

PERMIT SITE PLAN

4 MARC ROAD MEDWAY, MASSACHUSETTS 02053 for NEO ORGANICS LLC

GENERAL NOTES

- ELEVATIONS SHOWN HEREON REFER TO NAVD 1988, DETERMINED BY GPS OBSERVATIONS USING GEOID 12B.
- TOPOGRAPHIC FEATURES, SITE DETAILS AND SIGNIFICANT IMPROVEMENTS DEPICTED HEREON, WERE OBTAINED FROM AERIAL MAPPING BY BLUESKY AND FIELD SURVEYS CONDUCTED BY DGT ASSOCIATES ON 4/9/19, 6/24/19 AND 7/2/19.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS.
- IN CASES WHERE LEDGE, BURIED FOUNDATIONS OR BOULDERS ARE PRESENT, DGT ASSOCIATES SHALL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK OR CONCRETE ENCOUNTERED.
- DGT ASSOCIATES SHALL BE NOTIFIED OF ANY SIGNIFICANT DIFFERENCES IN THE EXISTING CONDITIONS OR UTILITIES THAT MAY AFFECT THE CONSTRUCTION SHOWN ON THIS PLAN FOR ANY NECESSARY PLAN REVISIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION THAT ARE NOT INTENDED FOR DEMOLITION AND/OR REMOVAL HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GRADING AND UTILITY PLAN NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES, OBSTRUCTIONS AND/OR SYSTEMS MAY NOT BE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR LOCATING AND PROTECTING ALL EXISTING UNDERGROUND UTILITIES AND/OR SYSTEMS WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN HEREON, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- RIM ELEVATIONS SHOWN HEREON FOR NEW STRUCTURES ARE PROVIDED TO ASSIST THE CONTRACTOR WITH MATERIAL TAKEOFFS. FINAL RIM ELEVATIONS SHALL MATCH PAVEMENT, GRADING, LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE CONNECTIONS AND STRUCTURES ARE TO BE INSTALLED AT EXISTING UTILITIES, THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION PRIOR TO INSTALLATION AND SHALL REPORT ANY SIGNIFICANT DISCREPANCY FROM THE PLAN INFORMATION TO THE ENGINEER.
- WHERE NEW PAVING MEETING EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW PAVING.
- AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN AND SMOOTH EDGE.
- PERIMETER EROSION CONTROLS SHOWN HEREON SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE AND SHALL SERVE AS A LIMIT OF WORK, UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

REGULATORY NOTES

- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES AND COMPILING INFORMATION FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE LOCATION SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. BEFORE ANY CONSTRUCTION, DEMOLITION OR SITE WORK, THE LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BY CONTACTING "DIG-SAFE" AT 811.
- THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).

PLAN INTENT

- THE INTENT OF THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

ZONING

INDUSTRIAL - 1 (I-1)
UNDERLYING ZONING DISTRICT EAST
INDUSTRIAL (EI) & GROUNDWATER
PROTECTION DISTRICT

RECORD OWNER

NEK, LLC

REFERENCES

MEDWAY ASSESSOR'S PARCEL: 32-026
NORFOLK COUNTY REGISTRY OF DEEDS
BOOK 21910 PAGE 102

APPLICANT

NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

DIMENSIONAL REQUIREMENTS

	REQUIRED	EXISTING	PROVIDED
LOT AREA:	20,000 SF	290,884± SF	290,884± SF
LOT FRONTAGE:	100 FT	194.6 FT	194.6 FT
FRONT YARD SETBACK:	30 FT	91.5 FT	91.5 FT
SIDE YARD SETBACK:	20 FT	117.1 FT	117.1 FT
REAR YARD SETBACK:	30 FT	276.7 FT	276.7 FT
BUILDING HEIGHT:	60 FT	15.9 FT	15.9 FT
MAXIMUM IMPERVIOUS COVERAGE:	80 %	23.4 %	24.4 %
MINIMUM OPEN SPACE:	20 %	76.6 %	75.6 %

SITE DATA

	PRE-DEVELOPMENT	POST-DEVELOPMENT
BUILDING AREA	29,718 SF (10.2 %)	29,718 SF (10.2 %)
PAVEMENT & SIDEWALKS	38,294 SF (13.2 %)	41,294 SF (14.2 %)
TOTAL IMPERVIOUS	68,012 SF (23.4 %)	71,012 SF (24.4 %)
OPEN SPACE & LANDSCAPED AREA	222,872 SF (76.6 %)	219,872 SF (75.6 %)

PARKING DATA

REQUIRED:	EXISTING:
1 SPACE / 2 EMPLOYEES 13	PARKING SPACES = 69 SPACES
1 SPACE / 1,000 SF OF BUILDING 30	
TOTAL REQUIRED 43	

