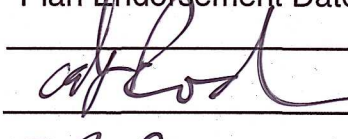




7 SANFORD STREET RESIDENCE, MEDWAY, MASSACHUSETTS



VIEW FROM SANFORD STREET

Registry Use Only	
Approved by the Town of Medway Planning & Economic Development Board Decision Approval Date: May 9, 2023 Plan Endorsement Date: July 11, 2023	
	
	
Board Member	
Date: 7/11/23	
I, Stefany Ohannesian, Clerk of the Town of Medway, received and recorded from the Planning and Economic Development Board decision approval of this plan on May 12, 2023 and no appeal was taken for twenty days next after receipt and recording of same.	
	
Town Clerk	
Date: July 13, 2023	

REVISIONS

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DONAHUE Architects inc.

21 McGRATH HIGHWAY, QUINCY, MASS. 02169
Phone: 1-517-479-4122

PROJECT DATA

PROJECT SCOPE

RENOVATIONS TO 7 SANFORD STREET MEDWAY, MA. 02053
(BARN BUILDING CONVERSION TO RESIDENTIAL UNITS)

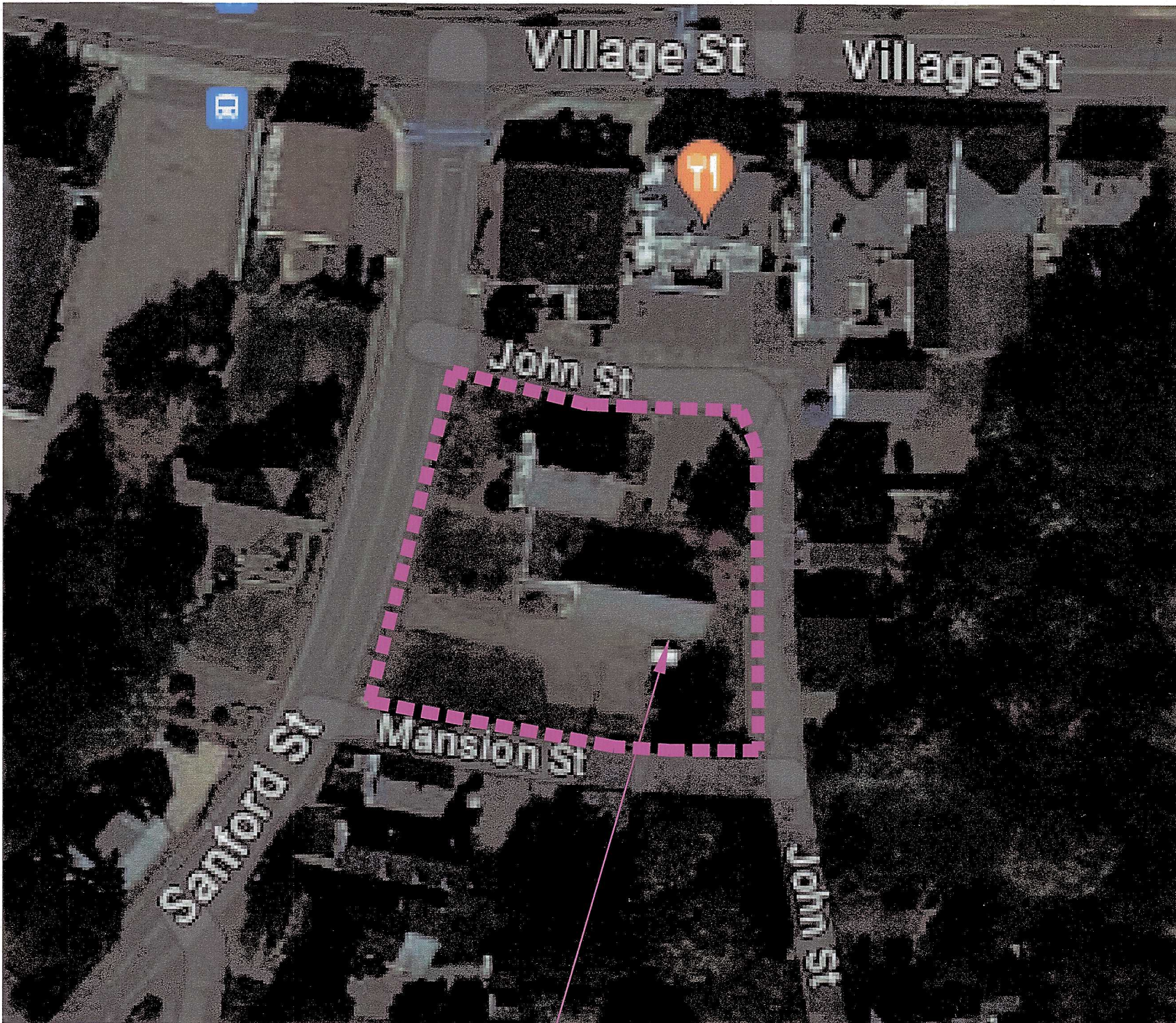
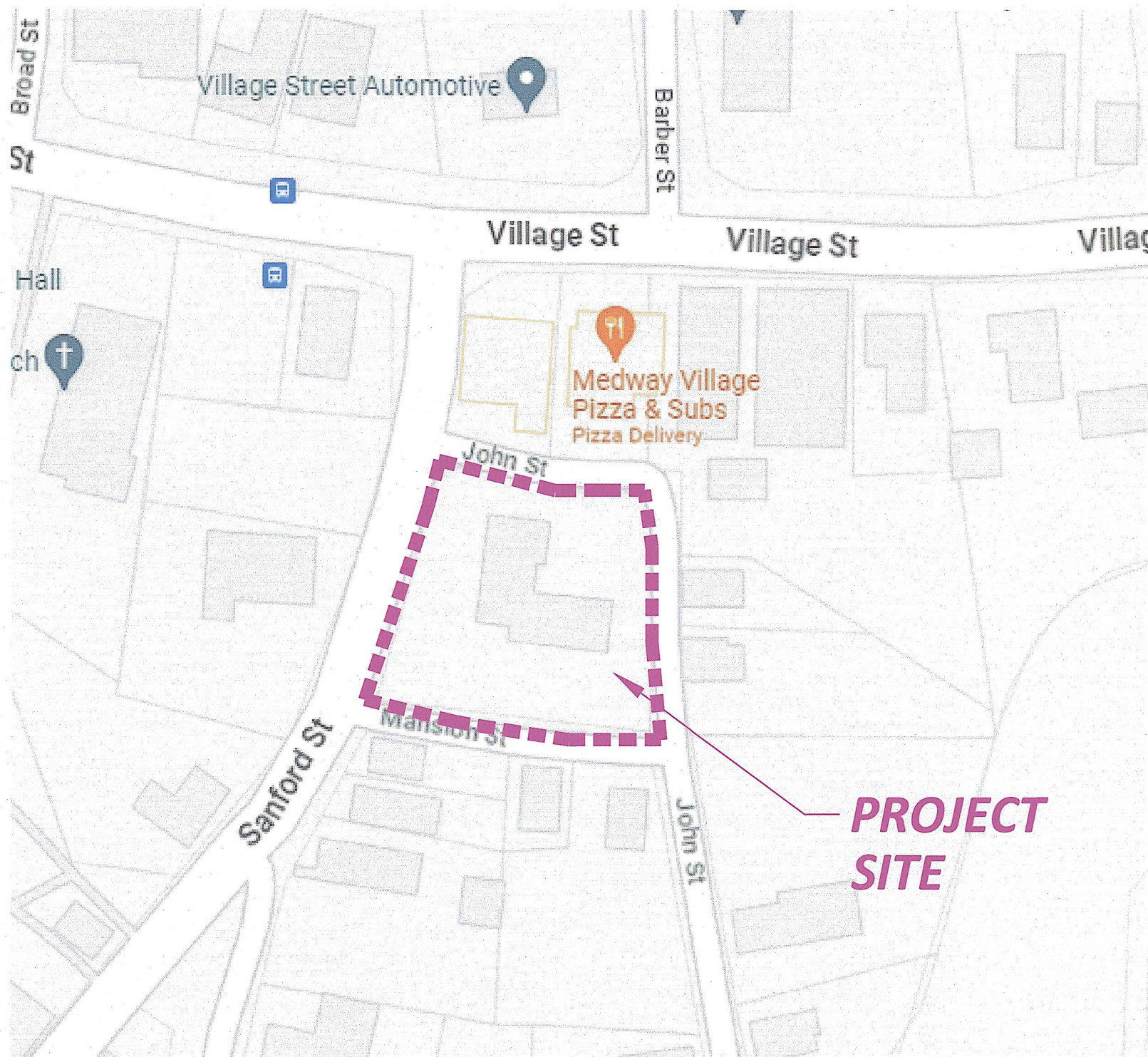
PROJECT TEAM

