
 NOT TO SCALE



**TYPICAL HYDRANT ASSEMBLY DETAIL**  
 NOT TO SCALE

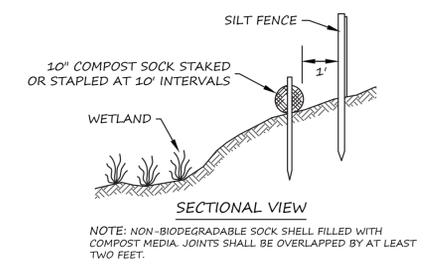


**TYPICAL GATE VALVE**  
 NOT TO SCALE



**NOTES:**  
 1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.  
 2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

**TYPICAL "SMALL BLOCK" RETAINING WALL**  
 NOT TO SCALE



**EROSION CONTROL DETAIL (FILTER SOCK)**  
 NOT TO SCALE

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2019-09-04	
REVISIONS PER TOWN COMMENTS	2019-10-07	
REVISIONS PER TOWN COMMENTS	2019-12-27	

PLAN DATE: JUNE 25, 2019

WILLIAM WALLACE VILLAGE  
 DETAIL  
 PLAN OF LAND  
 IN  
 MEDWAY, MA

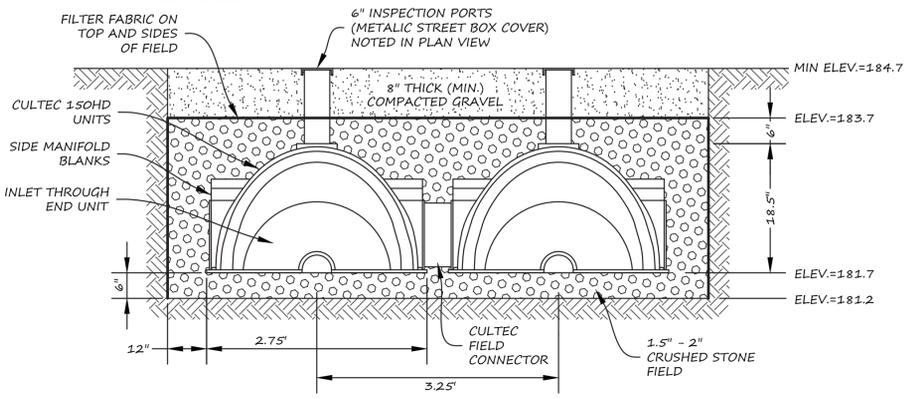
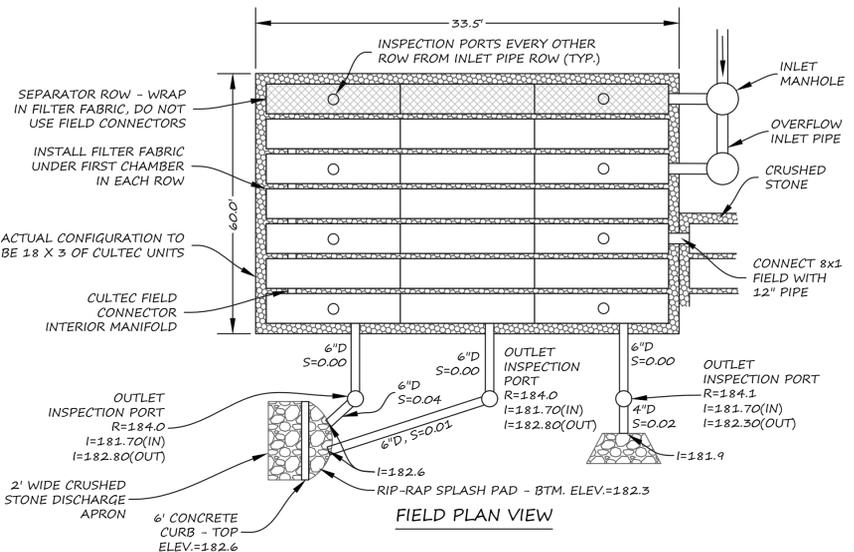


