

6 CUTLER STREET,
MEDWAY, MA 02053

ANTHONY VARRICHIONE
249 VILLAGE STREET,
MEDWAY, MA 02053

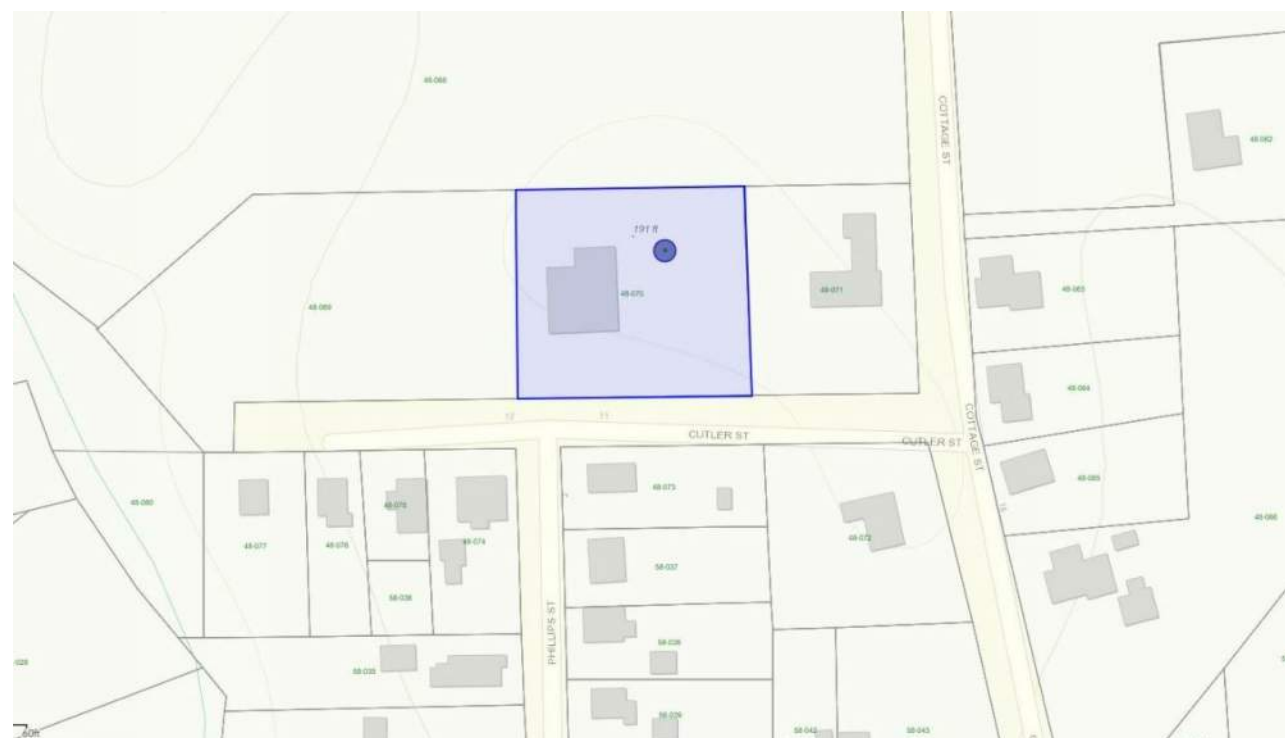
ALEX SIEKIERSKI , RA
33 LOVERING STREET
MEDWAY, MA 02053

LAR GREENE, RLA WDA
DESIGN GROUP
42 JUNGLE ROAD,
LEOMINSTER, MA

CHENEY ENGINEERING CO, INC.
53 MELLE STREET
NEEDHAM MA. 02494

RON TIBERI P.E.
9 MASSACHUSETTS AVENUE,
NATICK, MA 01760

DATE: _____



ABUTTERS LOCUS MAP
1" = 200'

MULTIFAMILY HOUSING TABLE		
	REQUIRED	PROPOSED
LOT AREA	22500	30903
LOT FRONTAGE	50	189
UNIT DENSITY	5.7	5
AFFORDABLE UNITS	1	na
BLDG. HT.	40'	33'
OPEN SPACE	15%	33+%
PARKING SPACES	8	13

LOT 6
6 CUTLER STREET
ACCESSING ID - 49-51
ZONE - VR
DISTRICT

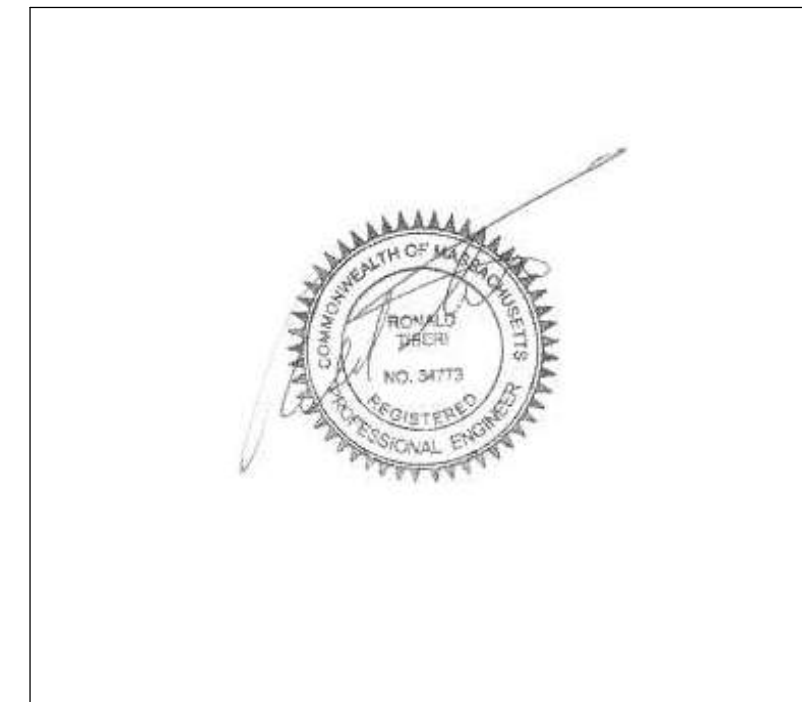
_____, Clerk
of the Town of Medway, received and recorded approval from the Planning
and Economic Development Board of this plan and its corresponding decision
on _____ and no appeal was
taken for twenty (20) days, thereafter.

SIGNATURE _____ 12/28/2021
DATE

This project is subject to a performance security covenant to be recorded
herewith.

ZONING TABLE – VR DISTRICT			
	REQUIRED	EXISTING	PROPOSED
LOT AREA	32500	30903	30903
LOT FRONTAGE	150	189.9	189.9
LOT WIDTH	NA	186	166+
FRONT SETBACK	30	61	61
SIDE SETBACK	10	22	22
REAR SETBACK	10	42	42
BLDG. HT.	35'	33'	38'
LOT COVERAGE (BUILDINGS)	30%	10%	15.5%
LOT COVERAGE (IMPERVIOUS)	40%	72%	33.0%
PARKING	1.5/UNIT	–	2.6/UNIT

T-1	COVER SHEET
S-0	EXISTING CONDITIONS PLAN
S-1	EXISTING CONDITIONS & WETLANDS PLAN
S-2	PROPOSED SITE & UTILITY LAYOUT PLAN
S-3	DRAINAGE & GRADING PLAN
S-4	EROSION CONTROL & CONSTRUCTION PLAN
S-5	DETAILS
L-1	PROPOSED LANDSCAPE PLAN
L-2	LIGHTING PLAN
A001	CODES & REGULATIONS
A042	EXISTING ELEVATIONS
A110	BASEMENT PLAN
A111	GROUND FLOOR PLAN
A112	SECOND FLOOR PLAN
A113	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A910	3D VIEWS



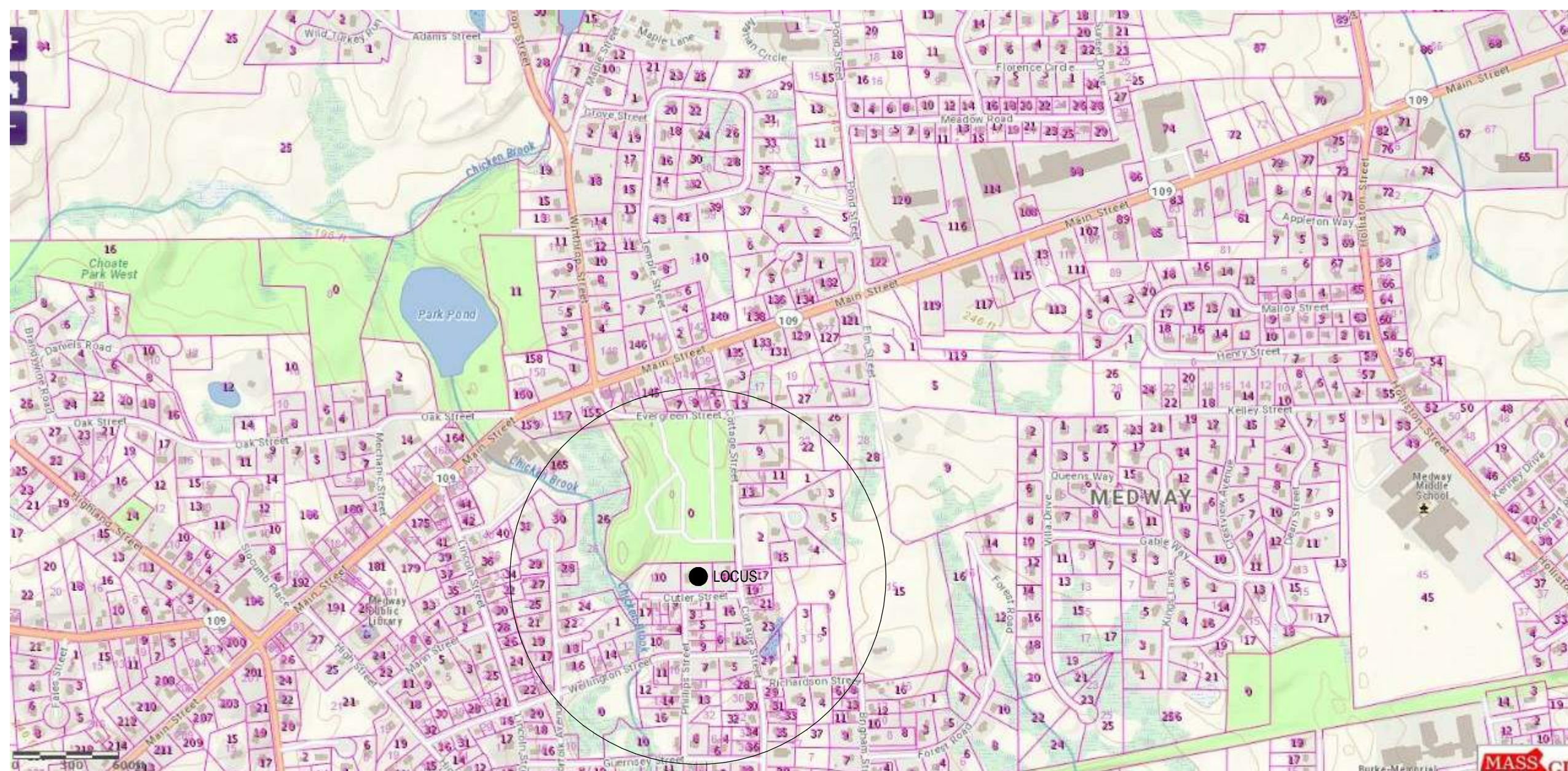
CH 200 §204 □ 3 K - Resource Area Delineation (ORAD)

Ch. 200 §207-11.A.3 & B.30 Driveway and parking stall dimension reductions

Ch. 200 §207-9.B.3 □ Frontage sidewalk

Ch. 200 §207-19.B - 15 foot landscape buffer reduced to 11.5

Ch. 200 §207-19. C Min 10% internal landscaping and landscape islands



LOCUS MAP
1" = 300'

I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

12/28/2021
DATE

RONALD TIBERI P.E.