OWNER 7 SANFORD ST., LLC 6 GREEN ST. NO. 2 MEDFIELD, MA 02052	LEGAL: DANIELLE JUSTO 176 FEDERAL STREET BOSTON, MA. 02110 617-556-3841	ARCHITECT DONAHUE Architects, inc. 21 McGrath Highway, Suite 401 Quincy, MA 02169 contacts: Brian Donahue 617.479.4122 www.donahuearchitects.com/
	CIVIL ENGINEER: SITE ENGINEERING CONSULTANTS, INC. 55 GRAPESHOT ROAD SHARON, MASS. 02067 TEL: 781-784-0326	SURVEYOR: DENNIS O'BRIEN LAND SURVEYING 480 WEST CENTRAL STREET FRANKLIN, MASS. 02038 TEL: 508-541-0048

LIST OF DRAWINGS

G00	Cover Sheet
1 of 3	Civil Site Plan
2 of 3	Civil Details
3 of 3	Civil Details
L1.0	Landscape Plan
SP.1	Site Plan (architectural) (filed with Town)
A000	Existing Photos (filed with Town)
A100	Existing Plans and Elevations (filed with Town)
A101	Lower Level Floor Plan (filed with Town)
A102	Level 2 Floor Plan (filed with Town)
A103	Level 3 Floor Plan (filed with Town)
A200	South and North Elevations (filed with Town)
A201	East and West Elevations (filed with Town)
A203	Rendered Views (filed with Town)

LOCUS PLAN



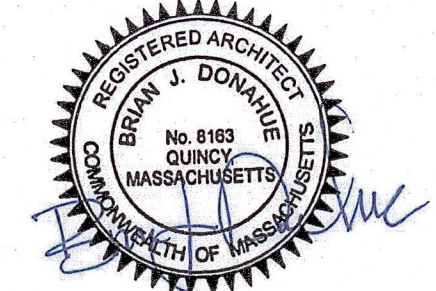
PROJECT SITE

APARTMENT RENOVATIONS

7 SANFORD ST. MEDWAY, MA 02053

COVER SHEET

Designed by:	BD
Drawn by:	WSS
Date:	05.10.2023
Scale:	AS NOTED

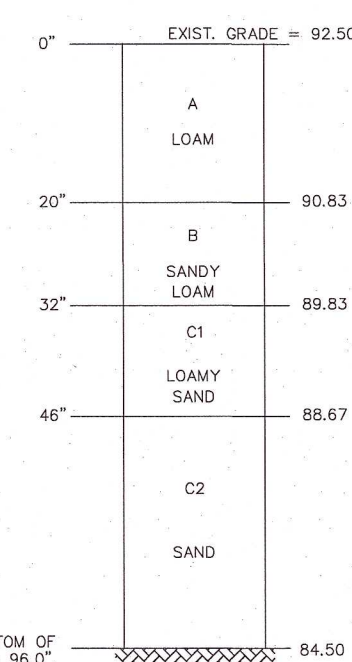


Drawing No.	G-000
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05/17/2023 11:50