730 MAIN STREET  
 SUITE 2C  
 MILLIS, MA 02054  
 508-376-8883(o)

C-10

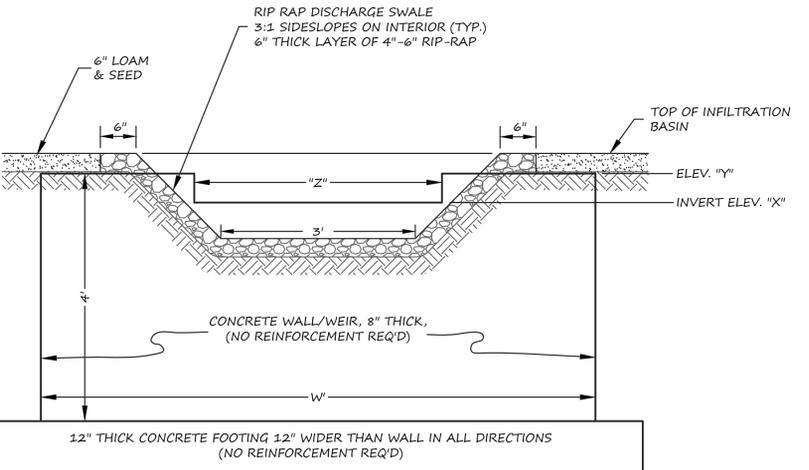
D158-01



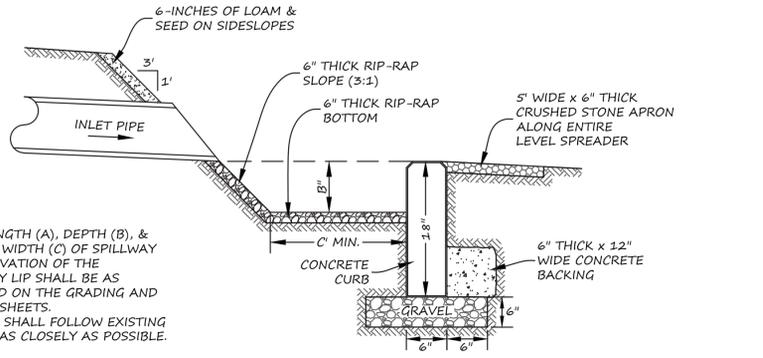


- NOTES:**
1. INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
  2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
  3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
  4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
  5. REMOVE ALL TOPSOIL AND SUBSOIL BELOW SYSTEM AND REPLACE WITH GRAVEL MEETING ENGINEER'S APPROVAL AS NEEDED.

