

Medway Department of Public Works Cassidy Fields Parking Improvements Winthrop Street, Medway, MA

100 Nickerson Road
Marlborough, MA 01752
Phone: (508) 786-2200 Fax: (508) 786-2201



www.tetrattech.com

PROJECT LOCATION:

Winthrop Street,
Medway, MA 02053

CLIENT INFORMATION:

Medway Department of Public Works
45B Holliston Street,
Medway, MA 02053

Tt PROJECT No.:

143-21583-21012

CLIENT PROJECT No.:

PROJECT DESCRIPTION / NOTES:

Assessor's Map & Parcel number: 39-074; 39-078
Zoning District: AR-1

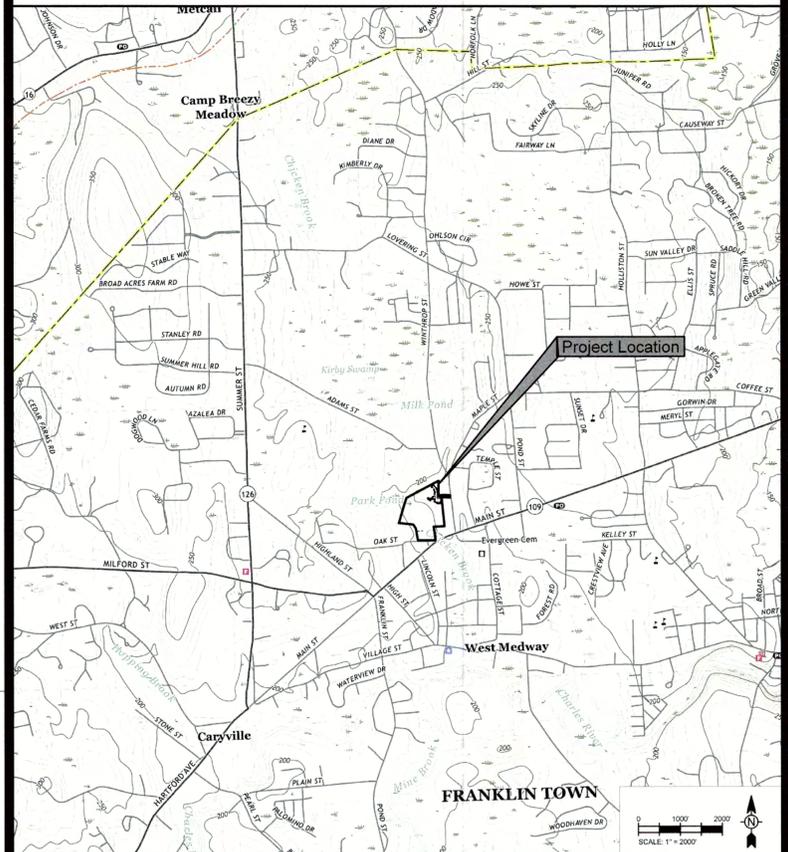
ISSUED:

APRIL 7, 2022: MINOR SITE PLAN
JULY 11, 2022: REVISED PER PEDB COMMENTS

APPROVED WAIVERS:

207-12.H.1: PERIMETER OF PARKING LOT BOUNDED BY CURB/BERM
207-19.C.1: INTERMEDIARY LANDSCAPED ISLANDS

VICINITY MAP:



ZONING SUMMARY TABLE			
ZONING DISTRICT: AR-1			
DIMENSIONAL REGULATIONS	REQUIRED	PROPOSED	
MINIMUM LOT SIZE	44,000	949,074	
MINIMUM FRONTAGE	180	51	
MINIMUM SETBACKS			
FRONT	35	NA	
SIDE	15	NA	
REAR	15	NA	
MAXIMUM BUILDING HEIGHT	35	NA	
COVERAGE			
MAXIMUM LOT COVERAGE	25%	<25%	
MAXIMUM IMPERVIOUS COVERAGE	35%	<35%	
MINIMUM OPEN SPACE	NA	NA	
PARKING SUMMARY TABLE			
SPACE TYPE	TOWN REQUIREMENT	REQUIRED	PROPOSED
STANDARD SPACES	N/A	N/A	76
ACCESSIBLE SPACES	1 / 25 STANDARD SPACES	4	5
ELECTRIC VEHICLE SPACES	1 / 25 STANDARD SPACES	4	12
TOTAL SPACES	N/A	N/A	93

SHEET NO.	SHEET TITLE
C-000	COVER SHEET
C-001	SITE CONTEXT SHEET
C-100	EXISTING CONDITIONS AND DEMOLITION PLAN
C-101	EROSION AND SEDIMENT CONTROL PLAN
C-102	LAYOUT AND MATERIALS PLAN
C-103	GRADING, DRAINAGE, AND UTILITIES PLAN
C-201	CONSTRUCTION DETAILS
C-202	CONSTRUCTION DETAILS
C-203	CONSTRUCTION DETAILS
L-100	LANDSCAPE PLAN
EC-1	EXISTING STAMPED SURVEY

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

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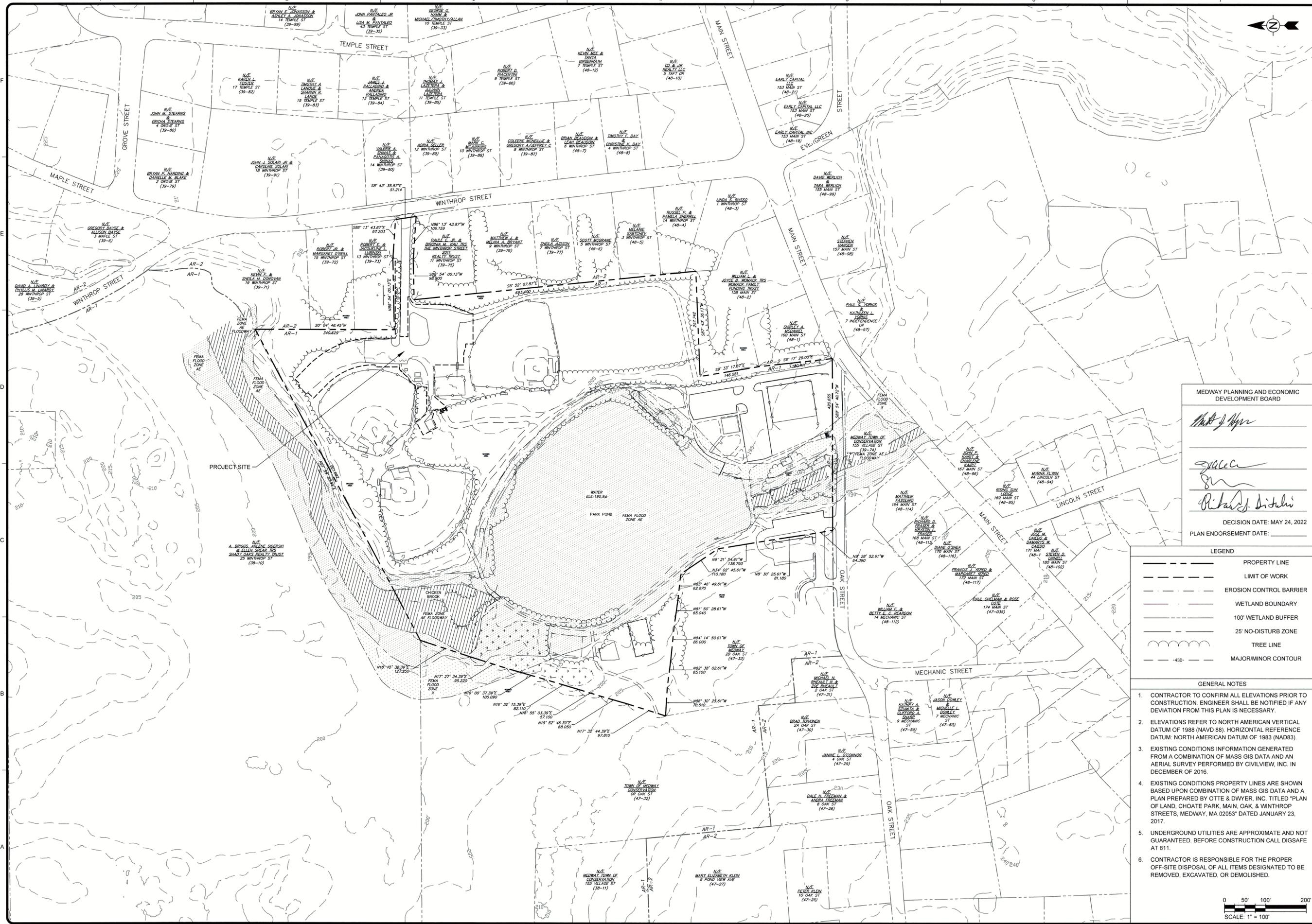
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DECISION DATE: MAY 24, 2022
PLAN ENDORSEMENT DATE: _____



7/11/22



MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

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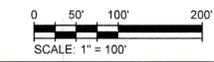
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DECISION DATE: MAY 24, 2022
 PLAN ENDORSEMENT DATE: _____

LEGEND

---	PROPERTY LINE
---	LIMIT OF WORK
---	EROSION CONTROL BARRIER
---	WETLAND BOUNDARY
---	100' WETLAND BUFFER
---	25' NO-DISTURB ZONE
---	TREE LINE
---	MAJOR/MINOR CONTOUR

- GENERAL NOTES
- CONTRACTOR TO CONFIRM ALL ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER SHALL BE NOTIFIED IF ANY DEVIATION FROM THIS PLAN IS NECESSARY.
 - ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), HORIZONTAL REFERENCE DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83).
 - EXISTING CONDITIONS INFORMATION GENERATED FROM A COMBINATION OF MASS GIS DATA AND AN AERIAL SURVEY PERFORMED BY CIVILVIEW, INC. IN DECEMBER OF 2016.
 - EXISTING CONDITIONS PROPERTY LINES ARE SHOWN BASED UPON COMBINATION OF MASS GIS DATA AND A PLAN PREPARED BY OTTE & DWYER, INC. TITLED "PLAN OF LAND, CHOCATE PARK, MAIN, OAK, & WINTHROP STREETS, MEDWAY, MA 02053" DATED JANUARY 23, 2017.
 - UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT GUARANTEED. BEFORE CONSTRUCTION CALL DIGSAFE AT 811.
 - CONTRACTOR IS RESPONSIBLE FOR THE PROPER OFF-SITE DISPOSAL OF ALL ITEMS DESIGNATED TO BE REMOVED, EXCAVATED, OR DEMOLISHED.



