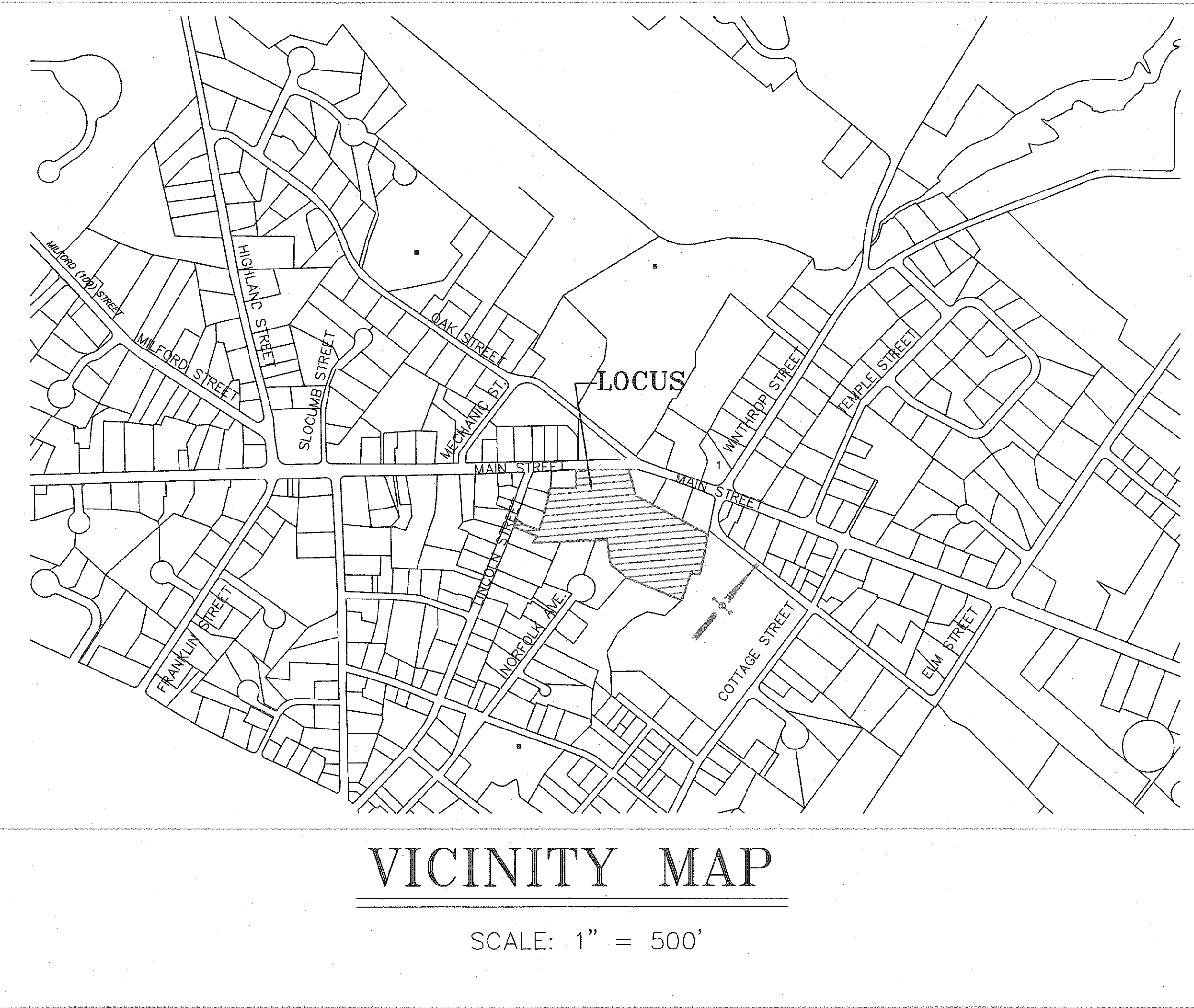


SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

1. THIS SITE IS IN A FLOOD HAZARD ZONE AE AND X500.
2. THIS LAND IS ZONED AR-II.
3. THIS LAND IS LOCATED IN THE MILL CONVERSION OVERLAY DISTRICT, AN ADAPTIVE USE DISTRICT (AUOD), AND A MULTI FAMILY HOUSING OVERLAY DISTRICT (MHOD).
4. LINCOLN STREET IS CONSIDERED A SCENIC ROAD.
5. THIS LAND IS NOT LOCATED WITHIN THE NHESP AREA.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
7. ALL STRIPING AND SIGNAGE TO CONFORM TO "THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES."
8. REFER TO MEDWAY ASSESSORS MAP 48 LOT 92.
9. THIS SITE IS NOT IN A GROUND WATER PROTECTION DISTRICT.
10. ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
11. THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.
12. THE EXISTING CONDITIONS TOPOGRAPHICAL SURVEY AND BOUNDARY SHOWN HEREIN WAS OBTAINED BY REED LAND SURVEYING, INC, 109 RHODE ISLAND ROAD, SUITE 4A, LAKEVILLE, MA 02347. MINOR FIELD SURVEY WAS DONE BY GUERRIERE & HALNON, INC TO UPDATE THE PARKING STRIPING AND OTHER MINOR FEATURES. GUERRIERE & HALNON, INC, WITH ELECTRONIC FILES PROVIDED BY REED LAND SURVEYING, CONVERTED THE DRAWING FROM THE PREVIOUS DATUM TO NAD83/NAVD88.
13. THE WETLANDS WERE DELINEATED BY GODDARD CONSULTING, INC. ON AUGUST 19, 2019



WAIVER REQUEST

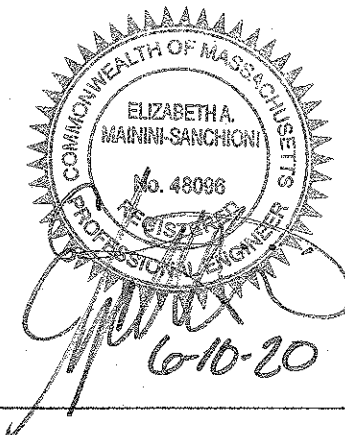
- REQUEST FROM THE TOWN OF MEDWAY PLANNING BOARD
RULES AND REGULATIONS CHAPTER 200
1. SECTION 204-3.F WRITTEN DEVELOPMENT IMPACT STATEMENT
 2. SECTION 204-5.B SITE CONTEXT SHEET
 3. SECTION 204-5.D.8.a PLAN PREPARED BY LANDSCAPE ARCHITECT
 4. SECTION 207-9.A.7 ADA REQUIREMENT FOR SIDEWALKS AND PEDESTRIAN WAYS
 5. SECTION 207-17.D USE OF SHARED COMPACTORS
 6. SECTION 207-12.G.3.B PARKING SPACE LOCATION
 7. SECTION 207-19.B.2 PERIMETER LANDSCAPING
 8. SECTION 207-19.H TREE REPLACEMENT

I, MARYJANE WHITE, CLERK OF THE TOWN OF
MEDWAY, RECEIVED AND RECORDED FROM THE
PLANNING BOARD COVENANT APPROVAL OF
THIS PLAN ON _____ AND NO
APPEAL WAS TAKEN FOR TWENTY DAYS NEXT
AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK DATE

INDEX

1. COVER SHEET
2. ABUTTERS FOR 300FT.
3. EXISTING CONDITIONS
4. GENERAL NOTES
5. PROPOSED LAYOUT
6. LIMIT OF CLEARING/EROSION CONTROL
7. PROPOSED GRADING AND UTILITIES
8. PHOTOMETRIC PLAN
9. LANDSCAPING PLAN
10. REMEDIATION PLAN
- 11-12 CONSTRUCTION DETAILS
- 1 OF 1 OPERATIONS AND MAINTENANCE PLAN



APPROVED DATE: _____
MEDWAY PLANNING BOARD

BEING A MAJORITY
ENDORSEMENT DATE _____

LEGAL NOTES

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OWNER
165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA
DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

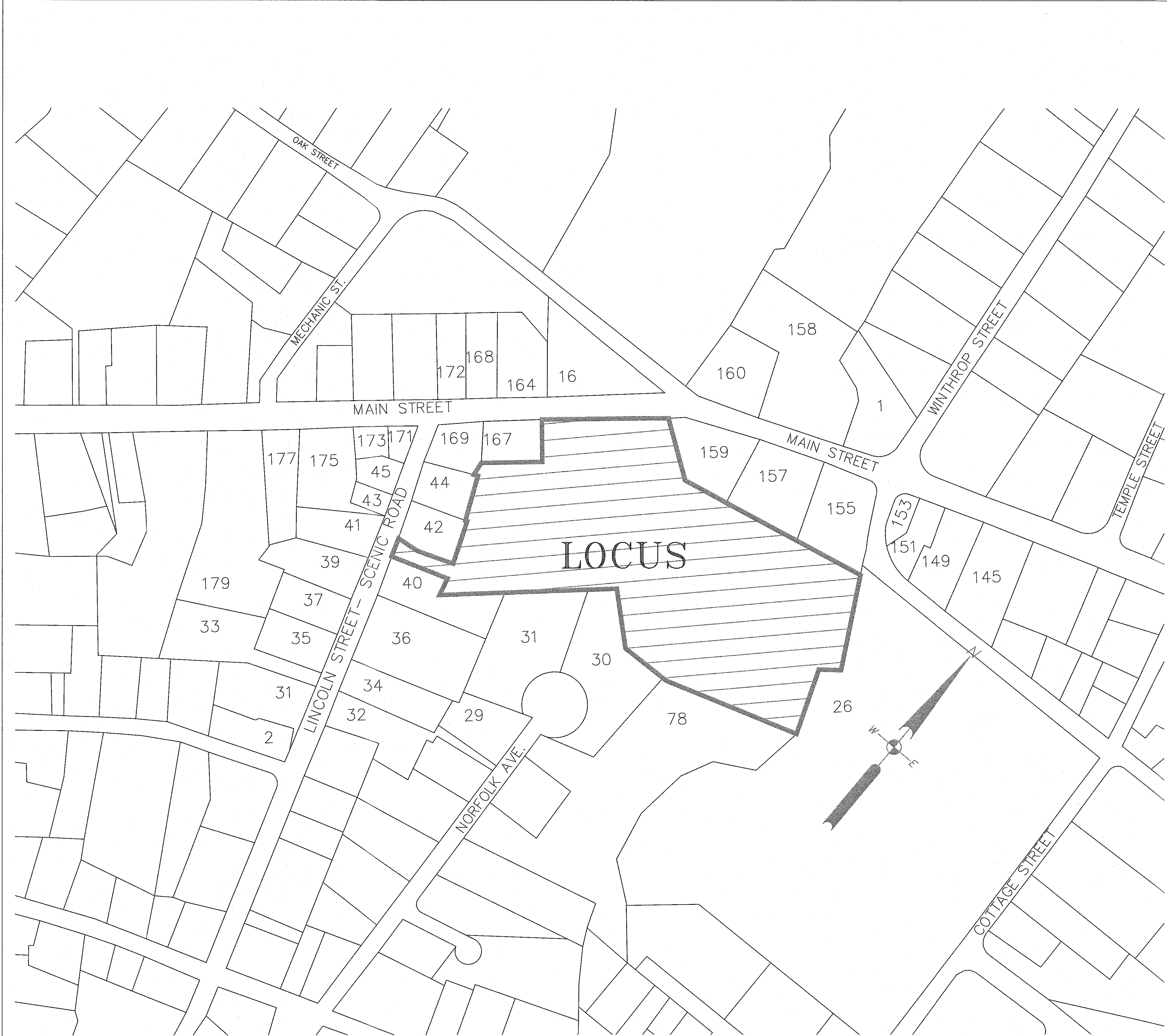
COVER SHEET

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION
5/13/2020	REVISED PER TOWN COMMENTS

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 1 OF 12 JOB NO. F3519



VICINITY MAP

NOT TO SCALE

ABUTTERS

0 COTTAGE ST. EVERGREEN CEMETERY ASSOC. MAP 48 PARCEL 68
1 CHOATE PARK RD. TOWN OF MEDWAY MAP 39 PARCEL 74

32 LINCOLN ST. RICHARD BRIGGS MAP 48 PARCEL 85
34 LINCOLN ST. LAURIE MARCINKIEWICZ MAP 48 PARCEL 89
35 LINCOLN ST. MICHAEL & ELIZABETH HEIDEN MAP 48 PARCEL 109
36 LINCOLN ST. JOHN & STACEY CLOUTIER MAP 48 PARCEL 90
37 LINCOLN ST. STEPHEN & KERI PATTERSON MAP 48 PARCEL 108
39 LINCOLN ST.MICHAEL MARRAFFINO TRUSTEE MAP 48 PARCEL 107
40 LINCOLN ST. JAMES COAKLEY MAP 48 PARCEL 91
41 LINCOLN ST. JENNIFER & HANS MORRISON MAP 48 PARCEL 106
42 LINCOLN ST. CALVIN & KAREN WHITLA MAP 48 PARCEL 93
43 LINCOLN ST. KRISTY HARGREAVES & MICHAEL CAMPAGNA
MAP 48 PARCEL 105
44 LINCOLN ST. CATHERINE SANDOZ MAP 48 PARCEL 94
45 LINCOLN ST. FEDERICO VASQUEZ MAP 48 PARCEL 104

148 MAIN ST. UNIT A TAREK CHEBAKLO MAP 48 PARCEL C-A
148 MAIN ST. UNIT B ARTHUR PRUTSALIS MAP 48 PARCEL 9 C-B
145 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 22
149 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 21
151 MAIN ST. JOHN & CHRISTINE EARLY MAP 48 PARCEL 20
153 MAIN ST JOHN & CHRISTINE EARLY MAP 48 PARCEL 19
155 MAIN ST- DAVID AND TARA WERLICH MAP 48 PARCEL 99
157 MAIN ST- 157 MAIN ST. REALTY TRUST MAP 48 PARCEL 98
158 MAIN ST- WOMACK FAMILY FUNDING MAP 48 PARCEL 2
159 MAIN ST- PAUL & KATHLEEN YORKIS MAP 48 PARCEL 97
160 MAIN ST- SHIRLEY MCDANIEL MAP 48 PARCEL 1
164 MAIN ST. FASLAND LLC MAP 48 PARCEL 114
167 MAIN ST. JOHN & CHARLENE KAIRIT MAP 48 PARCEL 96
168 MAIN ST. RICHARD & KRISTIN FRASER MAP 48 PARCEL 115
169 MAIN ST. I O O F TRUST MAP 48 PARCEL 95

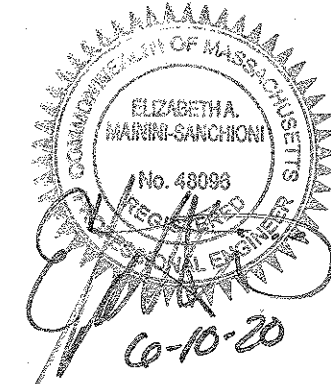
170 MAIN ST. UNIT A ARTHUR COWAN MAP 48 PARCEL 116- CA
170 MAIN ST. UNIT B RICHARD HUFFAM & MARK DENOMMEE
MAP 48 PARCEL 116- CB
171 MAIN ST. JOSE & DAMARYS CAICEDO MAP 48 PARCEL 103
172 MAIN ST. FRANCIS & MARGARET YERED MAP 48 PARCEL 117
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174-A MAIN ST. PAUL CHELMAN & ROSE COTE MAP 47 PARCEL 35-A
174-B MAIN ST. MICHAEL OLIVAL MAP 47 PARCEL 35-B
175 MAIN ST. CHERYL ROSENBERG TRUSTEE 1 MAP 48 PARCEL 101
177 MAIN ST. ERIC & TANYA BOUWMAN MAP 48 PARCEL 100
179 MAIN ST. VLADMIR & SUZANNE ATEYZEK MAP 47 PARCEL 43

14 MECHANIC ST. WILLIAM & BETTYE REARDON MAP 48 PARCEL 112

26 NORFOLK AVE. CHRISTOPHER & KRISTIN BRODEUR MAP 48 PARCEL 80
29 NORFOLK AVE. PETER & BRENDA LEE CHAPIN MAP 48 PARCEL 84
30 NORFOLK AVE. JENNIFER & JOHN DIGIACOMO MAP 48 PARCEL 82
31 NORFOLK AVE. THOMAS & CLAUDETTE BANNON MAP 48 PARCEL 83

0 OAK ST. TOWN OF MEDWAY MAP 39 PARCEL 74-1

1 WINTHROP ST. LINDA S. RUSSO REVOCABLE TRUST MAP 48 PARCEL 3



F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

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165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

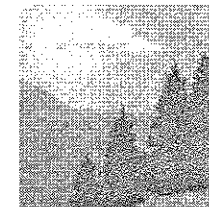
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ABUTTERS FOR 300FT.