FOR REGISTRY

_____, Clerk
of the Town of Medway, received and recorded approval from the Planning
and Economic Development Board of this plan and its corresponding decision
on _____ and no appeal was
taken for twenty (20) days, thereafter.

SIGNATURE _____ 12/28/2021
DATE

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herewith.

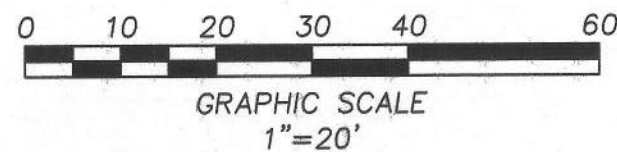
LEGEND

BIT. BITUMINOUS
ETW EDGE OF TRAVELED WAY
F.F. FINISHED FLOOR
GG GAS GATE
INV. INVERT
PP POWER POLE
SMH SEWER MANHOLE
GAR. GARAGE
TH THRESHOLD
T.O.C. TOP OF CONCRETE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR



NOTES:

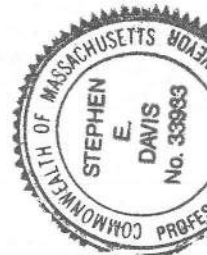
- SUBJECT TO ANY STATEMENT OF FACT AN UP-TO -DATE ABSTRACT OF TITLE WOULD DISCLOSE.
- SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN. SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE, DIG SAFE CALL CENTER AT 1-888-3444-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.



EXISTING CONDITIONS PLAN
#6 CUTLER STREET
MEDWAY, MASSACHUSETTS
NORFOLK COUNTY
AS PREPARED FOR
RONALD TIBERI

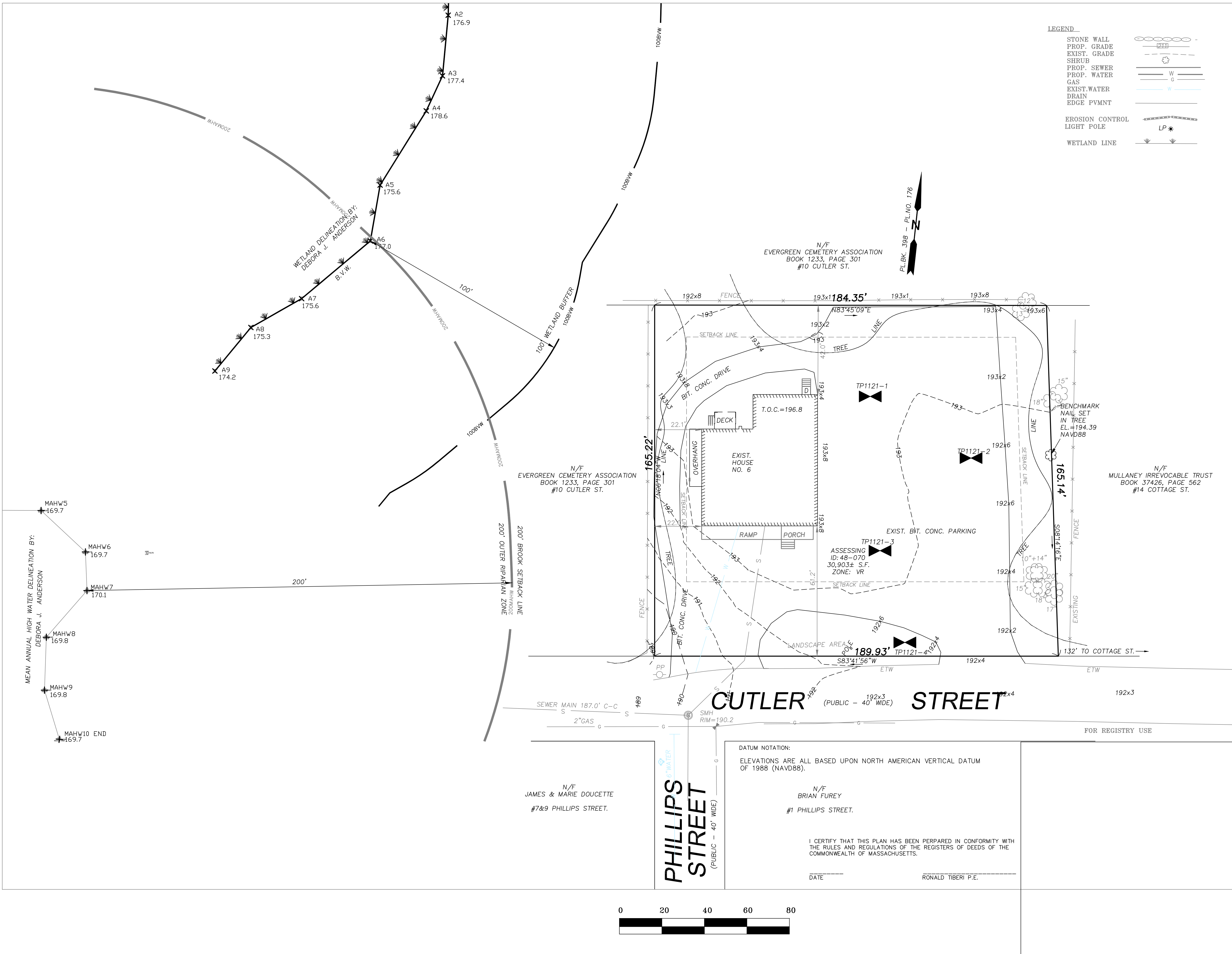
CHENEY
ENGINEERING CO., INC.

53 WELLEN STREET
NEEDHAM, MA 02494
TEL. 781-444-2188
admin@cheney-eng.com



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

DATE: 7/22/2021
PROJECT # 6191



GENERAL SITE NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
- THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED BY PLANNING BOARD

DATE: _____

REVISIONS		
No.	DATE	DESCRIPTION
1.	12/23/21	PEER & TOWN REVIEW COMMENTS

WETLANDS & EXISTING CONDITONS PLAN

IN
MEDWAY, MASSACHUSETTS

CUTLER PLACE 6 CUTLER STREET

PREPARED FOR: CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053

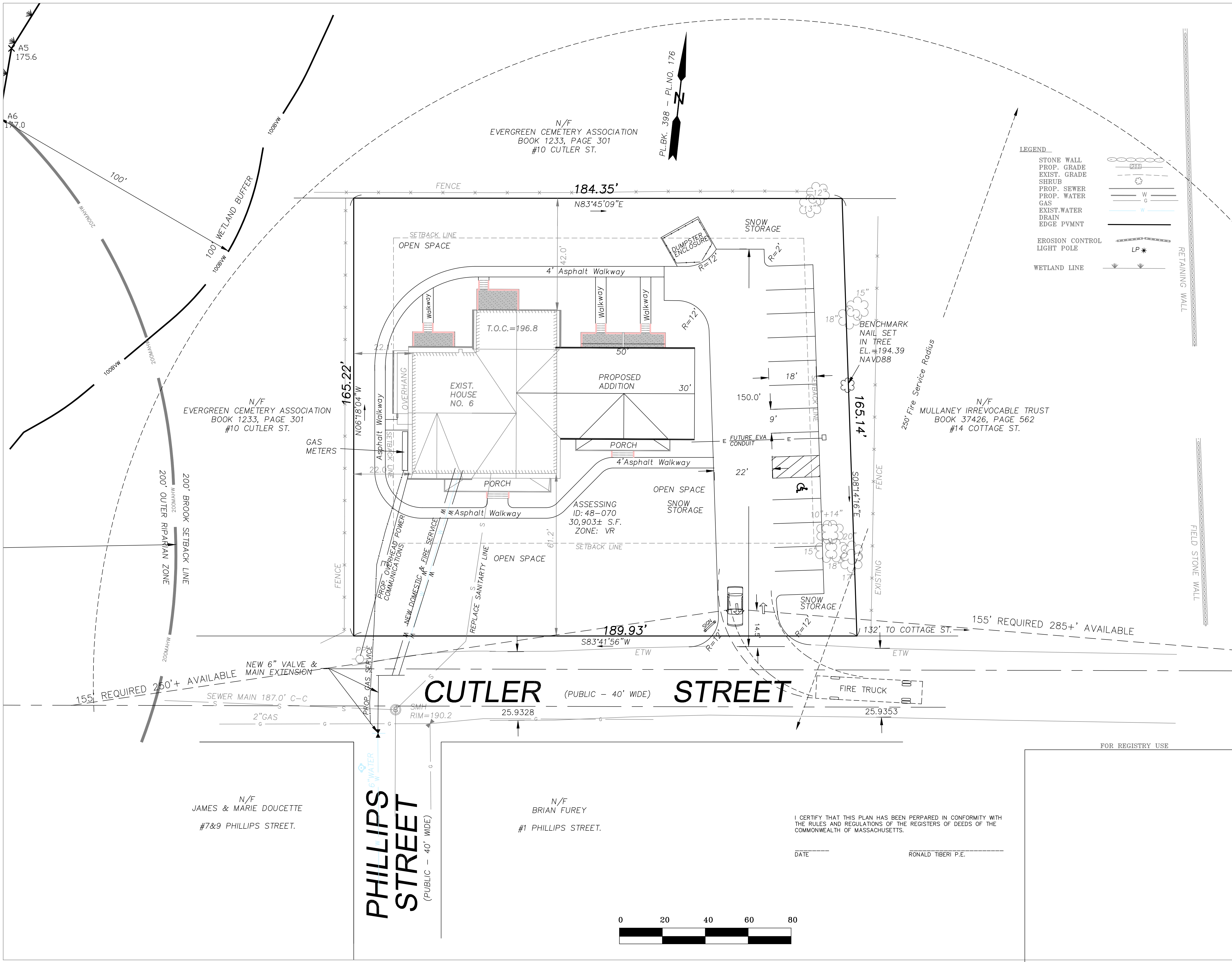
PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

DATE: NOV 1. 2021

S-1



GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
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5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
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APPROVED BY PLANNING BOARD