BY	DATE	DESCRIPTION
SMB	4/7/22	MINOR SITE PLAN
SMB	7/11/22	REVISED PER PEDS COMMENTS

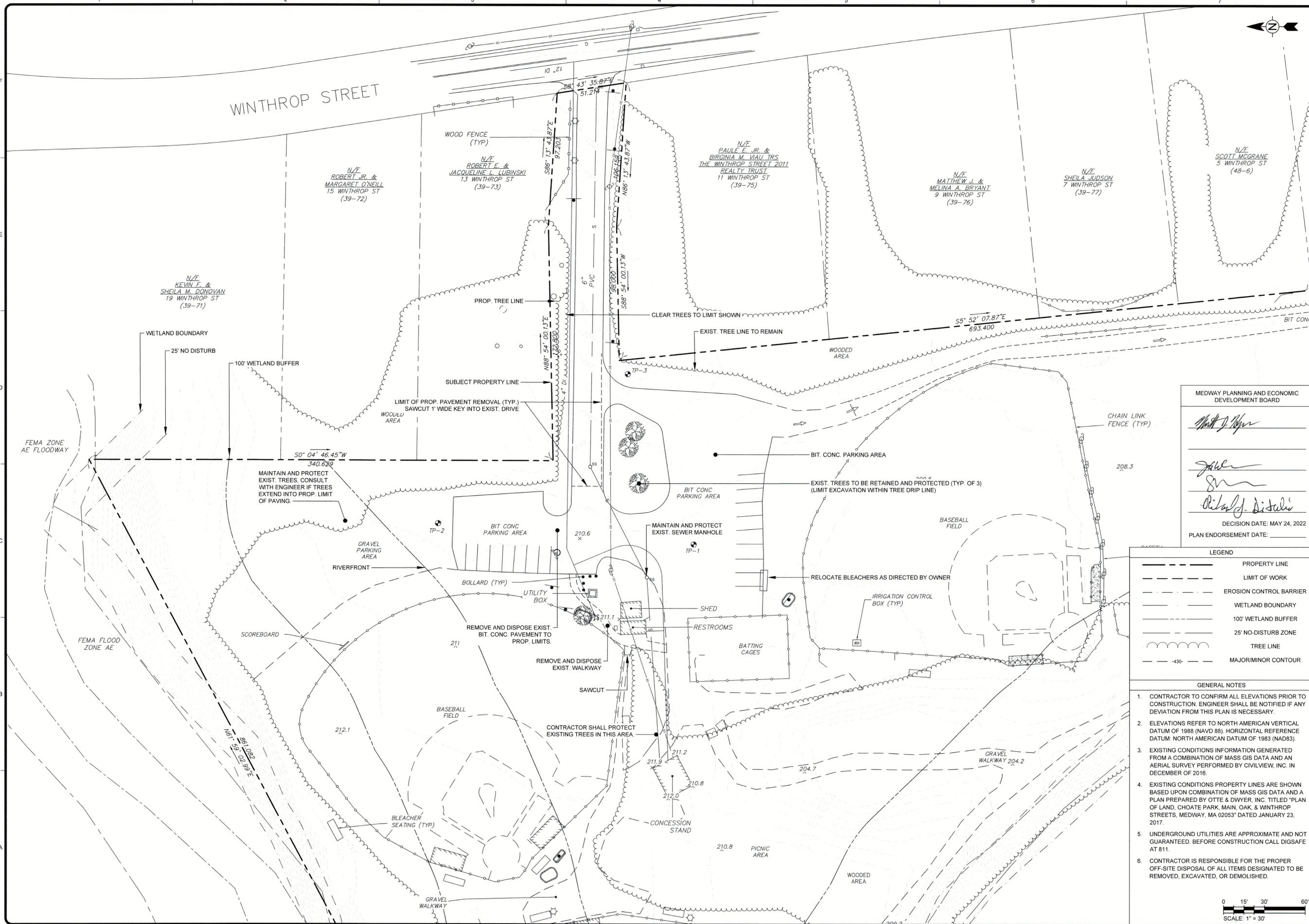
Medway Department of Public Works
 Cassidy Field Parking Improvements
 Winthrop Street, Medway, MA

Site Context Sheet

PROJ:	143-21583-21012
DSN:	BMP
DRWN:	TDP
CHKD:	SMB

C-001

7/11/2022 2:03:24 PM - P:\021583\143-21583-21012 (DPW CASSIDY FIELD)\CAD\SHEETFILES\MINOR SITE PLAN\C-100 EXISTING CONDITIONS.DWG - BOLLEY, STEVEN



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 Winthrop Street, Medway, MA

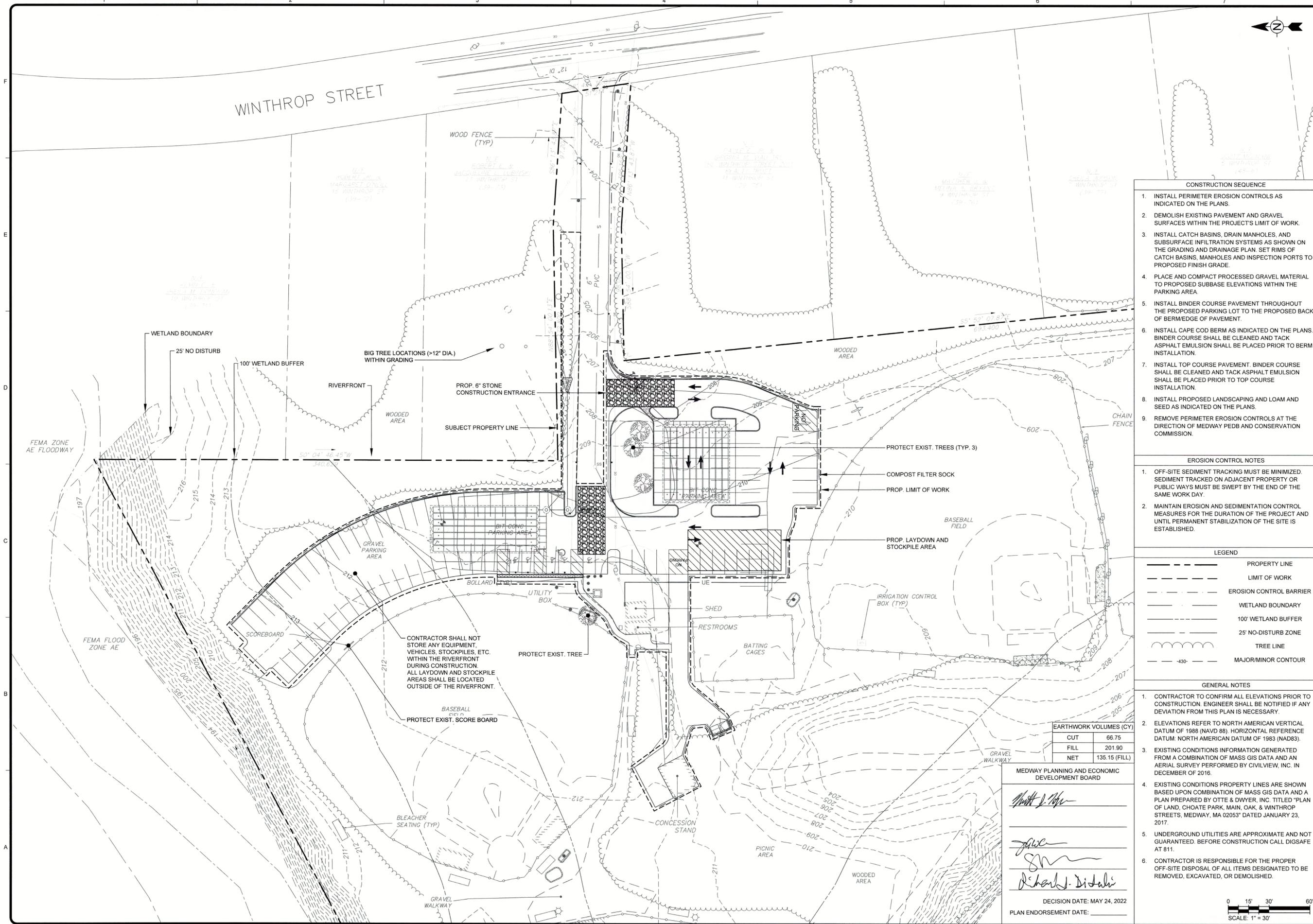
Existing Conditions and Demolition Plan

PROJ:	143-21583-21012
DESN:	BMP
DRWN:	TDP
CHKD:	SMB

C-100

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7/11/2022 2:06:55 PM - P:\021583\143-21583-21012 (DPW CASSIDY FIELD)\CAD\SHEET\FILES\MINOR SITE PLAN\C-101 EROSION CONTROLS.DWG - BOULEY, STEVEN



EARTHWORK VOLUMES (CY)	
CUT	66.75
FILL	201.90
NET	135.15 (FILL)

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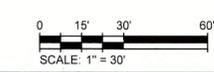
- #### CONSTRUCTION SEQUENCE
1. INSTALL PERIMETER EROSION CONTROLS AS INDICATED ON THE PLANS.
 2. DEMOLISH EXISTING PAVEMENT AND GRAVEL SURFACES WITHIN THE PROJECT'S LIMIT OF WORK.
 3. INSTALL CATCH BASINS, DRAIN MANHOLES, AND SUBSURFACE INFILTRATION SYSTEMS AS SHOWN ON THE GRADING AND DRAINAGE PLAN. SET RIMS OF CATCH BASINS, MANHOLES AND INSPECTION PORTS TO PROPOSED FINISH GRADE.
 4. PLACE AND COMPACT PROCESSED GRAVEL MATERIAL TO PROPOSED SUBBASE ELEVATIONS WITHIN THE PARKING AREA.
 5. INSTALL BINDER COURSE PAVEMENT THROUGHOUT THE PROPOSED PARKING LOT TO THE PROPOSED BACK OF BERM EDGE OF PAVEMENT.
 6. INSTALL CAPE COD BERM AS INDICATED ON THE PLANS. BINDER COURSE SHALL BE CLEANED AND TACK ASPHALT EMULSION SHALL BE PLACED PRIOR TO BERM INSTALLATION.
 7. INSTALL TOP COURSE PAVEMENT. BINDER COURSE SHALL BE CLEANED AND TACK ASPHALT EMULSION SHALL BE PLACED PRIOR TO TOP COURSE INSTALLATION.
 8. INSTALL PROPOSED LANDSCAPING AND LOAM AND SEED AS INDICATED ON THE PLANS.
 9. REMOVE PERIMETER EROSION CONTROLS AT THE DIRECTION OF MEDWAY PEDB AND CONSERVATION COMMISSION.