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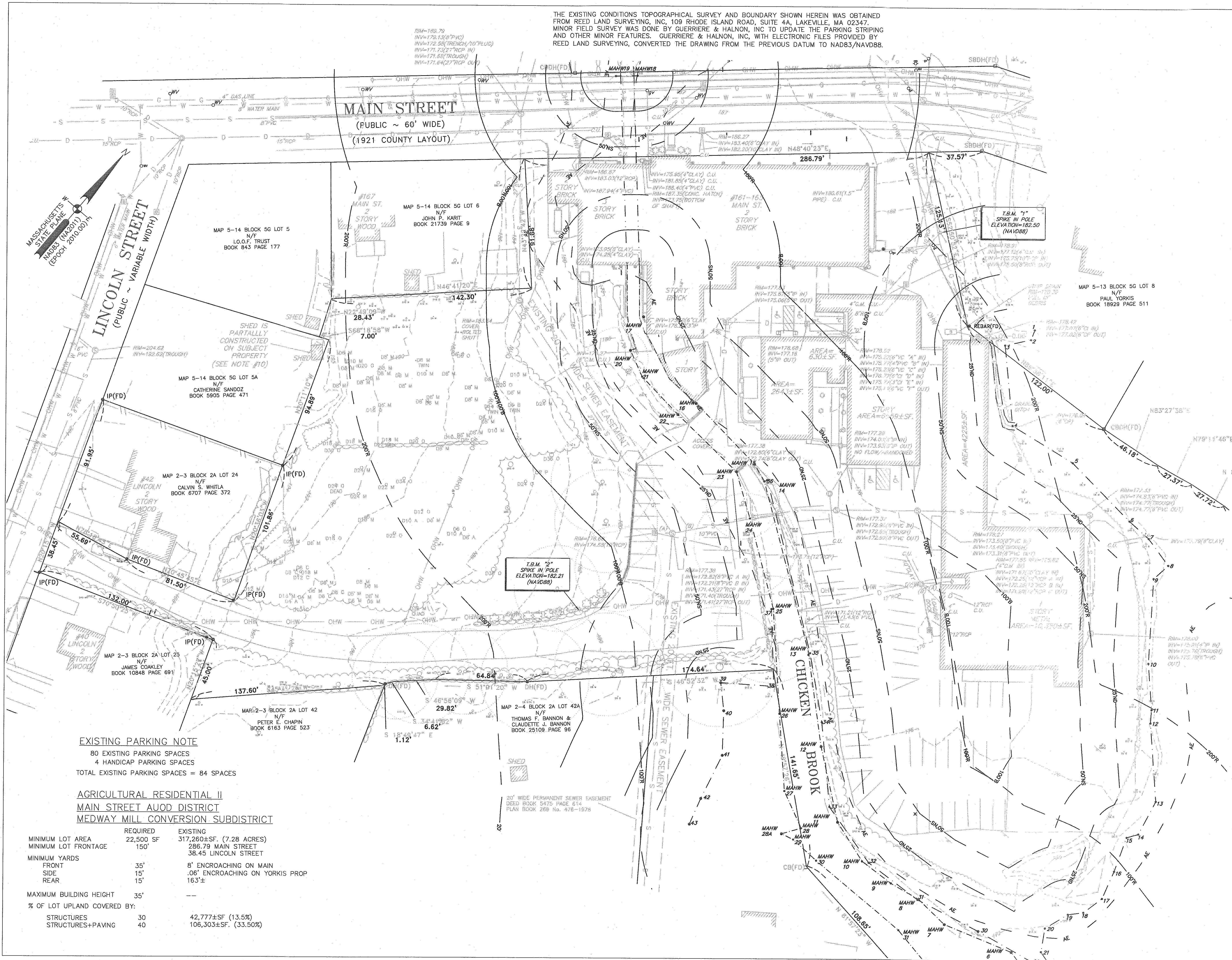
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SHEET
2 OF 12

JOB NO. F3519

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EXISTING PARKING NOTE
80 EXISTING PARKING SPACES
4 HANDICAP PARKING SPACES
TOTAL EXISTING PARKING SPACES = 84 SPACES

**AGRICULTURAL RESIDENTIAL II
MAIN STREET AUOD DISTRICT
MEDWAY MILL CONVERSION SUBDISTRICT**

MINIMUM LOT AREA	REQUIRED 22,500 SF	EXISTING 317,260±SF. (7.28 ACRES)
MINIMUM LOT FRONTAGE	150'	286.79 MAIN STREET 38.45 LINCOLN STREET
MINIMUM YARDS		
FRONT	35'	8' ENCROACHING ON MAIN
SIDE	15'	.06' ENCROACHING ON YORKIS PROP
REAR	15'	163'±
MAXIMUM BUILDING HEIGHT	35'	--
% OF LOT UPLAND COVERED BY:		
STRUCTURES	30	42,777±SF. (13.5%)
STRUCTURES+PAVING	40	106,303±SF. (33.50%)

APPROVED DATE: _____

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE _____

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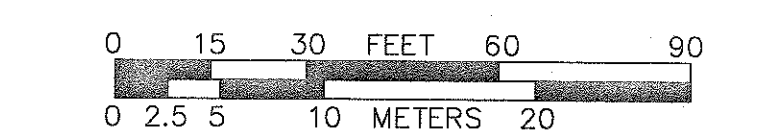
APPLICANT
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

**SITE PLAN
MEDWAY MILL
161-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

EXISTING CONDITIONS

FEBRUARY 14, 2020

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www.gndengineering.com

RIVERFRONT NOTES:

1. PROPERTY WITHIN THE RIVERFRONT AREA= 219,667±SF.
2. 0–100FT. RIVERFRONT DISTURBANCE (LEFT SIDE OF SITE) FOR BRIDGE AND ADDITIONAL PAVEMENT= 2252±SF.
3. 100–200FT RIVERFRONT DISTURBANCE FOR PROPOSED PARKING, SIDEWALK, AND GRADING AREA=16,500±SF.
4. 0–100 FT. RIVER FRONT DISTURBANCE (RIGHT SIDE OF SITE) ADDITIONAL PAVEMENT AREA= 598 ±SF.
5. 100–200 RIVERFRONT DISTURBANCE (RIGHT SIDE OF SITE) = 3939±SF.
6. TOTAL PROPOSED DISTURBANCE =23,289±SF.
7. TOTAL PROPOSED AREA OF REMEDIATION AREA = 10,370 ±SF.
8. FOR A NET INCREASE OF DISTURBANCE = 12,919±SF.

STORM DRAINAGE NOTES

SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:

1. INSTALL SILT SACKS.
2. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL
3. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
4. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
5. CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
6. ALL DRAINAGE PIPES ARE TO BE 12" CLASS V RCP.
7. ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING TYPE (300–11 B.(2)(A)).

EXCESS MATERIALS WILL BE MAINTAINED AND REMOVED OFF SITE DUE TO LIMITED SPACE.

UTILITY NOTE

ALL UTILITIES SHALL BE CONSTRUCTED ACCORDING TO STATE AND LOCAL REGULATIONS.

REMEDATION NOTES:

TOTAL REMEDIATION AREA = 10,370±SF.

TESTING INFORMATION

TESTING DATE: MARCH 25, 2010 SOIL EVALUATOR: DONALD NIELSEN, SE #1744

192.00	TP 1	186.10	TP 2	176.80	TP 3
191.25	LOAM 10YR2/2	185.60	LOAM 10YR3/2	175.80	LOAM 10YR3/2
189.25	SUBSOIL 10YR5/8	184.60	SUBSOIL 10YR5/6	173.80	FILL 10YR5/6
	SAND W/SILT TRACES 3"-6"		SAND W/ 3"-6" COBBLES	173.05	NATURAL LOAM
	COBBLES BONEY ANGULAR ROCK BOT. OF HOLE			171.80	SUBSOIL
184.00	REFUSAL @ 8" NO GW @ 8"	180.35	10Y5/4	170.55	COARSE SAND 3"-6" COBBLES
					RUST & GW @ 60"
181.20	TP 4	176.65	TP 5	176.10	TP 6
180.20	LOAM	176.15	FILL	173.10	SANDY LOAM FILL
178.20	SUBSOIL	175.15	LOAM	170.10	NATURAL LOAM 10YR2/
	SANDY LOAM 3"-6" COBBLES SOME SILT	173.15	GRAVELLY SUBSOIL		MED TO COARSE SAND
173.70	GW @ 88"	172.15	FINE SILTY SAND	169.10	10Y5/6
			GW @ 3'-6"		12"
174.50	TP 7				
174.34	MULCH				
168.84	CLEAN SAND FILL				
166.84	LOAM 10YR5/6				
165.84	COARSE GRAVEL				
	10Y5/3				
	GW @ 60"				

AGRICULTURAL RESIDENTIAL II
MAIN STREET AUOD DISTRICT
MEDWAY MILL CONVERSION SUBDISTRICT

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	22,500 SF	317,260±SF. (7.28 ACRES)	317,260±SF. (7.28 ACRES)
MINIMUM LOT FRONTAGE	150'	286.79 MAIN STREET	286.79 MAIN STREET
MINIMUM YARDS		38.45 LINCOLN STREET	38.45 LINCOLN STREET
FRONT	35'	8' ENCROACHING ON MAIN	8' ENCROACHING ON MAIN
SIDE	15'	.06' ENCROACHING ON YORKIS PROP	.06' ENCROACHING ON YORKIS PROP
REAR	15'	163'±	163'±
MAXIMUM BUILDING HEIGHT	35'	---	---
% OF LOT UPLAND COVERED BY:			
STRUCTURES	30	42,777±SF (13.5%)	42,777±SF (13.5%)
STRUCTURES+PAVING	40	106,303±SF. (33.50%)	DECEMBER 30, 2019 129,969.14 (40.96%)
PARKING	134	83 PARKING SPACES	144 TOTAL PARKING SPACES

EXISTING BUILDING AREAS:

	OFFICE SPACE	RETAIL	STORAGE
MAIN MILL			
FIRST FLOOR	10,790±SF.	4325±SF.	
SECOND FLOOR	8826±SF.	1505±SF.	258±SF.
THIRD FLOOR	1875±SF.		
REAR BUILDING			
FIRST FLOOR	4449±SF.		
TENANT BAY BUILDINGS			
FIRST FLOOR	1075±SF.	4537±SF.	8327±SF.
TOTAL AREAS	27,015±SF.	10,367±SF.	8585±SF.

REQUIRED PARKING FOR EXISTING USES:

PARKING SPACES REQUIRED 90 SPACES 35 SPACES 9 SPACES

TOTAL PARKING REQUIRED= 134 PARKING SPACES

PARKING NOTES

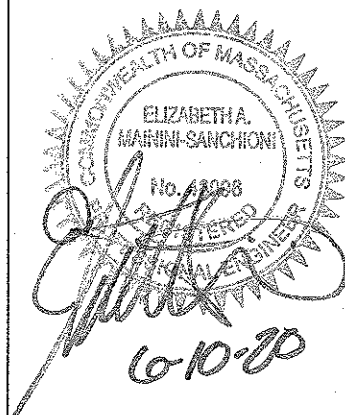
1. EXISTING PARKING SPACES ON SITE = 83 PARKING SPACES.
2. 25 PARKING SPACES PROPOSED TO THE EAST SIDE OF SITE.
3. 41 NEW PARKING SPACES PROPOSED ON THE WEST SIDE OF SITE.
4. 5 PARKING SPACES REMOVED DUE TO THE BRIDGE EXPANSION.
5. A TOTAL OF PARKING SPACES FOR THIS SITE = 144 PARKING SPACES
6. TOTAL PARKING AREA = 16,213 SF. ISLAND AREAS = 368 SF. (2.3%) OF AREA.

LEGEND

☐	CATCH BASIN	☆	PROPOSED LIGHT POLE
⊙	DRAIN MANHOLE	⊙	UTILITY POLE
⊙	ELECTRIC MANHOLE	—	GUY WIRE
⊙	SEWER MANHOLE	—	SIGN
⊙	GAS VALVE	— S —	SEWER LINE
⊙	GAS SHUT OFF VALVE	— D —	DRAIN LINE
⊙	WATERGATE	— W —	WATER LINE
⊙	WATER SHUT OFF VALVE	— G —	GAS LINE
⊙	FIRE HYDRANT	— ETC —	ELEC., TEL, CABLE
VCC	VERTICAL CONC CURB	— OHW —	OVERHEAD WIRES
R/W	RETAINING WALL	— 25' —	25' WETLAND BUFFER
A.F.G.	ABOVE FINISH GRADE	EP	EDGE OF PAVEMENT
⊙	ARBORVITAE	X 000.0	SPOT ELEVATION
⊙	SHRUB	* C.O.	CLEAN OUT
⊙	TREE	⊙	ELECTRIC METER

TEMPORARY RETENTION AREA NOTES:

1. CONSTRUCT TEMPORARY RETENTION AREA TO COLLECT RUNOFF.
2. THE TEMPORARY RETENTION AREA IS TO BE UTILIZED AS A TEMPORARY SEDIMENTATION TRAP DURING CONSTRUCTION.
3. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY RETENTION AREA, WHERE POSSIBLE.
4. CLEAN ALL SEDIMENT OUT OF TEMPORARY RETENTION AREA PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
5. ONCE SITE IS STABILIZED REMOVE ALL REMAINING ACCUMULATED SEDIMENT AT THE BOTTOM OF THE SEDIMENT TRAP.
6. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
7. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY SEDIMENT TRAP, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
8. FOR FURTHER EROSION CONTROL NOTES REFER TO THE FOLLOWING SECTIONS ON THE DETAIL SHEETS:
"INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE"
"GENERAL EROSION CONTROL AND CONSTRUCTION NOTES"



F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

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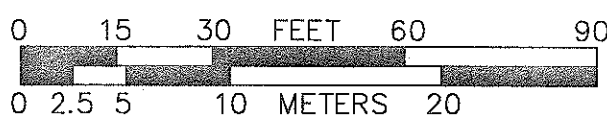
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SITE PLAN
MEDWAY MILL
163–165 MAIN STREET
MEDWAY
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GENERAL NOTES

