

ZONING TABLE - VR DISTRICT			
	REQUIRED	EXISTING	PROPOSED
LOT AREA	22500	30903	30903
LOT FRONTAGE	150	189.9	189.9
LOT WIDTH	NA	186	186+
FRONT SETBACK	20	61	61
SIDE SETBACK	10	22	22
REAR SETBACK	10	42	42
BLDG. HT.	35'	33'	38'
LOT COVERAGE (BUILDINGS)	30%	10%	15.5%
LOT COVERAGE (IMPERVIOUS)	40%	72%	28.0%
PARKING	1.5/UNIT	-	2/UNIT

# CUTLER PLACE

## 249 VILLAGE STREET, MEDWAY, MA 02053

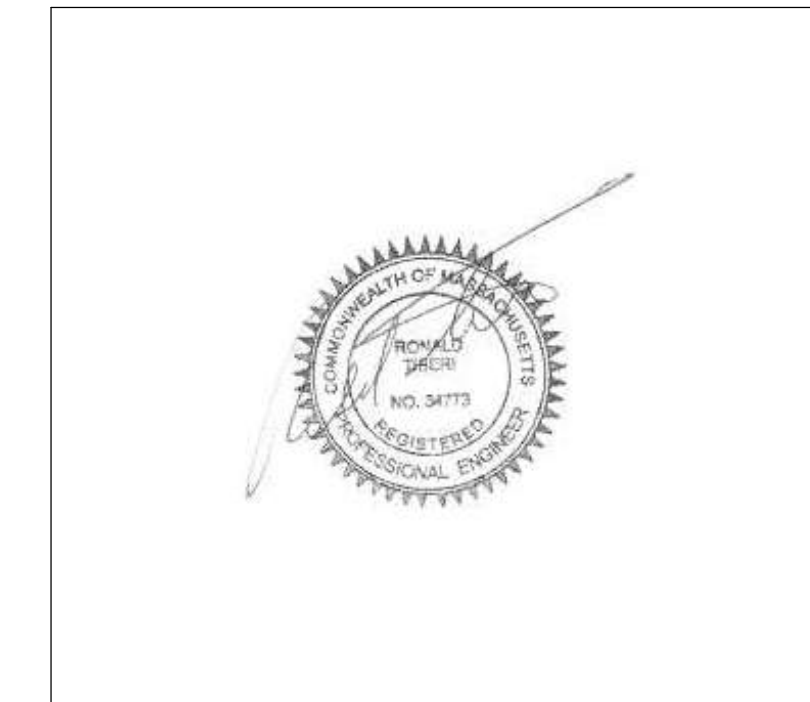
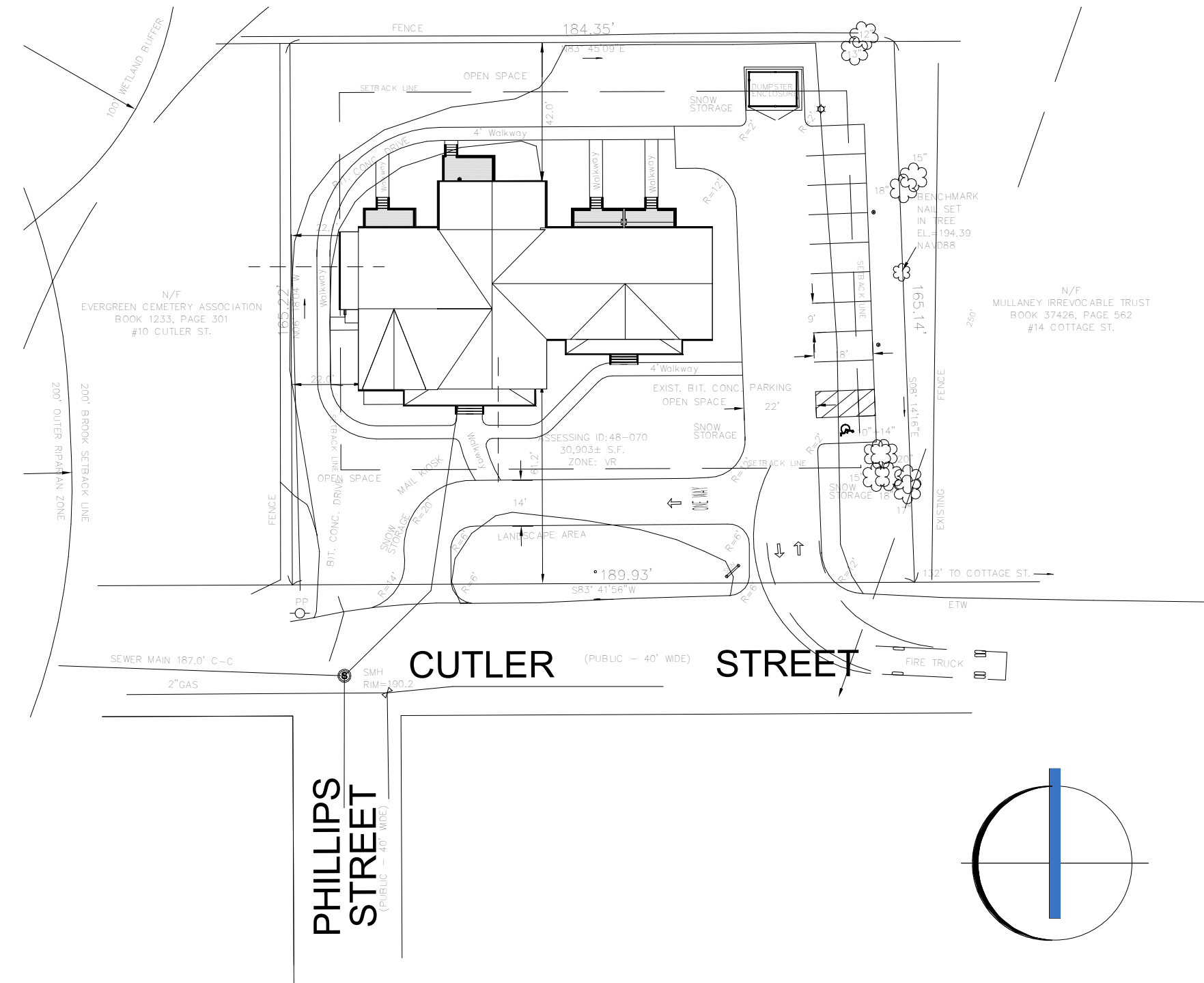
OWNER/APPLICANT:  
**ANTHONY VARRICHIONE**  
 249 VILLAGE STREET,  
 MEDWAY, MA 02053

ARCHITECT:  
**ALEX SIEKIERSKI, RA**  
 33 LOVERING STREET  
 MEDWAY, MA 02053

LANDSCAPE DESIGN:  
**LAR GREENE, RLA WDA**  
 DESIGN GROUP  
 42 JUNGLE ROAD,  
 LEOMINSTER, MA

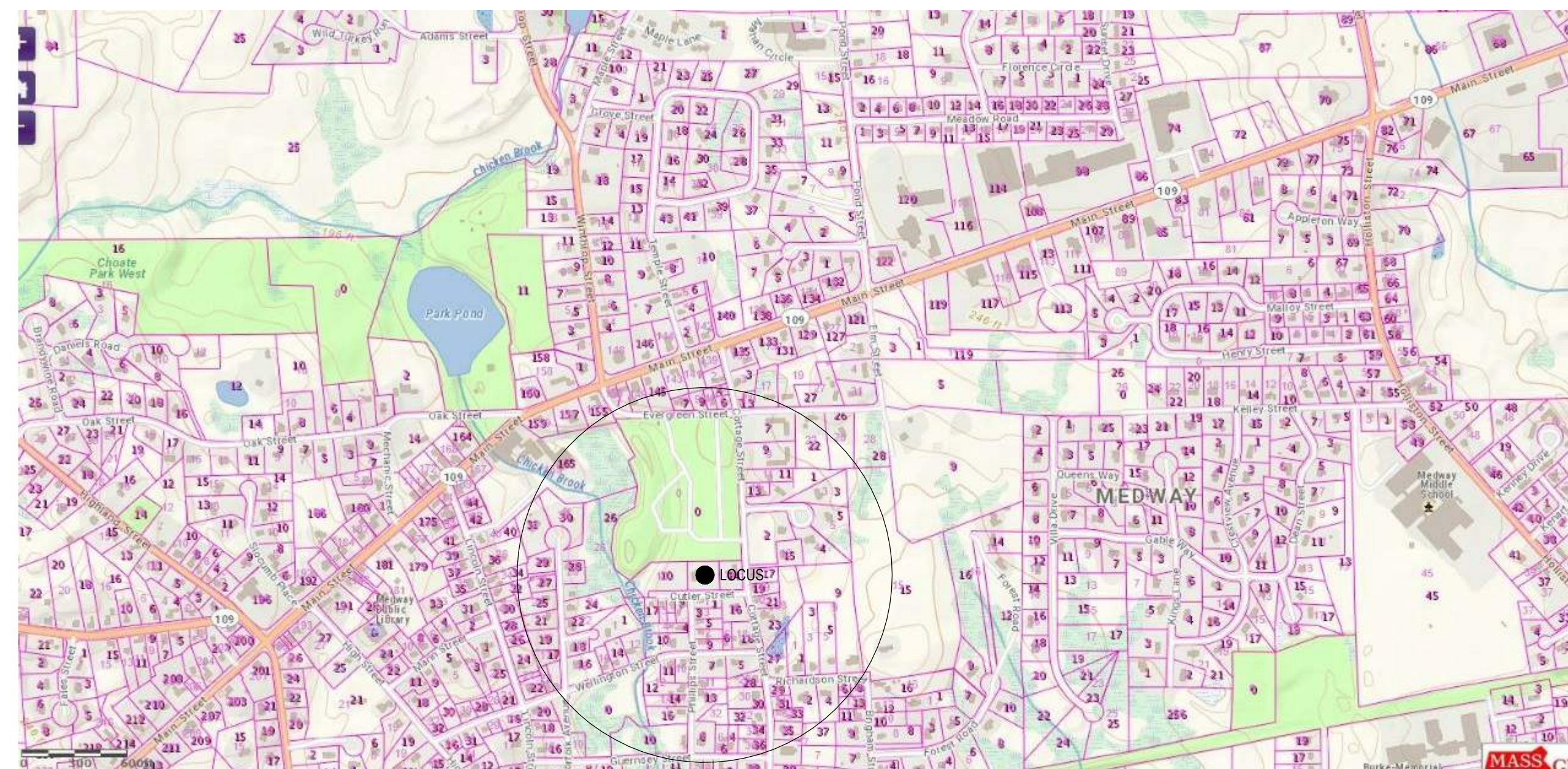
SURVEY:  
**CHENEY ENGINEERING CO, INC.**  
 53 MELLE STREET  
 NEEDHAM MA. 02494

ENGINEER:  
**RON TIBERI P.E.**  
 9 MASSACHUSETTS AVENUE,  
 NATICK, MA 01760



### PLAN INDEX

- T-1 COVER SHEET
- S-1 EXISTING CONDITIONS & WETLANDS PLAN
- S-2 SITE & UTILITY LAYOUT PLAN
- S-3 DRAINAGE & GRADING PLAN
- S-4 EROSION CONTROL & CONSTRUCTION PLAN
- S-5 DETAIL SHEET
- L-1 LANDSCAPE PLAN
- L-2 LIGHTING PLAN
- L-3 LIGHTING CONCEPT PLAN
- A001 CODES & REGULATIONS
- A042 EXISTING ELEVATIONS
- A110 BASEMENT PLAN
- A111 GROUND FLOOR PLAN
- A112 SECOND FLOOR PLAN
- A113 ROOF PLAN
- A200 EXTERIOR ELEVATIONS
- A201 EXTERIOR ELEVATIONS
- A910 3D VIEWS



**LOT 6**  
**6 CUTLER STREET**  
**ACCESSING ID - 49-51**  
**ZONE - VR**  
**DISTRICT**

MULTIFAMILY HOUSING TABLE		
	REQUIRED	PROPOSED
LOT AREA	22500	30903
LOT FRONTAGE	50	189
UNIT DENSITY	5.7	5
AFFORDABLE UNITS	1	na
BLDG. HT.	40'	33'
OPEN SPACE	15%	27+%
PARKING SPACES	8	11



ABUTTERS LOCUS MAP  
 1" = 200'

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY PLANNING \_\_\_\_\_

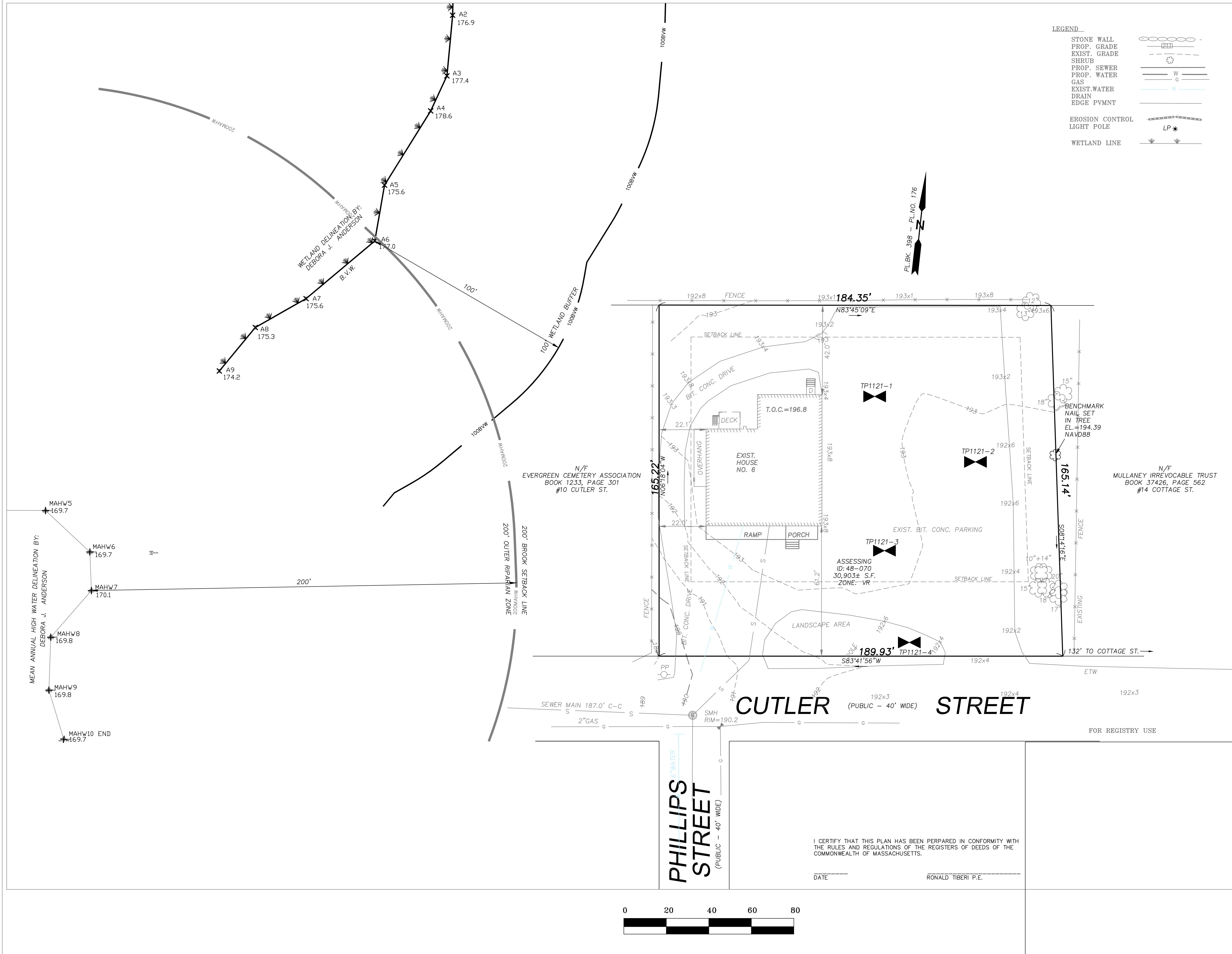
DATE: \_\_\_\_\_

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.  
 11/17/2021  
 DATE \_\_\_\_\_ RONALD TIBERI P.E.

DATE ISSUED : 11/17/2021  
 DATE REVISED : 11/17/2021

I, \_\_\_\_\_, Clerk of the Town of Medway, received and recorded approval from the Planning and Economic Development Board of this plan and its corresponding decision on \_\_\_\_\_ and no appeal was taken for twenty (20) days thereafter.  
 11/17/2021  
 DATE \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_  
 This project is subject to a performance security covenant to be recorded herewith.