- #### EROSION CONTROL NOTES
1. OFF-SITE SEDIMENT TRACKING MUST BE MINIMIZED. SEDIMENT TRACKED ON ADJACENT PROPERTY OR PUBLIC WAYS MUST BE SWEEPED BY THE END OF THE SAME WORK DAY.
 2. MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES FOR THE DURATION OF THE PROJECT AND UNTIL PERMANENT STABILIZATION OF THE SITE IS ESTABLISHED.

LEGEND

	PROPERTY LINE
	LIMIT OF WORK
	EROSION CONTROL BARRIER
	WETLAND BOUNDARY
	100' WETLAND BUFFER
	25' NO-DISTURB ZONE
	TREE LINE
	MAJOR/MINOR CONTOUR

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MARK	DATE	DESCRIPTION	BY
0	4/7/22	MINOR SITE PLAN	SMB
1	7/11/22	REVISED PER PEDE COMMENTS	SMB

Medway Department of Public Works
 Cassidy Field Parking Improvements
 Winthrop Street, Medway, MA

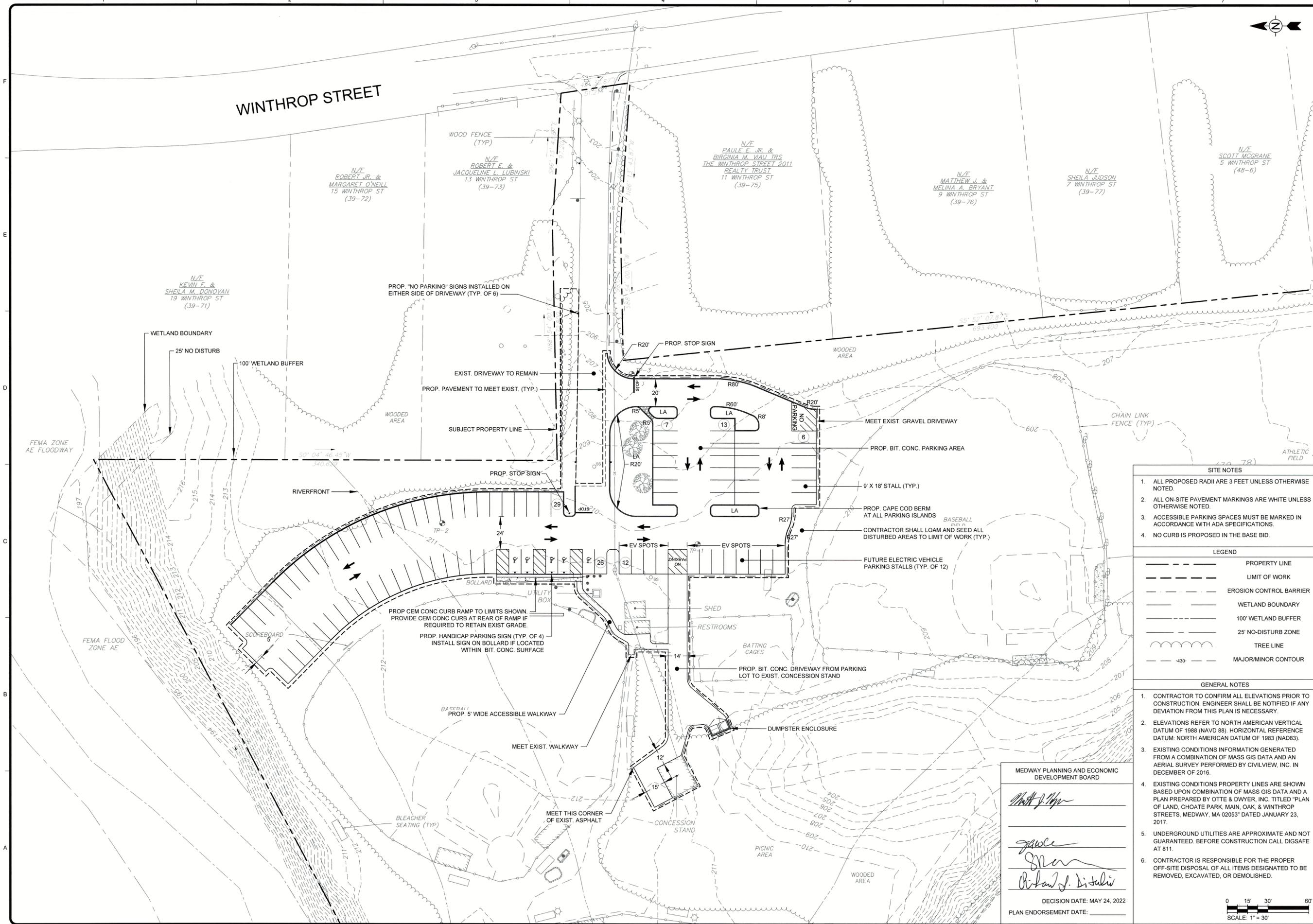
Erosion and Sediment Control Plan

PROJ:	143-21583-21012
DESN:	BMP
DRWN:	TDP
CHKD:	SMB

C-101

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- SITE NOTES**
1. ALL PROPOSED RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
 2. ALL ON-SITE PAVEMENT MARKINGS ARE WHITE UNLESS OTHERWISE NOTED.
 3. ACCESSIBLE PARKING SPACES MUST BE MARKED IN ACCORDANCE WITH ADA SPECIFICATIONS.
 4. NO CURB IS PROPOSED IN THE BASE BID.

LEGEND

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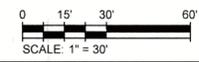
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

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TETRA TECH

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 100 N. Pleasant Street
 Medford, MA 01750
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BY	DATE	DESCRIPTION
SMB	4/17/22	MINOR SITE PLAN
SMB	7/11/22	REVISED PER PEDS COMMENTS

Medway Department of Public Works
 Cassidy Field Parking Improvements
 Winthrop Street, Medway, MA

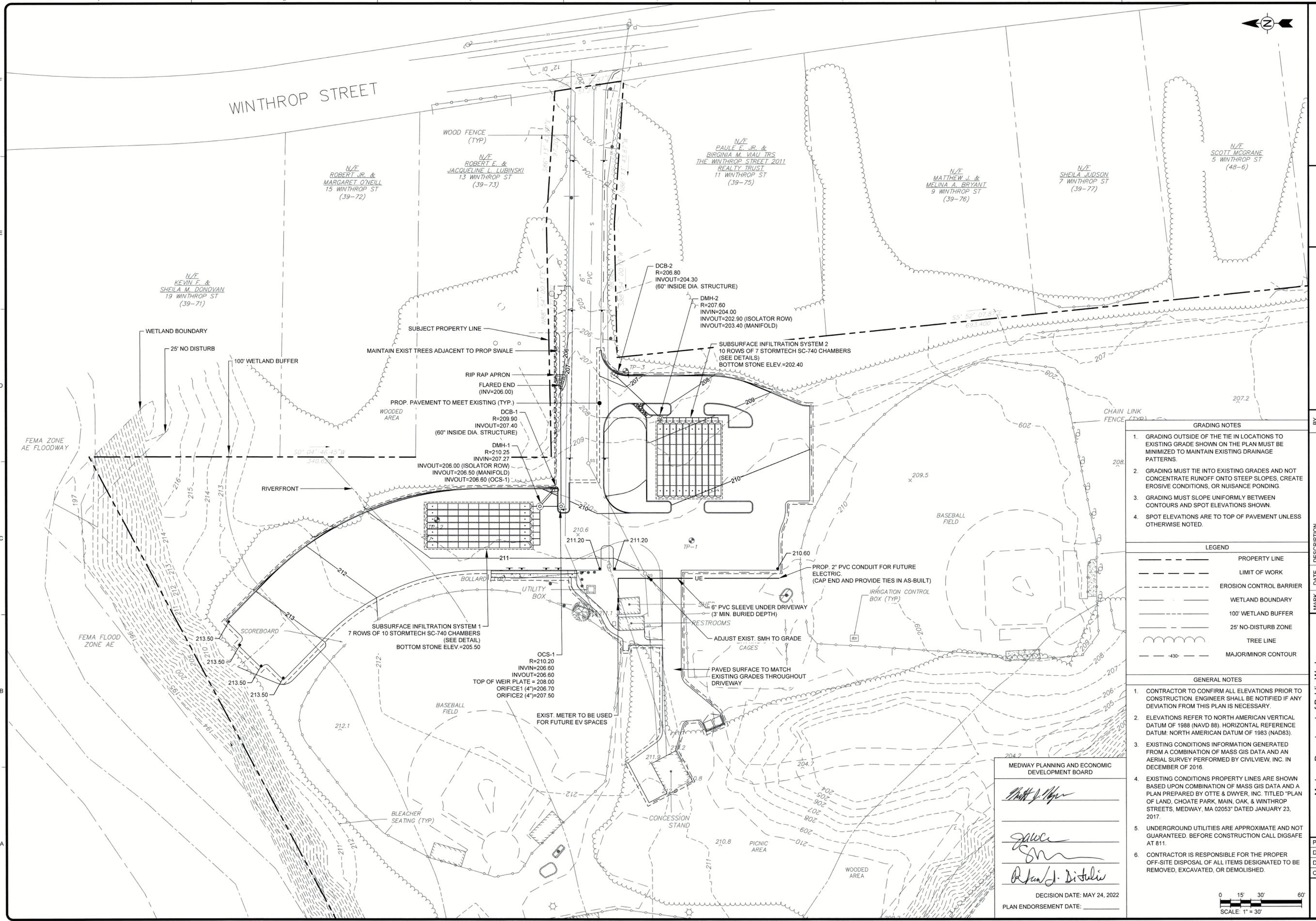
Layout and Materials Plan

PROJ:	143-21583-21012
DESN:	BMP
DRWN:	TDP
CHKD:	SMB

C-102

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7/11/2022 3:20:54 PM - P:\1583\143-21583-21012 (DPW CASSIDY FIELD)\CAD\SHEET\MINOR SITE PLAN\C-103 GRADING, DRAINAGE, UTILITIES.DWG - BOULEY, STEVEN



