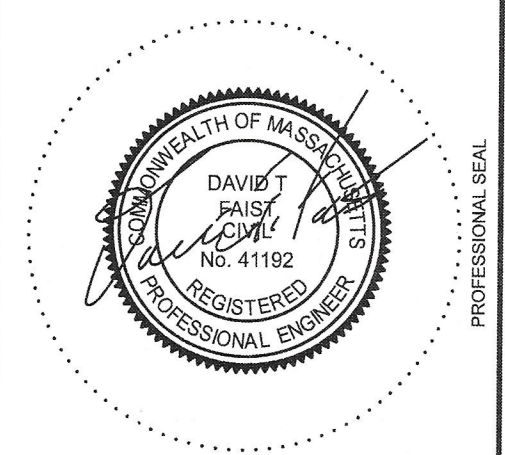


PROPOSED COMMERCIAL BUILDING
#39 ALDER STREET
MEDWAY, MA 02059
63 - 004

RECEIVED
3/1/24

REVISIONS				
NO.	DATE	DESCRIPTION	BY	CHKD
1.	6/5/2023	REVISED PER CON. COMM. SITE WALK	RL	DTF
2.	10/19/2023	PER TOWN & PEER REVIEW COMMENTS	MM	DTF
3.	3/4/2024	CLIENT CHANGE OF USE/BUILDING	MM	DTF



OWNER

ETS PROPERTIES, LLC.
11 AIRPORT RD
HOPEDALE, MA 01747

PREPARED FOR

ETS PROPERTIES, LLC.
11 AIRPORT RD
HOPEDALE, MA 01747

CIVIL ENGINEER:

CMG ENVIRONMENTAL, INC.
67 HALL ROAD
STURBRIDGE, MA 01560
CONTACT: DAVID FAIST, P.E.
(774) 241 - 0901

SURVEYOR:

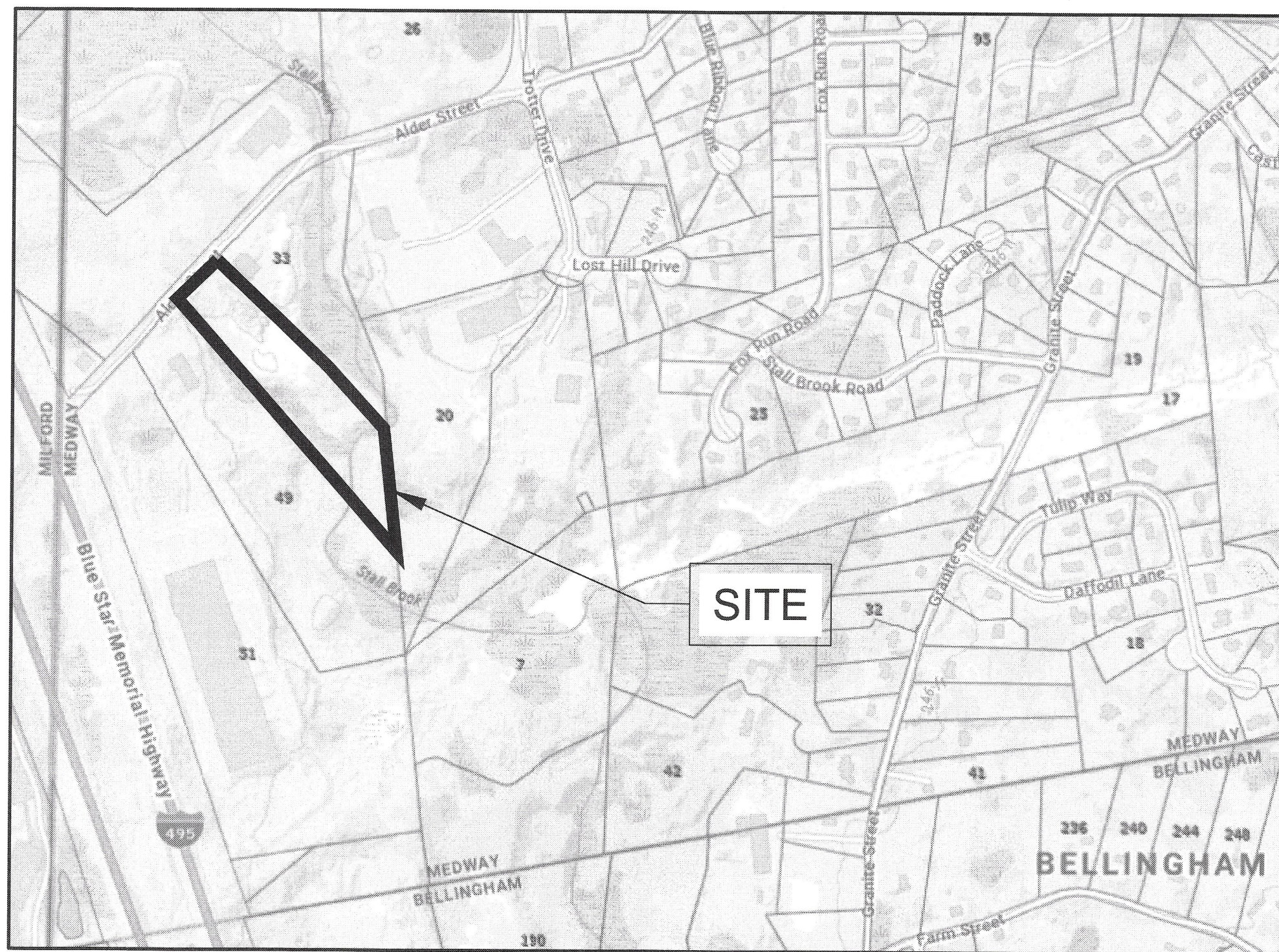
O'DRISCOLL LAND SURVEYING, INC.
46 COTTAGE ST
MEDWAY, MA 02053
CONTACT: DANIEL O'DRISCOLL, P.L.S.
(508) 533 - 3314

ARCHITECT:

MILLENNIUM DESIGN ASSOCIATES, INC.
1599 WASHINGTON ST, SUITE 1A
BRAINTREE, MA 02184
CONTACT: JOSEPH DELUCA, R.A.
(781) 843 - 9400

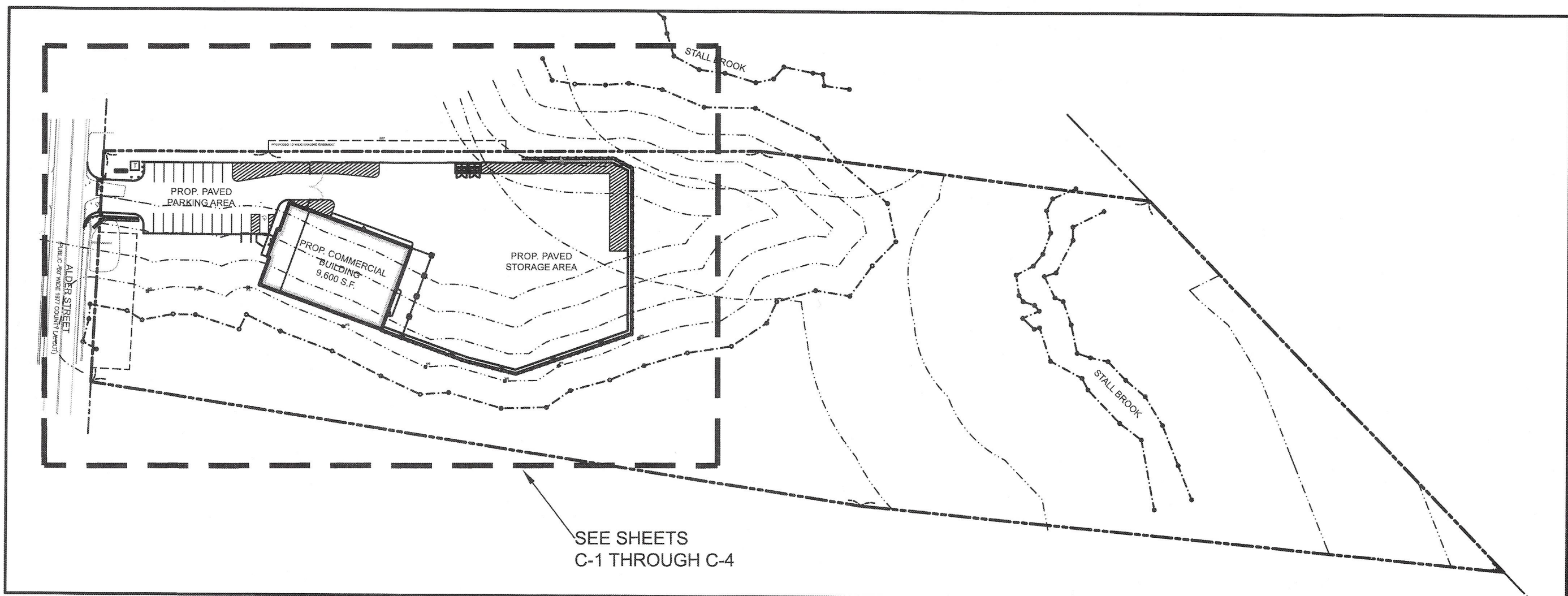
WETLAND SPECIALIST:

LEC ENVIRONMENTAL CONSULTANTS, INC.
100 GROVE STREET, SUITE 302
WORCESTER, MA 01605
CONTACT: ANDREA KENDALL, PWS
(508) 753 - 3077



LOCUS MAP

APPROXIMATE SCALE: 1" = 500'



LOCATION PLAN

APPROXIMATE SCALE: 1" = 60'

SHEET #	SHEET NAME
T-1.0	TITLE SHEET
N-1.0	GENERAL NOTES SHEET
1 OF 1	EXISTING CONDITIONS PLAN SURVEY (BY O'DRISCOLL LAND SURVEYING, INC.)
C-1.0	SITE LAYOUT PLAN
C-2.0	GRADING & DRAINAGE PLAN
C-3.0	UTILITY PLAN
C-4.0	EROSION & SEDIMENT CONTROL PLAN
C-4.1	EROSION & SEDIMENT CONTROL DETAIL
C-5.0	CONSTRUCTION DETAILS
C-5.1	CONSTRUCTION DETAILS
C-5.2	CONSTRUCTION DETAILS
L-1.0	PLANTING PLAN (BY JCLA)
L-2.0	PLANTING DETAILS (BY JCLA)
CP-1	ARCHITECTURAL CONCEPT PLANS (BY MDA.)
CP-1.1	ARCHITECTURAL EXTERIOR ELEVATIONS (BY MDA.)
CP-1.2	ARCHITECTURAL EXTERIOR RENDERINGS (BY MDA.)
CP-1.3	ARCHITECTURAL SITE LIGHTING PLAN (BY MDA.)

TOWN OF MEDWAY PLANNING BOARD

APPROVAL DATE

ENDORSEMENT DATE

PROPOSED COMMERCIAL BUILDING
39 ALDER STREET
MEDWAY, MA 02053

PROJECT:

ETS PROPERTIES, LLC.
11 AIRPORT ROAD
HOPEDALE, MA 01747

PREPARED FOR:

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
fax: 774-241-0906



ISSUE DATE: 4/12/2023
DRAWN BY: RL CHECKED BY: DTF
SCALE: 1" = 20'
PROJECT NO.: 2020-149

TITLE SHEET

T-1.0

GENERAL NOTES:

1. CONTRACTOR SHALL ADHERE TO AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL DETAILS, NOTES, PLANS AND SPECIFICATIONS CONTAINED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK PERFORMED BY THEIR SUBCONTRACTORS IS IN FULL COMPLIANCE WITH THESE REQUIREMENTS. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
- "EXISTING CONDITIONS PLAN - ETS EQUIPMENT RENTAL, INC", PREPARED BY O'DRISCOLL LAND SURVEYING, INC, DATED 4/12/2023.
- "WETLAND RESOURCE AREA ANALYSIS REPORT - 39 ALDER STREET, MEDWAY, MA", PREPARED BY IEC ENVIRONMENTAL CONSULTANTS, INC., DATED 12/15/2022.
- "ARCHITECTURAL CONCEPT PLANS - ETS EQUIPMENT RENTAL", PREPARED BY MDA ARCHITECTURE, DATED 3/14/2023.
2. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO PERFORMING ANY WORK ON-SITE OR OFF-SITE. THE CONTRACTOR SHALL THOROUGHLY REVIEW AND UNDERSTAND ALL PERMITS AND PERMIT CONDITIONS, AND NOTIFY THE ENGINEER OF ANY CONFLICT WITH THE DESIGN PLAN PRIOR TO FABRICATION OF ANY MATERIALS OR PRODUCTS TO BE USED AS PART OF THE PROJECT.
3. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THESE PLANS, THE PROJECT'S SPECIFICATIONS, CONDITIONS OF APPROVALS AND PERMITS, AND ALL APPLICABLE RULES, REGULATIONS, CODES, LAWS AND STANDARDS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
4. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS NOTED HEREIN ARE A PART OF THE CONSTRUCTION PLANS AND DOCUMENTS. IF DISCREPANCY OR AMBIGUITY EXISTS, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT GOVERN. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING SHOULD ANY CONFLICTS BE IDENTIFIED PRIOR TO COMMENCING WITH ANY ADDITIONAL WORK.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND PROPOSED LAYOUT DIMENSIONS AND MUST NOTIFY CMG ENVIRONMENTAL, INC. IN WRITING IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER OR ARE IN CONFLICT WITH THE PROPOSED WORK. NO COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ADDITIONAL WORK THAT HA TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS UNLESS THE CONTRACTOR RECEIVES WRITTEN PERMISSION FROM CMG.
6. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/ BUILDING PLANS FOR ALL BUILDING AND ADJACENT APPURTENANCES FOR EXACT LOCATIONS AND DIMENSIONS SUCH AS ENTRY/ EXIT DOOR LOCATIONS, ELEVATIONS, BUILDING DIMENSIONS, AND EXACT UTILITY CONNECTION LOCATIONS.
7. PRIOR TO PERFORMING ANY WORK ONSITE, THE CONTRACTOR SHALL REVIEW ALL CONSULTANTS PLANS AND SPECIFICATIONS INCLUDING THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE), CONTRACTOR MUST IMMEDIATELY NOTIFY ARCHITECT AND SITE ENGINEER IN WRITING OF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES WHICH EXIST.
8. DEBRIS MUST NOT BE BURNED OR BURIED ON SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE PROJECT'S SPECIFICATIONS AND PLANS, AND ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS AND THE DESIGN AND INSTALLATION OF ANY SHORING THAT MAY BE REQUIRED, ALL OF WHICH SHALL BE IN ACCORDANCE WITH CURRENT OSHA STANDARDS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR IMPLEMENTING ANY ADDITIONAL PRECAUTIONS TO PROTECT AND ASSURE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
10. THE CONTRACTOR SHALL PROTECT AND ASSURE STABILITY OF STRUCTURES (SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE) ADJACENT TO THE WORK AREA THAT ARE TO REMAIN, AND IMPLEMENT ANY APPROPRIATE MEASURES REQUIRED TO ENSURE STRUCTURAL STABILITY OF THE SAME. CONTRACTOR SHALL ASSURE A SAFE WORK AREA FOR WORKERS, PEDESTRIANS, ANY THIRD PARTY, AND ABUTTING PROPERTIES.
11. THE CONTRACTOR IS RESPONSIBLE FOR ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING OR PROPOSED STRUCTURES (INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC.) AND ANY OTHER IMPROVEMENTS THAT ARE TO REMAIN AND SHALL BEAR ANY AND ALL COSTS THAT MAY BE ASSOCIATED WITH THE SAME. IF ANY EXISTING STRUCTURES THAT ARE TO REMAIN ARE DAMAGED DURING DEMOLITIONS, REPAIRS SHALL BE MADE USING NEW PRODUCT/ MATERIALS RESULTING IN A PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
12. ALL CONCRETE MUST BE AIR ENTRAINED WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE SPECIFIED ON THE PLANS, DETAILS, AND/OR GEOTECHNICAL REPORT.
13. CMG ENVIRONMENTAL, INC. HAS NO RESPONSIBILITY REGARDING JOB SAFETY AND/OR OVERSIGHT/ SUPERVISION, OR ANYTHING RELATED TO THE SAME. LEGALLY NOR CONTRACTUALLY. AT ANY TIME, CMG ENVIRONMENTAL, INC. IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SAFETY ISSUES.
14. CMG ENVIRONMENTAL, INC. WILL REVIEW CONTRACTOR SUBMITTALS WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE SOLE PURPOSE OF CHECKING FOR CONFORMANCE WITH THE INTENT OF THE DESIGN AND CONTRACT DOCUMENTS. CMG ENVIRONMENTAL, INC. IS NOT RESPONSIBLE FOR ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS UNLESS CONTRACTOR RECEIVED EXPLICIT DIRECTION TO DO SO, IN WRITING, FROM CMG ENVIRONMENTAL, INC.
15. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING A TRAFFIC PROTECTION PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER ON AND/OR OFF-SITE. THE COST ASSOCIATED WITH THE PREPARATION AND IMPLEMENTATION OF SAID PLAN SHALL BE INCLUDED IN THE BASE BID/ CONTRACT COST.
16. ALL ONSITE AND OFF-SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO MANUAL IF UNIFORM CONTROL DEVICES OR LOCAL APPROVAL REQUIREMENTS.
17. THE CONTRACTOR SHALL INSTALL AND/OR CONSTRUCT ALL ASPECTS OF THE PROJECT IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S INSTALLATION STANDARDS, RECOMMENDATIONS AND SPECIFICATIONS, AND IN CASE OF CONFLICT, THE MORE RESTRICTIVE SHALL GOVERN.

GENERAL DEMOLITION NOTES:

1. THE DEMOLITION PLAN IS INTENDED TO PROVIDE ONLY GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED.
2. THIS PLAN REFERENCES MATERIALS AND DOCUMENTS NOTED HEREIN, IN PARTICULAR BUT NOT LIMITED TO THOSE LISTED IN THE GENERAL NOTES SECTION.
3. CONTRACTOR MUST NOTIFY, IN WRITING, CMG ENVIRONMENTAL, INC., IF THEY HAVE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS, RELATED SPECIFICATIONS, ANY APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. IF SUCH NOTIFICATION IS GIVEN, NO DEMOLITION OR SITE ACTIVITY MAY BEGIN UNTIL SUCH TIME THAT CMG ENVIRONMENTAL, INC. PROVIDES A WRITTEN RESPONSE TO SAME. ALL DEMOLITION WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, THE PROJECT SPECIFICATIONS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
4. CONTRACTOR SHALL PERFORM ALL WORK IN A SYSTEMATIC AND SAFE MANNER AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.), AMENDMENTS TO AND/OR REVISIONS TO SAME.
5. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS (LOCAL, STATE, AND/OR FEDERAL) AND MAINTAIN SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER REGULATORY AGENCIES THROUGHOUT THE DURATION OF THE PROJECT.
6. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL NOTIFY, AT A MINIMUM, THE BUILDING OFFICIAL, CITY ENGINEER, DEPARTMENT OF PUBLIC WORKS, PLANNING AND/OR ZONING COMMISSIONS/BOARDS, THE DESIGN ENGINEER, AND LOCAL WETLAND COMMISSION, 72 HOURS PRIOR TO THE START OF WORK.
7. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL IMPLEMENT THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NOTED ON THE PLANS AND PRIOR TO ANY SITE DISTURBANCE.
8. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL "CALL BEFORE YOU DIG" AND/OR THE APPLICABLE STATE DAMAGE CONTROL SYSTEM FOR THE REQUIRED UTILITY MARK OUTS IN ADVANCE OF ANY EARTH DISTURBANCE. IN ADDITION TO THIS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AL EXISTING ONSITE UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY, AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF THE WORK.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS.
10. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE OPERATION AND SERVICE OF ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED. IF ANY UTILITIES ARE TO BE REMOVED, THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND THE AFFECTED END USER TO MINIMIZE IMPACT AND SERVICE INTERRUPTION.
11. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES FOR THE TEMPORARY AND PERMANENT TERMINATION OF ANY AND ALL SERVICES THAT ARE REQUIRED FOR THE PROPERTY WHETHER SHOWN ON THE SITE PLANS OR NOT. TERMINATION OF UTILITIES SHALL BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
12. SHOULD HAZARDOUS MATERIAL BE DISCOVERED/ ENCOUNTERED, WHICH WAS NOT ANTICIPATED AND/OR ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, CEASE ALL WORK IMMEDIATELY AND NOTIFY OWNER AND ENGINEER OF RECORD REGARDING THE DISCOVERY OF SAME.
13. CMG ENVIRONMENTAL, INC. HAS NO RESPONSIBILITY REGARDING JOB SAFETY AND/OR OVERSIGHT AND SUPERVISION, OR ANYTHING RELATED TO SAME, LEGALLY NOR CONTRACTUALLY.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE TO REMAIN. IF ANY EXISTING STRUCTURES THAT ARE TO REMAIN ARE DAMAGED DURING DEMOLITION, REPAIRS SHALL BE MADE USING NEW PRODUCT/ MATERIALS RESULTING IN A PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIR COSTS.
15. ALL BACKFILLING REQUIRED AS A RESULT OF DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE OF THE OF THE GEOTECHNICAL REPORT, OR IN ITS ABSENCE, THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION).
16. THE USE OF EXPLOSIVES FOR THE PURPOSE OF DEMOLITION OR ROCK REMOVAL MUST BE IN COMPLIANCE OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE FEDERAL, STATE, AND FEDERAL REGULATIONS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTIONS, MONITORING, OR TESTING AS MAY BE REQUIRED BY ANY AND ALL PERMITS AND REGULATIONS.
17. CONTRACTOR SHALL CONTROL TRAFFIC ON AND OFFSITE IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS FOR ALL ASPECTS OF DEMOLITION AND SITE WORK.
18. CMG ENVIRONMENTAL, INC. IS NOT RESPONSIBLE FOR THE MEANS, METHOD, AND/OR PROCEDURES TO BE IMPLEMENTED FOR THE PROJECT. ALL WORK MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS.
19. DEBRIS SHALL NOT BE BURIED ON SITE. ALL DEMOLITION MATERIALS TO BE DISPOSED OF SHALL BE DONE SO IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS OF ALL DISPOSAL AND TRANSPORT ACTIVITIES INCLUDING DEBRIS AND SOIL REMOVAL.
20. CONTRACTOR MUST PREPARE RECORD DRAWINGS OF ALL SUBTERRANEAN UTILITIES PRIOR TO BURIAL DEPICTING THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED AS WELL AS NEW UTILITY SERVICES AND PROVIDE TO THE PROPERTY OWNER AND THE ENGINEER OF RECORD.

