



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

RECEIVED

JUL - 2 2018

TOWN CLERK

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July 2, 2018

MINOR MODIFICATION
ADULT RETIREMENT COMMUNITY PLANNED UNIT DEVELOPMENT (ARCPUD)
SPECIAL PERMIT PLAN

Continuing Care Management, LLC
The Willows at Medway and Whitney Place
259, 261, 261R and 263 Village Street

At its duly posted meeting on June 26, 2018, the Medway Planning and Economic Development Board considered the request of Jeff Robinson of Continuing Care Management LLC of Westborough, MA, to modify the previously approved and endorsed ARCPUD special permit plan for the Willows senior living community.

The proposed minor modification reflects changes developed during the finalization of construction drawings and involves the following revision to the construction materials to be used for the 3,554 sq. ft. accessory parking area near the gazebo at the trailhead in the northwestern part of the site.

- Changing the paving materials from pervious pavers spaced with aggregate to using a layer of pervious pavement (porous asphalt) as shown in the *Porous Asphalt Pavement Detail* dated June 21, 2018 prepared by Coneco Engineers and Scientists. (See attached.)

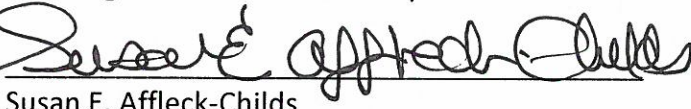
Project engineer David Harrington, P.E. of Coneco Engineers and Scientists indicated that the change impacts only the construction method and appearance of the parking area and noted that porous pavement is an allowed option for permeable pavement in the Structural BMP section of the Mass DEP Stormwater Handbook. The modification is not expected to have any effect on the performance or functionality of the parking lot, nor will this change the drainage system or stormwater runoff.

The proposed modification was reviewed by Tetra Tech, the Town's consulting engineer and the Town's Conservation Agent. The Planning and Economic Development Board determined that the proposed paving change as outlined is minor in nature and will not be detrimental to the achievement of planned senior living community as originally as approved. Accordingly, the Planning and Economic Development Board, at its June 26, 2018 meeting, approved the minor modification to the ARCPUD plan as proposed and described herein subject to the following conditions:

CONDITIONS

1. The paving for this parking area shall remain porous and not become clogged with sand or other sediments, thus turning it into impervious pavement.
2. No sand shall be used during the wintertime maintenance and upkeep of this parking area. Further, the parking area shall be swept or vacuumed as needed during the non-winter seasons to ensure that sand and other sediments do not accumulate. The development's long term stormwater operations and maintenance plan shall be amended if necessary, to ensure that it clearly includes such requirements.
3. In order to provide the necessary guidance to maintenance personnel, the developer shall install suitable signage around the subject parking lot to clearly delineate the "No Sanding" area.
4. The change in paving material shall be shown on the as-built plans to be provided to the Planning and Economic Developments.

Attest:


Susan E. Affleck-Childs

Planning and Economic Development Coordinator

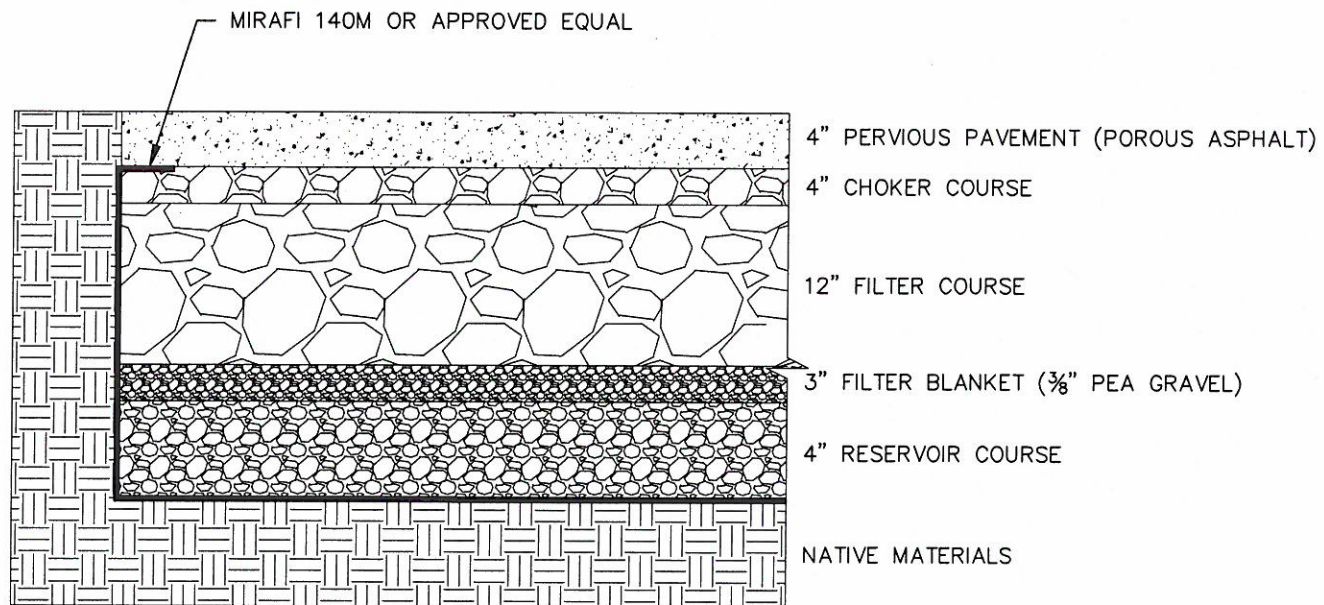
7-2-2018
Date

cc: Jack Mee, Building Inspector/Zoning Enforcement Officer
Jeff Robinson, Continuing Care Management
Jon Novak, Coneco Engineers and Scientists
Steve Bouley, Tetra Tech
Bridget Graziano, Conservation Agent

US STANDARD SIEVE SIZE INCHES/MM	PERCENT PASSING (%)			
	CHOKER COURSE (AASHTO NO. 57)	FILTER COURSE (MODIFIED NHDOT 304.1)	RESERVOIR COURSE (AASHTO NO. 3)	RESERVOIR COURSE ALTERNATIVE* (AASHTO NO. 5)
6/150	—	100	—	—
2½/63	—	—	100	—
2/50	—	—	90 — 100	—
1½/37.5	100	—	35 — 70	100
1/25	95 — 100	—	0 — 15	90 — 100
¾/19	—	—	—	20 — 55
½/12.5	25 — 60	—	0 — 5	0 — 10
⅜/9.5	—	—	—	0 — 5
#4/4.75	0 — 10	70 — 100	—	—
#8/2.36	0 — 5	—	—	—
#200/0.075	—	0 — 6**	—	—
% COMPACTION ASTM D698/ AASHTO T99	95	95	95	95

* ALTERNATE GRADATIONS (E.G. AASHTO NO. 5) MAY BE ACCEPTED UPON ENGINEER'S APPROVAL.

** PREFERABLY LESS THAN 4% FINES.



259, 261, 261R AND 263 VILLAGE STREET, MEDWAY, MASSACHUSETTS 02053



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WEBSITE: www.coneco.com

PREPARED FOR:
CONTINUING CARE MANAGEMENT, LLC

PLAN SET:
CONSTRUCTION DOCUMENTS

NOT TO
SCALE

DATE
06/21/2018

PROJECT NO.
8548.0

TITLE:
POROUS ASPHALT
PAVEMENT DETAIL