- GRADING NOTES**
1. GRADING OUTSIDE OF THE TIE IN LOCATIONS TO EXISTING GRADE SHOWN ON THE PLAN MUST BE MINIMIZED TO MAINTAIN EXISTING DRAINAGE PATTERNS.
 2. GRADING MUST TIE INTO EXISTING GRADES AND NOT CONCENTRATE RUNOFF ONTO STEEP SLOPES, CREATE EROSION CONDITIONS, OR NUISANCE PONDING.
 3. GRADING MUST SLOPE UNIFORMLY BETWEEN CONTOURS AND SPOT ELEVATIONS SHOWN.
 4. SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

LEGEND

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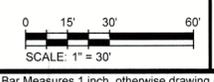
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

Matthew J. DiStefano

James Smith

Robert J. DiStefano

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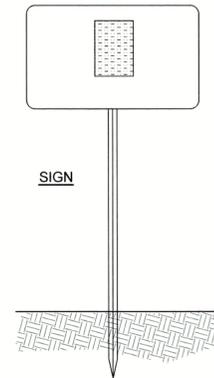
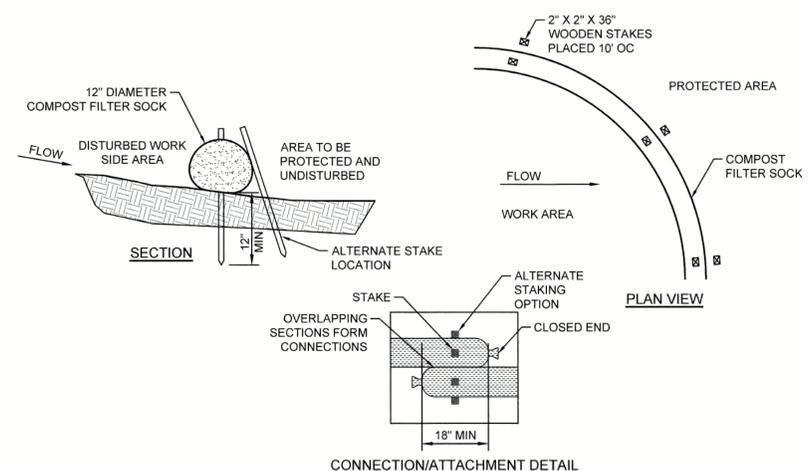
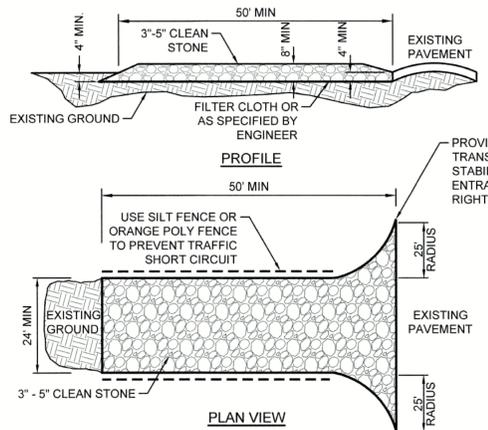
BY	DATE	DESCRIPTION
SMB	4/7/22	MINOR SITE PLAN
SMB	7/11/22	REVISED PER PEDS COMMENTS

MARK	DATE	DESCRIPTION
0	4/7/22	MINOR SITE PLAN
1	7/11/22	REVISED PER PEDS COMMENTS

Medway Department of Public Works	
Cassidy Field Parking Improvements	
Winthrop Street, Medway, MA	
Grading, Drainage, and Utilities Plan	

PROJ:	143-21583-21012
DESN:	BMP
DRWN:	TDP
CHKD:	SMB

C-103



MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

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NOTES:

- STONE - USE COARSE AGGREGATE (3'-5" STONE).
- LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT PAVED ROAD SURFACES MUST BE REMOVED IMMEDIATELY.

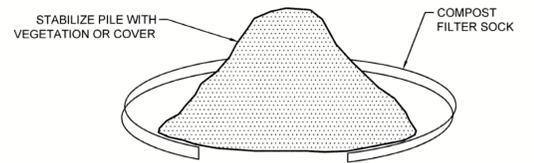
PRACTICE - STABILIZED CONSTRUCTION EXIT POINTS: IN ORDER TO MINIMIZE TRACK OUT FROM VEHICLES, STABILIZED CONSTRUCTION EXIT(S) MUST BE INSTALLED AT THE LOCATIONS WHERE VEHICLES WILL EXIT THE SITE. THE CONTRACTOR MUST RESTRICT VEHICLE USE TO THE PROPOSED DESIGN EXIT LOCATIONS. ADDITIONAL CONTROLS TO REMOVE SEDIMENT FROM TIRES MAY BE REQUIRED IF TRACKING OCCURS, SUCH METHODS MAY INCLUDE WHEEL WASH STATIONS, RUMBLE STRIPS OR RUMBLE PLATES. NO VISIBLE SIGNS OF SOIL TRACKING FROM VEHICLES SHOULD BE PRESENT ON PUBLIC ROADWAYS EXITING THE SITE.

INSTALLATION: THE STABILIZED CONSTRUCTION EXIT(S) WILL CONSIST OF AN 8 INCH LAYER OF THREE TO FIVE INCH (3'-5") STONE, PLACED OVER A LAYER OF GEOTEXTILE FABRIC (IN ORDER TO PROVIDE SEPARATION FROM THE UNDERLYING SOIL AND PREVENT THE STONE FROM BEING GROUND DOWN INTO THE SOIL). THE STABILIZED CONSTRUCTION EXIT MUST BE WIDE ENOUGH TO COVER THE ENTIRE WIDTH OF THE EXIT AND IT SHOULD BE FLARED WHERE IT MEETS THE ROADWAY TO ACCOMMODATE LONGER CONSTRUCTION VEHICLES. THE STABILIZED CONSTRUCTION EXIT MUST BE LONG ENOUGH TO ALLOW MUD AND SEDIMENT TO BECOME DISLODGED FROM VEHICLE TIRES, AND/OR A MINIMUM OF FIFTY FEET (50') IN LENGTH.

MAINTENANCE: DURING THE COURSE OF CONSTRUCTION THE STABILIZED CONSTRUCTION EXIT WILL BECOME FILLED WITH ACCUMULATED SEDIMENT AND/OR THE STONE WILL BECOME COMPACTED. THE CONTRACTOR MUST REPAIR THE EXIT AS NECESSARY BY REMOVING ACCUMULATED SEDIMENT, REPLACING THE STONE OR BACK-BLADING THE STONE TO REFRESH IT. IF TRACKING OF SEDIMENT OCCURS, THE CONTRACTOR MUST REMOVE DEPOSITED SEDIMENT BY COMPLYING WITH THE FOLLOWING REQUIREMENTS:

- WHERE TRACK-OUT OF SEDIMENT OCCURS FROM THE SITE ONTO OFF-SITE STREETS, SIDEWALKS, AND OTHER PAVED AREAS, DEPOSITS MUST BE SWEEP, SHOVELED, OR VACUUMED TO REMOVE TRACK-OUT MATERIAL OR OTHER SEDIMENT DEPOSITS BY THE END OF THE SAME WORK DAY IN WHICH THE TRACK OUT IS DISCOVERED.
- HOSING OR SWEEPING TRACKED-OUT SEDIMENT INTO ANY STORMWATER CONVEYANCE, (UNLESS IT IS CONNECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL), STORM DRAIN INLET, OR SURFACE WATER IS PROHIBITED.

STABILIZED CONSTRUCTION EXIT
NOT TO SCALE



NOTE: STOCKPILES MUST BE PHYSICALLY SEPARATED FROM OTHER STORMWATER CONTROLS.

- NOTE:**
- FOR ANY STOCKPILED OR LAND CLEARING DEBRIS COMPOSED, IN WHOLE OR IN PART, OF SEDIMENT OR SOIL, THE FOLLOWING MEASURES MUST BE FOLLOWED:
 - LOCATE THE PILES 50' OUTSIDE OF ANY RESOURCE AREAS AND PHYSICALLY SEPARATED FROM OTHER STORMWATER CONTROLS.
 - PROTECT FROM CONTACT WITH STORMWATER (INCLUDING RUN-ON) USING A TEMPORARY PERIMETER SEDIMENT BARRIER.
 - PROVIDE COVER OR APPROPRIATE TEMPORARY STABILIZATION TO AVOID DIRECT CONTACT WITH PRECIPITATION OR TO MINIMIZE SEDIMENT DISCHARGE.
 - DO NOT HOSE DOWN OR SWEEP SOIL OR SEDIMENT ACCUMULATED ON PAVEMENT OR OTHER IMPERVIOUS SURFACES INTO ANY STORMWATER CONVEYANCE (UNLESS CONNECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL), STORM DRAIN INLET, OR SURFACE WATER, AND
 - UNLESS INFEASIBLE, CONTAIN AND SECURELY PROTECT FROM WIND.