- LEGEND:
- AD AREA DRAIN
 - CB CATCH BASIN
 - C.O. CLEAN-OUT
 - DMH STORM DRAIN MANHOLE
 - F.G. FINISH GRADE
 - G.M. GAS METER
 - G.S. GAS GATE VALVE
 - INVERT
 - L LENGTH
 - S SLOPE
 - PERF. PERFORATED
 - PVC POLYVINYL CHLORIDE PIPE
 - PROP. PROPOSED
 - EXIST. EXISTING
 - BSMT. BASEMENT
 - FL. FLOOR
 - ELEV. ELEVATION
 - HDPE HIGH DENSITY POLYETHYLENE
 - CONN. CONNECTION
 - VGC VERTICAL GRANITE CURB
 - SMH SANITARY SEWER MANHOLE
 - RD ROOF DRAIN
 - S SEWER LINE
 - SD STORM DRAIN
 - W DOMESTIC WATER SERVICE
 - W/F FIRE PROTECTION WATER SERVICE
 - S SANITARY SEWER SERVICE
 - 147 PROPOSED ELEVATION CONTOUR
 - 145.25 PROPOSED SPOT ELEVATION
 - TP TEST PIT
 - PT PERCOLATION TEST
 - WV WATER GATE VALVE
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - TS TOP OF STEP
 - BS BOTTOM OF STEP
 - TC TOP OF CURB
 - BC BOTTOM OF CURB
 - SB STONE BOUND
 - EROSION CONTROL BARRIER
 - IMPERMEABLE BARRIER
 - PROPOSED FENCE
 - TRENCH DRAIN/SLOT DRAIN

TEST HOLE #1 (TP1)

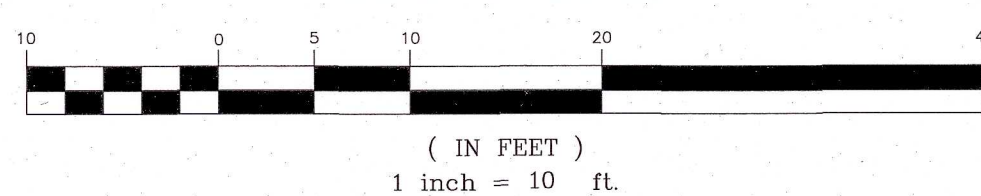


SOIL LOGS
SOILS TESTING CONDUCTED ON 03/19/2023
SOIL CONDUCTIVITY RATE (RAWS RATE):
RAWS RATE = 2.410 IN/HR

N.T.S.

AREA OF DISTURBANCE = 19109.1 sf

GRAPHIC SCALE



IMPERVIOUS AREA ANALYSIS	
CONDITION	IMPERVIOUS AREA (s.f.)
PREDEVELOPMENT	8360.7
POSTDEVELOPMENT	8901.6
DIFFERENCE	+540.9 (NET INCREASE)

SANFORD STREET

MANSION STREET

CONSTRUCTION NOTES

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF MEDWAY ENGINEERING DEPARTMENT REQUIREMENTS.
- ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS STANDARDS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE AND ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND-POLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL STORM DRAIN PIPES SHALL BE HDPE OR PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICES.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- THE CONTRACTOR SHALL PROVIDE AN AS-BUILT PLAN SHOWING LOCATIONS AND TIE MEASUREMENTS TO ALL NEW UTILITY CONNECTIONS, INCLUDING BUT NOT LIMITED TO: MANHOLES, WYES, CATCH BASINS, AREA DRAINS, T-CONNECTIONS, ETC.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS ARE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- EXISTING SURFACES ARE SHOWN, G.C. TO COORDINATE WITH ARCHITECTURAL, AND LAYOUT AND MATERIALS PLANS FOR ALL NEW SURFACES, EXTERIOR BUILDING (STAIR AND AREAWAYS), PLANTINGS AND ALL OTHER NEW SITE FEATURES.
- THE EXISTING CONDITIONS INFORMATION TAKEN FROM PLAN TITLED "PLAN SHOWING EXISTING CONDITIONS, 7 SANFORD ST. MEDWAY, MA, NORFOLK COUNTY" DATED 3/17/2022 (REV. 1/19/2023); PREPARED BY: DENNIS O'BRIEN LAND SURVEYING, 480 WEST CENTRAL STREET, FRANKLIN, MA 02038

NO.	PLANNING BOARD COMMENTS	05/01/2023
1	REVISION	DATE

SITE PLAN
FOR
PROPOSED BUILDING
AND SITE IMPROVEMENTS
AT
7 SANFORD STREET
MEDWAY, MA 02053

PREPARED FOR: 7 SANFORD STREET LLC
7 SANFORD STREET
MEDWAY, MA 02053

Site Engineering Consultants, Inc.
55 Grape Shot Road
Sharon, Massachusetts 02067
TEL: (781) 784-0328
FAX: (781) 784-0492
CONSULTING CIVIL ENGINEERS