DATE: _____

REVISIONS		
No.	DATE	DESCRIPTION
1.	12/23/21	PEER & TOWN REVIEW COMMENTS

PROPOSED SITE & UTILITY LAYOUT PLAN

IN MEDWAY, MASSACHUSETTS

CUTLER PLACE
6 CUTLER STREET

PREPARED FOR: CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053

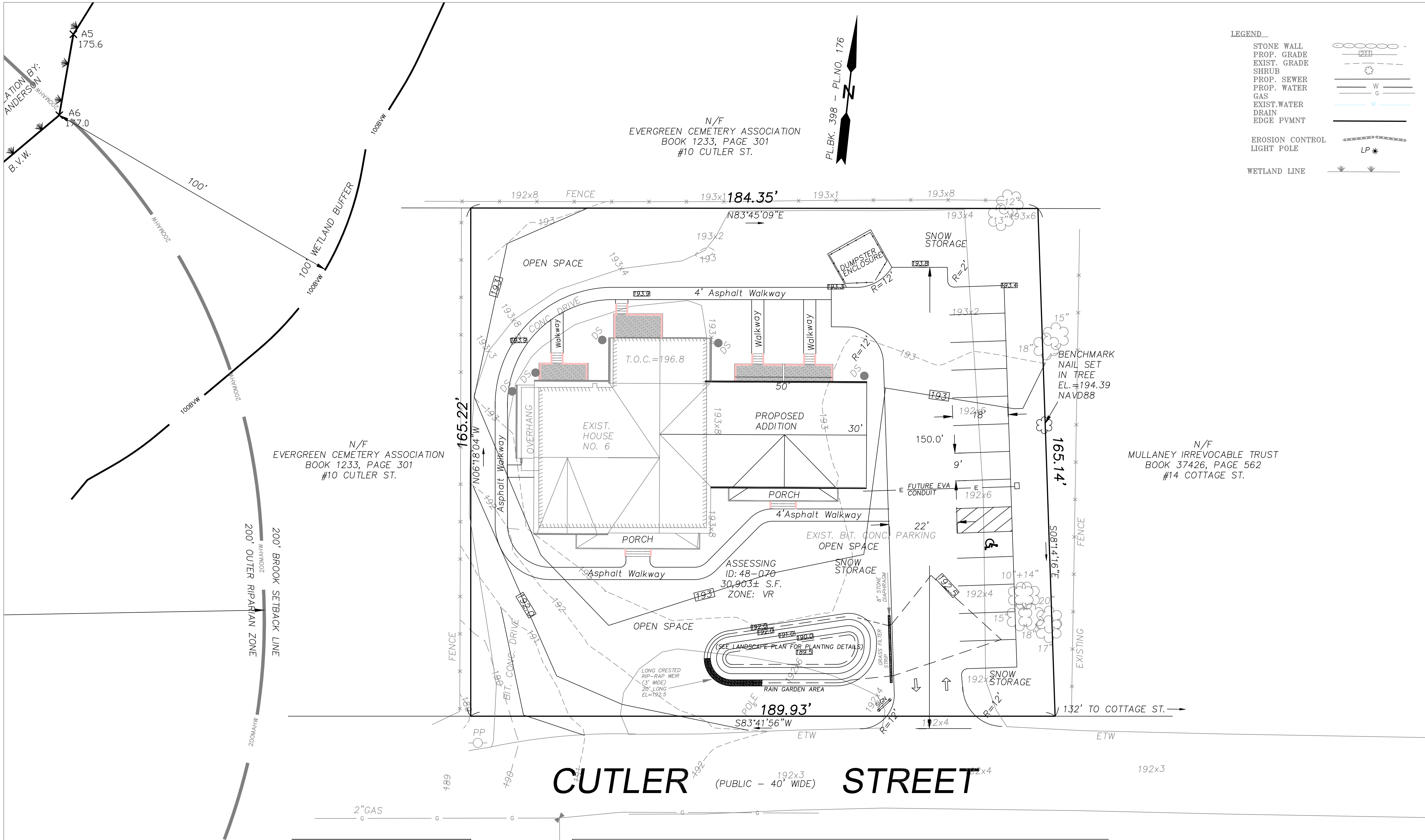
PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

DATE: NOV 1. 2021

S-2



LEGEND

STONE WALL
PROP. GRADE
EXIST. GRADE
SHRUB
PROP. SEWER
PROP. WATER
GAS
EXIST. WATER
DRAIN
EDGE PVMNT

EROSION CONTROL
LIGHT POLE

WETLAND LINE

- GENERAL SITE NOTES**
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION
1.	12/23/21	PEER & TOWN REVIEW COMMENTS

PROPOSED DRAINAGE
& GRADING PLAN
IN
MEDWAY, MASSACHUSETTS

CUTLER PLACE
6 CUTLER STREET

PREPARED FOR:

CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053

PREPARED By:

RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 7155

DATE: NOV 1. 2021

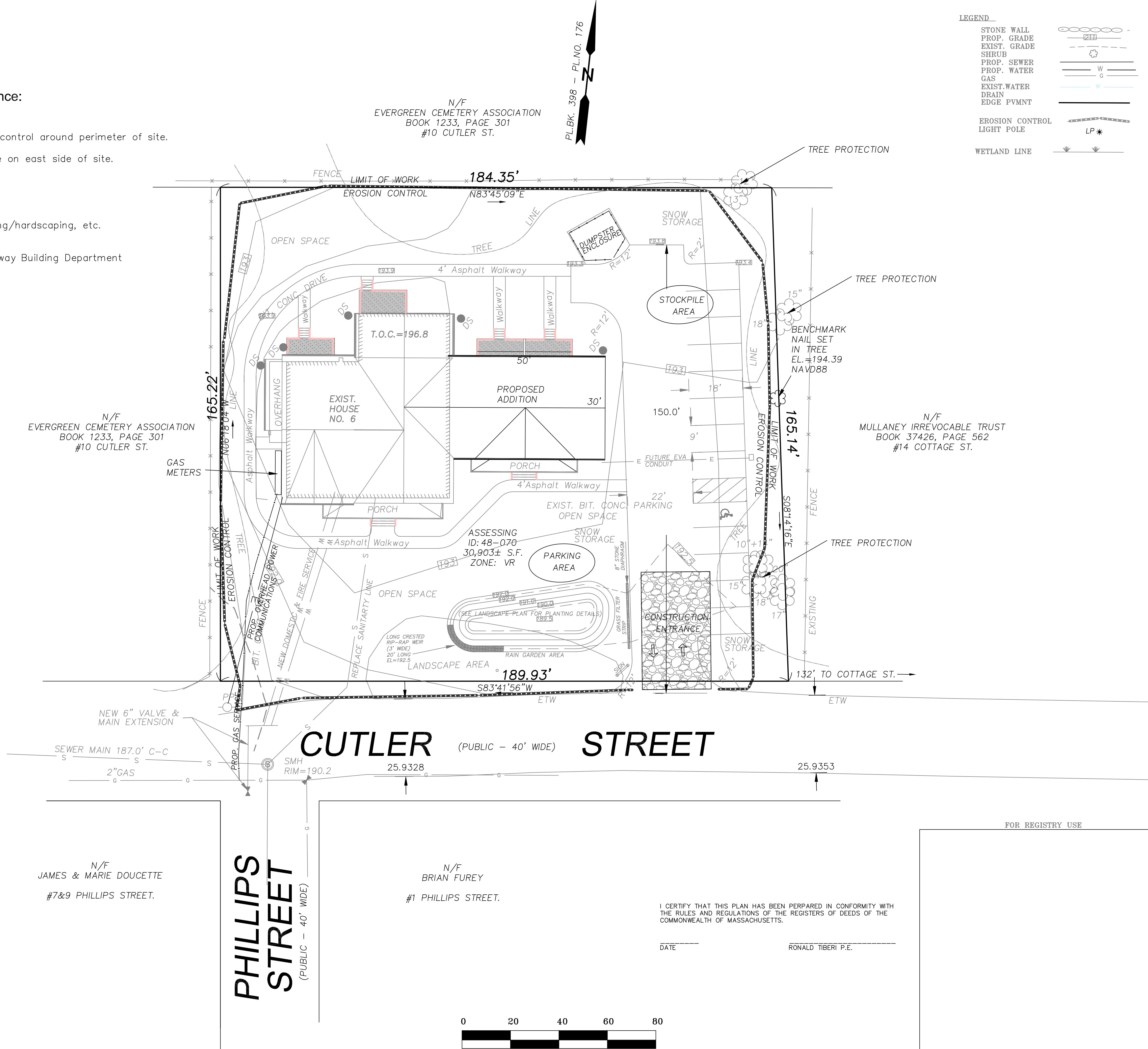
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Approximate Construction Sequence:

- Install perimeter fencing and erosion control around perimeter of site.
- Site clearance.
- Build temporary construction entrance on east side of site.
- Locate staging area at front of site.
- Setup temporary services.
- Install utilities
- Install rain garden
- Construct driveway & parking.
- Completion of all siteworks/landscaping/hardscaping, etc.