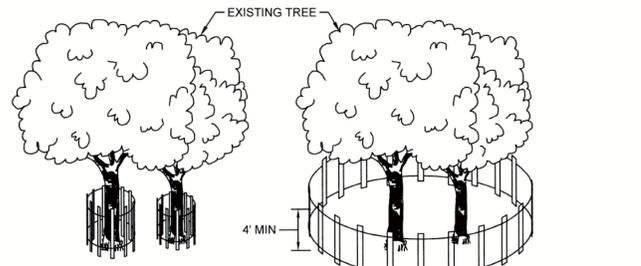
SOIL STOCKPILE CONTROL
NOT TO SCALE

NOTES:

- PREFABRICATED COMPOST FILTER SOCK SHALL BE FILTREXX SOXX OR APPROVED EQUAL.
 - MATERIAL FOR SOCKS SHALL CONSIST OF SANITIZED MATURE COMPOST, FREE OF VIABLE WEED SEEDS AND FOREIGN DEBRIS SUCH AS GLASS AND PLASTIC. COMPOST SHALL BE IN SHREDDED OR GRANULAR FORM AND FREE FROM HARD LUMPS. IN ADDITION, NO KILN-DRIED WOOD OR CONSTRUCTION DEBRIS SHALL BE ALLOWED. CONTRACTOR SHALL REFER TO MASSDOT SPECIFICATIONS M1.06.0 FOR MATERIAL SPECIFICATIONS.
 - SOCK SHALL CONSIST OF JUTE MESH OR OTHER APPROVED BIODEGRADABLE MATERIAL.
- PRACTICE - COMPOST FILTER SOCK:** A COMPOST FILTER SOCK IS A TYPE OF CONTAINED COMPOST FILTER BERM CONSISTING OF A MESH TUBE FILLED WITH COMPOSTED MATERIAL THAT IS PLACED PERPENDICULAR TO SHEET-FLOW RUNOFF TO RETAIN SEDIMENT FROM DISTURBED AREAS. THE COMPOST FILTER SOCK ACTS AS A FILTER TO RETAIN SEDIMENT AND OTHER POLLUTANTS (E.G. SUSPENDED SOLIDS, NUTRIENTS) WHILE ALLOWING THE WATER TO FLOW THROUGH IT. COMPOST QUALITY MUST MEET AASHTO 2010 SPECIFICATIONS.
- INSTALLATION:** ONCE THE FILTER SOCK IS FILLED AND PUT IN PLACE, IT SHOULD BE ANCHORED TO THE SLOPE BY STAKES THROUGH THE CENTER OR OUTER EDGE OF THE SOCK AT REGULAR INTERVALS; ALTERNATIVELY, STAKES CAN BE PLACED ON THE DOWNSTREAM SIDE OF THE SOCK. THE ENDS OF THE FILTER SOCK SHOULD BE DIRECTED UPSLOPE, TO PREVENT STORMWATER FROM RUNNING AROUND THE END OF THE TUBE. THERE SHOULD BE NO GAPS BETWEEN SEGMENTS AND THE SOCK ENDS MUST OVERLAP A MINIMUM OF 6 INCHES.

MAINTENANCE: SOCKS MUST BE INSPECTED FOR SEDIMENT ACCUMULATION. IF THERE IS EXCESSIVE PONDING BEHIND THE FILTER SOCK OR ACCUMULATED SEDIMENT REACHES THE TOP OF THE SOCK, AN ADDITIONAL SOCK SHOULD BE ADDED ON TOP OR IN FRONT OF THE EXISTING FILTER SOCK IN THESE AREAS. AN ADEQUATE RESERVE OF SOCKS MUST BE KEPT ON SITE AT ALL TIMES FOR EMERGENCY AND/OR ROUTINE REPLACEMENT. SOCKS SHALL BE REMOVED ONLY AFTER EXPOSED SOILS IN THE CONTRIBUTING DRAINAGE AREA ACHIEVE FINAL STABILIZATION. SEDIMENT ACCUMULATION MUST BE REMOVED ONCE IT HAS REACHED 1/4 OF THE EXPOSED HEIGHT OF THE SOCK.

COMPOST FILTER SOCK
NOT TO SCALE



NOTES:

- TREE PROTECTION BARRIERS MUST BE PLACED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR.
- TREE PROTECTION BARRIER MUST REMAIN IN PLACE UNTIL GRADING AND CONSTRUCTION ACTIVITY IS COMPLETE OR UNTIL COMMENCEMENT OF FINISH GRADING AND SODDING.
- BARRIERS SHALL BE PLACED AROUND TREES AT THE DRIPLINE EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE DRIPLINE.
- THE DRIPLINE OF A TREE IS THE IMAGINARY VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND.
- AREAS SURROUNDED BY THE TREE PROTECTION BARRIERS SHALL BE PROTECTED FROM VEGETATION REMOVAL, PLACEMENT OF SOIL, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND.
- ALL TREE ROOTS WITHIN AREA TO BE GRADED AND ORIGINATING FROM A PROTECTED TREE SHALL BE SEVERED CLEANLY AT THE LIMITS OF THE PROTECTED AREA.
- ALL TREE PRUNING AND TRIMMING ON ANY TREE TO BE RETAINED SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE AMERICAN SOCIETY OF ARBORICULTURE (ASA).
- 2'x2' TREE PROTECTION SIGNS SPACED A MINIMUM OF ONE SIGN EVERY 300' SHALL CONTAIN THE WORDING "TREE PROTECTION ZONE - KEEP OUT".

TREE PROTECTION BARRIER / ORANGE CONSTRUCTION FENCE
NOT TO SCALE

SEEDING

SPECIES	SEEDING RATES		RECOMMENDED SEEDING DATES
	LBS/1000 S.F.	LBS/ACRE	
ANNUAL RYEGRASS	1	40	APRIL 1 TO JUNE 1 AUG 1 TO SEPT 15
FOXTAIL MILLET	0.7	30	MAY 1 TO JUNE 30
OATS	2	80	APRIL 1 TO JULY 1 AUG 15 TO SEPT 15
WINTER RYE	3	120	AUG 15 TO OCT 15

MULCHING

MULCH APPLICATION RATES: HAY OR STRAW MULCH SHALL BE AIR-DRIED, FREE OF UNDESIRABLE SEEDS AND COARSE MATERIALS. APPLICATION RATE MUST BE 2 BALES (70-90 LBS) PER 1,000 SQUARE FEET OR 1.5 TO 2 TONS PER ACRE. NO BARE SPOTS SHOWING AND SHALL ONLY BE APPLIED TO SLOPES 3:1 OR FLATTER. ANCHORING METHODS INCLUDING NETTING WITH JUTE, WOOD FIBER OR PLASTIC, OR APPLY MULCH AND TRACK SURFACE UP AND DOWN THE SLOPE SO CLEAR MARKS ARE PARALLEL TO THE CONTOURS. FOR OVERWINTER APPLICATION, THE RATE SHALL BE 150 LBS PER 1,000 SQUARE FEET OR 3 TONS/ACRE. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. SNOW MUST BE REMOVED DOWN TO A ONE-INCH DEPTH OR LESS PRIOR TO APPLICATION.

PRACTICE MULCHING: MULCHING IS AN EROSION CONTROL PRACTICE THAT INVOLVES USING MATERIALS SUCH AS STRAW MULCH DERIVED FROM WHEAT, RICE OR BARLEY OR WOOD MULCH CONSISTING OF SHREDDED OR CHIPPED WOOD, BARK OR COMPOST. MULCHING IS HIGHLY EFFECTIVE, AND WHEN APPLIED CORRECTLY PROVIDES A LEVEL OF PROTECTION COMPARABLE TO DENSE VEGETATIVE COVER. MULCH IS ALSO VERY BENEFICIAL FOR RECENTLY PLANTED AREAS HOLDING SEEDS, FERTILIZERS, AND TOPSOIL IN PLACE, RETAINING MOISTURE, AND INSULATING PLANT ROOTS AGAINST EXTREME TEMPERATURES.

INSTALLATION: MULCH MUST BE APPLIED UNIFORMLY TO THE SOIL AND PROPERLY ANCHORED (USING STUDDED ROLLERS, TACKIFIERS OR AN ANCHORING TOOL). MULCH SHOULD NOT BE APPLIED ON SLOPES STEEPER THAN 3:1 AND SHOULD NOT BE USED IN AREAS OF CONCENTRATED FLOWS. AREA SHOULD BE ROUGHENED OR TRACKED PRIOR TO APPLICATION. AVOID APPLYING MULCH DURING OR IMMEDIATELY BEFORE RAINFALL. THERE SHOULD BE NO BARE SPOTS SHOWING EXPOSED SOILS.

** HYDRAULICALLY APPLIED MULCHES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

MAINTENANCE: MULCH SHALL BE REAPPLIED TO ANY BARE SPOTS. MAINTAIN AN UNBROKEN GROUND COVER AND REPAIR ANY DAMAGED GROUND COVER AND RE-MULCH EXPOSED AREAS. INSPECT AFTER EACH RAINFALL EVENT TO MAKE SURE THE MULCH IS NOT DISLODGED OR CAUSING EROSION.

TEMPORARY STABILIZATION MULCHING & SEEDING

MARK	DATE	DESCRIPTION	BY
0	4/7/22	MINOR SITE PLAN	SMB
1	7/11/22	REVISED PER PEDS COMMENTS	SMB

Medway Department of Public Works
Cassidy Field Parking Improvements
Winthrop Street, Medway, MA