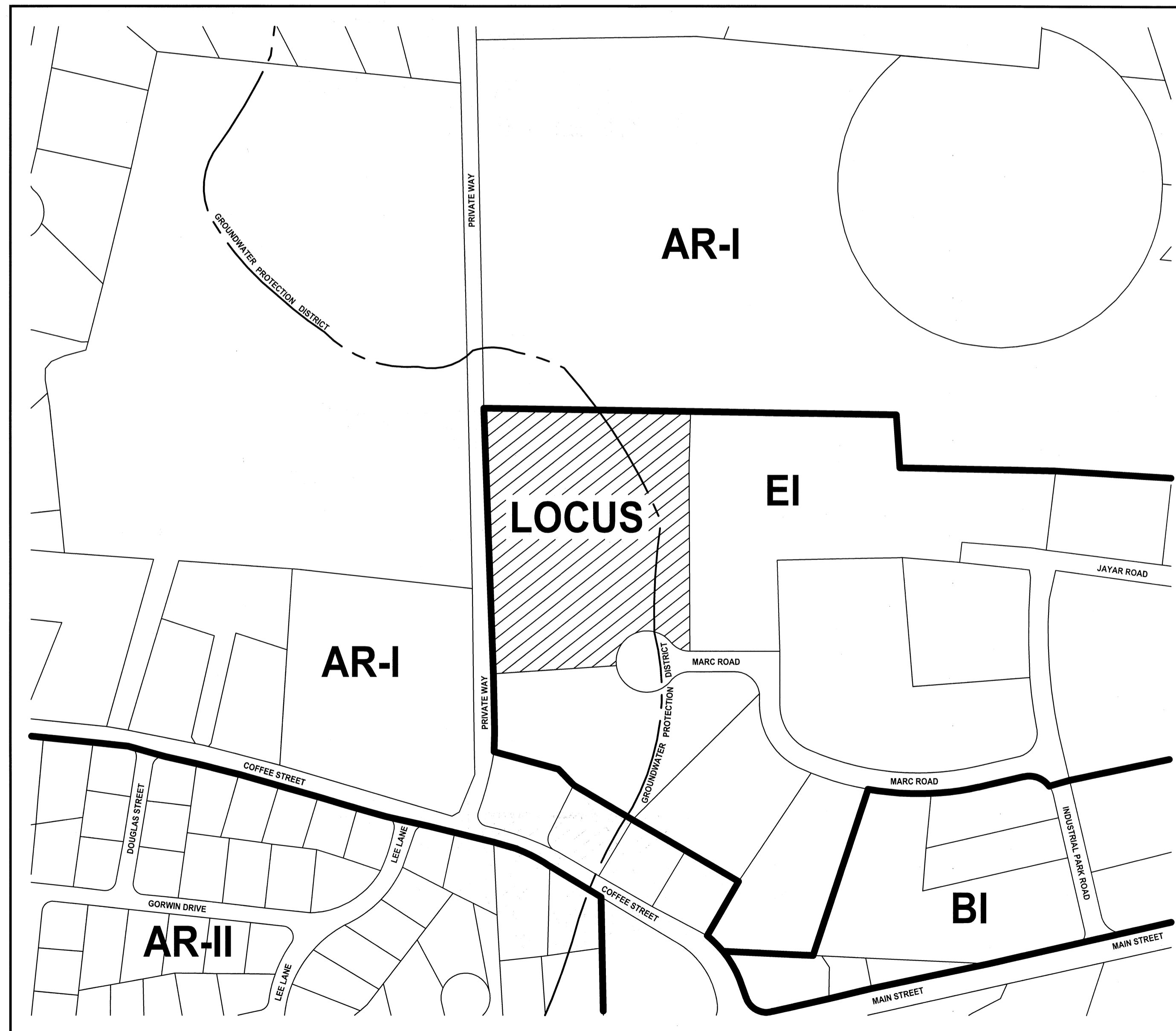
SHEET INDEX

C-1	TITLE SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	PROPOSED CONDITIONS PLAN
C-4	EROSION AND SEDIMENT CONTROL PLAN
C-5	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
C-6	SITE DETAILS #1

REQUESTED WAIVERS

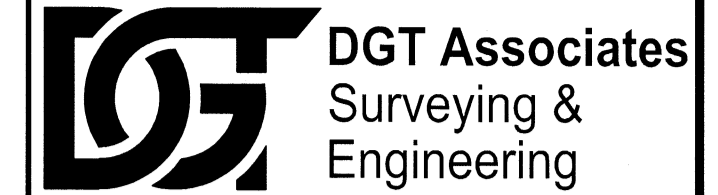
THE FOLLOW WAIVERS FROM THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS ARE REQUESTED:

- CHAPTER 200, ARTICLE IV, SECTION 204-4.B (SITE CONTEXT SHEET)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.C.3 (EXISTING LANDSCAPE INVENTORY)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.D.7 (LANDSCAPE ARCHITECTURAL PLAN)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.D.12 (SIGNAGE PLAN)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.D.13 (LIGHTING PLAN)



LOCUS MAP

1" = 200'



Framingham
Boston • Worcester

1071 Worcester Road
Framingham, MA 01701
508-879-0030

www.DGTassociates.com

APPLICANT

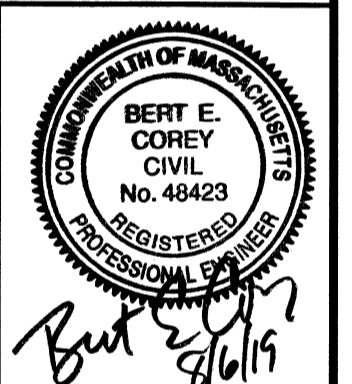
NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

MINOR SITE PLAN REVIEW/SPECIAL PERMIT
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD:

DATE SIGNED:

ISSUED FOR:

MINOR SITE PLAN &
MARIJUANA SPECIAL PERMIT



NO.	APP	DATE	DESCRIPTION
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DATE: AUGUST 6, 2019

SCALE: AS NOTED

DRAFTED: TMM/JAL	CHECKED: JAL	APPROVED: BEC
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PROJECT TITLE:

NEO CULTIVATION &
MANUFACTURING

4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

SHEET TITLE:

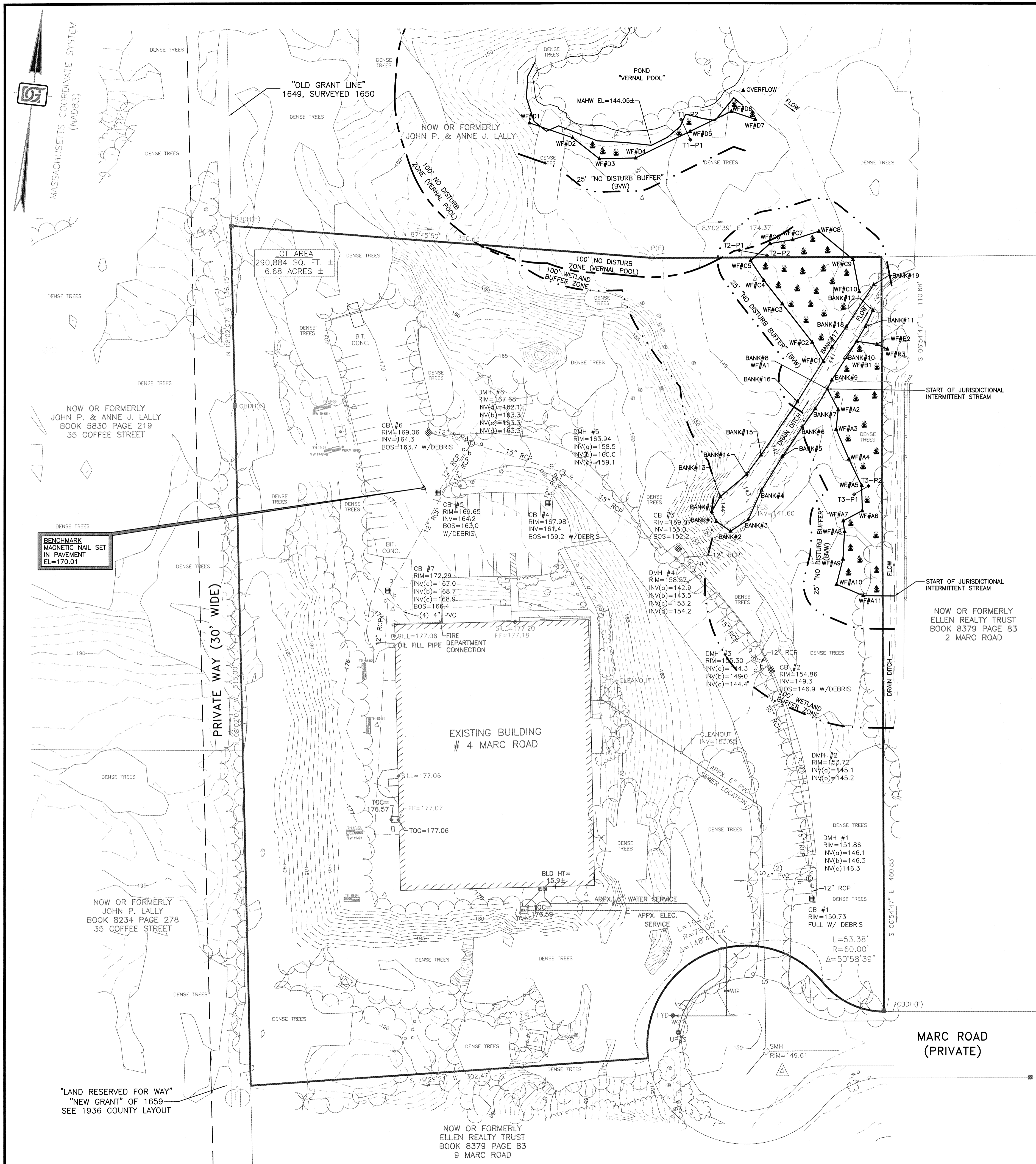
TITLE SHEET

SHEET:
1 OF 6

PROJECT NO.:
25457

C-1

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NOTES

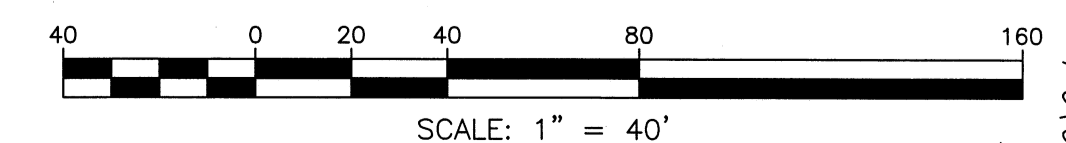
1. RECORD OWNER IS NEK LLC. SEE DEED BOOK 21910 PAGE 102.
2. ELEVATIONS REFER TO NAVD 1988, DETERMINED BY GPS OBSERVATIONS USING GEOID 12B.
3. SEE MEDWAY ASSESSOR'S PARCEL 32-026.
4. THIS PARCEL FALLS WITHIN ZONING DISTRICT I-1.
5. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT ASSESSORS RECORDS.
6. SEE NORFOLK COUNTY REGISTRY OF DEEDS FOR RECORD DOCUMENTS.
7. TOPOGRAPHIC FEATURES, SITE DETAILS AND SIGNIFICANT IMPROVEMENTS DEPICTED HEREON, WERE OBTAINED FROM AERIAL MAPPING BY BLUESKY AND FIELD SURVEYS CONDUCTED BY DGT ASSOCIATES ON 4/9, 6/24 AND 7/2/2019.
8. THIS TOPOGRAPHIC SURVEY BY DGT ASSOCIATES WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=40' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RESCALING MAY AFFECT THE MAP ACCURACY.
9. WETLAND FLAGGING WAS CONDUCTED ON 6/27/2019 BY DGT ASSOCIATES.
10. THIS PARCEL LIES IN ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 25021C0142E DATED JULY 17, 2012.
11. AREAS OUTLINED IN RED AND LABELED "DENSE TREES" WERE OBSCURED AND CONTAIN NO TOPOGRAPHIC INFORMATION.
11. LEGAL STATUS OF EASEMENTS, WAYS, AND RESTRICTIONS NOT DETERMINED BY THIS SURVEY.
12. LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES AND COMPILING INFORMATION FROM UTILITY RECORDS. THE LOCATION SHOWN SHALL BE CONSIDERED APPROXIMATE. BEFORE ANY CONSTRUCTION, THE LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR IN ACCORDANCE WITH CH. 82, SEC. 40 AS AMENDED. ALL UTILITY COMPANIES AND APPLICABLE GOVERNMENT AGENCIES MUST BE CONTACTED CONTACT "DIG-SAFE" AT 1-888-344-7233.

LEGEND

BANK#3	▲	RIVER BANK FLAG
BIT.	◆	BITUMINOUS CONCRETE
B.M.	◆	BENCH MARK
CB	□	CATCH BASIN
CO	○	CLEAN OUT
CONC.	⊙	CONCRETE
DMH	⊙	DRAIN MANHOLE
EM	⊙	ELECTRIC METER
EOP	⊙	EDGE OF PAVEMENT
FF=	◆	FINISHED FLOOR ELEVATION
HYD	◆	HYDRANT
INV=	◆	INVERT ELEVATION OF PIPE
LS	◆	LANDSCAPED AREAS
MAHW#3	▲	MEAN ANNUAL HIGH WATER FLAG
N/F	◆	NOW OR FORMERLY
POST	○	POST
ROCK OR BOULDER	○	ROCK OR BOULDER
SHRUB	○	SHRUB
SIGN POST	○	SIGN POST
SILL=522.33	◆	SILL ELEVATION
SMH	⊙	SEWER MANHOLE
+125.33	◆	SPOT ELEVATION, HARD SURFACE
+125.3	◆	SPOT ELEVATION, SOFT GROUND
T3-P3	◆	WETLAND TRANSECT BORING
TOC=125.33	◆	TOP OF CONCRETE ELEVATION
TRANS	⊙	TRANSFORMER
UP	○	UTILITY POLE
W/	○	WITH
WF#A2	▲	WETLAND FLAG
WG	◆	WATER GATE
WM	⊙	WATER METER

BOUNDARY MONUMENTS OR MARKERS

(F)	■	FOUND
CBDH	■	CONCRETE BOUND WITH DRILL HOLE
IP	○	IRON PIPE
SBDH	■	STONE BOUND WITH DRILL HOLE

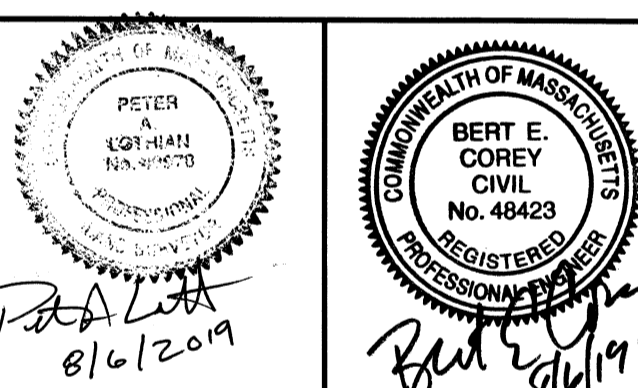


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NO. APP DATE DESCRIPTION

DATE: **AUGUST 6, 2019**

SCALE: **1" = 40'**

DRAFTED: TMM/JAL CHECKED: JAL APPROVED: BEC

PROJECT TITLE:

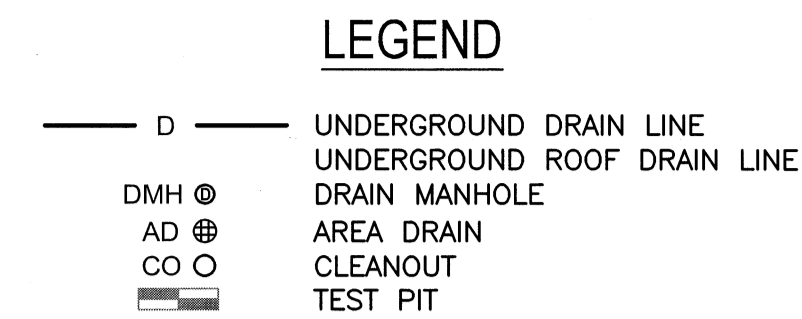
**NEO CULTIVATION &
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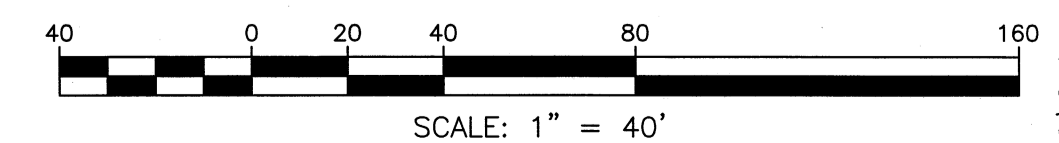
SHEET TITLE:
**EXISTING
CONDITIONS PLAN**

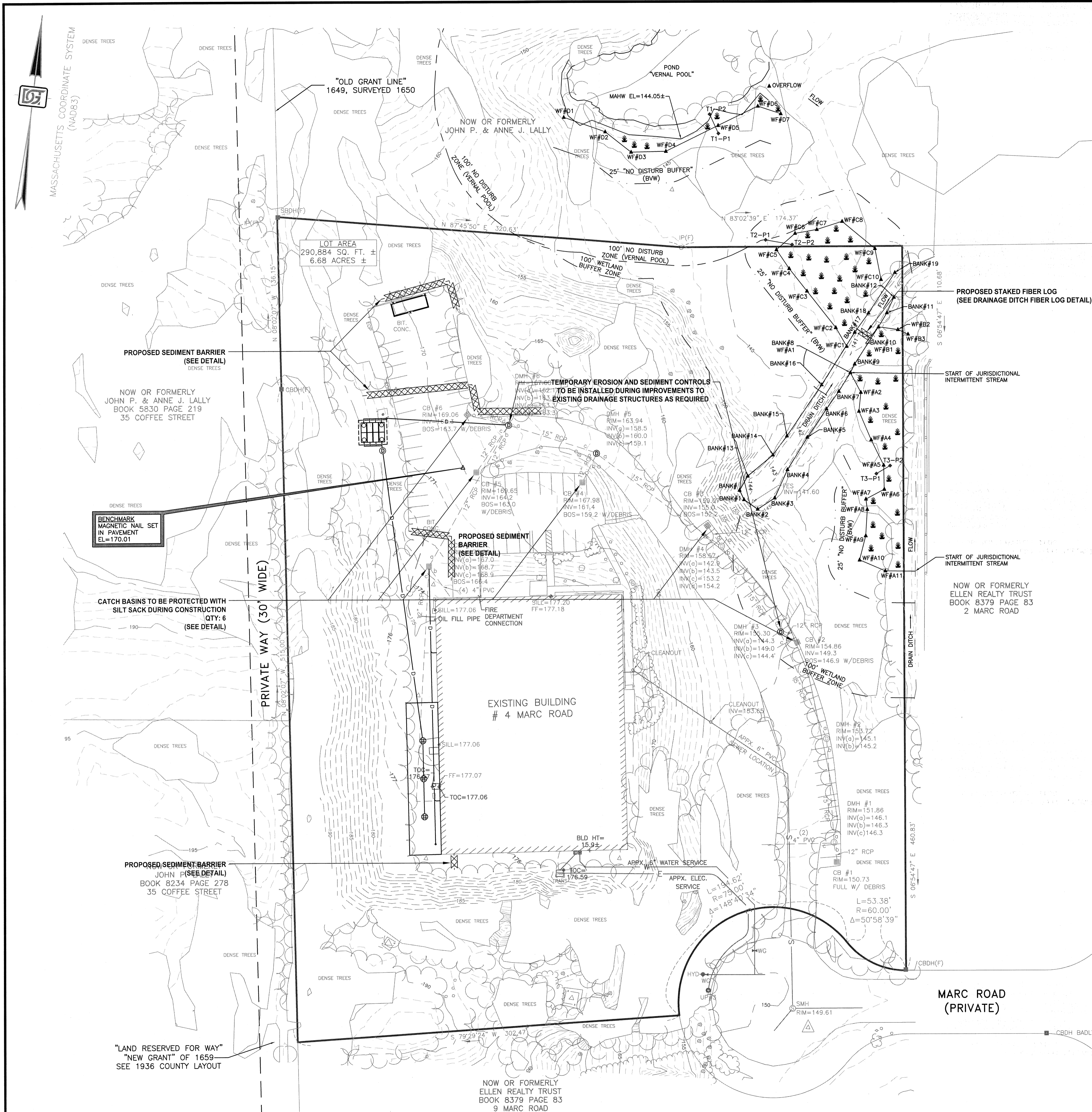
SHEET:
2 OF 6
PROJECT NO.:
25457

C-2



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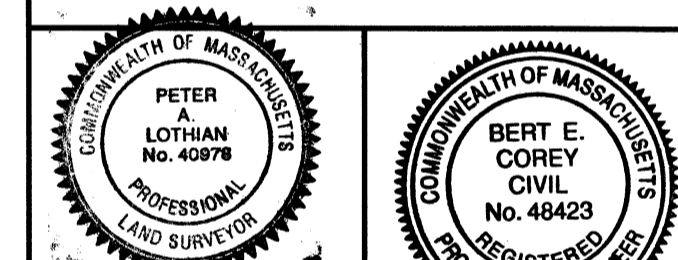


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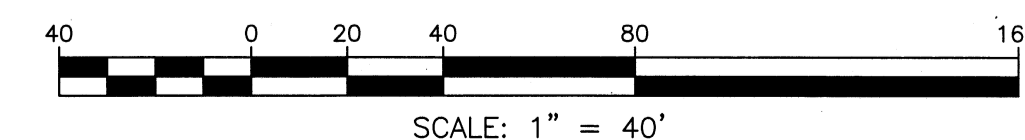
**NEO CULTIVATION &
MANUFACTURING**

4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

SHEET TITLE:

**EROSION AND
SEDIMENT CONTROL
PLAN**

SHEET: 4 OF 6	C-4
PROJECT NO.: 25457	



EROSION AND SEDIMENT CONTROL
NOTES AND PERFORMANCE STANDARDS

1. CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL

1.1 THE PURPOSE OF THE CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL PLAN IS TO MINIMIZE THE INTRODUCTION OF SEDIMENTS INTO THE TOWN'S DRAINAGE SYSTEM, PUBLIC RIGHT OF WAYS, ADJUTING PROPERTIES, AND TO POST-DEVELOPMENT STORMWATER BMP'S RESULTING FROM THE LAND DISTURBANCE ACTIVITIES DURING CONSTRUCTION.