GENERAL GRADING & UTILITY NOTES:

1. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL "CALL BEFORE YOU DIG", "DIG SAFE" AND/OR APPLICABLE STATE DAMAGE CONTROL SYSTEM FOR THE REQUIRED UTILITY MARK OUTS IN ADVANCE OF ANY EARTH DISTURBANCE. IN ADDITION TO THIS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING ONSITE UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF THE PROJECT ACTIVITIES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES AND THE CONTRACTOR. WATER, SANITARY SEWER, AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
2. CONSTRUCTION SHALL BEGIN AT THE LOWEST ELEVATION AND/OR INVERT (POINT OF CONNECTION) AND PROGRESS UPGRADIENT. WHERE UTILITIES ARE PROPOSED TO CROSS/ TRAVERSE EXISTING UNDERGROUND UTILITIES, THE ELEVATIONS OF THE EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION BY EXCAVATING A TEST PIT AT THE PROPOSED UTILITY CROSSING POINT TO VERIFY EXISTING UTILITY LOCATIONS, ELEVATIONS, AND/OR INVERTS. SHOULD THE FIELD VERIFIED EXISTING UTILITY BE IN CONFLICT WITH THE PROPOSED SITE DESIGNS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING AND SHALL NOT PROCEED WITH SAID UTILITY CONSTRUCTION UNTIL FURTHER DIRECTION IS GIVEN FROM THE DESIGN ENGINEER.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL CONSTRUCTION AND CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE PERMITS AND CONDITIONS, DRAWINGS, REPORTS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT PRIOR TO MOBILIZATION FOR AND COMMENCEMENT OF CONSTRUCTION. SHOULD THERE BE ANY CONFLICT AND/OR DISCREPANCY BETWEEN ANY OF THE DOCUMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN ENGINEER IN WRITING OUTLINING SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR MUST INSTALL ALL UTILITIES THAT FUNCTION BY GRAVITY, INCLUDING STORM SEWER AND SANITARY SEWER COMPONENTS, PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
6. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS AND SERVICE SIZES, GREASE TRAP REQUIREMENTS/ DETAILS, DOOR ACCESS, AND EXTERIOR GRADING AND REPORT CONFLICT WITH THE SITE PLAN TO THE ENGINEER.
7. THE CONTRACTOR MUST COORDINATE INSTALLATION OF ALL UTILITY'S SERVICES WITH THE INDIVIDUAL SERVICE PROVIDER TO ASSURE INDIVIDUAL INSTALLATION REQUIREMENTS ARE MET. THE CONTRACTOR SHALL ENSURE THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS SET FORTH BY THE JURISDICTION HAVING AUTHORITY AND CONTROL OF SAID UTILITY.
8. WATER SERVICE AND WATER MAIN INSTALLATIONS SHALL BE PER THE SPECIFICATIONS OF THE LOCAL UTILITY COMPANY HAVING JURISDICTION OF THE UTILITY INCLUDING, BUT NOT LIMITED TO PRODUCT MATERIALS AND BURIAL DEPTHS. CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY COMPANY AND THE ARCHITECT TO ASSURE PROPER WATER METER SIZING PRIOR TO CONSTRUCTION.
9. SERVICES FOR ELECTRICAL, CABLE TV, FIBER OPTIC, TELEPHONE, ETC. SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED ON THE PLANS AND INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER'S SPECIFICATIONS AND STANDARDS.
10. SITE GRADING, EXCAVATION, FILL, COMPACTION AND MATERIALS USED FOR EARTH WORK AND UTILITY INSTALLATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS SET FORTH IN GEOTECHNICAL REPORT REFERENCED FOR THIS PROJECT OR THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS. WHEN GEOTECHNICAL REPORT OR RECOMMENDATIONS HAVE NOT BEEN DEVELOPED, ALL SOILS/ MATERIALS, FILLS, AND COMPACTION SHALL COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. CMG ENVIRONMENTAL, INC. SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION, AND BACKFILL.
11. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OSHA STANDARD AND REGULATIONS, AS WELL AS ANY LOCAL AUTHORITY THAT MAY HAVE JURISDICTION OVER TRENCHING PROCEDURES. CMG ENVIRONMENTAL, INC. IS NOT RESPONSIBLE FOR ANY MEANS AND METHODS OR PERFORMANCE CRITERIA ASSOCIATED WITH EXCAVATION TRENCHING AND IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR APPROPRIATE PROCEDURES ARE ADHERED TO.
12. CONTRACTOR SHALL ADJUST FRAMES, COVERS, AND GRATES OF ALL EXISTING MANHOLES, INLET STRUCTURES, WATER GATE BOXES, AND SANITARY CLEANOUT RISERS AS NECESSARY, TO MATCH PROPOSED GRADES.
13. STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. IF HIGH DENSITY POLYETHYLENE PIPE (HDPE) IS SPECIFIED ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. ROOF DRAINS MUST BE PVC SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.
14. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY SEWER LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.
15. PIPE LENGTHS INDICATED FOR SANITARY AND STORM SEWERS ARE MEASURED CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
16. ROOF DRAIN LOCATIONS ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR COORDINATING THE RROR CONNECTIONS WITH FINAL ARCHITECTURAL PLAN LOCATIONS.
17. WATER MAIN AND WATER SERVICE PIPING SHALL BE INSTALLED PER THE LOCAL WATER COMPANY'S OR THE AUTHORITY HAVING JURISDICTION SPECIFICATIONS. IN THE ABSENCE OF SUCH SPECIFICATIONS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DI) MINIMUM CLASS 52 THICKNESS MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION.
18. THE CONTRACTOR SHALL ENSURE THAT ANY AND ALL WORK LOCATED IN THE EXISTING PAVED ROADWAYS AND/OR STREETS BE REPAIRED IN ACCORDANCE WITH THE REFERENCED MUNICIPAL, COUNTY, AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PERMITTING, INSPECTION, AND APPROVAL OF COMPLETED WORK WITH THE AGENCY HAVING JURISDICTION OVER THE PROPOSED WORK.
19. THE RELOCATION OF EXISTING AND/OR THE INSTALLATION OF NEW UTILITY POLES AND TRANSFORMERS ARE AT THE SOLE DISCRETION OF UTILITY COMPANIES TO FINALIZE ALL UTILITY SERVICES AND/OR RELOCATIONS TO ASSURE NO CONFLICT WITH THE DESIGN PLANS. SHOULD A CONFLICT ARISE DUE TO THE FINAL DESIGNS OF THE UTILITY COMPANY, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING AND AWAIT A WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH FURTHER UTILITY INSTALLATIONS.

ADA INSTRUCTIONS TO CONTRACTOR:

1. THE CONTRACTOR SHALL REVIEW THE PROPOSED CONSTRUCTION WITH THE LOCAL BUILDING OFFICIAL PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTORS SHALL BE PRECISE IN THE CONSTRUCTION OF AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBLE PARKING, COMPONENTS, AND ACCESS ROUTES FOR THE PROJECT. THESE COMPONENTS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA REGULATIONS AND CONSTRUCTION STANDARDS. THESE COMPONENTS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- PARKING SPACES AND PARKING AISLES SHALL NOT EXCEED A 1:50 (1/4") PER FOOT OR NOMINALLY 2.0% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED A 1:12 (8.3%) SLOPE FOR A MAXIMUM LENGTH OF SIX (6) FEET
 - RAMPS SHALL BE EQUIPPED WITH LANDINGS AT EACH END, SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION, AND HAVE POSITIVE DRAINAGE AWAY FROM THE LANDING.
 - ACCESSIBLE ROUTES SHALL BE A MINIMUM OF 36" WIDE (UNOBSTRUCTED). HANDRAILS AND CAR OVERHANGS MAY NOT OBSTRUCT THESE AREAS. LONGITUDINAL SLOPES (DIRECTION OF TRAVEL) SHALL NOT EXCEED 1:20 (5.0%) AND SHALL HAVE A CROSS SLOPE NO GREATER THAN 1:50 (2.0%)
 - ACCESSIBLE ROUTES EXCEEDING 1:20 (5.0%) SHALL BE CONSIDERED A "RAMP". MAXIMUM SLOPES OF A RAMP SHALL BE 1:12 (8.3%) IN THE DIRECTION OF TRAVEL, AND A CROSS SLOPE OF 1:50 (2.0%). RAMPS SHALL HAVE MAXIMUM RISE OF 2.5 FEET, SHALL BE EQUIPPED WITH HAND RAILS AND LANDINGS AT THE TOPS AND BOTTOM OF THE RAMP. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING.
 - A LANDING SHALL BE PROVIDED AT THE EXTERIOR OF ALL DOORS. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING. THE LANDING SHALL BE NO LESS THAN 60 INCHES LONG UNLESS PERMITTED OTHERWISE PER THE ADA REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN IN AREAS OF EXISTING DOORWAYS, ACCESSIBLE ROUTES OR OTHER AREAS WHERE RE-CONSTRUCTION IS PROPOSED. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY FIELD CONDITIONS THAT DIFFER IN ANY MANNER FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK

LEGEND	
EXISTING	PROPOSED
---	PROPERTY LINE
---	ABUTTING PROPERTY LINE
○	IRON PIPE
□	MONUMENT
○	UTILITY POLE
○	FIRE HYDRANT
W.G.	WATER GATE
---	WATER LINE
G.G.	GAS VALVE
---	GAS LINE
田	CATCH BASIN
⊕	DRAINAGE MAINHOLE
---	DRAINAGE LINE
⊕	SEWER MANHOLE
---	SEWER LINE
OHW	OVERHEAD ELECTRIC
UGE	UNDERGROUND ELECTRIC
50	CONTOUR LINE
田	SOIL TEST PIT
⬇	PERCOLATION TEST
×	FENCE
~~~~~	TREELINE
○	BOLLARD
---	EDGE OF WETLANDS
⬆	WETLAND SYMBOL
---	WETLAND BUFFER
---	EROSION CONTROL BARRIER
○	CATCH BASIN PROTECTION
---	LIMIT OF WORK



PROPOSED COMMERCIAL BUILDING  
39 ALDER STREET  
MEDWAY, MA 02053

ETS PROPERTIES, LLC.  
11 AIRPORT ROAD  
HOPEDALE, MA 01747

ENGINEERING SERVICES  
ENVIRONMENTAL SERVICES  
67 Hall Road  
Sturbridge, MA 01566  
Phone: 774-241-0901  
fax: 774-241-0906



ISSUE DATE: 4/12/2023  
DRAWN BY: RL [CHECKED BY: DTF]  
SCALE: 1" = 20'  
PROJECT NO.: 2020-149

GENERAL NOTES  
SHEET

N-1.0

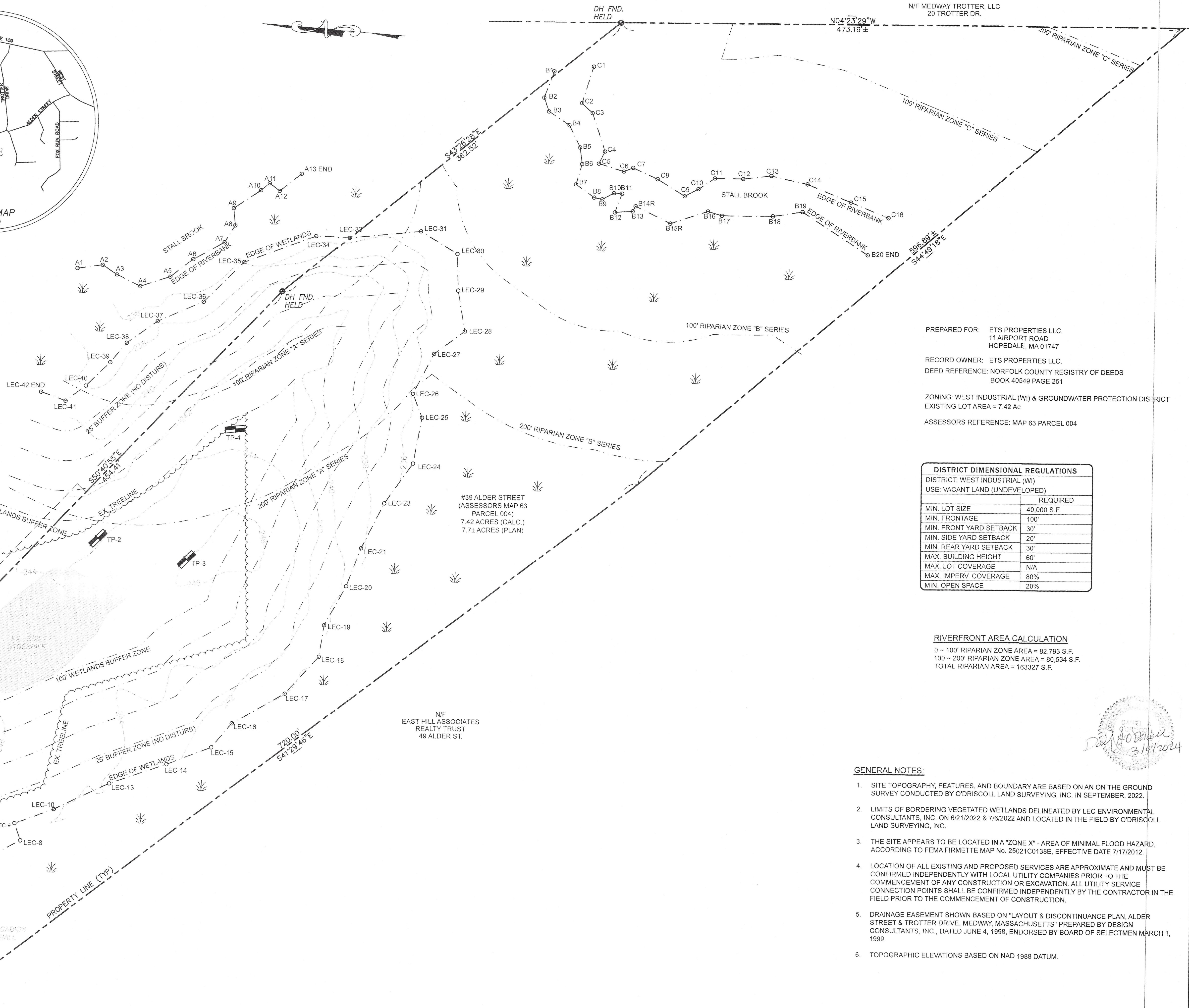
TYPICAL ABBREVIATIONS

PROP.	PROPOSED	E.O.P.	EDGE OF PAVEMENT	VAC.	VACUUM
EX.	EXISTING	V.G.C.	VERTICAL GRANITE CURB	TRANS.	TRANSFORMER
N/F	NOW OR FORMERLY	S.G.C.	SLOPED GRANITE CURB	GEN.	GENERATOR
ND	NOT DETERMINED	C.C.B.	CAPE COD BERM	APPROX. LOC.	APPROXIMATE LOCATION
TBR	TO BE REMOVED	B.C.C.	BITUMINOUS CONCRETE CURB	INV.	INVERT
CONC.	CONCRETE	C.C.	CONCRETE CURB	TBD	TO BE DETERMINED
BIT.	BITUMINOUS	W.G.	WATER GATE	FF	FINISH FLOOR ELEVATION
UP	UTILITY POLE	G.G.	GAS GATE	TF	TOP OF FOUNDATION ELEVATION
L.S.A.	LANDSCAPE AREA	M.E.	MATCH EXISTING	OHD	OVERHEAD DOOR



# LEGEND

MON	MONUMENT
N.F.	NOT FOUND
N/F	NOW OR FORMERLY
EX.	EXISTING
PROP.	PROPOSED
INV.	INVERT
UT	UTILITY POLE
BIT.	BITUMINOUS
CONC.	CONCRETE
CB	DRAIN CATCH BASIN
V.G.C.	VERTICAL GRANITE CURB
E.O.P.	EDGE OF PAVEMENT
FD	FIRE HYDRANT
---240---	EXISTING CONTOUR
- - -	EDGE OF WETLAND
- - - - -	WETLAND BUFFER
~~~~~	TREELINE
○	WETLAND FLAG
—+—	GUARDRAIL
○	DRILL HOLE
□	STONE BOUND



PREPARED FOR: ETS PROPERTIES LLC.
11 AIRPORT ROAD
HOPDALE, MA 01747

RECORD OWNER: ETS PROPERTIES LLC.
DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
BOOK 40549 PAGE 251

ZONING: WEST INDUSTRIAL (WI) & GROUNDWATER PROTECTION DISTRICT
EXISTING LOT AREA = 7.42 Ac

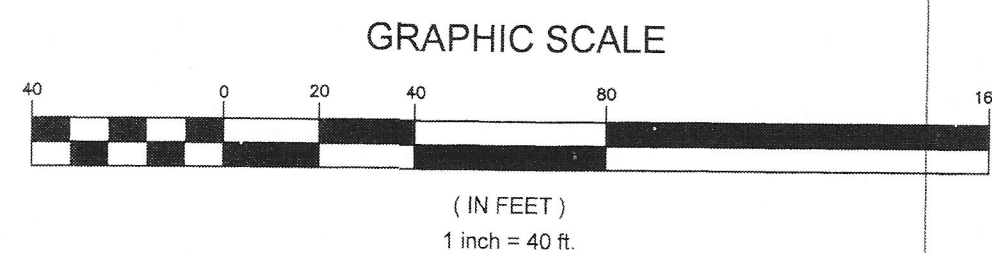
ASSESSORS REFERENCE: MAP 63 PARCEL 004

DISTRICT DIMENSIONAL REGULATIONS	
DISTRICT: WEST INDUSTRIAL (WI)	
USE: VACANT LAND (UNDEVELOPED)	
	REQUIRED
MIN. LOT SIZE	40,000 S.F.
MIN. FRONTAGE	100'
MIN. FRONT YARD SETBACK	30'
MIN. SIDE YARD SETBACK	20'
MIN. REAR YARD SETBACK	30'
MAX. BUILDING HEIGHT	60'
MAX. LOT COVERAGE	N/A
MAX. IMPERV. COVERAGE	80%
MIN. OPEN SPACE	20%

RIVERFRONT AREA CALCULATION
0 ~ 100' RIPARIAN ZONE AREA = 82,793 S.F.
100 ~ 200' RIPARIAN ZONE AREA = 80,534 S.F.
TOTAL RIPARIAN AREA = 163,327 S.F.

GENERAL NOTES:

- SITE TOPOGRAPHY, FEATURES, AND BOUNDARY ARE BASED ON AN ON THE GROUND SURVEY CONDUCTED BY O'DRISCOLL LAND SURVEYING, INC. IN SEPTEMBER, 2022.
- LIMITS OF BORDERING VEGETATED WETLANDS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON 6/21/2022 & 7/6/2022 AND LOCATED IN THE FIELD BY O'DRISCOLL LAND SURVEYING, INC.
- THE SITE APPEARS TO BE LOCATED IN A "ZONE X" - AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO FEMA FIRMEETTE MAP No. 25021C0138E, EFFECTIVE DATE 7/17/2012.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- DRAINAGE EASEMENT SHOWN BASED ON "LAYOUT & DISCONTINUANCE PLAN, ALDER STREET & TROTTER DRIVE, MEDWAY, MASSACHUSETTS" PREPARED BY DESIGN CONSULTANTS, INC., DATED JUNE 4, 1998, ENDORSED BY BOARD OF SELECTMEN MARCH 1, 1999.
- TOPOGRAPHIC ELEVATIONS BASED ON NAD 1988 DATUM.