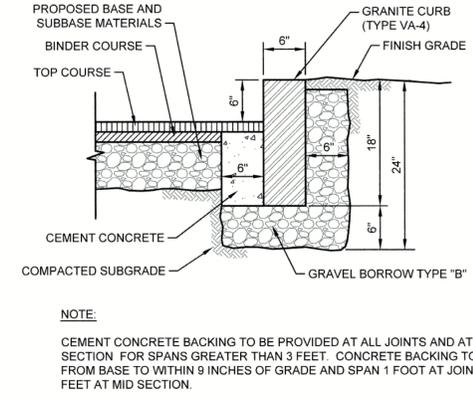
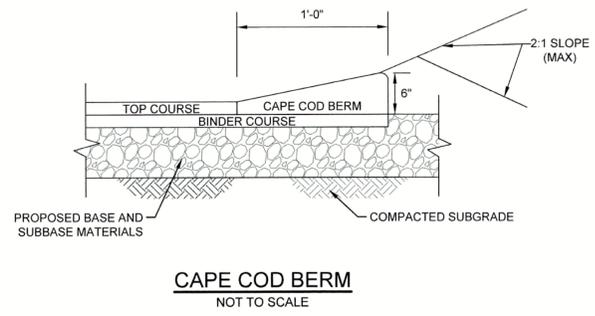
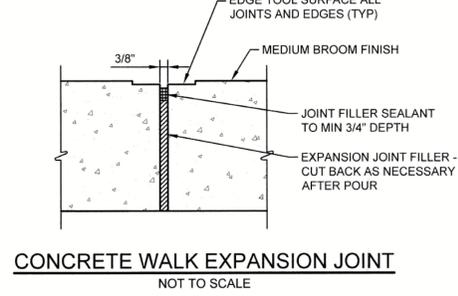
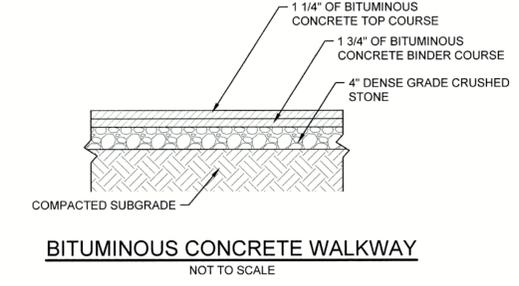
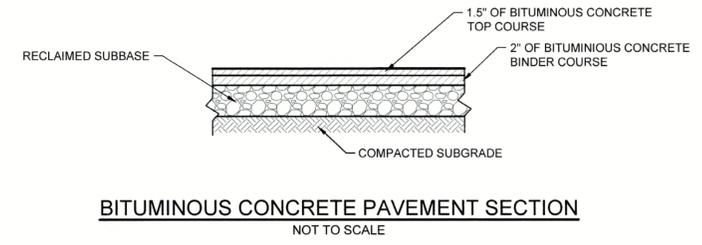
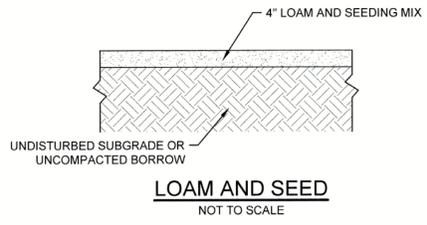
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DESN:	BMP
DRWN:	BMP
CHKD:	SMB

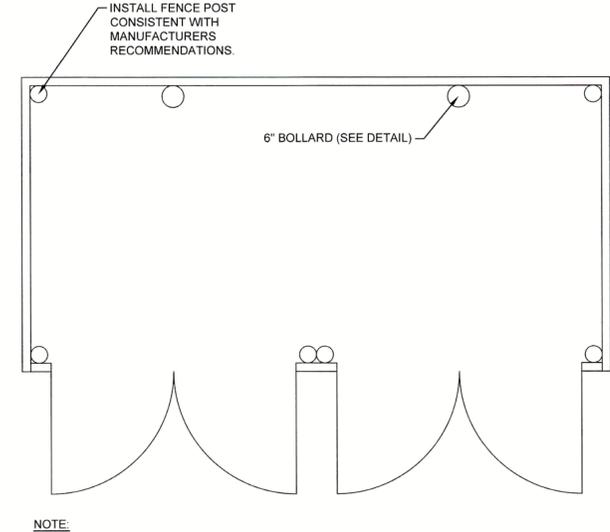
C-201

7/11/2022, 3:53:15 PM - P:\21583\143-21583-21012 (DPW CASSIDY FIELD)\CAD\SHEETFILES\MINOR SITE PLAN\C-201 CONSTRUCTION DETAILS.DWG - BOULEY, STEVEN

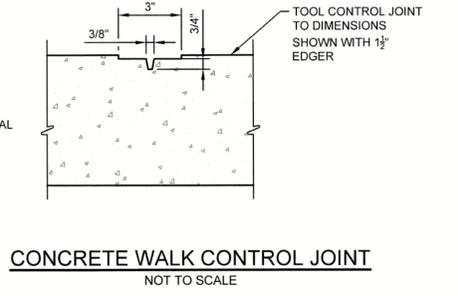
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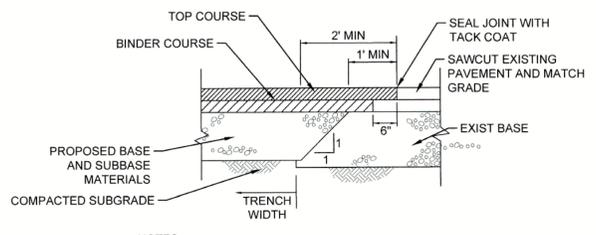
NOTE:
CEMENT CONCRETE BACKING TO BE PROVIDED AT ALL JOINTS AND AT CURB MID SECTION FOR SPANS GREATER THAN 3 FEET. CONCRETE BACKING TO BE PLACED FROM BASE TO WITHIN 9 INCHES OF GRADE AND SPAN 1 FOOT AT JOINTS AND 1.5 FEET AT MID SECTION.



NOTE:
1. DUMPSTER ENCLOSURE SHALL BE INSTALLED IN PROP PAVEMENT AS SHOWN ON THE LAYOUT AND MATERIALS PLAN. CEMENT CONCRETE PAD NOT REQUIRED UNLESS OTHERWISE DIRECTED BY THE OWNER.
2. FENCE SHALL BE TALL ENOUGH TO SCREEN THE EXIST DUMPSTERS.

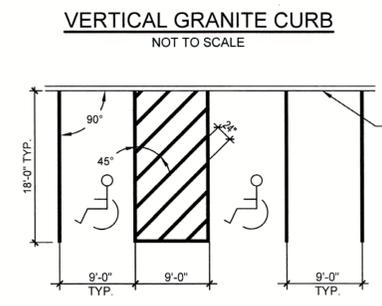


CONCRETE WALK CONTROL JOINT
NOT TO SCALE



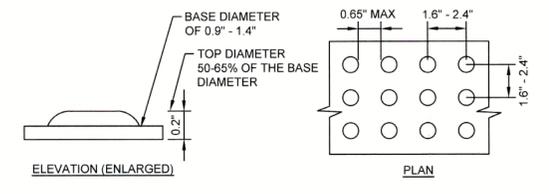
NOTES:
1. SAWCUTS MUST BE MADE PRIOR TO ANY TRENCH EXCAVATION.
2. SUBGRADE PREPARATION MUST BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

PERMANENT BITUMINOUS CONCRETE MATCHING TO EXISTING
NOT TO SCALE

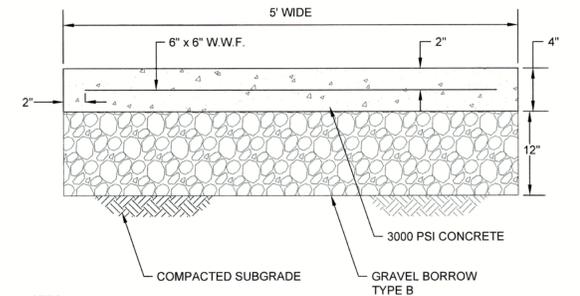


NOTES:
1. LINE WIDTHS SHALL BE 4" UNLESS OTHERWISE INDICATED.

PARKING STALL STRIPING
NOT TO SCALE

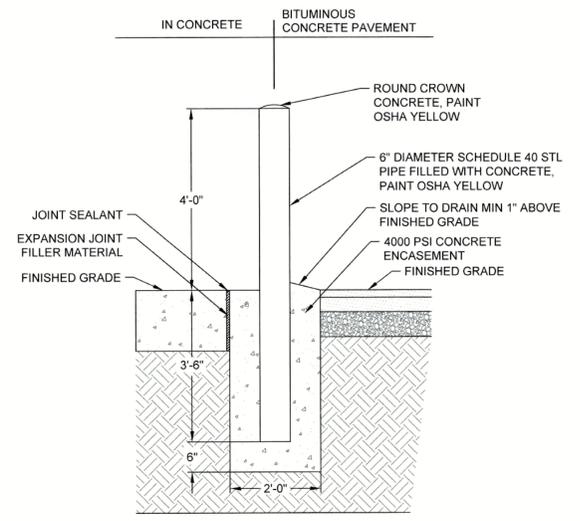


DETECTABLE WARNING STRIP
NOT TO SCALE

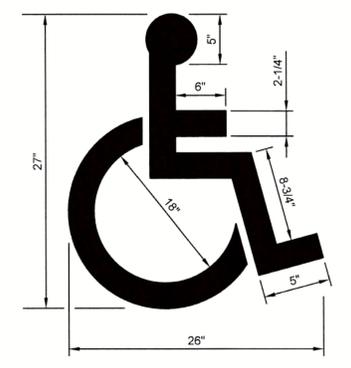


NOTES:
1. CONSTRUCTION JOINTS ARE TO BE AT 5' INTERVALS.
2. EXPANSION JOINTS TO BE INSTALLED AT 30' INTERVALS. INSTALL EXPANSION JOINTS AT LOCATIONS WHERE CONCRETE MEETS PAVEMENT, STEPS, WALLS, OR CURB.

CEMENT CONCRETE WALKWAY
NOT TO SCALE

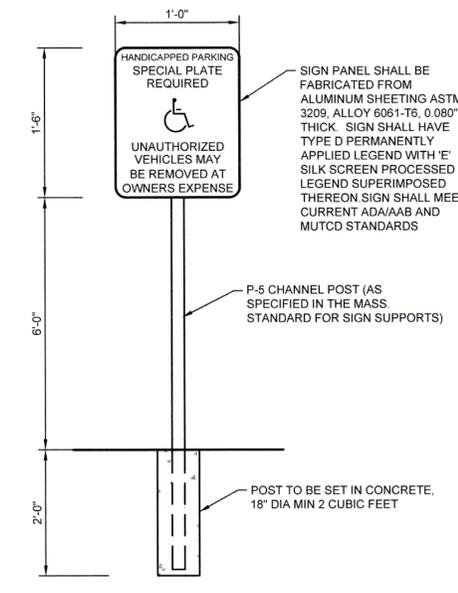


BOLLARD
NOT TO SCALE



NOTE:
WHITE PAVEMENT MARKING

ACCESSIBLE PARKING PAVEMENT MARKING
NOT TO SCALE



HANDICAP PARKING SIGN
NOT TO SCALE

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

DECISION DATE: MAY 24, 2022

PLAN ENDORSEMENT DATE: _____

TETRA TECH

www.tetrattech.com

100 Nickerson Road
Medway, MA 01955
Phone: (508) 766-2200 Fax: (508) 766-2201

BY:	SMB

MARK	DATE	DESCRIPTION
0	4/7/22	MINOR SITE PLAN
1	7/11/22	REVISED PER PEDB COMMENTS

Medway Department of Public Works
Cassidy Field Parking Improvements
Winthrop Street, Medway, MA

