

# 9 TROTTER DRIVE

## A SITE PLAN

### IN

## MEDWAY, MASSACHUSETTS

### (NORFOLK COUNTY)

#### OWNER:

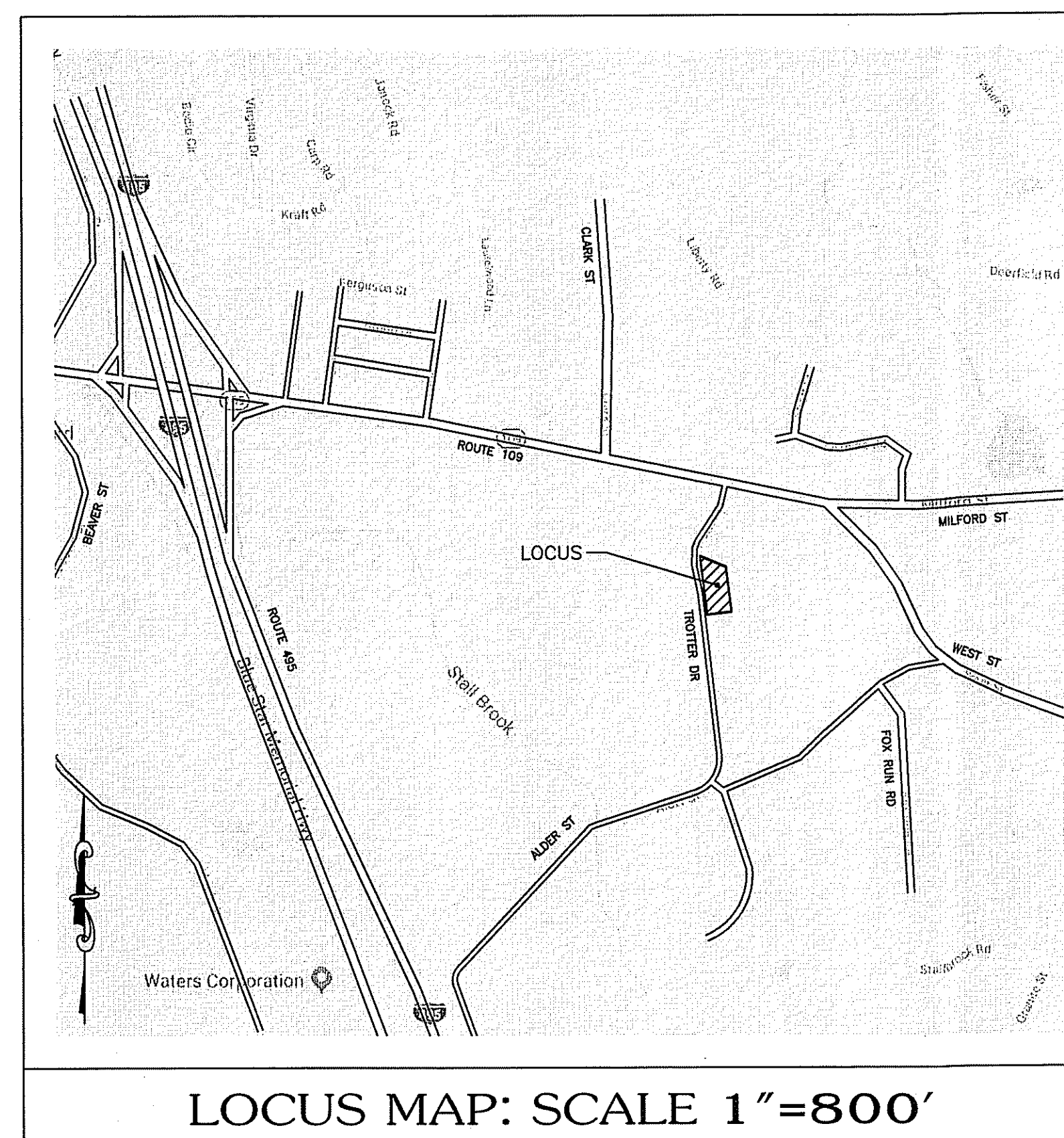
MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053

#### APPLICANT:

CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

#### ENGINEER:

ENGINEERING DESIGN CONSULTANTS, INC.  
32 TURNPIKE ROAD  
SOUTHBOROUGH, MASSACHUSETTS 01772



MARCH 26, 2018

REVISED: AUGUST 9, 2018

TOWN OF MEDWAY ASSESSORS ID: 54-004

ZONING DISTRICT: W1

APPROVED WAIVERS FROM SITE PLAN RULES AND REGULATIONS

- 1) SECTION 204-3 PLANNING BOARD SUBMITTALS, A. 7. DEVELOPMENT IMPACT REPORT
- 2) SECTION 204-4 STANDARDS FOR SITE PLAN PREPARATION - B - SCALE OF PLANS
- 3) SECTION 204-5 SITE PLAN CONTENTS C. 3. EXISTING LANDSCAPE INVENTORY
- 4) SECTION 204-5 SITE PLAN CONTENTS D. 7. LANDSCAPE ARCHITECTURAL PLAN
- 5) SECTION 204-5 SITE PLAN CONTENTS D. 9. COLOR RENDERINGS
- 6) SECTION 204-5 SITE PLAN CONTENTS D. 16. LOCATIONS OF PROPOSED FIRE HYDRANTS
- 7) SECTION 205-3 D.2. PEDESTRIAN AND BICYCLE ACCESS AND CONNECTIONS - SIDEWALK
- 8) SECTION 205-6 PARKING, C. DESIGNATED EMPLOYEE PARKING
- 9) SECTION 205-6 PARKING, G. PARKING SPACES AND STALLS, 3. a
- 10) SECTION 205-6 PARKING, G. PARKING SPACES AND STALLS, 3. b
- 11) SECTION 205-6 PARKING, G. PARKING SPACES AND STALLS, 4. b
- 12) SECTION 205-6 CURBING H., VERTICAL GRANITE CURB

#### SHEET LIST:

##### SITE PLANS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 PROPOSED LAYOUT
- 4 GRADING & UTILITIES
- 5 LIGHTING & LANDSCAPING
- 6 DETAILS

##### STORMWATER PLANS

- 1 STORMWATER (SWPPP) PLAN

##### ARCHITECTURAL PLANS

- S-1 FLOOR PLAN
- S-2 ELEVATION PLAN

APPROVED BY:  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

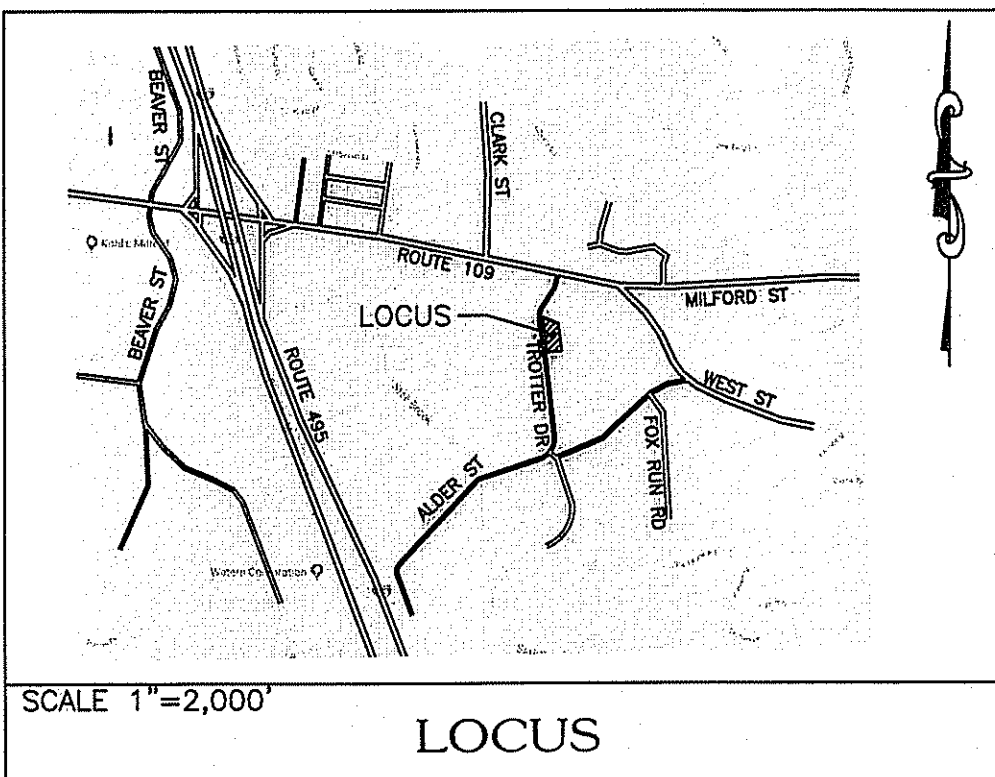
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DATE: August 14, 2018

APPROVAL DATE: July 10, 2018

#### CERTIFICATE OF VOTE

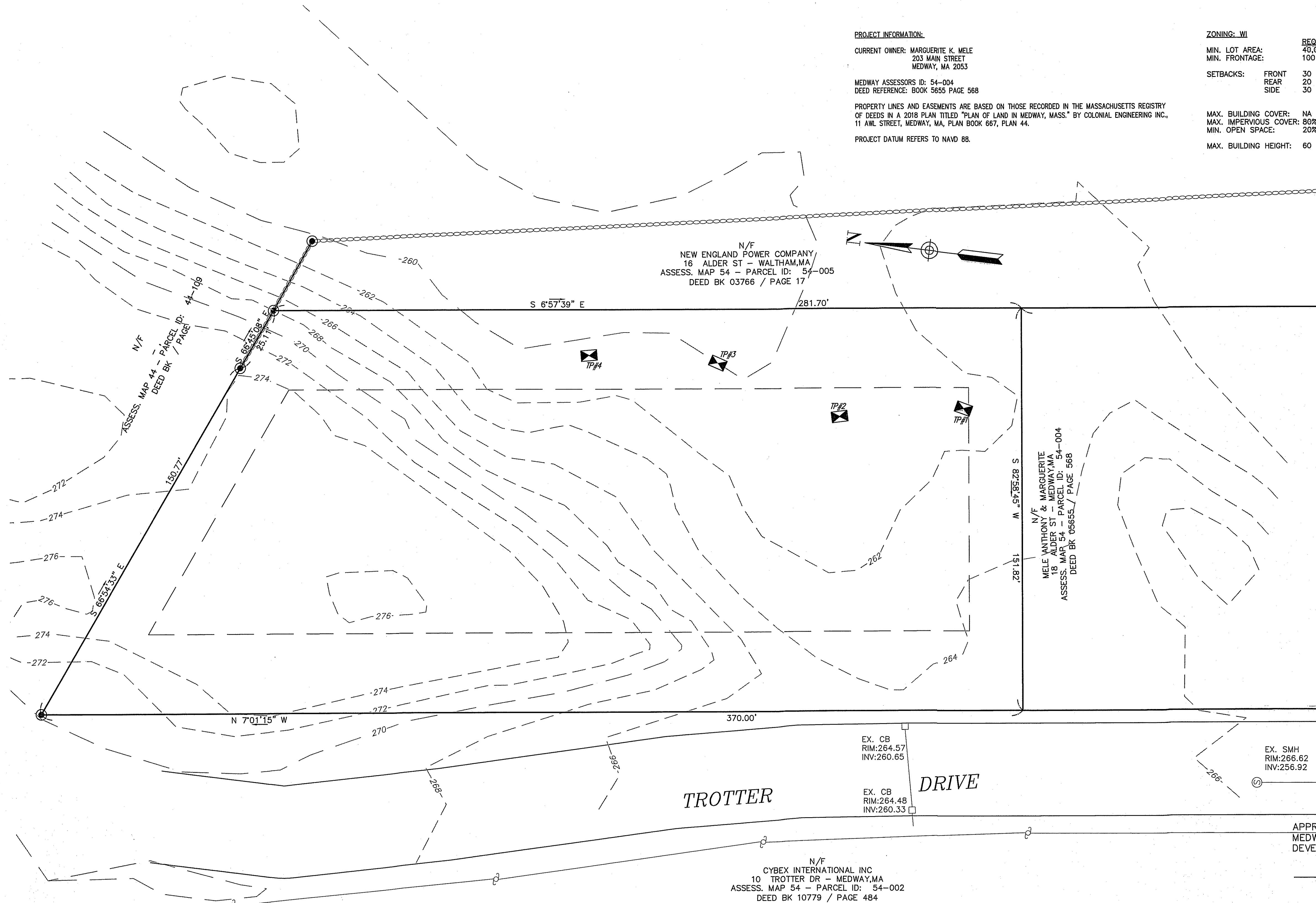
SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, JULY 10, 2018 FOR PLAN ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.



NOTE:  
UNDERGROUND UTILITY LOCATIONS ARE  
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE  
CONTRACTOR TO VERIFY LOCATIONS AND  
ELEVATIONS OF EXISTING UTILITIES PRIOR  
TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS  
HOURS IN ADVANCE OF CONSTRUCTION.  
CALL DIGSAFE AT 811



PROJECT INFORMATION:

CURRENT OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MA 02053

MEDWAY ASSESSORS ID: 54-004  
DEED REFERENCE: BOOK 5655 PAGE 568

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY  
OF DEEDS IN A 2018 PLAN TITLED "PLAN OF LAND IN MEDWAY, MASS." BY COLONIAL ENGINEERING INC.,  
11 ARL STREET, MEDWAY, MA, PLAN BOOK 667, PLAN 44.

PROJECT DATUM REFERS TO NAVD 88.

ZONING: W1

MIN. LOT AREA:  
MIN. FRONTAGE:

	REQUIRED	EXISTING	PROPOSED
	40,000 S.F.	49,529±S.F.	
	100 FT.	370.00±FT.	

SETBACKS:

	FRONT	REAR	SIDE
	30 FT.	20 FT.	30 FT.