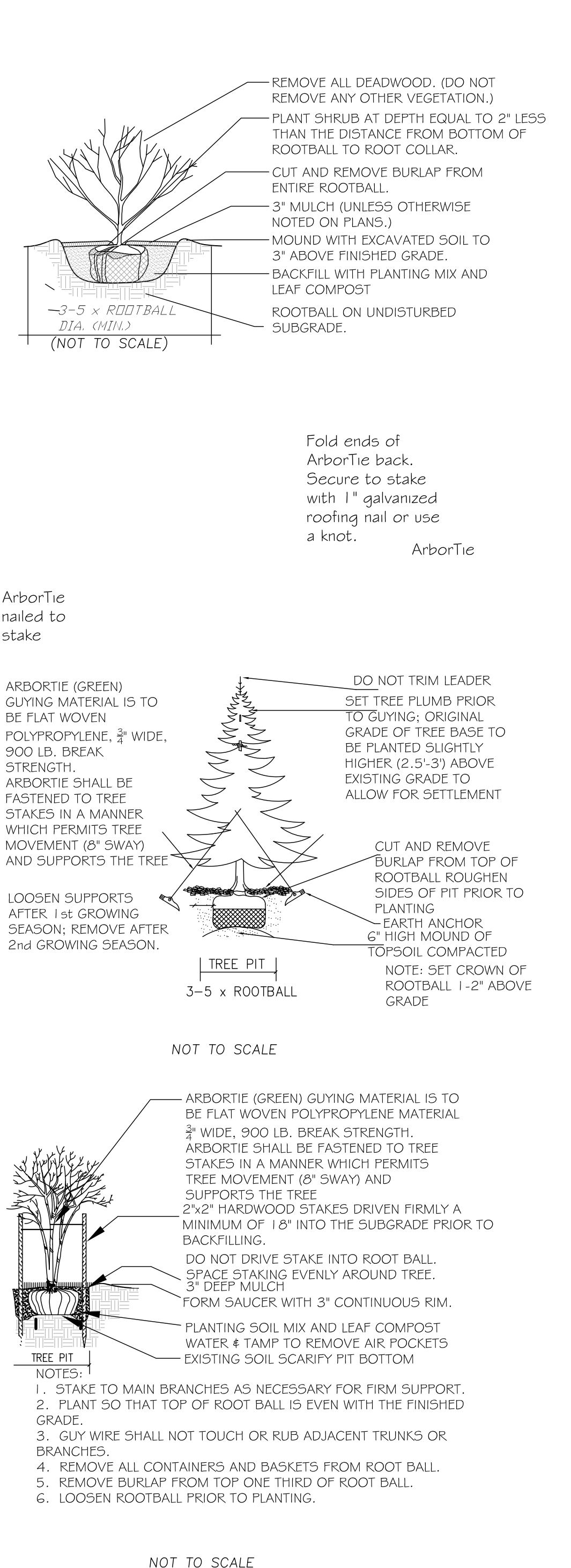
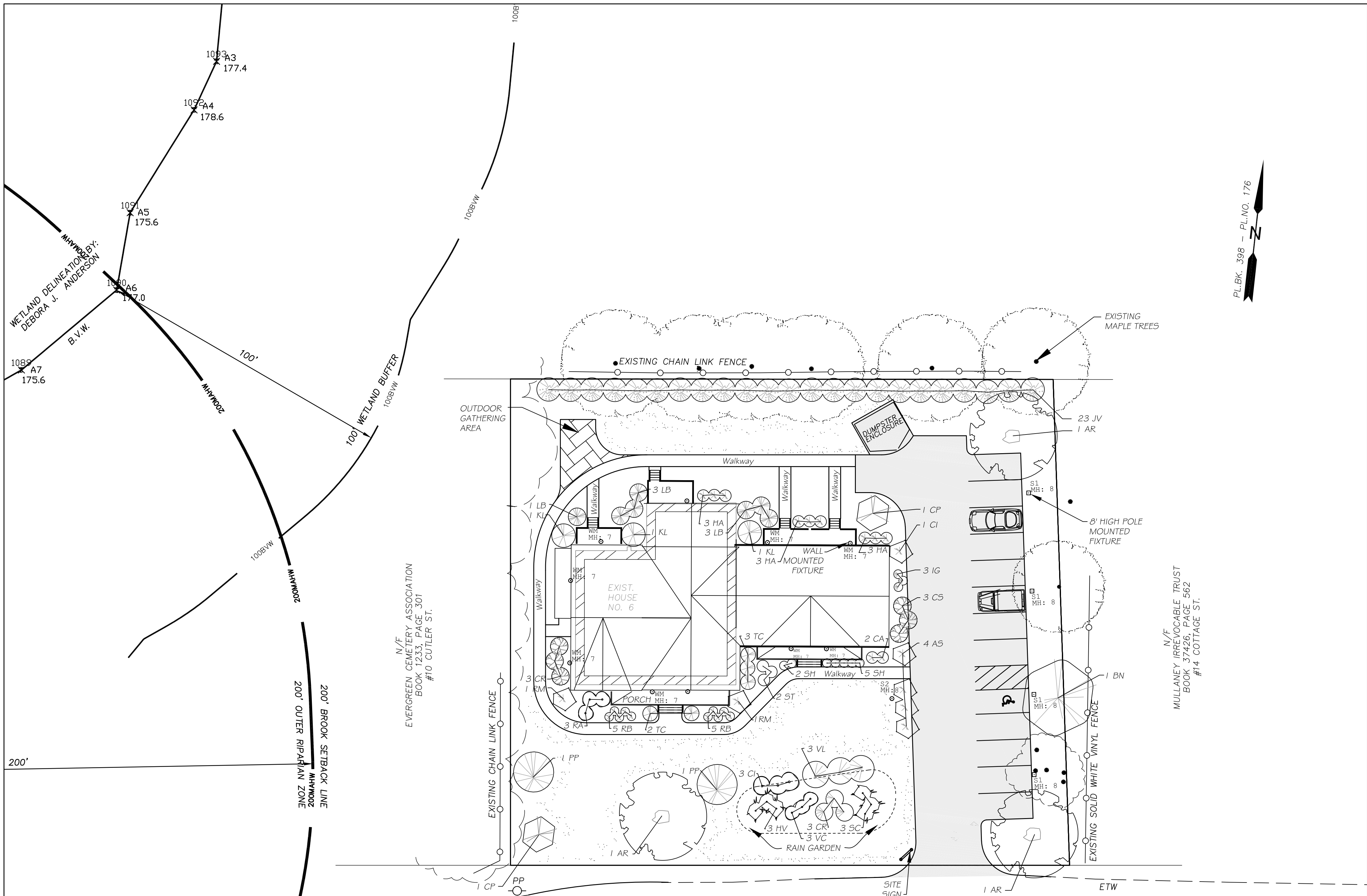
HOURS & DAYS as permitted by Medway Building Department

N/F
EVERGREEN CEMETERY ASSOCIATION
BOOK 1233, PAGE 301
#10 CUTLER ST.



I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE _____ RONALD TIBERI P.E.



- LANDSCAPING NOTES
1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
 2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
 3. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
 4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 5. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
 6. ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
 7. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
 8. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
 9. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
 10. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
 11. ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
 12. PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS SOIL AND PLANT TISSUE TESTING LABORATORY, WEST EXPERIMENT STATION, 602 NORTH PLEASANT ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.
 13. LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND 30% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL. PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
 14. SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP: PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL. PLANT AT A RATE OF 1 LB. PER 150 SQ. FT.
 15. LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED. GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDED AREAS UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED.
 16. THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN A LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
 17. PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
 18. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWNS, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL WET A 20'-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
 19. WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO (HIBISCUS, FINE, SPRUCE, OR CEDAR) MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
 20. ALL LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF BARK MULCH.
 21. LANDSCAPE AREAS SHALL BE DEEP FILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.
 22. ALL TREE AND VEGETATION REMOVAL SHALL BE IN COORDINATION WITH THE PROJECT LANDSCAPE ARCHITECT.

APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION
1.	12/22/21	TOWN COMMENTS

PROPOSED
LANDSCAPE PLAN
IN
MEDWAY, MASSACHUSETTS

6 CUTLER STREET

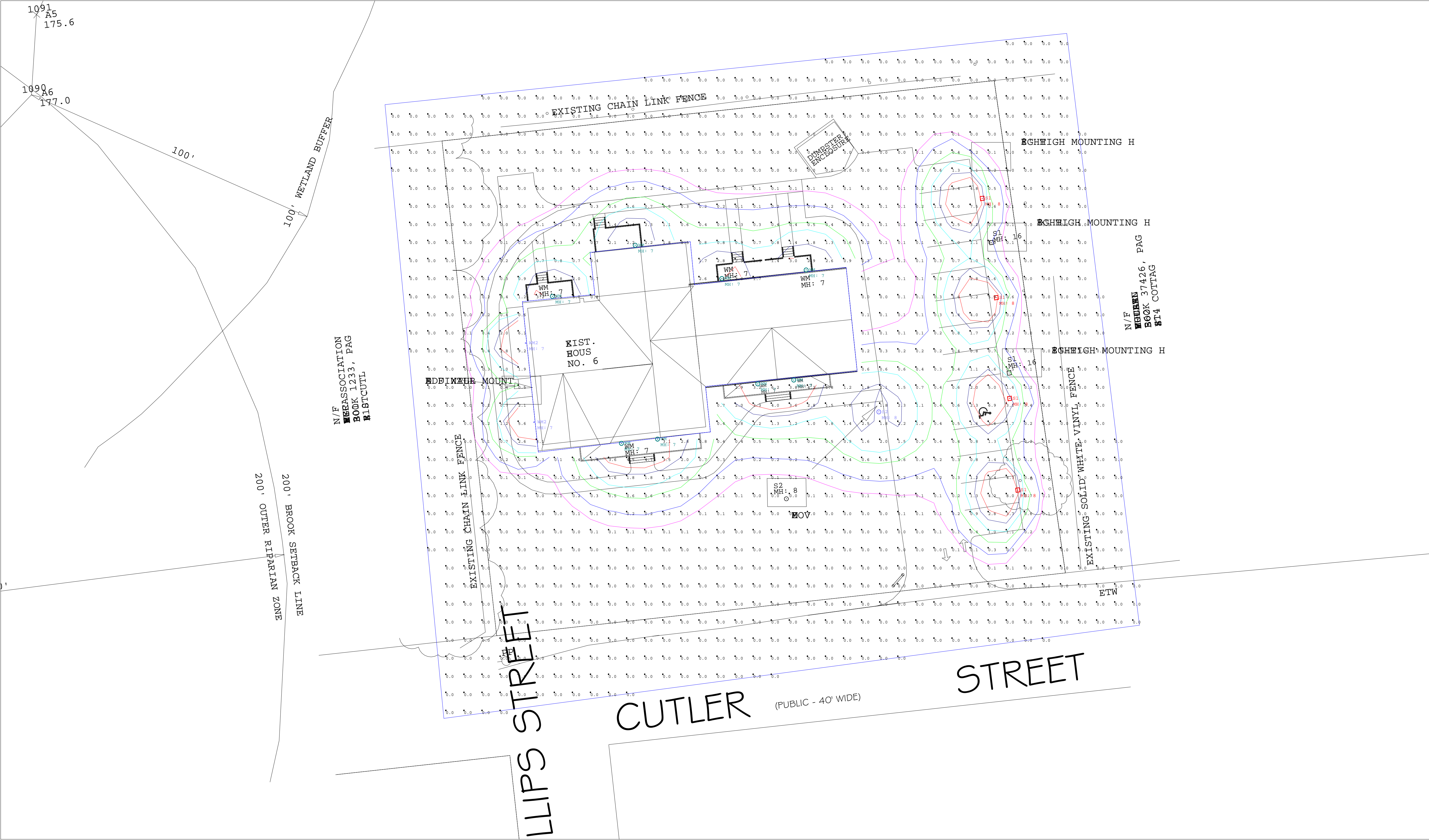
PREPARED FOR: **CUTLER PLACE LLC
6 CUTLER STREET
MEDWAY MA 02053**

PREPARED By: **RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760**

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2155


DATE: NOVEMBER 1, 2021



Room Summary	
Label	Wall Ht.

Luminaire Schedule					
Symbol	Label	Lum. Lumens	Lum. Watts	LLF	Description
	WM2	1327	18	0.900	XTOR1B-Y
	S2	1800	18	0.900	CAL-S-T5-16L-35-30K
	WM	1800	18	0.900	CAL-S-T5-16L-35-30K
	S1	1584	18	0.900	CAL-S-T4-16L-35-30K-HSS

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE_Planar	Fc	0.00	0.0	0.0	N.A.	N.A.
SITE_Planar_1	Fc	0.38	9.2	0.0	N.A.	N.A.