DIG SAFE NOTE (1-888-344-7233):
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REVISIONS	
NO.	DATE
1	6/5/2023
2	10/19/2023
3	3/4/2024

EXISTING CONDITIONS PLAN
ETS PROPERTIES LLC
39 ALDER STREET
MEDWAY, MA 02053

ETS PROPERTIES LLC
11 AIRPORT ROAD
HOPDALE, MA 01747

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01586
Phone: 774-241-0901
Fax: 774-241-0806



O'DRISCOLL
LAND SURVEYING Inc.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

DATE:	04/12/2023
DRAWN:	RL
CHECKED:	DAO
SCALE:	1"=40'
PROJ. #:	2020-149

EXISTING CONDITIONS PLAN

EX-1.0

ZONING INFORMATION TABLE - MEDWAY, MA
#39 ALDER STREET, MEDWAY, MA

PREPARED FOR: ETS PROPERTIES LLC
11 AIRPORT ROAD
HOPEDALE, MA 01747

CURRENT OWNER: ETS PROPERTIES LLC
11 AIRPORT ROAD
HOPEDALE, MA 01747

ASSESSOR'S MAP ID: 63-004 DEED: BK 40549 PG 251

EXISTING ZONE: W1 (WEST INDUSTRIAL) & GROUNDWATER PROTECTION DISTRICT OVERLAY

EXISTING USE: VACANT INDUSTRIAL PROPERTY

PROPOSED USE: MANUFACTURING - FRAMING COMPANY WAREHOUSE TO BUILD WOOD WALL PANELS

EXISTING ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT SIZE (MIN.)	40,000 S.F.	323,351 S.F. (7.42 Acres)	323,351 S.F. (7.42 Acres)
FRONTAGE	100 FT.	212.98 FT.	212.98 FT.
FRONT SETBACK	30 FT.	N/A	150.37 FT.
SIDE SETBACK	20 FT.	N/A	47.29 FT.
REAR SETBACK (MIN.)	30 FT.	N/A	> 30 FT.
MAX. BLDG. HEIGHT	60 FT.	N/A	34.58 FT.
LOT BLDG. COVERAGE (MAX.)	N/A	N/A	9,600 S.F. (2.9%)
IMPERVIOUS COVERAGE (MAX.)	80 %	238 S.F.	63,040 S.F. (19.5 %)

PROPOSED PARKING CALCULATION

Office:	REQUIRED	PROPOSED
(1 Space / 300 s.f.) x 1,600 s.f.	6 Spaces	8 Spaces
Industrial:		
(1 Space / 1,000 s.f.) x 8,000 s.f.	8 Spaces	8 Spaces
(1 Space / 2 Employees) x 10 Employees	5 Spaces	5 Spaces

Total Spaces = 19 Spaces* 21 Spaces*

*Includes Handicap Space

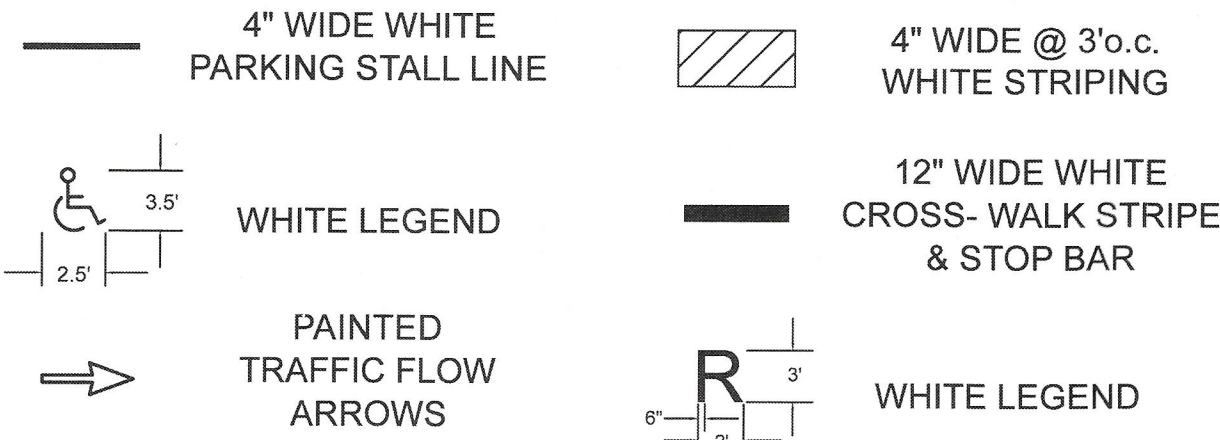
Marked Handicap Accessible Spaces

(1-25 Spaces) 1 Van Accessible

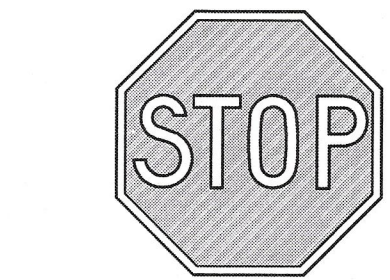
RIVERFRONT DISTURBANCE CALCULATION

TOTAL RIPARIAN AREA (0'-200') = 163,327 S.F.
10% OF RIPARIAN AREA = 16,332 S.F.
PROPOSED RIVERFRONT DISTURBANCE (100'-200') = 8,365 S.F.

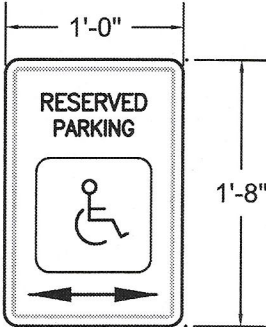
PAVEMENT STRIPING LEGEND:



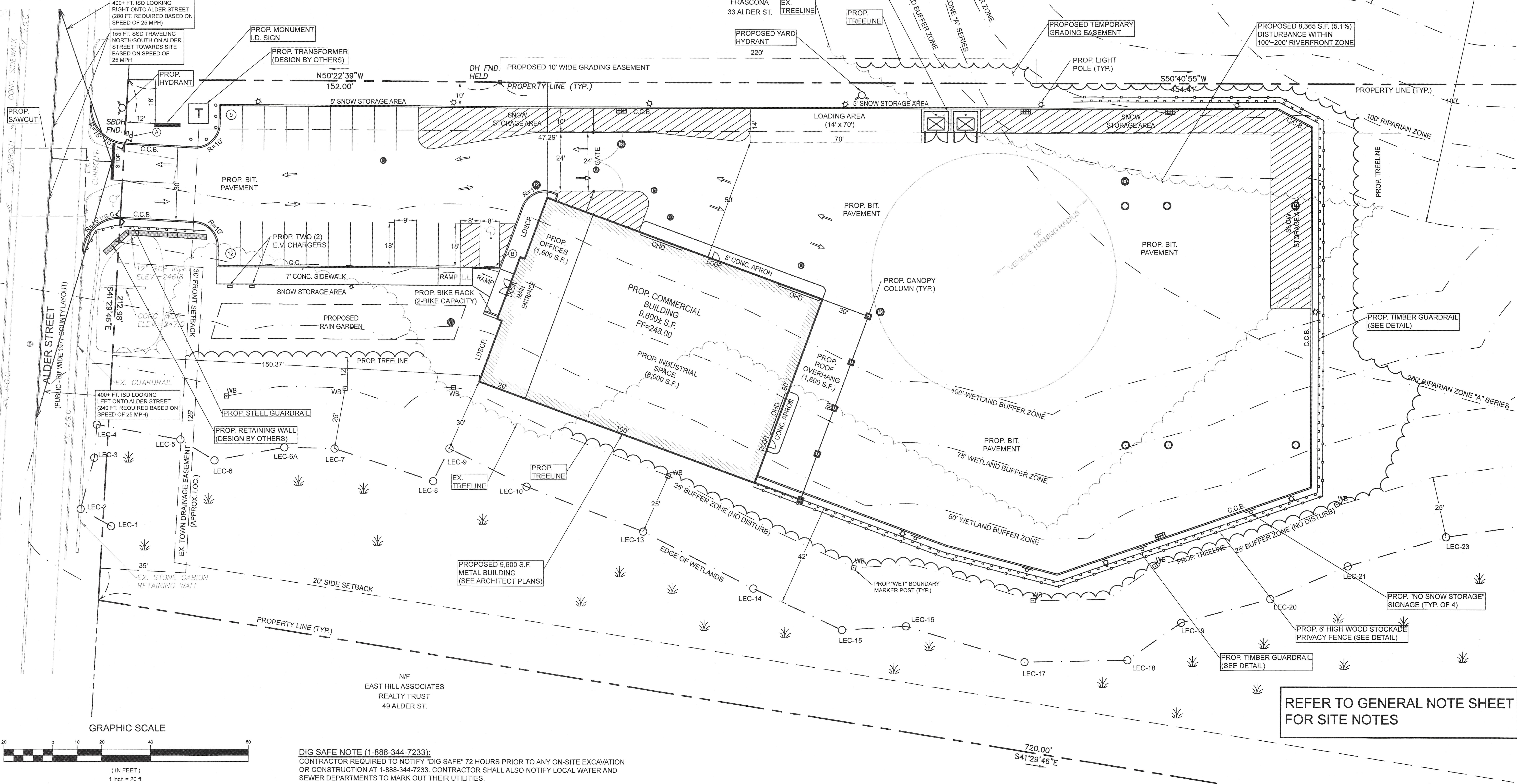
SIGN LEGEND:



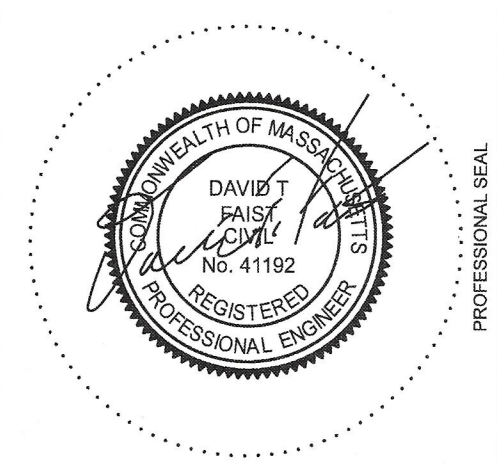
R1-1 30" STOP SIGN



R7-8 ACCESSIBLE PARKING SIGN



NO.	DATE	DESCRIPTION	BY	CHKD
1.	8/5/2023	REVISED PER CON. COMM. SITE WALK	RL	DTF
2.	10/18/2023	PER TOWN & PEER REVIEW COMMENTS	MM	DTF
3.	3/4/2024	CLIENT CHANGE OF USE/BUILDING	MM	DTF



PROPOSED COMMERCIAL BUILDING
39 ALDER STREET
MEDWAY, MA 02053

ETS PROPERTIES, LLC.
11 AIRPORT ROAD
HOPEDALE, MA 01747

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
fax: 774-241-0906

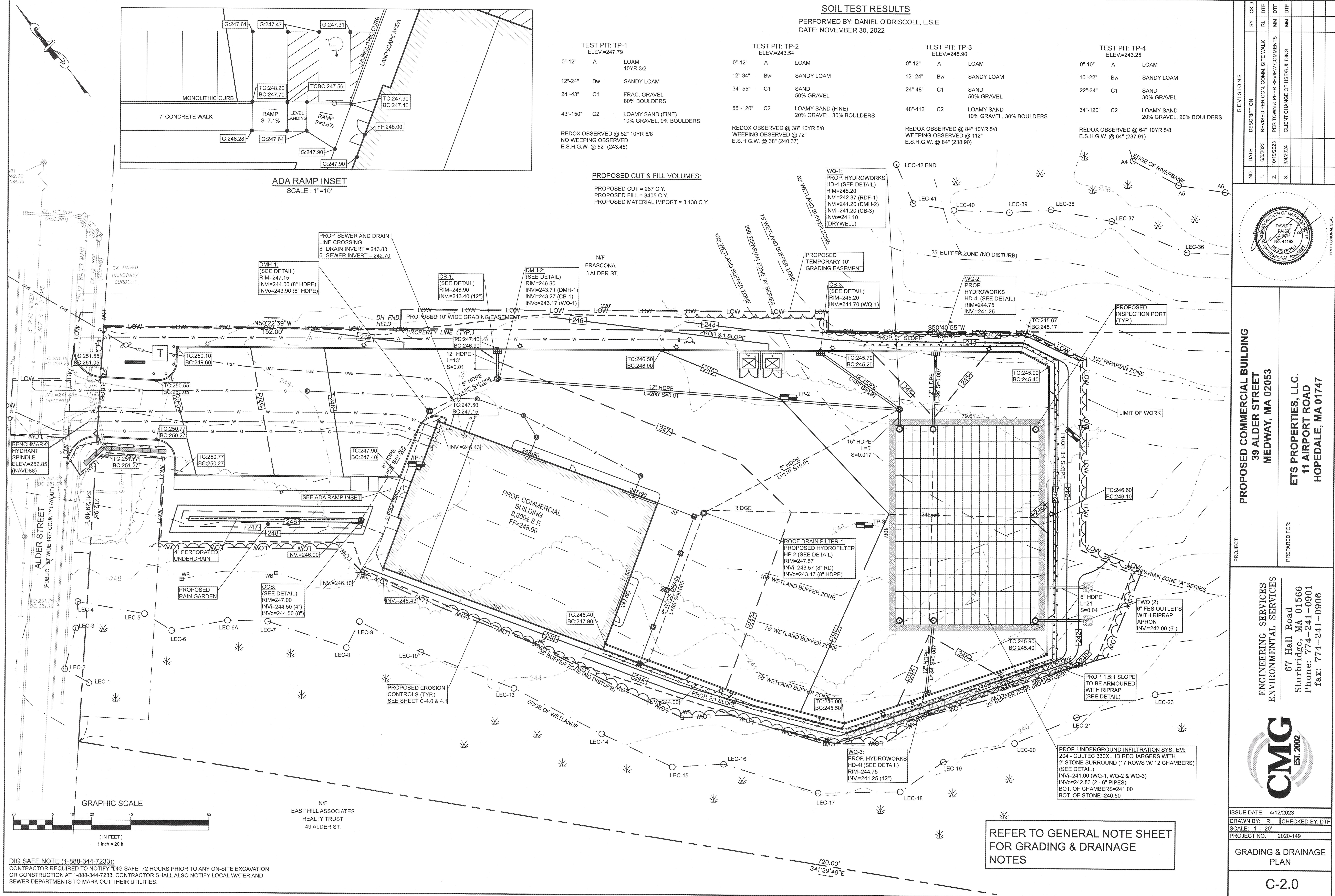


ISSUE DATE: 4/12/2023
DRAWN BY: RL CHECKED BY: DTF
SCALE: 1" = 20'
PROJECT NO.: 2020-149

SITE LAYOUT
PLAN

C-1.0

DIG SAFE NOTE (1-888-344-7233):
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OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND
SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



SOIL TEST RESULTS

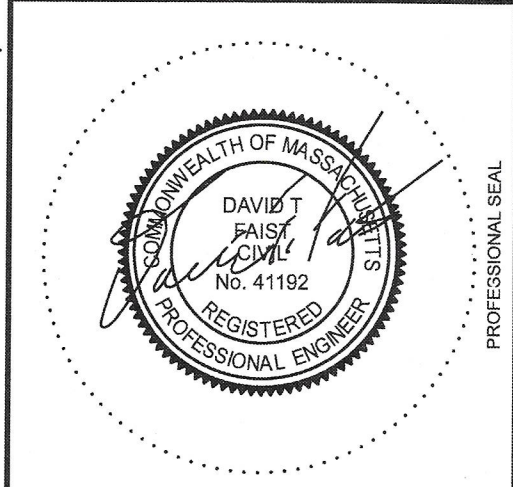
PERFORMED BY: DANIEL O'DRISCOLL, L.S.E.
DATE: NOVEMBER 30, 2022

TEST PIT: TP-1 ELEV.=247.79			TEST PIT: TP-2 ELEV.=243.54			TEST PIT: TP-3 ELEV.=245.90			TEST PIT: TP-4 ELEV.=243.25		
0'-12"	A	LOAM 10YR 3/2	0'-12"	A	LOAM	0'-12"	A	LOAM	0'-10"	A	LOAM
12'-24"	Bw	SANDY LOAM	12'-34"	Bw	SANDY LOAM	12'-24"	Bw	SANDY LOAM	10'-22"	Bw	SANDY LOAM
24'-43"	C1	FRAC. GRAVEL 80% BOULDERS	34'-55"	C1	SAND 50% GRAVEL	24'-48"	C1	SAND 50% GRAVEL	22'-34"	C1	SAND 30% GRAVEL
43'-150"	C2	LOAMY SAND (FINE) 10% GRAVEL, 0% BOULDERS	55'-120"	C2	LOAMY SAND (FINE) 20% GRAVEL, 30% BOULDERS	48'-112"	C2	LOAMY SAND 10% GRAVEL, 30% BOULDERS	34'-120"	C2	LOAMY SAND 20% GRAVEL, 20% BOULDERS
REDOX OBSERVED @ 52" 10YR 5/8 E.S.H.G.W. @ 52" (243.45)			REDOX OBSERVED @ 38" 10YR 5/8 WEAVING OBSERVED @ 72" E.S.H.G.W. @ 38" (240.37)			REDOX OBSERVED @ 84" 10YR 5/8 WEAVING OBSERVED @ 112" E.S.H.G.W. @ 84" (238.90)			REDOX OBSERVED @ 64" 10YR 5/8 E.S.H.G.W. @ 64" (237.91)		

PROPOSED CUT & FILL VOLUMES:

PROPOSED CUT = 267 C.Y.
PROPOSED FILL = 3405 C.Y.
PROPOSED MATERIAL IMPORT = 3,138 C.Y.

REVISIONS				
NO.	DATE	DESCRIPTION	BY	CHKD
1.	6/5/2023	REVISED PER CON. COMM. SITE WALK	RL	DTF
2.	10/19/2023	PER TOWN & PEER REVIEW COMMENTS	MM	DTF
3.	3/4/2024	CLIENT CHANGE OF USE/BUILDING	MM	DTF



PROJECT: PROPOSED COMMERCIAL BUILDING
39 ALDER STREET
MEDWAY, MA 02053

PREPARED FOR: ETS PROPERTIES, LLC.
11 AIRPORT ROAD
HOPEDALE, MA 01747

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

67 Hall Road
Sturbridge, MA 01566
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fax: 774-241-0906



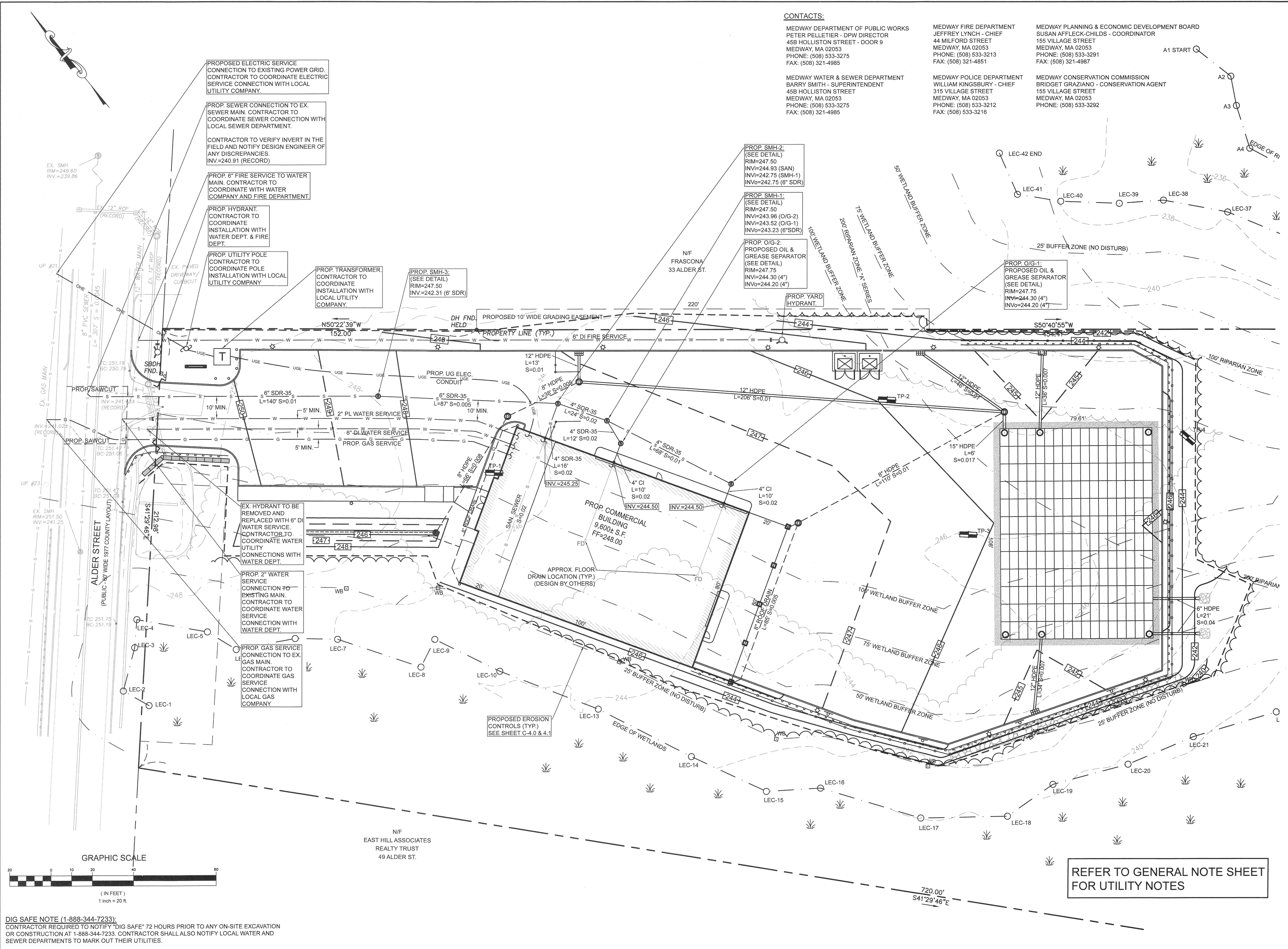
ISSUE DATE: 4/12/2023
DRAWN BY: RL CHECKED BY: DTF
SCALE: 1" = 20'
PROJECT NO.: 2020-149

GRADING & DRAINAGE
PLAN

C-2.0

REFER TO GENERAL NOTE SHEET
FOR GRADING & DRAINAGE
NOTES

DIG SAFE NOTE (1-888-344-7233):
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SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



CONTACTS:

MEDWAY DEPARTMENT OF PUBLIC WORKS
PETER PELLETIER - DPW DIRECTOR
45B HOLLISTON STREET - DOOR 9
MEDWAY, MA 02053
PHONE: (508) 533-3275
FAX: (508) 321-4985

MEDWAY FIRE DEPARTMENT
JEFFREY LYNCH - CHIEF
44 MILFORD STREET
MEDWAY, MA 02053
PHONE: (508) 533-3213
FAX: (508) 321-4851

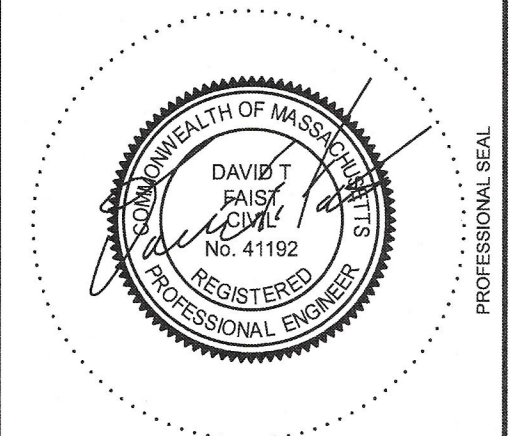
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD
SUSAN AFFLECK-CHILDS - COORDINATOR
155 VILLAGE STREET
MEDWAY, MA 02053
PHONE: (508) 533-3291
FAX: (508) 321-4987