**INFILTRATION FIELD DETAIL**  
NOT TO SCALE

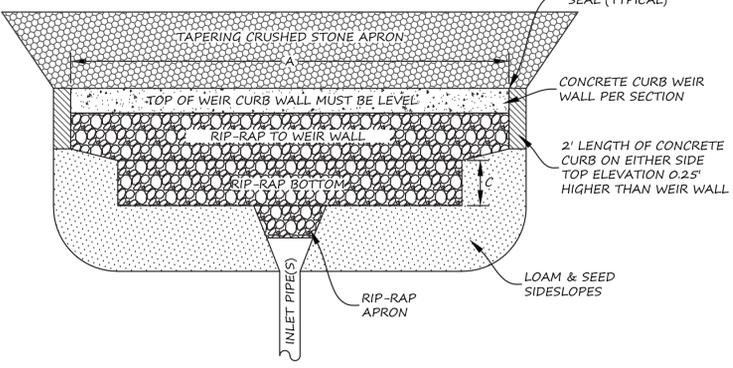


**BASIN OUTLET WEIR AND RIP-RAP SWALE DETAIL**

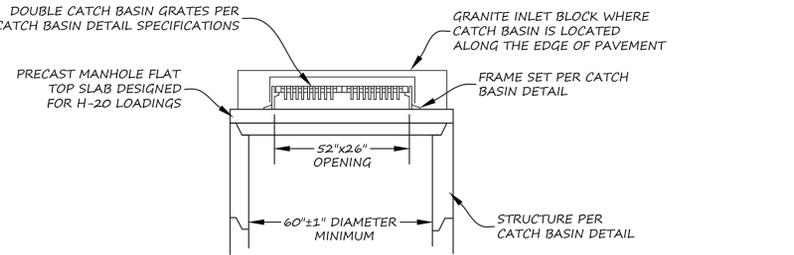


**TYPICAL SECTIONAL VIEW**

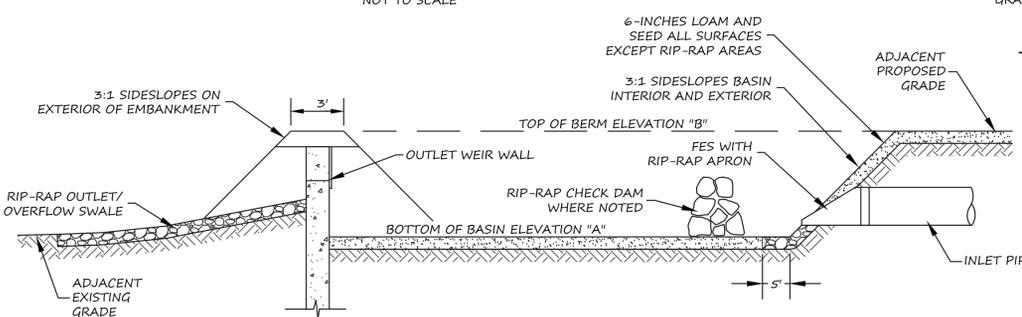
- NOTES:**
1. WEIR LENGTH (A), DEPTH (B), & BOTTOM WIDTH (C) OF SPILLWAY AND ELEVATION OF THE SPILLWAY LIP SHALL BE AS SPECIFIED ON THE GRADING AND PROFILE SHEETS.
  2. WEIR LIP SHALL FOLLOW EXISTING GRADES AS CLOSELY AS POSSIBLE.



**LEVEL SPREADER DETAIL**  
NOT TO SCALE



**CATCH BASIN DOUBLE GRATE DETAIL**  
NOT TO SCALE

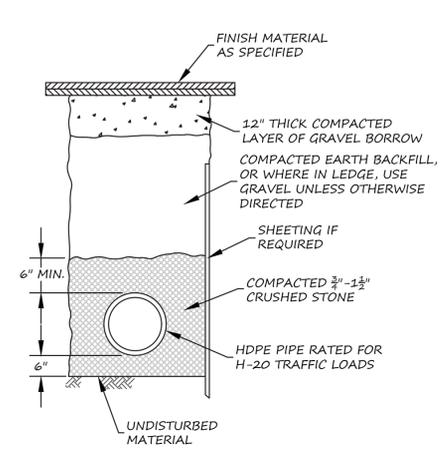


**TYPICAL BASIN CROSS-SECTION**

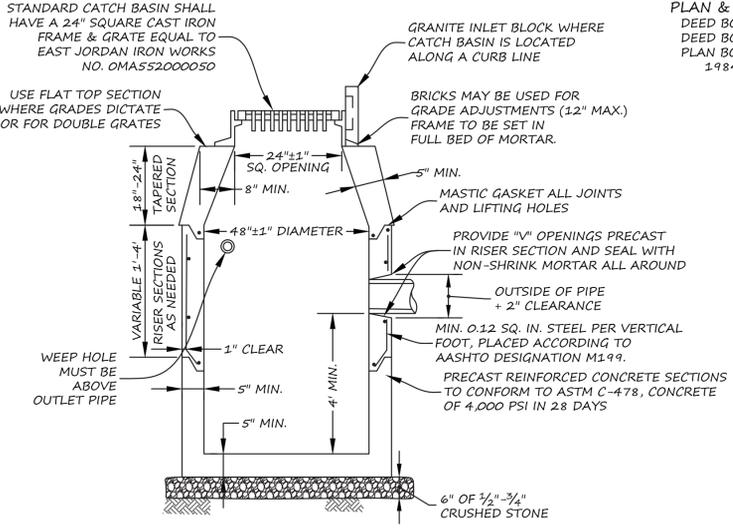
**SCHEDULE OF DIMENSIONS AND ELEVATIONS**

	BASIN #1	BASIN #2
BOTTOM OF BASIN ELEVATION "A"	186.0	185.0
TOP OF BERM ELEVATION "B"	187.5	187.0
EMERGENCY OVERFLOW ELEV.	187.0	186.5
EMERGENCY OVERFLOW WIDTH	6'	6'

**TYPICAL INFILTRATION BASIN CROSS-SECTION**  
NOT TO SCALE



**TYPICAL DRAIN TRENCH**  
(NO SCALE)



- NOTES:**
1. NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.
  2. SUBSTITUTE FRAME AND GRATE SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.
  3. PROVIDE 5" DIAMETER STRUCTURE WITH FLAT TOP WITH RECTANGULAR OPENING FOR DOUBLE GRATES, WHICH SHALL BE EAST JORDAN IRON WORKS NO. 0MAS544000002 WITH GRATES EQUAL TO ABOVE-SPECIFICATION.