FOR REGISTRY



**LEGEND**

STONE WALL	
PROP. GRADE	
EXIST. GRADE	
SHRUB	
PROP. SEWER	
PROP. WATER	
GAS	
EXIST. WATER	
DRAIN	
EDGE PVMNT	
EROSION CONTROL	
LIGHT POLE	
WETLAND LINE	

- GENERAL SITE NOTES**
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
  - ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
  - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
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  - ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
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  - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

**DIG SAFE NOTE:**  
 UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 [(888)DIG-SAFE].

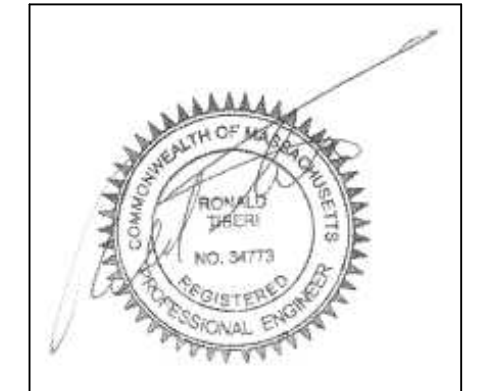
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THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE OF THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED BY PLANNING BOARD

DATE: \_\_\_\_\_



**REVISIONS**

No.	DATE	DESCRIPTION

**WETLANDS & EXISTING CONDITONS PLAN**  
 IN  
 MEDWAY, MASSACHUSETTS  
**CUTLER PLACE**  
**6 CUTLER STREET**

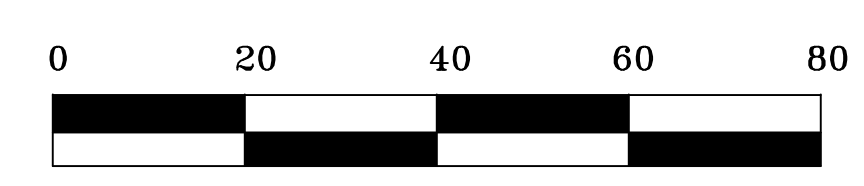
PREPARED FOR: **CUTLER PLACE LLC**  
 6 CUTLER STREET  
 MEDWAY MA 02053

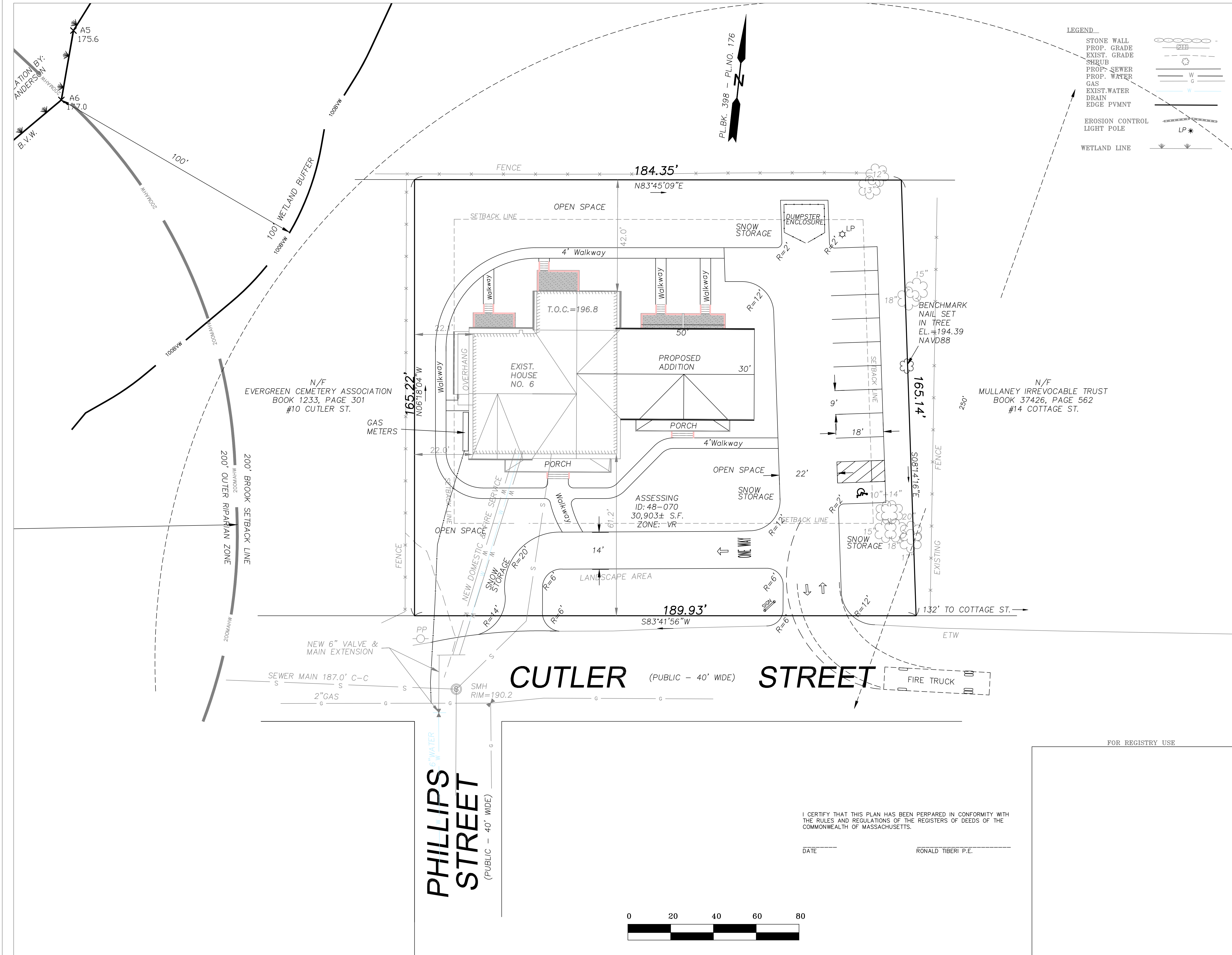
PREPARED By: **RONALD TIBERI P.E.**  
 9 MASSACHUSETTS AVE.  
 NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet  
 PROJECT NUMBER: 7155  
 DATE: NOV 1. 2021

I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE \_\_\_\_\_ RONALD TIBERI P.E.





**LEGEND**

STONE WALL	
PROP. GRADE	
EXIST. GRADE	
SHRUB	
PROP. SEWER	
PROP. WATER	
GAS	
EXIST. WATER	
DRAIN	
EDGE PVMNT	
EROSION CONTROL LIGHT POLE	
WETLAND LINE	

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APPROVED BY PLANNING BOARD

DATE: \_\_\_\_\_



**REVISIONS**

No.	DATE	DESCRIPTION

**PROPOSED SITE & UTILITY LAYOUT PLAN**  
 IN  
 MEDWAY, MASSACHUSETTS

**CUTLER PLACE**  
**6 CUTLER STREET**

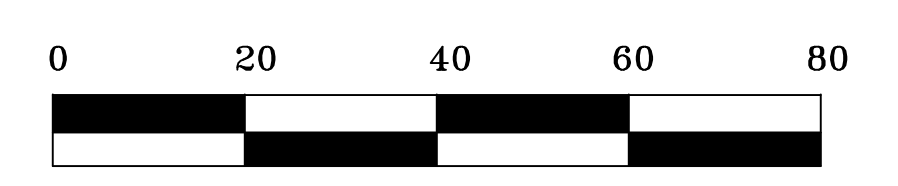
PREPARED FOR: **CUTLER PLACE LLC**  
 6 CUTLER STREET  
 MEDWAY MA 02053

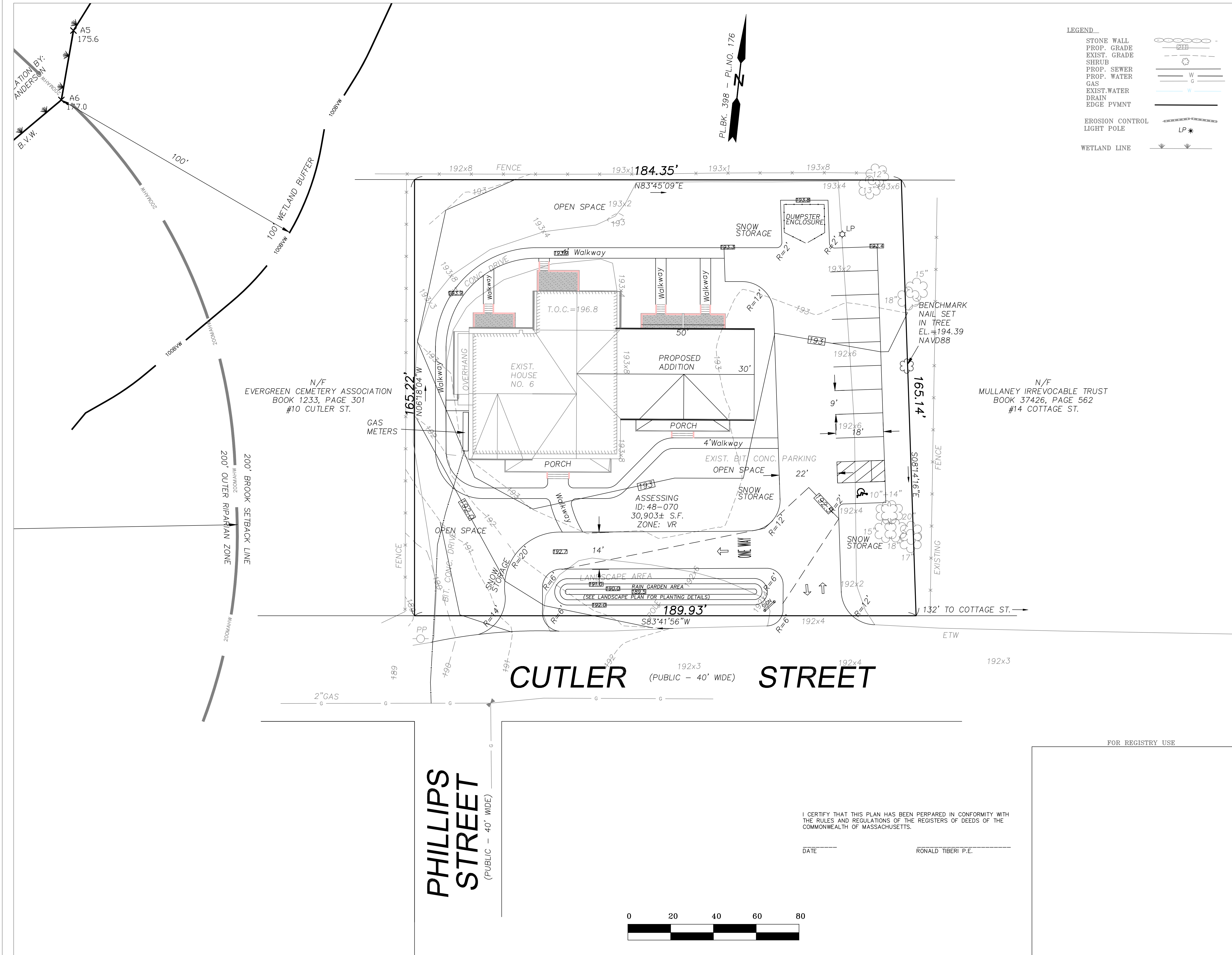
PREPARED BY: **RONALD TIBERI P.E.**  
 9 MASSACHUSETTS AVE.  
 NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet  
 PROJECT NUMBER: 7155  
 DATE: NOV 1, 2021

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: \_\_\_\_\_ RONALD TIBERI P.E.





REVISIONS

No.	DATE	DESCRIPTION

**APPROVED BY PLANNING BOARD**

DATE: \_\_\_\_\_

**PROPOSED DRAINAGE & GRADING PLAN**  
IN  
MEDWAY, MASSACHUSETTS

**CUTLER PLACE  
6 CUTLER STREET**

PREPARED FOR:  
**CUTLER PLACE LLC  
6 CUTLER STREET  
MEDWAY MA 02053**

PREPARED BY:  
**RONALD TIBERI P.E.  
9 MASSACHUSETTS AVE.  
NATICK MA 01760**

DRAWING SCALE: 1 inch = 20 feet

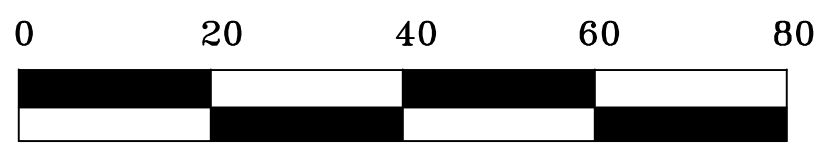
PROJECT NUMBER: 7155

DATE: NOV 1, 2021

**S-3**

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: \_\_\_\_\_ RONALD TIBERI P.E.



FOR REGISTRY USE

×

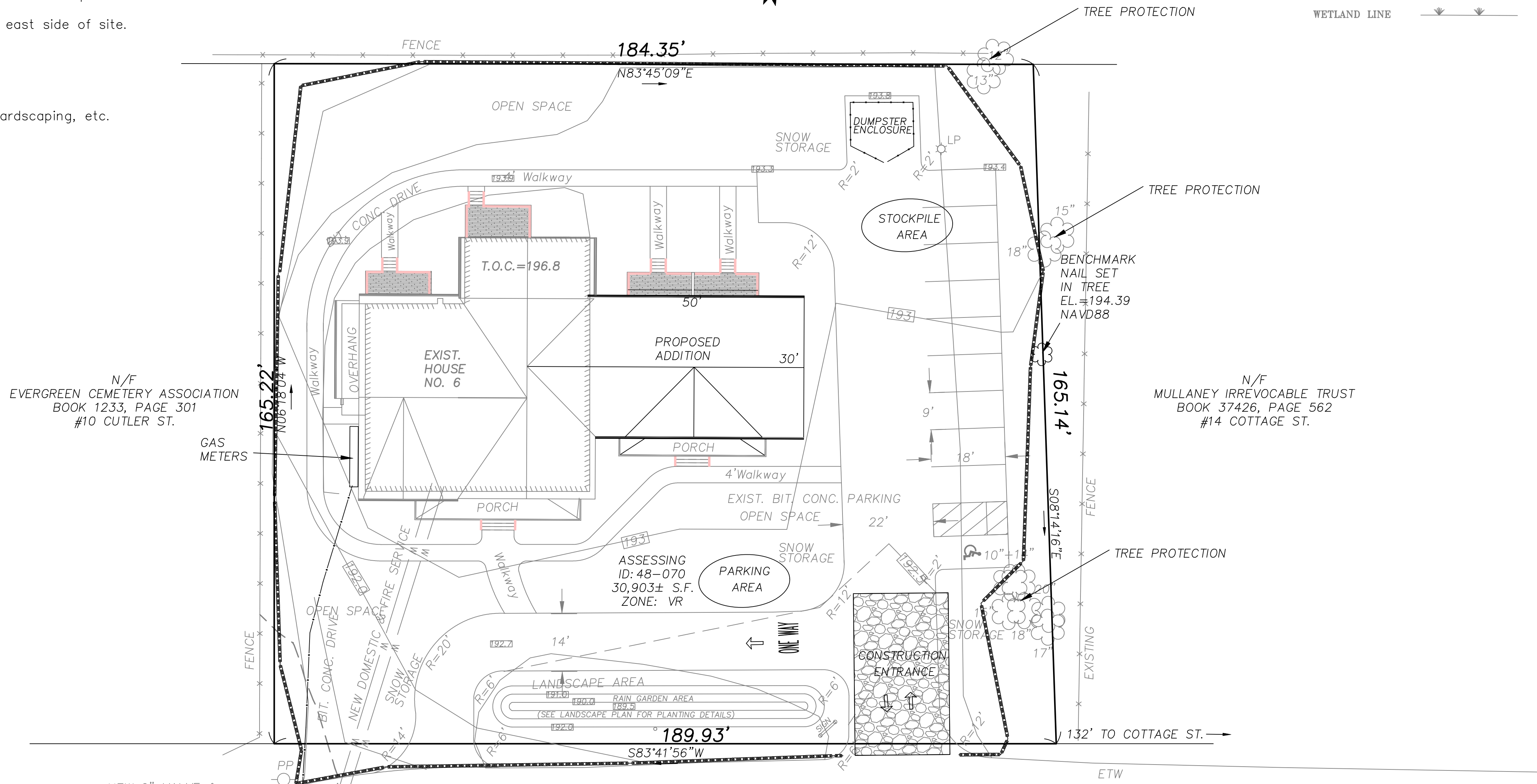
### Approximate Construction Sequence:

- Install perimeter fencing and erosion control around perimeter of site.
- Site clearance.
- Build temporary construction entrance on east side of site.
- Locate staging area at front of site.
- Setup temporary services.
- Install utilities
- Install rain garden
- Construct driveway & parking.
- Completion of all siteworks/landscaping/hardscaping, etc.