MEDWAY WATER & SEWER DEPARTMENT
BARRY SMITH - SUPERINTENDENT
45B HOLLISTON STREET
MEDWAY, MA 02053
PHONE: (508) 533-3275
FAX: (508) 321-4985

MEDWAY POLICE DEPARTMENT
WILLIAM KINGSBURY - CHIEF
315 VILLAGE STREET
MEDWAY, MA 02053
PHONE: (508) 533-3212
FAX: (508) 533-3216

MEDWAY CONSERVATION COMMISSION
BRIDGET GRAZIANO - CONSERVATION AGENT
155 VILLAGE STREET
MEDWAY, MA 02053
PHONE: (508) 533-3292

REVISIONS		NO.	DATE	DESCRIPTION
BY	CD	1.	6/5/2023	REVISED PER CON. COMM. SITE WALK
BY	RL	2.	10/19/2023	PER TOWN & PEER REVIEW COMMENTS
BY	MM	3.	3/4/2024	CLIENT CHANGE OF USE/BUILDING
BY	DTF			
BY	DTF			
BY	DTF			



PROJECT: PROPOSED COMMERCIAL BUILDING
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MEDWAY, MA 02053

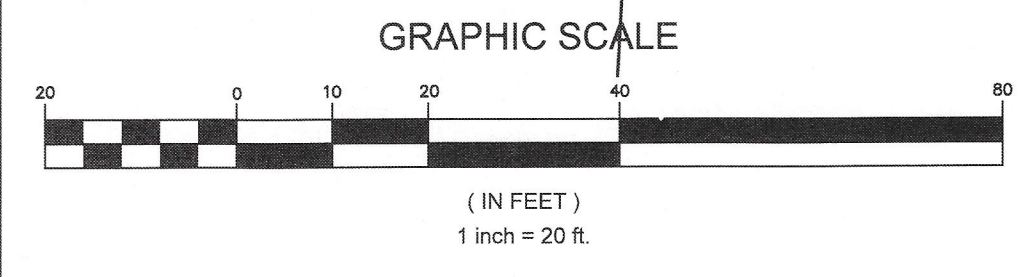
PREPARED FOR: ETS PROPERTIES, LLC.
11 AIRPORT ROAD
HOPEDALE, MA 01747

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
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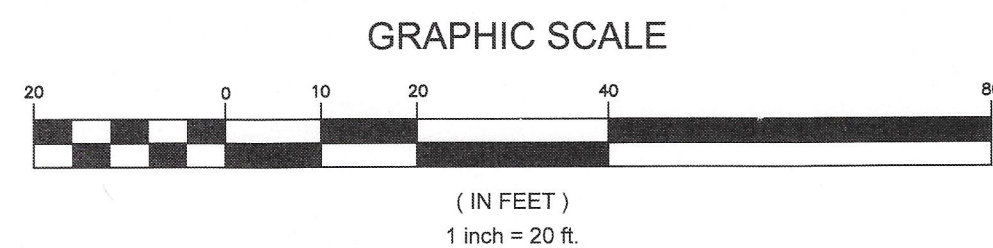
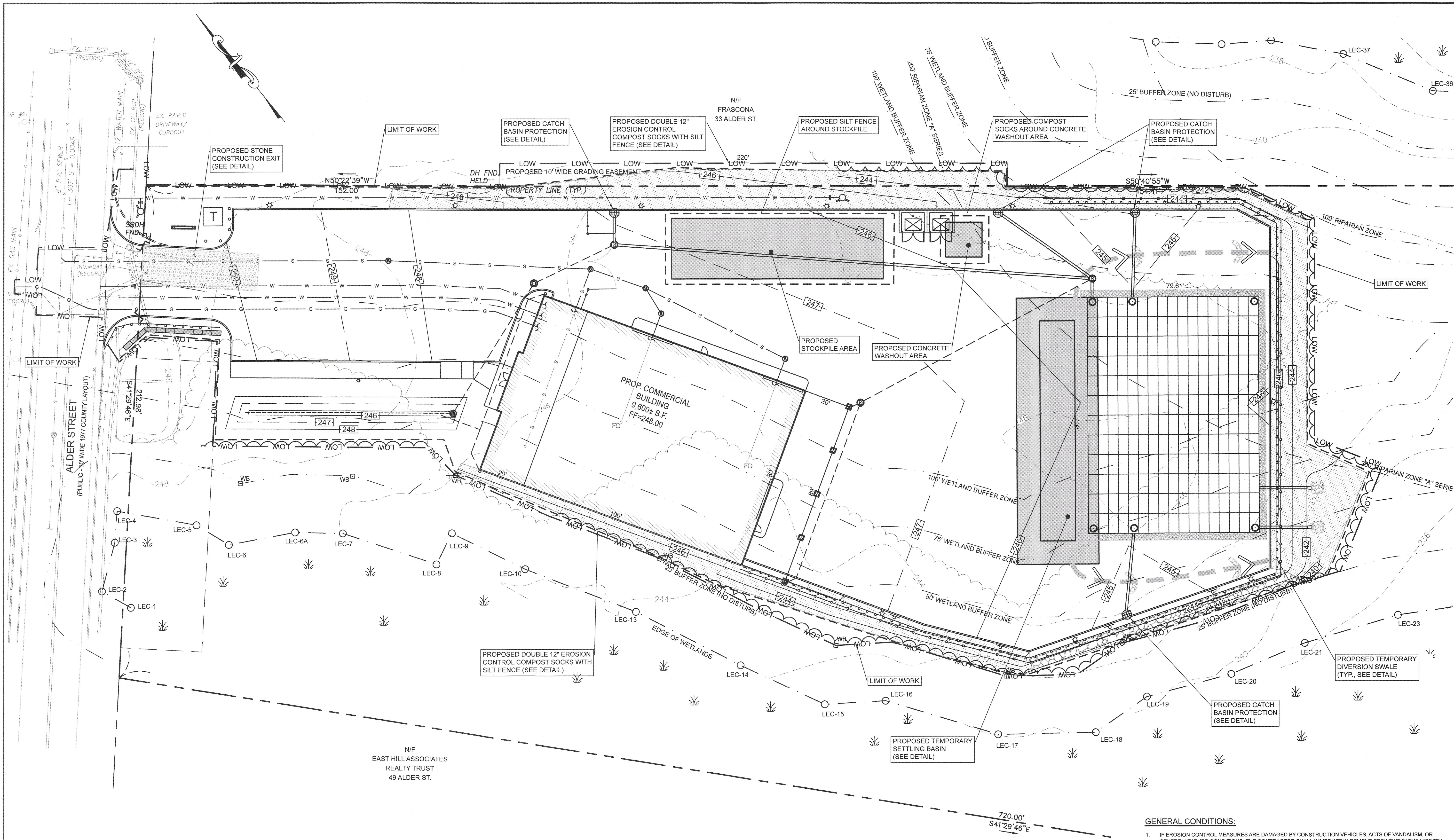
UTILITY PLAN

C-3.0



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REFER TO GENERAL NOTE SHEET FOR UTILITY NOTES



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LEGEND

SLOPE VEGETATION ARMORING*

* SEED MIX SHALL BE "NEW ENGLAND CONSERVATION / WILDLIFE MIX" MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL WITH EROSION CONTROL BLANKET AND GEOWEB SLOPE STABILIZATION

RESPONSIBILITIES OF OWNER/PERMITEE

THE OWNER/PERMITEE SHALL:

- PROVIDE THE CONTRACTOR WITH COPIES OF LAND-USE PERMITS THAT OWNER HAS ACQUIRED.
- INFORM ALL PARTIES INVOLVED WITH THE PROPOSED SITE WORK OF THIS PLAN'S OBJECTIVES AND REQUIREMENTS.

RESPONSIBILITIES OF CONTRACTOR

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SITE AND FOR PROTECTING ADJACENT STORM SEWERS AND WATERWAYS FROM SEDIMENTATION.

- INSTALL, MONITOR, AND MAINTAIN OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN.
- COMPLY WITH ALL PERMIT REQUIREMENTS.

GENERAL CONDITIONS:

- IF EROSION CONTROL MEASURES ARE DAMAGED BY CONSTRUCTION VEHICLES, ACTS OF VANDALISM, OR SEVERE WEATHER CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT IN THE VICINITY OF THE EROSION CONTROL MEASURES AND REPAIR THESE MEASURES TO A FUNCTIONAL CONDITION.
- IF DURING OR AFTER CONSTRUCTION, IT BECOMES APPARENT THAT EXISTING EROSION CONTROL MEASURES ARE INCAPABLE OF CONTROLLING EROSION, THE ENGINEER OR THE CITY MAY REQUIRE ADDITIONAL CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, ADDITIONAL WATTLES, SILT FENCE, SEDIMENT BASINS, MECHANICALLY ANCHORED MULCH, OR ENHANCED DEWATERING FILTRATION.
- NO CONSTRUCTION SHALL PROCEED UNTIL A WRITTEN PROPOSAL OF METHODS TO PREVENT CONSTRUCTION DEBRIS, PAINT, SPENT BLAST MATERIALS, OR OTHER MATERIALS FROM ENTERING A STORM SEWER, THE WETLAND, OR WATERCOURSE HAS BEEN SUBMITTED BY THE CONTRACTOR TO THE OWNER AND APPROVED BY THE OWNER, AND SUCH METHODS HAVE BEEN IMPLEMENTED AS THE OWNER DIRECTS. THESE MATERIALS SHALL BE COLLECTED AND DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND STATE LAWS AND REGULATIONS. THE OWNER MAY ORDER THE CONTRACTOR TO CEASE SUCH ACTIVITY TEMPORARILY IF, IN THE JUDGEMENT OF THE OWNER, WIND OR STORM CONDITIONS THREATEN TO CAUSE THE DEPOSIT OF SUCH MATERIALS INTO A WATERWAY.
- ALL TEMPORARILY FILL SHALL BE STABILIZED DURING USE TO PREVENT EROSION AND SHALL BE SUITABLY CONTAINED TO PREVENT SEDIMENT OR OTHER PARTICULATE MATTER FROM ENTERING A WETLAND OR WATERCOURSE. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS OR AS DIRECTED BY THE OWNER, AND REVEGETATED. THE AREAL EXTENT OF TEMPORARY FILL OR EXCAVATION SHALL BE CONFINED TO THAT AREA NECESSARY TO PERFORM THE WORK, AS APPROVED BY THE OWNER.
- DUMPING OF OIL, CHEMICALS OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING, AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL. ALL SPILLS OF SUCH MATERIALS SHALL BE REPORTED IMMEDIATELY BY THE CONTRACTOR TO APPROPRIATE CITY AND STATE AGENCIES.
- EPA-NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION ACTIVITIES REQUIRED.
- INSPECTIONS: EROSION CONTROL SHALL BE INSPECTED WEEKLY OR AFTER A STORM EVENT WITH 0.25" PRECIPITATION ACCUMULATION. INSPECTION SHALL BE RECORDED IN A LOG ALONG WITH TIME AND DATE. LOG SHALL BE AVAILABLE FOR INSPECTION BY THE TOWN OFFICIALS UPON REQUEST.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	8/5/2023	REVISED PER CON. COMM. SITE WALK	RL
2	10/19/2023	PER TOWN & PEER REVIEW COMMENTS	MM
3	3/4/2024	CLIENT CHANGE OF USE/BUILDING	MM

DAVID P. SMITH
No. 41192
REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS

PROJECT: PROPOSED COMMERCIAL BUILDING
39 ALDER STREET
MEDWAY, MA 02053

PREPARED FOR: ETS PROPERTIES, LLC.
11 AIRPORT ROAD
HOPEDALE, MA 01747

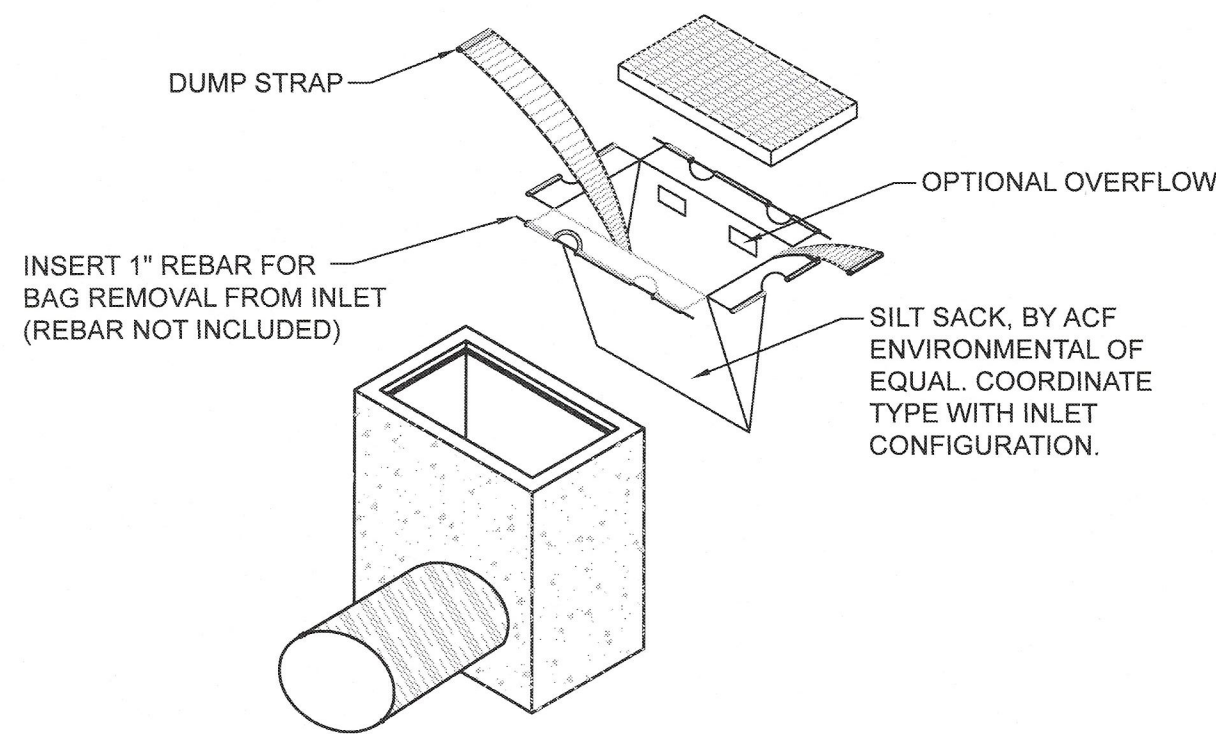
ENGINEERING SERVICES ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
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CMG EST. 2002

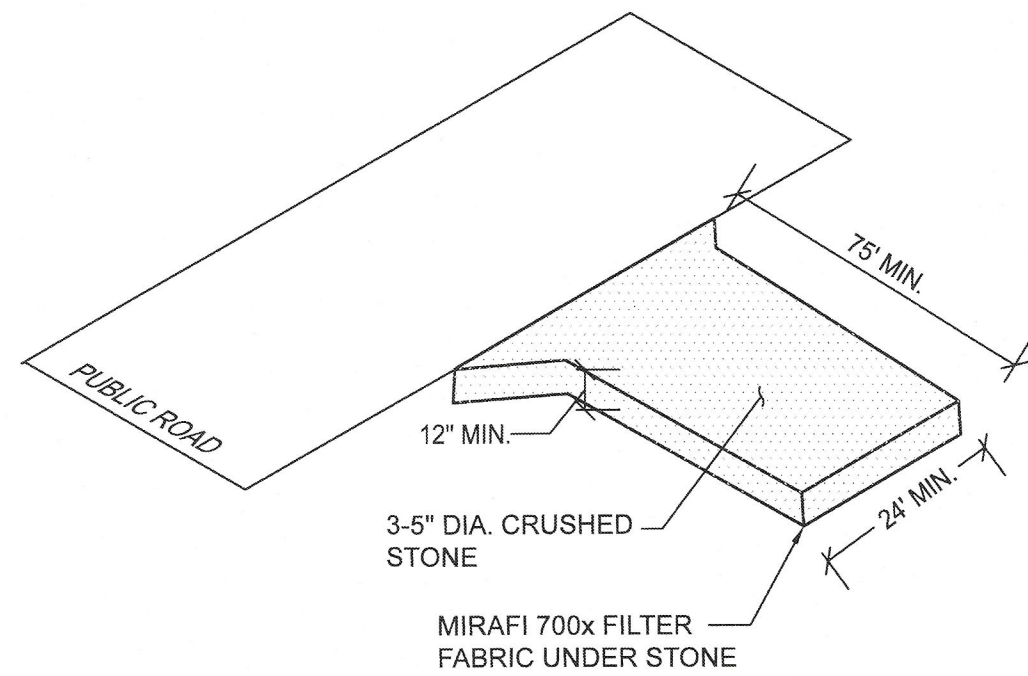
ISSUE DATE: 4/12/2023
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SCALE: 1" = 20'
PROJECT NO.: 2020-149