1.2 THE EROSION AND SEDIMENT CONTROL NOTES AND PERFORMANCE STANDARDS LISTED ON THIS SHEET SHALL BE SHALL BE IMPLEMENTED.

1.3 INSPECTIONS SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR ON A BI-WEEKLY BASIS (EVERY TWO WEEKS), OR FOLLOWING SIGNIFICANT STORM EVENTS (RAINFALL OF 0.5" OR MORE) THAT CAN AFFECT THE SEDIMENT AND EROSION CONTROL PRACTICES IMPLEMENTED AT THE SITE. THE PURPOSE OF THE INSPECTIONS ARE TO EVALUATE THE EFFECTIVENESS ON THE CONTROLS AND ANY REQUIRED MAINTENANCE ACTIVITIES. IF AN EROSION/SEDIMENTATION CONTROL MEASURE IS FOUND TO BE INADEQUATE FOR PROPERLY CONTROLLING SEDIMENT, AN ADEQUATE MEASURE SHALL BE DESIGNED AND IMPLEMENTED. A COPY OF THE WRITTEN INSPECTION SHALL BE KEPT ON FILE AT THE CONSTRUCTION SITE.

1.4 DURING CONSTRUCTION, EXISTING AND PROPOSED STORMWATER MANAGEMENT STRUCTURES SHALL BE PROTECTED FROM SEDIMENT. ALL PROPOSED NEW STORMWATER MANAGEMENT STRUCTURES THAT INFILTRATE RUNOFF ARE PARTICULARLY SENSITIVE TO DAMAGE BY SEDIMENT. INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADING. SITE RUNOFF FROM UNSTABILIZED AREAS SHALL NOT BE DISCHARGED INTO THE PROPOSED INFILTRATION SYSTEM UNTIL THE TRIBUTARY DRAINAGE AREA IS STABLE OR THE RUNOFF IS TREATED TO BE ESSENTIALLY FREE FROM SEDIMENT TO THE SATISFACTION OF THE ENGINEER. THE CONTRACTOR SHALL PROVIDE TEMPORARY BY-PASS SYSTEMS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM ENTERING THE INFILTRATION SYSTEM. THE INFILTRATION SYSTEM SHALL REMAIN OFF-LINE AND PROTECTED.

2. GENERAL PERFORMANCE STANDARDS

2.1 THE CONTRACTOR SHALL INSTALL, ROUTINELY INSPECT AND MAINTAIN ALL SEDIMENT AND EROSION CONTROLS SUCH THAT THEY ARE IN PROPER WORKING ORDER AT ALL TIMES DURING THE CONSTRUCTION PROJECT UNTIL SUCH TIME AS ALL AREAS OF THE SITE TRIBUTARY TO THOSE EROSION CONTROLS ARE IN A PERMANENTLY STABILIZED CONDITION.

2.2 THE CONTRACTOR SHALL MANAGE THE SITE SUCH THAT EROSION AND SEDIMENT FROM RUNOFF AND WIND BLOWN DUST ARE CONTROLLED AND MINIMIZED AT ALL TIMES. THE EROSION CONTROLS SHOWN ON THIS PLAN INCLUDE THE INITIAL SETUP OF EROSION CONTROLS AND BASIC INFORMATION. TO MEET THE REQUIREMENT OF BEST MANAGEMENT PRACTICES, THE CONTRACTOR MUST MANAGE THE SITE PROPERLY WHICH MAY INCLUDE, BUT NOT BE LIMITED TO: MINIMIZING AREAS OF EXPOSED SOILS; INSTALLING TEMPORARY COVER; MAKE NECESSARY ADJUSTMENTS TO THE EROSION CONTROL INSTALLATIONS TO IMPROVE FUNCTION; PROVIDE TEMPORARY SEDIMENT BASINS; INSTALL ADDITIONAL EROSION CONTROL WHERE NECESSARY.

2.3 THE EROSION CONTROL WORK SHOWN ON THIS PLAN ARE ALSO SUBJECT TO PERMITS AND APPROVALS BY THE MEDWAY CONSERVATION COMMISSION UNDER THE WETLANDS PROTECTION ACT AND MAY ALSO BE SUBJECT TO OTHER STATE AND LOCAL APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE CONDITIONS AND REQUIREMENTS OF THOSE PERMITS.

2.3 DESIGN, INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOLLOWING THE GUIDELINES INCLUDED IN THE FOLLOWING:

- STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES" U.S. ENVIRONMENTAL PROTECTION AGENCY, OCTOBER 1992.
- "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, A GUIDE FOR PLANNERS, DESIGNERS AND MUNICIPAL OFFICIALS", MASS. EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS, MAY 2003.
- U.S.D.A. NATURAL RESOURCES AND CONSERVATION SERVICES (NRCS) GUIDELINES.

3. FEDERAL NPDES PHASE II COMPLIANCE

3.1 THIS PROJECT IS NOT SUBJECT TO THE FEDERAL CLEAN WATER ACT REQUIREMENTS FOR CONSTRUCTION SITES ADMINISTERED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA).

4. PERIMETER EROSION CONTROL BARRIER AND LIMIT OF WORK

4.1 PRIOR TO ANY DISTURBANCE OR ALTERATIONS OF ANY AREA ON THE SITE, AN EROSION CONTROL BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN.

4.2 INSTALL THE STRAW WATTLE ON THE INSIDE OF THE SILT FENCE AS SHOWN. IN THOSE AREAS WHERE THE TOPOGRAPHY INDICATES THAT STORMWATER RUNOFF WILL BE CONCENTRATED (AT LOW POINTS), ADDITIONAL STRAW WATTLES OR STRAW BALES AS NECESSARY SHALL BE STAKED ON THE UPGRADIENT SIDE OF THE SILT FENCE FOR ADDED FILTRATION AND PROTECTION. THE REQUIRED LOCATIONS FOR THE ADDED BARRIER INSTALLATION WILL BE SELECTED BY THE ENGINEER AND / OR THE AUTHORIZED INSPECTOR UPON COMPLETION OF THE PERIMETER EROSION CONTROL INSTALLATION (SEE DETAIL).

4.3 ONCE INSTALLED, THE EROSION CONTROL BARRIER SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN PERMANENTLY STABILIZED.

4.4 ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE PROPOSED SHALL BE LOAMED AND SEEDED OR SODDED. SIX INCHES OF LOAM TOPSOIL (MIN. COMPACTED DEPTH) SHALL BE APPLIED UNLESS OTHERWISE SPECIFIED. (SEE LANDSCAPE PLAN AND OTHER PLANS AS APPLICABLE).