FEBRUARY 14, 2020

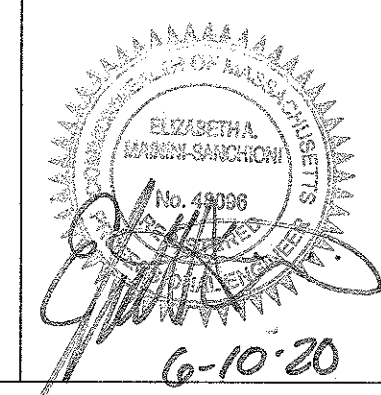
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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

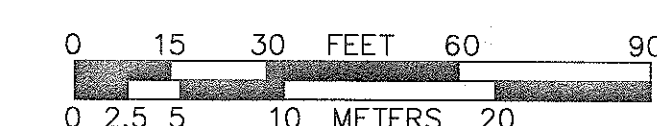
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

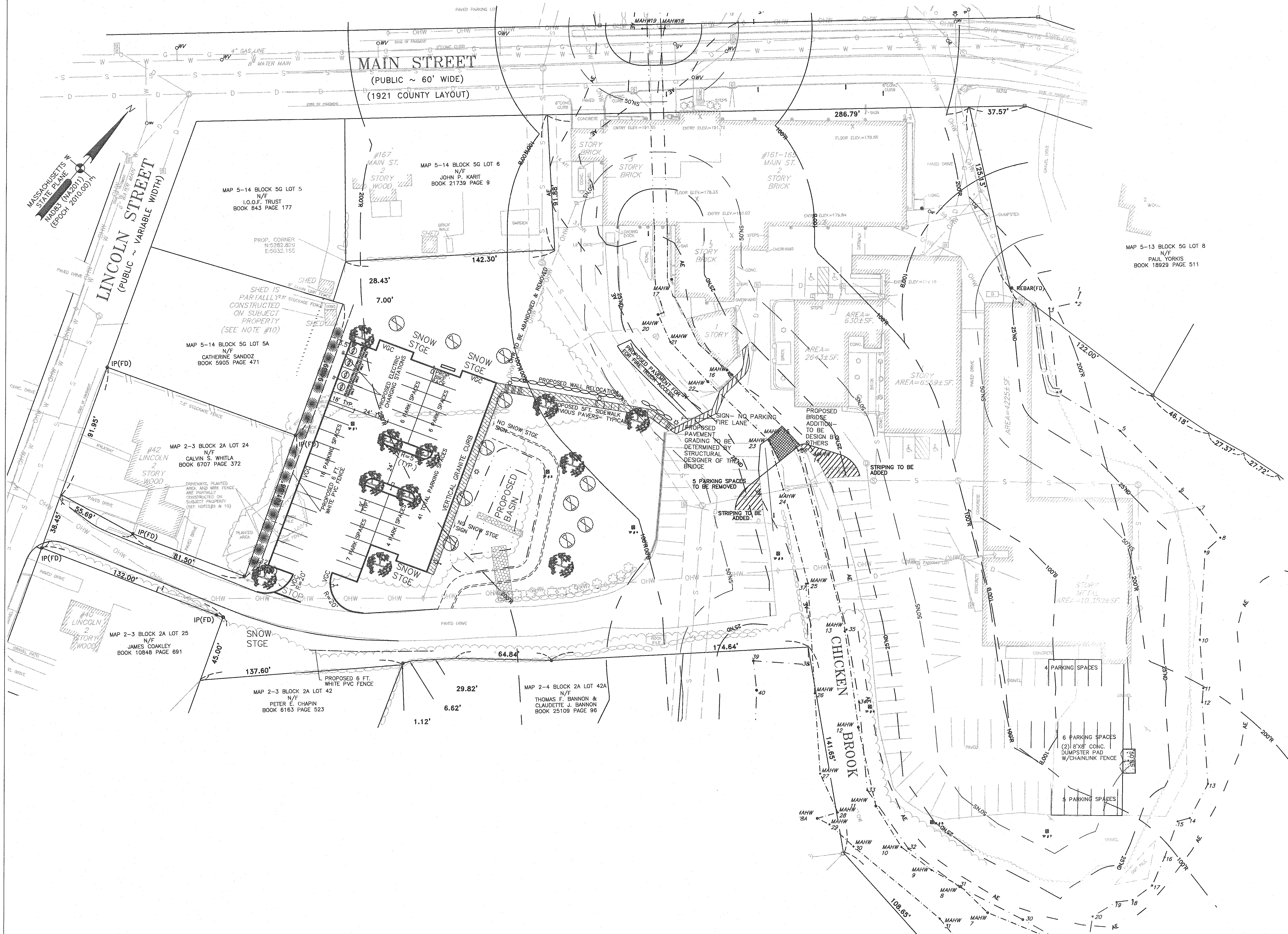
SITE LAYOUT

FEBRUARY 14, 2020

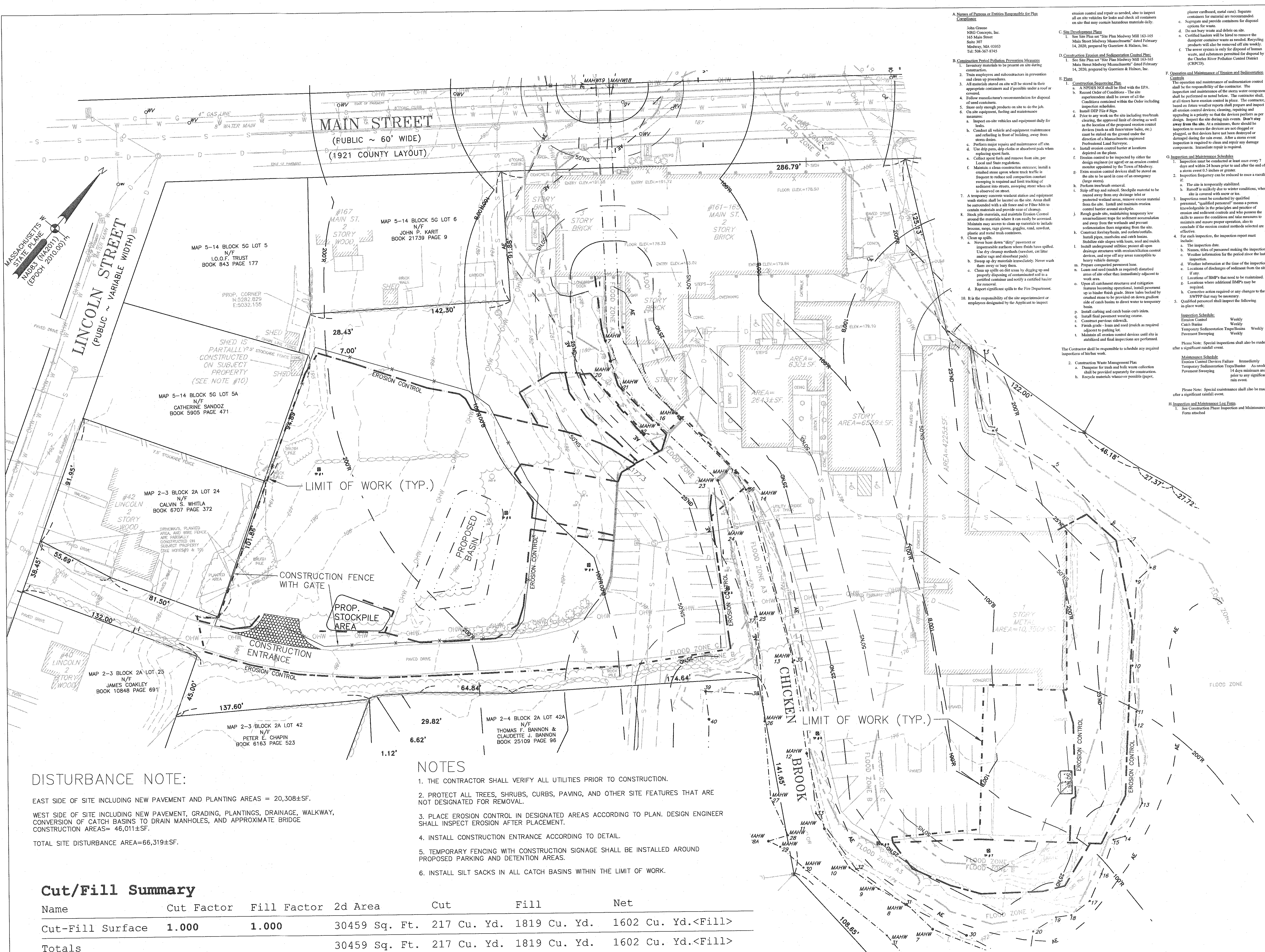
DATE	REVISION DESCRIPTION
5/13/2020	REVISED PER TOWN COMMENTS



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ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
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\\G:\3D\Franklin\F3519\DWG\F3519-SITE.dwg, 5/28/2020 2:50:34 PM, Font Reader PDF Printer



DISTURBANCE NOTE:

EAST SIDE OF SITE INCLUDING NEW PAVEMENT AND PLANTING AREAS = 20,308±SF.
WEST SIDE OF SITE INCLUDING NEW PAVEMENT, GRADING, PLANTINGS, DRAINAGE, WALKWAY, CONVERSION OF CATCH BASINS TO DRAIN MANHOLES, AND APPROXIMATE BRIDGE CONSTRUCTION AREAS= 46,011±SF.
TOTAL SITE DISTURBANCE AREA=66,319±SF.

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Cut-Fill Surface	1.000	1.000	30459 Sq. Ft.	217 Cu. Yd.	1819 Cu. Yd.	1602 Cu. Yd.<Fill>
Totals			30459 Sq. Ft.	217 Cu. Yd.	1819 Cu. Yd.	1602 Cu. Yd.<Fill>

NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PROTECT ALL TREES, SHRUBS, CURBS, PAVING, AND OTHER SITE FEATURES THAT ARE NOT DESIGNATED FOR REMOVAL.
3. PLACE EROSION CONTROL IN DESIGNATED AREAS ACCORDING TO PLAN. DESIGN ENGINEER SHALL INSPECT EROSION AFTER PLACEMENT.
4. INSTALL CONSTRUCTION ENTRANCE ACCORDING TO DETAIL.
5. TEMPORARY FENCING WITH CONSTRUCTION SIGNAGE SHALL BE INSTALLED AROUND PROPOSED PARKING AND DETENTION AREAS.
6. INSTALL SILT SACKS IN ALL CATCH BASINS WITHIN THE LIMIT OF WORK.

A. Names of Persons or Entities Responsible for Plan Compliance
John Greene
NRG Concepts, Inc.
165 Main Street
Suite 307
Medway, MA 02053
Tel: 508-367-4745

- B. Construction Period Pollution Prevention Measures
1. Inventory materials to be present on site during construction.
 2. Train employees and subcontractors in prevention and clean up procedures.
 3. All materials stored on site will be stored in their appropriate containers and if possible under a roof or covered.
 4. Follow manufacturer's recommendation for disposal of used containers.
 5. Store only enough products on site to do the job.
 6. On site equipment, fueling and maintenance measures:
 - a. Impact on-site vehicles and equipment daily for leaks.
 - b. Conduct all vehicle and equipment maintenance and refueling in front of building, away from storm drains.
 - c. Perform major repairs and maintenance off site.
 - d. Use drip pans, drip cloths or absorbent pads when refueling spent fuels.
 - e. Collect spent fuels and remove from site, per Local and State regulations.
 - f. Maintain a clean construction entrance; install a crushed stone upon where truck traffic is frequent to reduce soil compaction contact; sweeping is required and limit tracking of sediment into street, sweeping street when silt is observed on street.
 - g. A temporary concrete washout station and equipment wash station shall be located on the site. Areas shall be surrounded with a silt fence and if Filter Mitt to contain materials and provide ease of cleanup.
 - h. Stock pile materials, and maintain Erosion Control around the materials where it can easily be accessed. Maintain easy access to clean up materials to include brooms, rags, rags, gloves, goggles, steel, sawdust, plastic and metal trash containers.
 - i. Clean up spills.
 - a. Never hose down "dry" pavement or impermeable surfaces where fluids have spilled.
 - b. Use dry cleanup methods (sweeping, cat litter, sand, and absorbent pads).
 - c. Sweep up dry materials immediately. Never wash them away or bury them.
 - d. Clean up spills on dirt areas by digging up and properly disposing of contaminated soil in a certified container and notify a certified hauler for removal.
 - e. Report significant spills to the Fire Department.
 10. It is the responsibility of the site superintendent or employee designated by the Applicant to inspect

erosion control and repair as needed, also to inspect all on site vehicles for leaks and check all containers on site that may contain hazardous materials daily.

- C. Site Development Plan
1. See Site Plan set "Site Plan Medway Mill 163-165 Main Street Medway Massachusetts" dated February 14, 2020, prepared by Guerriere & Halon, Inc.

- D. Construction Erosion and Sedimentation Control Plan
1. See Site Plan set "Site Plan Medway Mill 163-165 Main Street Medway Massachusetts" dated February 14, 2020, prepared by Guerriere & Halon, Inc.
- E. Plans
1. Construction Sequencing Plan
 - a. A NITRUS 200 shall be filed with the EPA.
 - b. Record Order of Conditions - The site superintendent shall be aware of all the Conditions contained within the Order including inspection schedule.
 - c. Install DTP File # 419.
 - d. Prior to any work on the site including treebrush clearing, the approved limit of clearing as well as the location of the proposed erosion control devices (such as silt fence, straw bales, etc.) must be staked on the ground under the direction of a Massachusetts registered Professional Land Surveyor.
 - e. Install erosion control barrier at locations depicted on the plans.
 - f. Erosion control to be inspected by either the design engineer or agent or an erosion control member appointed by the Town of Medway.
 - g. Extra erosion control devices shall be stored on the site to be used in case of an emergency (large storm).
 - h. Perform treebrush removal.
 - i. Strip off top soil and subsoil. Stockpile material to be reused away from any drainage inlet or potential runoff areas, remove excess material from the site. Install and maintain erosion control barrier around stockpile.
 - j. Rough grade site, maintaining temporary low areas around the materials where it can easily be accessed and away from the wetlands and prevent sedimentation from migrating from the site.
 - k. Construct temporary basins, and catch basins. Install pipes, manholes and catch basins. Stabilize site slopes with loam, seed and mulch.
 - l. Install underground utilities; protect all open drainage structures with erosion/sedimentation control devices, and slope off any areas susceptible to heavy vehicle damage.
 - m. Prepare compacted pavement base.
 - n. Loam and seed (mulch) as required adjacent to work area.
 - o. Upon all catchment structures and stabilization basins becoming operational, install pavement up to binder finish grade. Straw bales backed by crushed stone to be provided on down gradient side of each basin to direct water to temporary basin.
 - p. Install curbing and catch basin curb inlets.
 - q. Install final pavement wearing course.
 - r. Construct previous sidewalk.
 - s. Finish grade - loam and seed (mulch as required) adjacent to parking lot.
 - t. Maintain all erosion control devices until site is stabilized and final inspections are performed.

The Contractor shall be responsible to schedule any required inspections of this work.

2. Construction Waste Management Plan
- a. Dumpster for trash and bulk waste collection shall be provided separately for construction.
 - b. Recycle materials whenever possible (paper,

plaster cardboard, metal cans). Separate containers for materials are recommended.