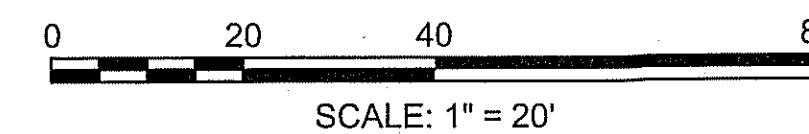
MAX. BUILDING COVER: NA  
MAX. IMPERVIOUS COVER: 80%  
MIN. OPEN SPACE: 20%

MAX. BUILDING HEIGHT: 60 FT.

LEGEND

BIT CONC	BITUMINOUS CONCRETE
BORING	BORING
CB	CATCHBASIN
CO	CLEAN OUT
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CW	CROSSWALK
DMH	DRAIN MANHOLE
D	DRAIN LINE
ELEC	ELECTRIC
EMH	ELECTRIC MANHOLE
ECB	EROSION CONTROL BARRIER
FD	FOUNDATION DRAIN
GG	GAS GATE
GAS	GAS LINE
GG	GAS GATE
HC	HANDICAPPED RAMP
HYD	HYDRANT
INV	INVERT
LP	LIGHT POLE
MH	MANHOLE
PVC	POLY-VINYL-CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
S	SEWER LINE
SMH	SEWER MANHOLE
S	SIGN
SB/DH	STONE BOUND/DRILLHOLE
TELE	TELEPHONE LINE
TMH	TELEPHONE MANHOLE
TP	TEST PIT
TRANS	TRANSFORMER
VGC	VERTICAL GRANITE CURB
WG	WATER GATE
W	WATER LINE
W5	WETLAND FLAG

DEEP HOLE #	TP-1	TP-2	TP-3	TP-4
	GROUND	GROUND	GROUND	GROUND
6" A	261.0	260.4	259.5	259.9
24" Bw	259.5	258.9	258.0	258.4
90" C	254.0	253.9	253.5	253.9
	MOTTUNG: 72" 5YR5/6 255.5	MOTTUNG: 66" 5YR5/6 255.4	MOTTUNG: 56" 5YR5/6 255.3	MOTTUNG: 60" 5YR5/6 255.4
	PERCOLATION TEST: N.A.	PERCOLATION TEST: N.A.	PERCOLATION TEST: N.A.	PERCOLATION TEST: N.A.
	SOIL CLASS: CLASS I	SOIL CLASS: CLASS I	SOIL CLASS: CLASS I	SOIL CLASS: CLASS I



CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, JULY 10, 2018 FOR PLAN  
ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS,' FROM THE  
MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

APPROVED BY:  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

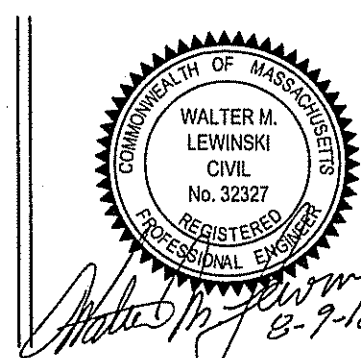
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APPROVAL DATE: August 14, 2018  
July 10, 2018

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE  
RESPONSIBLE FOR CONSTRUCTION METHODS, METHODS,  
TECHNIQUES, OR PROCEDURES UTILIZED BY THE  
CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR  
CONTRACTORS EMPLOYEES, OR FOR THE FAILURE OF THE  
CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE  
WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR  
THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS  
THIRD PARTY COSTS.

REVISION:	DATE	DESCRIPTION
2	8/9/18	ADDRESS CONDITIONS OF APPROVAL
1	6/12/18	PEER REVIEW COMMENTS
0	3/26/18	SITE PLAN REVIEW



PREPARED BY:



Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(508)332-5781

PROJECT:

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

TITLE:

EXISTING CONDITIONS

SITE PLAN

OWNER:  
MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053

APPLICANT:  
CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

FILE NO: 3583

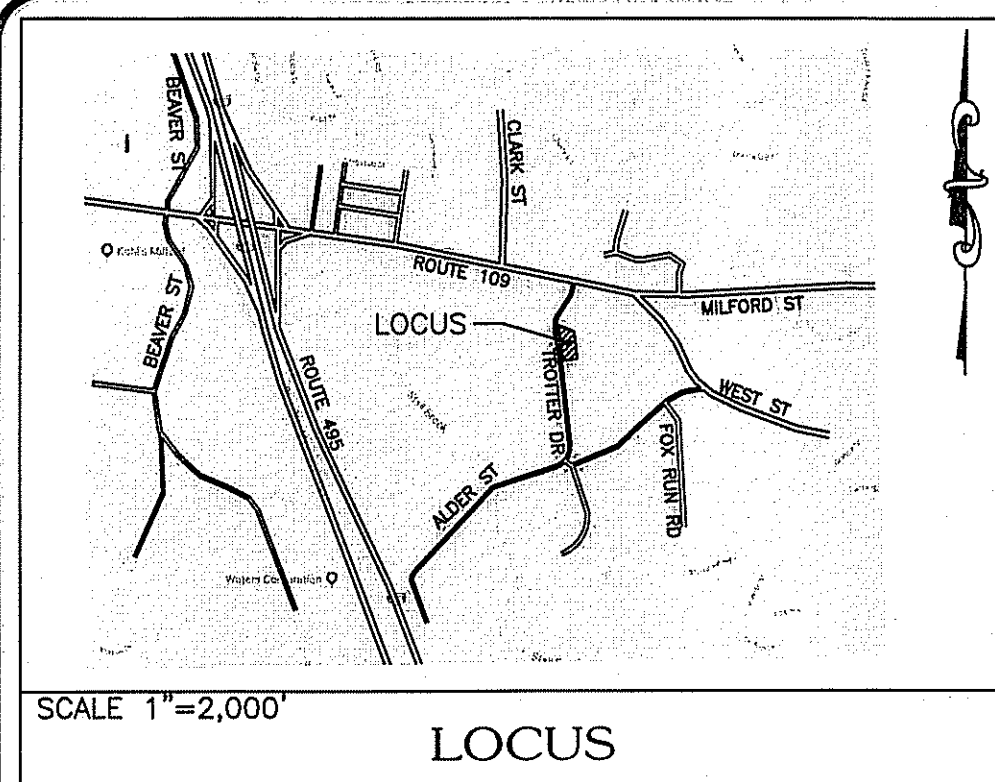
EXISTING CONDITIONS

DATE:  
MARCH 26, 2018

PLAN NUMBER:  
2 of 6

2





NOTE:  
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CALL DIGSAFE AT 811



N/F  
NEW ENGLAND POWER COMPANY  
16 ALDER ST - WALTHAM, MA  
ASSESS. MAP 54 - PARCEL ID: 54-005  
DEED BK 03766 / PAGE 17

**PARKING SCHEDULE:**

REQUIRED: 1 SPACE PER 300 SF OF OFFICE =  $\frac{1}{300} \times 264$  = 1 SPACE  
1 SPACE PER 2 EMPLOYEES =  $\frac{1}{2} \times 10$  = 5 SPACES  
1 SPACE PER 1,000 SF OF BUILDING =  $\frac{1}{1000} \times 6,000$  = 6 SPACES

TOTAL OF 12 SPACES REQUIRED

PROVIDED: 20 SPACES ARE PROVIDED INCLUDING 1 "VAN ACCESSIBLE" SPACE.

**PROJECT INFORMATION:**

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203 MAIN STREET  
MEDWAY, MA 02053

MEDWAY ASSESSORS ID: 54-004

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PROJECT DATUM REFERS TO NAVD 88.

ZONING: <u>W1</u>		REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:		100,000 S.F.	49,529±S.F.	
MIN. FRONTAGE:		100 FT.	370.00±FT.	
SETBACKS:	FRONT	30 FT.	NA	57.4± FT.
	REAR	20 FT.	NA	34.5± FT.
	SIDE	30 FT.	NA	62.2± FT.
			NA	
MAX. BUILDING COVER:	NA		0%	13%
MAX. IMPERVIOUS COVER:	80%		0%	48%
MIN. OPEN SPACE:	20%		100%	52%
MAX. BUILDING HEIGHT:	60 FT.		NA	<60 FT.

### LEGEND

BIT CONC	BURNING CONCRETE
Φ	BORING
CB	CATCHBASIN
CCB	CAPE COD BERM
CO	CLEAN OUT
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CW	CROSSWALK
DMH	DRAIN MANHOLE
D	DRAIN LINE
ELEC	ELECTRIC
EMH	ELECTRIC MANHOLE
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GAS	GAS LINE
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HC	HANDICAPPED RAMP
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INV	INVERT
LP	LIGHT POLE
MH	MANHOLE
PVC	POLY-VINYL-CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
S	SEWER LINE
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SB/DH	STONE BOUND/DRILLHOLE
TELE	TELEPHONE LINE
TMH	TELEPHONE MANHOLE
Φ	TEST PIT
TRANS	TRANSFORMER
VGC	VERTICAL GRANITE CURB
WG	WATER GATE
W	WATER LINE
W <sup>2</sup>	WETLAND FLAG

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APPROVED BY:  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

dyfod  
Difanall. Di hili  
Pamary

August 14, 2018

APPROVAL DATE: July 10, 2018

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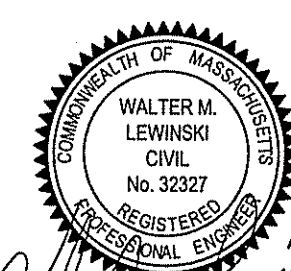
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CHK'D BY:	PSB	1
APRVD BY:	WML	0

REVISIONS

2
1
0

DATE

ADDRESS CONDITIONS OF APPROVAL  
PEER REVIEW COMMENTS  
SITE PLAN REVIEW  
RECOMMENDATION



PREPARED BY:

EE

Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(800)832-5781

PROJECT:

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

TITLE	
1	1. TITLE
2	2. AUTHOR
3	3. SUBJECT
4	4. DATE
5	5. LOCATION
6	6. PRICE
7	7. NOTES
8	8. INDEXING
9	9. SUMMARY
10	10. REFERENCES
11	11. ABSTRACT
12	12. FULLTEXT
13	13. CITATIONS
14	14. REVIEWS
15	15. COMMENTS
16	16. METADATA
17	17. BIBLIOGRAPHY
18	18. LITERATURE
19	19. JOURNAL
20	20. BOOK
21	21. ARTICLE
22	22. CHAPTER
23	23. EDITORIAL
24	24. INTRODUCTION
25	25. CONCLUSION
26	26. APPENDIX
27	27. SUPPLEMENT
28	28. ADDENDUM
29	29. CORRIGENDUM
30	30. REPLY
31	31. NOTICE
32	32. ANNOUNCEMENT
33	33. MEMORANDUM
34	34. REPORT
35	35. PAPER
36	36. THESIS
37	37. DISSERTATION
38	38. MONOGRAPH
39	39. TREATISE
40	40. COMPANION
41	41. SUPPLEMENTARY
42	42. ADDITIONAL
43	43. FURTHER
44	44. OTHER
45	45. ETC.

OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053

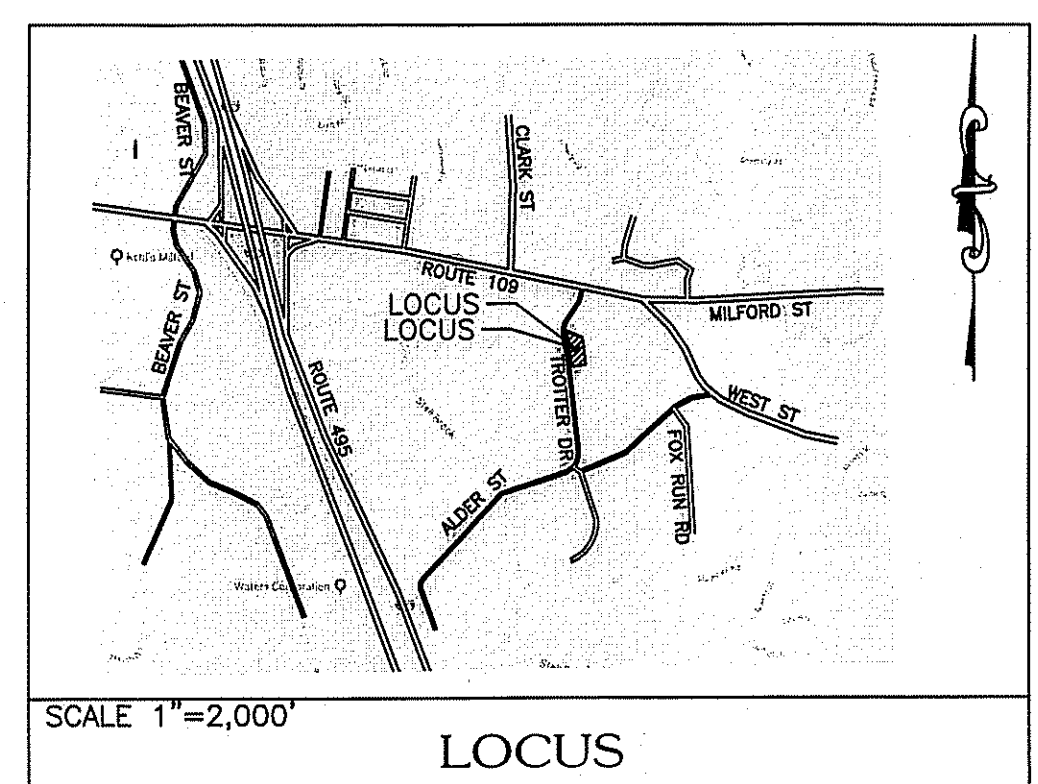
## PROPOSED LAYOUT SITE PLAN

APPLICANT:  
**CTS PROPERTY MANAGEMENT**  
 430 FRANKLIN VILLAGE DRIVE - SUITE 177  
 FRANKLIN, MASSACHUSETTS 02038

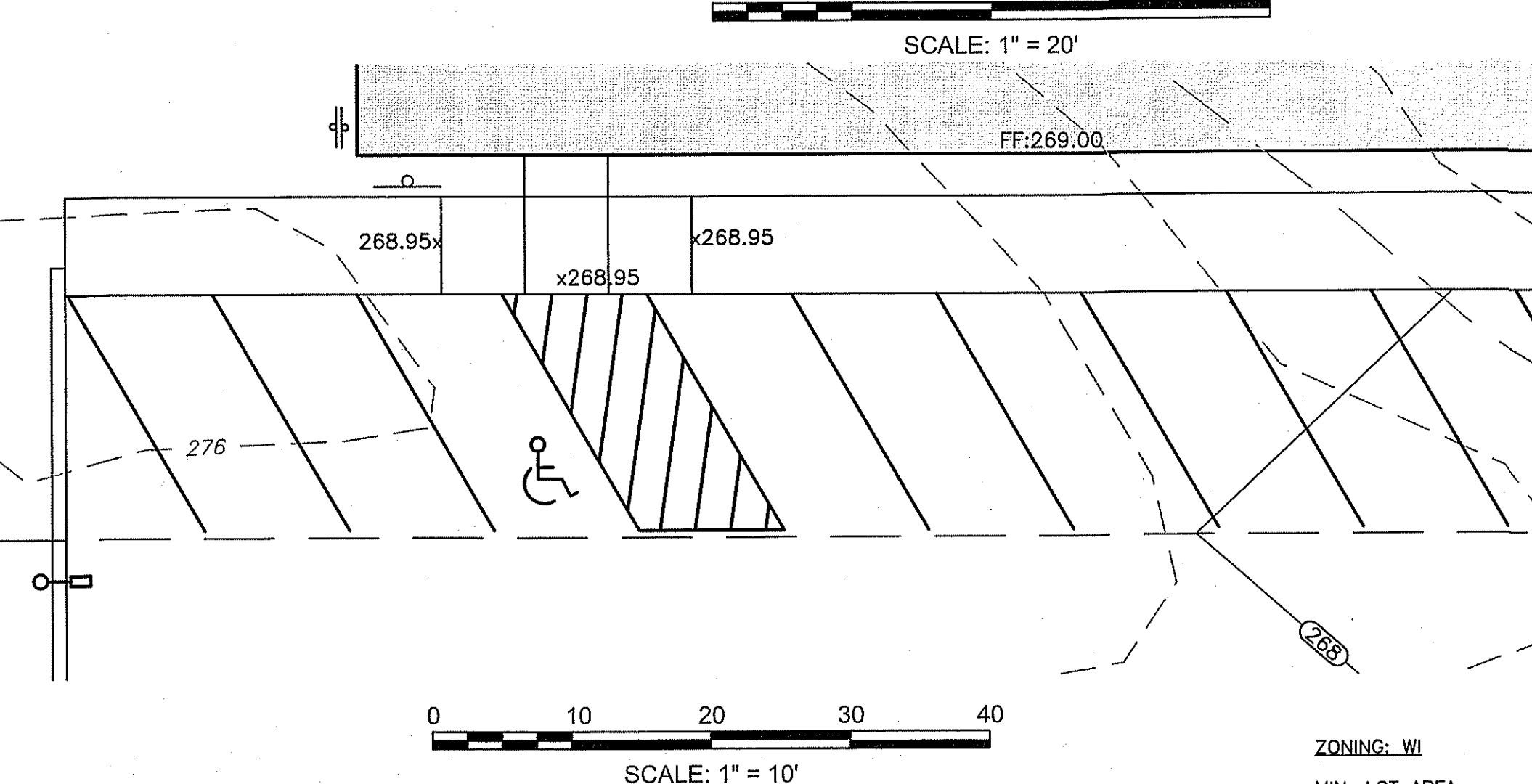
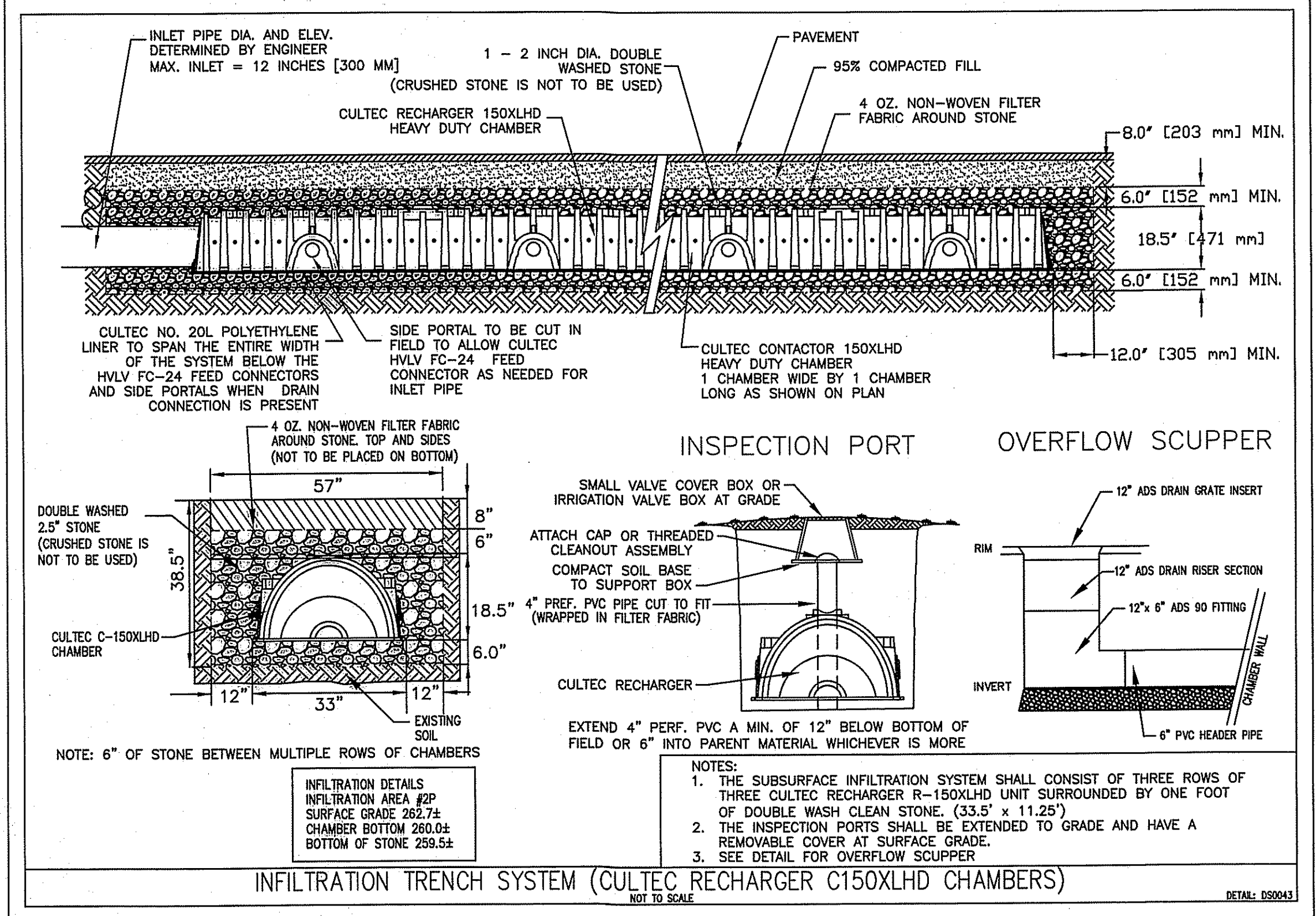
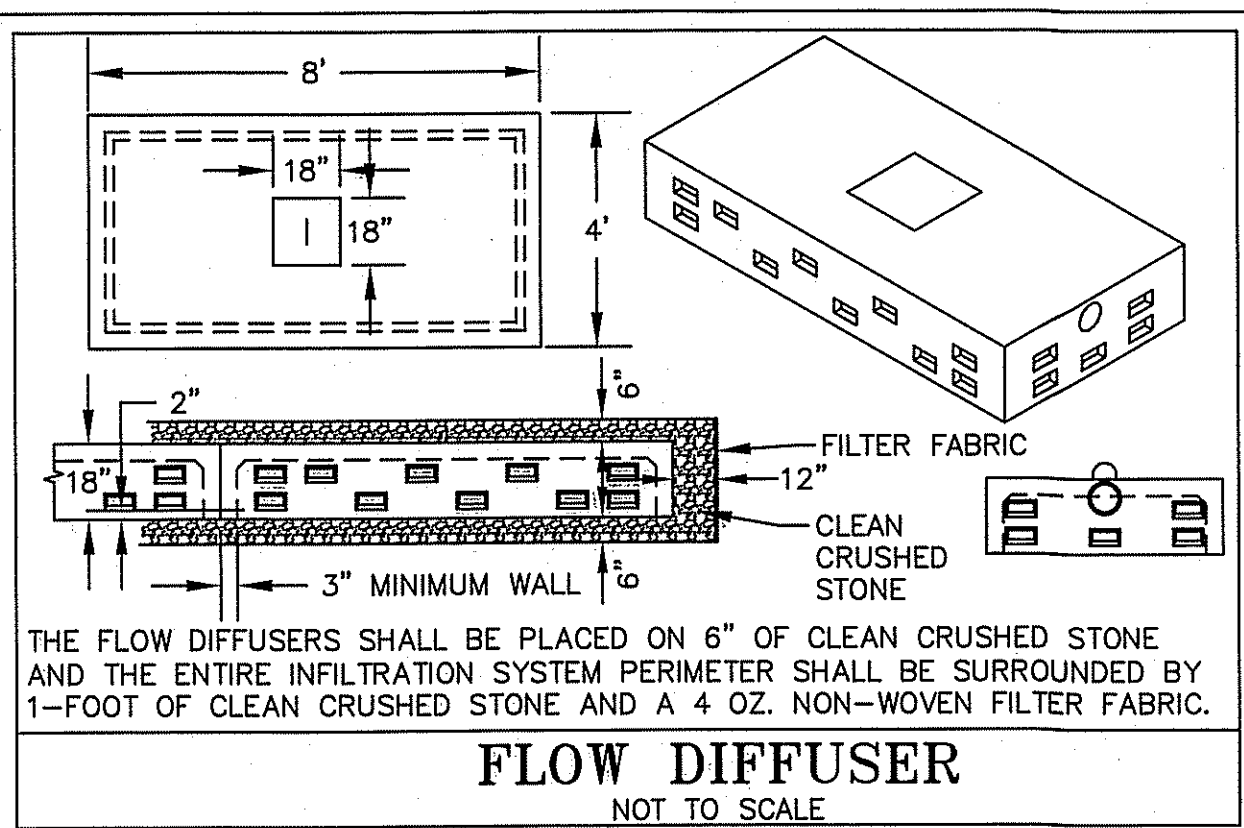
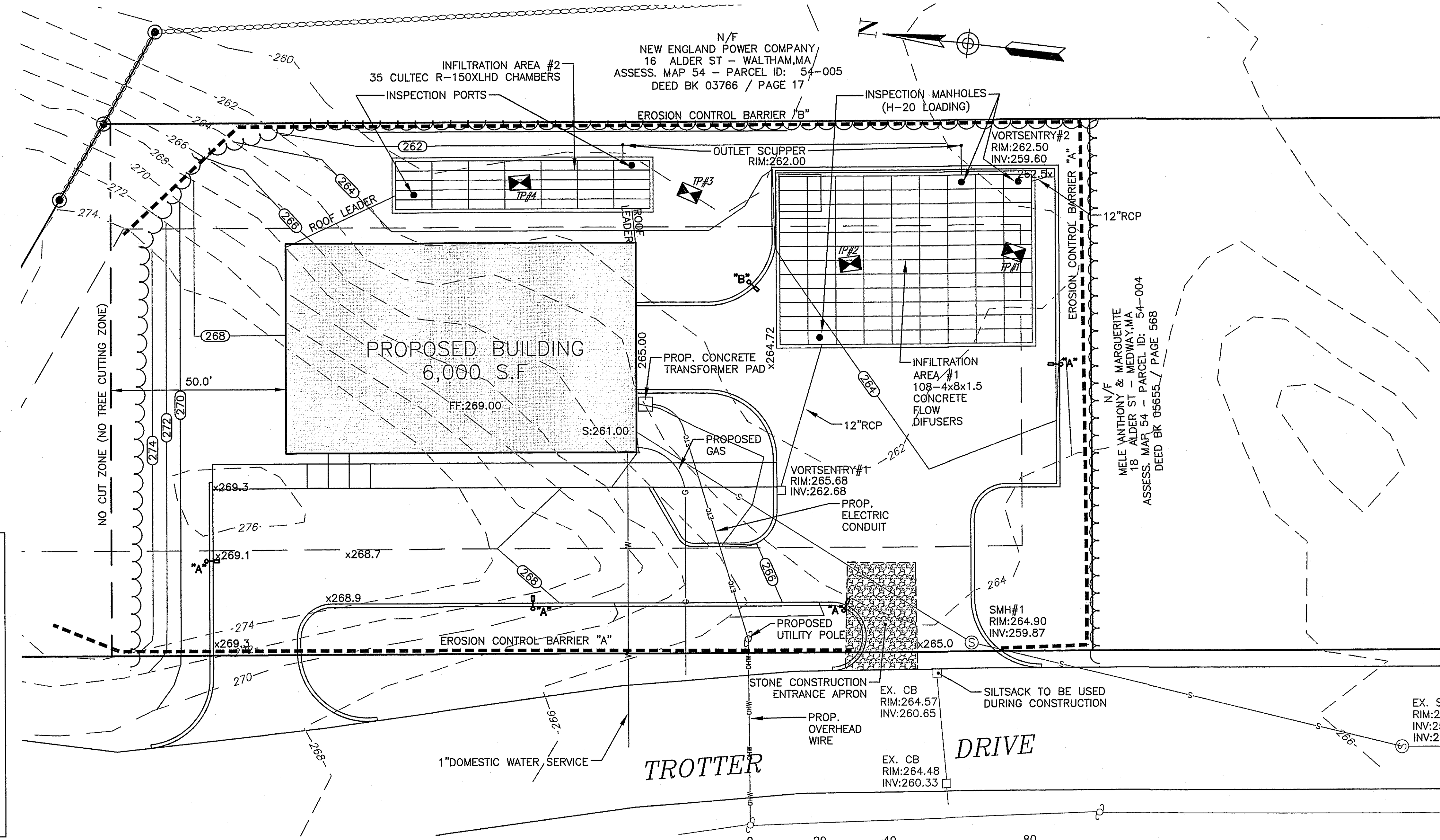
FILE NO.: 3583  
PROPOSED LAYOUT  
DATE: MARCH 26, 2018  
PLAN NUMBER:  
3 of 6  
3



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LOCUS



INFILTRATION AREAS		BOTTOM ELEVATION		OUTLET		TYPE	
AREA	SIZE	SIZE	INVERT OUT	SIZE	INVERT OUT	TYPE	
1	74'x50' (108 units)	259.50	8"	260.30	260.30	DIFFUSER	
2	75'x15.75' (35 units)	260.00	8"	260.80	260.80	CULTEC 150	

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DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811.



CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, JULY 10, 2018 FOR PLAN ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS', FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

ZONING: W1		REQUIRED		EXISTING		PROPOSED	
MIN. LOT AREA:	40,000 S.F.	40,000 S.F.	40,000 S.F.	40,000 S.F.	40,000 S.F.	40,000 S.F.	40,000 S.F.
MIN. FRONTAGE:	100 FT.	100 FT.	100 FT.	100 FT.	100 FT.	100 FT.	100 FT.
SETBACKS:							
FRONT	30 FT.	30 FT.	30 FT.	30 FT.	30 FT.	30 FT.	30 FT.
REAR	20 FT.	20 FT.	20 FT.	20 FT.	20 FT.	20 FT.	20 FT.
SIDE	30 FT.	30 FT.	30 FT.	30 FT.	30 FT.	30 FT.	30 FT.
MAX. BUILDING COVER:	NA	0%	13%	0%	13%	0%	13%
MAX. IMPERVIOUS COVER:	80%	0%	48%	0%	48%	0%	48%
MIN. OPEN SPACE:	20%	100%	52%	100%	52%	100%	52%
MAX. BUILDING HEIGHT:	60 FT.	NA	<60 FT.	NA	<60 FT.	NA	<60 FT.

PROJECT INFORMATION:

CURRENT OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MA 02053

MEDWAY ASSESSORS ID: 54-004  
DEED REFERENCE: BOOK 5655 PAGE 568

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PROJECT DATUM REFERS TO NAVD 88.

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED BY THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE RELEVANT TOWN DEPARTMENTS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
- IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE DETAILS.
- THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES ALONG THE PERIMETER OF CUTS AND FILLS, MULCHING, AND PLANTING OF DISTURBED AREAS AS SOON AS PRACTICABLE.
- AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED.
- AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR IS TO CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 811.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, SIZE, AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE PROPOSED WORK POSES A CONFLICT WITH THE EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- ALL REINFORCED CONCRETE PIPE IS TO BE CLASS III WHEN GREATER THAN 36" OF COVER EXISTS. LESS THAN 36" SHALL BE CLASS V RCP. ALL PVC SANITARY SEWER IS TO BE SDR 35 WITH RUBBER RING JOINTS. ALL PVC STORM DRAIN (PERFORATED OR SOLID) SHALL BE SDR 35, ADS TYPE N12 POLYETHYLENE PIPE OR APPROVED EQUAL; EXCEPT FOR ROOF DRAINS WHICH SHALL BE DUCTILE IRON. WATER MAIN IS TO BE CLASS 52 CEMENT LINED DUCTILE IRON.
- THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS IS TO BE NOTIFIED PRIOR TO THE START OF WORK ON TROTTER DRIVE.
- STANDARD PAVEMENT AREAS SHALL HAVE 12 INCHES OF GOOD, CLEAN BANK-RUN GRAVEL, CONFORMING TO MDPW M1.03.1, WITH NO STONES LARGER THAN 3" IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
- STANDARD PAVEMENT AREAS SHALL BE PAVED TO A THICKNESS OF 3" MEASURED AFTER COMPACTION, WITH A 2.5" BINDER COURSE AND 1" TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
- THE AGGREGATE SHALL BE COMPOSED, MIXED AND LAID HOT IN TWO COURSES AS SPECIFIED IN THE "COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES", 1988 EDITION SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, AS SPECIFICALLY SET FORTH IN SECTION 460.20 AND 460.82.
- ANY EXISTING PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OUTSIDE "LIMIT OF WORK" AREAS OR OTHERWISE DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED WITH A FULL DEPTH OF PAVEMENT SECTION AS SHOWN ON THE TRENCH PATCHING DETAIL INDICATED HEREON.
- EROSION CONTROL GRASS MIXTURE (SIDE SLOPE GREATER THAN 4 HORIZONTAL TO 1 VERTICAL) FOLLOWING COMPLETION OF GRADING. THE FOLLOWING SEED MIX SHALL BE APPLIED:

TYPE OF SEED	% BY WEIGHT
CREeping RED FESCUE	30
TALL FESCUE	30
WHITE DUTCH CLOVER	30
RED TOP	10

SEED AT THE RATE OF 28/2,000 SF  
USE THE ABOVE MIX AT THE RATE OF 50#/ACRE AND  
WITH 1/2 BUSHEL/ACRE OF WINTER RYE

- ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDING WITH A MINIMUM OF 4" OF TOP SOIL SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.
- ALL STUMPS, TOP SOIL, SUB SOIL AND OTHER DELETERIOUS MATERIALS ARE TO BE REMOVED FROM THE PROPOSED BUILDING AND PAVING AREAS.

APPROVED BY:  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

*[Signature]*

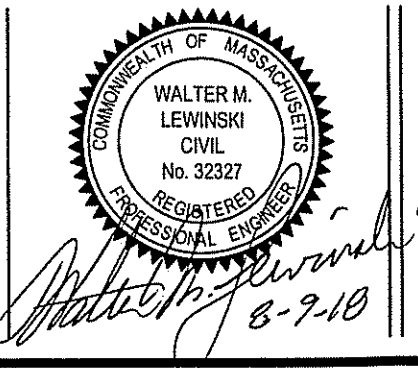
August 14, 2018

APPROVAL DATE: July 10, 2018

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

DESIGN	DATE	REVISION	DATE	DESCRIPTION
DESIGN	8/9/18	1	8/9/18	ADDRESS CONDITIONS OF APPROVAL
CHECK	8/12/18	2	8/12/18	PEER REVIEW COMMENTS
APPROVE	3/26/18	3	3/26/18	SITE PLAN REVIEW



PREPARED BY:  
*[Signature]*

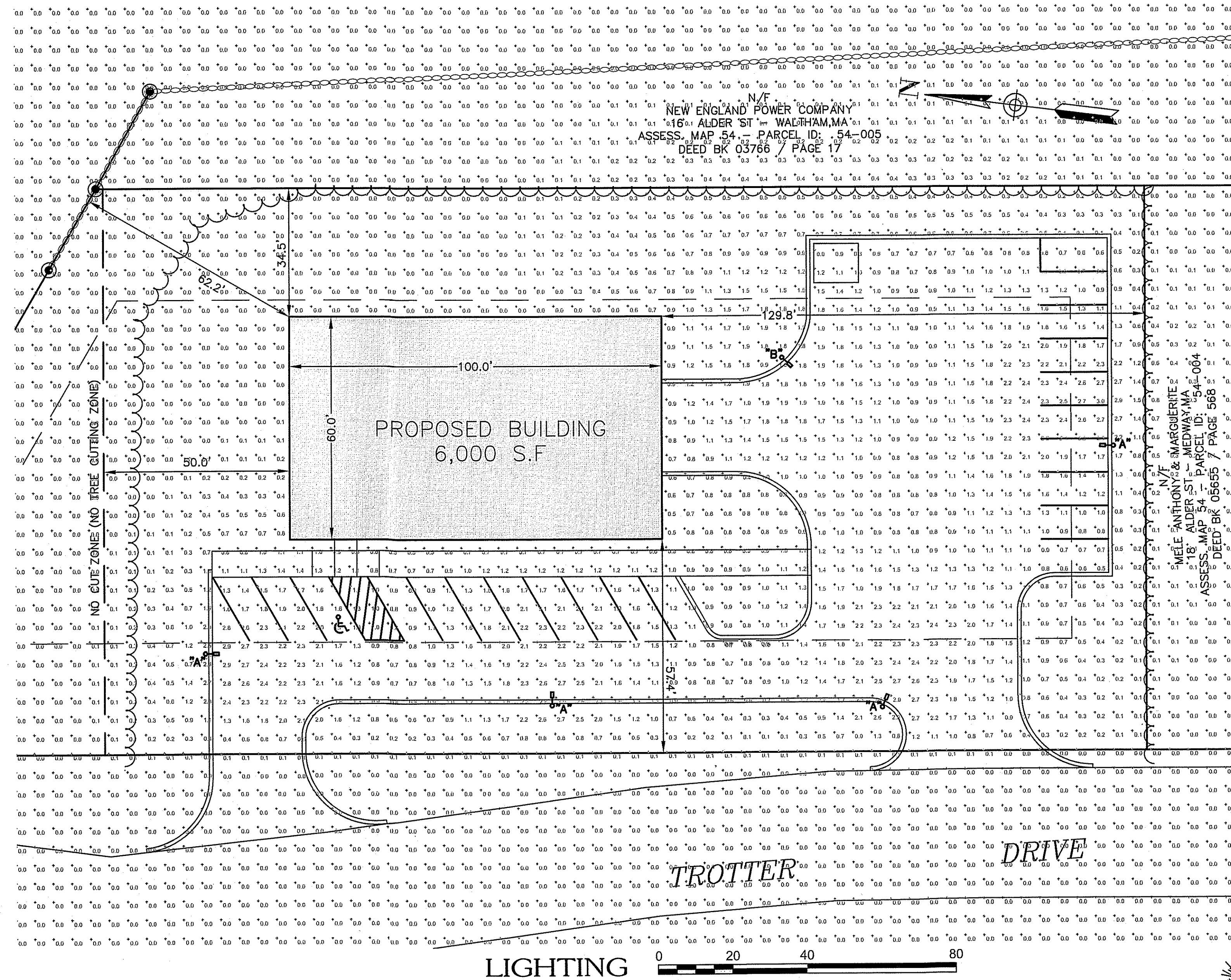
PROJECT:  
Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(508)832-5781

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

GRADING & UTILITIES		SITE PLAN	
OWNER:	MARGUERITE K. MELE 203 MAIN STREET MEDWAY, MASSACHUSETTS 02053	APPLICANT:	CTS PROPERTY MANAGEMENT 430 FRANKLIN VILLAGE DRIVE - SUITE 177 FRANKLIN, MASSACHUSETTS 02038

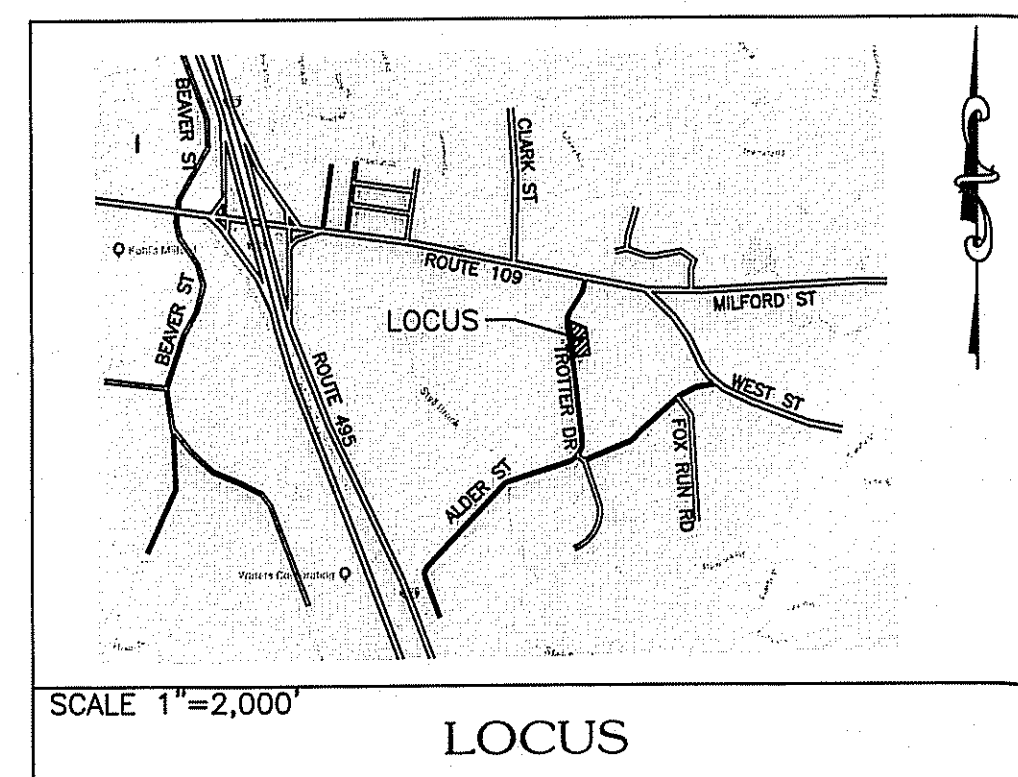
FILE NO: 3883  
GRADING & UTILITIES  
DATE: MARCH 26, 2018  
PLAN NUMBER: 4 of 6  
4





Schedule									
Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
A	4	Lithonia Lighting	DSX0 LED P4 40K TFTM MVOLT HS	DSX0 LED P4 40K TFTM MVOLT with houseside shield	LED	1	8243	0.9	92
B	1	Lithonia Lighting	DSX0 LED P4 40K T5M MVOLT	DSX0 LED P4 40K T5M MVOLT	LED	1	10961	0.9	92

NOTE:  
LIGHTS ARE MOUNTED ON POLES AT 20 FT HIGH.