REFLEXLIGHTING
7 Tide St, Boston, MA 02210

Revisions		Comments	
#	Date	X	XX/XX

Drawn By: LH

Checked By:

Date:

Scale: NTS

6 Cutler Street

Medway, MA

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PRELIMINARY CODE SUMMARY

6 Cutler Street
Medway, Massachusetts

October 12, 2021

Code Type	Applicable Code (Model Code Basis)
Building	780 CMR: Massachusetts State Building Code, 9 th Edition Amended 2015 International Building Code (IBC) Amended 2015 International Existing Building Code (IEBC)
Fire Prevention	527 CMR: Massachusetts Fire Prevention Regulations Amended 2015 NFPA 1
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations
Electrical	527 CMR 12.00: Massachusetts Electrical Code Amended 2020 National Electrical Code
Mechanical	2015 International Mechanical Code (IMC)
Plumbing	248 CMR: Massachusetts Plumbing Code
Energy Conservation	2018 International Energy Conservation Code (IECC)

IEBC Compliance Method:	Work Area Method
IEBC Level of Work:	Level 3 Alteration & Addition Work Area > 50% of Building Area (IEBC Section 505)
Occupancy Classification:	Existing: Use Group A-3 (American Legion Hall) Proposed: Use Group R-2 (Multi-Family Residential)
Construction Type:	Type VB (unprotected, combustible)

Fire Resistance Ratings:

Building Element	Fire Resistance Rating (Hrs)	Opening Protectives (Hrs)
Primary Structural Frame	0	-
Exterior Bearing Walls	0	-
Interior Bearing Walls	0	-

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Floor Construction	0 (1 Hour Dwelling Unit Separation)	-
Roof Construction	0	-
Existing shafts < 4 stories (IEBC 803.2.1 Exception 5)	0	0
New shafts < 4 stories (IBC 713.4)	1	¾
Dwelling unit separation walls and floor/ceiling assemblies (IBC 708.3 & 711.2.4.3)	1	¾

Exterior Wall Openings: The fire separation distance in this location is greater than 10 feet around the full perimeter of the building and therefore exterior walls do not require a fire rating and openings are not limited (IBC 705.8.1 Exception 2 & Table 602).

New Interior Finishes:

Walls & Ceilings (IBC Table 803.11)

Use Group:	R-2
Rooms & Enclosed Spaces	Class C

Means of Egress: Each unit only requires a single means of egress since the occupant load of each unit does not exceed 20 people, the common path of travel does not exceed 125 feet, and the building will be protected with an NFPA 13R sprinkler system IIBC 1006.2.1 Exception 1). Emergency escape and rescue openings must be provided in accordance with IBC Section 1030.

Fire Protection Systems: Sprinkler System –NFPA 13R (780 CMR Table 903.2 Note a) Fire Alarm System (780 CMR 903.4.2) Single- and Multiple-station smoke alarms (IBC 907.2.9.2) Carbon monoxide detection (IBC 915 & 527 CMR) Fire extinguishers (527 CMR 1, Table 13.6.2(a) & IBC 906.1)

Energy Code: The alterations (new elements) shall conform to the energy requirements of the IECC as they relate to new construction only (IEBC 908.1). The Stretch Energy Code does not apply to existing buildings (780 CMR Appendix AA101.2).

Accessibility: Since there are less than 20 units, none of the units are required to comply with the requirements for Group 2 adaptable units in the Massachusetts Architectural Access Board's Regulations (521 CMR 9.4). Units in the existing building are not required to comply with Group 1 requirements (521 CMR 9.2.2) and the units in the new addition are also not required to comply with Group 1 requirements since they are townhouse style units (521 CMR 9.6). The only common areas are located in the existing building and are not required to be accessible since they are less than 12 total units (521 CMR 10.1).

For Zoning

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contractor




revision	revision description	date
4	PEDB	11/17/2021
5	PEDB R1	12/27/2021

project title
CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA 02053

client
ANTHONY VARRICHIONE
249 VILLAGE STREET, MEDWAY, MA 02053

Alex Siekierski, RA
Architectural Consultant


location 33 Lovering Street
Medway, MA 02053
t +1(617) 894-0664
e siekierski.alex@gmail.com

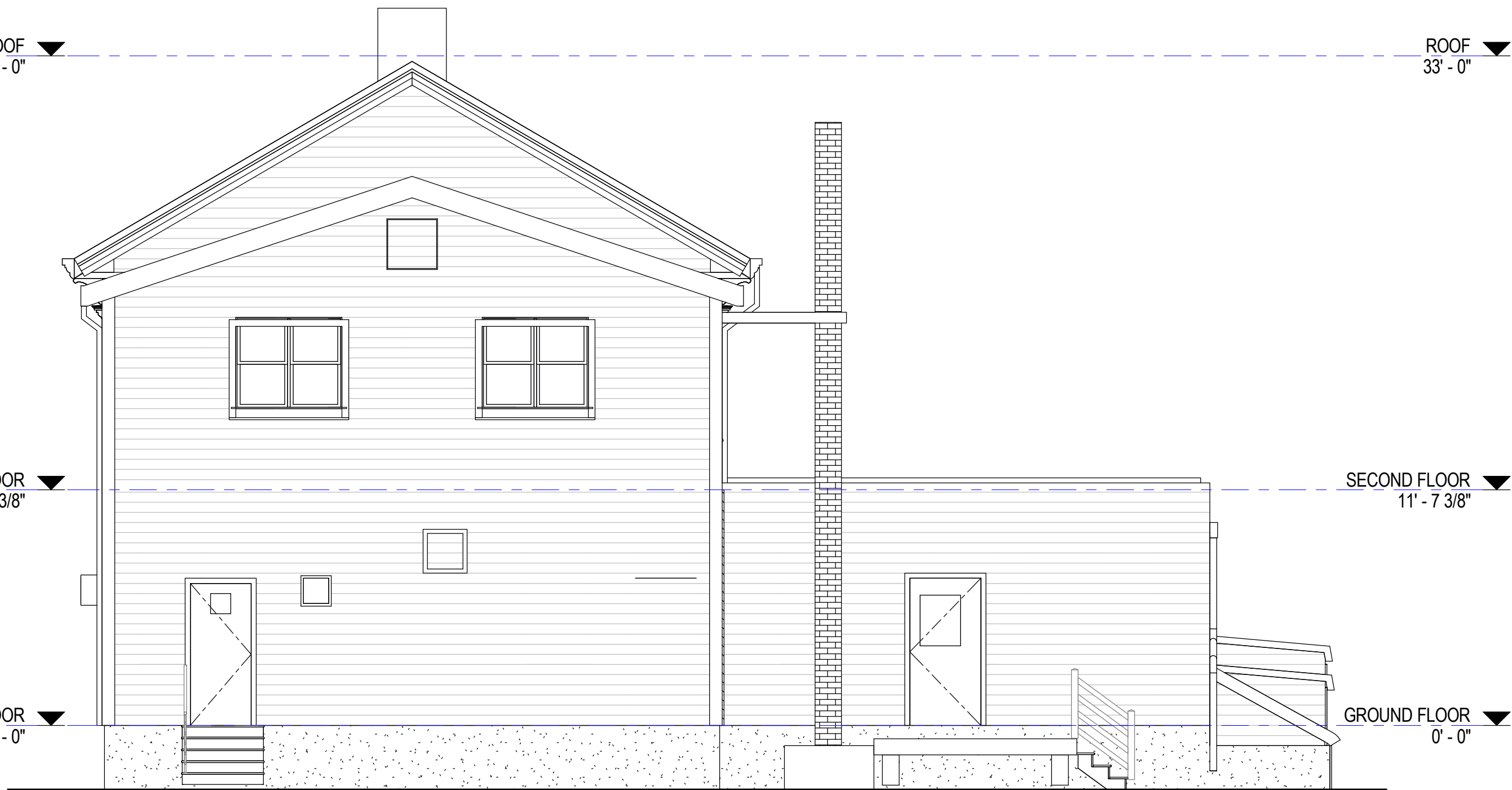
drawing title
CODES & REGULATIONS

project number 21.013	drawing scale 12" = 1'-0"	approver Approver
drawing number A001	revision 5	

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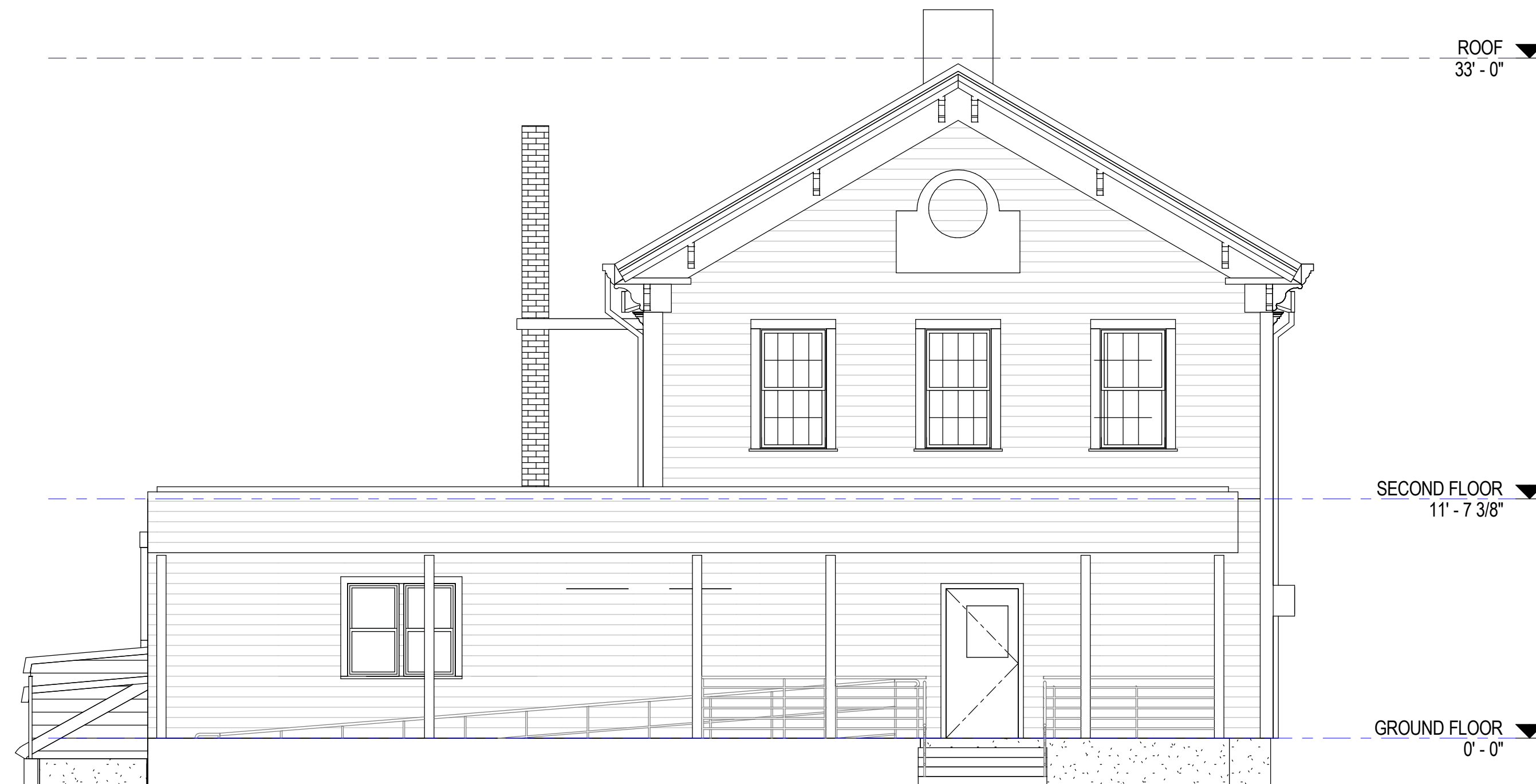
① EXISTING EAST ELEVATION
3/16" = 1'-0"



② EXISTING NORTH ELEVATION
3/16" = 1'-0"



④ EXISTING WEST ELEVATION
3/16" = 1'-0"



③ EXISTING SOUTH ELEVATION
3/16" = 1'-0"

