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F-3519-1

June 18, 2020

Medway Planning Board
155 Village Street
Medway, MA 02053
Attn: Susan Affleck-Childs

RE: *Comments from Tetra Tech: Medway Mill, 163-165 Main Street, Medway, MA*

Dear Members of the Commission:

On behalf of our client, NRG Concept Inc., Guerriere & Halnon, Inc. has prepared the following information to address the comments contained in the letter from Tetra Tech dated March 19, 2020.

Tetra Tech's findings, comments and recommendations are shown in *italics* followed by our response in **bold**.

SITE PLAN REVIEW

1. *The Applicant has provided a Project narrative but is lacking several required items including the following:*
 - a. *Current employee counts (Ch. 200 §204-3.C.5)*
 - b. *Proposed hours of operation (Ch. 200 §204-3.C.6)*
 - c. *Calculation of required vs. proposed parking spaces. (Ch. 200 §204-3.C.8)*
 - d. *Calculation of proposed impervious surfaces. (Ch. 200 §204-3.C.9)*
 - e. *Expected timetable for completion of the Project. (Ch. 200 §204-3.C.10)*
 - f. *List of other permits required and their current status. (Ch. 200 §204-3.C.12)*

GH: Items a, b, c and d are depicted on Sheet 4 of 12 for your reference. Applicant is anticipating on completing the proposed activities within 2 years of receiving approval. We are currently in front of Conservation Commission with a Notice of Intent for the proposed project.

2. *The Applicant has not provided a written Development Impact Statement as required. The Applicant has requested a Waiver from this requirement. (Ch. 200 §204-3.F)*

GH: No further action

3. *The Applicant has not provided a copy of the Order of Resource Area Delineation (ORAD) from the Medway Conservation Commission. (Ch. 200 §204-3.K)*

GH: Currently in review with the Conservation Commission

4. *The Plans are drawn at a scale of 1"=30' which does not meet the required 1"=40' scale requirement. However, we believe the scale at which the Plans are shown is adequate to show the proposed work. We anticipate the Medway Planning and Economic Development Board will require a waiver from this requirement. (Ch. 200 §204-4.B)*

GH: Section 204-4.B states : The site plan shall be drawn at a scale of one inch equals forty feet OR one inch equals thirty feet or one inch equals twenty feet or such other scale that has been approved in advance by the Board and that clearly and adequately represents the proposed improvements. A waiver is not required.

5. *The Town Clerk's no appeal certification shall be placed on the Plans. (Ch. 200 §204-4.E)*

GH: Note has been added to the Cover sheet.

6. *It appears a sewer easement crosses the site, but it is not adequately labeled. (Ch. 200 §204-5.B.5)*

GH: The sewer easement has been labelled.

7. *A dumpster was observed at the western end of the gravel parking area but it is not shown on the Plans. (Ch. 200 §204-5.C.1)*

GH: This is a temporary location. A concrete pad location is proposed for a permanent location of dumpsters.

8. *It is unclear if existing trees on-site have been identified within the work area as the plan is difficult to read. The Applicant has requested a Waiver from this requirement. (Ch. 200 §204-5.C.3)*

GH: Tree labels within work are enlarged for easy reading.

9. *Provide parking setbacks on the Site Plan. (Ch. 200 §204-5.D.3)*

GH: The parking offsets have been added to the plan and parking dimensions have been added to the plan.

10. *A site utilities plan has not been provided. Lighting is proposed in the parking lot and electrical runs will need to be shown on the Plans. All utilities are to be installed underground. (Ch. 200 §204-5.D.7)*

GH: Electrical lines and location shall be coordinated with National Grid and information will be provided after approval of site plan.

11. *The Applicant has provided a Landscape Plan, however, it is not prepared by a Registered Professional Landscape Architect or a MA Certified Landscape Professional. The Applicant has requested a Waiver from this requirement. (Ch. 200 §204-5.D.8.a)*

GH: A waiver has been requested.