EROSION & SEDIMENT CONTROL PLAN

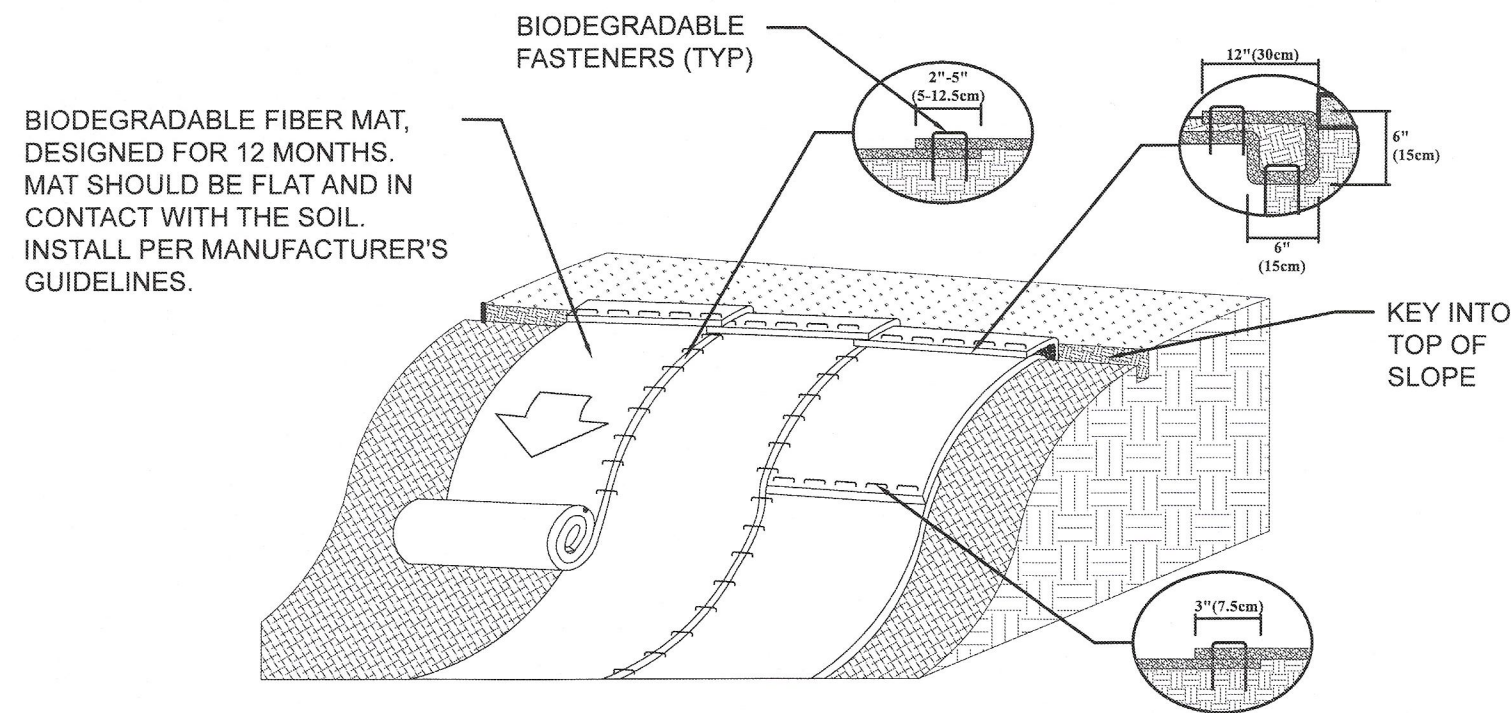
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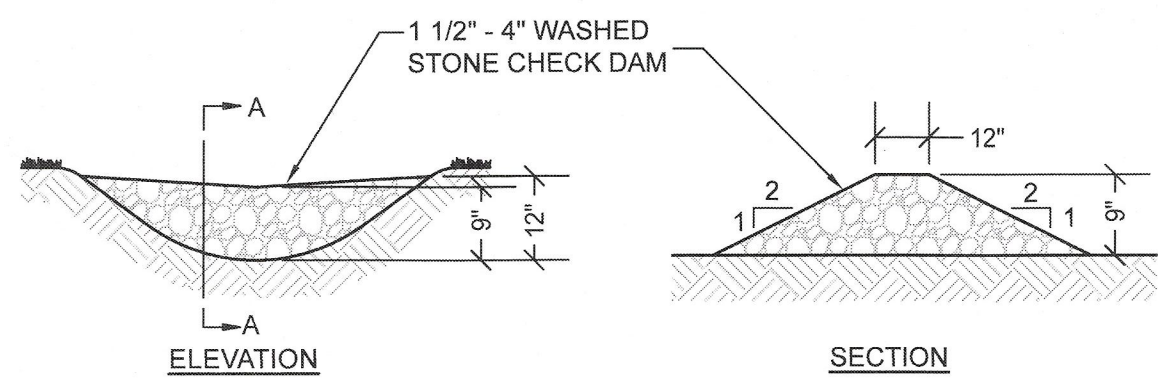
SILT SACK DETAIL
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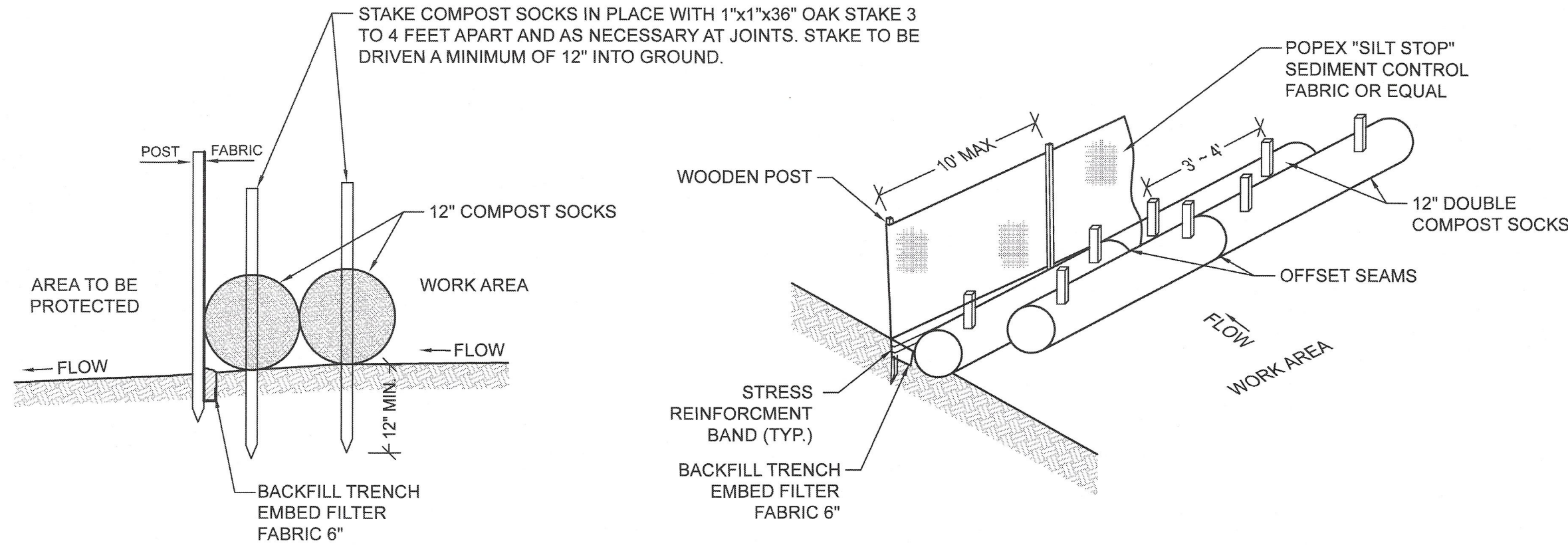
CONSTRUCTION EXIT DETAIL
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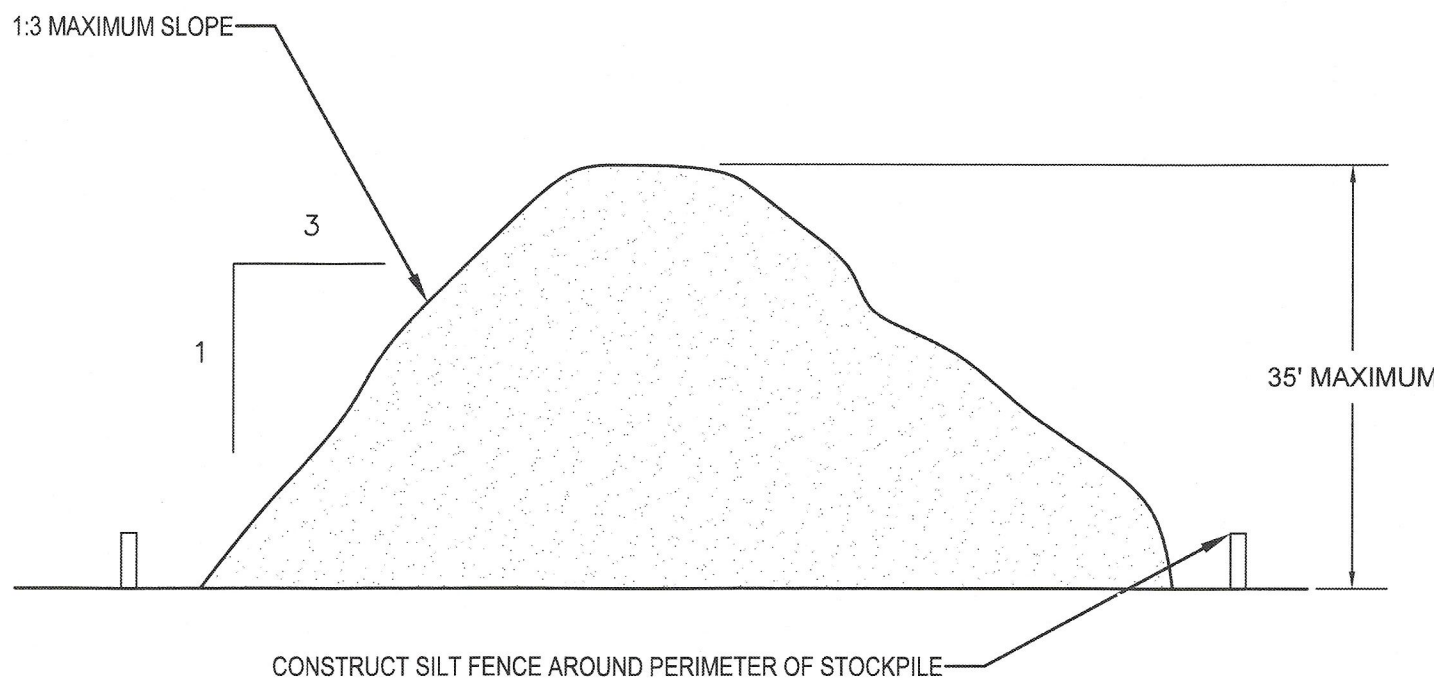
EROSION CONTROL BLANKET DETAIL
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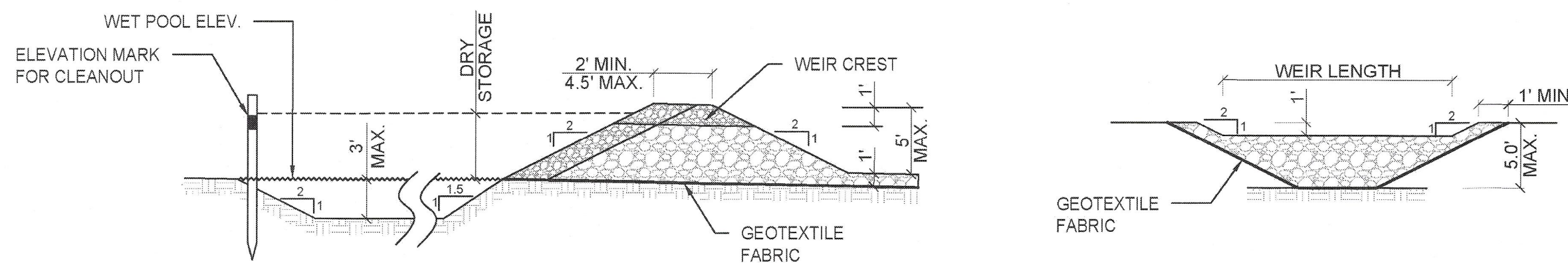
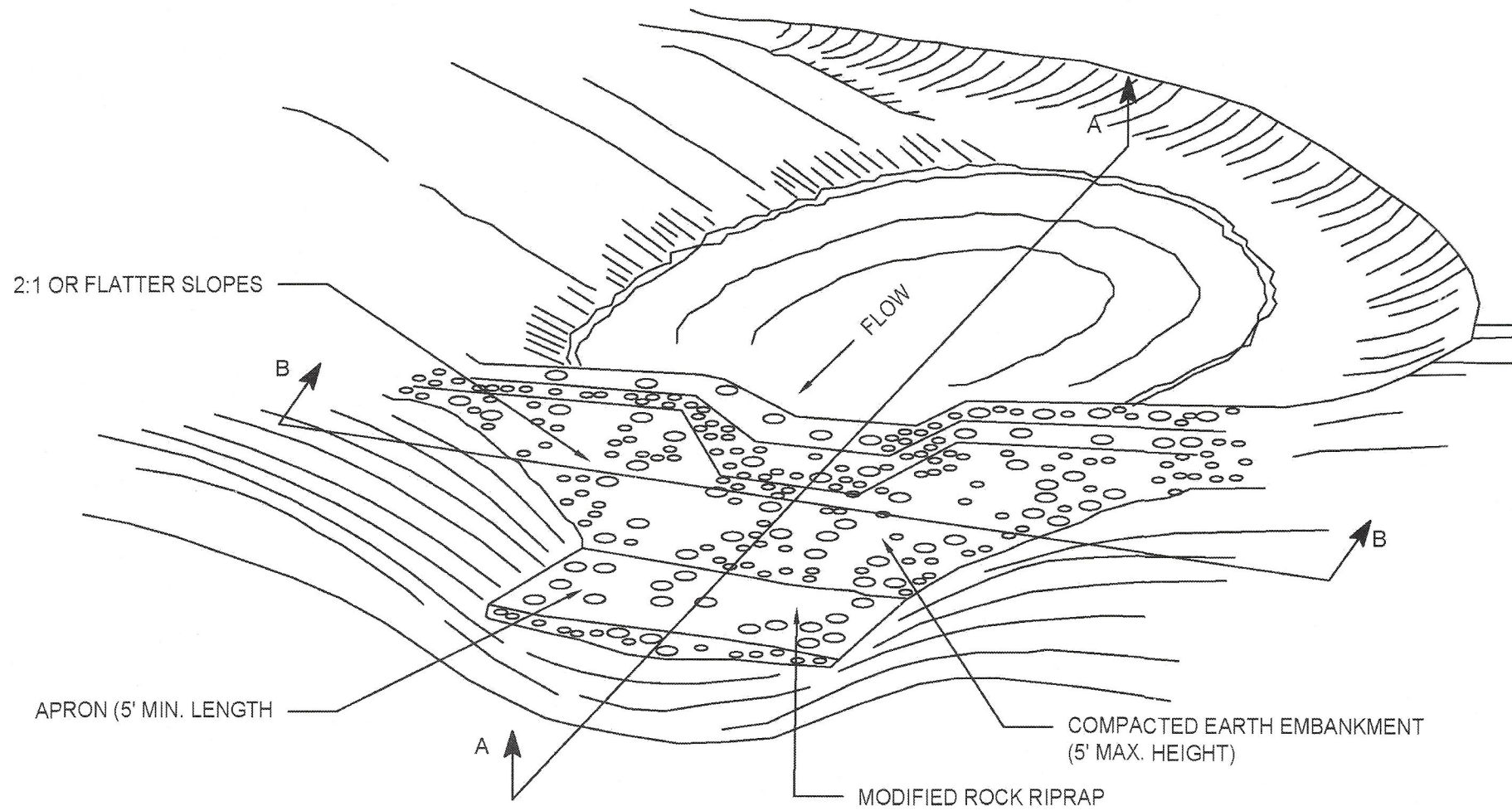
TEMPORARY DIVERSION SWALE WITH STONE CHECK DAM DETAIL
NOT TO SCALE



DOUBLE COMPOST SOCKS WITH SILT FENCE DETAIL
NOT TO SCALE



TEMPORARY STOCKPILE
NOT TO SCALE



TEMPORARY SEDIMENT BASIN DETAIL
NOT TO SCALE

PROPOSED SEQUENCE OF CONSTRUCTION:

1. CONDUCT A PRE-CONSTRUCTION MEETING WITH APPLICABLE TOWN STAFF, PEER REVIEW CONSULTANTS, AND ENGINEER OF RECORD.
2. OBTAIN ALL APPLICABLE PERMITS FROM THE TOWN AND STATE BEFORE STARTING ANY WORK ON THE SITE.
3. INSTALL EROSION CONTROLS AS SHOWN ON THE PLAN AND DETAILS.
4. ROUGH GRADE THE SITE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
5. CONSTRUCT THE PROPOSED BUILDING PER THE SITE PLAN.
6. INSTALL ALL SUBSURFACE UTILITIES AND STORMWATER CONVEYANCE/ TREATMENT STRUCTURES.
7. FINALIZE PROPOSED SITE IMPROVEMENTS PER THE APPROVED SITE PLAN. INSTALL GROUND COVER TREATMENT PER THE LANDSCAPE PLAN TO STABILIZE ANY DISTURBED AREAS.
8. COORDINATE FINAL APPROVALS WITH ENGINEER OF RECORD & APPLICABLE TOWN DEPARTMENTS. AS-BUILT SURVEY AND INSPECTIONS WILL BE REQUIRED PRIOR TO FINAL APPROVAL BY THE TOWN DEPARTMENTS.
9. REMOVE ALL EROSION CONTROL MEASURES FROM THE SITE AND PROPERLY DISPOSE OF MEASURES OFF-SITE.

DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES:

TEMPORARY STABILIZATION MEASURES

SILT FENCING WITH COMPOST SOCKS OR APPROVED EQUAL:
INSTALL SILT FENCE/ COMPOST SOCKS AT VARIOUS LOCATIONS AS SHOWN ON THE PLANS AND DETAILS. EMBED THE SILT FENCE AND COMPOST SOCKS INTO THE GROUND AND FIRMLY ANCHOR IT AS SHOWN IN THE DETAILS. REMOVE SEDIMENT ONCE LEVELS HAVE REACHED 1/4 OF THE EFFECTIVE FENCE-HEIGHT. REPAIR AND OR/ REPLACE IMMEDIATELY IF DAMAGED OR DETERIORATED.

CONSTRUCTION ENTRANCE:
PLACE 1 - 3" STONE ON A GEOTEXTILE FILTER FABRIC ALONG A STABLE FOUNDATION. ENTRANCE SHALL BE INSPECTED WEEKLY OR AFTER A HEAVY RAIN EVENT. MUD AND SEDIMENT TRACKED OR WASHED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. ONCE MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE GRAVEL, THE PAD SHOULD BE TOP DRESSED WITH STONE. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.

SILT SACK DROP INLET PROTECTION:
SILT SACK OR APPLICABLE FABRIC DROP INLET PROTECTION DEVICE SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. TRAPPING DEVICES AND STRUCTURES THEY PROTECT SHOULD BE INSPECTED AFTER EVERY RAIN. STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM THE TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP.

TEMPORARY STABILIZATION:
TOP SOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED AND MULCH PROCEDURES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S RECOMMENDATIONS. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

DUST CONTROL:
TAKE PRECAUTIONS TO PREVENT DUST FROM BECOMING A NUISANCE TO ADJUTING PROPERTY OWNERS. BROOM OFF PAVEMENTS ADJOINING THE EXCAVATION ON A DAILY BASIS. COVER AND/OR KEEP MOIST ALL EARTH STOCKPILES AT ALL TIMES. USE CALCIUM CHLORIDE TO CONTROL DUST OVER CERTAIN AREAS OF THE SITE, AS DIRECTED BY THE ENGINEER OR SHOWN ON THE PLANS. CALCIUM CHLORIDE SHALL CONFORM TO ASTM D-86, TYPE I. THE CONTRACTOR SHALL MAINTAIN AND INSPECT, ON A DAILY BASIS, THE ADEQUACY OF DUST CONTROL MEASURES AND CORRECT ANY DEFICIENCIES IMMEDIATELY.

STOCKPILING OR STORAGE OF EXCAVATED MATERIALS:
COMPLETELY SURROUND TEMPORARY MATERIAL STOCKPILES WITH STRAW WATTLES TO PREVENT TRANSPORTATION OF SEDIMENT.

PERMANENT STABILIZATION MEASURES

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED AND MULCH SPECIFICATIONS AND PROCEDURE SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S RECOMMENDATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPED AREAS. IF TOPSOIL, SEED, AND/OR MULCH IS WASHED AWAY BY RAINFALL, THE CONTRACTOR SHALL RESTORE THE AREA.

GENERAL CONTROLS:

WASTE DISPOSAL:
THE CONTRACTOR SHALL PROVIDE AN ADEQUATE NUMBER OF COVERED WASTE CONTAINERS TO ENSURE THAT NO LITTER, DEBRIS, BUILDING MATERIALS, OR SIMILAR MATERIALS ARE DISCHARGED TO WETLANDS OR WATERCOURSES. THE CONTRACTOR SHALL INSTRUCT SUBCONTRACTORS TO USE THE CONTAINERS FOR WASTE MATERIAL. THE CONTRACTOR SHALL BE PROMPTLY EMPTIED WHEN FULL.

PAVEMENT MAINTENANCE:
THE CONTRACTOR SHALL SWEEP PAVED ROADWAYS ADJACENT TO THE SITE ON A ROUTINE BASIS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS AND WASHING OF MUD INTO WATERWAYS. IF THE CONTRACTOR'S SCHEDULE FOR CLEANING THE PAVEMENT IS FOUND TO BE INADEQUATE BY THE OWNER, OWNER'S REPRESENTATIVE, OR CITY, THE CONTRACTOR SHALL INCREASE THE FREQUENCY AT NO ADDITIONAL COST TO THE OWNER.

PROHIBITED DISCHARGES:
CONTRACTOR SHALL PREVENT DAILY CONSTRUCTION MATERIALS AND WASTE FROM ENTERING ANY WETLANDS OR WATERCOURSES. INCLUDING BUT NOT LIMITED TO: CONTAMINATED GROUNDWATER, CONCRETE WASHOUT, FUELS, SOAPS OR SOLVENTS, PAINT, TOXIC SUBSTANCES, ETC.

EXCAVATION DEWATERING:
CONTRACTOR SHALL NOT DISCHARGE DEWATERING MEASURES DIRECTLY INTO WETLANDS AND WATERCOURSES. CONTRACTOR TO UTILIZE ON-SITE INFILTRATION BASINS WITH VELOCITY DISSIPATION DEVICES TO PROPERLY SETTLE DEWATERING FLUIDS. TREATMENT CHEMICALS ARE PROHIBITED FROM ENTERING THE SETTLING BASIN AND MUST BE HANDLED ACCORDING TO APPLICABLE RIDEM REGULATIONS.

GENERAL CONDITIONS:

1. IF EROSION CONTROL MEASURES ARE DAMAGED BY CONSTRUCTION VEHICLES, ACTS OF VANDALISM, OR SEVERE WEATHER CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT IN THE VICINITY OF THE EROSION CONTROL MEASURES AND REPAIR THESE MEASURES TO A FUNCTIONAL CONDITION.
2. IF, DURING OR AFTER CONSTRUCTION, IT BECOMES APPARENT THAT EXISTING EROSION CONTROL MEASURES ARE INCAPABLE OF CONTROLLING EROSION, THE ENGINEER OR THE TOWN MAY REQUIRE ADDITIONAL CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO: ADDITIONAL WATTLES, SILT FENCE, SEDIMENT BASINS, MECHANICALLY ANCHORED MULCH, OR ENHANCED DEWATERING FILTRATION.
3. NO CONSTRUCTION SHALL PROCEED UNTIL A WRITTEN PROPOSAL OF METHODS TO PREVENT CONSTRUCTION DEBRIS, PAINT, SPENT BLAST MATERIALS, OR OTHER MATERIALS FROM ENTERING A STORM SEWER, THE WETLAND, OR WATERCOURSE HAS BEEN SUBMITTED BY THE CONTRACTOR TO THE OWNER AND APPROVED BY THE OWNER, AND SUCH METHODS HAVE BEEN IMPLEMENTED AS THE OWNER DIRECTS. THESE MATERIALS SHALL BE COLLECTED AND DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND STATE LAWS AND REGULATIONS. THE OWNER MAY ORDER THE CONTRACTOR TO CEASE SUCH ACTIVITY TEMPORARILY IF, IN THE JUDGEMENT OF THE OWNER, WIND OR STORM CONDITIONS THREATEN TO CAUSE THE DEPOSIT OF SUCH MATERIALS INTO A WATERWAY.
4. ALL TEMPORARILY FILL SHALL BE STABILIZED DURING USE TO PREVENT EROSION AND SHALL BE SUITABLY CONTAINED TO PREVENT SEDIMENT OR OTHER PARTICULATE MATTER FROM ENTERING A WETLAND OR WATERCOURSE. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS OR AS DIRECTED BY THE OWNER, AND REVEGETATED. THE AREAL EXTENT OF TEMPORARY FILL OR EXCAVATION SHALL BE CONFINED TO THAT AREA NECESSARY TO PERFORM THE WORK, AS APPROVED BY THE OWNER.
5. DUMPING OF OIL, CHEMICALS OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING, AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL. ALL SPILLS OF SUCH MATERIALS SHALL BE REPORTED IMMEDIATELY BY THE CONTRACTOR TO APPROPRIATE CITY AND STATE AGENCIES.
6. EPA-NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION ACTIVITIES REQUIRED.
7. INSPECTIONS: EROSION CONTROL SHALL BE INSPECTED WEEKLY OR AFTER A LEGITIMATE STORM EVENT. INSPECTION SHALL BE RECORDED IN A LOG ALONG WITH TIME AND DATE. LOG SHALL BE AVAILABLE FOR INSPECTION BY THE TOWN OFFICIALS UPON REQUEST.
8. CONTRACTOR TO NOTIFY MEDWAY CONSERVATION COMMISSION IF FILL MATERIALS ARE TO BE IMPORTED.

REVISIONS		BY		DATE		NO.	
DESCRIPTION	REVISION	BY	DATE	NO.	DESCRIPTION	REVISION	DATE
REVISED PER CON. COMM. SITE WALK	1.	RL	6/6/2023	1.			
PER TOWN & PEER REVIEW COMMENTS	2.	MM	10/19/2023	2.			
CLIENT CHANGE OF USE/BUILDING	3.	MM	3/4/2024	3.			