- c. Segregate and provide containers for disposal of any waste.
- d. Do not bury waste and debris on site.
- e. Certified haulers will be hired to remove the dumpster container waste as needed. Recycling products will also be removed off site weekly.
- f. The sewer system is only for disposal of human waste, and substances permitted for disposal by the Charles River Pollution Control District (CRPCD).

F. Operation and Maintenance of Erosion and Sedimentation Control

The operation and maintenance of sedimentation control shall be the responsibility of the contractor. The inspection and maintenance of the storm water component shall be performed as noted below. The contractor shall, at all times have erosion control in place. The contractor, based on future weather reports shall prepare and inspect all erosion control devices, cleaning, repairing and upgrading as a priority so that the device perform as per design. Inspect the site during rain events. Don't stay away from the site. At a minimum, there should be inspection to ensure the devices are not clogged or plugged, or that devices have not been destroyed or damaged during the rain event. After a storm event inspection is required to clean and repair any damage components. Immediate repair is required.

- G. Inspection and Maintenance Schedule
1. Inspection must be conducted at least once every 7 days and within 24 hours prior to and after the end of a storm event 0.5 inches or greater.
 2. Inspection frequency can be reduced to once a month if:
 - a. The site is temporarily stabilized.
 - b. Site is covered with snow or ice.
 3. Inspection must be conducted by qualified personnel. "Qualified personnel" means a person knowledgeable in the principles and practice of erosion and sediment controls and who possesses the skills to assess the conditions and take measures to maintain and ensure proper operation, also to conclude if the erosion control methods selected are effective.
 4. For each inspection, the inspection report must include:
 - a. The inspection date.
 - b. Name, title of personnel making the inspection.
 - c. Weather information for the period since the last inspection.
 - d. Weather information at the time of the inspection.
 - e. Locations of discharges of sediment from the site.
 - f. Locations of BMP's that need to be maintained.
 - g. Locations where additional BMP's may be required.
 - h. Corrective action required or any changes to the SWPPP plan may be necessary.
 - i. Qualified personnel shall inspect the following in place work:
 - a. Erosion Control
 - b. Catch Basins
 - c. Temporary Sedimentation Traps/Basins
 - d. Pavement Sweeping

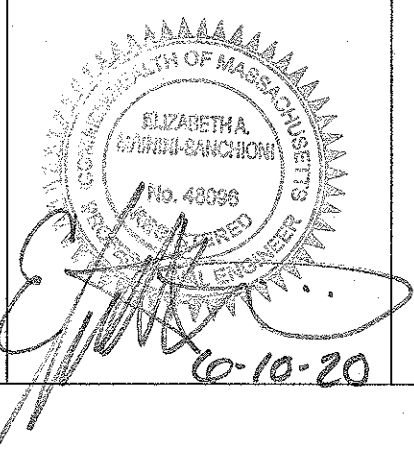
Please Note: Special inspections shall also be made after a significant rainfall event.

Please Note: Special maintenance shall also be made after a significant rainfall event.

H. Inspection and Maintenance Log Form

1. See Construction Phase Inspection and Maintenance Form attached

APPROVED DATE:	
MEDWAY PLANNING BOARD	
BEING A MAJORITY	
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OWNER	
165 MAIN STREET REALTY TRUST JOHN J. GREENE TRUSTEE 165 MAIN STREET SUITE 307 MEDWAY, MA	
DEED BOOK 24499 PAGE 10 A.M. 48 LOT 092	
APPLICANT	
NRG CONCEPTS, INC. 165 MAIN STREET SUITE 307 MEDWAY, MA 02053	
SITE PLAN MEDWAY MILL 163-165 MAIN STREET MEDWAY MASSACHUSETTS	
EROSION CONTROL LIMIT OF CLEARING FEBRUARY 14, 2020	
DATE	REVISION DESCRIPTION
5/13/2020	REVISED PER TOWN COMMENTS
0 15 30 FEET 60 90 0 2.5 5 10 METERS 20	
55 WEST CENTRAL ST. PH. (508) 528-3221 FRANKLIN, MA 02038 FX. (508) 528-7921 www.gondhengineering.com	
SHEET	JOB NO. F3519
6 OF 12	



APPROVED DATE: _____
MEDWAY PLANNING BOARD

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ENDORSEMENT DATE _____

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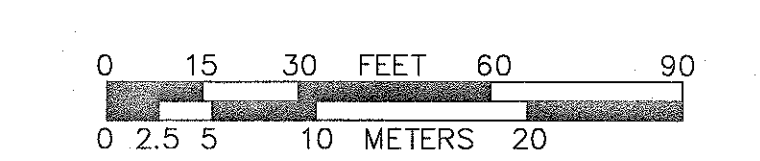
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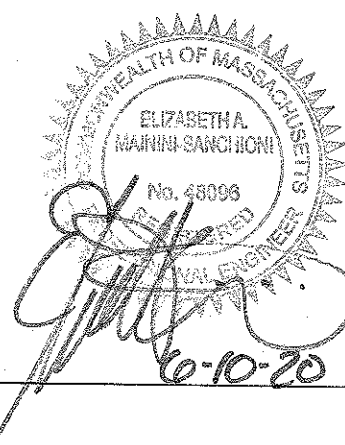
GRADING AND DRAINAGE

FEBRUARY 14, 2020

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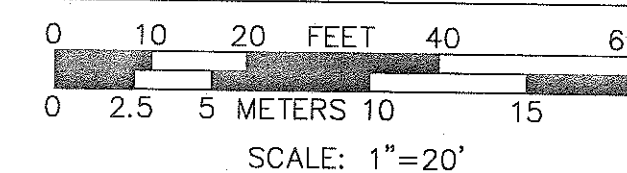
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PHOTOMETRICS

FEBRUARY 14, 2020

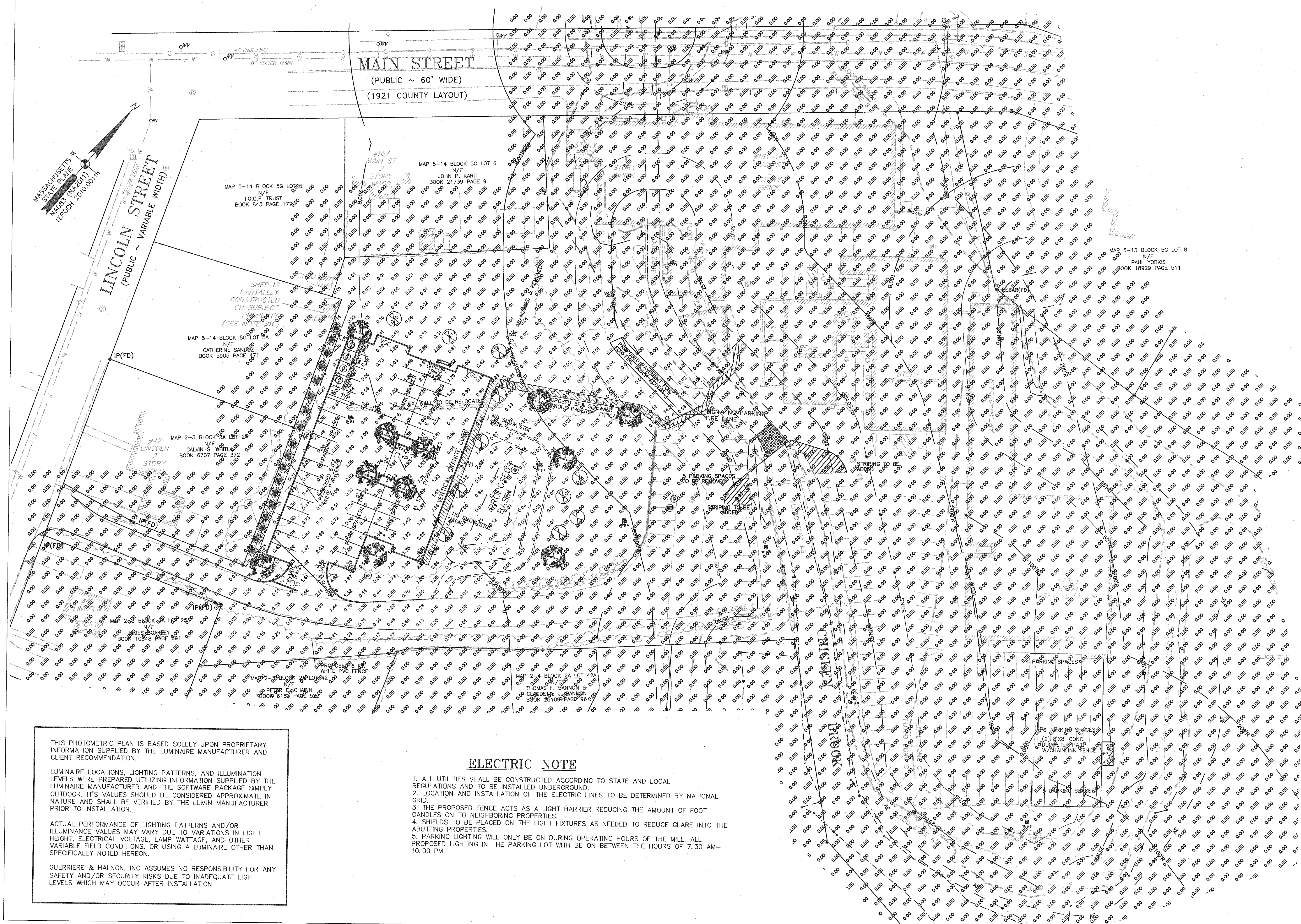
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SHEET 8 OF 12

JOB NO. F3519



THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

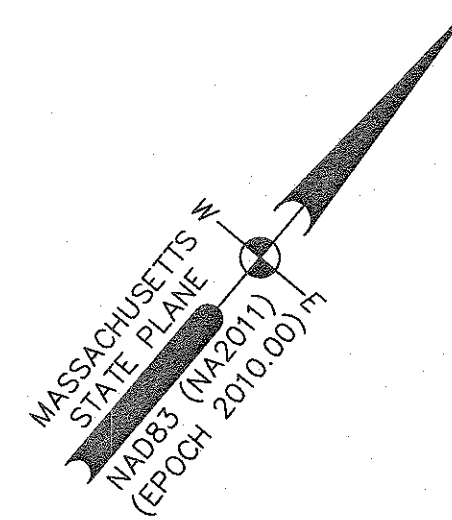
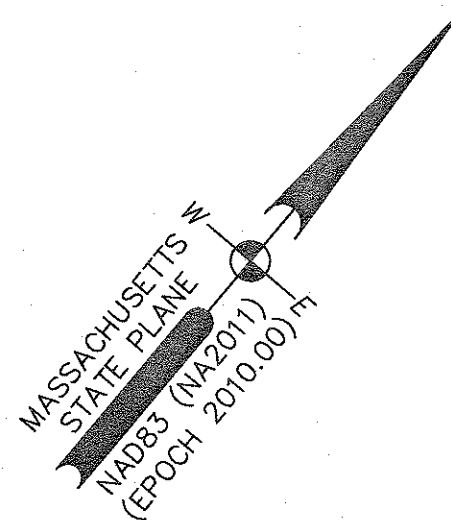
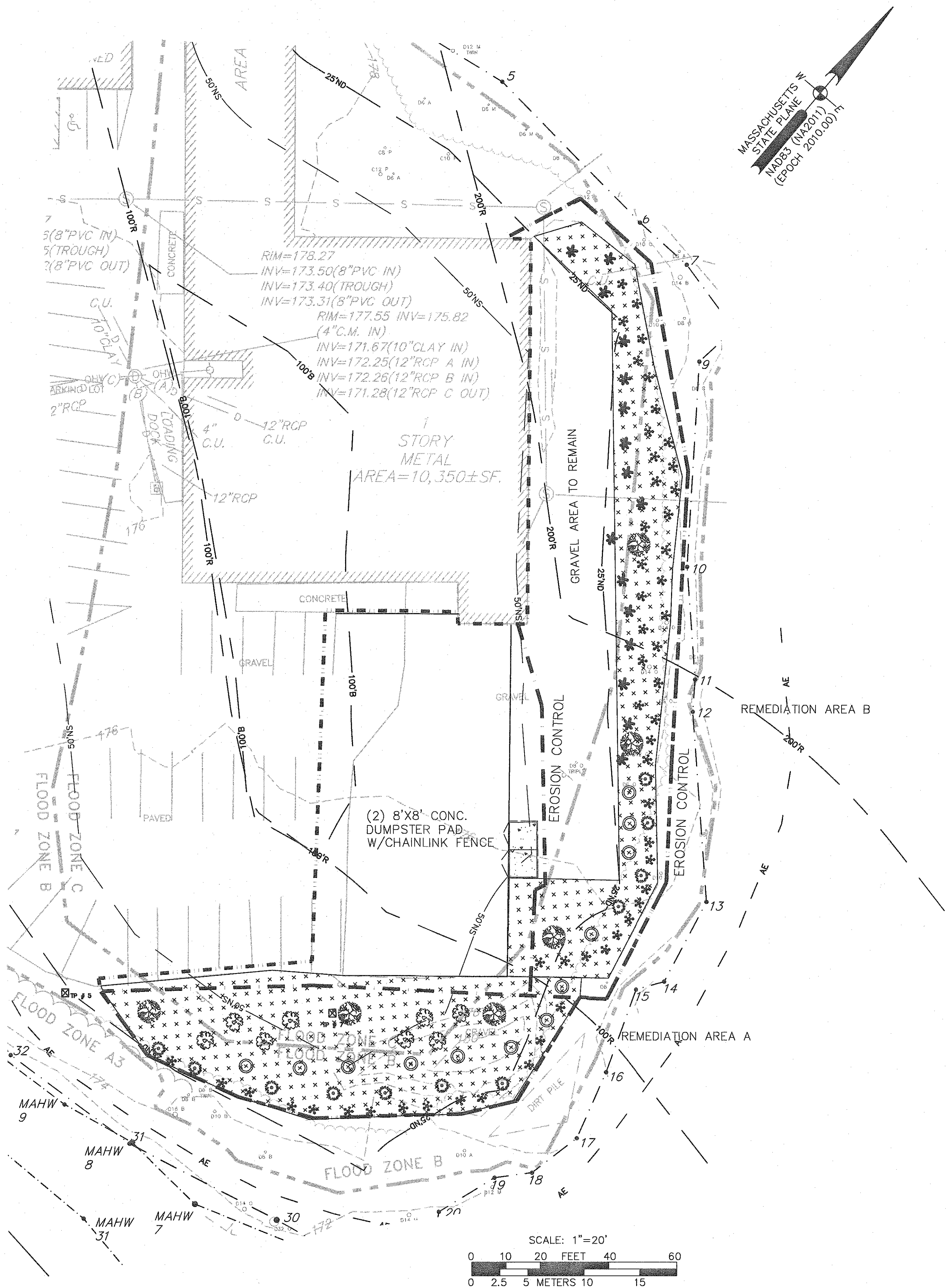
LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SIMPLY OUTDOOR. IT'S VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINANCE VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