12. *Maintenance notes shall be added to the Landscape Plan to ensure installers and property owners are aware of maintenance tasks to ensure the viability and longevity of the proposed plantings. (Ch. 200 §204-5.D.8.d)*

GH: Notes have been added to the Landscaping Plan.

13. *The Applicant has not provided renderings of the project. (Ch. 200 §204-5.D.10)*

GH: See renderings enclosed by owner/applicant. No new building is proposed.

14. *A detail of the bike rack shall be provided on the Plans. (Ch. 200 §204-5.D.13)*

GH: A bike rack detail has been added to the Detail sheets.

15. *Parking counts shall be added to the proposed zoning summary table. Required vs. proposed parking spaces shall be included. (Ch. 200 §204-5.D.17)*

GH: Parking information is located on the General Note Sheet and has been added to the Zoning Summary Table

16. *The Applicant shall show cut-fill analysis on the Plans to determine extent of earthwork at the site. (Ch. 200 §207-8.F)*

GH: A cut-fill analysis has been provided as requested on Sheet 6 of the revised plan set.

17. *Proposed curb type is not provided on the Plans. The Regulations require either Vertical Granite Curb or Cement Concrete Curb along proposed sidewalks. (Ch. 200 §207-9.A.6)*

GH: Vertical granite is proposed and is indicated on the site plan. Detail added to sheet 12 of 12

18. *It does not appear the sidewalk from the proposed parking area will meet ADA requirements. (Ch. 200 §207-9.A.7)*

GH: The sidewalk has been widened to 5 ft. and shall be constructed with pervious pavers to lessen the impact within the riverfront area. No handicap spaces are proposed in this area. A waiver is requested.

19. *Proposed sidewalk is four feet in width which does not comply with the required five-foot width in the Regulations. (Ch. 200 §207-9.B.1)*

GH: Has been widened to 5ft.

20. *Proposed curb type not provided on the Plans. (Ch. 200 §207-11.B.2)*

GH: Vertical granite curb is proposed within the parking area.

21. *Show dimensioning from property line to limit of parking area to ensure minimum 15-foot setback is provided. (Ch. 200 §207-12.G.3.b)*

GH: Requesting a waiver to 12ft. to minimize disturbance within the riverfront.

22. *Provide radii on protruding edges of curb within the proposed parking area. (Ch. 200 §207-12.H.2)*

GH: The radii have been added to the layout of the parking.

23. *It appears two electric vehicle parking stations have been proposed for the project. However, we believe additional stations may be required based on the parking count for the site. We recommend the PEDB include this as point of discussion during public hearing to determine if the existing parking counts would be subject to this regulation. Additionally, we recommend the Applicant clearly define electric vehicle parking spaces through use of pavement markings to ensure these spaces are not used by non-electric vehicles. (Ch. 200 §207-12.I)*

GH: Pavement markings have been added for electric parking only.

24. *Proposed utilities have not been shown on the Plans. All utilities are to be located underground. (Ch. 200 §207-16)*

GH: A note has been added to the utility plan.

25. *The building is multi-use and will require proposed shared trash compactors as required. (Ch. 200 §207-17.D)*

GH: A waiver is requested.

26. *We expect light levels to be much greater than shown at the property line as what is provided. Light levels shown on the plan end at the property line at reasonably high values (ie. 0.17, 0.18, 0.19, etc.). This may be due to the proposed fence but that information should be provided on the Plan to confirm. We recommend the Applicant also place shielding on the light fixtures to ensure no light trespass extends to residential abutters. (Ch. 200 §207-19.B.2)*

GH: The fence and landscaping is designed to minimize glare onto the abutters. Notes were added to the lighting plan indicating the use of shields if determined necessary.

27. *Provide a light schedule on the Photometric Plan to confirm light type and specifications. Additionally, proposed times of illumination shall be included. All lighting shall meet the requirements of Zoning Bylaw Section 7.1.2. (Ch. 200 §207-18.A)*

GH: Lighting details and specifications are shown on the Detail sheets.