PROPOSED SITE PLAN

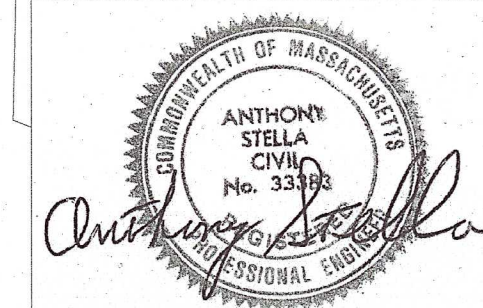
SCALE: AS NOTED DATE: 03/23/2023

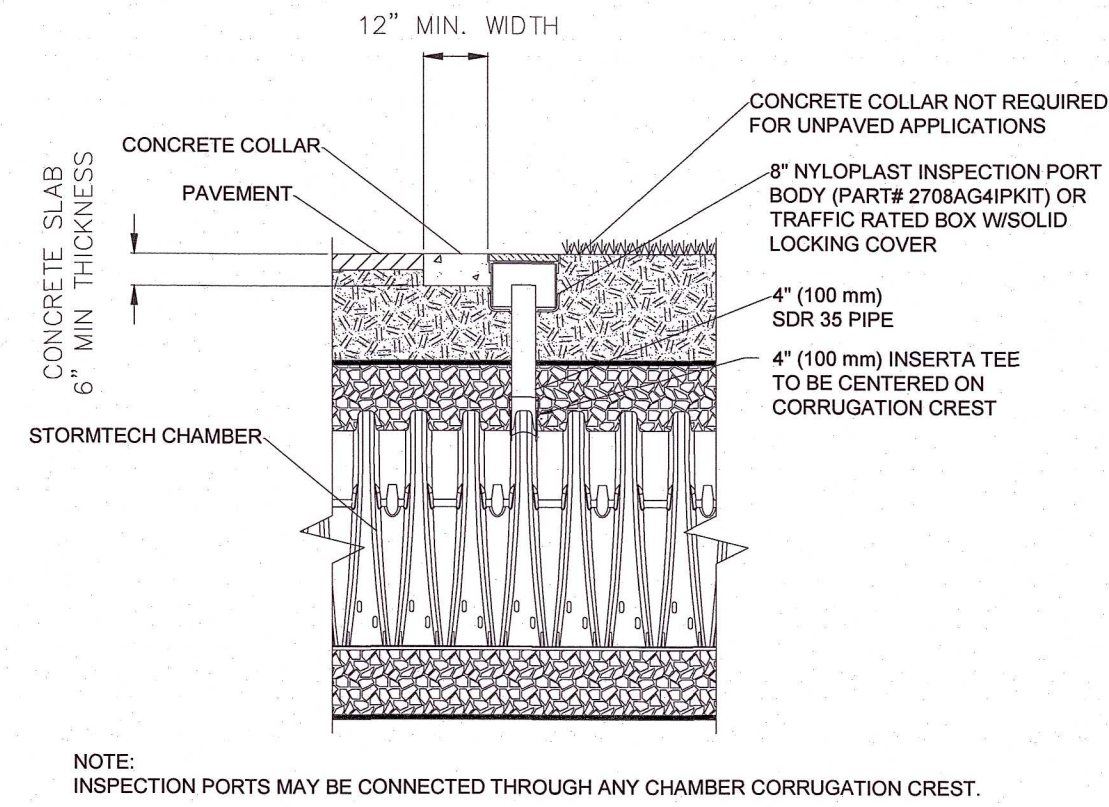
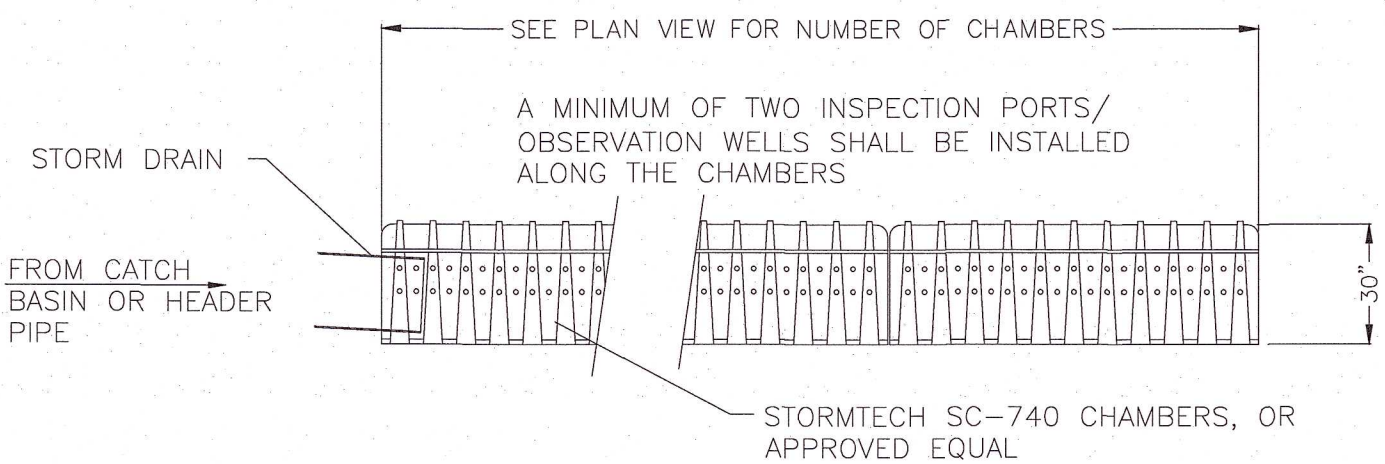
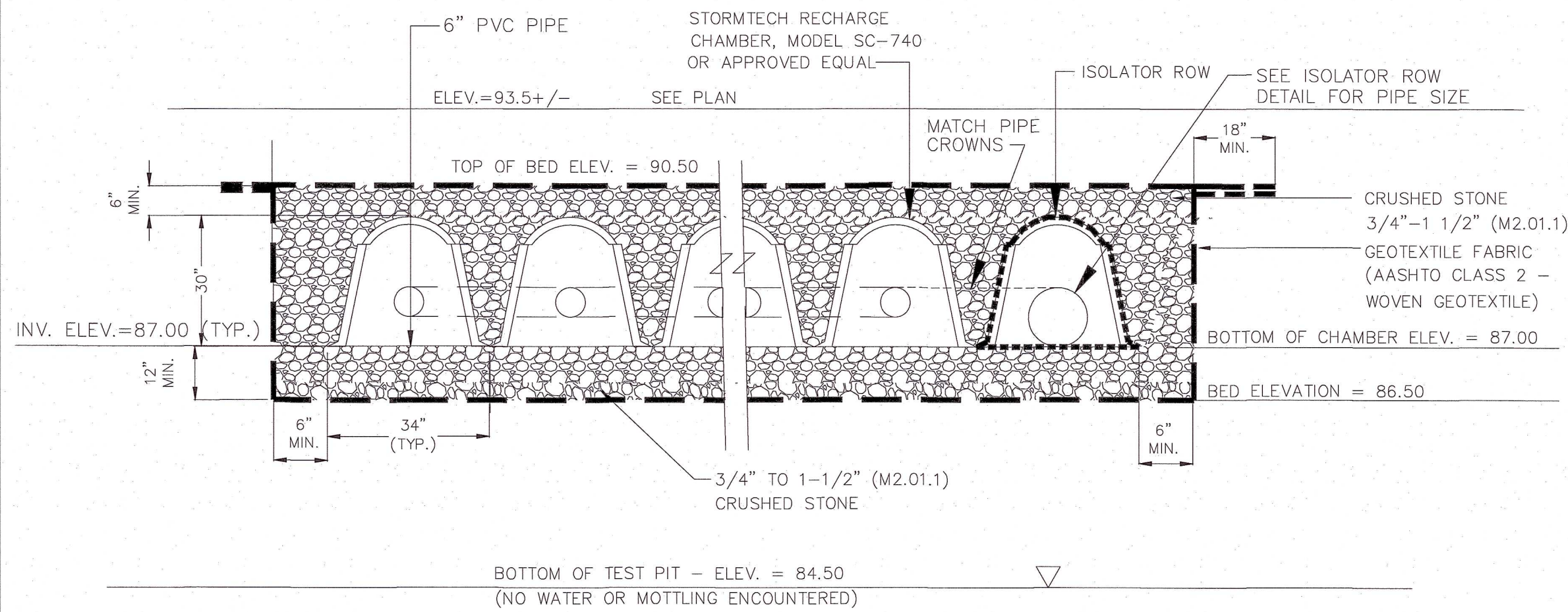
DRAWN BY: A.S.