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revision	revision description	date
1	FOR INFORMATION	03/08/2021
2	FOR INFORMATION	03/24/2021
3	TOWN OF MEDWAY	11/05/2021
4	PEDB	11/17/2021
5	PEDB R1	12/27/2021

project title
CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
02053

client
ANTHONY VARRICHIONE
249 VILLAGE STREET, MEDWAY, MA
02053

Alex Siekierski, RA
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e. siekierski.alex@gmail.com

drawing title

EXISTING ELEVATIONS

project number 21.013	drawing scale 3/16" = 1'-0"	approver Approver
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drawing number A042	revision 5
------------------------	---------------



circa 1898 Plainville School - (Americal Legion Hall)



Medway School Class



For Zoning

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4	PEDB	11/17/2021
5	PEDB R1	12/27/2021

project title
CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
02053

client
ANTHONY VARRICHIONE
249 VILLAGE STREET, MEDWAY, MA
02053

Alex Siekierski, RA
Architectural Consultant

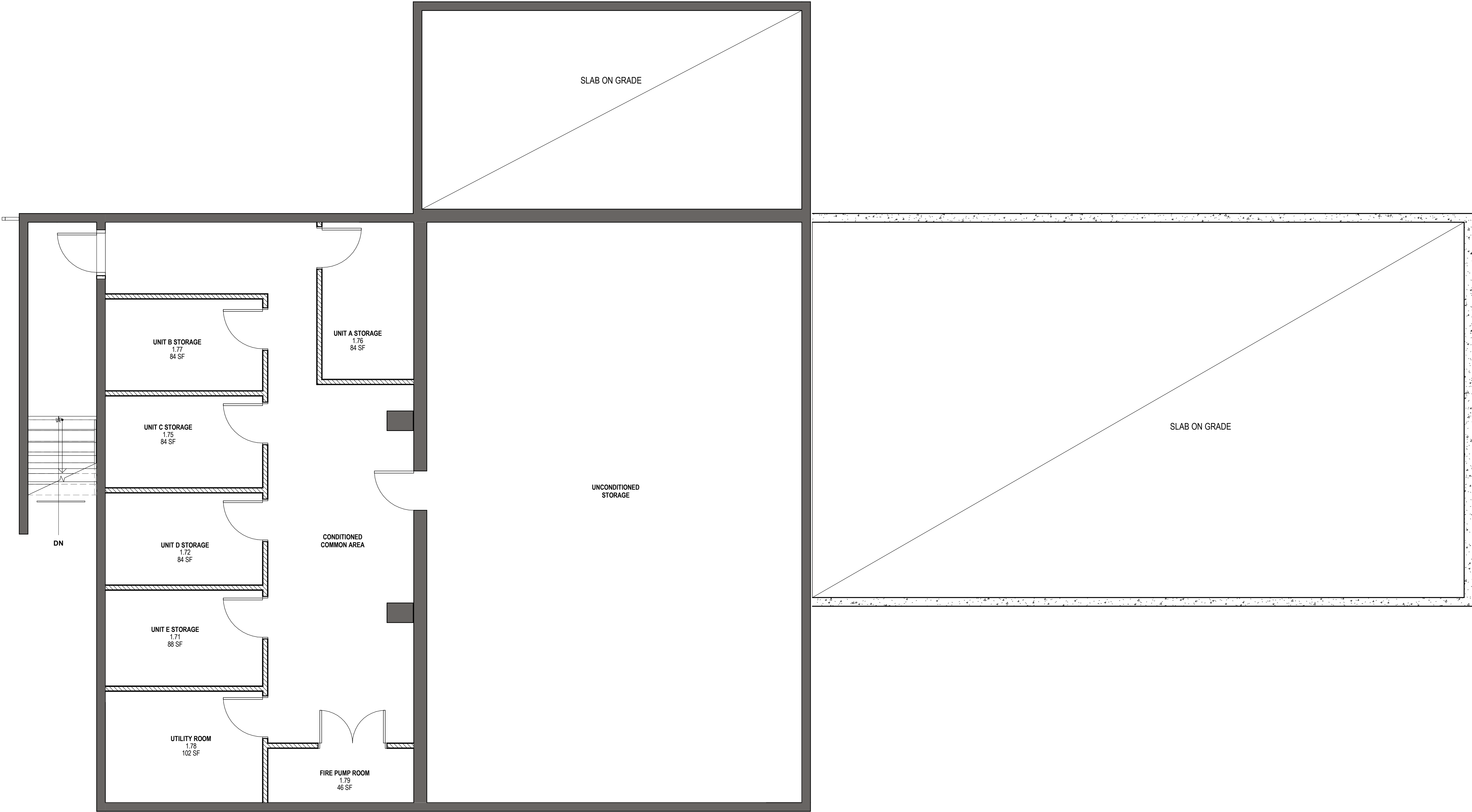
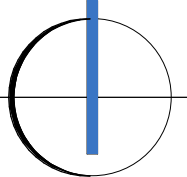
location 33 Lovering Street
Medway, MA 02053
t +1(617) 894-0664
e siekierski.alex@gmail.com

drawing title
**EXISTING EXTERIOR
PHOTOS**

project number	drawing scale	approver
21.013		Approver
drawing number	revision	
A043	5	

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1 BASEMENT PLAN
1/4" = 1'-0"



For Approval

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stamp

revision	revision description	date
3	TOWN OF MEDWAY	11/05/2021
4	PEDB	11/17/2021
5	PEDB R1	12/27/2021

project title

CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA 02053

client

ANTHONY VARRICHIONE

249 VILLAGE STREET, MEDWAY, MA 02053

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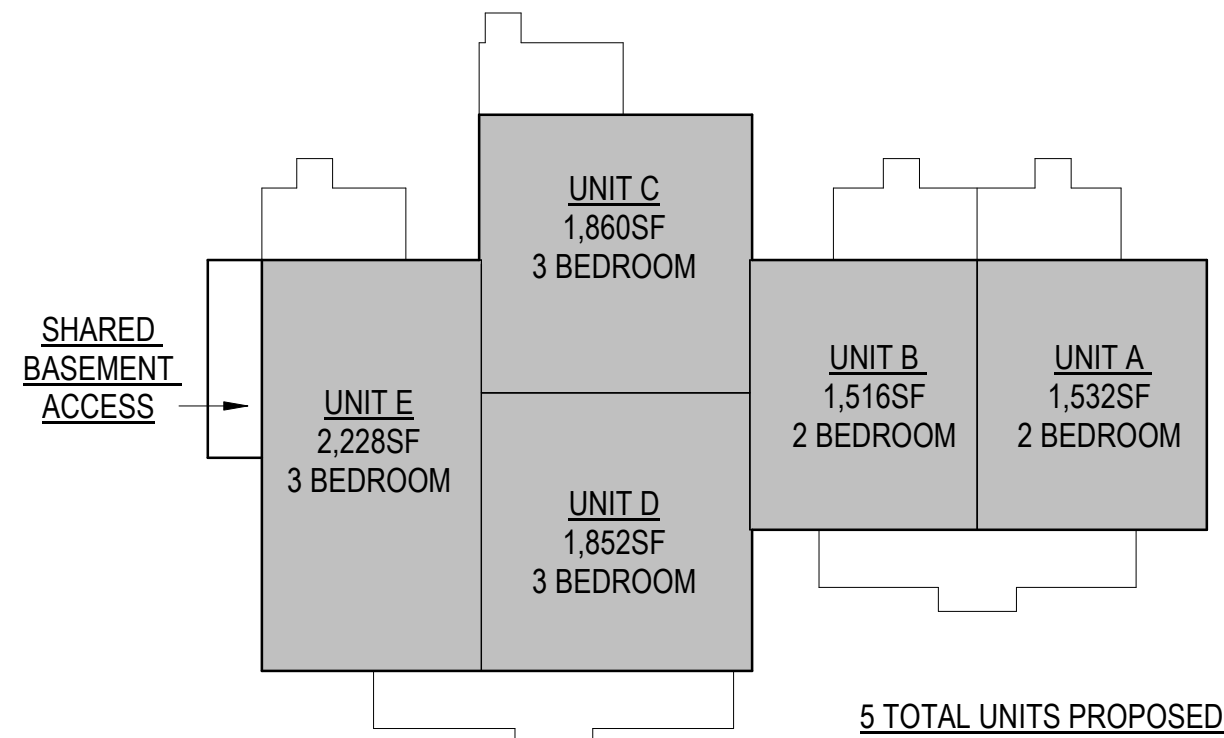
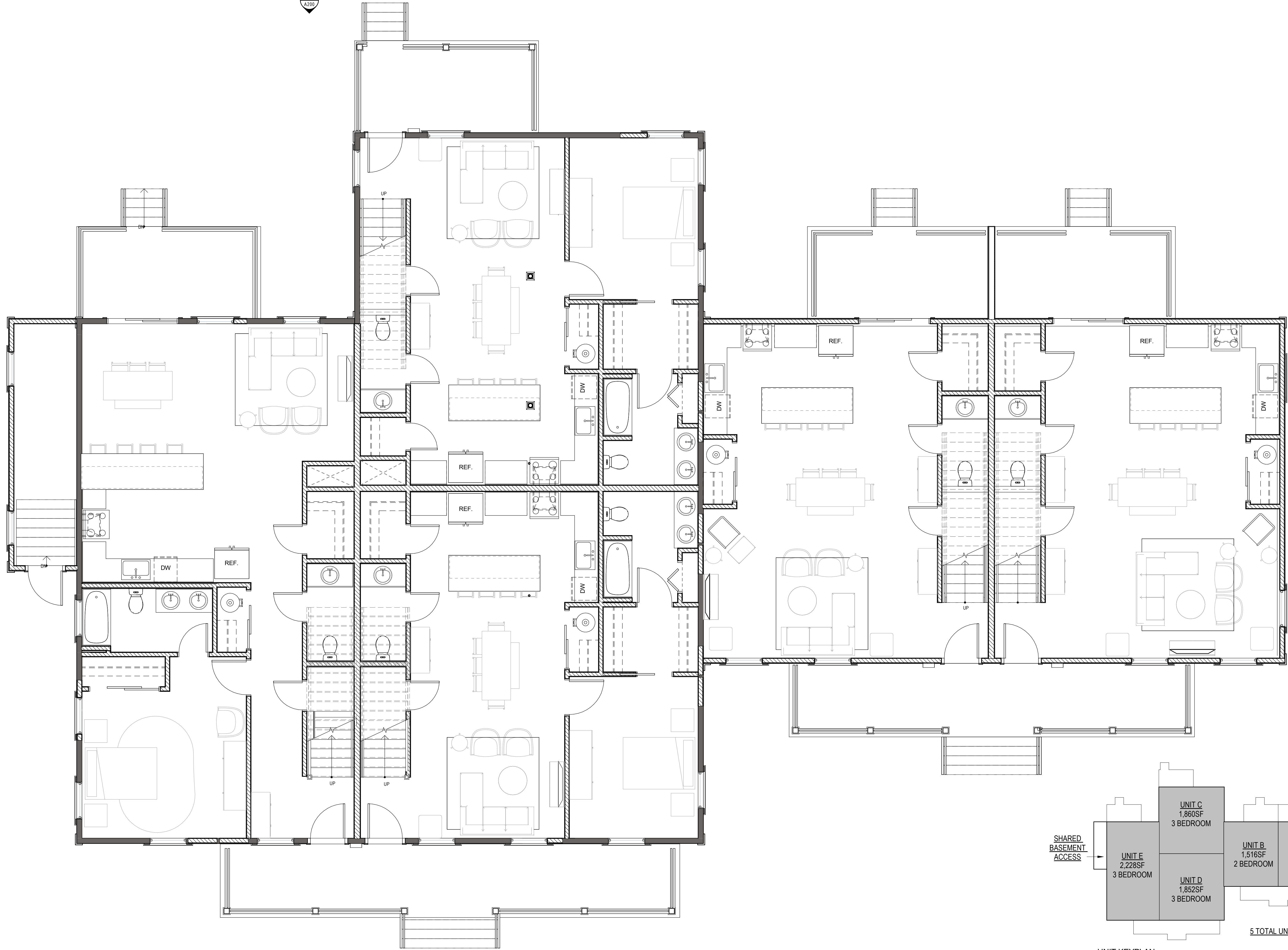
drawing title