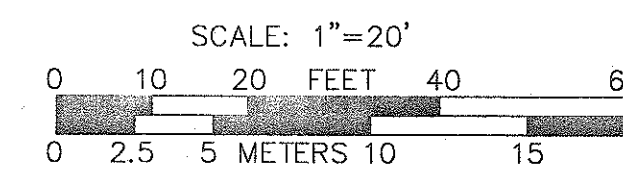
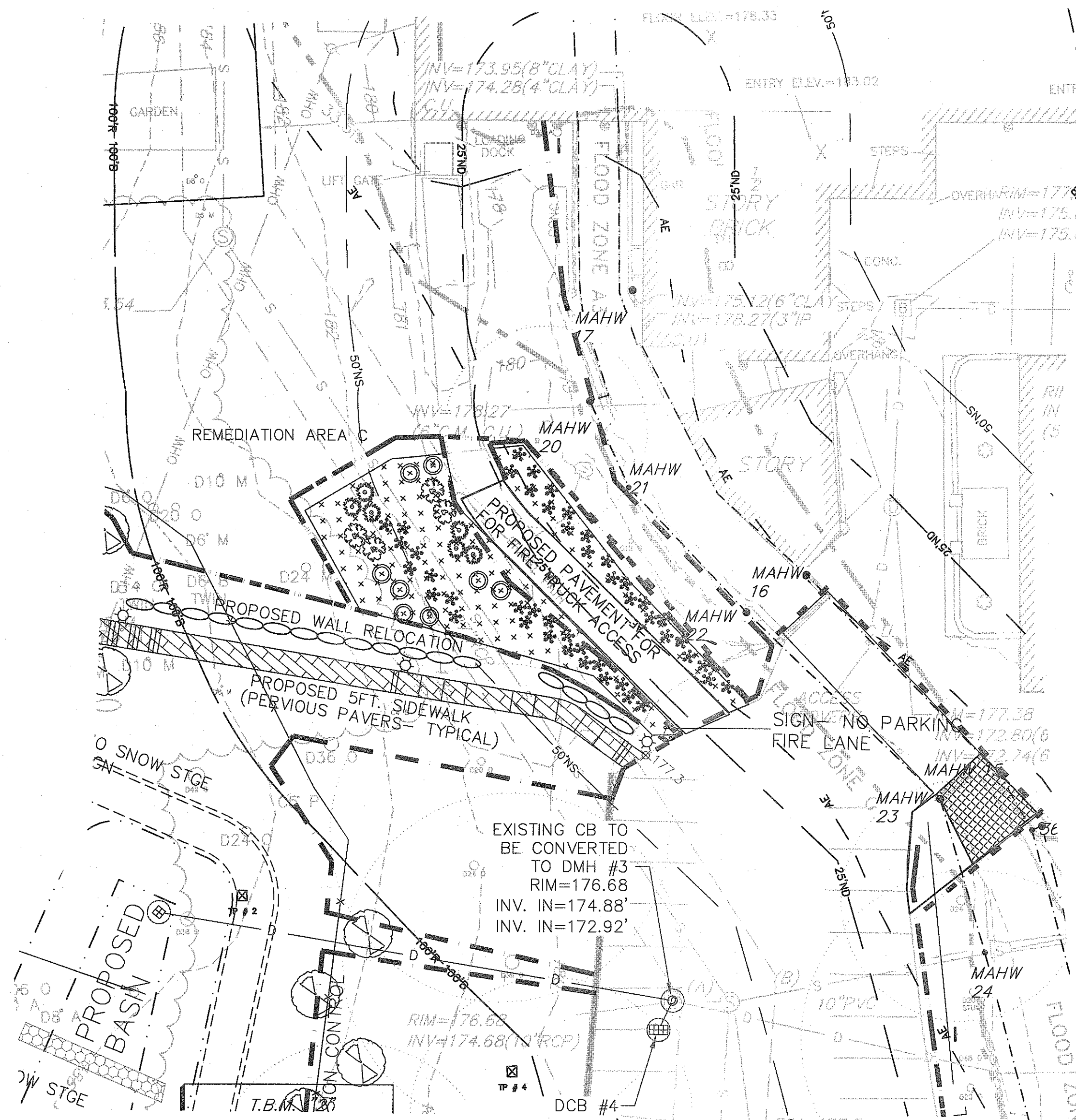
GUERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.

ELECTRIC NOTE

1. ALL UTILITIES SHALL BE CONSTRUCTED ACCORDING TO STATE AND LOCAL REGULATIONS AND TO BE INSTALLED UNDERGROUND.
2. LOCATION AND INSTALLATION OF THE ELECTRIC LINES TO BE DETERMINED BY NATIONAL GRID.
3. THE PROPOSED FENCE ACTS AS A LIGHT BARRIER REDUCING THE AMOUNT OF FOOT CANDLES ON TO NEIGHBORING PROPERTIES.
4. SHIELDS TO BE PLACED ON THE LIGHT FIXTURES AS NEEDED TO REDUCE GLARE INTO THE ADJUTING PROPERTIES.
5. PARKING LIGHTING WILL ONLY BE ON DURING OPERATING HOURS OF THE MILL. ALL PROPOSED LIGHTING IN THE PARKING LOT WITH BE ON BETWEEN THE HOURS OF 7:30 AM-10:00 PM.



REPLICATION LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	RIVER BIRCH BETULA NIGRA	4" MIN. 2.5" CAL.	6
	MOUNTAIN PEPPERBUSH CLETHRA ACUMINATA	3 GAL.	17
	HIGH BUSH BLUEBERRY VACCINIUM CORYMBOSUM	5 GAL.	12
	WINTERBERRY ILEX VERTICILLATA	3 GAL.	20
	JUNIPER PLUMROSA COMPACTA	3 GAL.	16
	CINNAMON FERN OSMUNDA CINNAMOMEA	2 GAL.	99



REMEDIAION NOTES:

REMEDIAION AREA A = 4,569±SF.

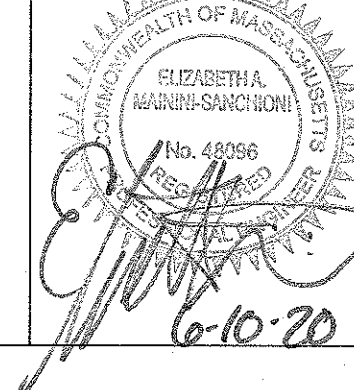
REMEDIAION AREA B = 3,855±SF.

REMEDIAION AREA C = 1946±SF.

TOTAL REMEDIAION AREA = 10,370±SF.

ALL REMEDIAION AREAS:
REMOVE HARD PACKED GRAVEL, REPLACE WITH
BLEND LOOSELY PLACED OF SAND (40%),
COMPOST (30-40%), LOAM (20-30%)

SEED WITH NEW ENGLAND CONSERVATION MIX



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REMEDIAION

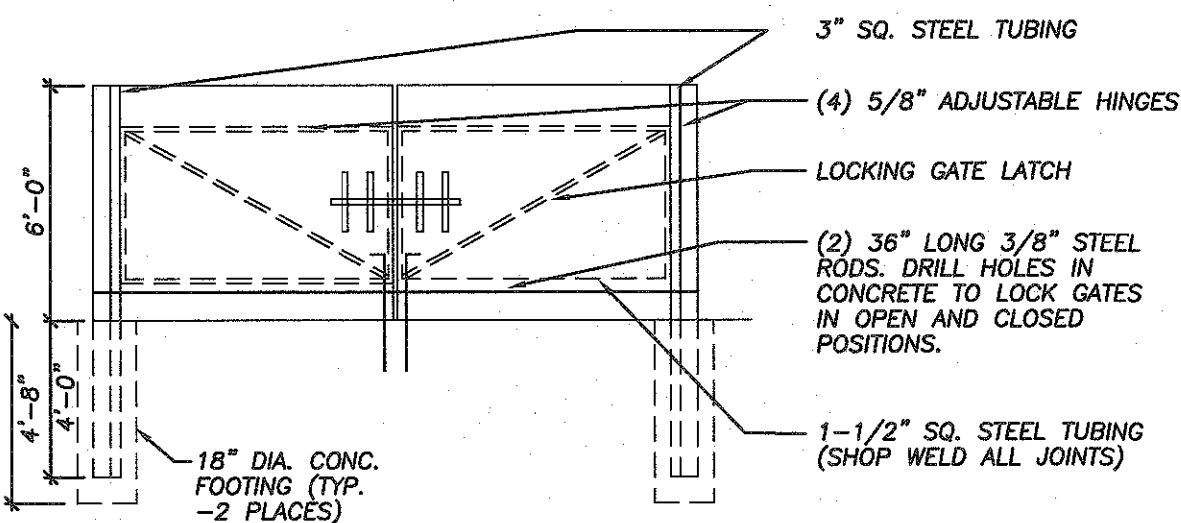
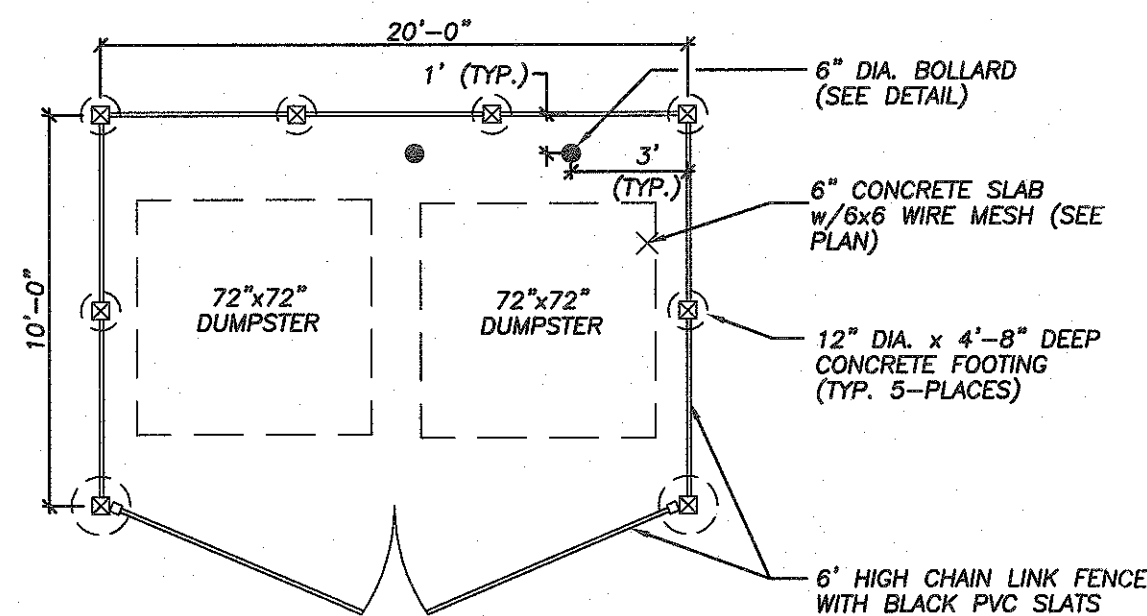
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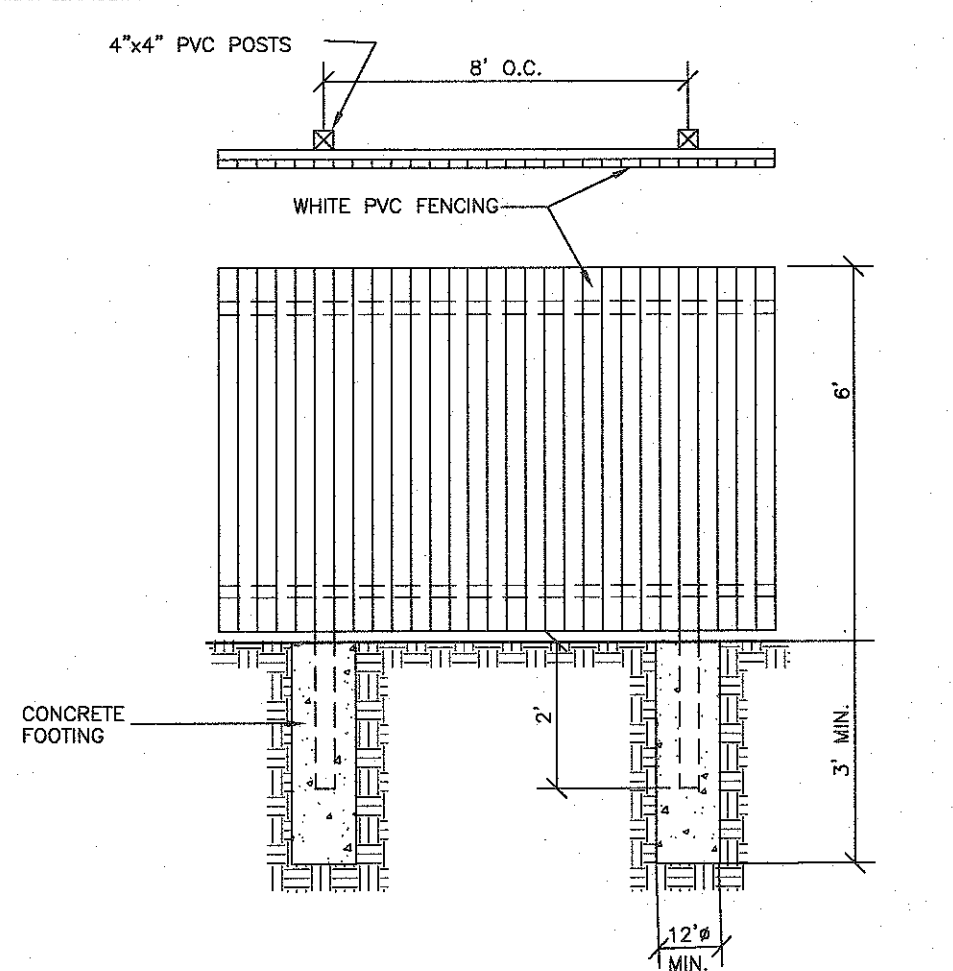
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10 OF 12