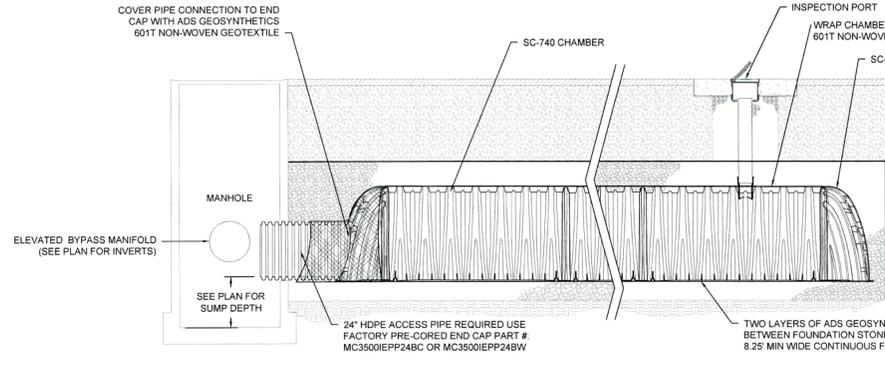
Construction Details

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DESN:	BMP
DRWN:	BMP
CHKD:	SMB

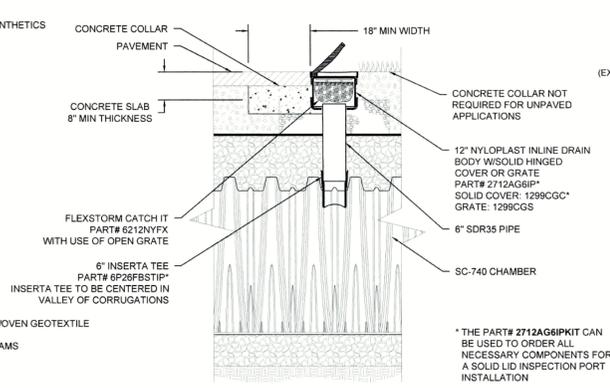
C-202

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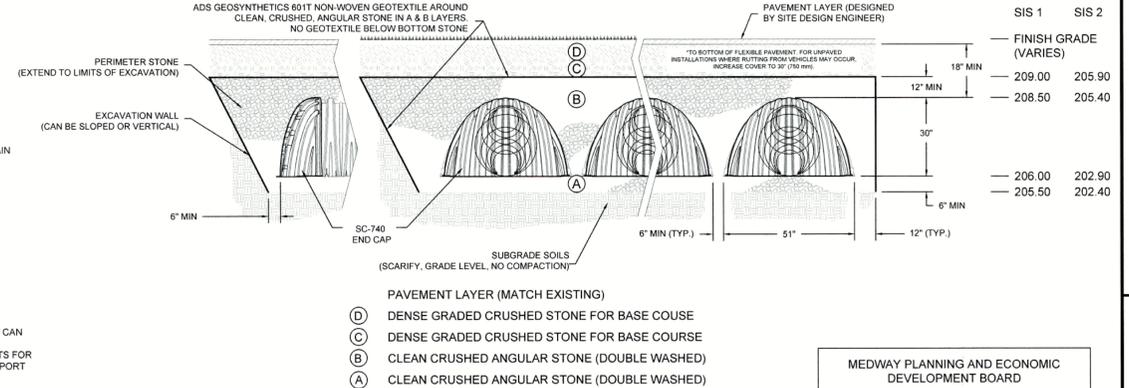
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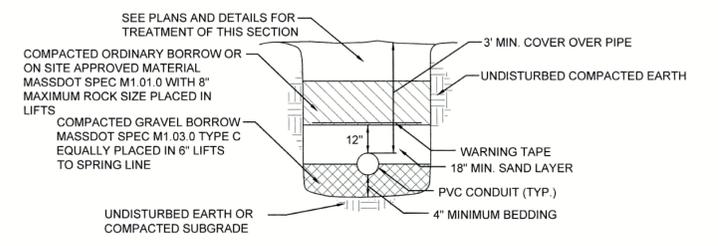
SC-740 ISOLATOR ROW DETAIL
NTS



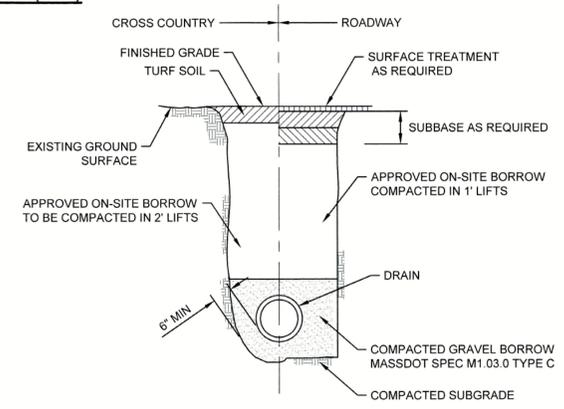
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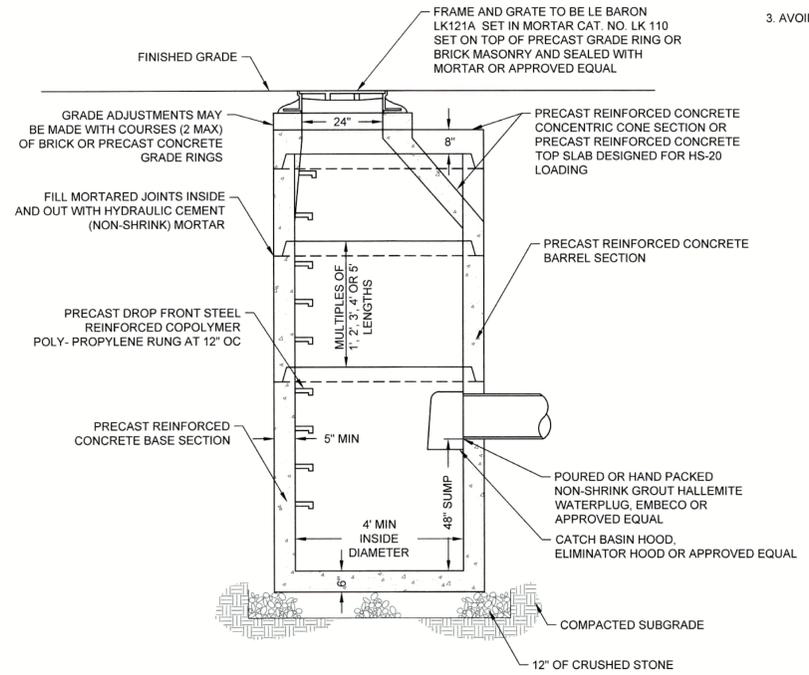
SC-740 CROSS SECTION DETAIL
NTS



- NOTES:**
- TRENCH EXCAVATION WIDTH TO ALLOW FOR FREE TRAVEL OF COMPACTION EQUIPMENT.
 - ALL COMPACTION TO A MINIMUM 95 PERCENT DRY DENSITY DETERMINED BY ASTM D1557 SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - AVOID HEAVY EQUIPMENT LOADS OVER PIPE DURING CONSTRUCTION.

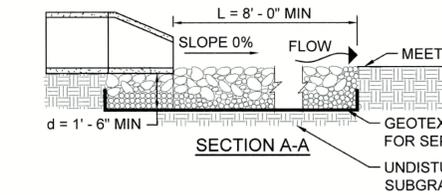
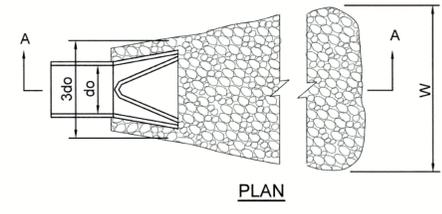
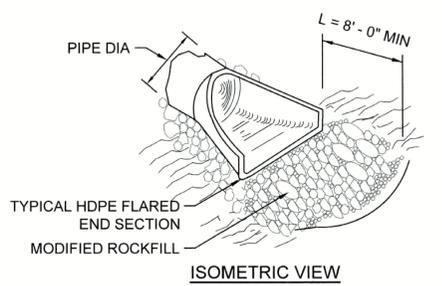


DRAIN TRENCH SECTION
NOT TO SCALE



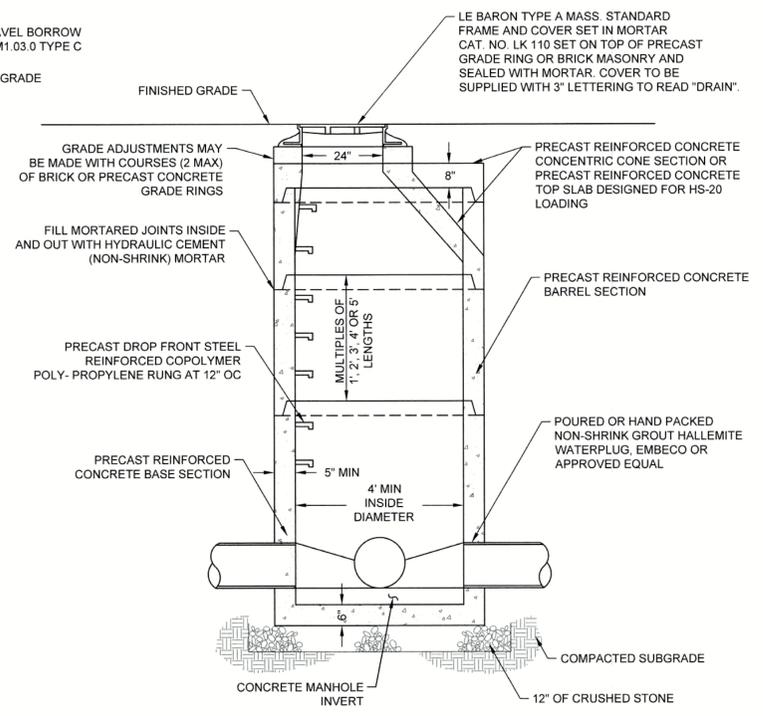
- NOTES:**
- CATCH BASINS SHALL BE 48\"/>

PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



$d_o = \text{PIPE DIA}$
 $L = \text{APRON LENGTH}$
 $W = 3d_o + 2/3L$
 $d = \text{APRON DEPTH}$