28. *Landscape areas along the residential property lines to the west do not appear to be 15-feet as required by the Regulations. (Ch. 200 §207-19.B.2)*

GH: A fence as well as landscaping should provide enough screen to the abutting properties.

29. *It does not appear the proposed parking layout accounts for the minimum 10% landscaped island area. Parking area calculation shows approximately 15,000 sf of new parking area with 10%, or 1,500 sf, of landscaped island required. These islands are exclusive of perimeter landscaping. (Ch. 200 §207- 19.C.a)*

GH: The parking was designed to minimize the disturbance within the riverfront area.

30. *The Applicant has provided a standard stormwater drainage design with use of catch basins and infiltrations basins to treat stormwater runoff from the parking area. The Regulations require Applicants to determine feasibility of using LID techniques such as rain gardens and bio-retention areas to treat stormwater. Proposed stormwater design will be reviewed by the Medway Conservation Commission. (Ch. 200 §207-19.C.a)*

GH: The use of LID techniques was considered during the design process. LID techniques that may have been suitable for this site typically require a larger footprint, and it was designed utilizing conventional stormwater BMPs to minimize the disturbance within the protected riverfront area.

31. *The Applicant shall provide a calculation of proposed tree replacement, it is difficult to read tree sizes on the existing conditions plan. The Applicant has requested a Waiver from this requirement; however, the waiver request does not appear to reference the correct regulation on the Plans. (Ch. 200 §207- 19.H)*

GH: A waiver has been requested.

32. *Provisions for irrigation of proposed landscaping shall be provided. (Ch. 200 §207-19.K)*

GH: Notes were added to the landscaping plan. The contractor/landscaper shall water the newly planted trees for 90 days and guarantee plant stock for 1 year.

33. *Proposed fence is white PVC. Fence type and color will need to be reviewed by the Medway Design Review Committee. (Ch. 200 §207-20.A)*

GH: Acknowledged.

34. *Snow storage areas shall be clearly delineated on the Plans. Landscaping is proposed at the end of parking/drive aisles where snow storage is proposed, and we expect these planting may be damaged during the snow removal effort. (Ch. 200 §207-21)*

GH: Plantings have been relocated to allow for additional snow storage.

GENERAL COMMENTS

35. *The waiver requests do not match up between the forms and what is listed on the Plans. Please coordinate all waiver requests for ease of review.*

GH: The plans and forms have been revised accordingly.

36. *Confirm with Medway Fire Department that the proposed fire truck access is sufficient to gain access to the rear of the buildings.*

GH: Discussions between the applicant and the Fire Department have been on going. The applicant is waiting for a written acknowledgment.

37. *Details of the proposed bridge expansion should be included in the Plans to determine extent of impact to the site.*

GH: Bridge to be designed by others upon site plan approval. Color renderings provided as reference.

38. *We recommend the Applicant extend the painted pedestrian path to the rear entrance to the building.*

GH: The pedestrian path has been extended to the concrete platform.

39. *The Applicant shall provide a detail of the pervious paver sidewalk.*

GH: A detail for pervious pavers has been added to the Detail Sheet.

40. *The dumpster enclosure detail gives the option to use either bituminous concrete or cement concrete slab. We recommend the Applicant choose an option. Typically, dumpster pads are cement concrete to prevent settling of the pad due to the weight of the dumpster.*

GH: The slab with be cement concrete and the detail has revised accordingly.

We believe these responses have addressed the concerns expressed by Tetra Tech from their review letter. Should you have any further questions or concerns, please contact our office.

Sincerely,
Guerriere & Halnon, Inc.