PROPOSED COMMERCIAL BUILDING
39 ALDER STREET
MEDWAY, MA 02053

ETS PROPERTIES, LLC.
11 AIRPORT ROAD
HOPEDALE, MA 01747

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
fax: 774-241-0906

CMG
EST. 2002

ISSUE DATE: 4/12/2023
DRAWN BY: RL | CHECKED BY: DTF
SCALE: 1" = 20'
PROJECT NO.: 2020-149

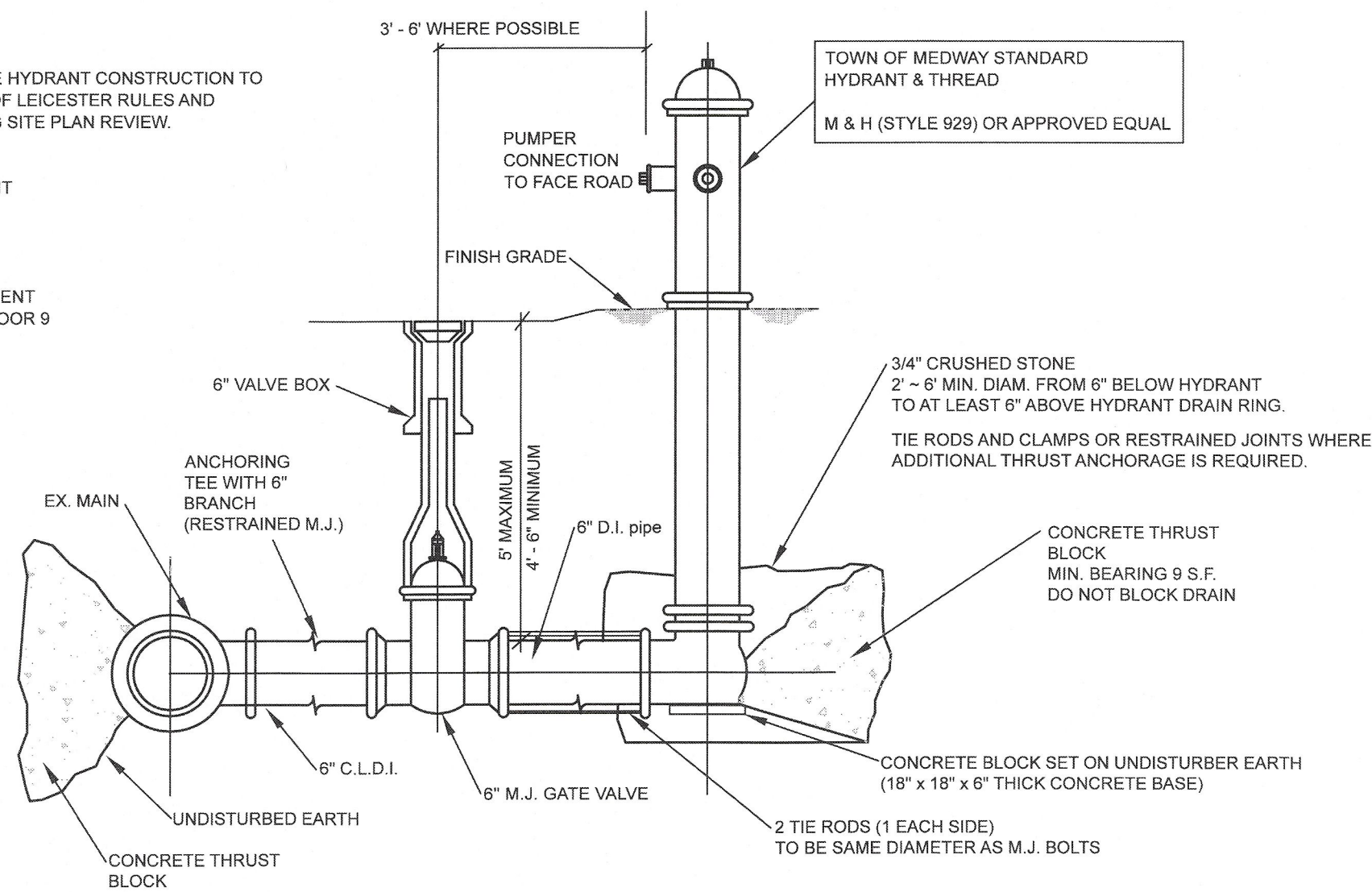
EROSION & SEDIMENT CONTROL DETAILS

C-4.1

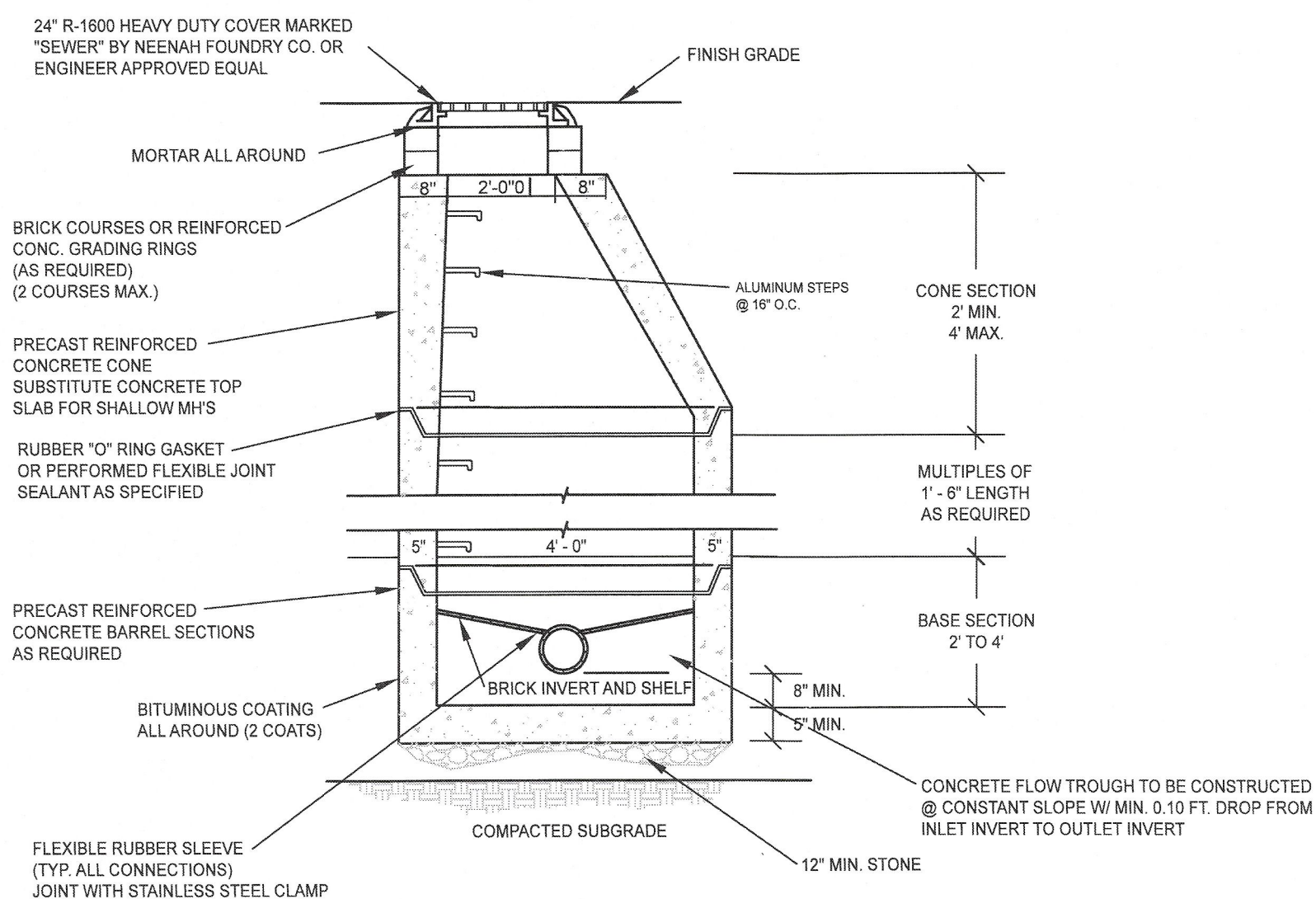
NOTE:
ALL WATER SYSTEM & FIRE HYDRANT CONSTRUCTION TO CONFORM TO THE TOWN OF LEICESTER RULES AND REGULATIONS GOVERNING SITE PLAN REVIEW.

CONTACT:
MEDWAY FIRE DEPARTMENT
44 MILFORD STREET
MEDWAY, MA 02053
PHONE: (508) 533-3213

MEDWAY WATER DEPARTMENT
45B HOLLISTON STREET, DOOR 9
MEDWAY, MA 02053
PHONE: (508) 533-3275



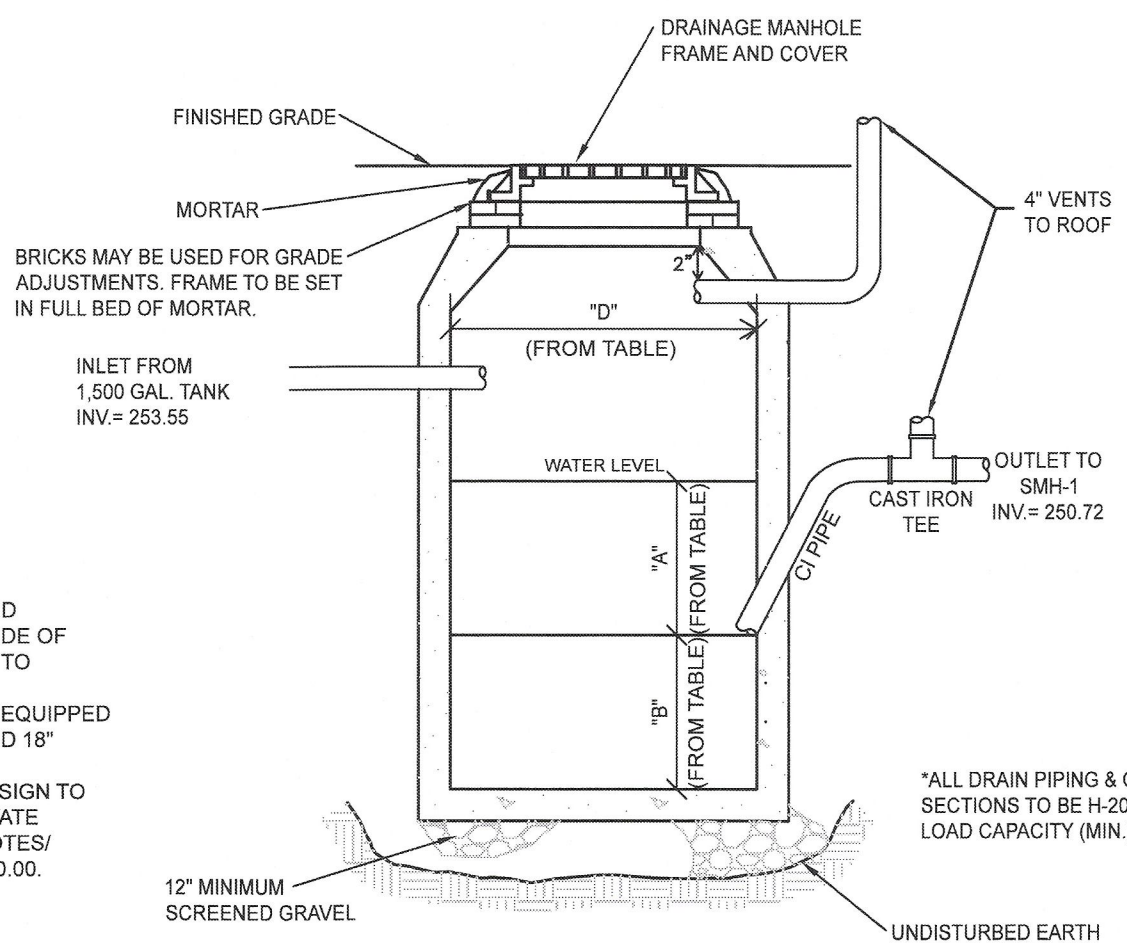
FIRE HYDRANT DETAIL
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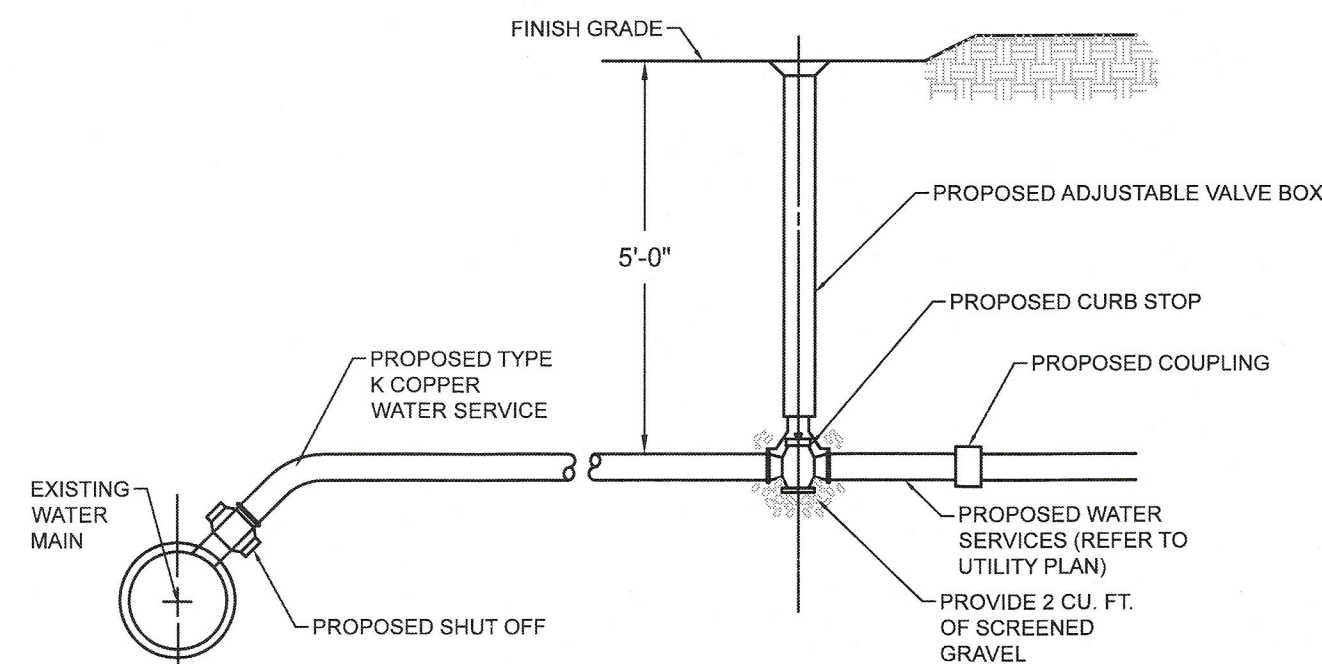
PRECAST SEWER MANHOLE DETAIL
NOT TO SCALE

INLET	"D"	"A"	"B"
4"	3'-6"	3'-0"	2'-6"
5"	3'-6"	3'-0"	4'-0"
5"	4'-0"	3'-6"	3'-0"
4'-6"	3'-0"	2'-6"	
4'-0"	3'-0"	4'-6"	
4'-6"	4'-0"	3'-6"	
5'-0"	3'-6"	3'-0"	

- NOTES:
1. CIRCULAR BASINS ARE RECOMMENDED
 2. SEPARATOR IS TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE & COVER TO INCORPORATE A CENTER-HOLE
 3. SEPARATOR IS TO BE LEAK TESTED & EQUIPPED WITH NON-CORROSIVE STEPS (SPACED 18" APART)
 4. ALL PLUMBING/DRAIN SEPARATOR DESIGN TO BE IN COMPLIANCE WITH UNIFORM STATE PLUMBING CODE. FOR ADDITIONAL NOTES/ REQUIREMENTS REFER TO 248 CMR 10.00.

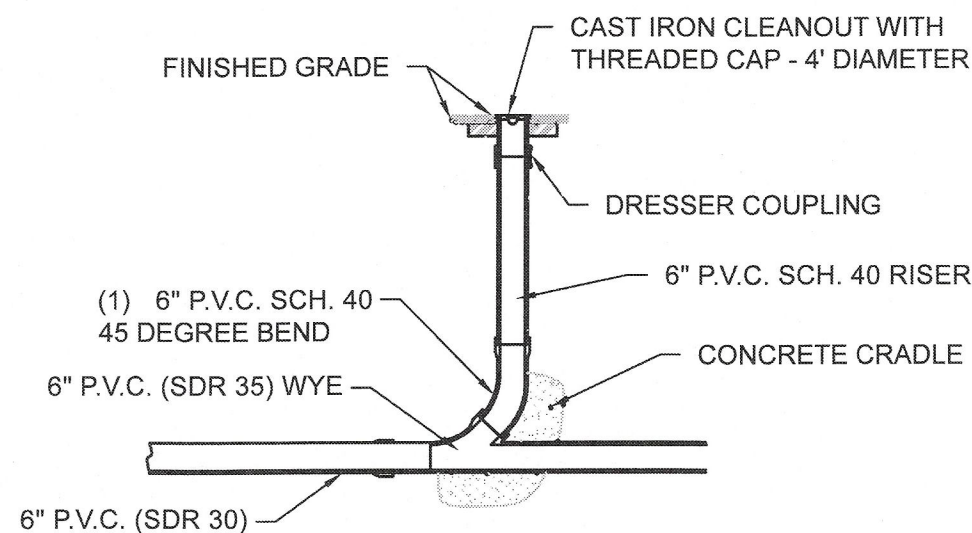


TYPICAL OIL/ GREASE SEPARATOR DETAIL
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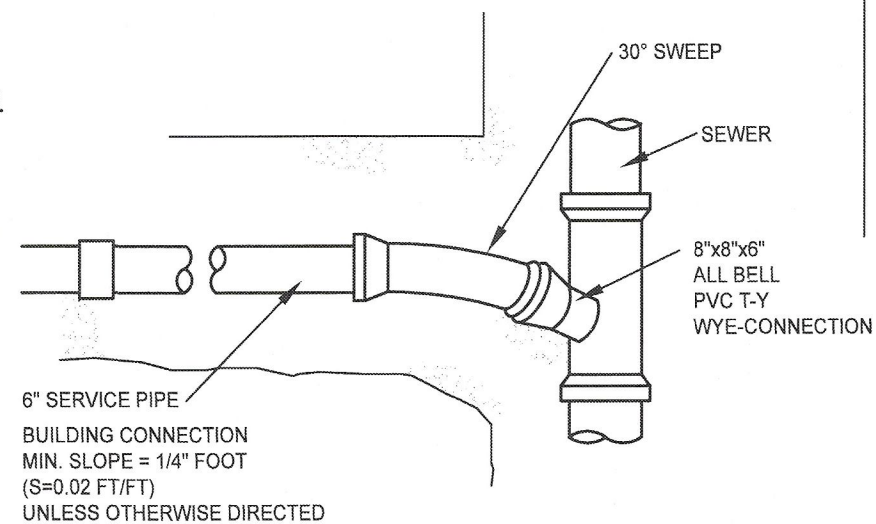


NOTE: CONTRACTOR TO COORDINATE WITH WATER COMPANY PRIOR TO INSTALLATION.

WATER SERVICE CONSTRUCTION DETAIL
NOT TO SCALE

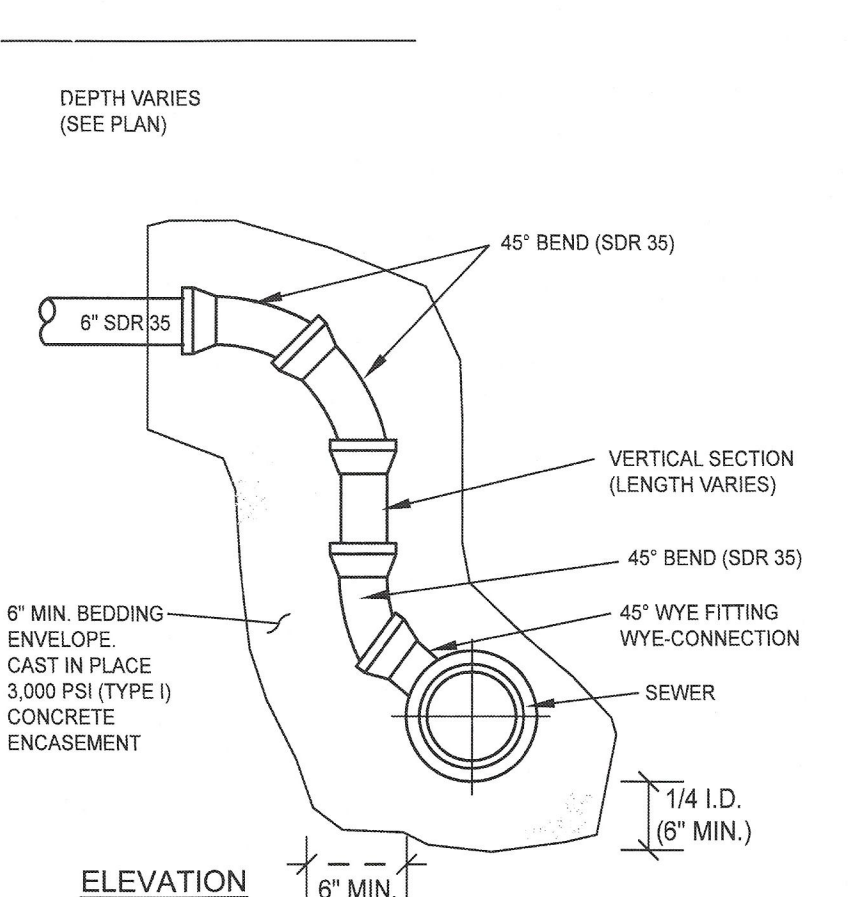


CLEANOUT DETAIL
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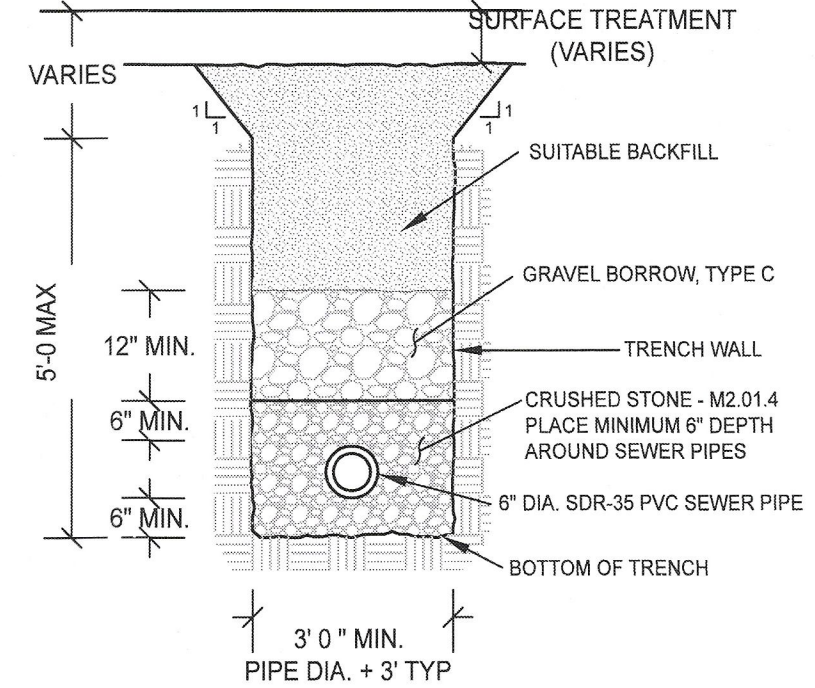


PLAN

NOTE:
ALL MATERIALS AND CONSTRUCTION TO CONFORM TO THE TOWN OF WILBRAHAM SEWER & WATER DEPARTMENT REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.