PLBK. 398 - PL. NO. 176

### LEGEND

- STONE WALL
- PROP. GRADE
- EXIST. GRADE
- SHRUB
- PROP. SEWER
- PROP. WATER
- GAS
- EXIST. WATER
- DRAIN
- EDGE PVMNT
- EROSION CONTROL LIGHT POLE
- WETLAND LINE

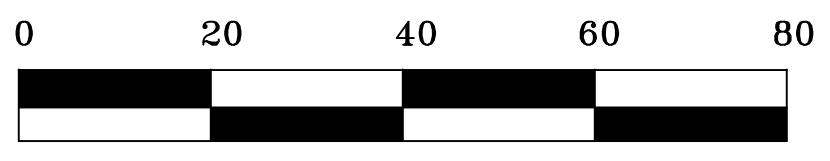


# CUTLER STREET (PUBLIC - 40' WIDE)

# PHILLIPS STREET (PUBLIC - 40' WIDE)

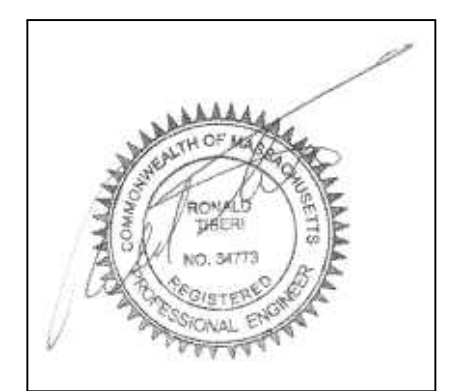
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APPROVED BY PLANNING BOARD  
DATE: \_\_\_\_\_



REVISIONS		
No.	DATE	DESCRIPTION

## EROSION CONTROL & CONSTRUCTION PLAN

IN  
MEDWAY, MASSACHUSETTS

### CUTLER PLACE 6 CUTLER STREET

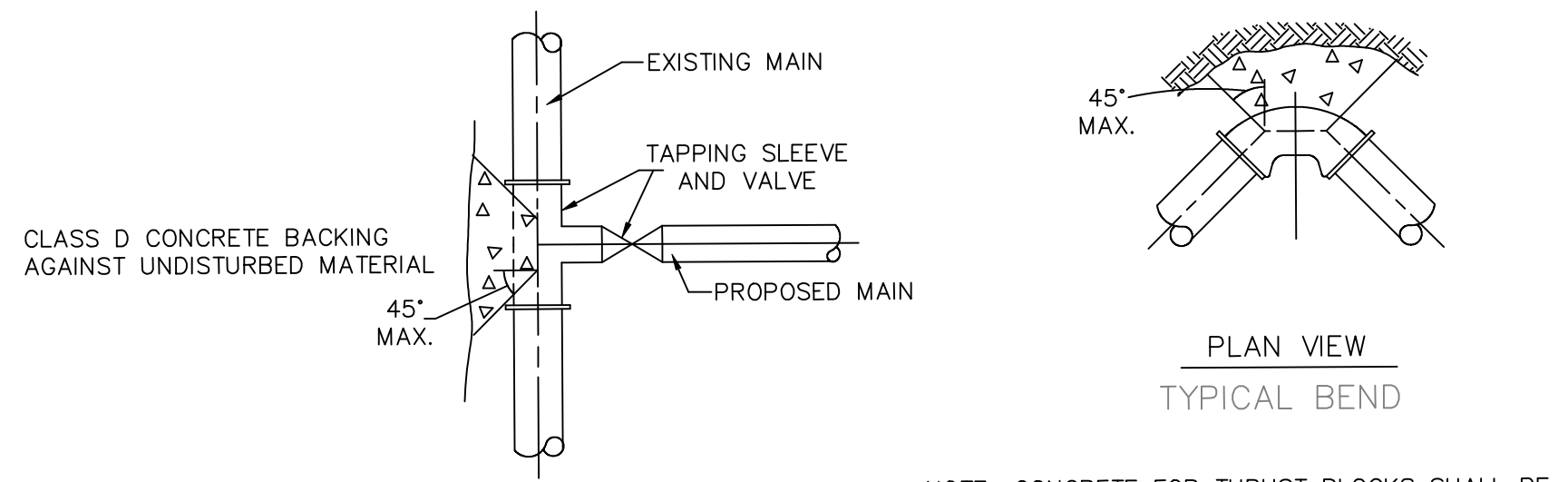
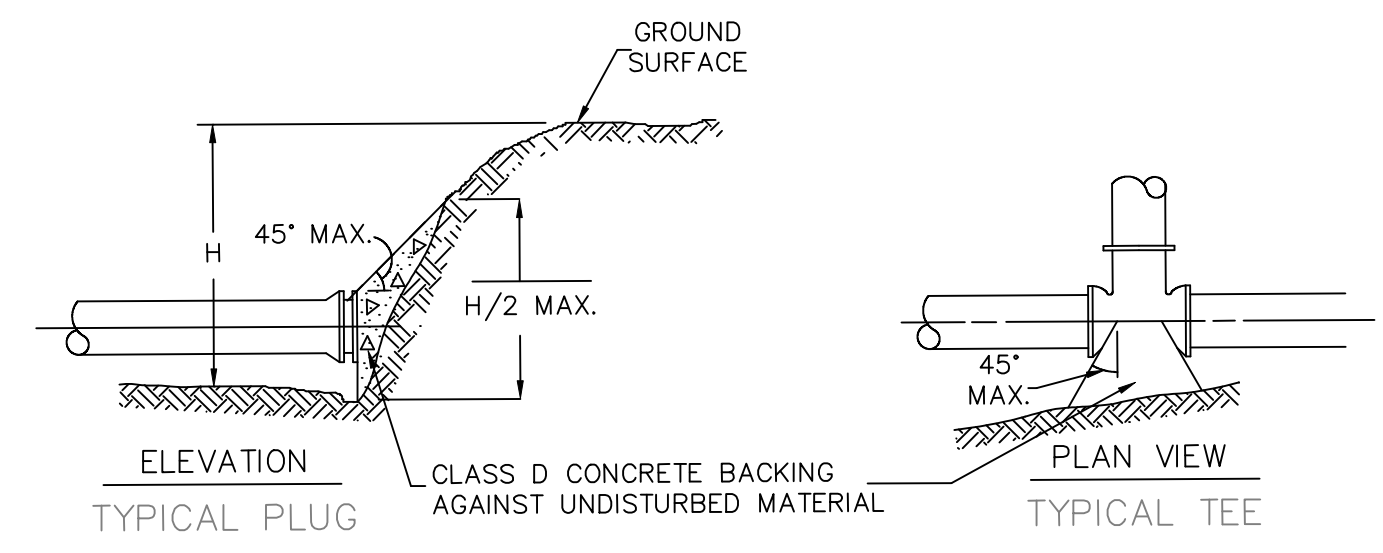
PREPARED FOR:  
**CUTLER PLACE LLC  
6 CUTLER STREET  
MEDWAY MA 02053**

PREPARED By: **RONALD TIBERI P.E.  
9 MASSACHUSETTS AVE.  
NATICK MA 01760**

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

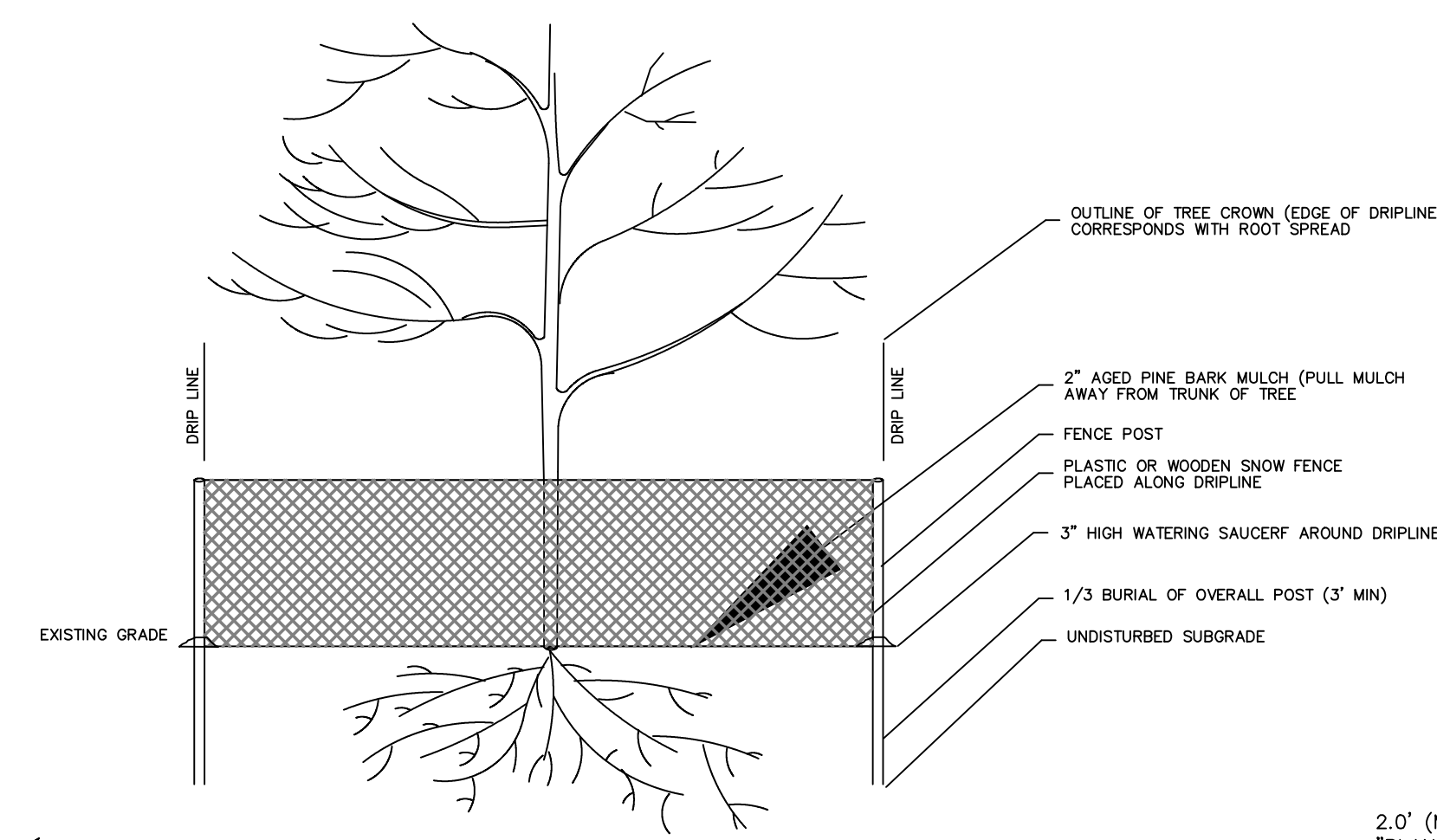
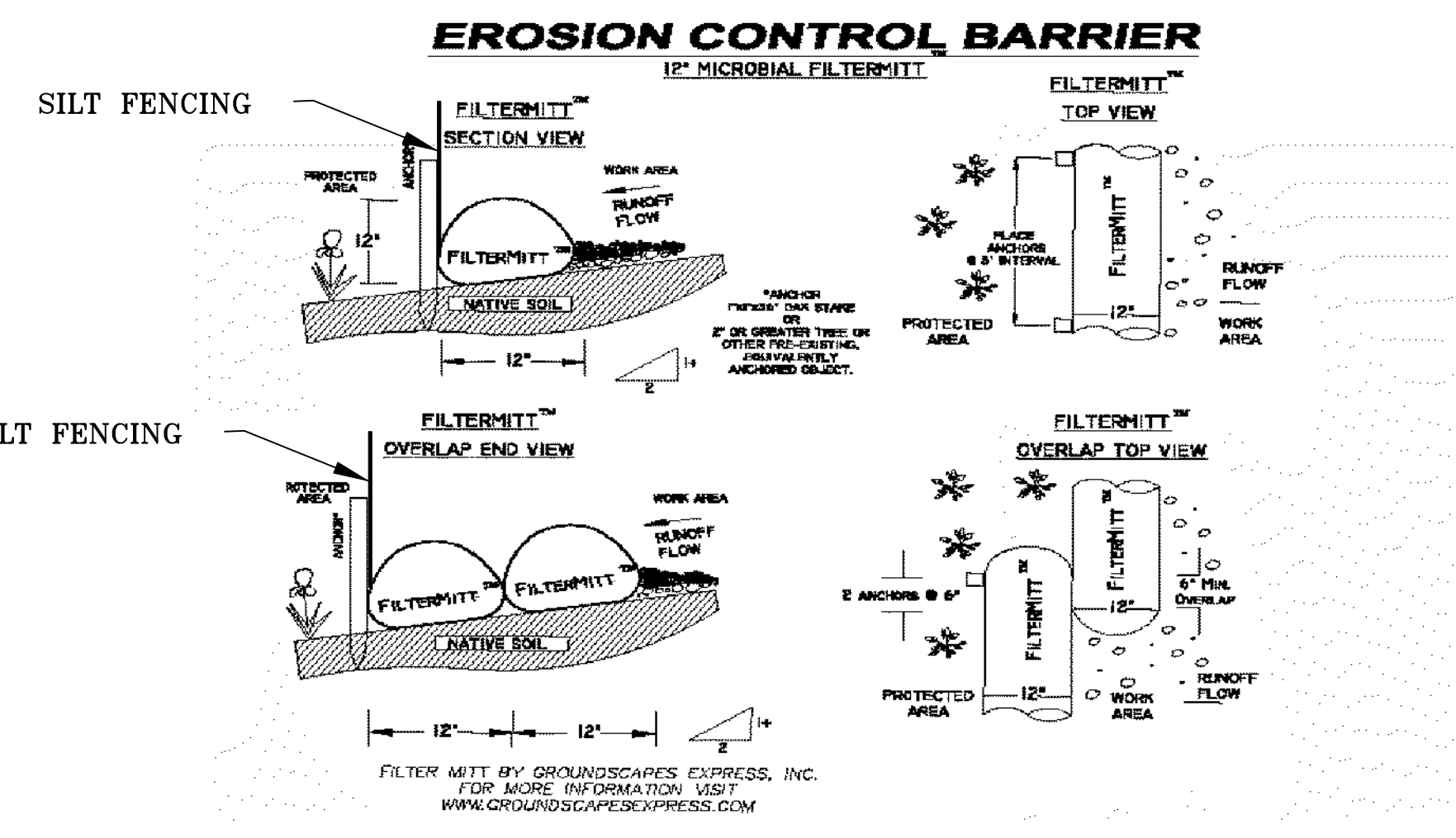
DATE: NOV 1, 2021



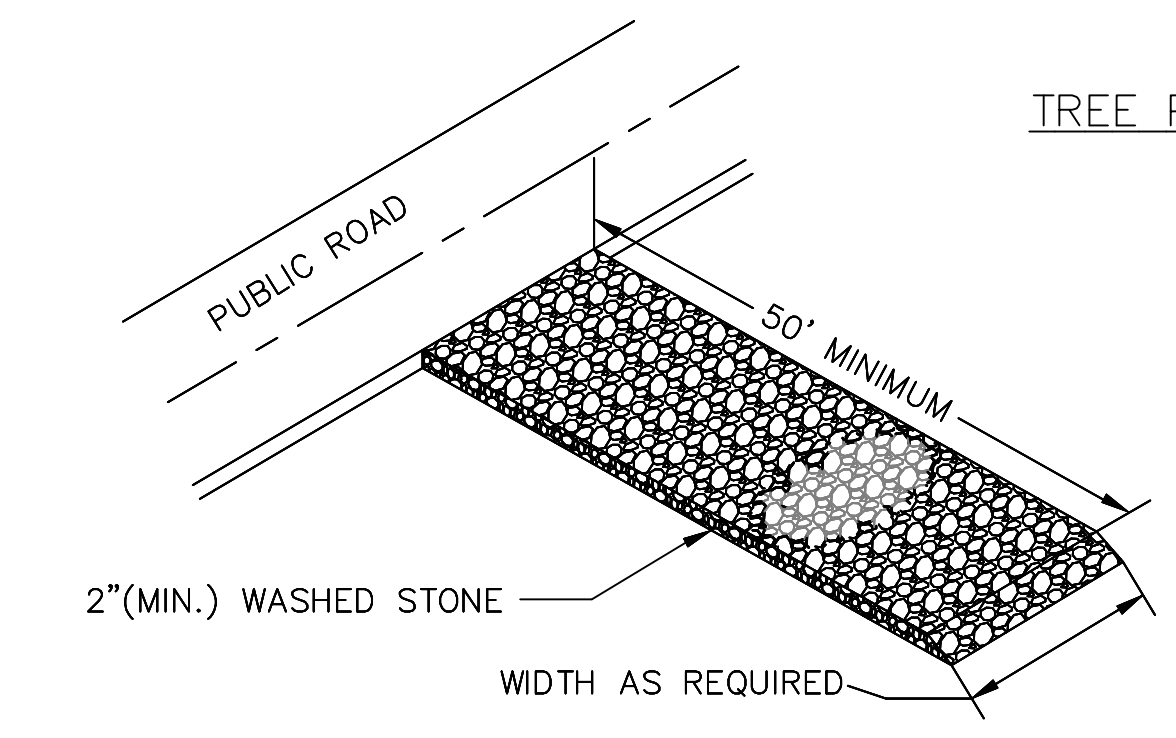
NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE LEANER THAN THE RATIO OF 2-1/2: 5-1/2 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.) BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FEET)

PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND	PLUG TEES
6 AND 8	8	8	-	8
10 AND 12	22	13	8	16

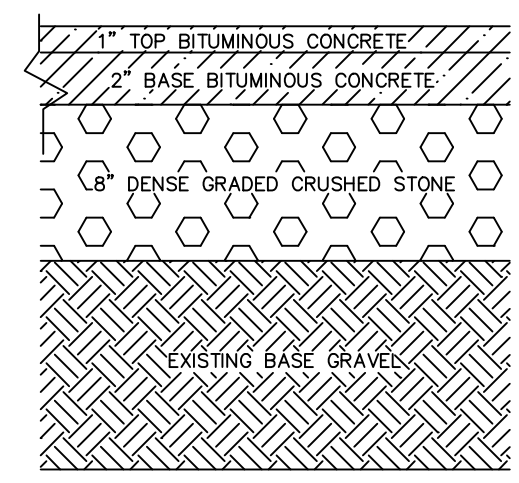
WATER MAIN THRUST BLOCK DETAILS  
NOT TO SCALE



TREE PROTECTION  
NTS

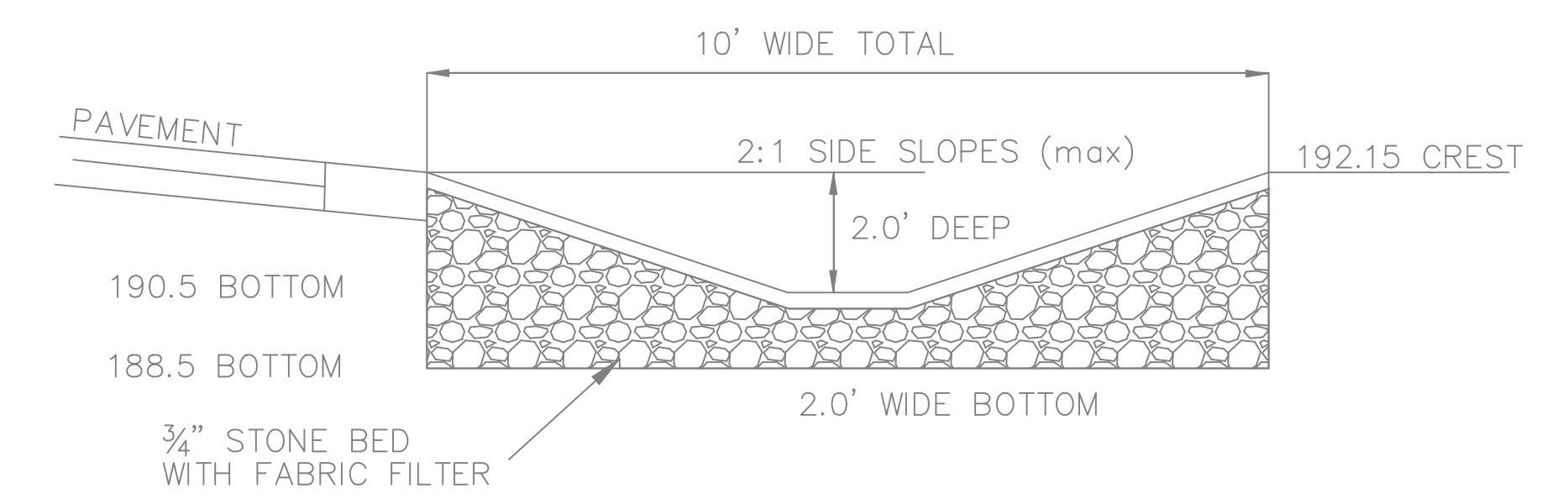


CONSTRUCTION ENTRANCE DETAIL  
NOT TO SCALE

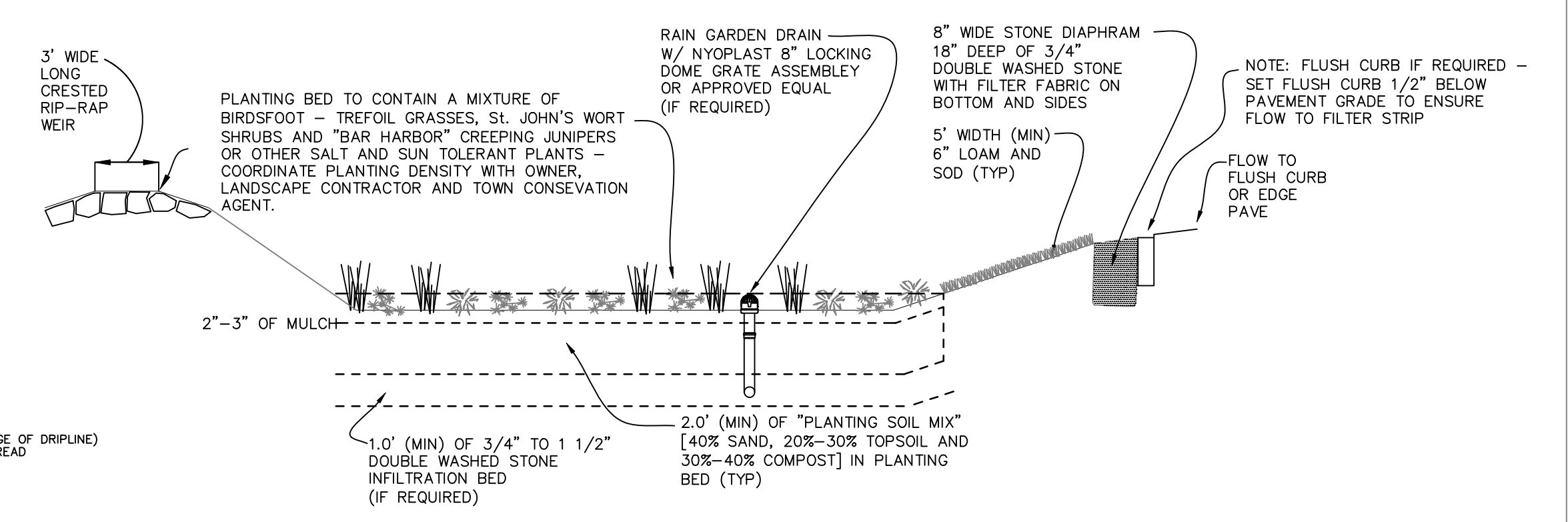


- 1) ALL MATERIALS SHALL MEET MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS
- 2) INSTALL GEOTEXTILE (MIRAFI 180N OR EQUIVALENT) ABOVE SUBBASE AS DIRECTED BY THE ENGINEER

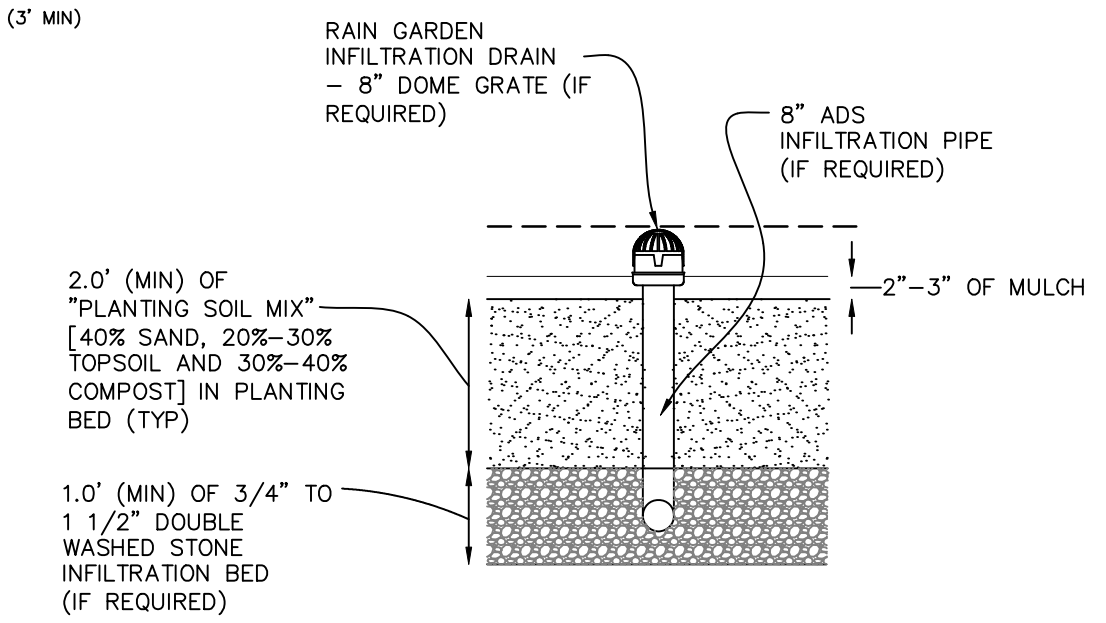
PAVEMENT CROSS-SECTION DETAIL  
N.T.S.



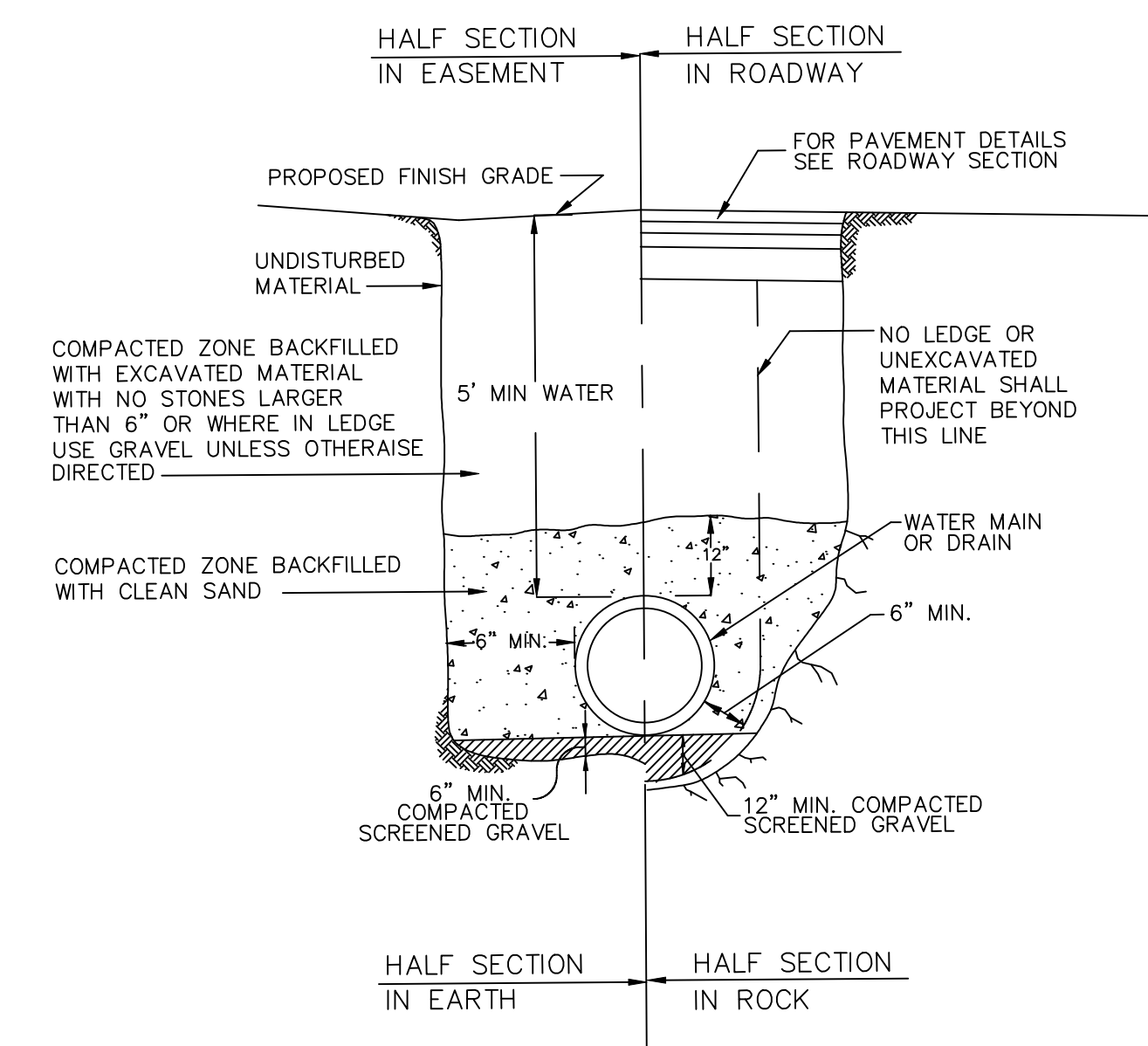
RAIN GARDEN SECTION  
NOT TO SCALE



TYPICAL RAIN GARDEN SCHEMATIC SECTION & PLANTINGS  
NOT TO SCALE



RAIN GARDEN TYPICAL SECTION  
NOT TO SCALE



WATER MAIN TRENCH DETAILS  
NOT TO SCALE

APPROVED BY PLANNING BOARD  
DATE: \_\_\_\_\_



REVISIONS		
No.	DATE	DESCRIPTION

DETAILS

IN  
MEDWAY, MASSACHUSETTS

CUTLER PLACE  
6 CUTLER STREET

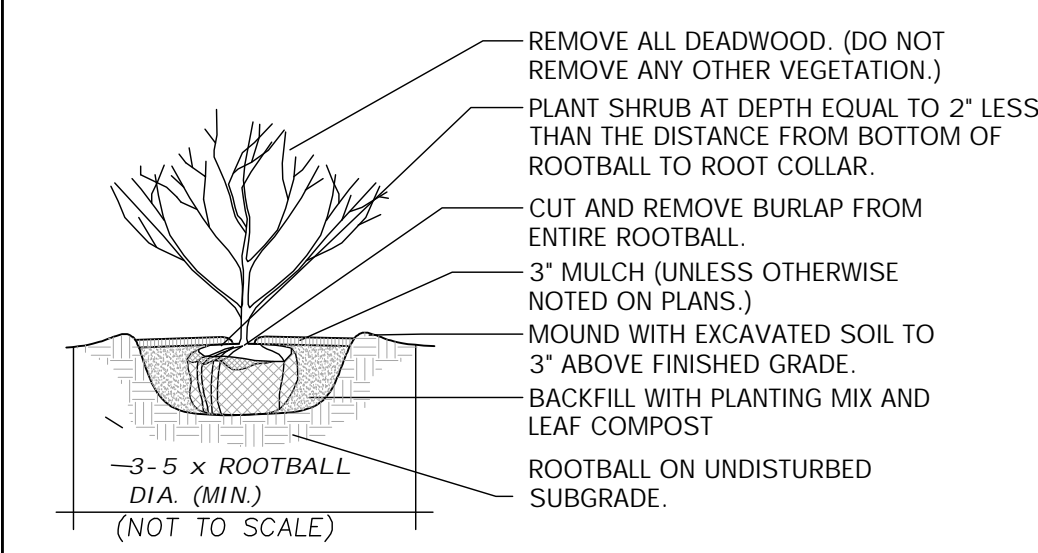
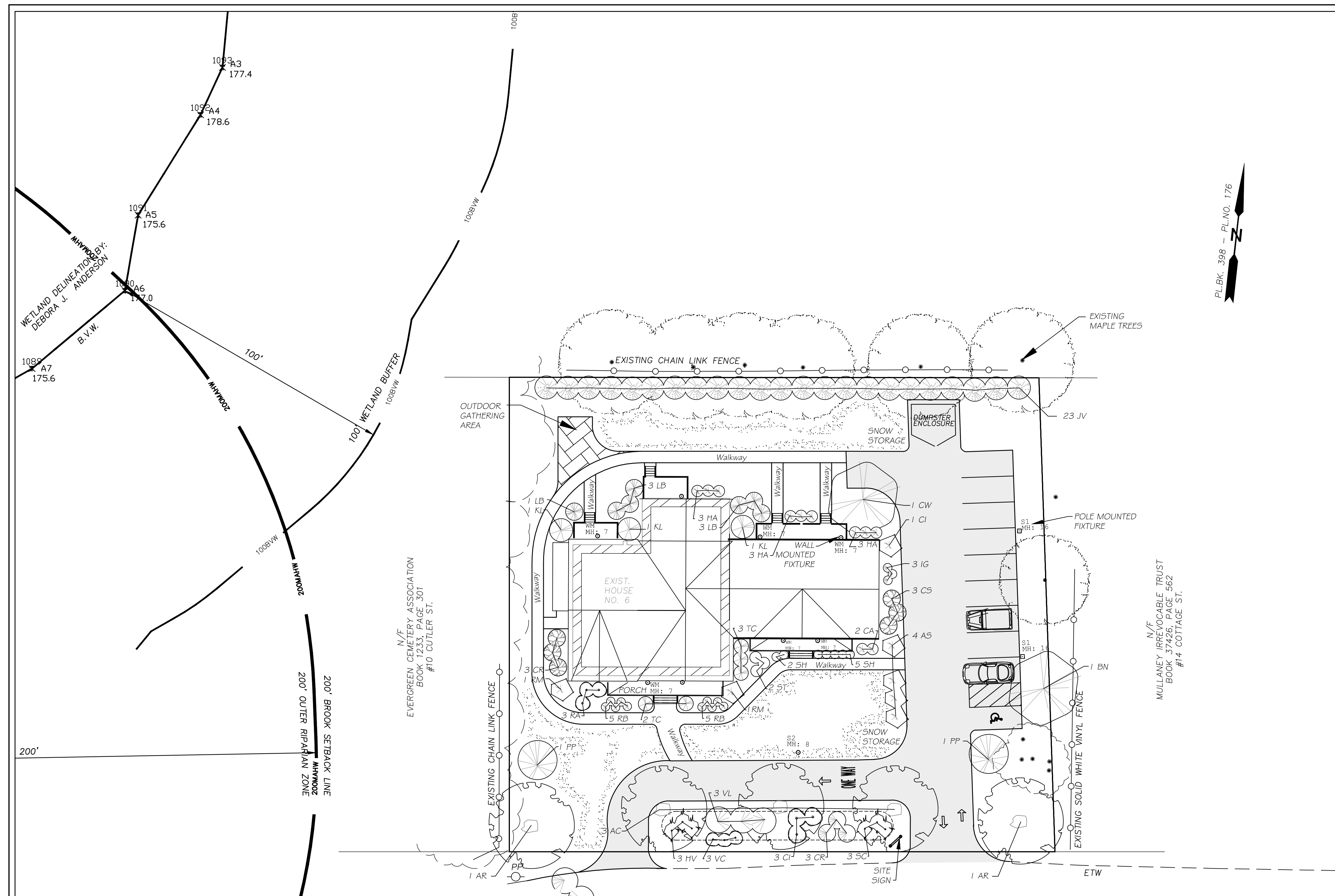
PREPARED FOR:  
CUTLER PLACE LLC  
6 CUTLER STREET  
MEDWAY MA 02053