CHECKED BY:

PROJECT NO: 0321

SHEET 1 OF 3

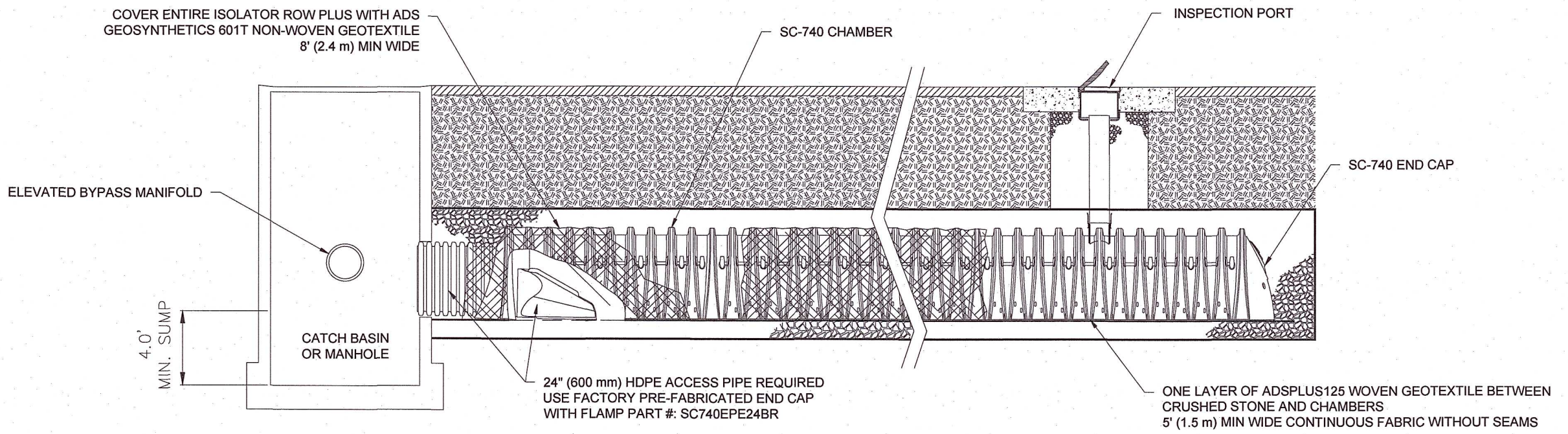
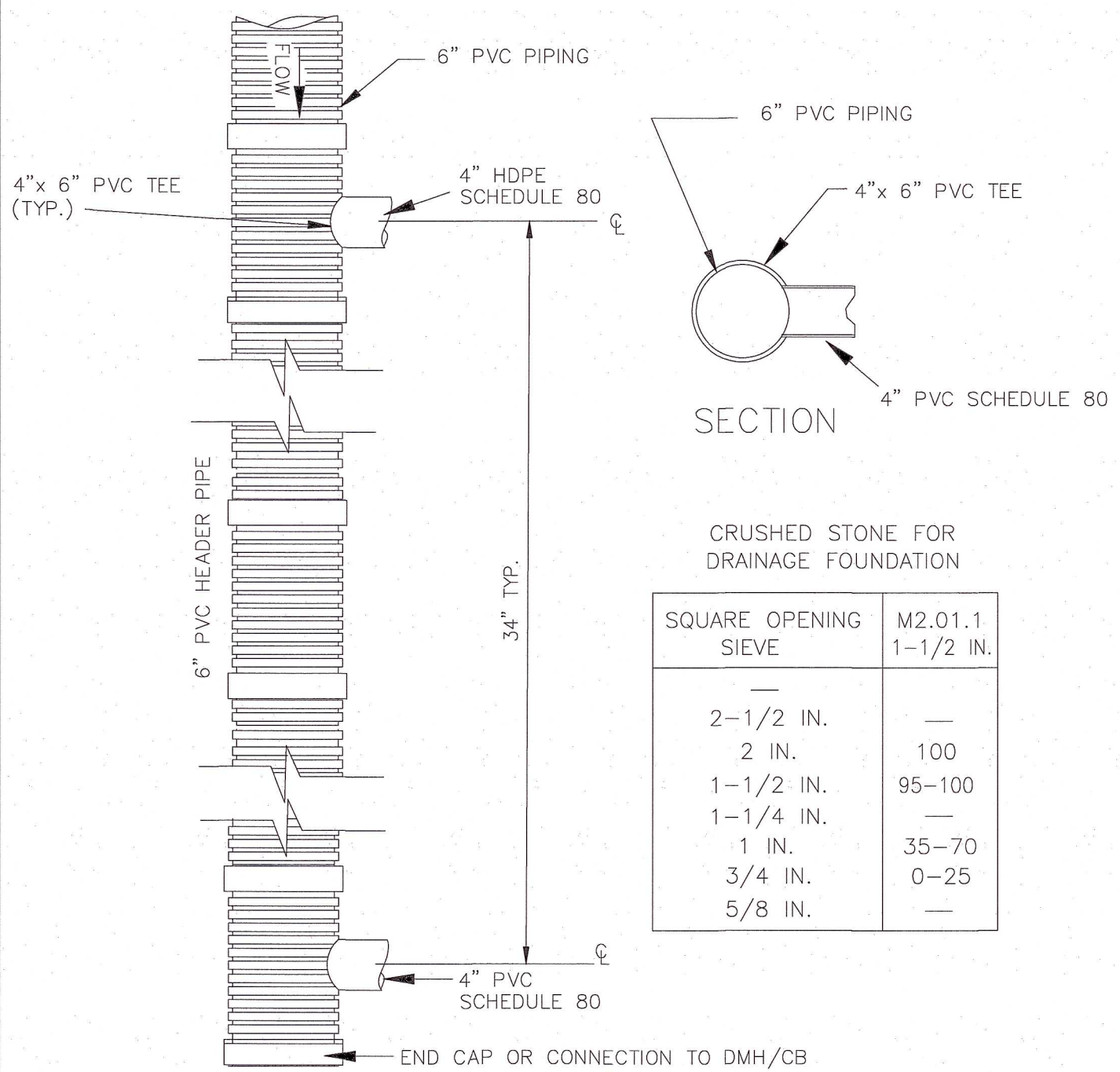




STORMWATER RECHARGE CROSS SECTION DETAIL, TYP.
N.T.S.

PROPOSED RECHARGE TRENCH PROFILE
N.T.S.

4" PVC INSPECTION PORT DETAIL (SC SERIES CHAMBER)
N.T.S.

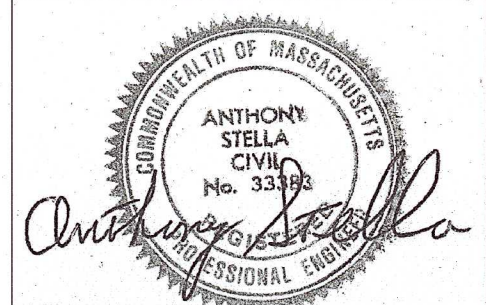


INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
 - A.1. INSPECTION PORTS (IF PRESENT)
 - A.2. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.3. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.4. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.5. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.6. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
 - A.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - A.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - i) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - A.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



NO.	PLANNING BOARD COMMENTS	05/01/2023
1	REVISION	DATE

SITE PLAN
FOR
PROPOSED BUILDING
AND SITE IMPROVEMENTS
AT
7 SANFORD STREET
MEDWAY, MA 02053

PREPARED FOR: 7 SANFORD STREET LLC
7 SANFORD STREET
MEDWAY, MA 02053

Site Engineering Consultants, Inc.
55 Grape Shot Road
Sharon, Massachusetts 02067
TEL: (781) 784-0326
FAX: (781) 784-0492
CONSULTING CIVIL ENGINEERS

DETAILS

SCALE: AS NOTED DATE: 03/23/2023
DRAWN BY: A.S.
CHECKED BY:
PROJECT NO: 0321

SHEET 2 OF 3

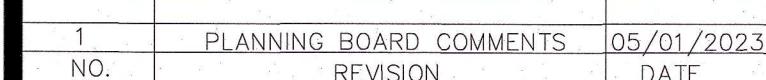


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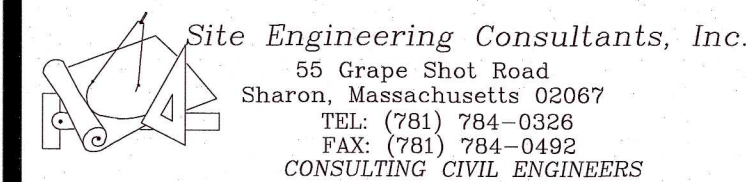