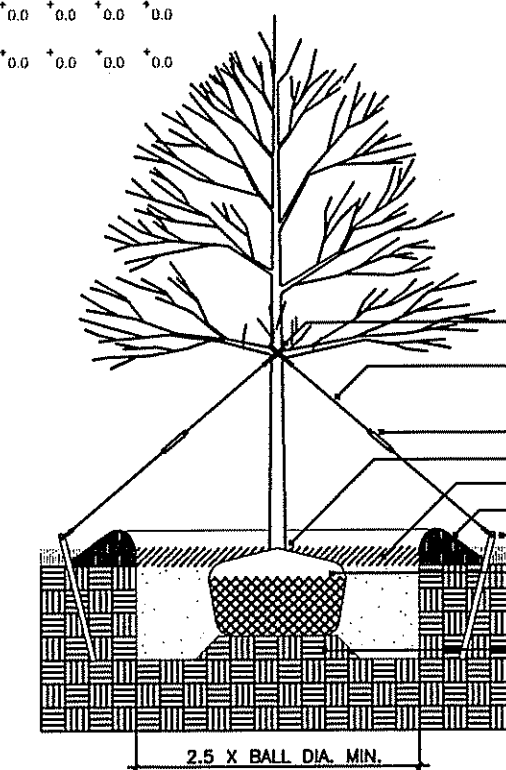


Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	1.5 fc	3.0 fc	0.5 fc	6.0:1	3.0:1
Spill	+	0.1 fc	2.9 fc	0.0 fc	N/A	N/A

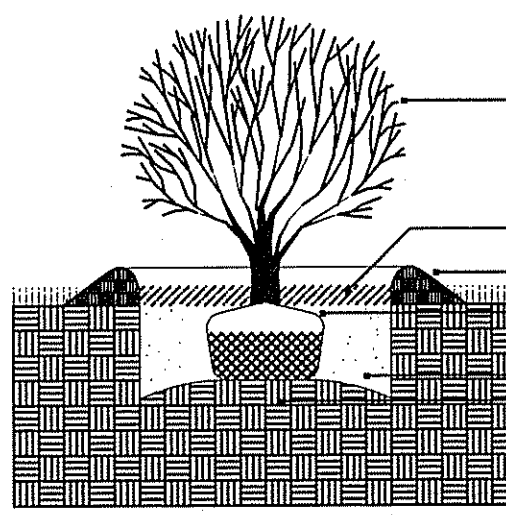
NOTE:  
UNDERGROUND UTILITY LOCATIONS ARE  
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

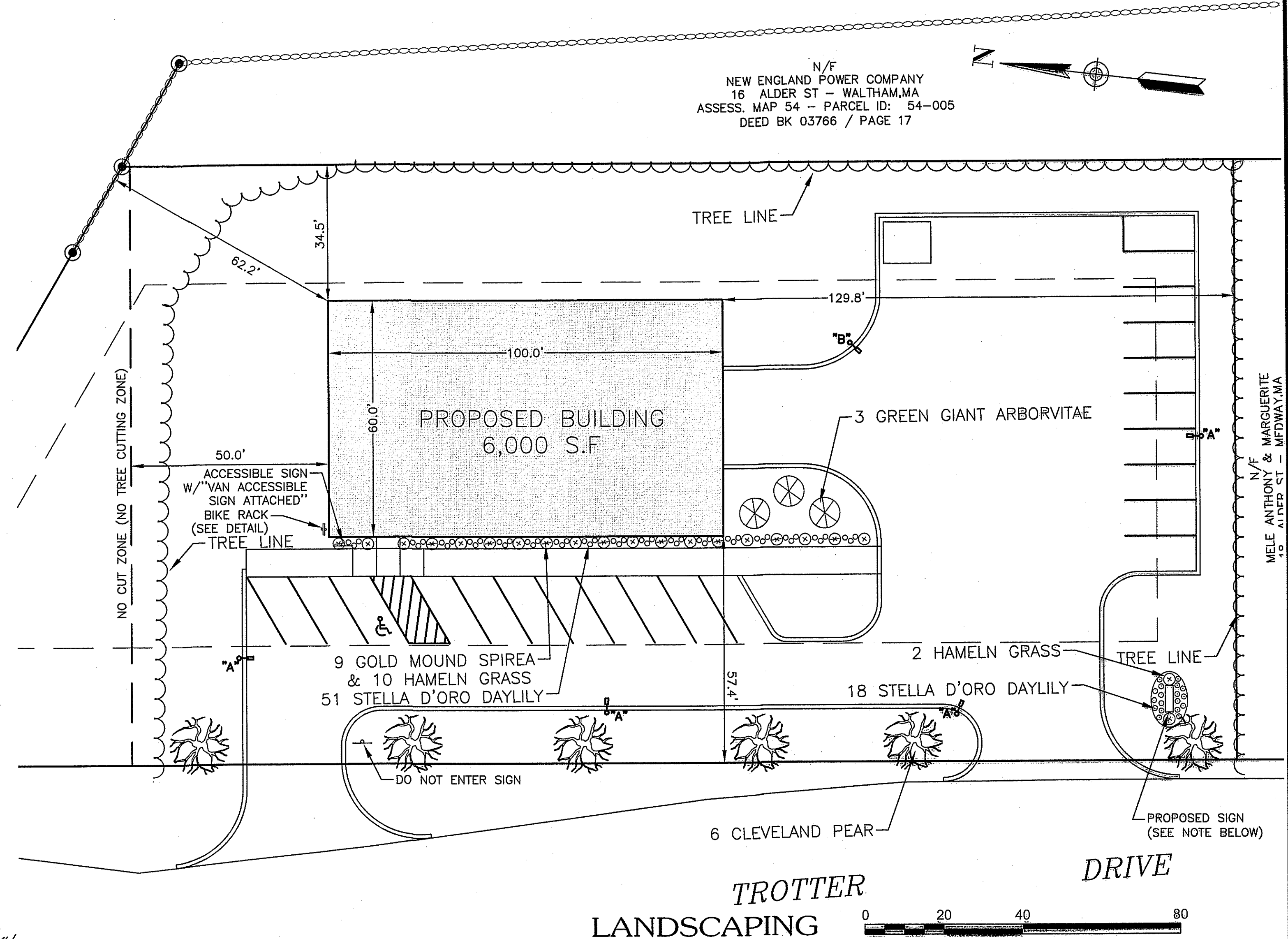
DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION.  
CALL DIGSAFE AT 811



TREE PLANTING DETAIL



### BALL AND BURLAP SHRUB PLANTING



PLANT LIST			
QUANTITY	COMMON NAME	LATIN NAME	SIZE
TREES			
6	CLEVELAND PEAR	PYRUS CALLERYANA	2-2.5" CAL.
3	GREEN GIANT ARBORVITAE	THUJA PLICATA	5'-6" B&B
SHRUBS			
9	GOLD MOUND SPIREA	SPIREA JAPONICA 'GOLD MOUND'	2 GALLON
10	DWARF HAMELEN GRASS	PENNISTUM ALOPEUROIDES	2 GALLON
PERENNIALS			
51	STELLA D'ORO SPRUCE	HEMEROCALLIS 'STELLA D'ORO'	1 GALLON

NOTES:  
1. SOIL MIX SHOULD BE A MIXTURE OF SAND, COMPOST AND SOIL.  
- 40% SAND  
- 20-30% TOPSOIL  
- 30-40% COMPOST

SAND COMPONENT	
Sieve Size	Percent Passing
2-Inch	100
3/4-in.	70-80
1/4-in.	50-80
U.S. No. 40	15-40
U.S. No. 200	0-3

APPROVED BY:  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

Richard J. DiJulius  
Terry Jay

APPROVAL DATE: August 14, 2018

SIGN NOTE:

PROPOSED SIGN SHALL BE 6'-8" LONG BY 3'-0" HIGH BY 2'-0" MONUMENT  
SIGN SETBACK 10'-0" FROM PROPERTY LINES. BASIS FOR SIGN DESIGN IS WEST  
INDUSTRIAL GROUND MONUMENT SIGN AS ALLOWED PER SIGN BYLAW HAVING  
MAXIMUM SIZE OF 20.0 SF. PER SIDE FOR A 2 SIDED SIGN. A TWO SIDED 20.0  
SF. PER SIDE SIGN IS PROPOSED.

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, JULY 10, 2018 FOR PLAN ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

		REVISIONS
DRAWN BY:	ZRB	2
CHECK'D BY:	PSB	1
APPROV'D BY:	WML	0

18	ADDRESS CONDITIONS OF APPROVAL
18	PEER REVIEW COMMENTS
18	SITE PLAN REVIEW
18	DESCRIPTION

COMMONWEALTH OF MASSACHUSETTS  
WALTER M. LEWINSKI  
CIVIL  
No. 32327  
REGISTERED  
PROFESSIONAL ENGINEER

*Walter M. Lewinski*  
8-9.

PREPARED BY:

EDC

Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph: (508) 480-0225 fax: (508) 832-5781

PROJECT

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

DATE	TITLE
11/1/54	...
11/2/54	...
11/3/54	...
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11/28/54	...
11/29/54	...
11/30/54	...

## LIGHTING & LANDSCAPING SITE PLAN

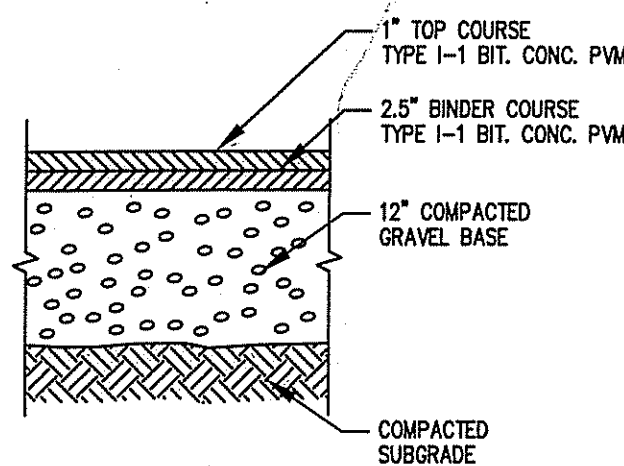
OWNER: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053

APPLICANT:  
CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

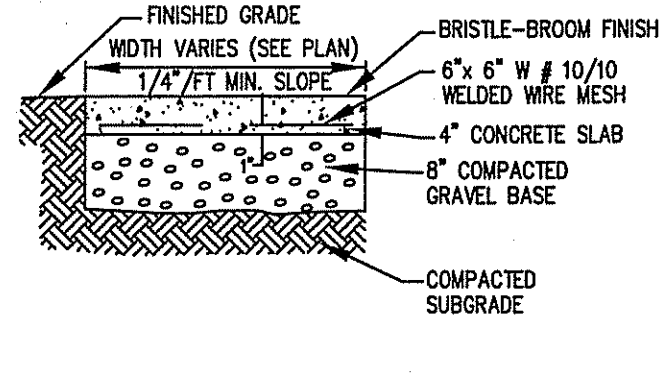
FILE NO.: 3683  
LIGHTING & LANDSCAPING  
DATE: MARCH 26, 2018  
PLAN NUMBER: 5 OF 6  
5



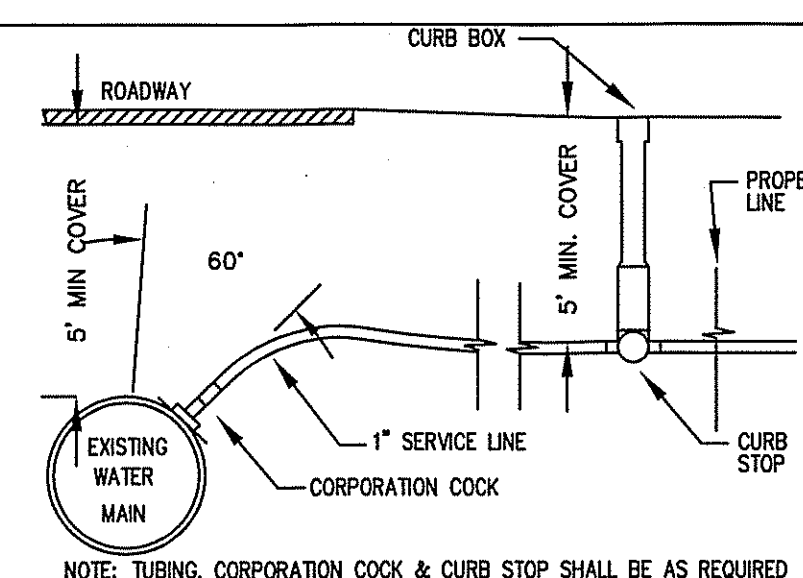
\\SERVING-005\USDA\AUTOCAD FILES\DWG\3583.DWG