**PRECAST CONCRETE CATCH BASIN**  
NOT TO SCALE

- NOTES:**
1. SEE GRADING SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
  2. ALL TOPSOIL AND SUBSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN GRAVEL. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SANDY LOAM. (TITLE V CLASSIFICATIONS).
  3. BERM AREAS SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

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DATE: \_\_\_\_\_  
REGISTERED LAND SURVEYOR

OWNER  
#274  
DDRT LLC  
P.O. BOX 95  
TRURO, MA 02666

PORTION OF #276  
KEITH & JUDITH SPINNEY  
276 VILLAGE STREET  
MEDWAY, MA 02053

APPLICANT  
DDRT LLC  
P.O. BOX 95  
TRURO, MA 02666

ZONING DISTRICT  
AGRICULTURAL RESIDENTIAL II  
ASSESSORS PARCEL  
59-55

PLAN & DEED REFERENCE  
DEED BOOK 6563 PAGE 42  
DEED BOOK 11198 PAGE 100  
PLAN BOOK 315 NO. 1166 OF  
1984

PLAN SCALE: NOT TO SCALE

PLAN DATE: JUNE 25, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2019-09-04	
REVISIONS PER TOWN COMMENTS	2019-10-07	
REVISIONS PER TOWN COMMENTS	2019-12-27	
REVISED SITE LAYOUT		

WILLIAM WALLACE VILLAGE  
DETAIL  
PLAN OF LAND  
IN  
MEDWAY, MA



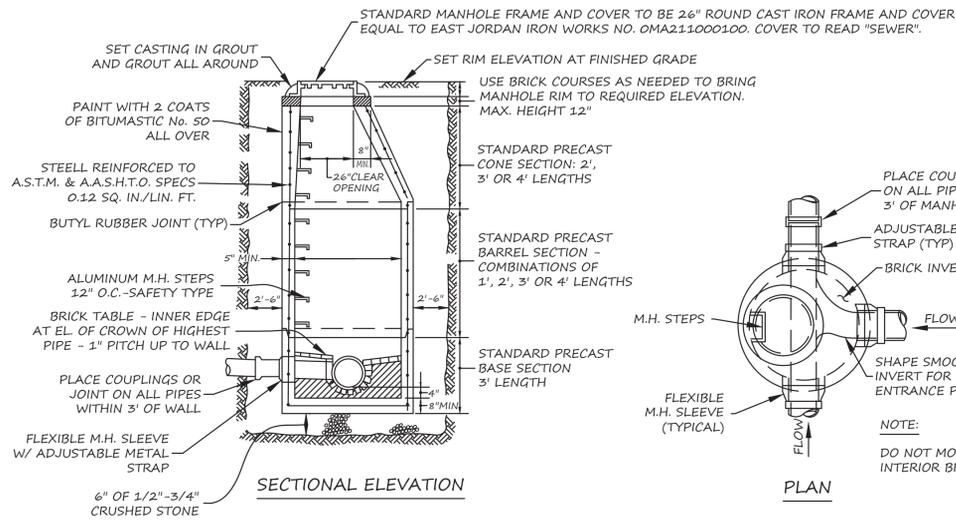
Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2019.12.27 09:57:23 -0500

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

C-11

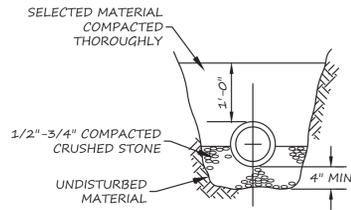
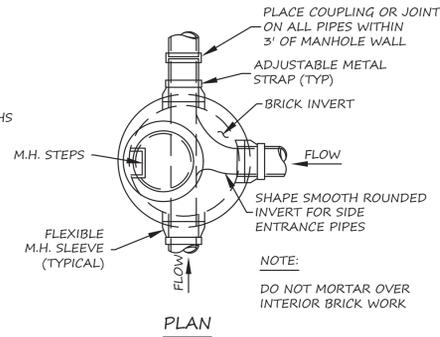