BASEMENT PLAN

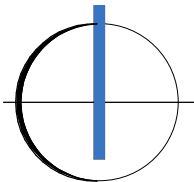
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21.013	1/4" = 1'-0"	AS
drawing number	revision	
A110	5	

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1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 UNIT KEYPLAN
3/64" = 1'-0"



For Approval

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1	FOR INFORMATION	03/08/2021
2	FOR INFORMATION	03/24/2021
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4	PEDB	11/17/2021
5	PEDB R1	12/27/2021

project title
CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
02053

client
ANTHONY VARRICHIONE
249 VILLAGE STREET, MEDWAY, MA
02053

Alex Siekierski, RA
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location
33 Lovering Street
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t: +1(617) 894-0664
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drawing title

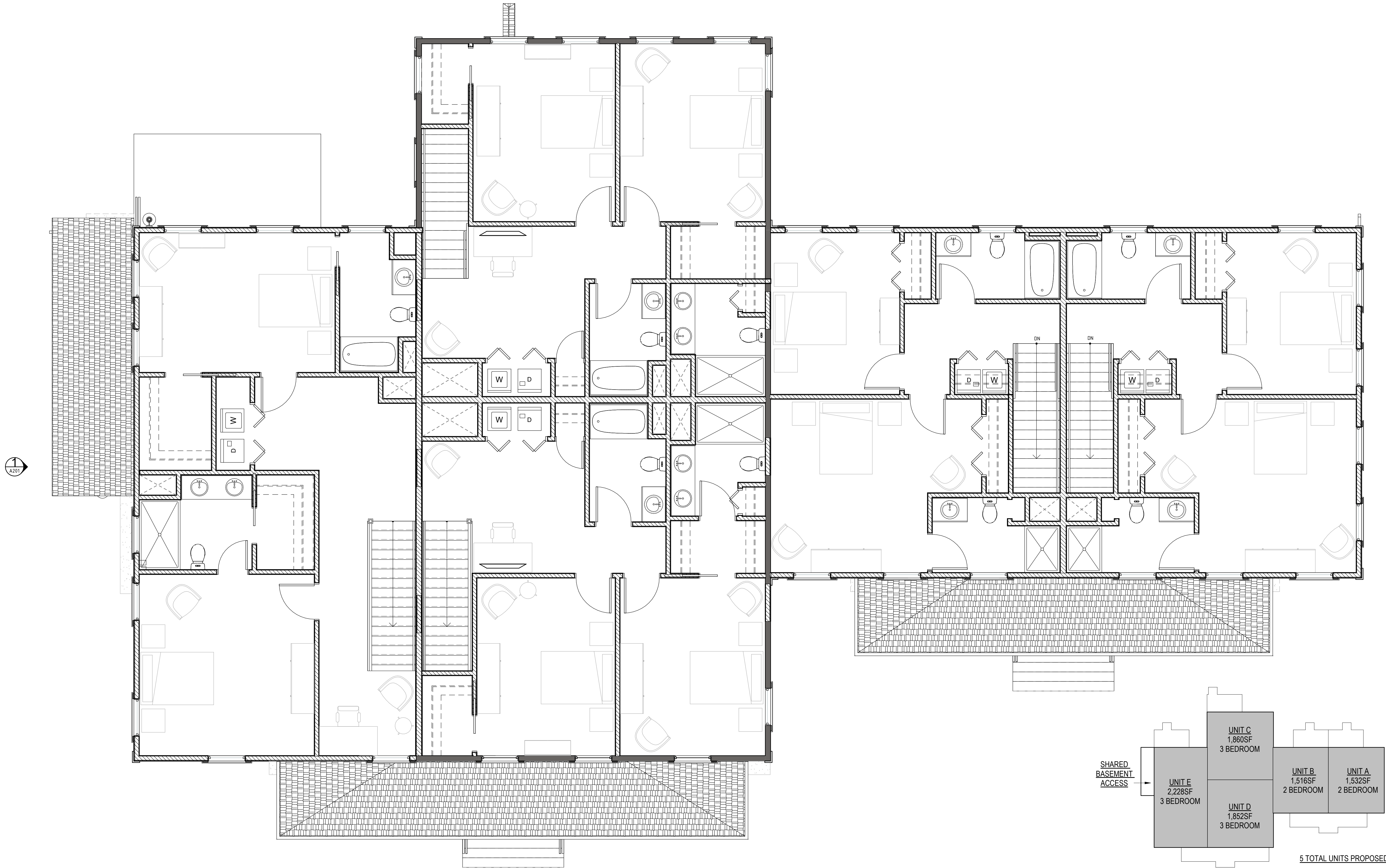
GROUND FLOOR PLAN

project number	drawing scale	approver
21.013	As indicated	Approver
drawing number	revision	

A111

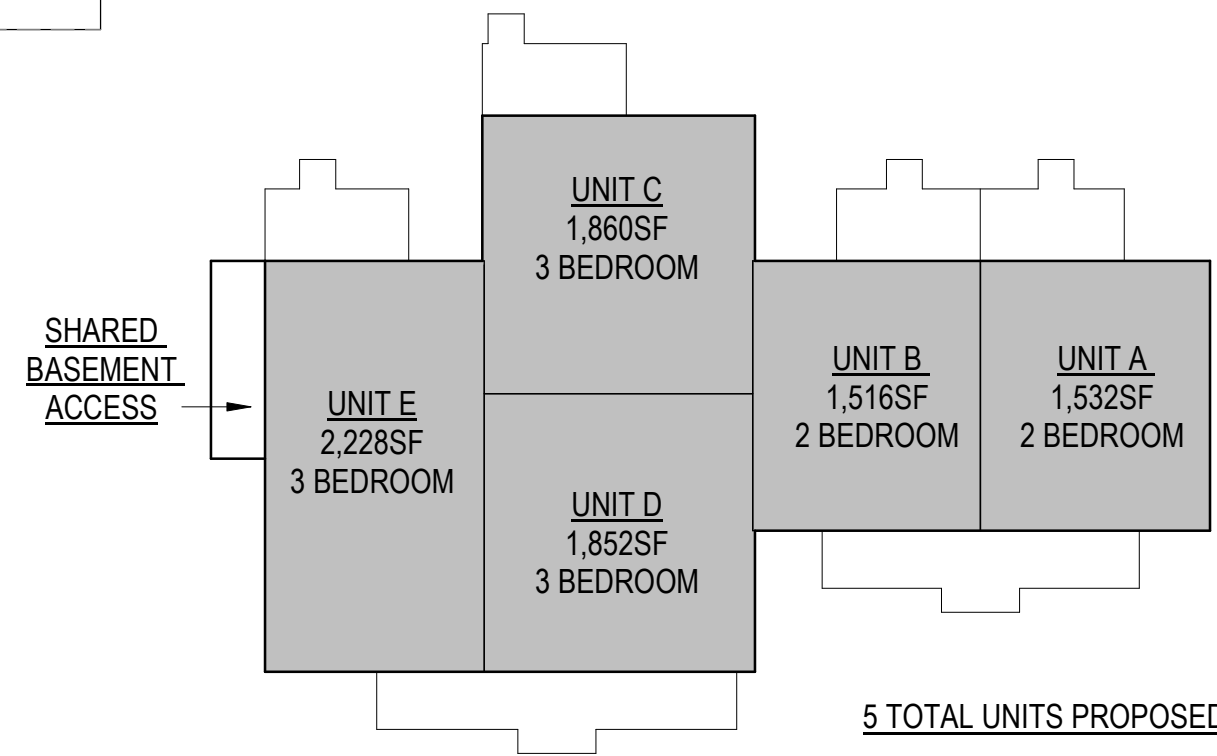
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1 SECOND FLOOR PLAN
1/4" = 1'-0"

2 UNIT KEYPLAN
3/64" = 1'-0"



3 TOTAL UNITS PROPOSED

For Zoning

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revision	revision description	date
4	PEDB	11/17/2021
5	PEDB R1	12/27/2021