PREPARED BY: RONALD TIBERI P.E.  
9 MASSACHUSETTS AVE.  
NATICK MA 01760

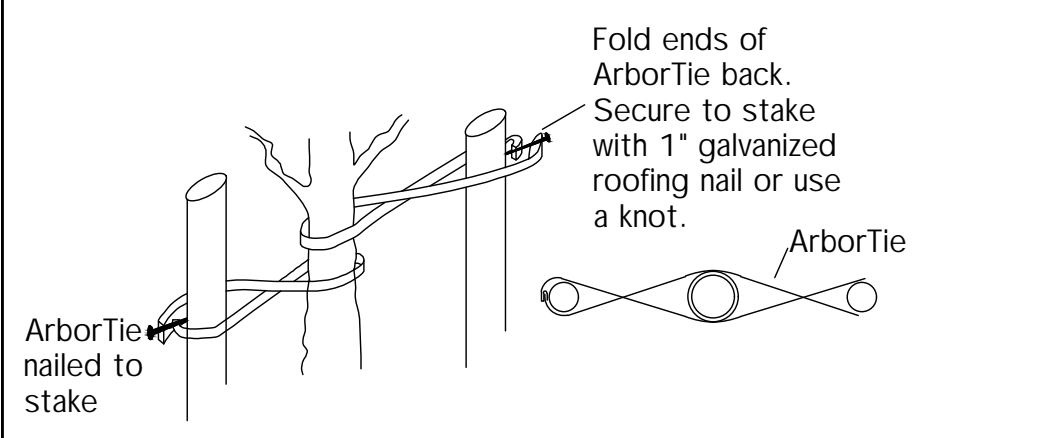
DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

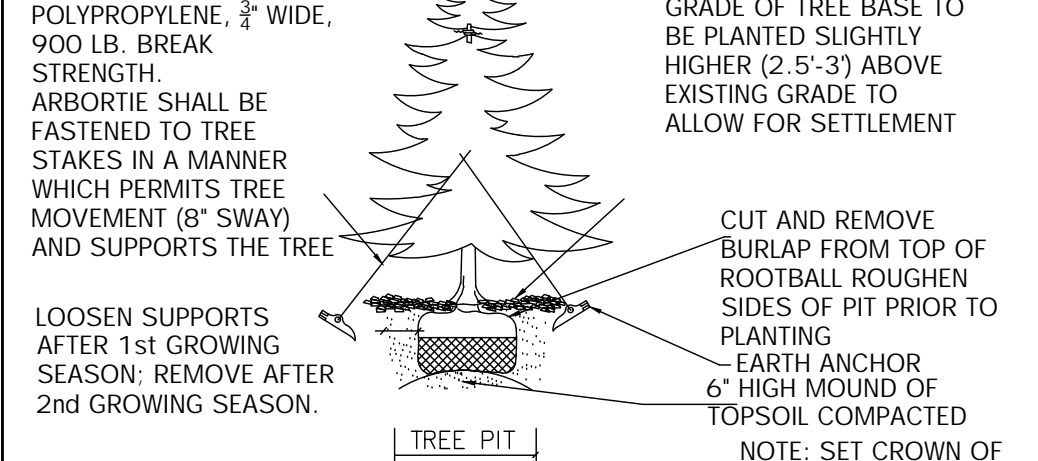
DATE: NOV 1, 2021



SHRUB PLANTING



EVERGREEN TREE PLANTING



DECIDUOUS TREE PLANTING

- LANDSCAPING NOTES
1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
  2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
  3. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
  4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
  5. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
  6. ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
  7. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
  8. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
  9. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
  10. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
  11. ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
  12. PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS, SOIL AND PLANT TISSUE TESTING LABORATORY, WEST EXPERIMENT STATION, 682 NORTH PLEASANT ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.
  13. LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND 30% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
  14. SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP. PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150SF.
  15. LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDS ARE ESTABLISHED. THE WATERING SHALL OCCUR IN SMALL DOSES, THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDS AREAS UNTIL THE SEEDS AREAS HAVE BEEN ACCEPTED.
  16. THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN AT LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
  17. PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
  18. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWN, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL WET A 20'-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
  19. WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO HEMLOCK, PINE, SPRUCE, OR CEDAR MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
  20. ALL LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF BARK MULCH.
  21. LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.
  22. ALL TREE AND VEGETATION REMOVAL SHALL BE IN COORDINATION WITH THE PROJECT LANDSCAPE ARCHITECT.

APPROVED BY PLANNING BOARD

DATE: \_\_\_\_\_



REVISIONS	
No.	DESCRIPTION

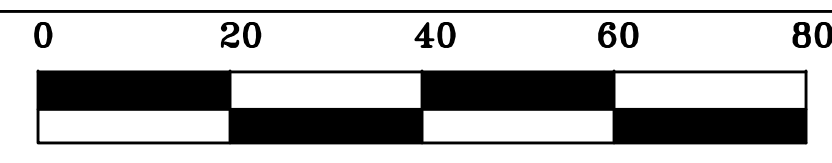
**PROPOSED  
LANDSCAPE PLAN  
IN  
MEDWAY, MASSACHUSETTS  
  
6 CUTLER STREET**

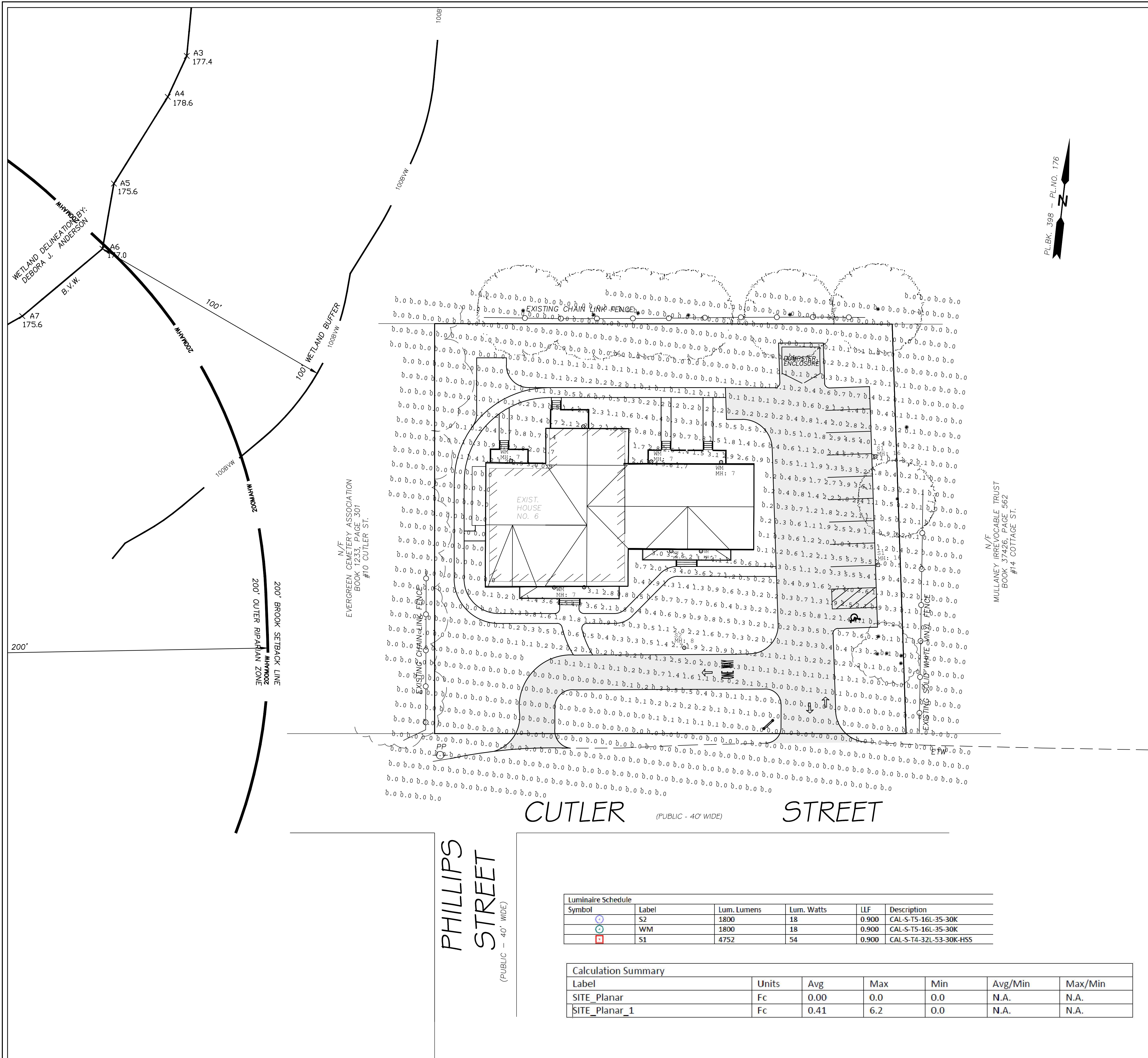
PREPARED FOR: **CUTLER PLACE LLC  
6 CUTLER STREET  
MEDWAY MA 02053**

PREPARED By: **RONALD TIBERI P.E.  
9 MASSACHUSETTS AVE.  
NATICK MA 01760**

DRAWING SCALE: 1 inch = 20 feet  
PROJECT NUMBER: 2155  
DATE: NOVEMBER 1, 2021 **L-1**

Qty	Key	Common Name	Botanical Name	Size	Remarks
<b>TREES</b>					
5	AR	Red Maple	<i>Acer rubrum</i>	3" Cal.	B&B
4	AS	Serviceberry	<i>Amelanchier canadensis</i>	8' Ht.	B&B (Singlestem)
1	BN	River Birch	<i>Betula nigra</i>	12' Ht.	B&B (Multi-stem)
1	CW	Washington Hawthorn	<i>Crataegus phaenopyrum</i>	3" Cal.	B&B
23	JV	Eastern Red Cedar	<i>Juniperus virginiana</i>	8' Ht.	B&B
2	PP	Blue Spruce	<i>Picea Pungens</i>	8' Ht.	B&B
<b>SHRUBS</b>					
2	CA	Summersweet Clethra	<i>Clethra Alnifolia</i>	#7 Pot	Container Grown
4	CI	Silky Dogwood	<i>Cornus amonum</i>	36" Ht.	B&B
6	CR	Gray Dogwood	<i>Cornus racemosa</i>	36" Ht.	B&B
3	CS	Red Osier Dogwood	<i>Cornus sericea</i>	36" Ht.	B&B
9	HA	Smooth hydrangea	<i>Hydrangea arborescens</i>	36" Ht.	B&B
3	HV	Common Witchazel	<i>Hamamelis virginiana</i>	36" Ht.	B&B
3	IG	'Shamrock' Inkberry	<i>Ilex glabra 'Shamrock'</i>	36" Ht.	B&B
7	KL	Mountain Laurel	<i>Kalmia latifolia</i>	48" Ht.	B&B
7	LB	Common Spicebush	<i>Lindera benzoin</i>	36" Ht.	B&B
3	RA	Roseshell Azalea	<i>Rhododendron roseum</i>	36" Ht.	B&B
10	RB	Caroline Rose	<i>Rosa carolina</i>	36" Ht.	B&B
2	RM	Great Laurel	<i>Rhododendron maximum</i>	36" Ht.	B&B
3	SC	Elderberry	<i>Sambucus canadensis</i>	36" Ht.	B&B
3	ST	Hardback Spirea	<i>Spiraea tomentosa</i>	18" Ht.	B&B
5	TC	Canadian Yew	<i>Taxus canadensis</i>	36" Ht.	B&B
3	VC	Highbush Blueberry	<i>Vaccinium corymbosum</i>	36" Ht.	B&B
3	VL	Nannyberry	<i>Viburnum lentago</i>	36" Ht.	B&B
<b>PERENNIALS</b>					
7	SH	'Hameln' Fountain Grass	<i>Pennisetum alopecuroides 'Hameln'</i>	#3 Pot	Container Grown





PLBK 398 - PLNO. 176

N/F  
MULLANEY IRREVOCABLE TRUST  
BOOK 37426, PAGE 562  
#14 COTTAGE ST.

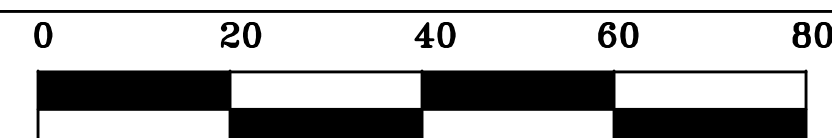
N/F  
EVERGREEN CEMETERY ASSOCIATION  
BOOK 12333, PAGE 301  
#10 CUTLER ST.

CUTLER STREET (PUBLIC - 40' WIDE)

PHILLIPS STREET (PUBLIC - 40' WIDE)

Symbol	Label	Lum. Lumens	Lum. Watts	LLF	Description
⊙	S2	1800	18	0.900	CAL-S-T5-16L-35-30K
⊙	WM	1800	18	0.900	CAL-S-T5-16L-35-30K
⊙	S1	4752	54	0.900	CAL-S-T4-32L-53-30K-HSS

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE_Planar	Fc	0.00	0.0	0.0	N.A.	N.A.
SITE_Planar_1	Fc	0.41	6.2	0.0	N.A.	N.A.