5.0 CONSTRUCTION ENTRANCE

5.1 THE CONTRACTOR SHALL SWEEP THE ADJACENT ROADWAYS WHEN MUD, DUST, DIRT, DEBRIS, ETC. HAS SHOWN SIGNS OF BUILDUP ON THE ROADWAYS EXITING THE SITE. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THIS MATTER AND IMMEDIATE ATTENTION IS ALWAYS REQUIRED.

6.0 DEWATERING OF EXCAVATIONS

6.1 DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT BE DISCHARGED DIRECTLY TO THE ON-SITE DRAINAGE SYSTEM, OR WETLAND RESOURCE AREAS. DISCHARGES SHALL BE DIRECTED TO A TREATMENT SYSTEM CONSISTING OF A SEDIMENT BASIN, STRAW BALE SEDIMENT BASIN, FILTER BAG SYSTEM OR OTHER APPROVED METHOD TO FILTER THE DISCHARGE WATER AND PREVENT EROSION.

6.2 THE PUMP DISCHARGE SYSTEMS MUST BE GREATER THAN 100 FEET FROM WETLAND RESOURCES UNLESS APPROVED BY THE MEDWAY CONSERVATION COMMISSION AND IN ACCORDANCE WITH OTHER APPLICABLE LAWS AND REGULATIONS.

6.3 ALL DEWATERING DRAINAGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES MUST FIRST OBTAIN A DEWATERING DRAINAGE PERMIT, IF REQUIRED. SUCH DISCHARGES SHALL COMPLY WITH THE TOWN OF MEDWAY REQUIREMENTS, UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, MASSACHUSETTS DEP AND OTHER APPROPRIATE AGENCIES. UNDER NO CIRCUMSTANCE SHALL DEWATERING DRAINAGE BE DISCHARGED INTO A SANITARY SEWER.

7.0 SOIL STOCKPILES

7.1 STOCKPILES OF SOIL MATERIALS SHALL BE PLACED WITHIN AREAS THAT ARE PROTECTED BY PERIMETER EROSION CONTROLS, OR SHALL BE SURROUNDED BY PROPER SILT FENCING, FIBER LOGS, OR STAKED STRAW BALES.

7.2 STOCKPILES THAT ARE TO BE IN PLACE FOR EXTENDED PERIODS OF TIME (MORE THAN 30 DAYS) SHALL BE COVERED OR OTHERWISE TEMPORARILY STABILIZED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

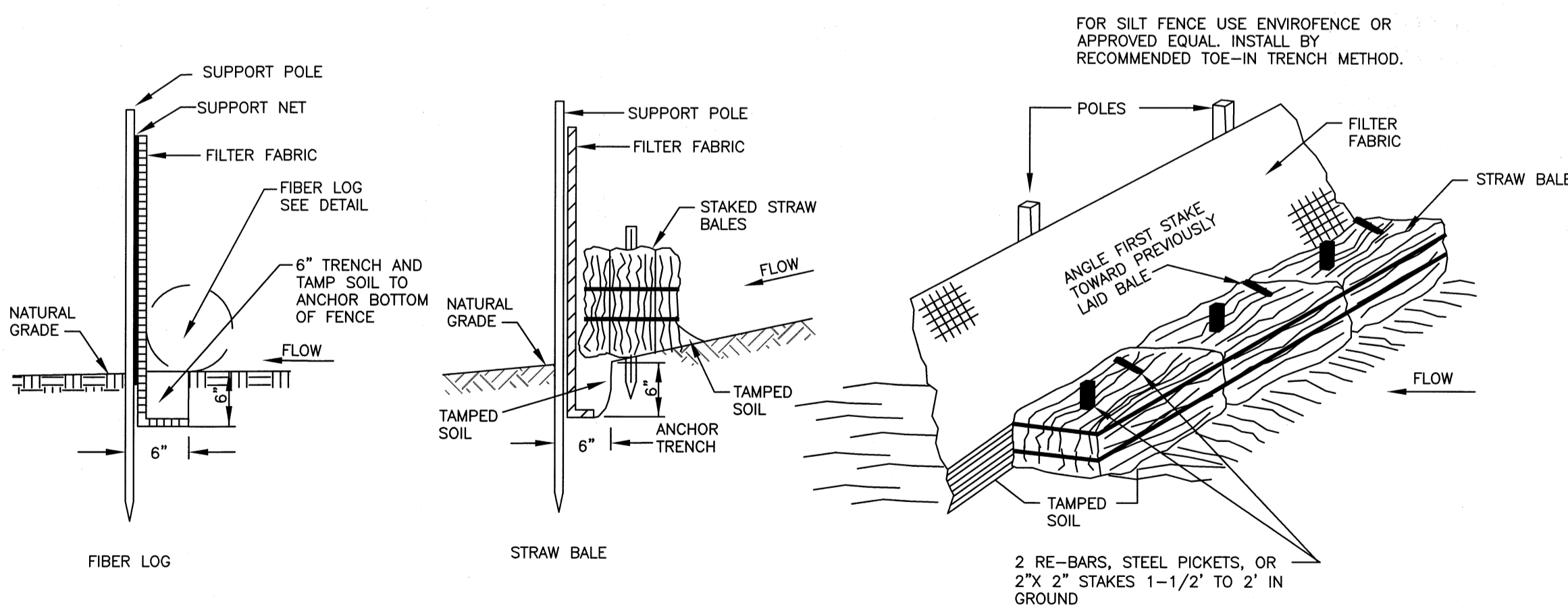
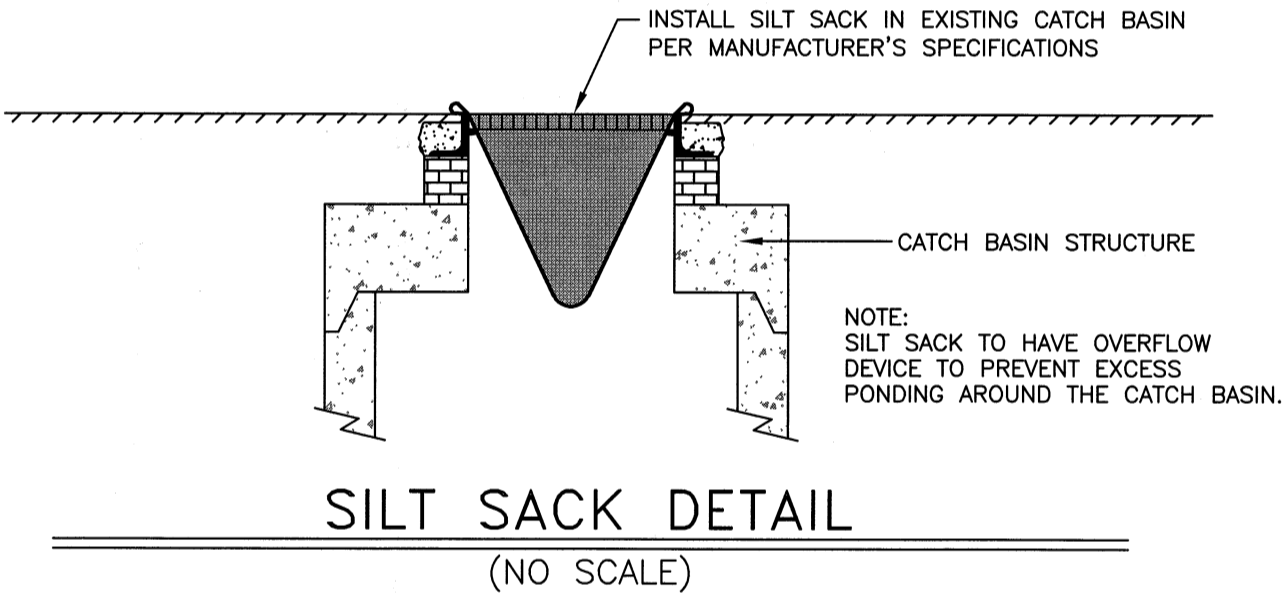
8.0 CATCH BASIN INLET PROTECTION