D158-01

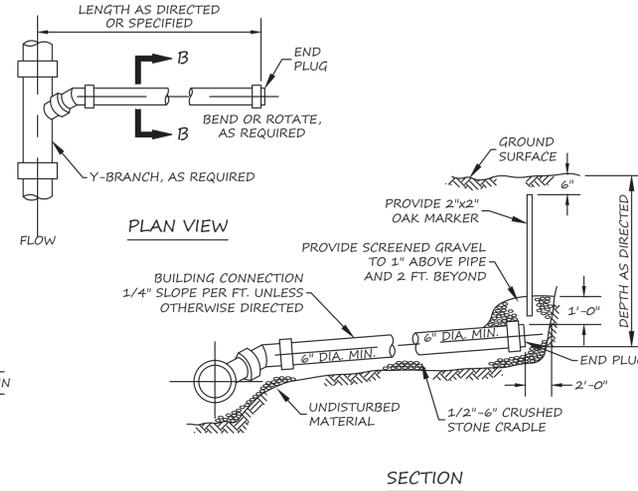


TYPICAL PRECAST SEWER MANHOLE DETAILS

NOT TO SCALE

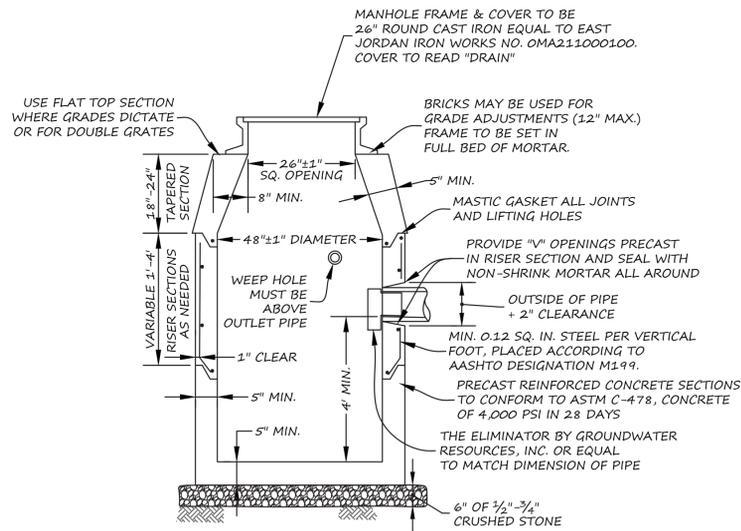


SECTION B-B



TYPICAL BUILDING SEWER SERVICE CONNECTION

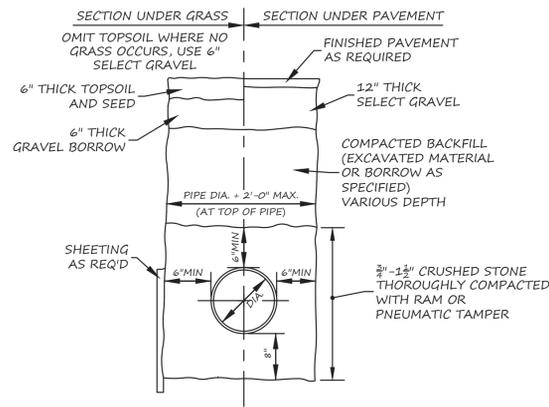
NOT TO SCALE



PRECAST CONCRETE DRAIN MANHOLE

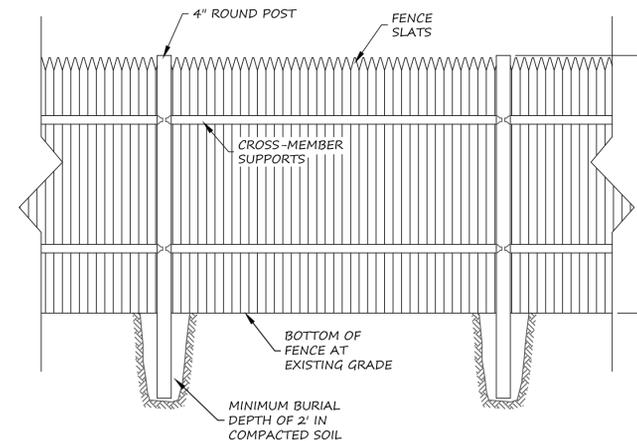
NOT TO SCALE

- NOTES:
1. MANHOLE DIAMETER SHALL BE INCREASED IF NUMBER, SIZE, AND CONFIGURATION OF INLET/OUTLET PIPING NECESSITATES A LARGER MANHOLE DIAMETER.
  2. SUBSTITUTE FRAME AND COVERS SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.