WM & S1 SITE & BUILDING LIGHTING

APPROVED BY PLANNING BOARD  
DATE: \_\_\_\_\_



REVISIONS		
No.	DATE	DESCRIPTION

**PROPOSED LIGHTING PLAN**  
IN  
MEDWAY, MASSACHUSETTS

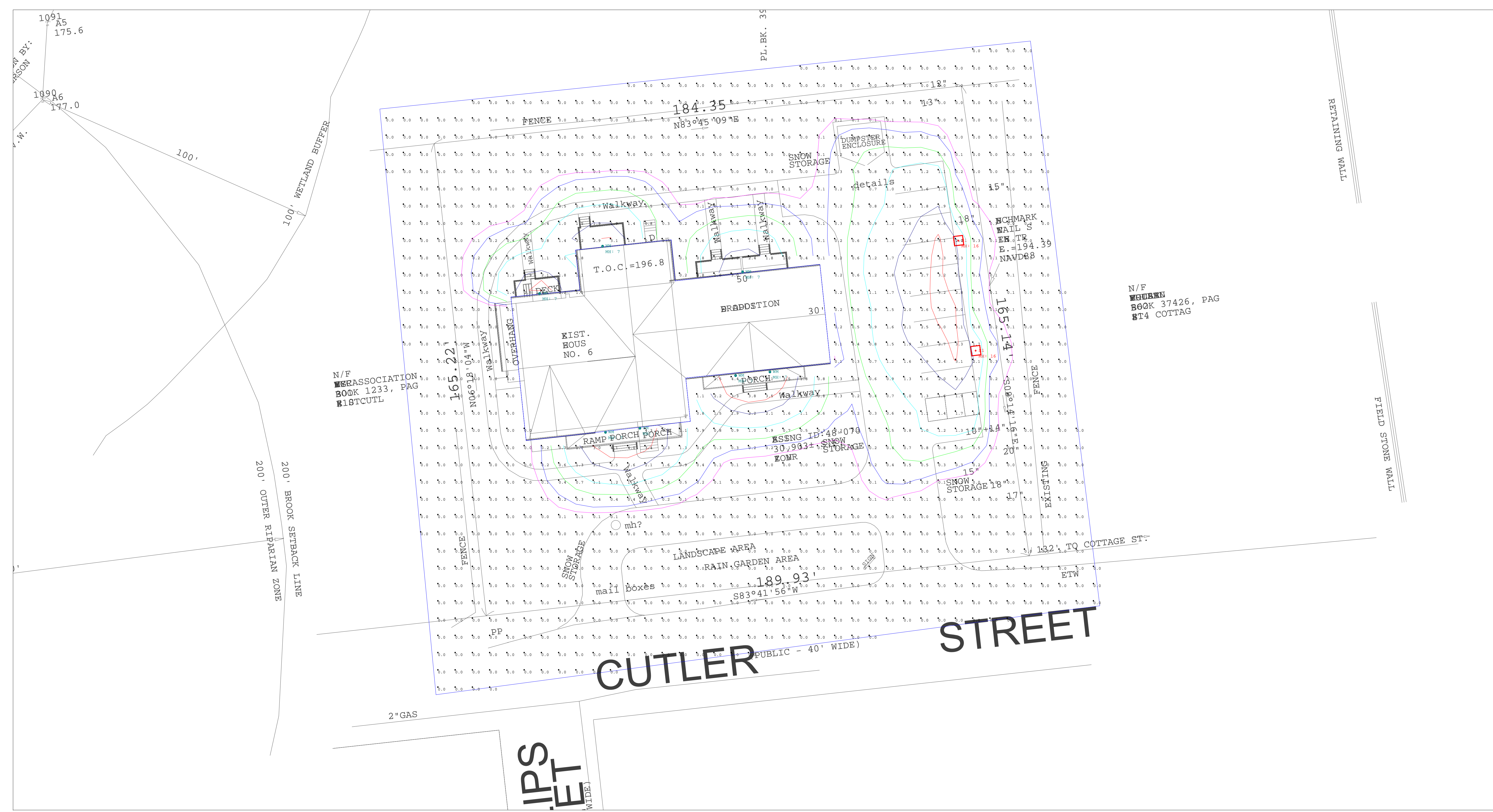
**6 CUTLER STREET**

PREPARED FOR: CUTLER PLACE LLC  
6 CUTLER STREET  
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.  
9 MASSACHUSETTS AVE.  
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet  
PROJECT NUMBER: 2155  
DATE: NOVEMBER 1, 2021





Room Summary	
Label	Wall Ht.

Luminaire Schedule					
Symbol	Label	Lum. Lumens	Lum. Watts	LLF	Description
⊕	WM	2255	18.8	0.900	CLA-M-T5-16L-35-30K-UNV
⊞	S1	4047	71	0.900	CLA-1-T4-32L-7-30K-UNV-HSS

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE_Planar	Fc	0.00	0.0	0.0	N.A.	N.A.
SITE_Planar_1	Fc	0.35	5.1	0.0	N.A.	N.A.



#	Date	Comments
X	XX/XX	XXXXXXXXXX

Revisions	

Drawn By: LH	Checked By:
Date:	Specifier:
Scale: NTS	

**6 Cutler Street**  
Medway, MA

Floor Construction	0 (1 Hour Dwelling Unit Separation)	-
Roof Construction	0	-
Existing shafts < 4 stories (IEBC 803.2.1 Exception 5)	0	0
New shafts < 4 stories (IBC 713.4)	1	3/4
Dwelling unit separation walls and floor/ceiling assemblies (IBC 708.3 & 711.2.4.3)	1	3/4

**Exterior Wall Openings:** The fire separation distance in this location is greater than 10 feet around the full perimeter of the building and therefore exterior walls do not require a fire rating and openings are not limited (IBC 705.8.1 Exception 2 & Table 602).

**New Interior Finishes:**

**Walls & Ceilings (IBC Table 803.11)**

<b>Use Group:</b>	R-2
Rooms & Enclosed Spaces	Class C

**Means of Egress:** Each unit only requires a single means of egress since the occupant load of each unit does not exceed 20 people, the common path of travel does not exceed 125 feet, and the building will be protected with an NFPA 13R sprinkler system IIBC 1006.2.1 Exception 1). Emergency escape and rescue openings must be provided in accordance with IBC Section 1030.

**Fire Protection Systems:** Sprinkler System –NFPA 13R (780 CMR Table 903.2 Note a) Fire Alarm System (780 CMR 903.4.2) Single- and Multiple-station smoke alarms (IBC 907.2.9.2) Carbon monoxide detection (IBC 915 & 527 CMR) Fire extinguishers (527 CMR 1, Table 13.6.2(a) & IBC 906.1)

**Energy Code:** The alterations (new elements) shall conform to the energy requirements of the IECC as they relate to new construction only (IEBC 908.1). The Stretch Energy Code does not apply to existing buildings (780 CMR Appendix AA101.2).

**Accessibility:** Since there are less than 20 units, none of the units are required to comply with the requirements for Group 2 adaptable units in the Massachusetts Architectural Access Board's Regulations (521 CMR 9.4). Units in the existing building are not required to comply with Group 1 requirements (521 CMR 9.2.2) and the units in the new addition are also not required to comply with Group 1 requirements since they are townhouse style units (521 CMR 9.6). The only common areas are located in the existing building and are not required to be accessible since they are less than 12 total units (521 CMR 10.1).

**PRELIMINARY CODE SUMMARY**

**6 Cutler Street  
 Medway, Massachusetts**

October 12, 2021

Code Type	Applicable Code (Model Code Basis)
<b>Building</b>	780 CMR: Massachusetts State Building Code, 9 <sup>th</sup> Edition Amended 2015 International Building Code (IBC) Amended 2015 International Existing Building Code (IEBC)
<b>Fire Prevention</b>	527 CMR: Massachusetts Fire Prevention Regulations Amended 2015 NFPA 1
<b>Accessibility</b>	521 CMR: Massachusetts Architectural Access Board Regulations
<b>Electrical</b>	527 CMR 12.00: Massachusetts Electrical Code Amended 2020 National Electrical Code
<b>Mechanical</b>	2015 International Mechanical Code (IMC)
<b>Plumbing</b>	248 CMR: Massachusetts Plumbing Code
<b>Energy Conservation</b>	2018 International Energy Conservation Code (IECC)

**IEBC Compliance Method:** Work Area Method

**IEBC Level of Work:** Level 3 Alteration & Addition  
 Work Area > 50% of Building Area (IEBC Section 505)

**Occupancy Classification:** Existing: Use Group A-3 (American Legion Hall)  
 Proposed: Use Group R-2 (Multi-Family Residential)

**Construction Type:** Type VB (unprotected, combustible)

**Fire Resistance Ratings:**

Building Element	Fire Resistance Rating (Hrs)	Opening Protectives (Hrs)
Primary Structural Frame	0	-
Exterior Bearing Walls	0	-
Interior Bearing Walls	0	-


hastings-consulting.com | 142 Hanlon Road, Holliston, MA 01746 | 508.397.8417

**For Zoning**

WARNING: The Designer/Professional, all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for permit. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards. © 2021- all rights reserved

contractor

stamp



revision	revision description	date
4	PEDB	11/17/2021

project title  
**CUTLER PLACE**

6 CUTLER STREET, MEDWAY, MA 02053

client  
**ANTHONY VARRICHIONE**  
 249 VILLAGE STREET, MEDWAY, MA 02053

Alex Siekierski, RA  
 Architectural Consultant

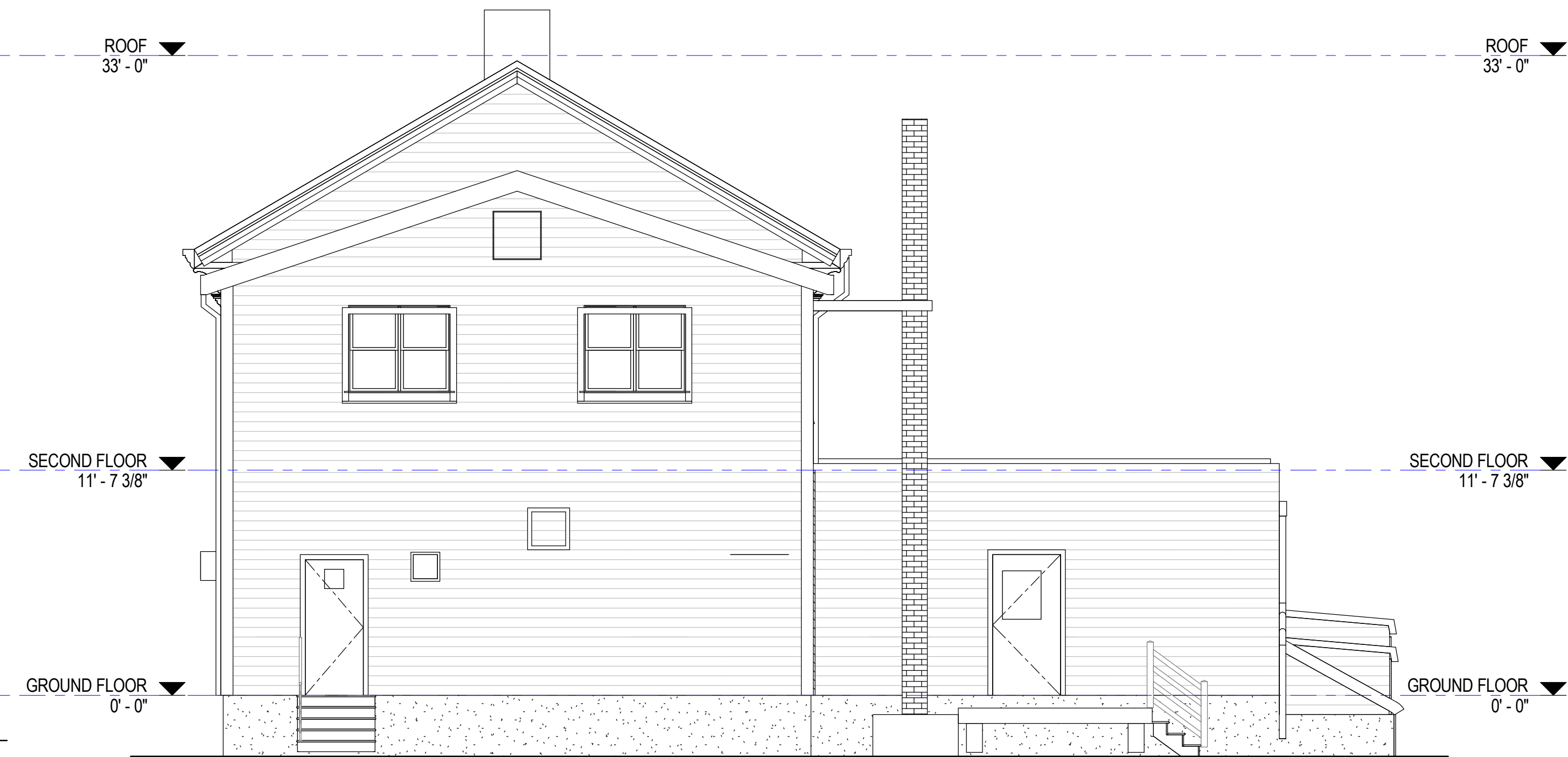
location 33 Loving Street  
 Medway, MA 02053  
 t: +1(617) 894-8654  
 e: siekierski.alex@gmail.com

drawing title  
**CODES & REGULATIONS**

project number	drawing scale	approver
21.013	12" = 1'-0"	<b>Approver</b>
drawing number	revision	
<b>A001</b>	4	



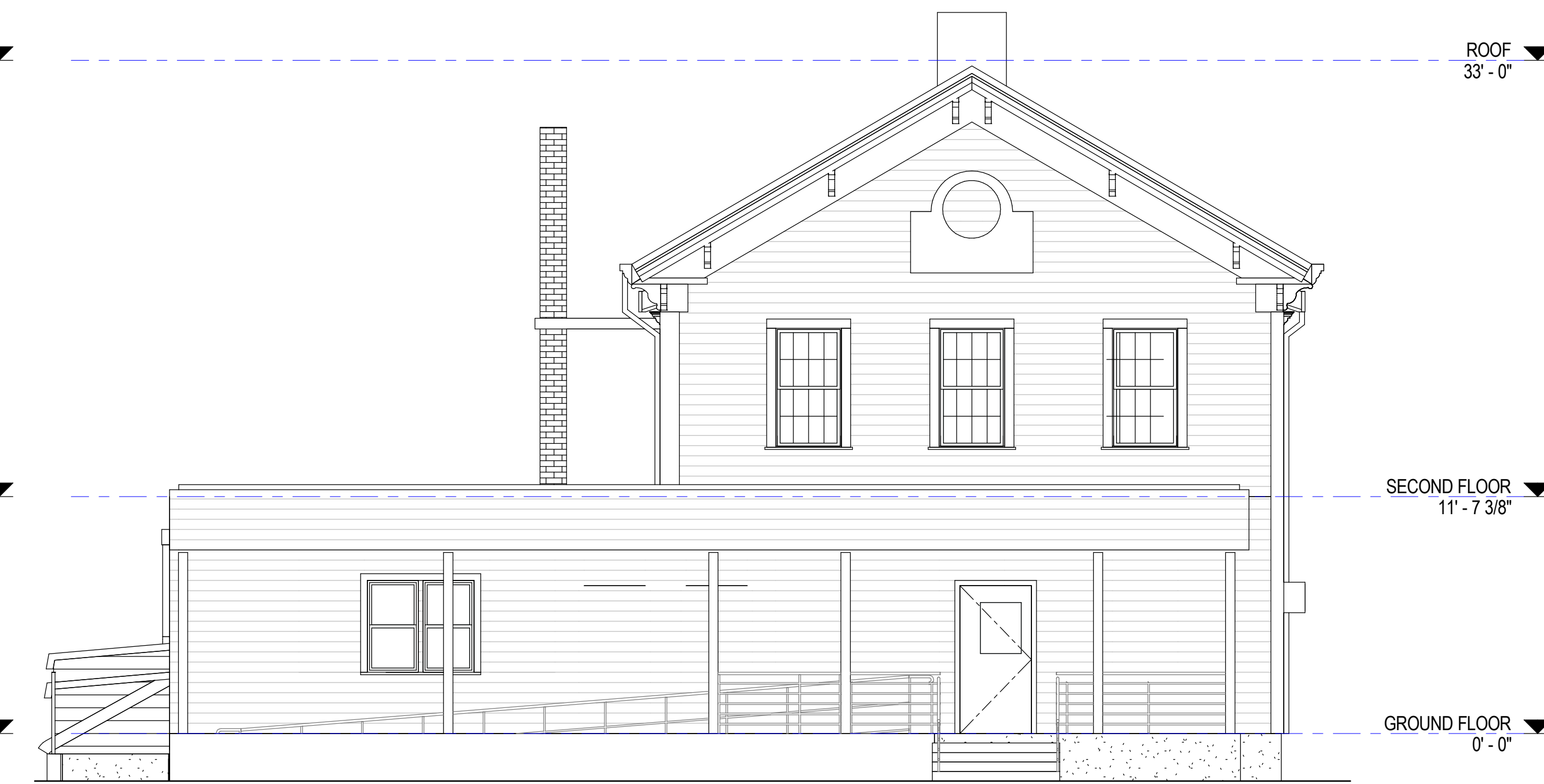
① EXISTING EAST ELEVATION  
3/16" = 1'-0"



② EXISTING NORTH ELEVATION  
3/16" = 1'-0"



④ EXISTING WEST ELEVATION  
3/16" = 1'-0"



③ EXISTING SOUTH ELEVATION  
3/16" = 1'-0"

**For Zoning**

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contractor

stamp



revision	revision description	date
1	FOR INFORMATION	03/08/2021
2	FOR INFORMATION	03/24/2021
3	TOWN OF MEDWAY	11/05/2021
4	PEDB	11/17/2021

project title  
CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA  
02053

client  
ANTHONY VARRICHIONE  
249 VILLAGE STREET, MEDWAY, MA  
02053

Alex Siekierski, RA  
Architectural Consultant



location  
33 Lovering Street  
Medway, MA 02053  
t: +1(617) 894-0654  
e: siekierski.alex@gmail.com

drawing title  
**EXISTING ELEVATIONS**

project number	drawing scale	approver
21.013	3/16" = 1'-0"	Approver

drawing number	revision
A042	4



circa 1898 Plainville School - (Americal Legion Hall)