FLARED END SECTION (FES) OUTLET PROTECTION
NOT TO SCALE



- NOTES:**
- MANHOLES SHALL BE 48\"/>

PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

[Signature]

[Signature]

[Signature]

DECISION DATE: MAY 24, 2022
PLAN ENDORSEMENT DATE: _____

TETRA TECH

www.tetrattech.com
100 Nickerson Road
Medway, MA 01953
Phone: (508) 786-2200 Fax: (508) 786-2201

BY:	SMB				
DATE:	4/7/22	MINOR SITE PLAN			
REVISION:	1	7/11/22	REVISED PER PEDS COMMENTS		

Medway Department of Public Works
Cassidy Field Parking Improvements
Winthrop Street, Medway, MA

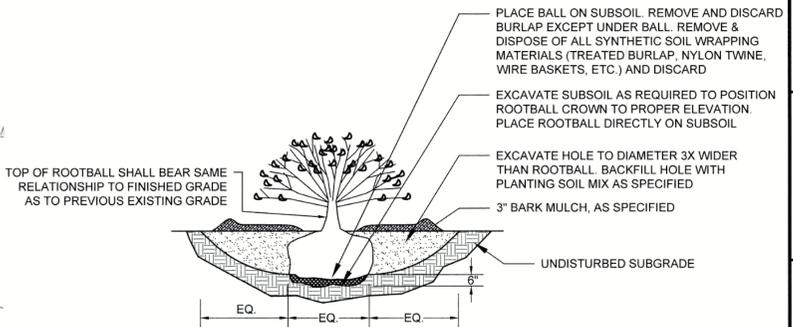
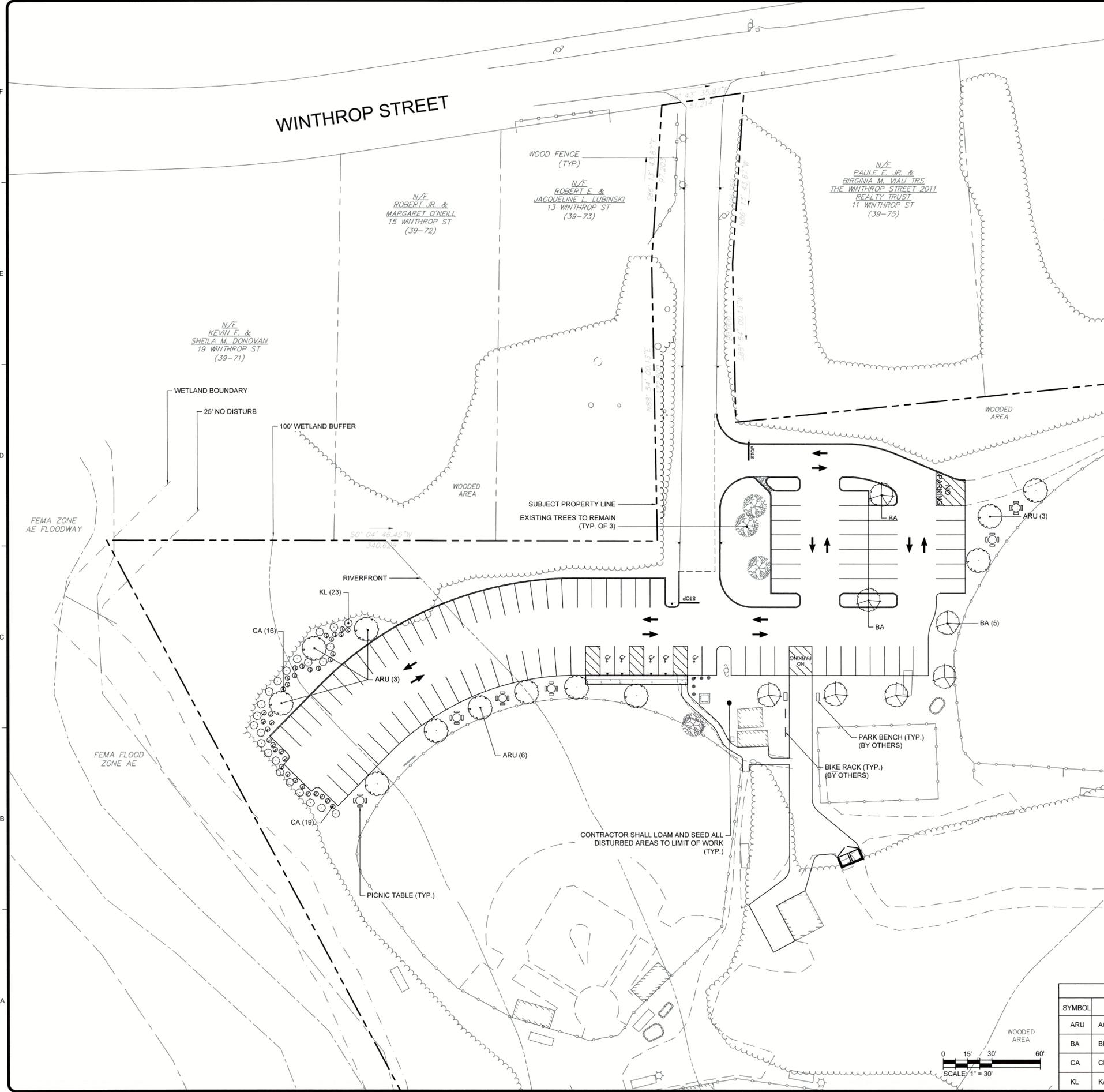
Construction Details

PROJ: 143-21583-21012
DESN: BMP
DRWN: BMP
CHKD: SMB

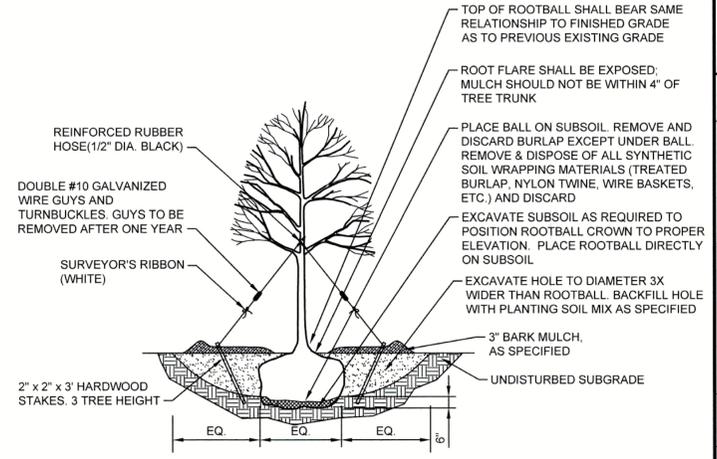
C-203

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7/11/2022 4:34:16 PM - P:\01583143-21583-21012 (DPW CASSIDY FIELD)\CAD\SHEET\MINOR SITE PLAN\L-100 LANDSCAPE DWG - BOULLEY, STEVEN



- NOTES:**
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.



- NOTES:**
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.
 - INSTALL TREE PLUMB.

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

[Signature]

[Signature]

[Signature]

DECISION DATE: MAY 24, 2022
PLAN ENDORSEMENT DATE: _____

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
ARU	ACER RUBRUM	RED MAPLE	2.5"-3" CAL	B & B	12
BA	BETULA ALLEGHANIENSIS	YELLOW BIRCH	2.5"-3" CAL	B & B	7
CA	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	24-30" HEIGHT	B & B	35
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24-30" HEIGHT	B & B	23

www.tetrattech.com
100 Nickerson Road
Marlborough, MA 01752
Phone: (508) 786-2200 Fax: (508) 786-2201

Medway Department of Public Works
Cassidy Field Parking Improvements
Winthrop Street, Medway, MA

Landscape Plan

PROJ: 143-21583-21012
DESIGN: BMP
DRAWN: BMP
CHECKED: SMB

L-100

Copyright: Tetra Tech

Bar Measures 1 inch, otherwise drawing not to scale

7/11/2022, 4:30:26 PM - P:\21583\143-21583-21012 (DPW CASSIDY FIELD)\CAD\SHEET\MINOR SITE PLAN\EC-1.DWG - BOULEY, STEVEN



LOCUS MAP
SCALE: 1:1,000



LEGEND

Table with 2 columns: Symbol and Description. Lists various site features and their corresponding symbols, such as Property Line, Abutters Property Line, Edge of Pavement, etc.

- NOTES:
1. EXISTING CONDITIONS INFORMATION GENERATED FROM AN AERIAL SURVEY PERFORMED BY CIVILVIEW, INC. IN DECEMBER OF 2016.
2. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (DADS), NAD83, ZONE 18 PER GPS OBSERVATIONS.
3. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD83) PER GPS OBSERVATIONS.
4. SUBJECT PARCEL IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP REVISION DATE JAN 11, 2012.
5. PROPERTY LINES ARE SHOWN BASED UPON A PLAN PREPARED BY SITE AS DIVISION, THE TOWN OF MEDWAY, MASSACHUSETTS, DATED JANUARY 23, 2017.

Table with 2 columns: DATE and DESCRIPTION. Includes project start and revision dates.

CLIENT: CBA LANDSCAPE ARCHITECTS, LLC
34 THORNDIKE STREET
CAMBRIDGE, MA 02141

PROJECT: CHOATE PARK
MIDWAY, MA 02053

DATE DRAWN: JULY 12, 2017
PROJECT #: 16-0001
PREPARED BY: AJS



CIVILVIEW
30 New Street
Medway, MA 02053
Tel: (508) 416-0028
www.civilview.com

DRAWING TITLE: EXISTING CONDITIONS PLAN
DRAWING #: EC-1

HORIZONTAL SCALE
0 20 40 80 160
(1" = 40')

0 30' 60' 120'
SCALE: 1" = 60'

MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

Signature of board member

Signature of board member

Signature of board member

DECISION DATE: MAY 24, 2022
PLAN ENDORSEMENT DATE:



Table with 4 columns: MARK, DATE, DESCRIPTION, COMMENTS. Contains project revision history.

Medway Department of Public Works
Cassidy Field Parking Improvements
Wintrop Street, Medway, MA
Existing Stamped Survey
PROJ: 143-21583-21012
DESIGN: BMP
DRAWN: BMP
CHECKED: SMB
EC-1

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