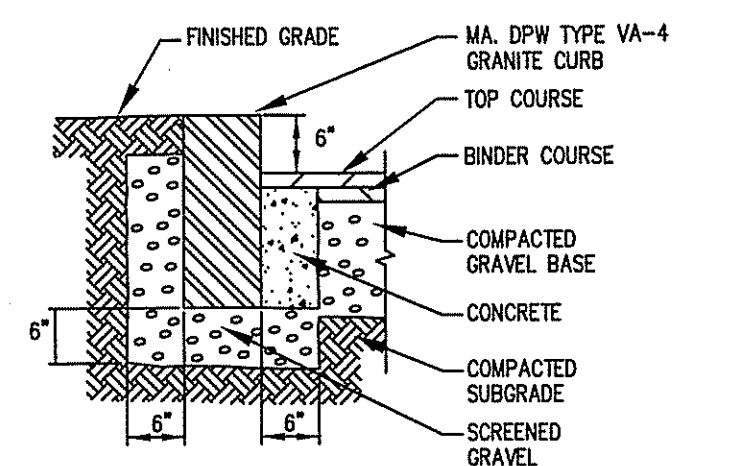
STANDARD BITUMINOUS CONCRETE PAVEMENT  
NOT TO SCALE  
DETAIL: RW0001



CEMENT CONCRETE WALK  
NOT TO SCALE  
DETAIL: RW0017



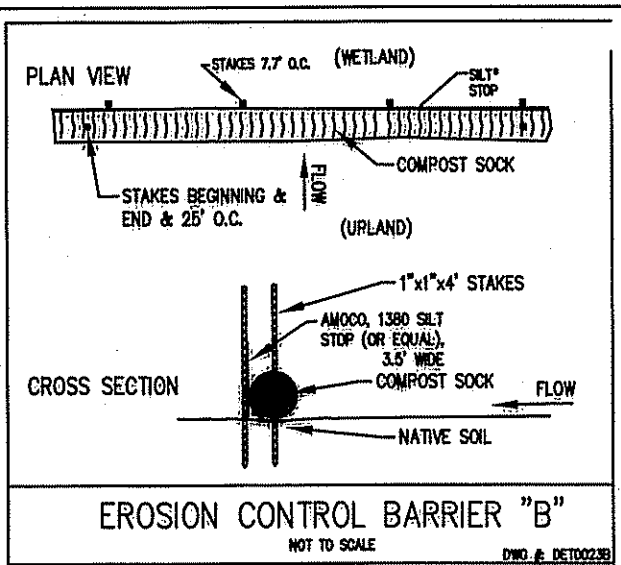
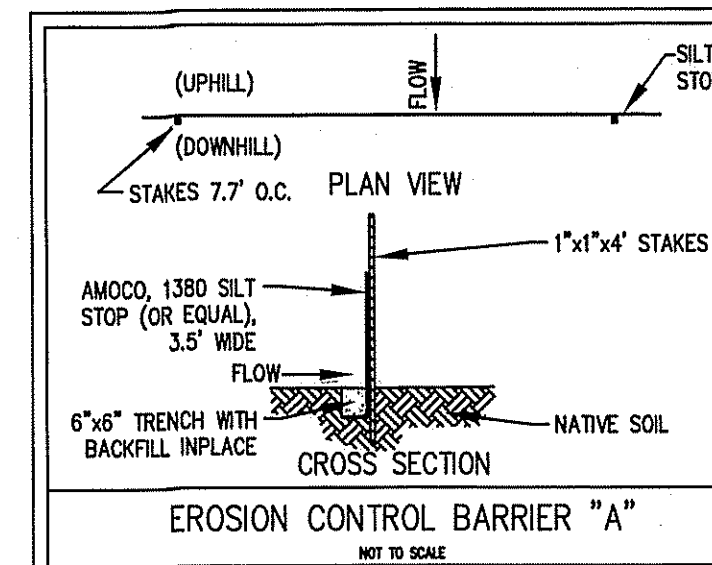
WATER SERVICE DETAIL  
NOT TO SCALE  
DETAIL: RW0006



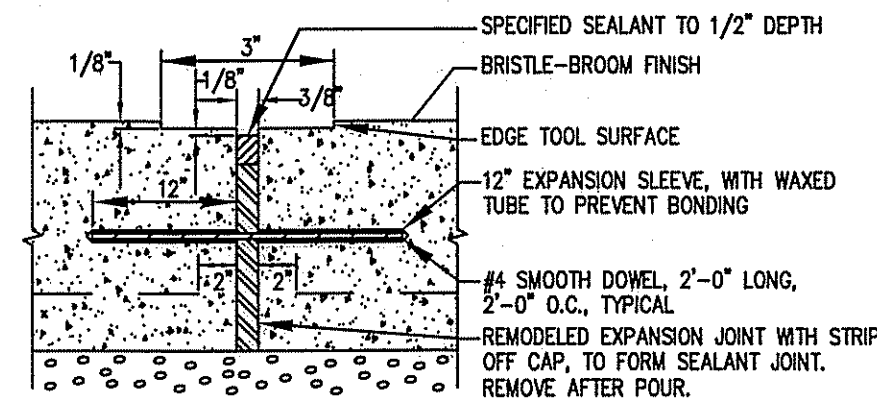
VERTICAL GRANITE CURB  
NOT TO SCALE  
DETAIL: RW0002

1. EROSION CONTROL MEASURES (SEE DETAILS) SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AS INDICATED.
2. MEASURES SHALL BE TAKEN TO LIMIT THE TRACKING OF MATERIAL FROM THE SITE ONTO RUSTIC ROAD AND SUMMER STREET.
3. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED MEASURES AS NECESSARY.
4. THROUGHOUT CONSTRUCTION, ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AND MULCHED AS SOON AS PRACTICABLE IN ORDER TO AVOID OVERLAND TRANSPORT OF SEDIMENT.
5. EROSION CONTROL MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND PARTICULARLY AFTER SIGNIFICANT RAINFALL. DILAPIDATED HAYBALES AND SILT STOP SHALL BE REPLACED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE BARRIER.
6. WITH SLOPES STABILIZED AND FINAL INSPECTION COMPLETE, THE EROSION CONTROL BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OFF-SITE.

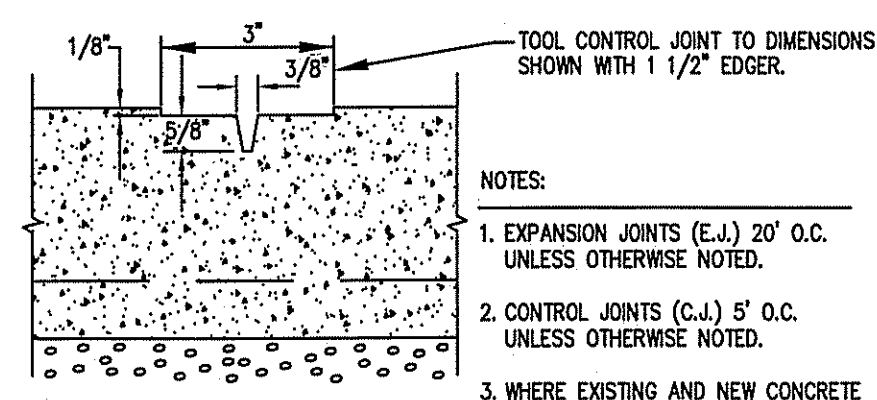
SEDIMENTATION & EROSION  
CONTROL METHODS &  
PROCEDURES  
DETAIL: EC0002



EROSION CONTROL BARRIER "B"  
NOT TO SCALE  
DETAIL: RW0003

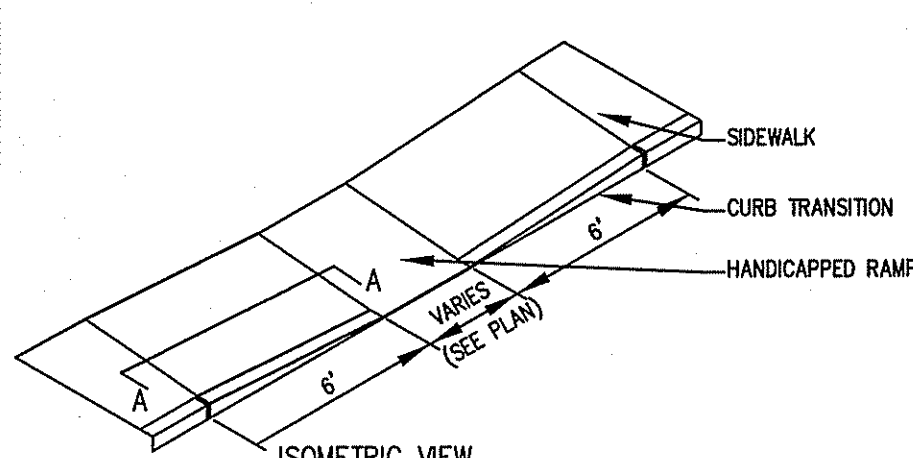


EXPANSION JOINT AT 20' O.C. TYP.

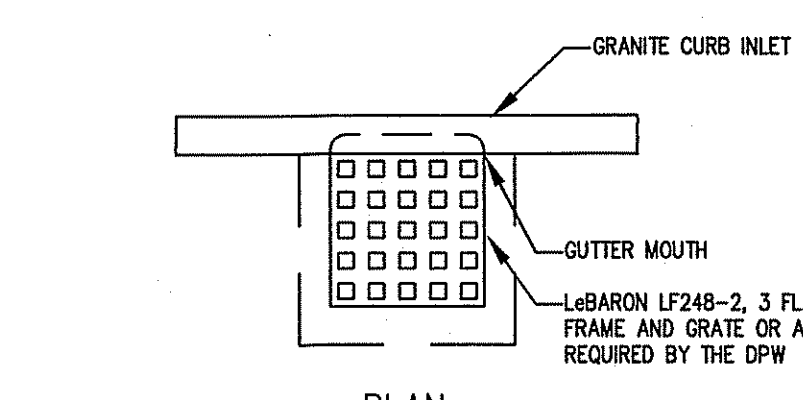


CONTROL JOINT AT 5' O.C. TYP.

EXPANSION & CONTROL JOINTS  
FOR SIDEWALK PAVING  
NOT TO SCALE  
DETAIL: RW0021

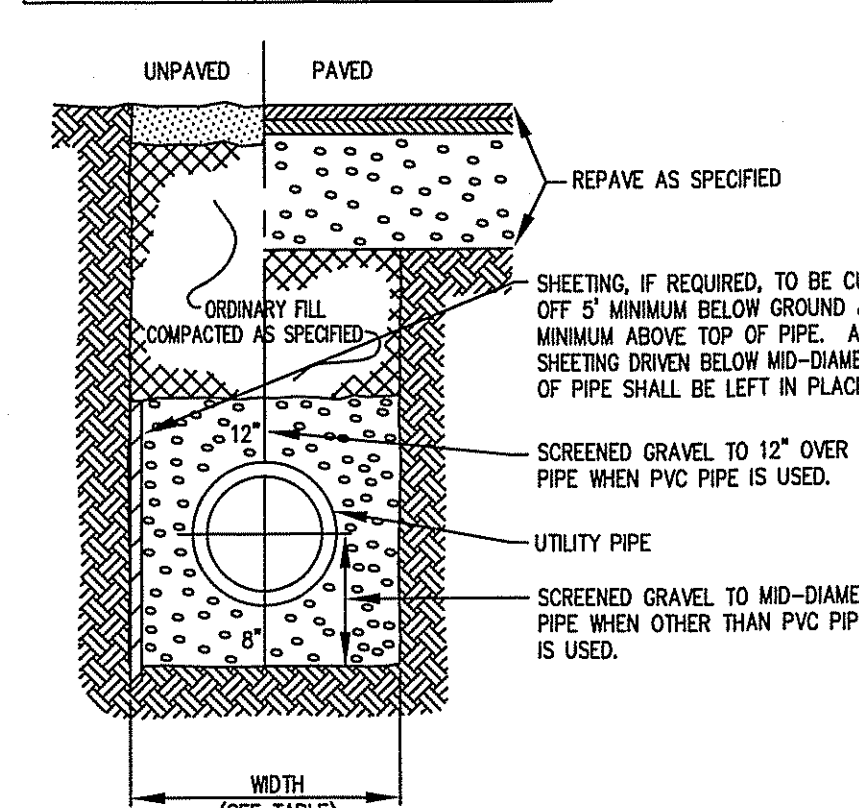


HANDICAP RAMP  
NOT TO SCALE  
DETAIL: RW0019

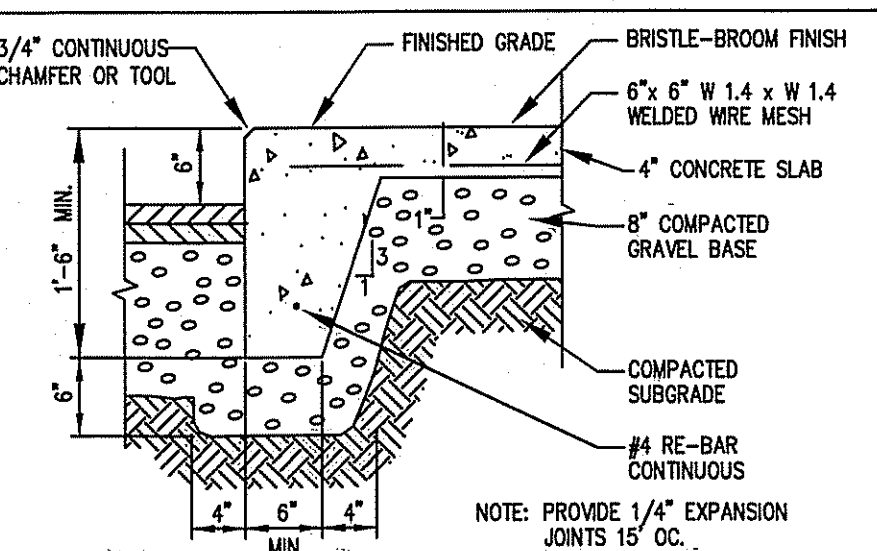


GRANITE CURB INLET  
NOT TO SCALE  
DETAIL: RW0001

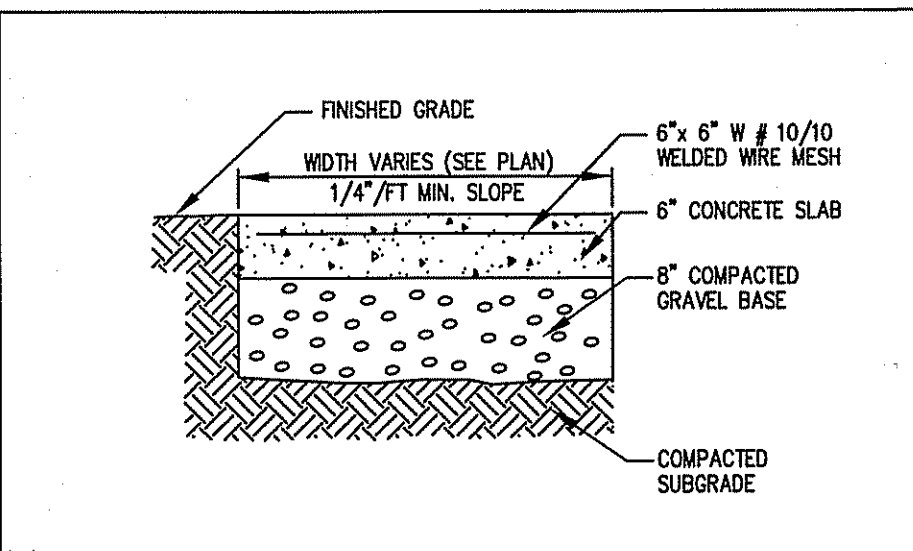
TRENCH WIDTH, W		
D	W	W
DIAMETER OF PIPE	SHEETED	UNSHEETED
10\"	3'	4'
14\"	4'	5'
30\"	5'	6'
42\"	6'	7'