8.1 CATCH BASINS WITHIN THE WORK AREA OR THAT WILL RECEIVE RUNOFF FROM THE WORK AREA SHALL BE PROTECTED WITH A SILT SACK AND OR OTHER APPROVED INSTALLATION TO MINIMIZE THE SEDIMENT LOAD TO THE BASIN.

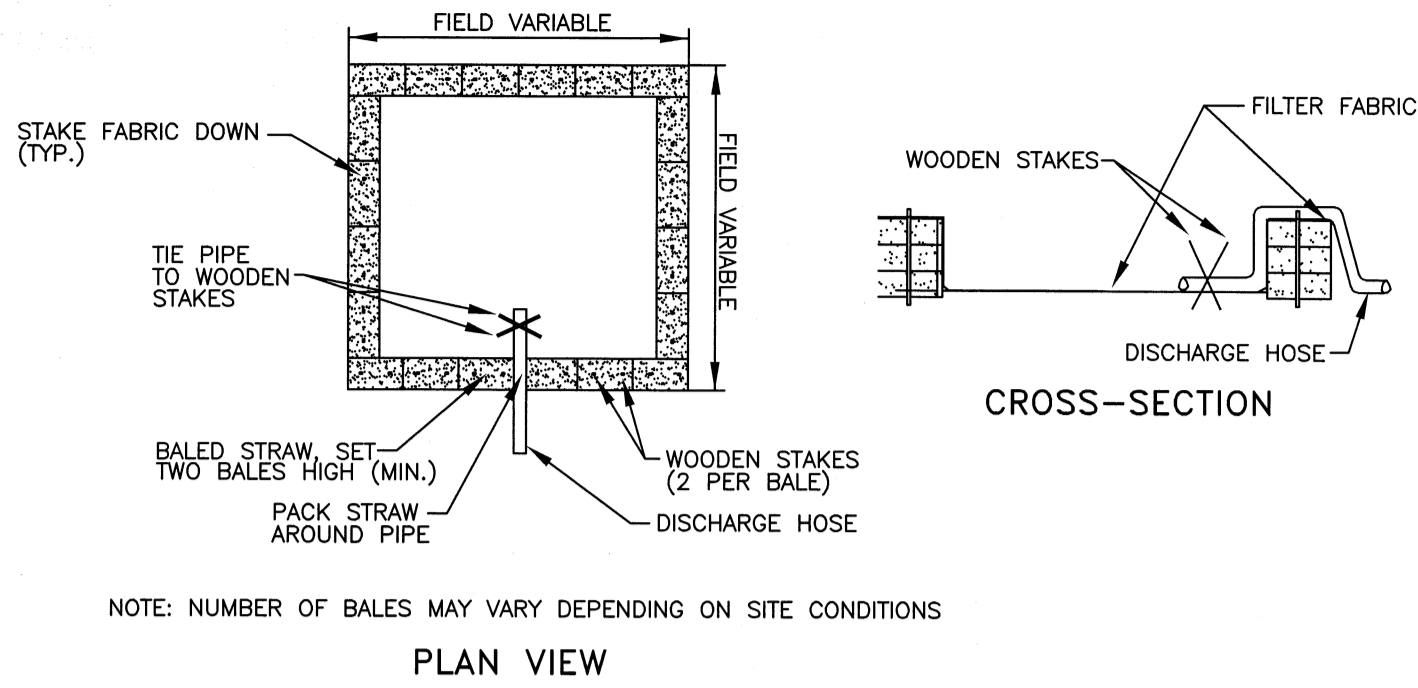
9.0 DUST CONTROL

9.1 THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES DURING SITE WORK TO MINIMIZE WIND BLOWN DUST FROM EXPOSED SOIL SURFACES. MEASURES INCLUDE BUT ARE NOT LIMITED TO:

- SPRINKLING WATER ON EXPOSED SURFACES
- APPLICATION OF TEMPORARY COVER SUCH AS HYDRO MULCH AND TACIFIER, STRAW MATTING, JUTE NETTING ETC.

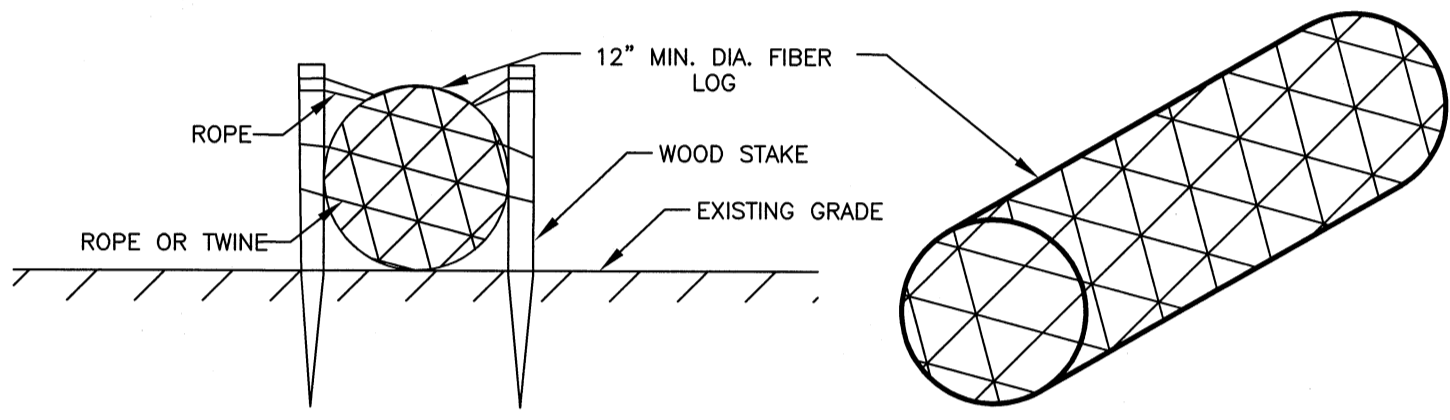


PERIMETER EROSION CONTROLS
STAKED STRAW BALE/FIBER LOG AND SILT FENCE
SEDIMENT BARRIER DETAIL
(NO SCALE)



DEWATERING OF EXCAVATIONS NOTES:
1. DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT DISCHARGE DIRECTLY TO WETLANDS OR STORM DRAIN SYSTEMS. THE DISCHARGES SHALL BE DIRECTED INTO A CONSTRUCTED SEDIMENT BASIN OR A STRAW BALE SETTLING BASIN, STILLING BASIN, FILTER BAG, FRAC TANK OR SIMILAR DEVICE.