TYPICAL SEWER TRENCH

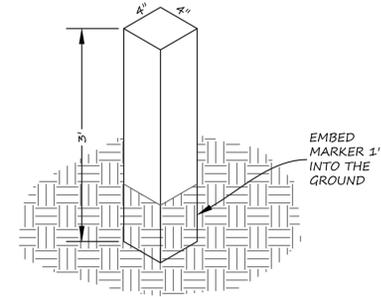
NOT TO SCALE



- NOTES:
1. ALL WOOD COMPONENTS TO BE CEDAR.
  2. FENCE TO BE INSTALLED WITH FINISHED SIDE FACING ABUTTING PROPERTIES.
  3. VINYL STOCKADE MAY BE SUBSTITUTED PROVIDED THAT THE FINISH IS TEXTURED AND SLIGHTLY MATTED SO IT IS NOT EXCESSIVELY GLOSSY.

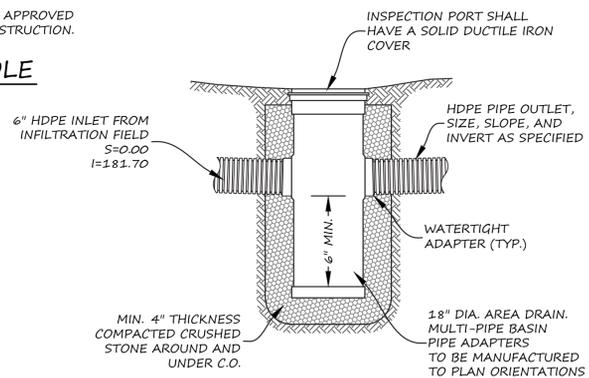
STOCKADE FENCE DETAIL

NOT TO SCALE



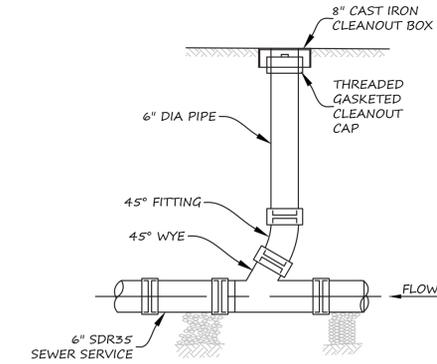
GRANITE WETLAND BUFFER MARKER

NOT TO SCALE



INFILTRATION FIELD OUTLET INSPECTION PORT DETAIL

NOT TO SCALE



TYPICAL SEWER CLEANOUT DETAIL

NOT TO SCALE

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: \_\_\_\_\_

REGISTERED LAND SURVEYOR

FOR REGISTRY USE

OWNER  
#274  
DDRT LLC  
P.O. BOX 95  
TRURO, MA 02666

PORTION OF #276  
KEITH & JUDITH SPINNEY  
276 VILLAGE STREET  
MEDWAY, MA 02053

APPLICANT  
DDRT LLC  
P.O. BOX 95  
TRURO, MA 02666

ZONING DISTRICT  
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL  
59-55

PLAN & DEED REFERENCE  
DEED BOOK 6563 PAGE 42  
DEED BOOK 14198 PAGE 100  
PLAN BOOK 315 NO. 1166 OF 1984

PLAN SCALE: NOT TO SCALE

PLAN DATE: JUNE 25, 2019

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2019-09-04	
REVISIONS PER TOWN COMMENTS	2019-10-07	
REVISIONS PER TOWN COMMENTS	2019-12-27	

WILLIAM WALLACE VILLAGE  
DETAIL  
PLAN OF LAND  
IN  
MEDWAY, MA

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2019.12.27 09:48:53 -05'00'

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

C-12

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