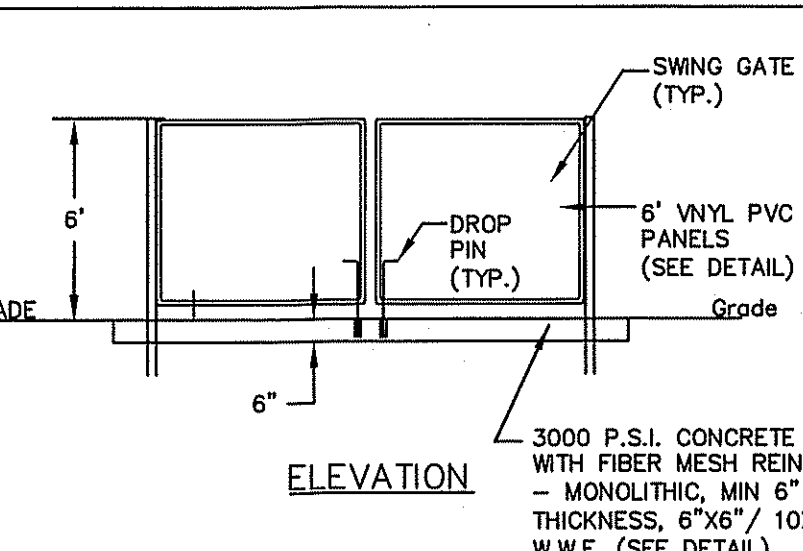
TYPICAL DRAINAGE TRENCH SECTION  
NOT TO SCALE  
DETAIL: RW0024



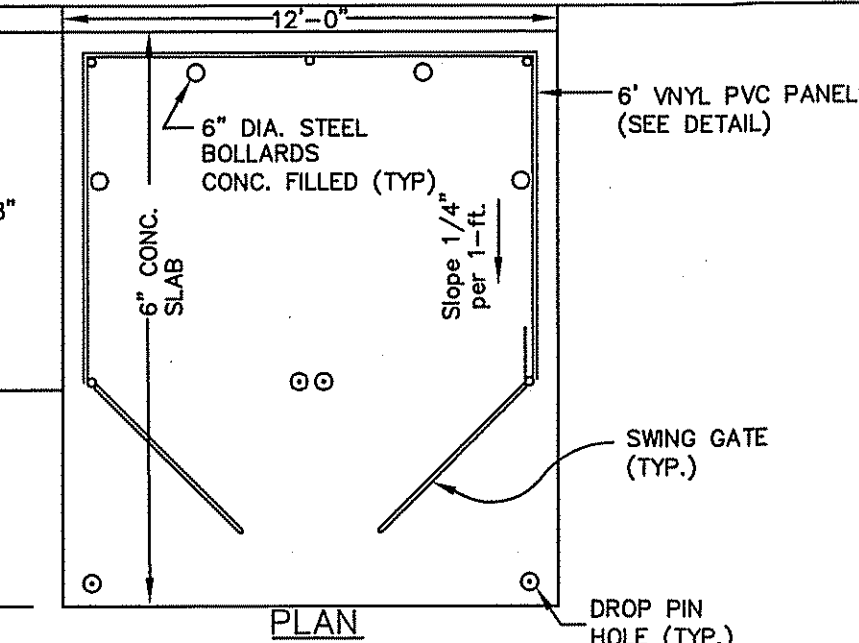
INTEGRAL CONCRETE CURB & SIDEWALK  
NOT TO SCALE  
DETAIL: RW0003



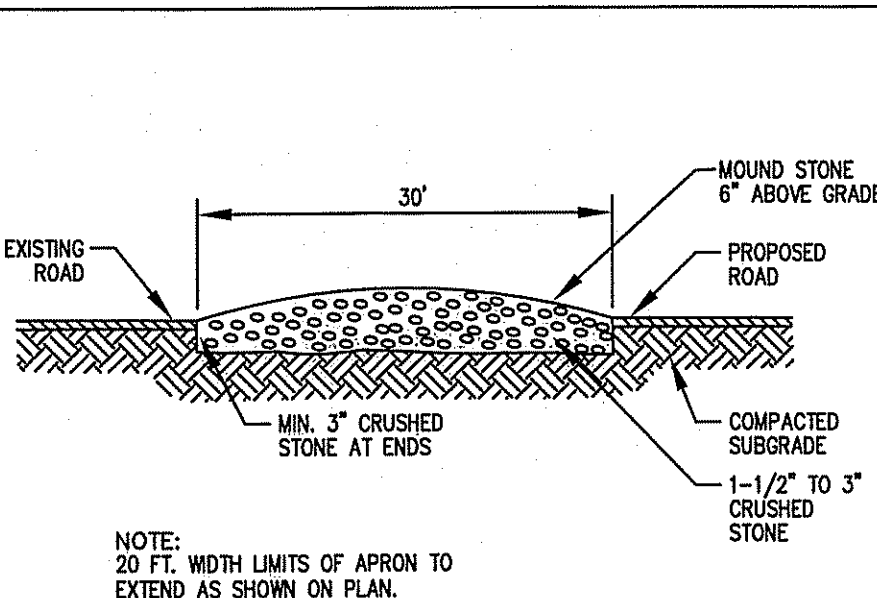
CEMENT CONCRETE DUMPSTER PAD  
NOT TO SCALE  
DETAIL: RW0014



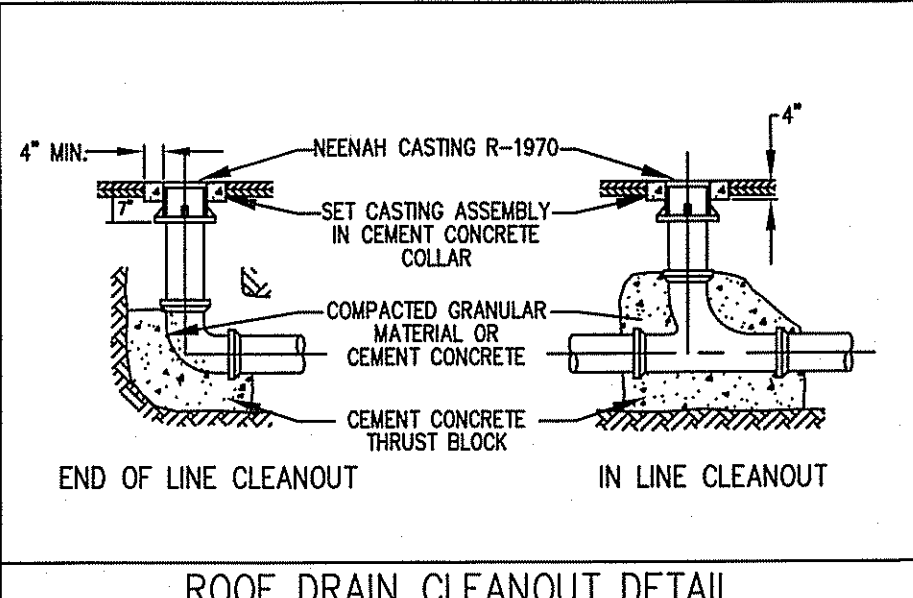
DUMPSTER SCREENING  
N.T.S.  
DETAIL: RW0015



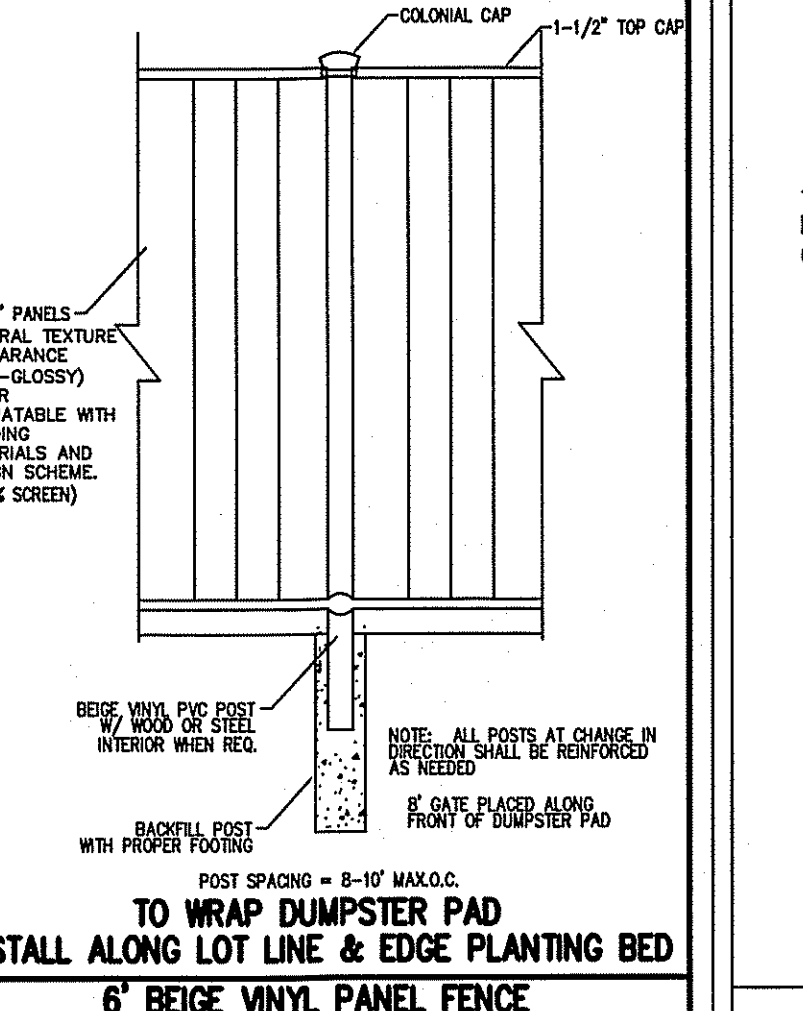
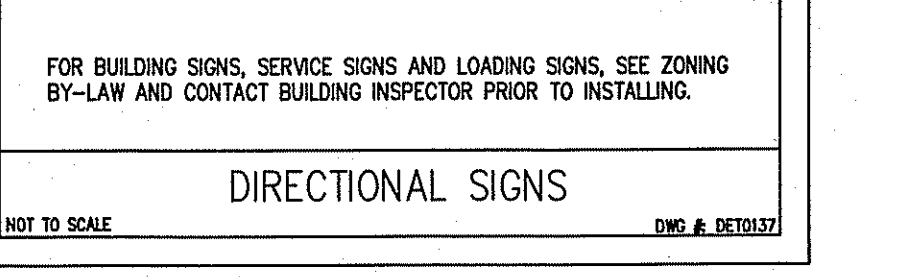
DUMPSTER PAD  
NOT TO SCALE  
DETAIL: RW0016



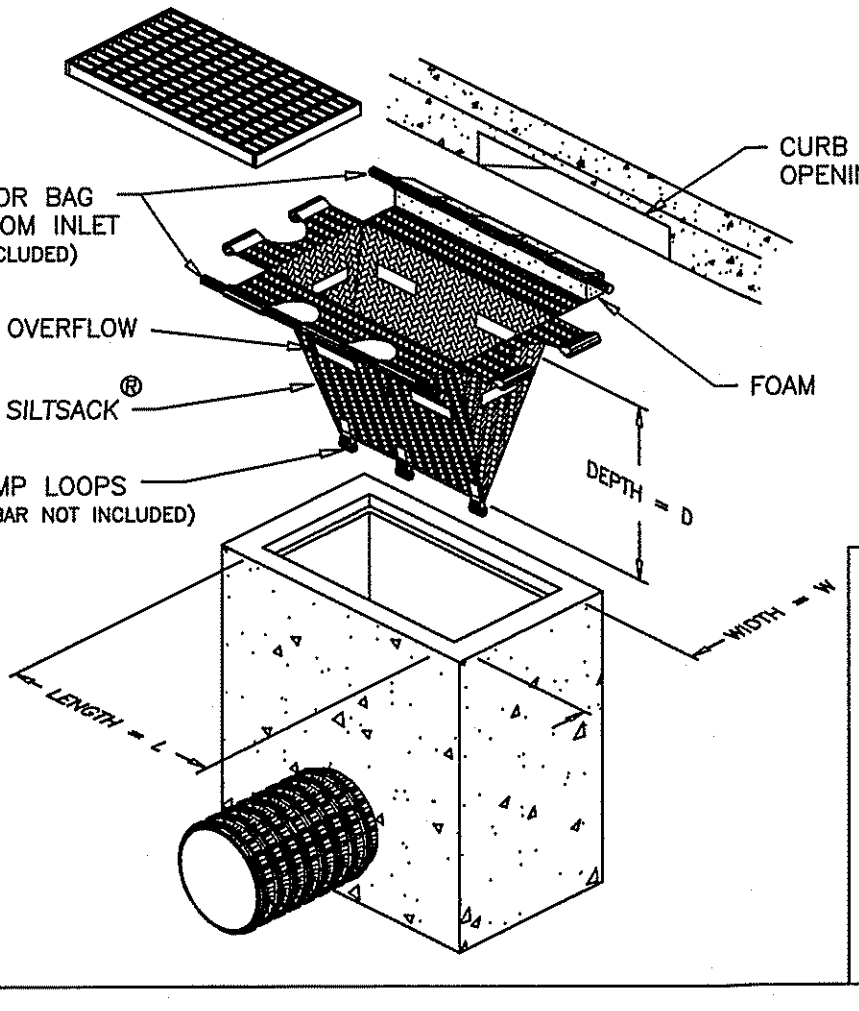
CONSTRUCTION ENTRANCE APRON  
NOT TO SCALE  
DETAIL: EC0009