Medway School Class



**For Zoning**

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stamp



revision	revision description	date
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project title  
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 6 CUTLER STREET, MEDWAY, MA  
 02053

client  
**ANTHONY VARRICHIONE**  
 249 VILLAGE STREET, MEDWAY, MA  
 02053

Alex Siekierski, RA  
 Architectural Consultant



location 33 Loving Street  
 Medway, MA 02053  
 t: +1(617) 894-0654  
 e: siekierski.alex@gmail.com

drawing title  
**EXISTING EXTERIOR  
 PHOTOS**

project number <b>21.013</b>	drawing scale	approver <b>Approver</b>
drawing number <b>A043</b>		revision <b>4</b>

2  
A210

SLAB ON GRADE

SLAB ON GRADE

UNCONDITIONED STORAGE

CONDITIONED COMMON AREA

UNIT B STORAGE  
1.77  
84 SF

UNIT A STORAGE  
1.76  
84 SF

UNIT C STORAGE  
1.75  
84 SF

UNIT D STORAGE  
1.72  
84 SF

UNIT E STORAGE  
1.71  
88 SF

UTILITY ROOM  
1.78  
102 SF

FIRE PUMP ROOM  
1.79  
46 SF

DN

1  
A207

3  
A201

For Approval

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contractor

stamp



revision	revision description	date
3	TOWN OF MEDWAY	11/05/2021
4	PEDB	11/17/2021

project title  
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6 CUTLER STREET, MEDWAY, MA  
02053

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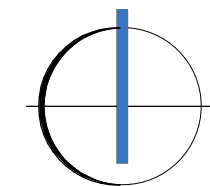
drawing title  
BASEMENT PLAN

project number	drawing scale	approver
21.013	1/4" = 1'-0"	AS
drawing number	revision	

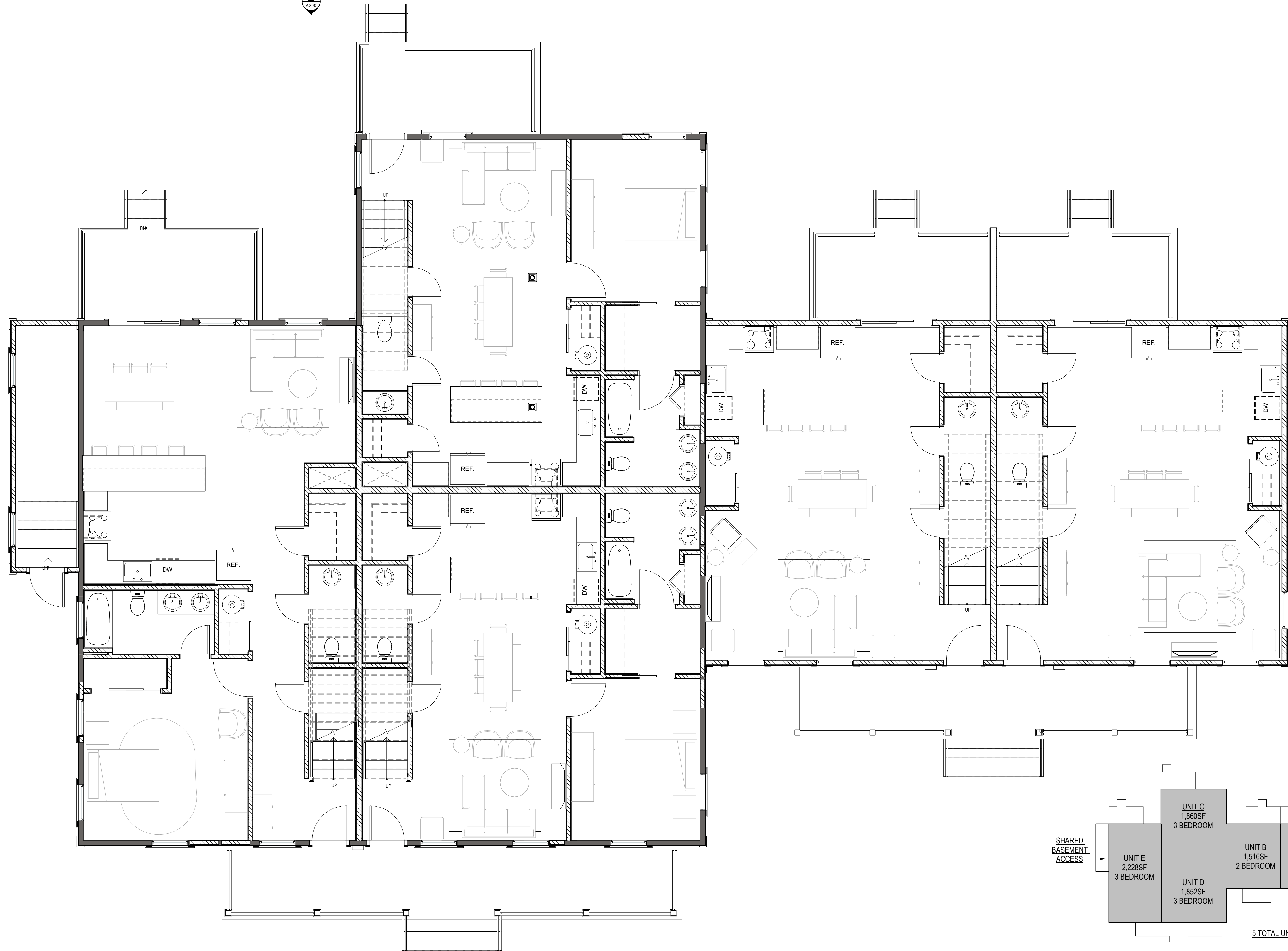
A110 4

1 BASEMENT PLAN  
1/4" = 1'-0"

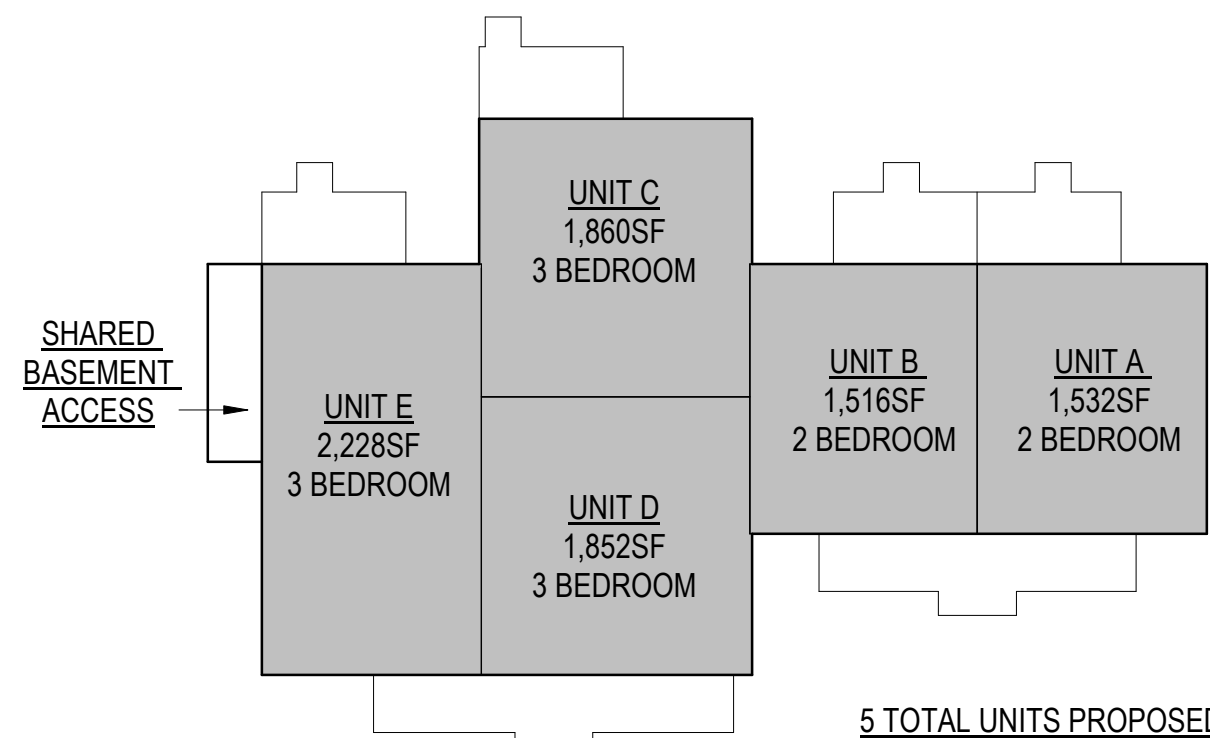
4  
A200



2  
A200



1 FIRST FLOOR PLAN  
1/4" = 1'-0"



2 UNIT KEYPLAN  
3/64" = 1'-0"

5 TOTAL UNITS PROPOSED

**For Approval**

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contractor

stamp



revision	revision description	date
1	FOR INFORMATION	03/08/2021
2	FOR INFORMATION	03/24/2021
3	TOWN OF MEDWAY	11/05/2021
4	PEDB	11/17/2021

project title  
**CUTLER PLACE**

6 CUTLER STREET, MEDWAY, MA  
02053

client  
**ANTHONY VARRICHIONE**  
249 VILLAGE STREET, MEDWAY, MA  
02053

Alex Siekierski, RA  
Architectural Consultant



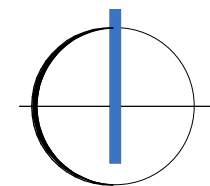
location  
33 Living Street  
Medway, MA 02053  
t: +1(617) 894-0654  
e: siekierski.alex@gmail.com

drawing title  
**GROUND FLOOR PLAN**

project number	drawing scale	approver
21.013	As indicated	Approver
drawing number		revision

**A111**

4

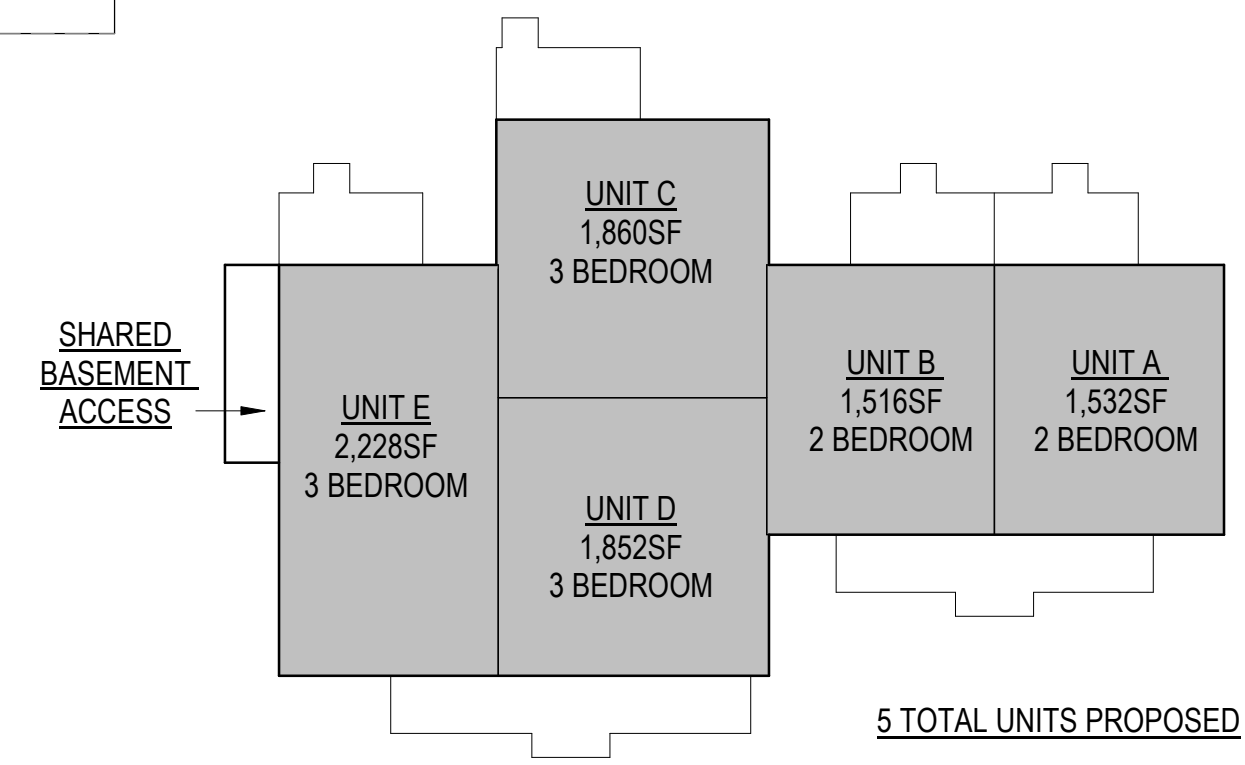
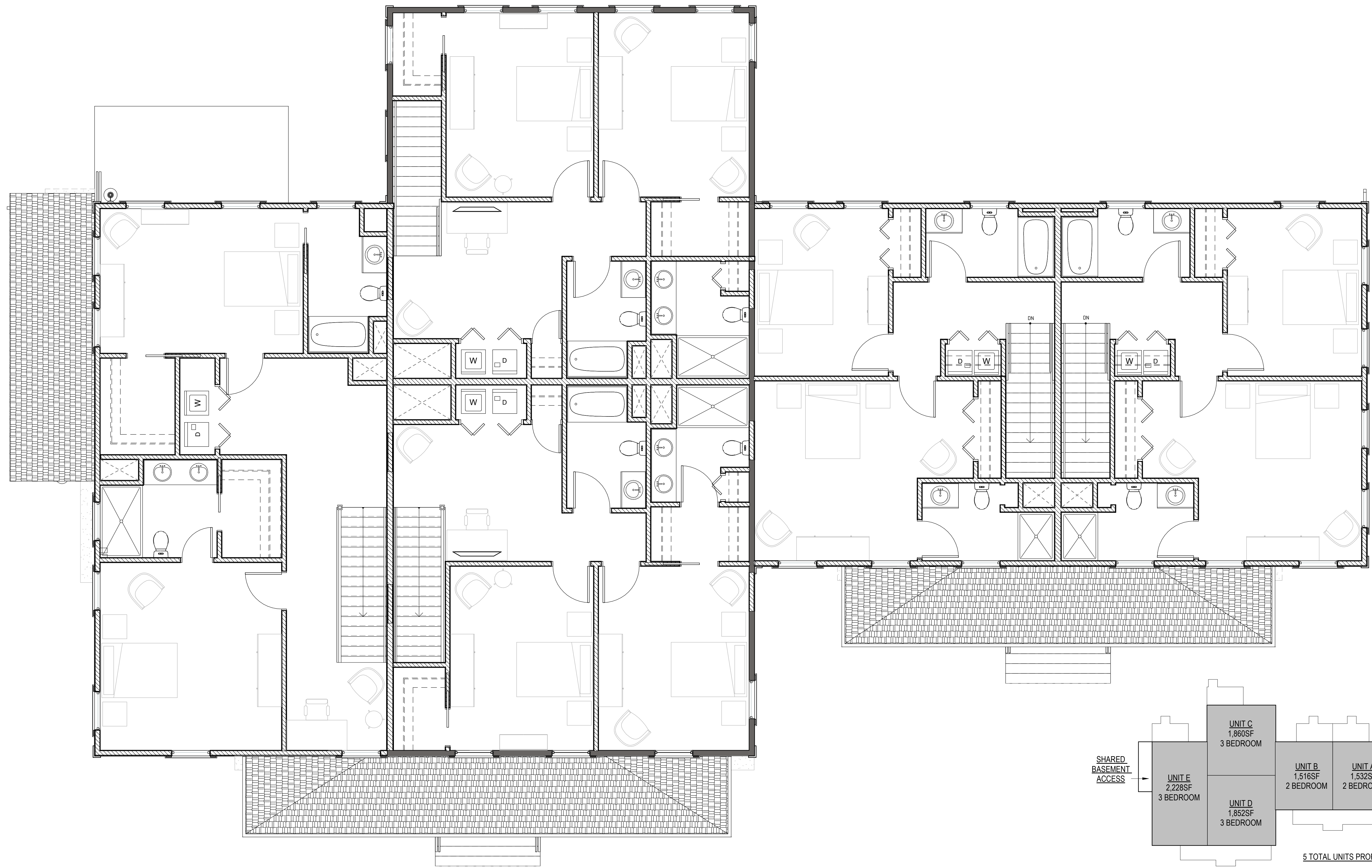