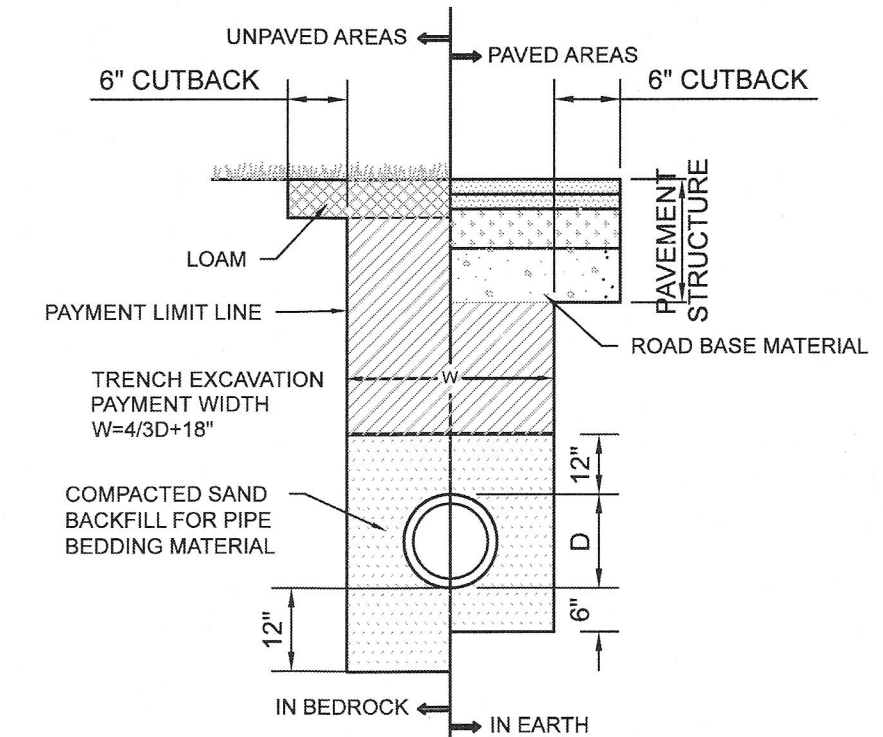


ELEVATION



- NOTES:
1. ALL SEWER INSTALLATION WORK SHALL CONFORM TO THE TOWN OF DOUGLAS SEWER REGULATIONS.

SEWER TRENCH DETAIL
NOT TO SCALE



- NOTES:
1. THIS DETAIL APPLIES TO CONSTRUCTION OF WATER, GAS, TELEPHONE, ELECTRIC, AND CABLE TELEVISION UTILITIES, UNLESS DIRECTED OTHERWISE BY APPLICABLE UTILITY COMPANIES.
 2. PROVIDE 5\"/>

UTILITY TRENCH DETAIL
NOT TO SCALE

REVISIONS		NO.	DATE	DESCRIPTION
BY	CD	1.	6/5/2023	REVISED PER CON. COMM. SITE WALK
RL	DTF	2.	10/19/2023	PER TOWN & PEER REVIEW COMMENTS
MM	DTF	3.	3/4/2024	CLIENT CHANGE OF USE/BUILDING
MM	DTF			

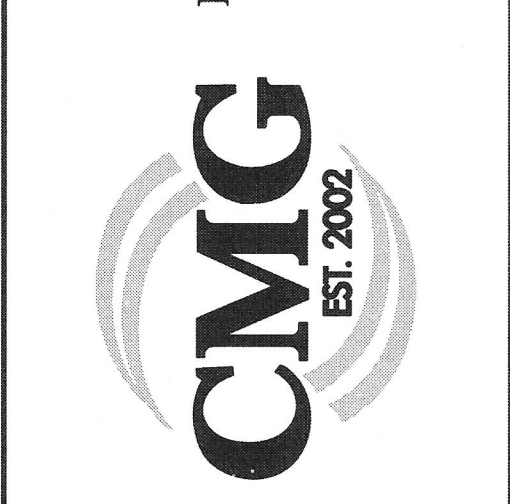


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39 ALDER STREET
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PREPARED FOR: **ETS PROPERTIES, LLC.**
11 AIRPORT ROAD
HOPEDALE, MA 01747

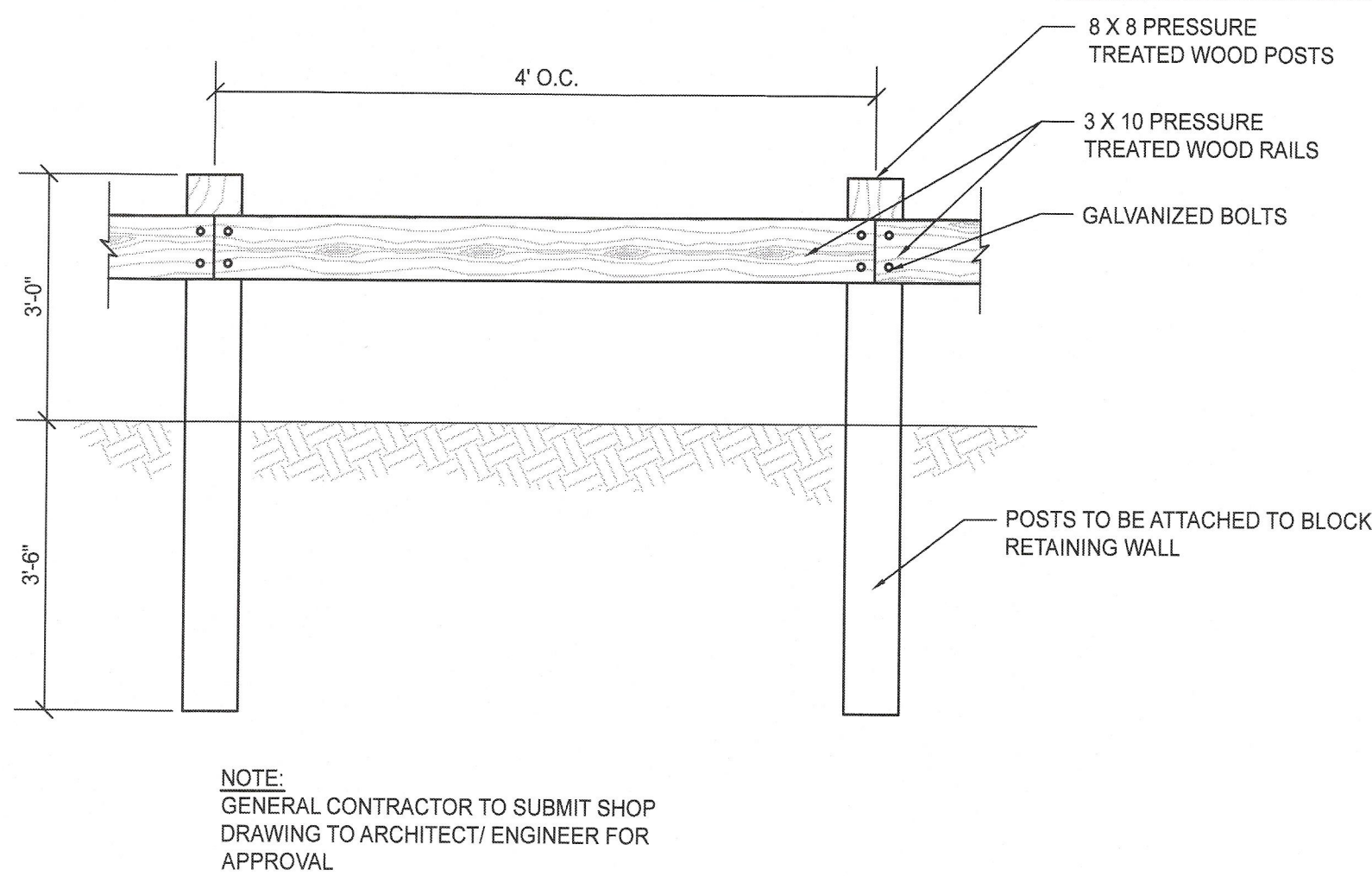
ENGINEERING SERVICES
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67 Hall Road
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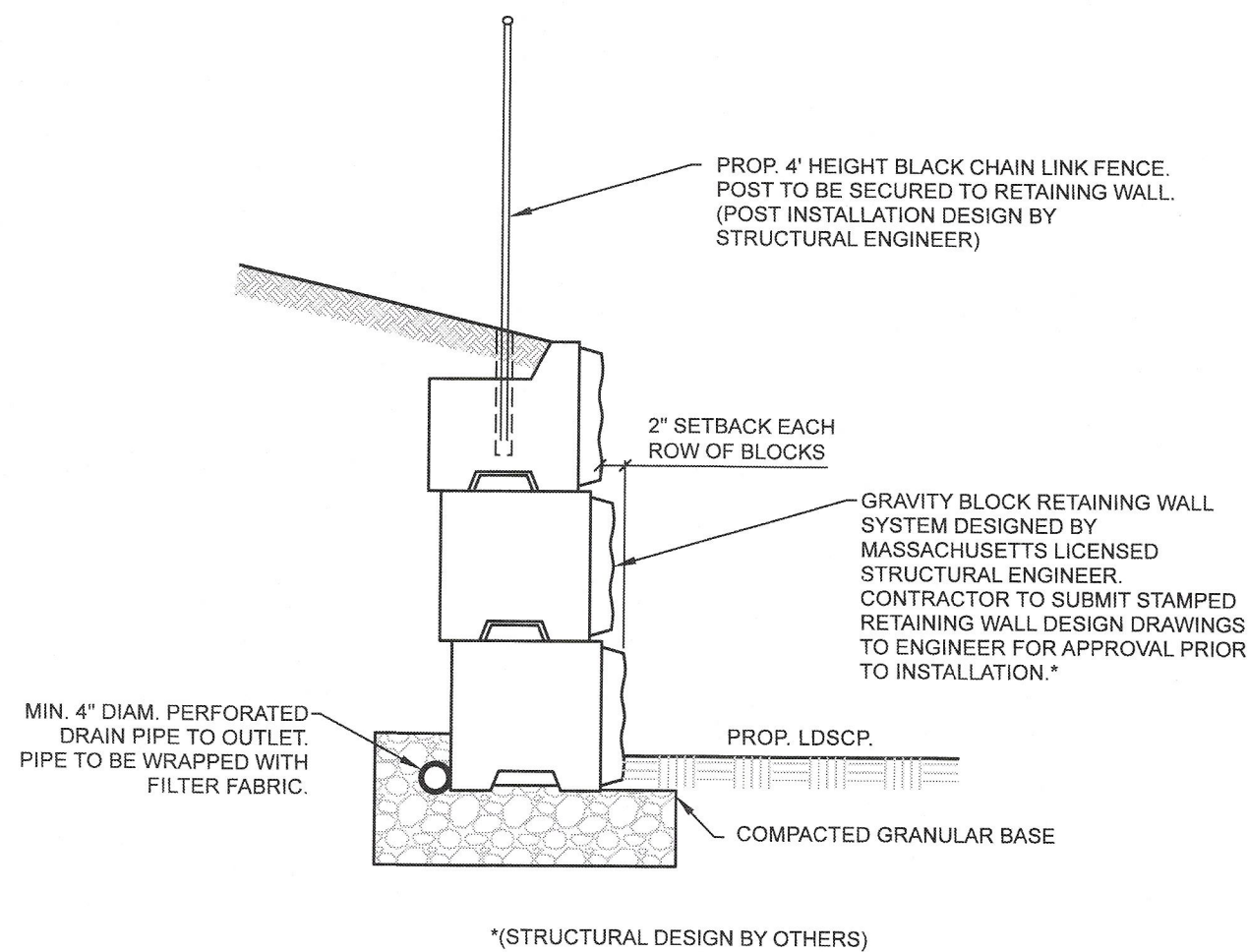


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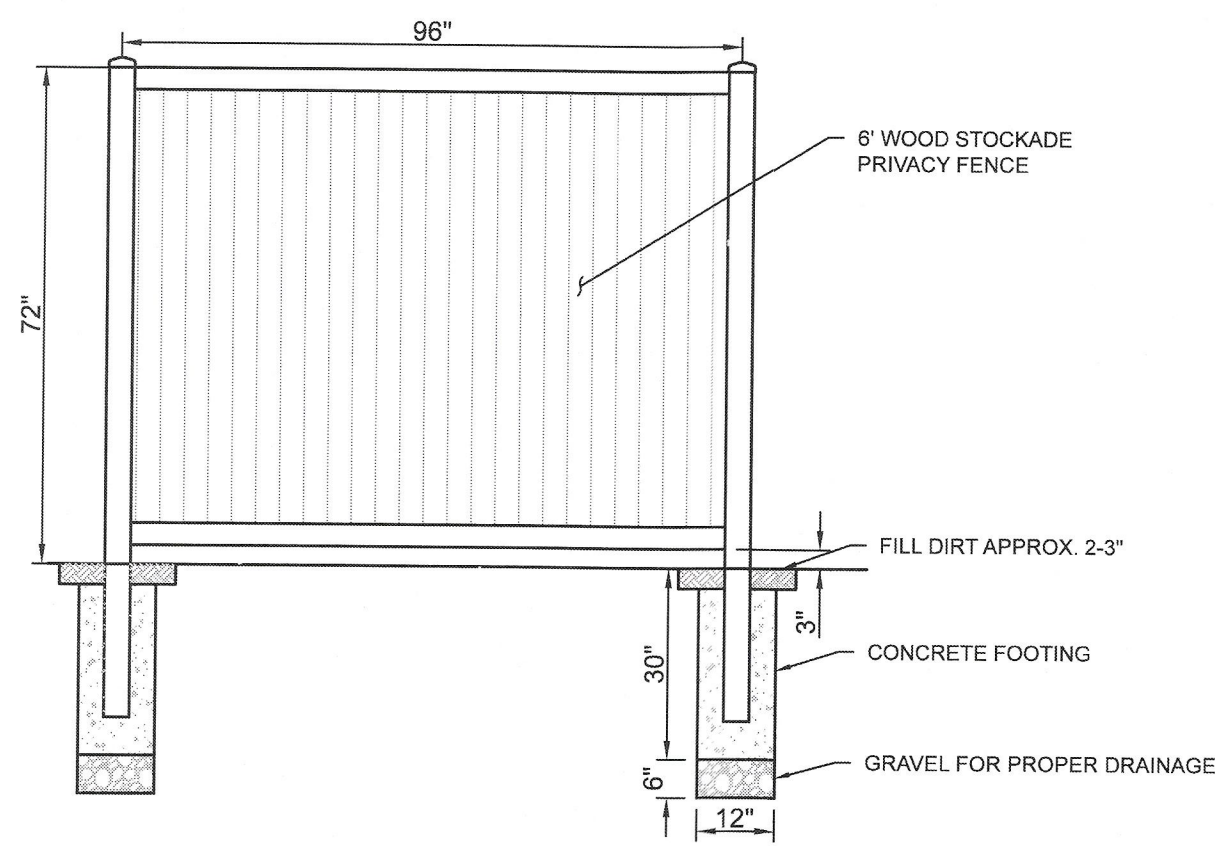
CONSTRUCTION
DETAILS



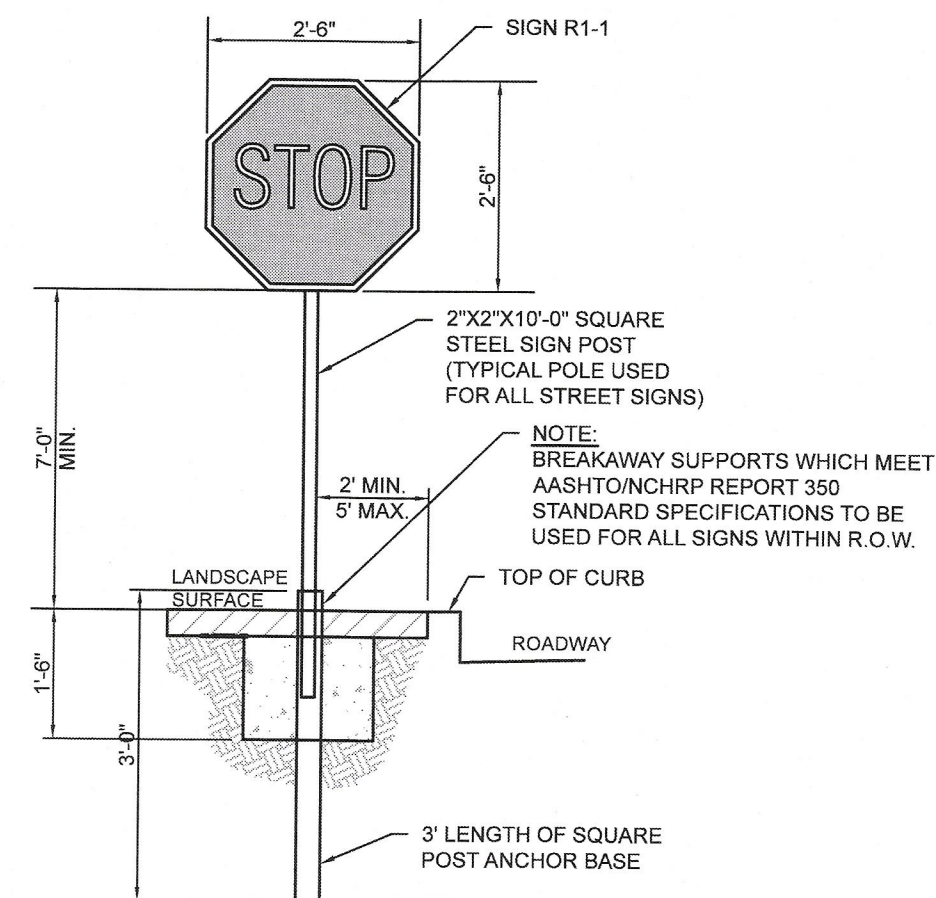
TIMBER GUARDRAIL DETAIL
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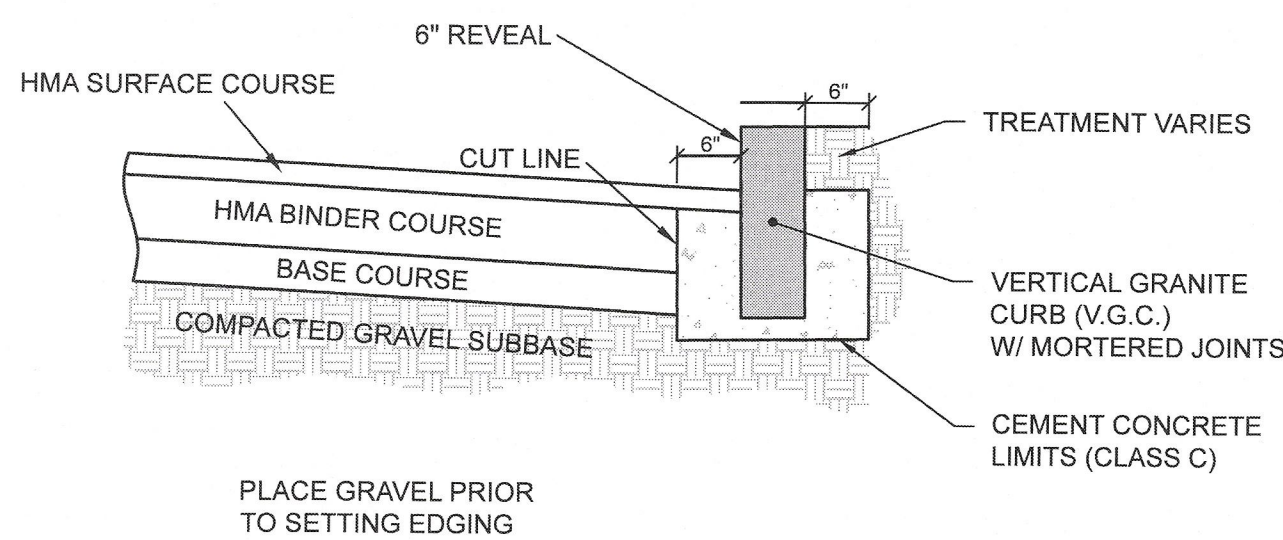
TYPICAL BLOCK RETAINING WALL DETAIL
NOT TO SCALE