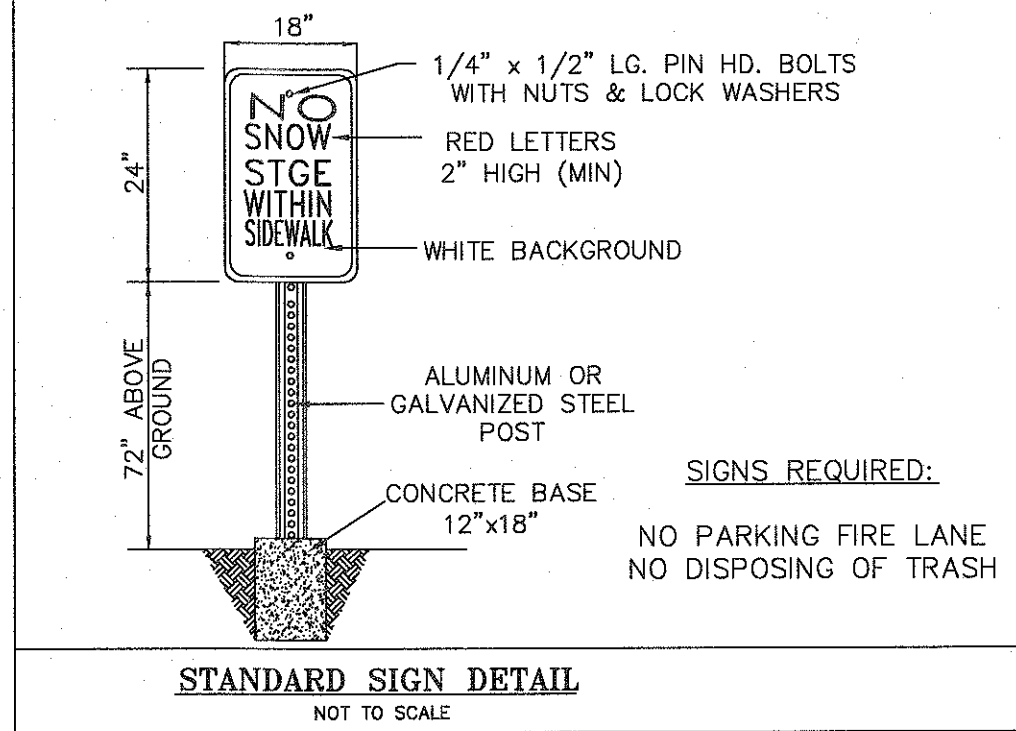
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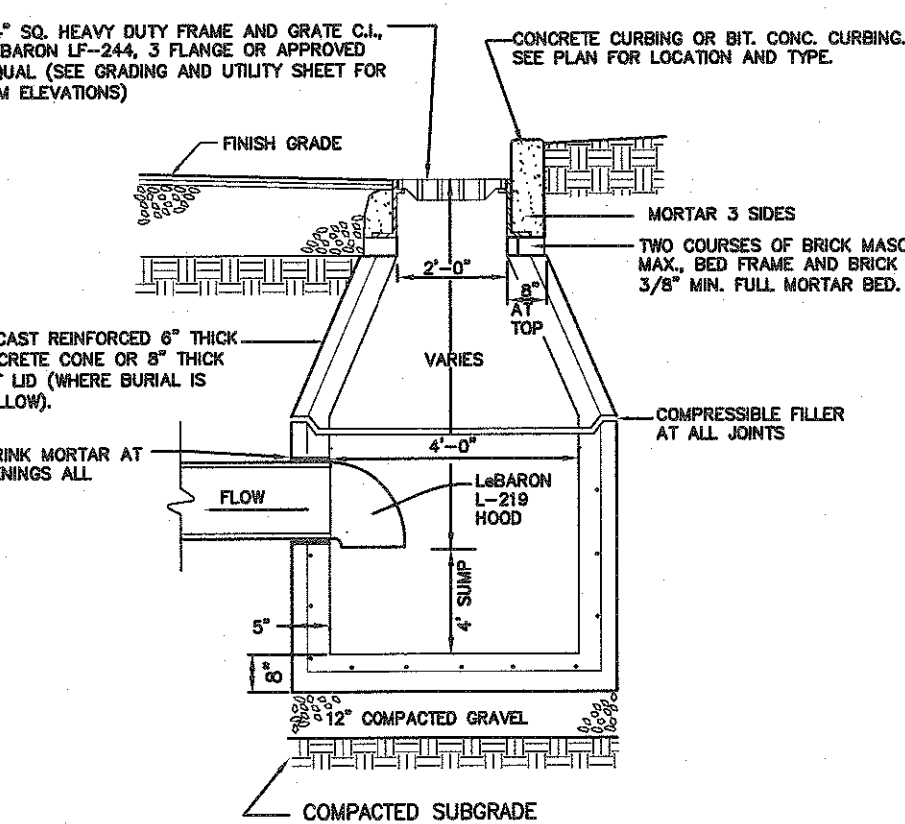
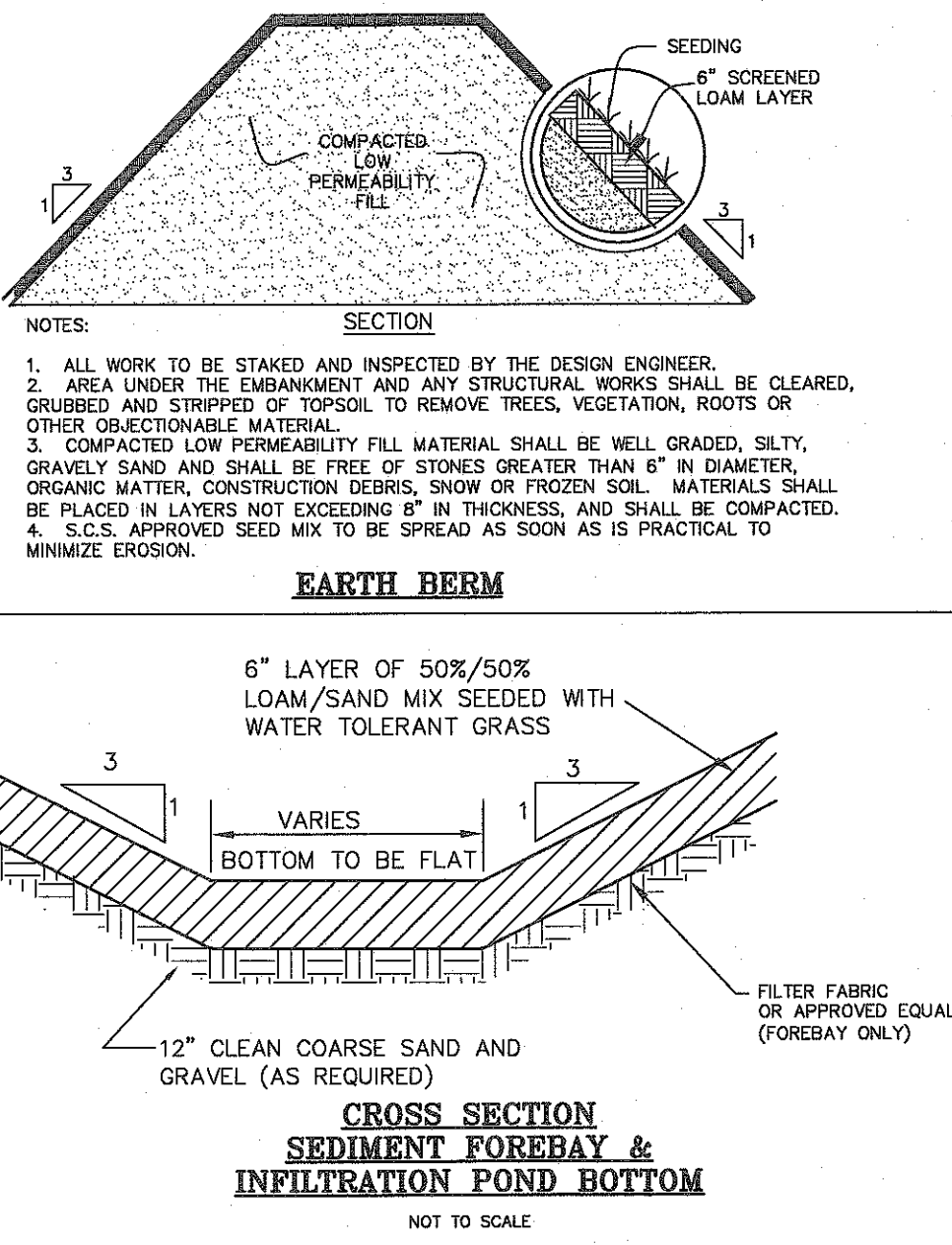
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NOT TO SCALE



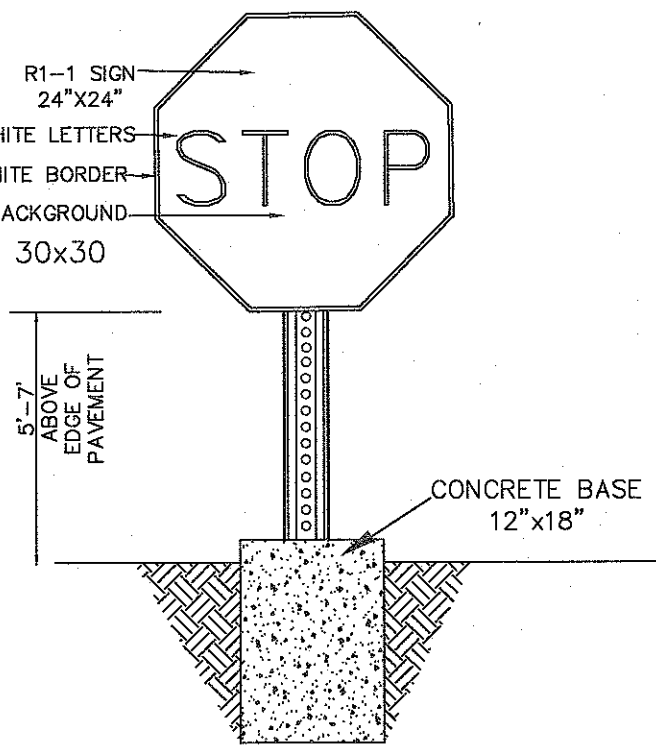
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N.T.S.



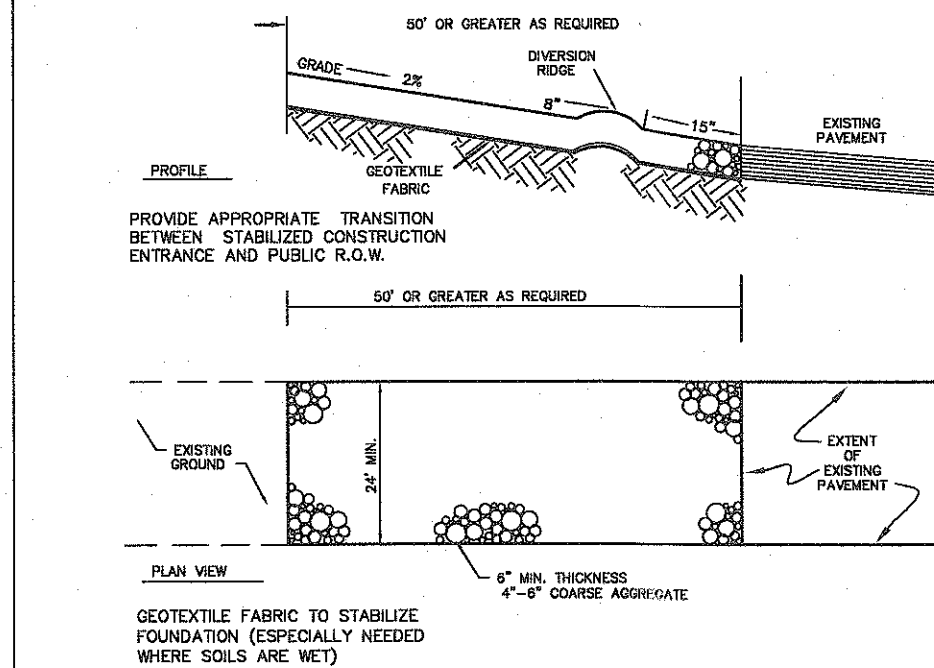
STANDARD SIGN DETAIL
NOT TO SCALE



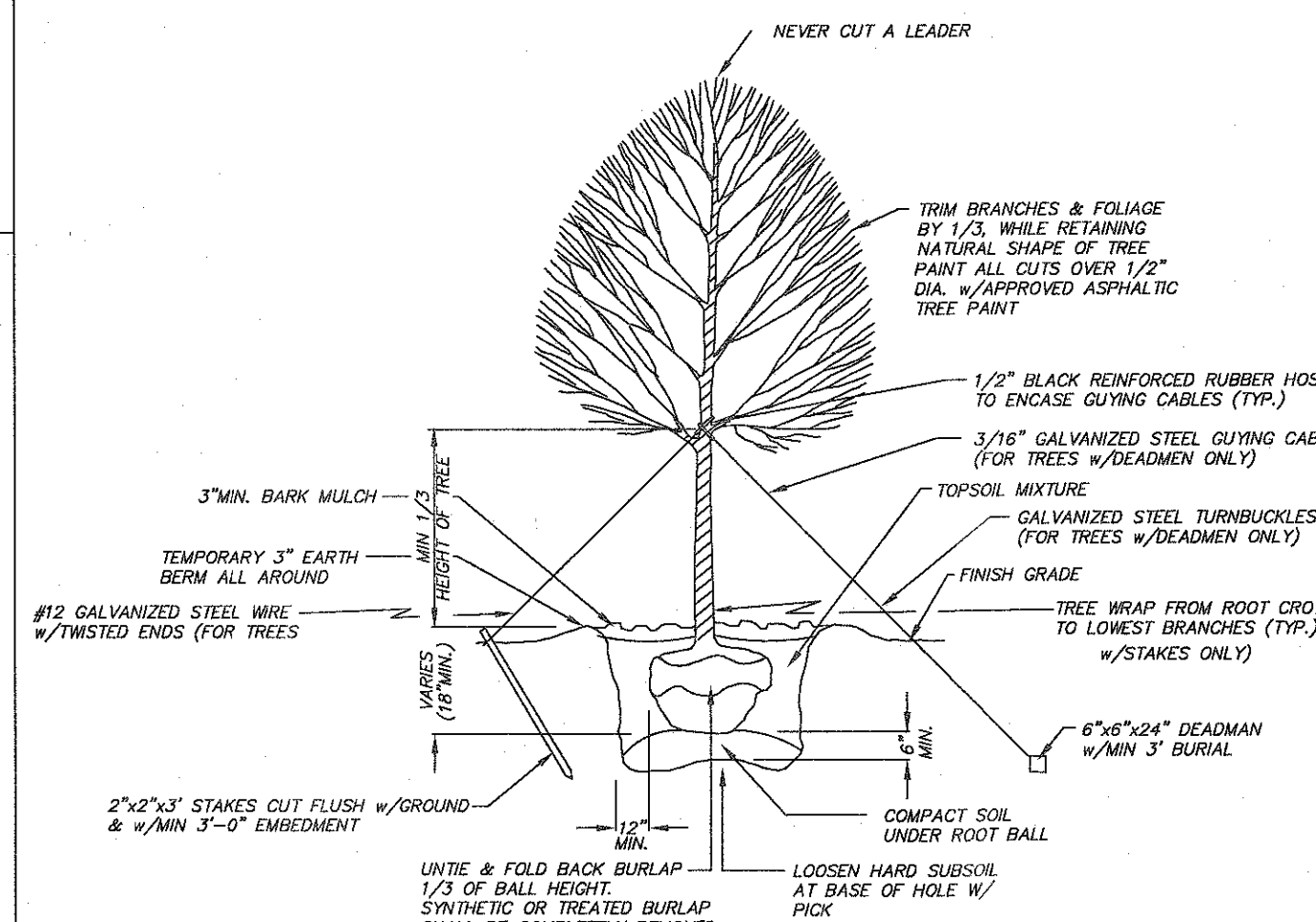
TYP. PRECAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE



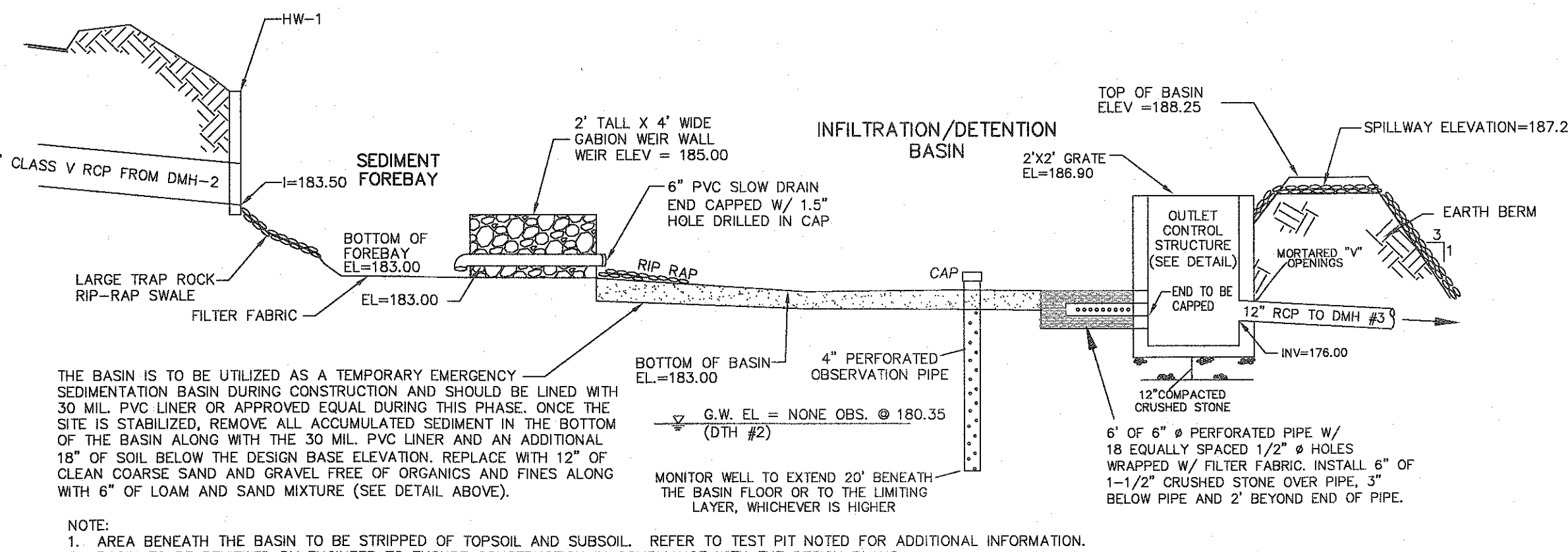
STOP SIGN DETAIL



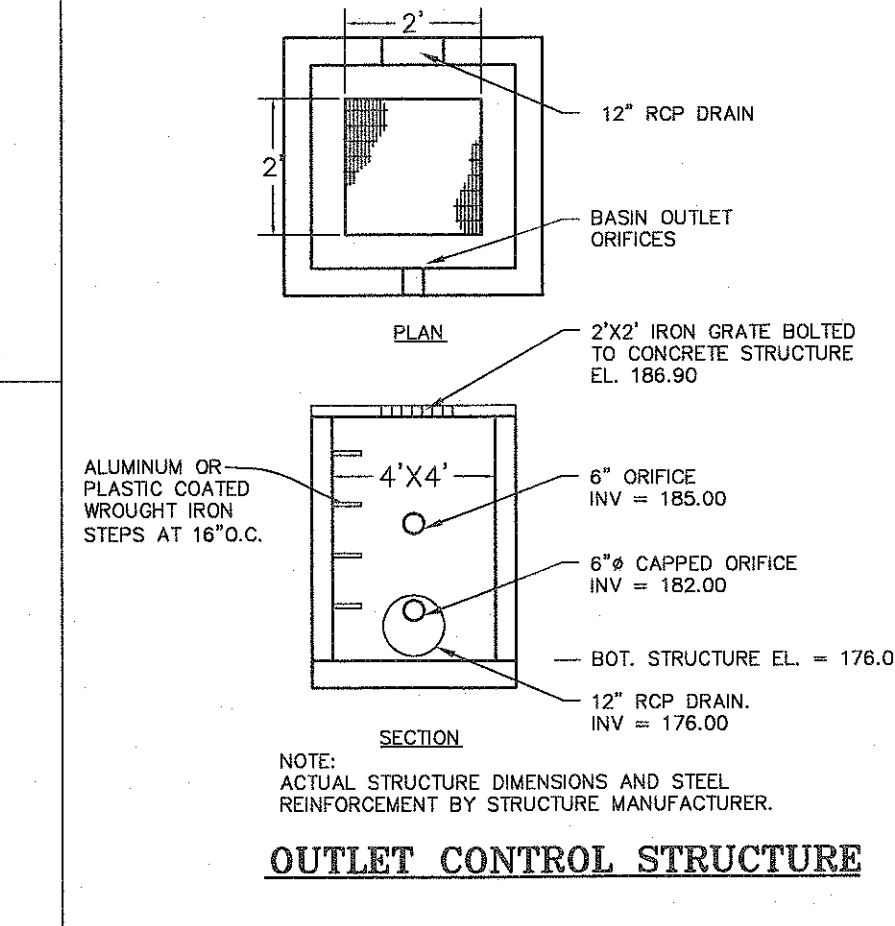
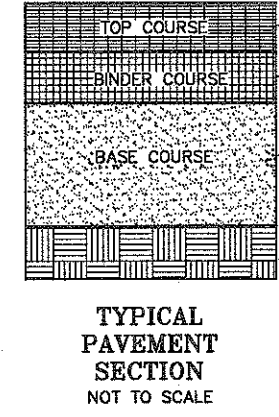
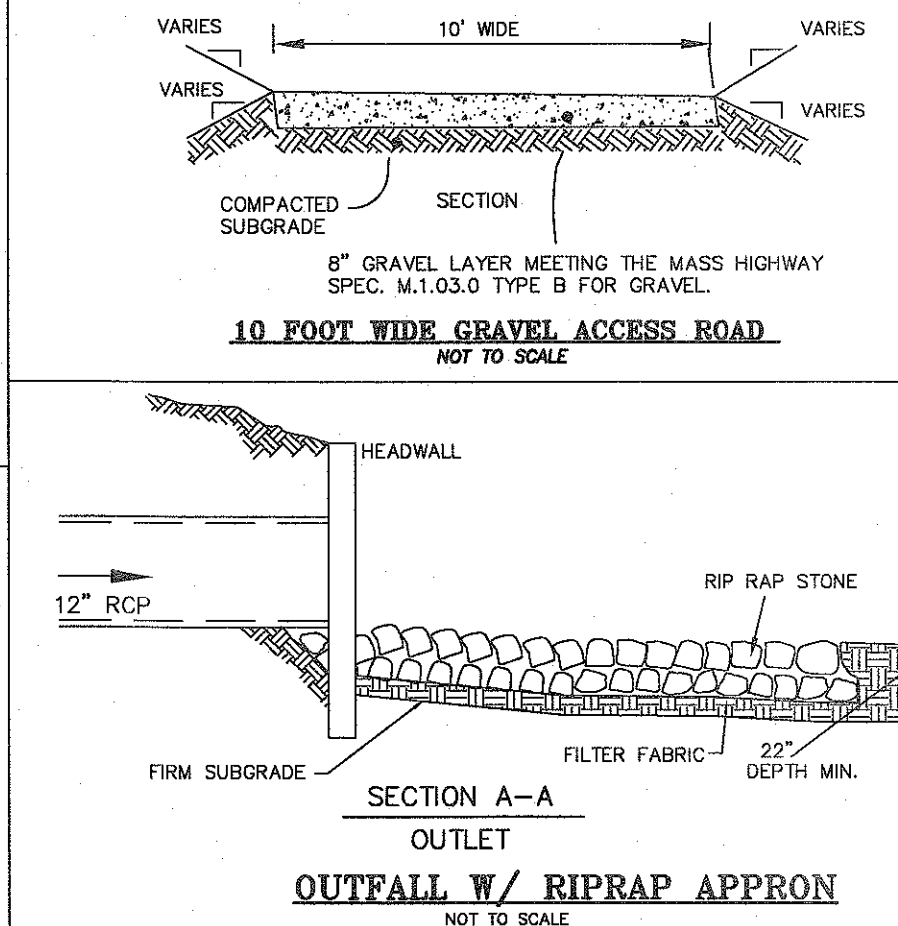
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



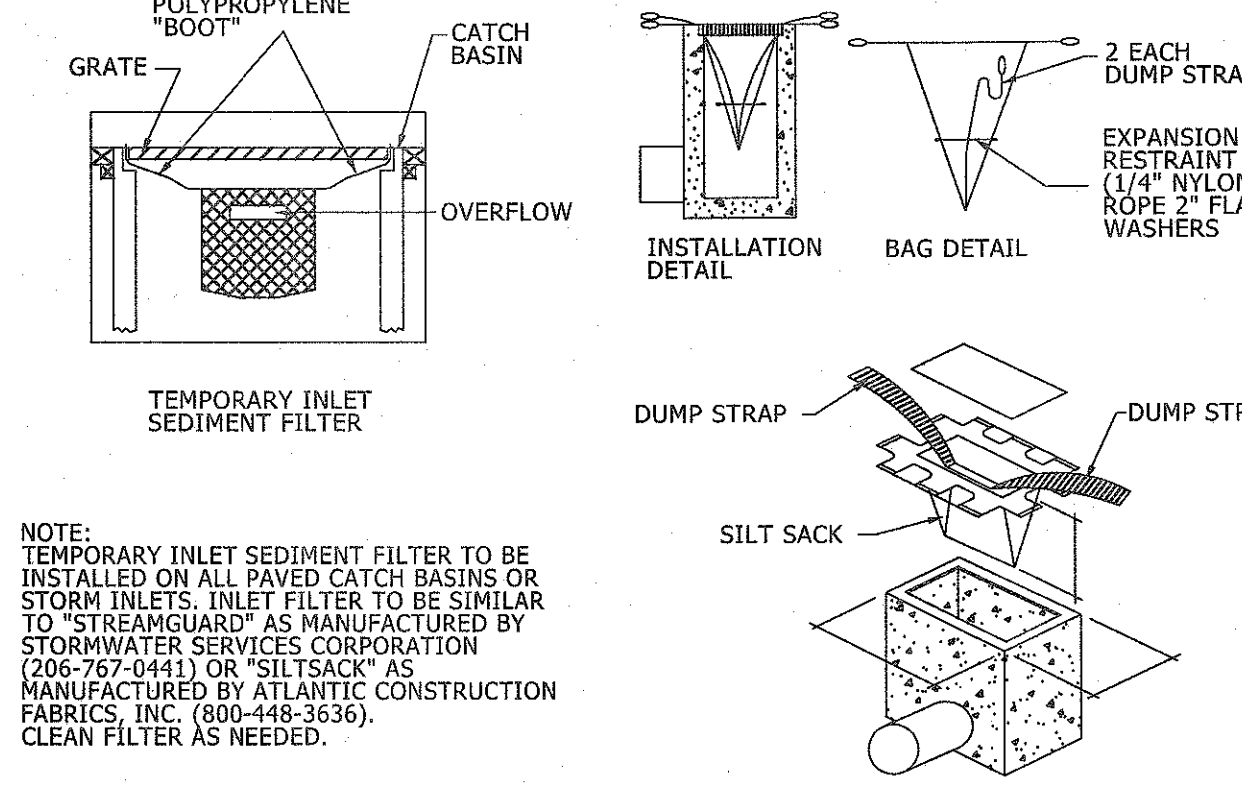
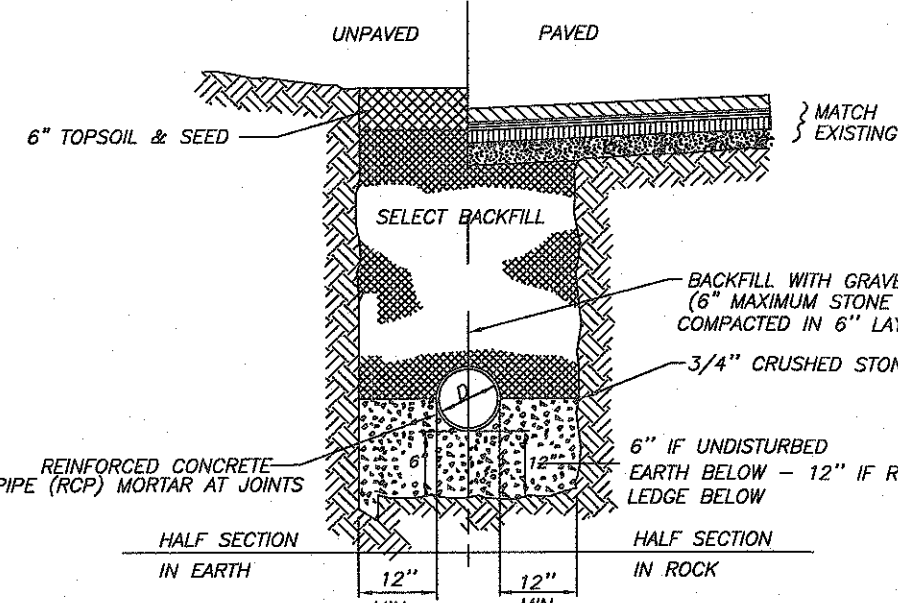
SPECIMEN DECIDUOUS TREE PLANTING DETAIL



THE BASIN IS TO BE UTILIZED AS A TEMPORARY EMERGENCY SEDIMENTATION BASIN DURING CONSTRUCTION AND SHOULD BE LINED WITH 30 MIL. PVC LINER OR APPROVED EQUAL DURING THIS PHASE. ONCE THE SITE IS STABILIZED, REMOVE ALL ACCUMULATED SEDIMENT IN THE BOTTOM OF THE BASIN ALONG WITH THE 30 MIL. PVC LINER AND AN ADDITIONAL 18" OF SOIL BELOW THE DESIGN BASE ELEVATION. REPLACE WITH 12" OF CLEAN COARSE SAND AND GRAVEL FREE OF ORGANICS AND FINES ALONG WITH 6" OF LOAM AND SAND MIXTURE (SEE DETAIL ABOVE).
NOTE:
1. AREA BENEATH THE BASIN TO BE STRIPPED OF TOPSOIL AND SUBSOIL. REFER TO TEST PIT NOTED FOR ADDITIONAL INFORMATION.
2. BASIN TO BE REVIEWED BY ENGINEER TO ENSURE CONSTRUCTION IN COMPLIANCE WITH THE DESIGN PLANS.



TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE
NOT TO SCALE



SILT SACK DETAIL

APPROVED DATE:
MEDWAY PLANNING BOARD
BEING A MAJORITY
ENDORSEMENT DATE

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OWNER
165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA
DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

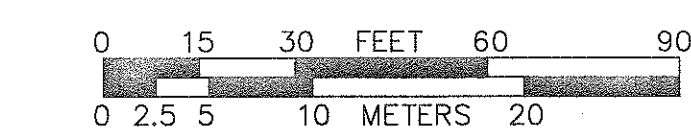
APPLICANT
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

**CONSTRUCTION
DETAILS**

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION
5/13/2020	REVISED PER TOWN COMMENTS



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

LONG TERM OPERATION AND MAINTENANCE PLAN

The following shall serve as the (O&M) Plan required by Standard 9, as well as the Long-Term Pollution Prevention Plan required by Standard 4.

A. Names of Persons or Entities Responsible for Plan Compliance:

John Greene
NRG Concepts, Inc.
165 Main Street
Suite 307
Medway, MA 02053
Tel: 508-367-4745

It is the intent of the Applicant to have the site completed and released by the various town Departments and Boards.

B. Good housekeeping practices

1. Maintain site, landscaping and vegetation.
2. Sweep and pick up litter on pavements and grounds.
3. Deliveries shall be monitored by owners or representative to ensure that any spillage occurs, it shall be contained and cleaned up immediately.
4. Maintain pavement and curbing in good repair.