1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1
3. TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL (C.D.F) REQUIRED FOR LENGTH OF TRENCH WITHIN ROADWAY

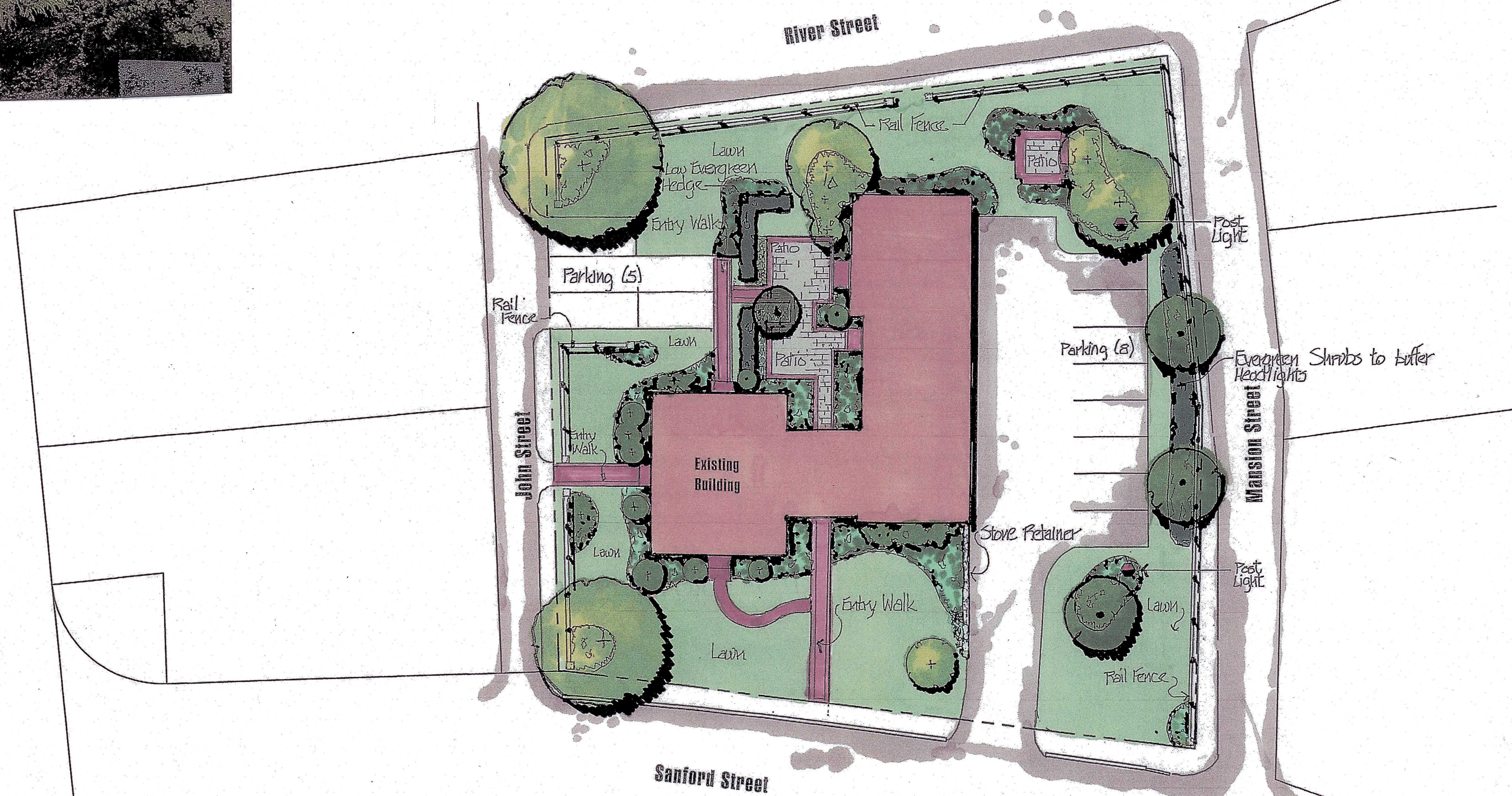
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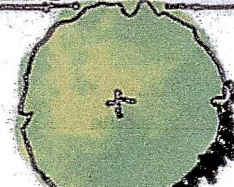
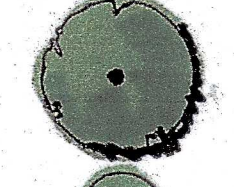
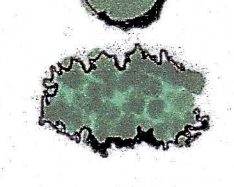
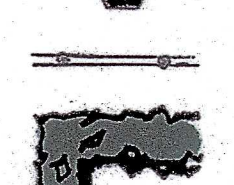
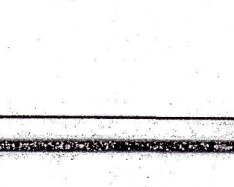