2  
A200

1  
A201

3  
A201

4  
A200



5 TOTAL UNITS PROPOSED

1 SECOND FLOOR PLAN  
1/4" = 1'-0"

2 UNIT KEYPLAN  
3/64" = 1'-0"

**For Zoning**

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contractor



revision	revision description	date
4	PEDB	11/17/2021

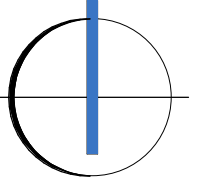
project title  
**CUTLER PLACE**  
6 CUTLER STREET, MEDWAY, MA  
02053

client  
**ANTHONY VARRICHIONE**  
249 VILLAGE STREET, MEDWAY, MA  
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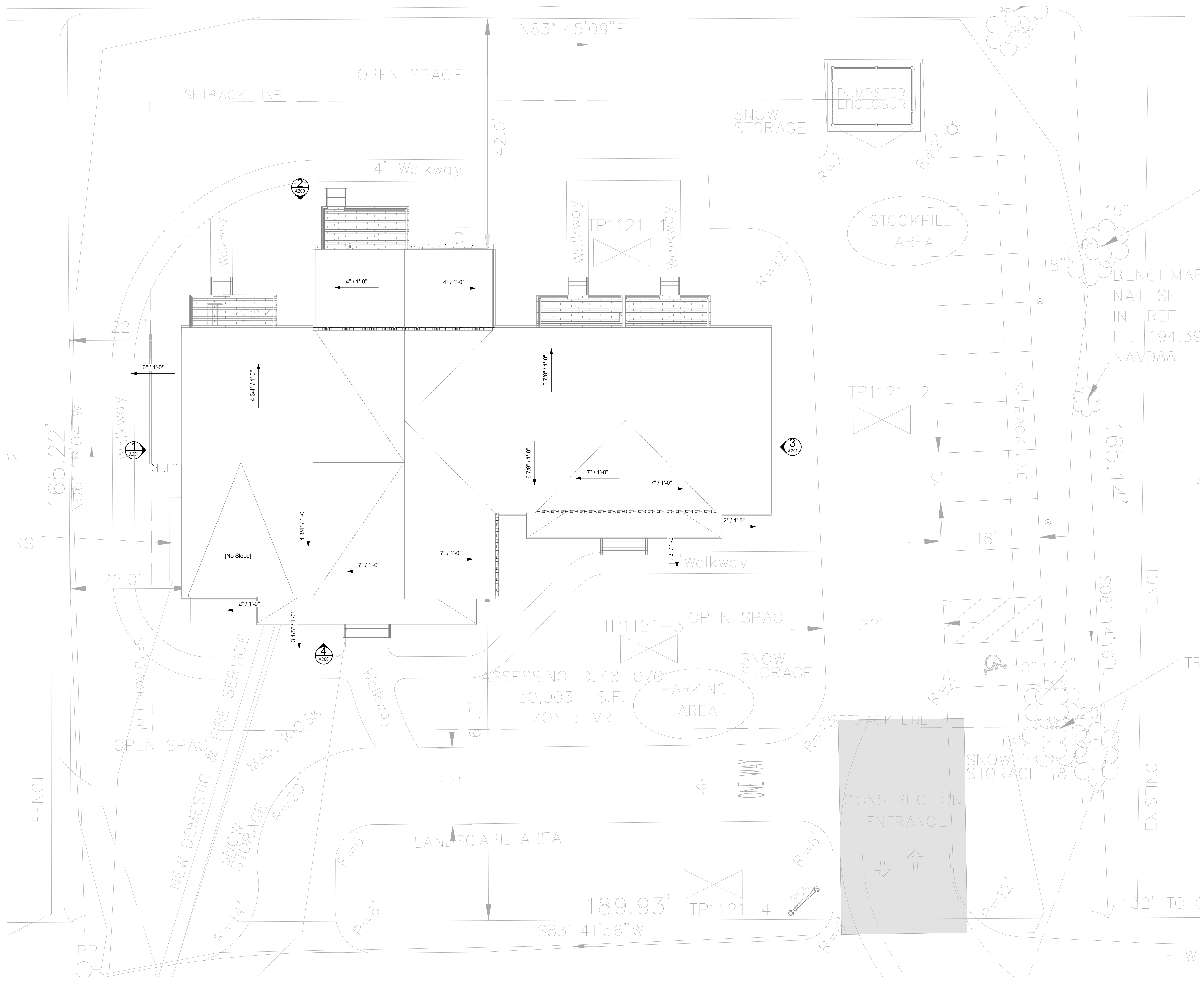
drawing title  
**SECOND FLOOR PLAN**

project number	drawing scale	approver
21.013	As indicated	Approver
drawing number	revision	
A112	4	



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**For Zoning**

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contractor

stamp

revision	revision description	date
4	PEDB	11/17/2021

project title  
**CUTLER PLACE**

6 CUTLER STREET, MEDWAY, MA 02053

client  
ANTHONY VARRICHIONE  
249 VILLAGE STREET, MEDWAY, MA 02053

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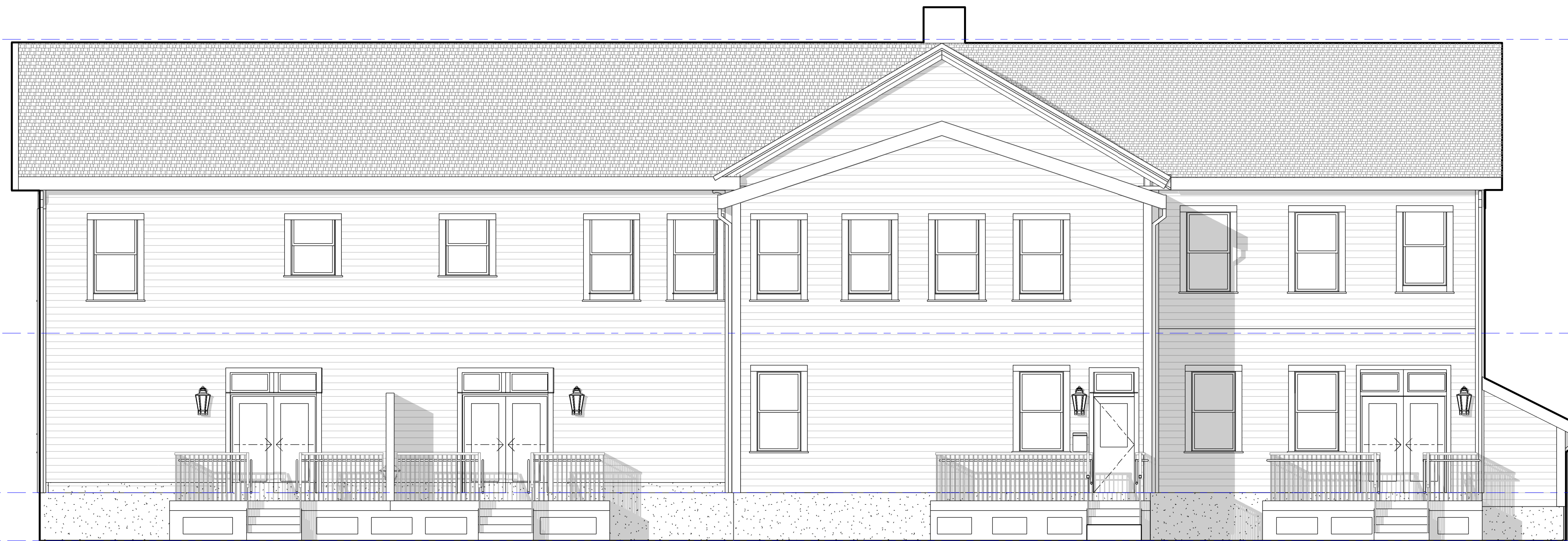
drawing title  
**ROOF PLAN**

project number	drawing scale	approver
21.013	1/8" = 1'-0"	Approver

drawing number  
**A113**

revision  
4





2 PROPOSED NORTH ELEVATION  
3/16" = 1'-0"

ROOF  
33' - 0"

SECOND FLOOR  
11' - 7 3/8"

GROUND FLOOR  
0' - 0"

GRADE  
-3' - 6"



4 PROPOSED SOUTH ELEVATION  
3/16" = 1'-0"

SECOND FLOOR  
11' - 7 3/8"

GROUND FLOOR  
0' - 0"

EXTERIOR MATERIALS



WM & S1 SITE & BUILDING LIGHTING



PVC TRIM (WHITE)



COMPOSITE SIDING CEDAR IMPRESSION (WHITE)



PRESSURE TREATED DECKING & RAILINGS

EXTERIOR MAILBOX



For Approval

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drawing title  
**EXTERIOR ELEVATIONS**

project number	drawing scale	approver
21.013	As indicated	AS
drawing number	revision	
A200		4

EXTERIOR INSPIRATION

the intent of the development is to mimic the architectural features of the 1882 school house and have the new addition to the building look as though it were always there



circa 1888 Plainville School - (Amenial Legion Hall)



Medway School Class

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3 PROPOSED EAST ELEVATION  
3/16" = 1'-0"




1 PROPOSED WEST ELEVATION  
3/16" = 1'-0"


### EXTERIOR MATERIALS




WM & S1 SITE & BUILDING LIGHTING



PVC TRIM (WHITE)



COMPOSITE SIDING CEDAR IMPRESSION (WHITE)



PRESSURE TREATED DECKING & RAILINGS



### EXTERIOR INSPIRATION

the intent of the development is to mimic the architectural features of the 1882 school house and have the new addition to the building look as though it were always there



circa 1882 Plainville School - (American Legion Hall)





Medway School Class

### For Approval

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4	PEDB	11/17/2021

project title  
**CUTLER PLACE**

6 CUTLER STREET, MEDWAY, MA 02053

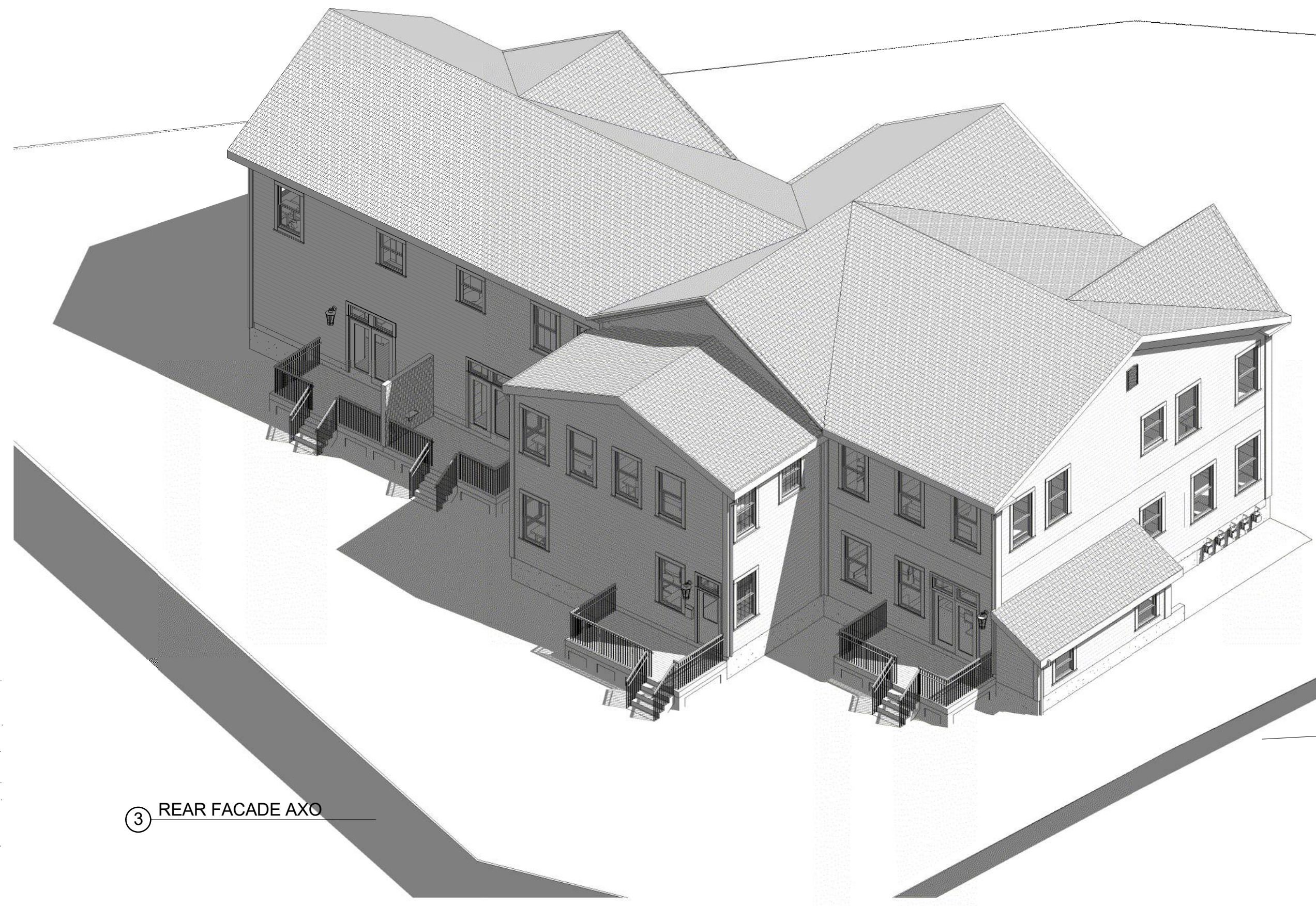
client  
ANTHONY VARRICHIONE  
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e: siekierski.alex@gmail.com

drawing title  
**EXTERIOR ELEVATIONS**

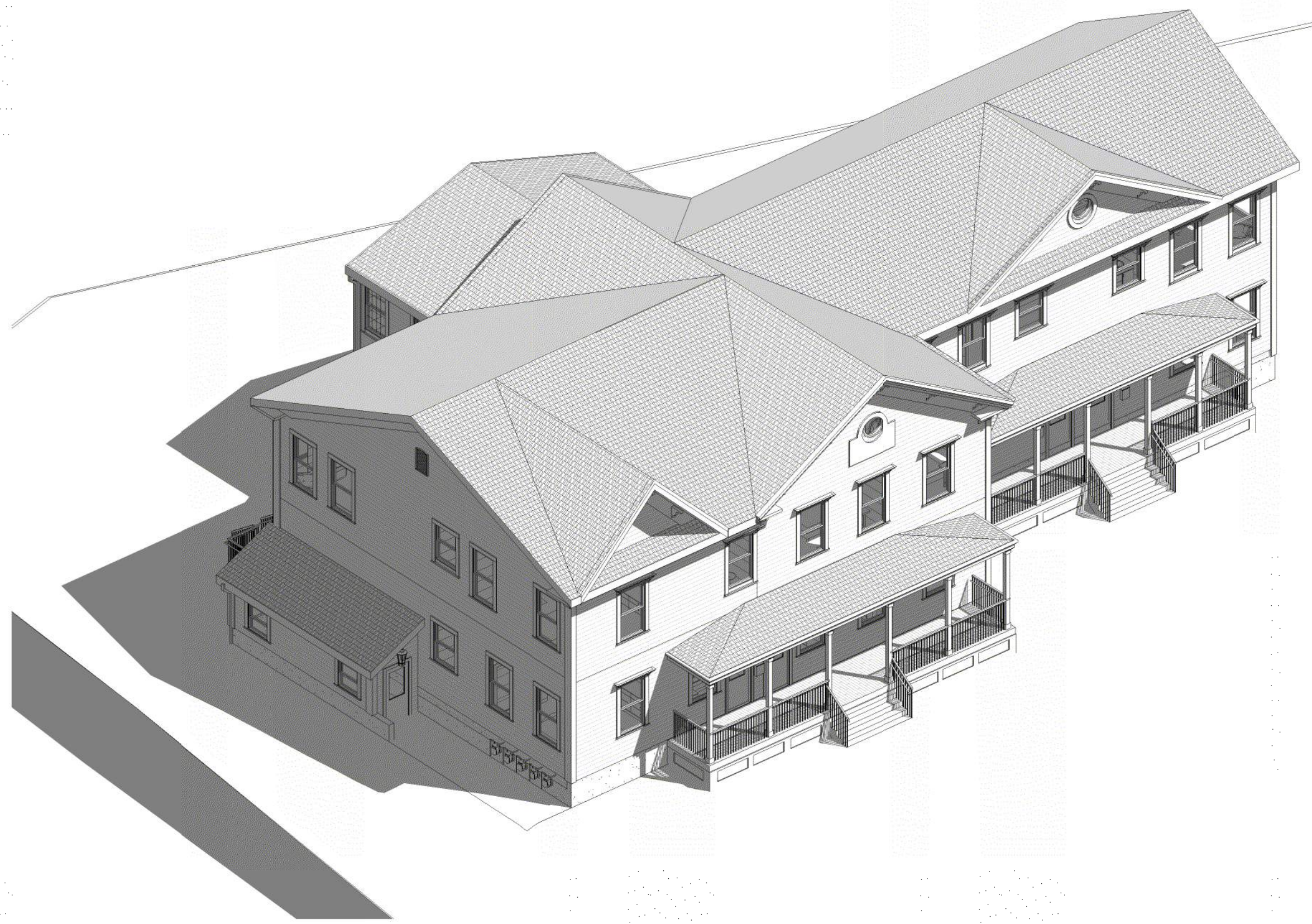
project number	drawing scale	approver
21.013	As indicated	Approver
drawing number	revision	
A201		4



③ REAR FACADE AXO



① FRONT PERSPECTIVE 1



④ FRONT FACADE AXO



② FRONT PERSPECTIVE 2

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drawing title

**3D VIEWS**

project number	drawing scale	approver
21.013		<b>Approver</b>

drawing number	revision
<b>A910</b>	4