C. Requirements for routine inspection and maintenance of stormwater BMPs

1. **Plans:** The storm water Operation and Maintenance Plan shall consist of all Plans, documents and all local state and federal approvals as required for the subject property.
2. **Record Keeping:**
 - a. Maintain a log of all operation and maintenance activities for at least three years following construction, including inspections, repairs, replacement and disposal (if disposal, the log shall indicate the type of material and the disposal location);

3. Descriptions and Designs: The Best Management Practices (BMP) incorporated into the design include the following:

- a. **Pavement Sweeping** - Stipulated within the Construction Period Pollution Prevention Plan, the Long-Term Pollution Prevention Plan, and the Operation and Maintenance Plan. As the amount of TSS removal is discretionary, no credit was taken within the calculations for this BMP.
- b. **Deep sump catch basins** with hoods installed to promote TSS Removal of solids and control floatable pollutants. This BMP has a design rate of 23% TSS Removal.
- c. **Sediment Forebay** - installed to promote TSS Removal of solids. This BMP has a design rate of 25% TSS Removal.
- d. **Infiltration Basin** - infiltration BMP provides the required groundwater recharge and has a design rate of 80% TSS Removal. Refer to TSS Removal Worksheet included in the Attachments.
- e. **Spill Containment Kit** to contain and clean-up spills that could occur on site.

4. BMP Maintenance: After construction it is the responsibility of the owner to perform maintenance. The cleaning of the components of the stormwater management system shall generally be as follows:

- a. **Pavement:** The owner shall keep the pavement swept with a mechanical sweeper or hand swept semi-annually at a minimum.
- b. **Catch Basins:** Shall be cleaned by excavating, pumping or vacuuming. The sediment shall be disposed of off-site by the Owner. Inspect quarterly, remove silt when 1/4 full.
- c. **Sediment Forebay:** Inspect monthly. Clean forebay 4 times per year.
- d. **Infiltration Basin:** Inspect for proper function after every major storm event during the first 3 months of operation, inspect/remote debris twice per year afterward. Mow basin at least twice per year, remove clippings.

5. Access Provisions: All of the components of the storm water system will be accessible by the Owner

- D. Spill prevention and response plans**
1. Train employees and subcontractors in prevention and clean up procedures.
 2. All materials stored on site will be stored in their appropriate containers under a

roof or in the approved underground storage tanks.

3. Follow manufacturer's recommendation for disposal of used containers.
4. On site equipment, fueling and maintenance measures:
 - a. Inspect on-site vehicles and equipment daily for leaks.
 - b. Conduct all vehicle and equipment maintenance Off Site and refueling in one location, away from storm drains and wetlands.
5. **Clean up spills:**
 - a. Never hose down "dry" pavement or impervious surfaces where fluids have spilled. Use dry clean-up methods (sweep, cat litter and/or rug and absorbent pads).
 - b. Sweep up dry materials immediately. Never wash them away or bury them.
 - c. Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - d. Report significant spills to the Fire Department, Conservation Commission and Board of Health.

F. Provisions for maintenance of lawns, gardens, and other landscaped areas

- Dispose of clippings away from storm drainages.
- F. Requirements for storage and use of herbicides, and pesticides**
- The application of herbicides or pesticides will be done by professional certified contractor.

G. Provisions for solid waste management

1. **Waste Management Plan**
 - a. Recycle materials whenever possible (paper, plaster cardboard, metal cans).
 - b. Separate containers for material is recommended.
 - c. Do not bury waste and debris on site.
 - d. Certified haulers will be hired to remove the dumpster container waste as needed. Recycling products will also be removed off site weekly.

H. Snow disposal and plowing plans

- Snow storage is adequate around the site for large storm events, see site plan
- I. Winter Road Salt and/or Sand Use and Storage restrictions**
- No sand, salt, or chemicals for de-icing will be stored outside.

J. Pavement sweeping schedules

Sweeping, the act of cleaning pavement can be done by mechanical sweepers, vacuum sweeper or hand sweeper. The quantity of sand is a direct correlation with the treatment of ice and snow and the types of chemicals and spreaders that are being used on site to manage snow. If a liquid de-icer such as calcium chloride is used as a pretreatment to snow events the amount of sand is minimized. Sweeping for this site should be done semi-annually at a minimum. Collecting the particulate before it enters the catch basins is cheaper and more environmentally friendly than in a catch basin mixing with oils and greases in the surface water runoff in catch basins.

K. Provisions for prevention of illicit discharges to the stormwater management system

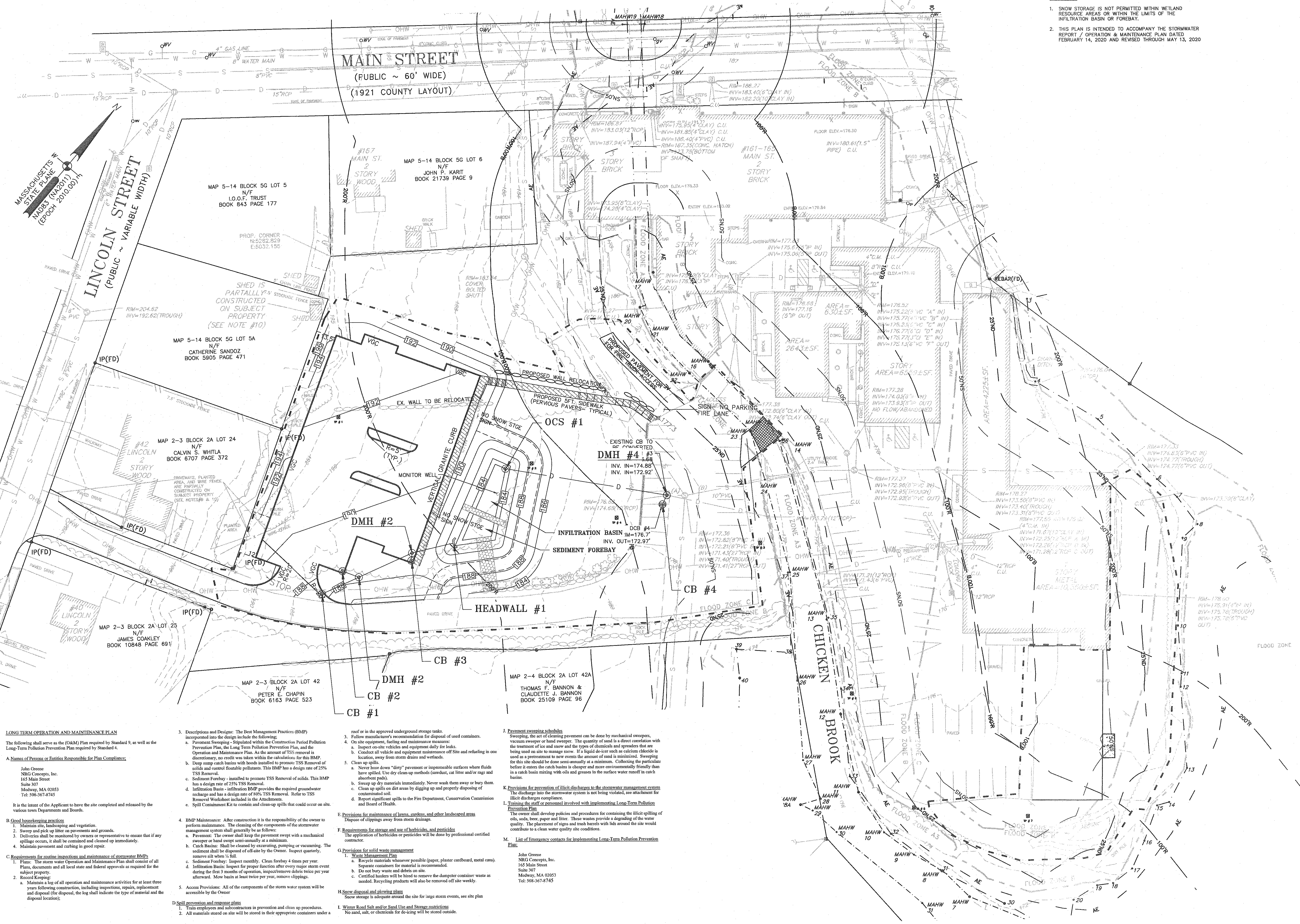
The discharge into the stormwater system is not being violated, see attachment for illicit discharge compliance.

L. Training the staff or personnel involved with implementing Long-Term Pollution Prevention Plan

The owner shall develop policies and procedures for containing the illicit spilling of oils, soda, beer, paper and litter. These wastes provide a degrading of the water quality. The placement of signs and trash barrels with lids around the site would contribute to a clean water quality site conditions.

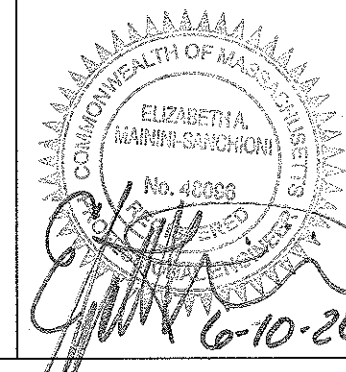
M. List of Emergency contacts for implementing Long-Term Pollution Prevention Plan:

John Greene
NRG Concepts, Inc.
165 Main Street
Suite 307
Medway, MA 02053
Tel: 508-367-4745



NOTES:

1. SNOW STORAGE IS NOT PERMITTED WITHIN WETLAND RESOURCE AREAS OR WITHIN THE LIMITS OF THE INFILTRATION BASIN OR FOREBAY.
2. THIS PLAN IS INTENDED TO ACCOMPANY THE STORMWATER REPORT / OPERATION & MAINTENANCE PLAN DATED FEBRUARY 14, 2020 AND REVISED THROUGH MAY 13, 2020



APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

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165 MAIN STREET
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MEDWAY, MA. 02053

**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

**OPERATIONS &
MAINTENANCE PLAN**

FEBRUARY 14, 2020

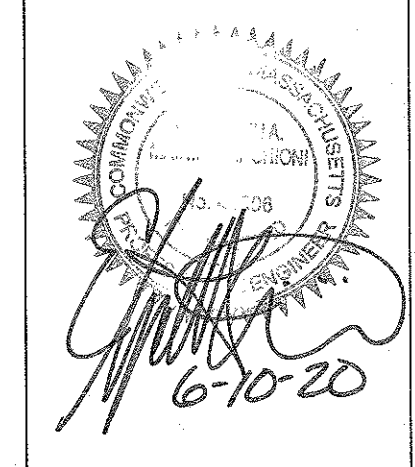
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SHEET
12 OF 12

JOB NO. **F3519**



F3519

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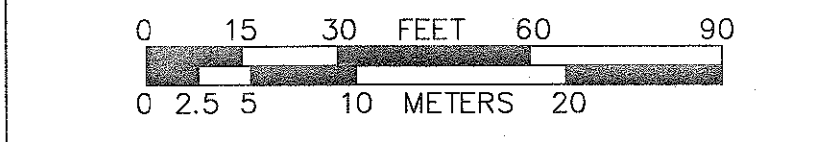
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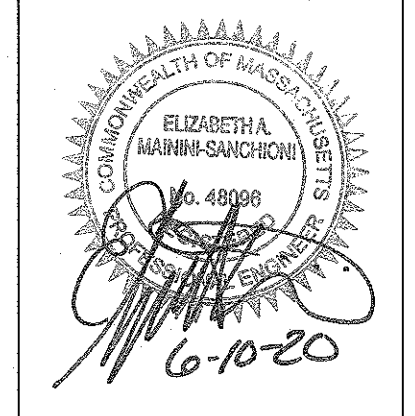
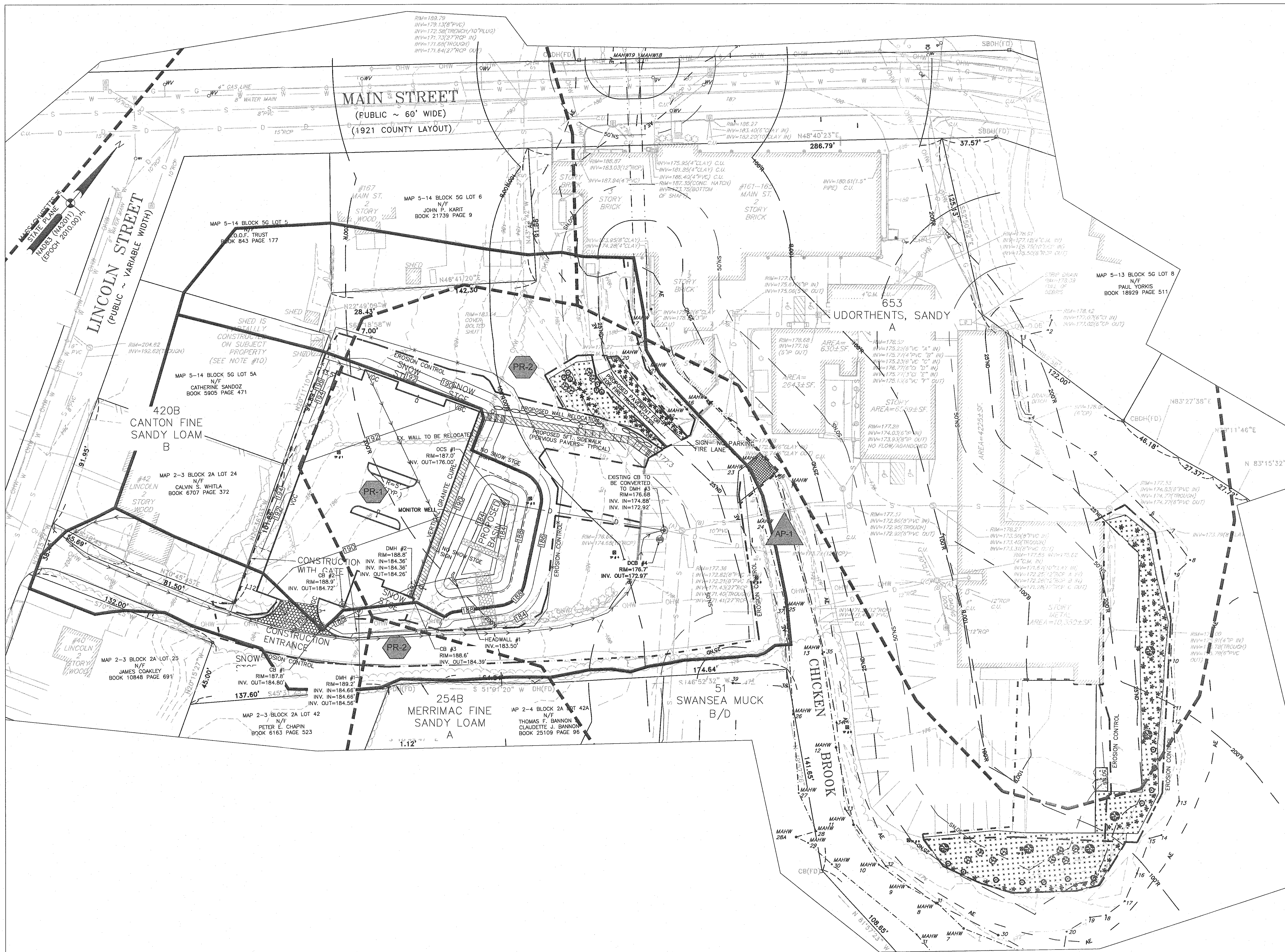
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163-165 MAIN STREET
MEDWAY
MASSACHUSETTS
PRE-DEVELOPMENT
WATERSHED PLAN

FEBRUARY 14, 2020

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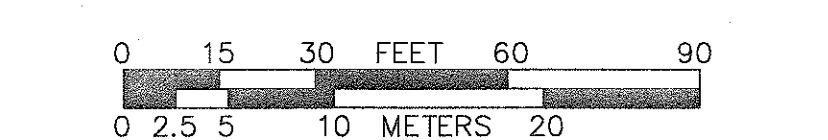
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SITE PLAN
MEDWAY MILL
161-165 MAIN STREET
MEDWAY
MASSACHUSETTS

POST-DEVELOPMENT
WATERSHED PLAN

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