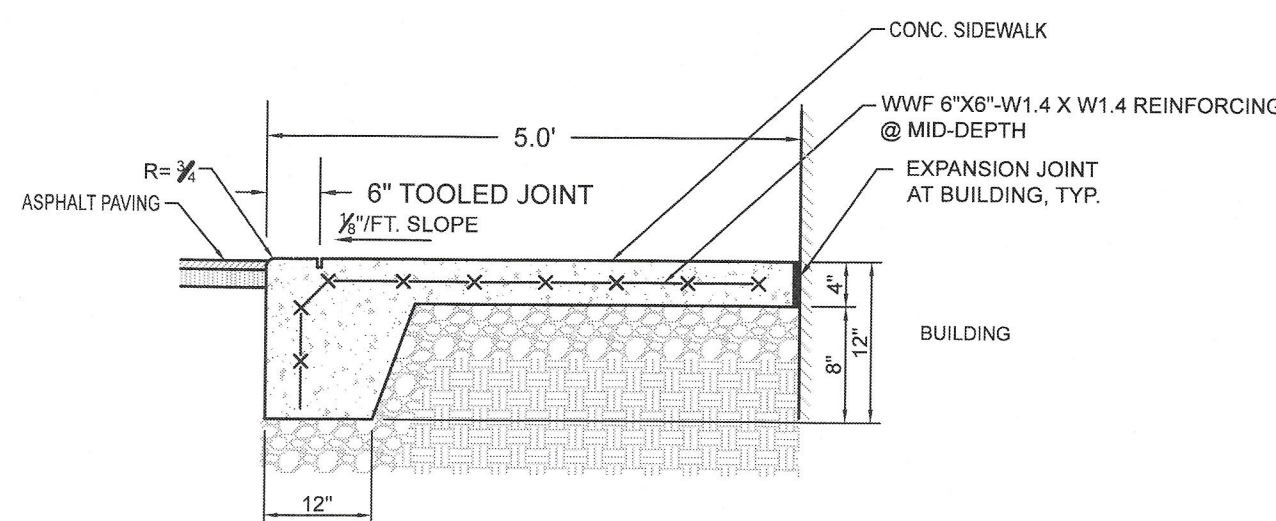
WOOD STOCKADE FENCE DETAIL
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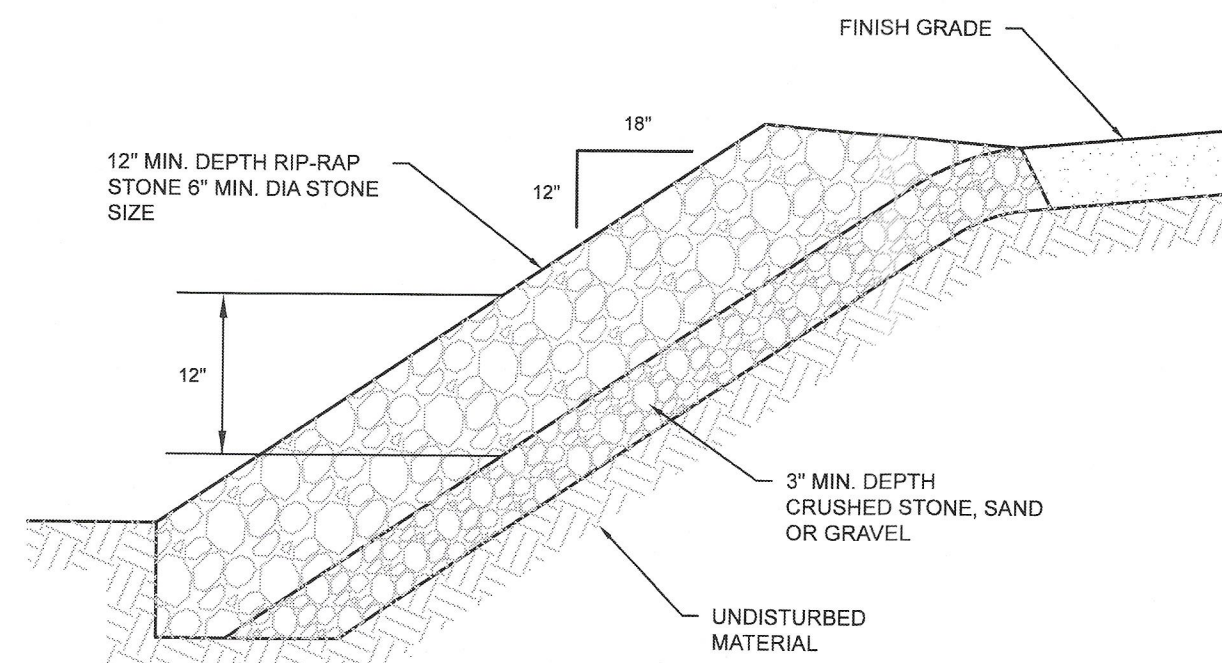
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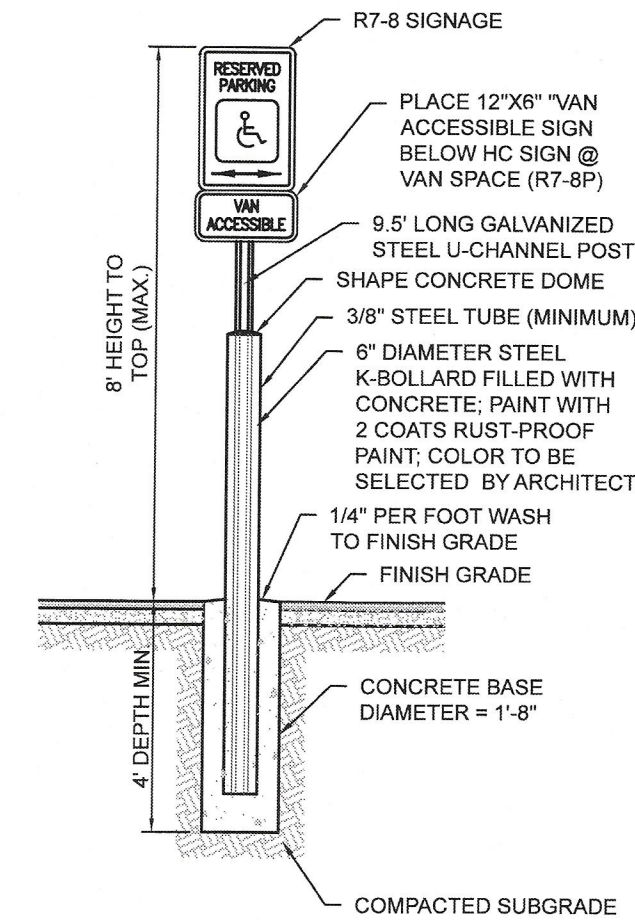
VERTICAL GRANITE CURB DETAIL
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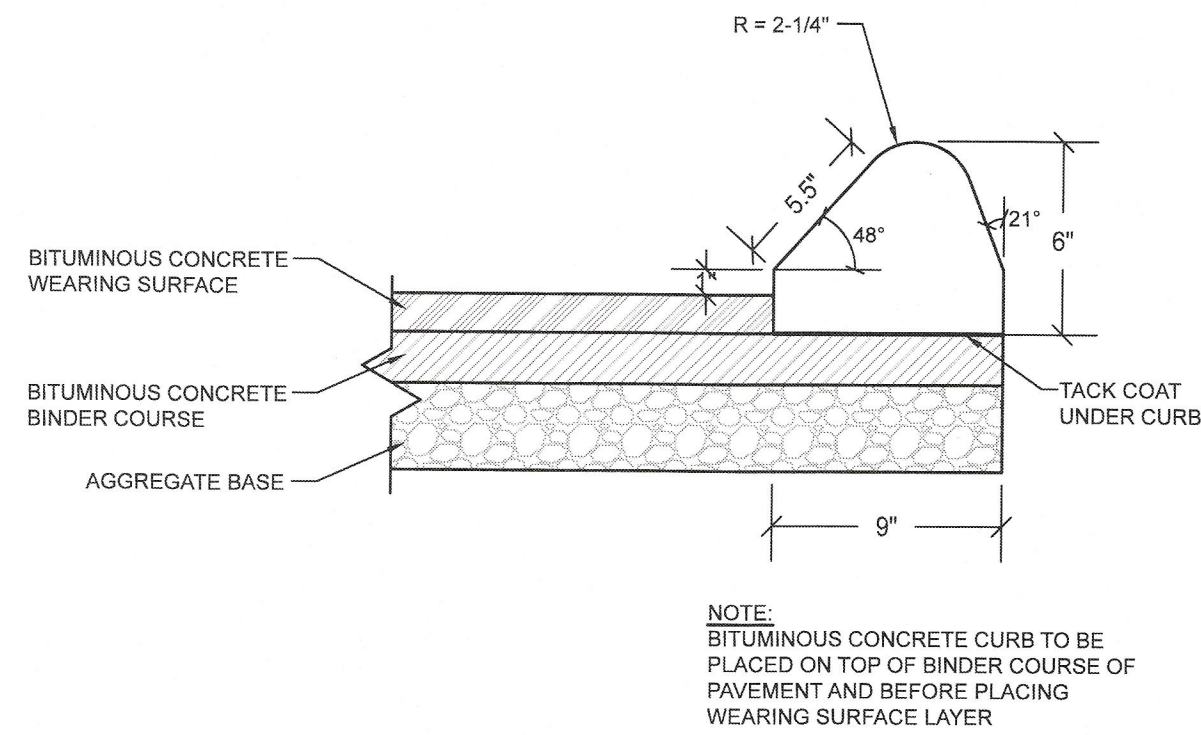
CONCRETE APRON AT BUILDING DETAIL
NOT TO SCALE



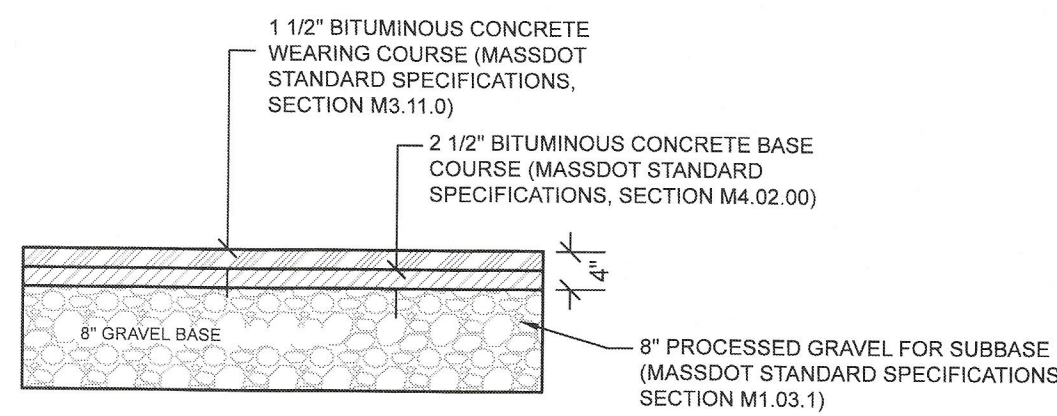
1.5:1 RIP-RAP SLOPE PROTECTION DETAIL
NOT TO SCALE



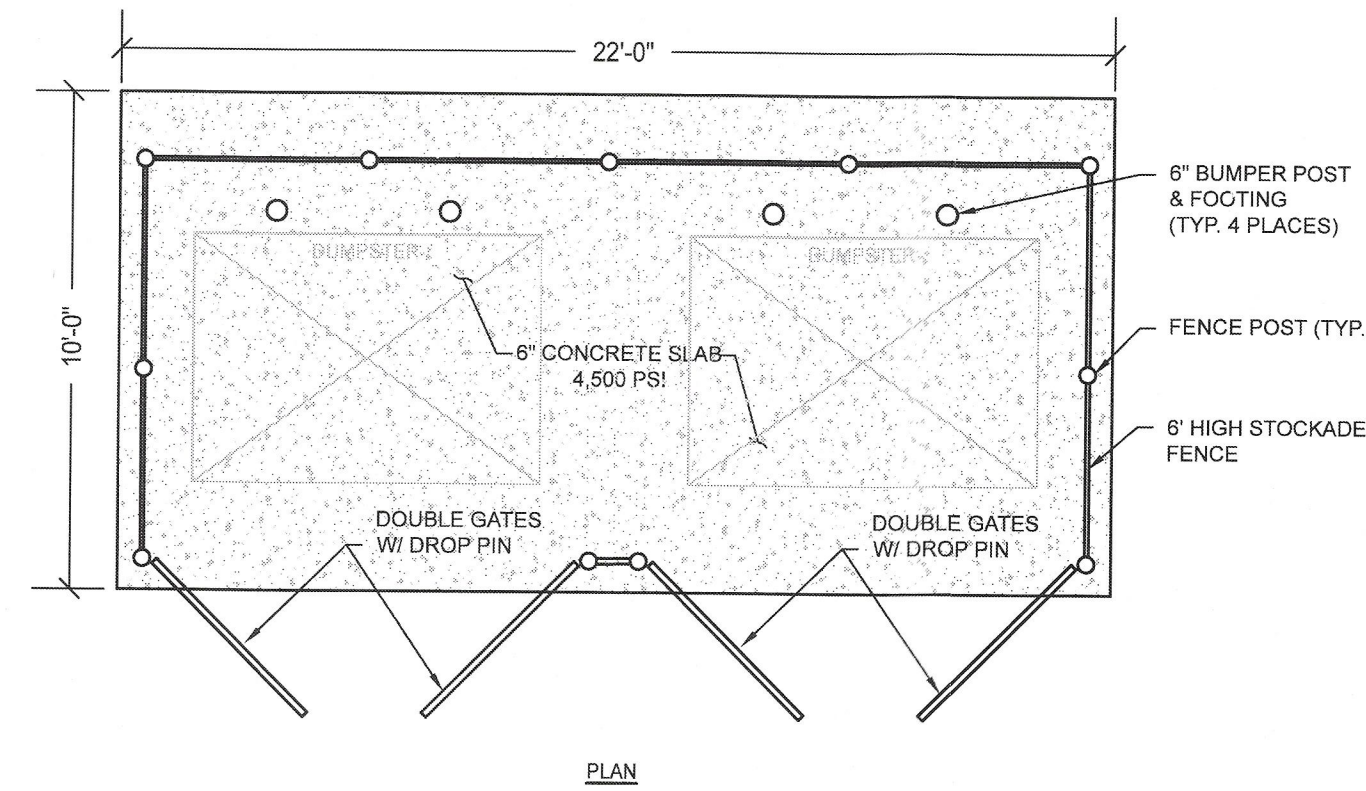
HANDICAP PARKING SIGN DETAIL
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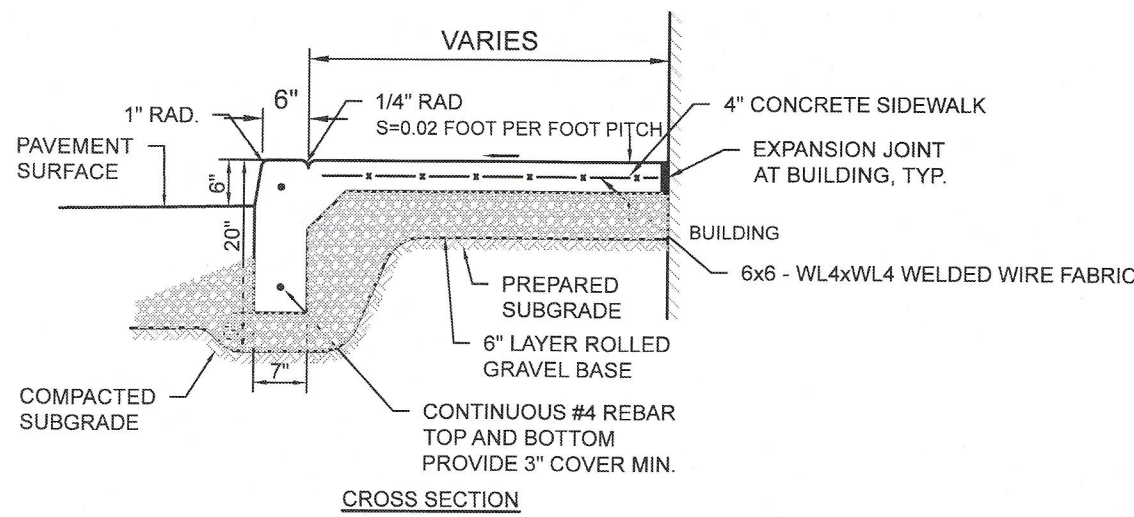
BITUMINOUS CURB DETAIL
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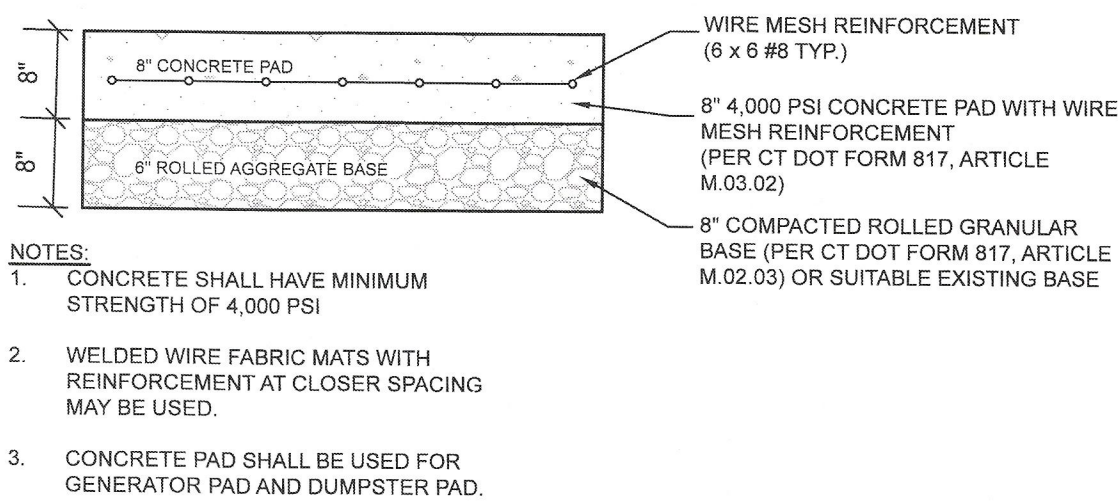
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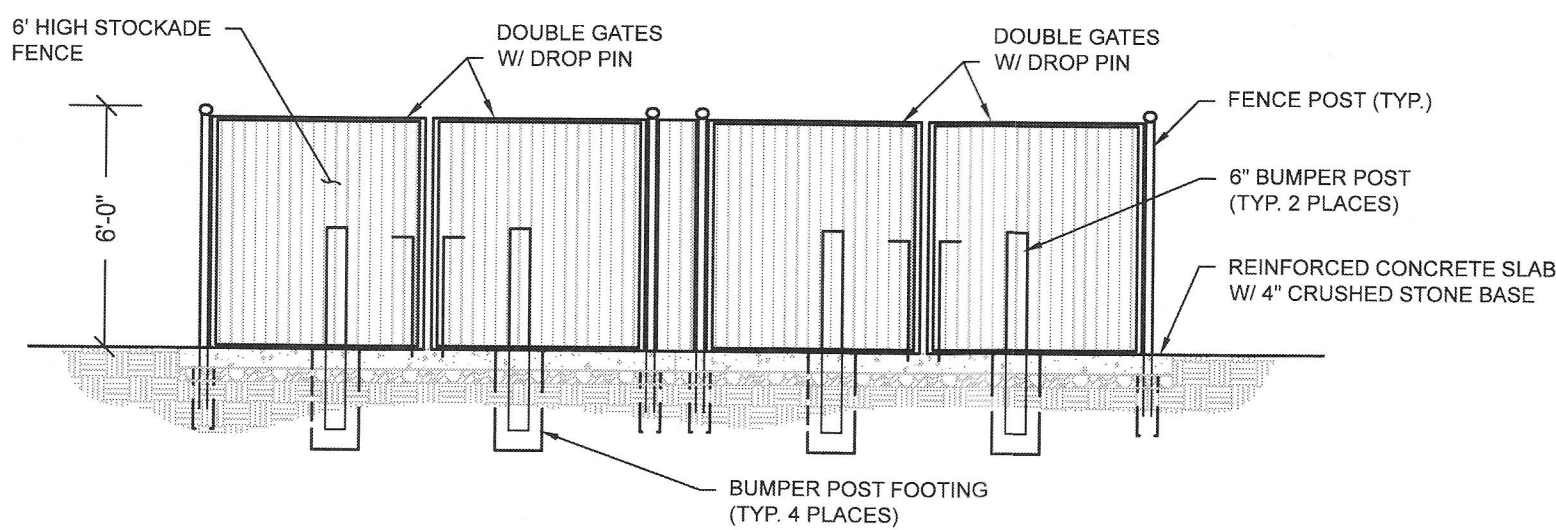
DOUBLE DUMPSTER ENCLOSURE
NOT TO SCALE



MONOLITHIC CONC. CURB DETAIL
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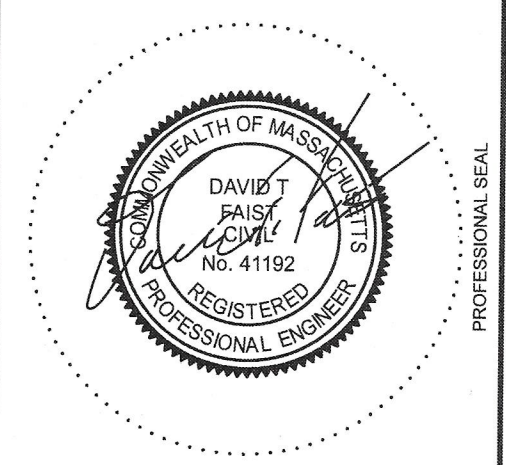


CONCRETE PAD DETAIL
NOT TO SCALE



STEEL PIPE BOLLARD DETAIL
NOT TO SCALE

REVISIONS				
NO.	DATE	DESCRIPTION	BY	CHKD
1.	6/5/2023	REVISED PER CON. COMM. SITE WALK	RL	DTF
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CONSTRUCTION
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