Amanda Cavaliere
Franklin Office Manager

Color Renderings of Existing/Proposed Bridge Construction
Medway Mills 163-165 Main Street
Date: May 14, 2020



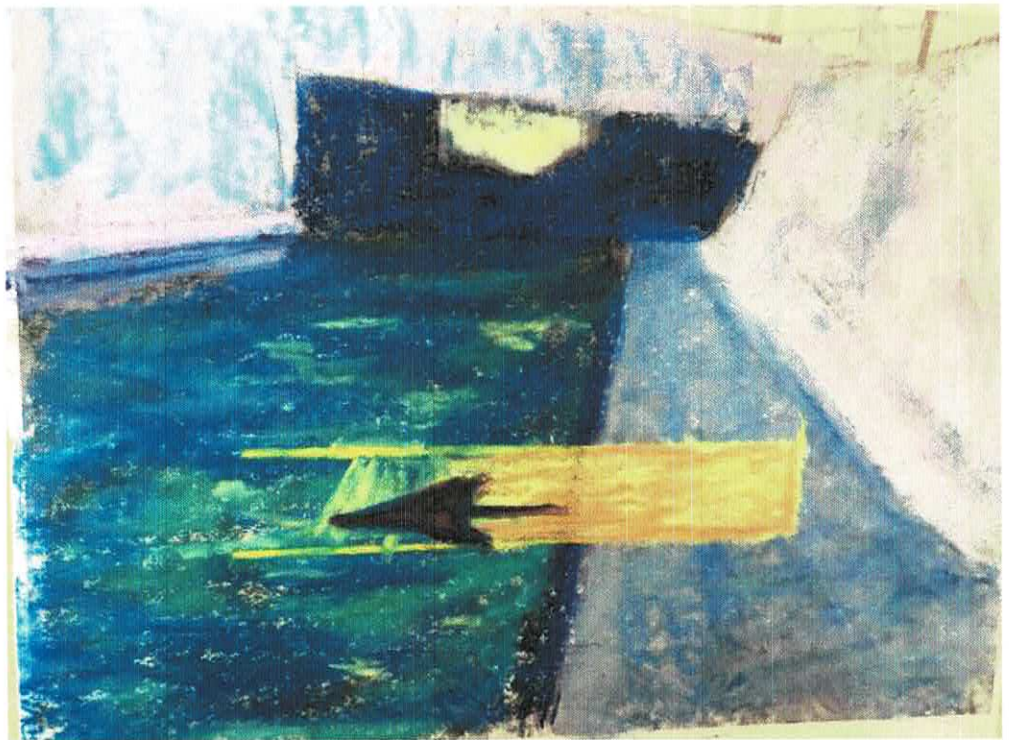
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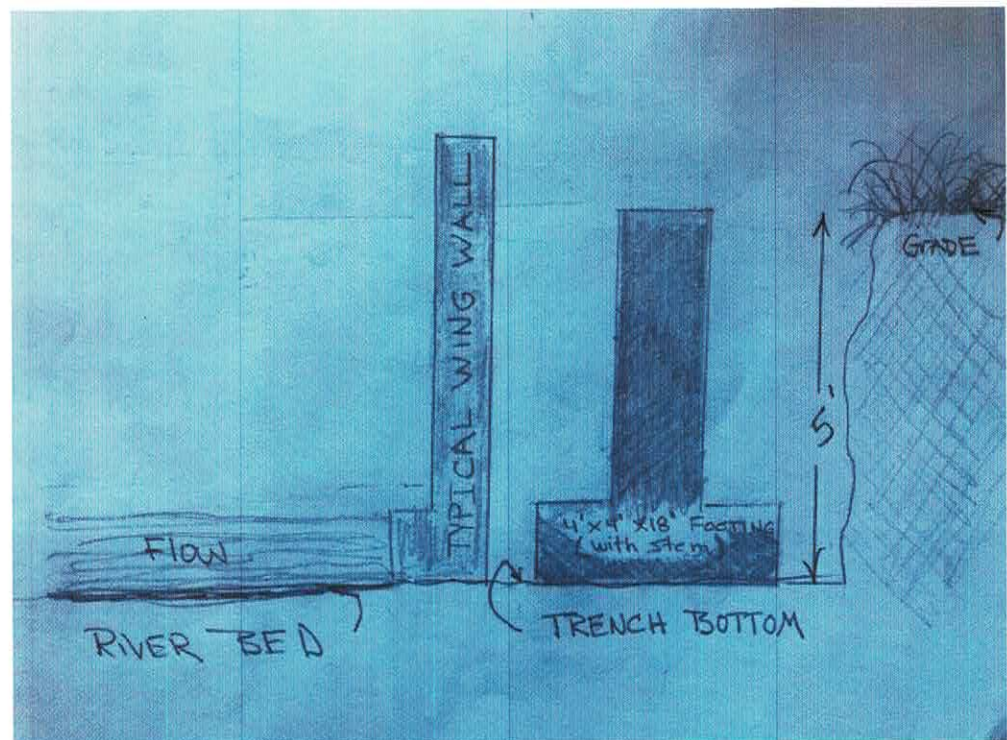
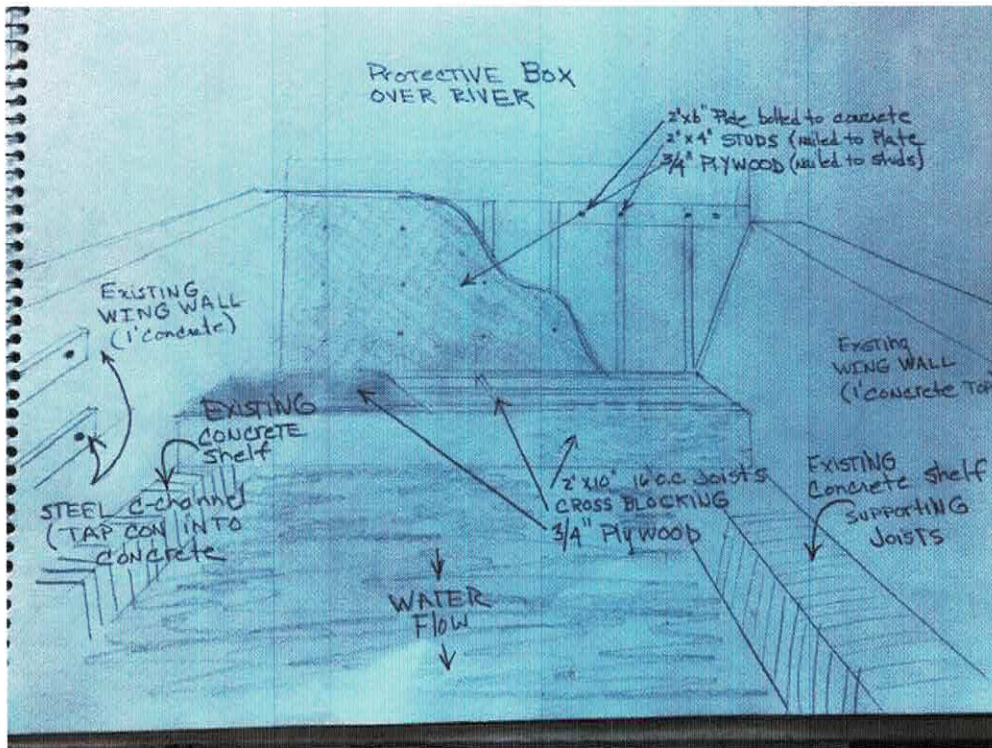