PREPARED FOR: 7 SANFORD STREET LLC
7 SANFORD STREET
MEDWAY, MA 02053

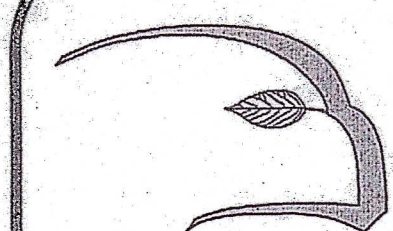
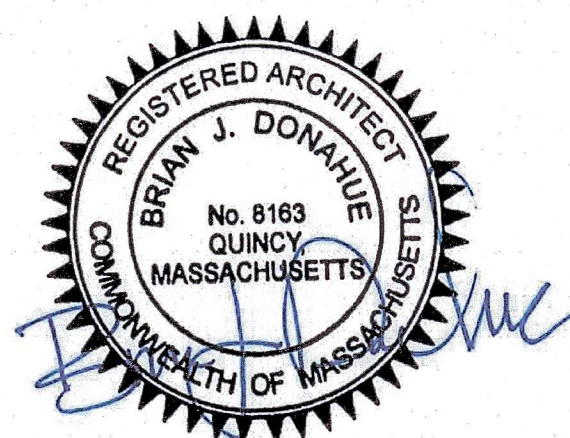
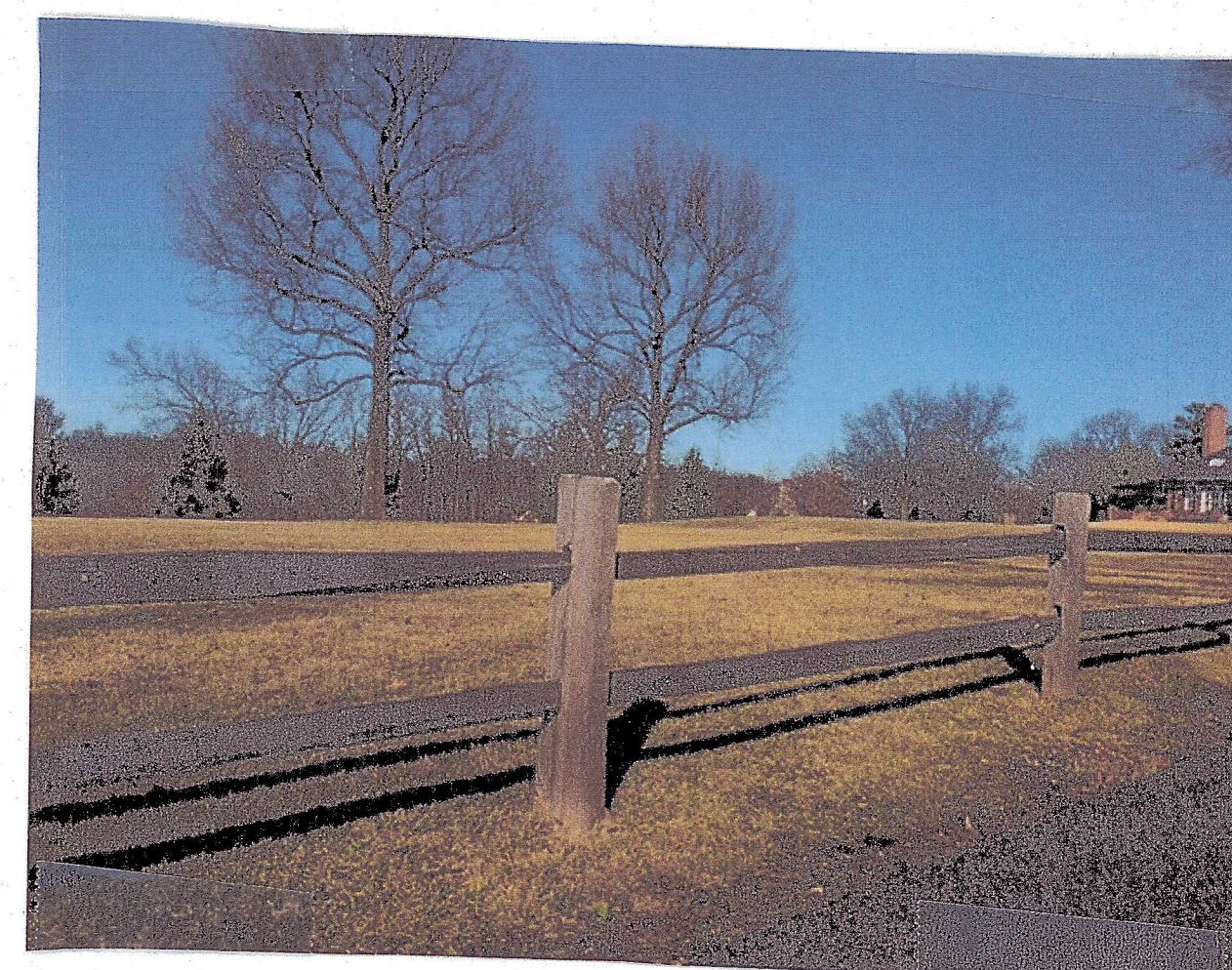
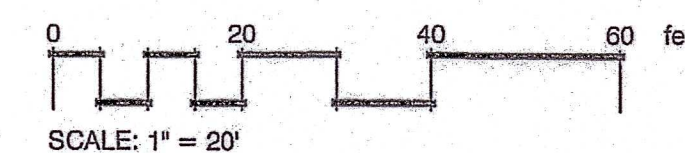


SHEET 3 OF 3



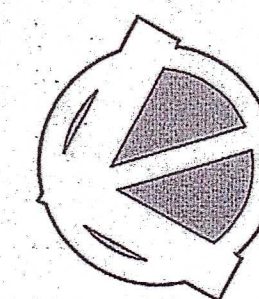
Legend

-  Existing Tree
-  Proposed Tree
-  Existing Shrub
-  Proposed Shrub
-  Light Post
-  Rail Fence
-  Evergreen Hedge



Hawk Design, Inc.
Landscape Architecture
Land Planning
Sagamore, MA
508-833-8800
info@hawkdesigninc.com
www.hawkdesigninc.com

HAWK DESIGN, INC. 2020
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Date: 2/23/23

Revisions:

Num. Date Description

Medway Apartment
7 Sanford Street, Medway, MA

Drawn By: TM Checked By: DH

Scale: 1" = 20'-0"

Sheet: **L1.0**