project title
CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
02053

client
ANTHONY VARRICHIONE
249 VILLAGE STREET, MEDWAY, MA
02053

Alex Siekierski, RA
Architectural Consultant

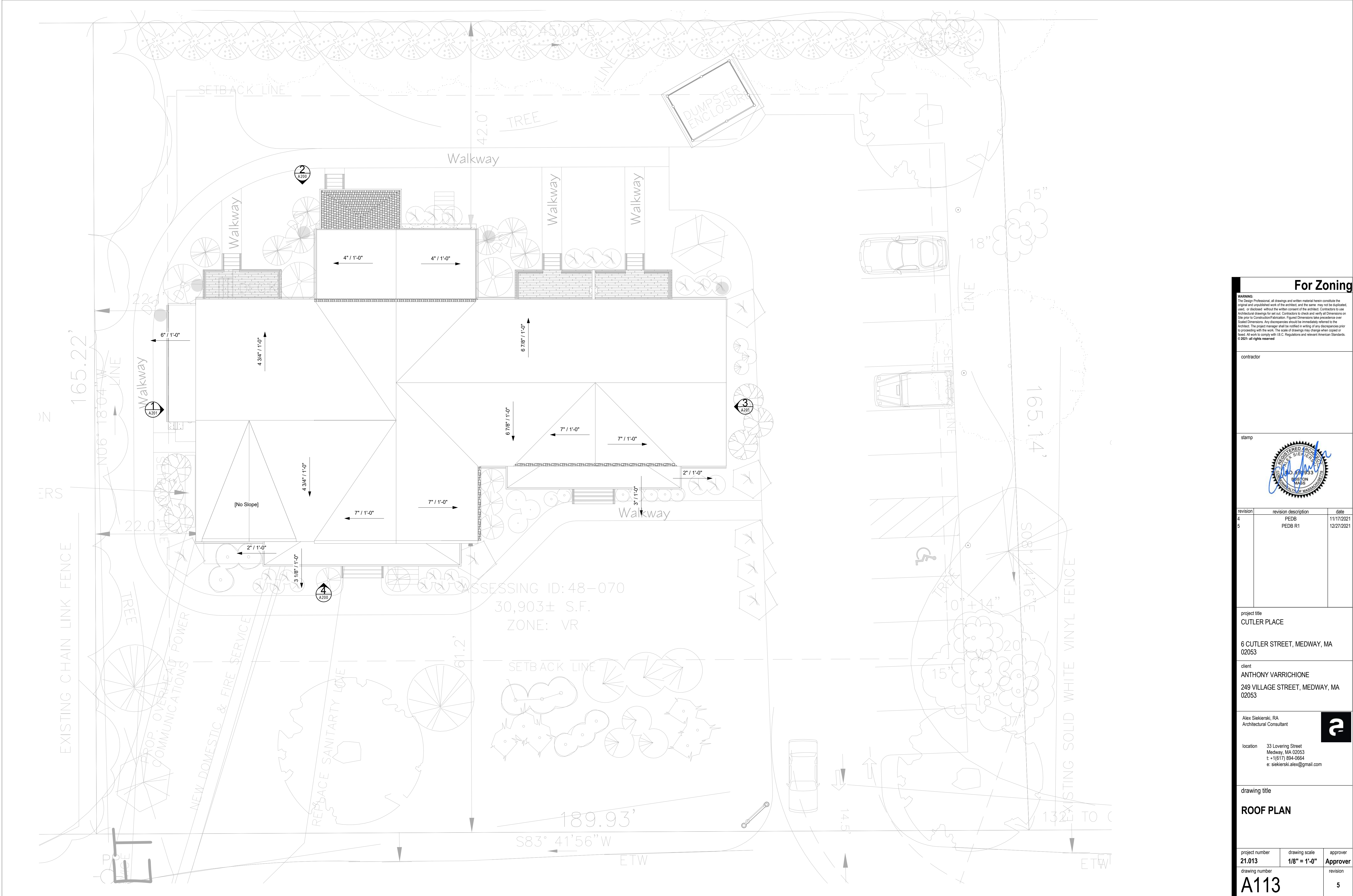


location
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Medway, MA 02053
t: +1(617) 894-0654
e: siekierski.alex@gmail.com

drawing title

SECOND FLOOR PLAN

project number	drawing scale	approver
21.013	As indicated	Approver
drawing number	revision	
A112	5	



For Zoning

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revision	revision description	date
4	PEDB	11/17/2021
5	PEDB R1	12/27/2021

project title
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6 CUTLER STREET, MEDWAY, MA
02053

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drawing title

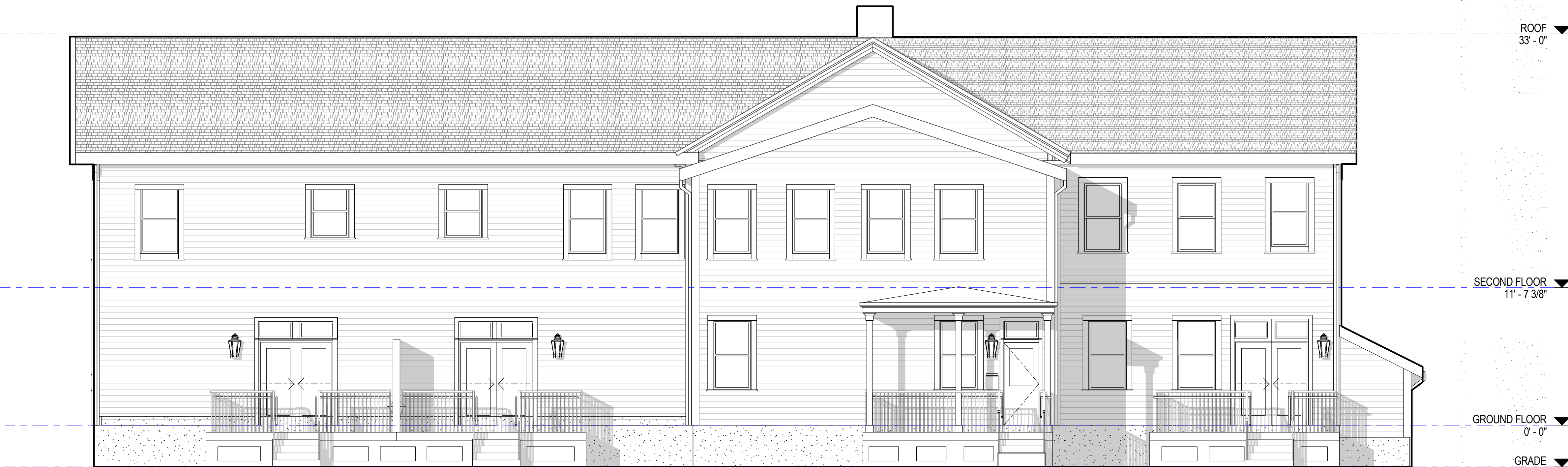
ROOF PLAN

project number	drawing scale	approver
21.013	1/8" = 1'-0"	Approver
drawing number	revision	

A113

5

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② PROPOSED NORTH ELEVATION
3/16" = 1'-0"



④ PROPOSED SOUTH ELEVATION
3/16" = 1'-0"

EXTERIOR MATERIALS



WM & S1 SITE & BUILDING LIGHTING



PVC TRIM (WHITE)



COMPOSITE SIDING CEDAR IMPRESSION (WHITE)



PRESSURE TREATED DECKING & RAILINGS

EXTERIOR INSPIRATION

the intent of the development is to mimic the architectural features of the 1882 school house and have the new addition to the building look as though it were always there



circa 1888 Plainville School - (Amherst Legion Hall)



Medway School Class

EXTERIOR MAILBOX



For Approval

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revision	revision description	date
1	FOR INFORMATION	03/08/2021
2	FOR INFORMATION	03/24/2021
3	TOWN OF MEDWAY	11/05/2021
4	PEDB	11/17/2021
5	PEDB R1	12/27/2021

project title

CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
02053

client

ANTHONY VARRICHIONE
249 VILLAGE STREET, MEDWAY, MA
02053

Alex Siekierski, RA
Architectural Consultant

location 33 Loving Street
Medway, MA 02053
t: +1(617) 894-0664
e: siekierski.alex@gmail.com

drawing title

EXTERIOR ELEVATIONS

project number	drawing scale	approver
21.013	As indicated	AS
drawing number	revision	

A200

5

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③ PROPOSED EAST ELEVATION
3/16" = 1'-0"



① PROPOSED WEST ELEVATION
3/16" = 1'-0"

EXTERIOR MATERIALS



WM & S1 SITE & BUILDING LIGHTING



PVC TRIM (WHITE)



COMPOSITE SIDING CEDAR IMPRESSION (WHITE)



PRESSURE TREATED DECKING & RAILINGS

EXTERIOR INSPIRATION

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circa 1888 Plainville School - (American Legion Hall)



Medway School Class

EXTERIOR MAILBOX



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2	FOR INFORMATION	03/24/2021
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5	PEDB R1	12/27/2021

project title

CUTLER PLACE

6 CUTLER STREET, MEDWAY, MA
02053

client

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249 VILLAGE STREET, MEDWAY, MA
02053

Alex Siekierski, RA
Architectural Consultant



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e siekierski.alex@gmail.com

drawing title

EXTERIOR ELEVATIONS

project number	drawing scale	approver
21.013	As indicated	Approver
drawing number	revision	

A201

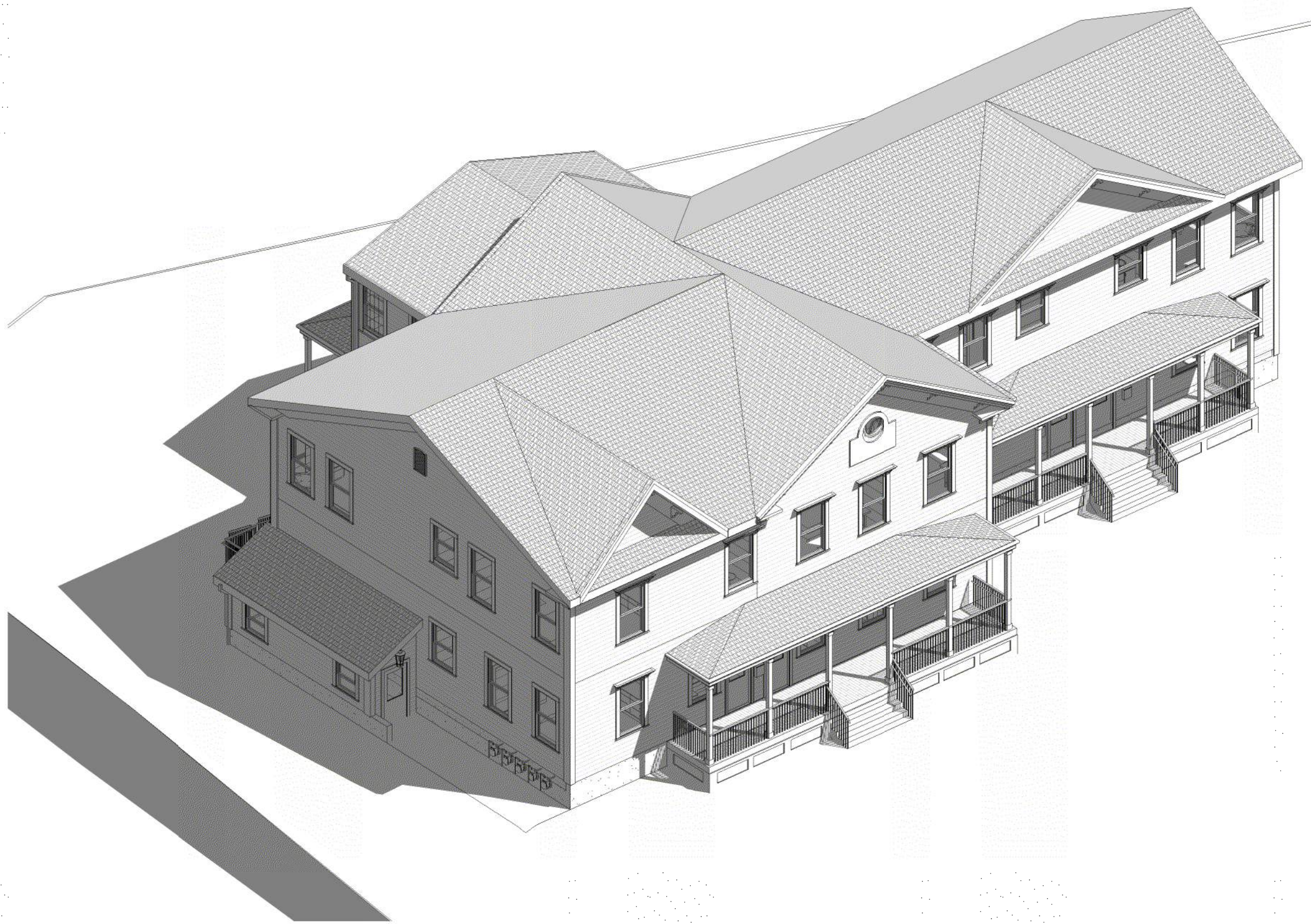
5



3 REAR FACADE AXO



1 FRONT PERSPECTIVE 1



4 FRONT FACADE AXO



2 FRONT PERSPECTIVE 2

For Approval

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revision	revision description	date
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project title
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drawing title

3D VIEWS

project number	drawing scale	approver
21.013		Approver
drawing number	revision	

A910

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