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Medway Mills 163-165 Main Street
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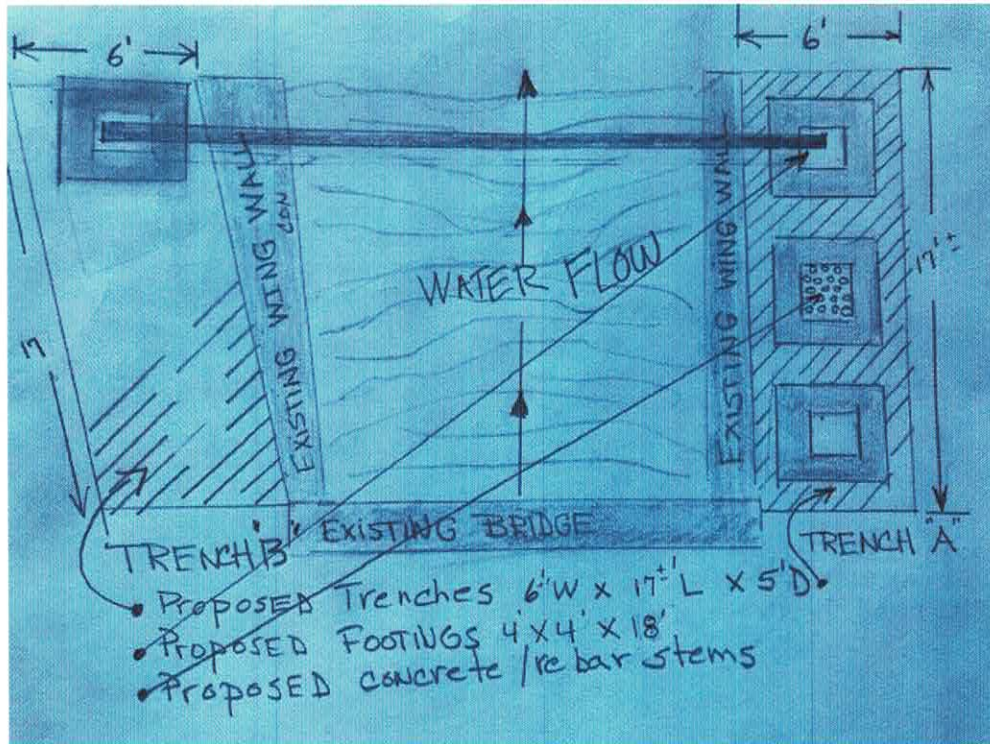
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Medway Mills 163-165 Main Street
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**MEDWAY MILLS
163-165 MAIN STREET**