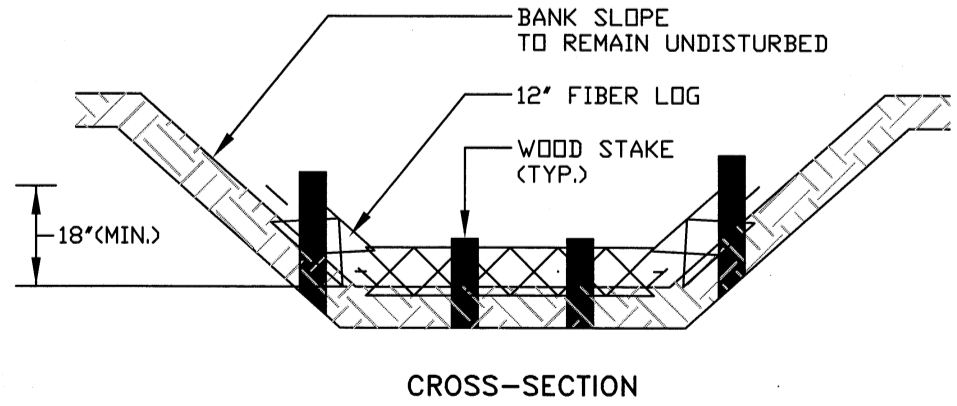
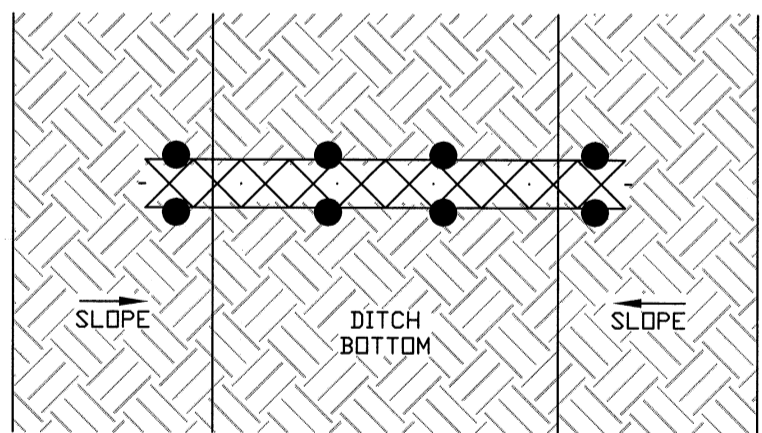
STRAW BALE SETTLING BASIN DETAIL
(NO SCALE)



INSTALLATION NOTES FOR FIBER LOGS:

1. LAY THE FIBER LOG AT THE UPHILL BASE OF THE SILT FENCE.
2. INSTALL APPROXIMATELY 4-6 WOOD STAKES THROUGH THE TWINE/NETTING ALONG THE FIBER LOG AS NEEDED TO HOLD THE LOG IN PLACE.
3. DRIVE THE STAKE INTO THE GROUND DEEP ENOUGH TO HOLD THE LOG.

FIBER LOG DETAIL
(NO SCALE)



- NOTES:
- 1) WORK TO BE PERFORMED IN DRY SEASON.
 - 2) EROSION AND SEDIMENT CONTROLS TO BE IN PLACE PRIOR TO DISTURBANCE.

DRAINAGE DITCH FIBER LOG DETAIL
(NO SCALE)

APPLICANT
NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

MINOR SITE PLAN REVIEW/SPECIAL PERMIT
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD:

DATE SIGNED:

ISSUED FOR:

MINOR SITE PLAN &
MARIJUANA SPECIAL PERMIT



NO. APP DATE DESCRIPTION

DATE: AUGUST 6, 2019

SCALE: AS NOTED

DRAFTED: TMM/JAL CHECKED: JAL APPROVED: BEC

PROJECT TITLE:

NEO CULTIVATION &
MANUFACTURING

4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

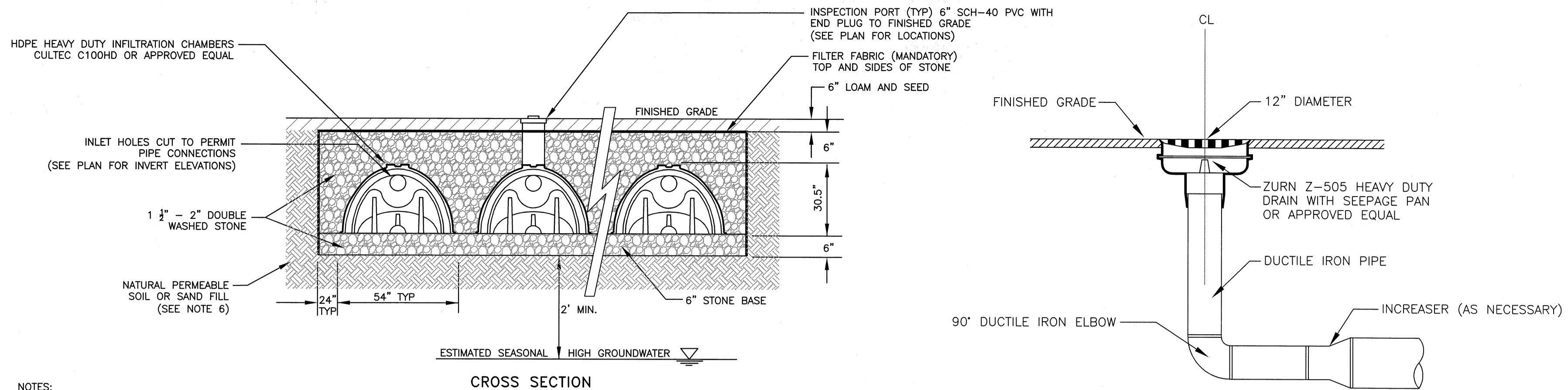
SHEET TITLE:

EROSION AND
SEDIMENT CONTROL
NOTES AND DETAILS

SHEET:
5 OF 6

PROJECT NO.:
25457

C-5



(NO SCALE)

(NO SCALE)