**EXISTING CONDITIONS
SOUTHEAST OF EXISTING METAL BUILDING**



**PROPOSED CONDITIONS
SOUTHEAST OF EXISTING METAL BUILDING**

**MEDWAY MILLS
163-165 MAIN STREET**



**EXISTING CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
ENTRANCE OFF MAIN STREET**

**PROPOSED CONDITIONS
VIEW OF EXISTING BRIDGE FROM
ENTRANCE OFF MAIN STREET**





**EXISTING CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
PARKING AREA ON WEST SIDE
OF CHICKEN BROOK**

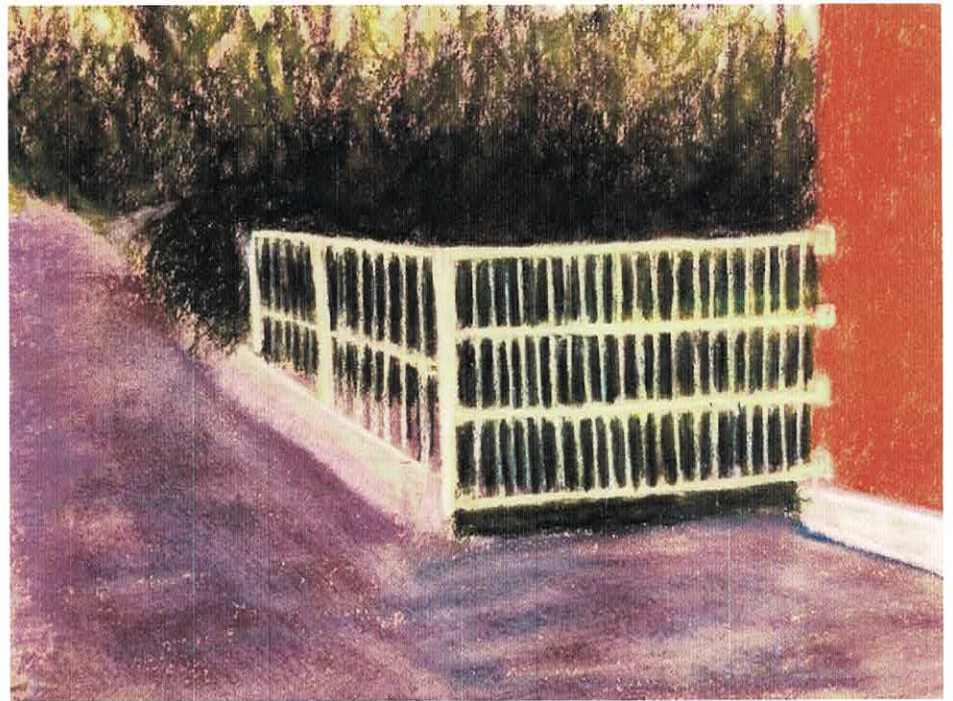
**PROPOSED CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
PARKING AREA ON WEST SIDE
OF CHICKEN BROOK**





**EXISTING CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
EAST SIDE OF CHICKEN BROOK**

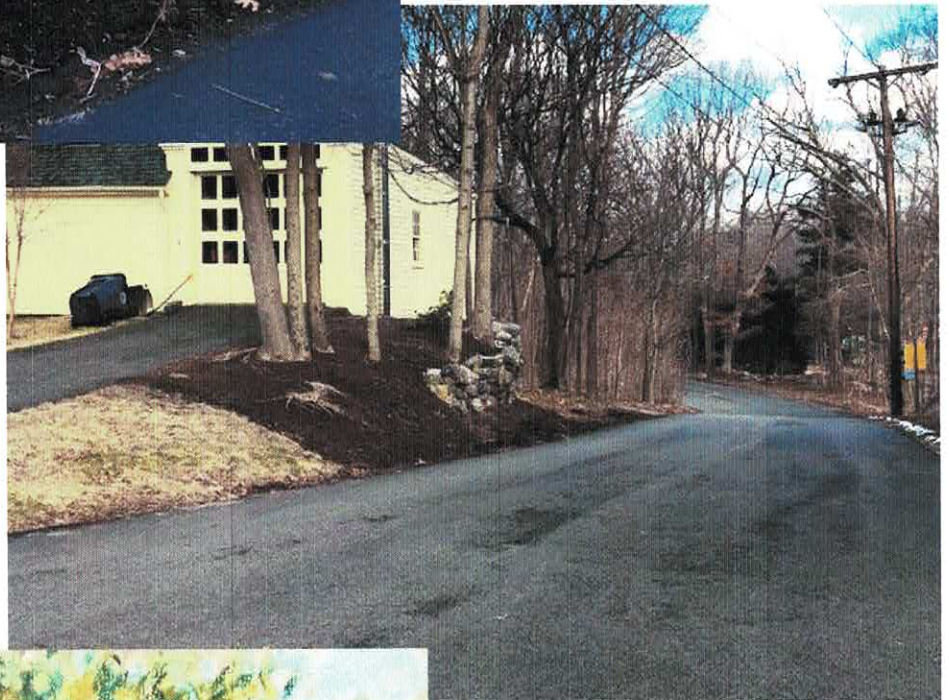
**PROPOSED CONDITIONS
VIEW OF EXISTING BRIDGE
FROM
EAST SIDE OF CHICKEN BROOK**





**EXISTING CONDITIONS
VIEW OF ENTRANCE OFF
LINCOLN STREET (1 OF 2)**

**EXISTING CONDITIONS
VIEW OF ENTRANCE OFF LINCOLN
STREET (2 OF 2)**



**PROPOSED CONDITIONS
VIEW OF ENTRANCE OFF
LINCOLN STREET**



**EXISTING CONDITIONS
VIEW ON WEST SIDE OF
CHICKEN BROOK TOWARDS
MAIN STREET**

**PROPOSED CONDITIONS
VIEW ON WEST SIDE OF CHICKEN
BROOK TOWARDS MAIN STREET**