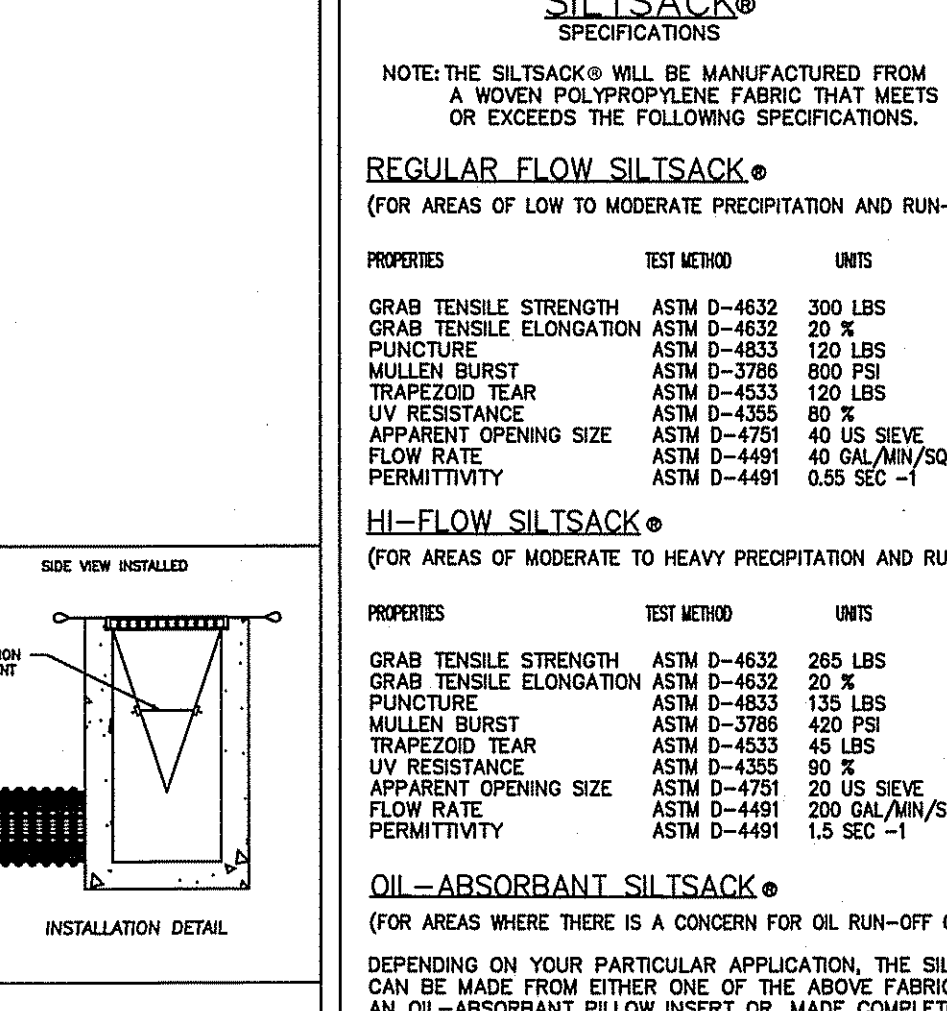
ROOF DRAIN CLEANOUT DETAIL  
NOT TO SCALE  
DETAIL: RW0018



DUMPSTER PAD  
NOT TO SCALE  
DETAIL: RW0016



SILTSACK  
NOT TO SCALE  
DETAIL: RW0023



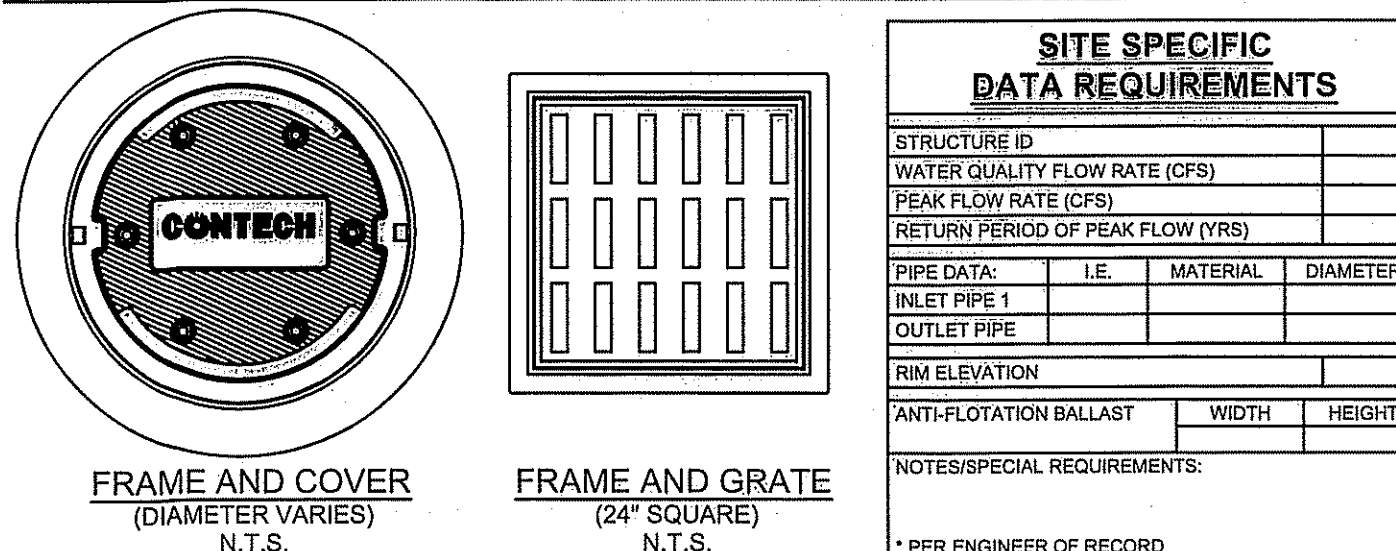
VORTSENTRY HS DESIGN NOTES

#### RATED TREATMENT CAPACITY IS SHOWN IN THE TABLE BELOW, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY VARIES. CONTACT YOUR CONTECH REPRESENTATIVE FOR ADDITIONAL INFORMATION.

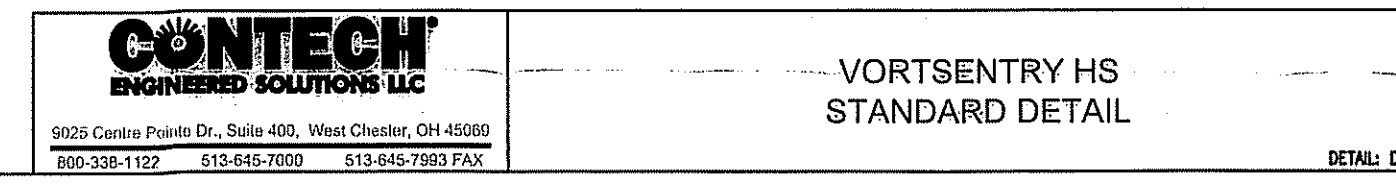
THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.

CONFIGURATION OPTION DESCRIPTION		
GRATE INLET (NO INLET PIPE)		
GRATE INLET WITH INLET PIPE		

VORTSENTRY HS GENERAL INFORMATION														
Model	Manhole Diameter (ID)		Total Treatment Flow Rate		Typical Total Distance Rim to Outside Bottom A		Typical Distance Rim to Invert B		Typical Depth Below Invert (Inside C)		Approximate Minimum Distance Rim to Invert	Maximum Pipe Diameter (ID)		
	FT	mm	CFS	L/S	FT	m	FT	m	FT	mm	FT	IN		
HS38	3	900	0.55	15.6	10.16	3.10	4.08	1.24	5.58	1702	3.00	0.91	18	450
HS50	4	1200	1.20	34.0	15.25	4.64	6.00	1.83	6.75	2057	4.00	1.23	24	600
HS60	5	1500	2.25	64.3	15.19	4.61	6.50	1.96	6.88	2100	4.82	1.47	30	750
HS72	6	1800	3.70	104.6	16.60	5.08	7.00	2.13	7.00	2100	5.69	1.70	30	750
HS84	7	2100	5.00	135.0	18.89	5.75	7.75	2.30	10.59	3250	6.50	1.50	42	1050
HS96	8	2400	6.10	209.4	20.07	6.06	8.00	2.43	11.64	3540	6.91	2.11	48	1200



- GENERAL NOTES:
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contechhs.com](http://www.contechhs.com)
  4. VORTSENTRY HS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M308 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- INSTALLATION NOTES:
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTSENTRY HS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  3. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, JULY 10, 2018 FOR PLAN ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTE TO APPROVE WITH STANDARD CONDITIONS.

APPROVED BY:  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

*Paul J. DiStefano*  
*Frank J. Jay*

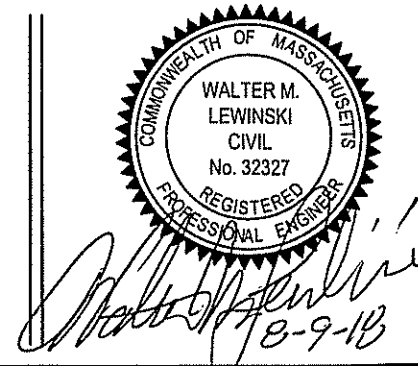
August 14, 2018

APPROVAL DATE: July 10, 2018

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

REV#	DATE	DESCRIPTION
2	8/9/18	ADDRESS CONDITIONS OF APPROVAL
1	6/12/18	PEER REVIEW COMMENTS
0	3/26/18	SITE PLAN REVIEW



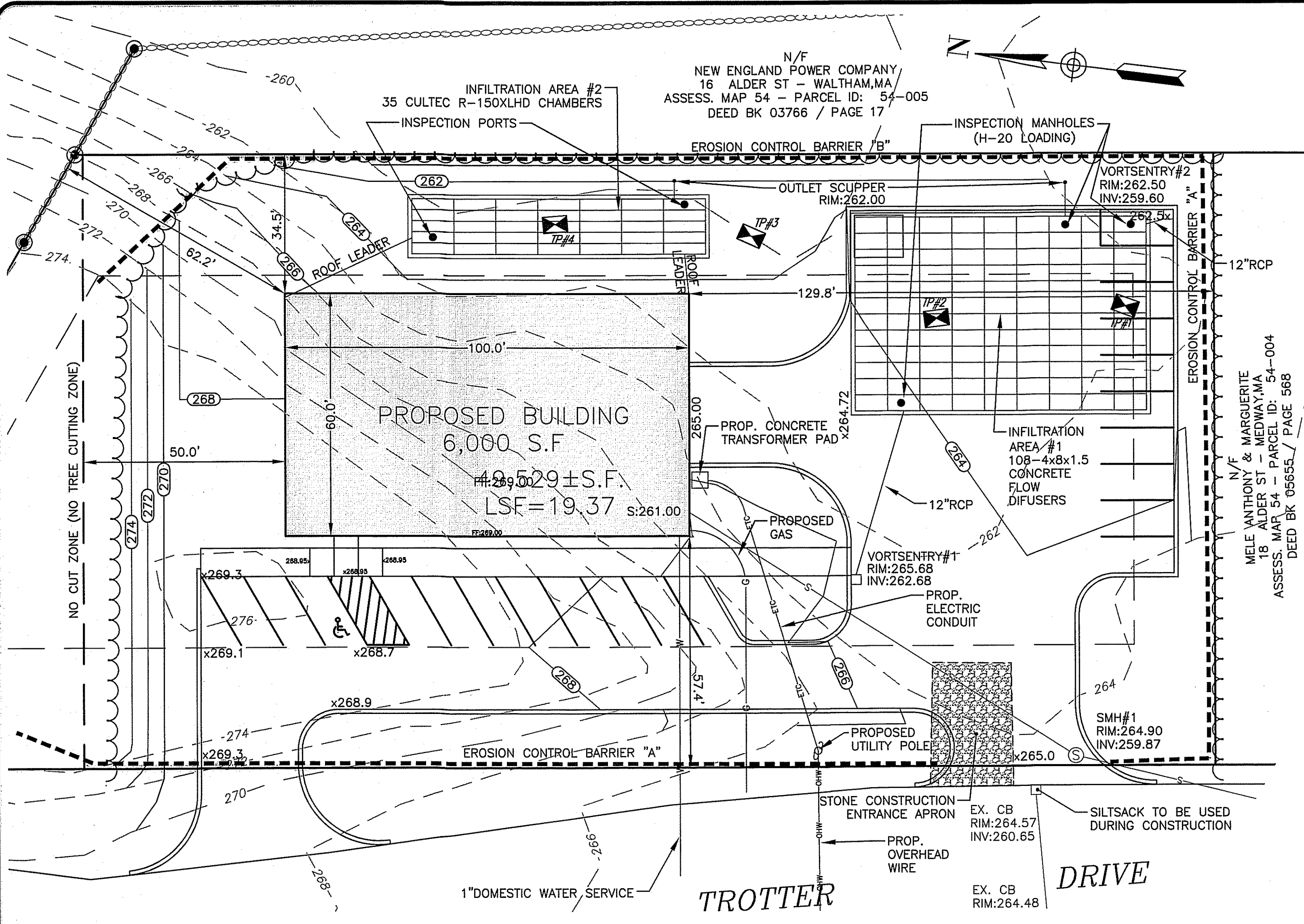
Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(800)832-5781

SITE PLAN  
9 TROTTER DRIVE  
MEDWAY, MASSACHUSETTS 02053

CLIENT: MARGUERITE K. MELE  
203 MAIN STREET  
MEDWAY, MASSACHUSETTS 02053  
APPLICANT: CTS PROPERTY MANAGEMENT  
430 FRANKLIN VILLAGE DRIVE - SUITE 177  
FRANKLIN, MASSACHUSETTS 02038

FILE NO: 3583  
DETAILS  
DATE: MARCH 26, 2018  
PLAN NUMBER: 6 6





#### TROTTER DRIVE - OPERATION AND MAINTENANCE PLAN:

##### 1. SCHEDULE OF SHORT-TERM OPERATION AND MAINTENANCE (DURING CONSTRUCTION):

- EROSION CONTROL BARRIER: THE EROSION CONTROL BARRIER SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL BE INSPECTED WEEKLY, PRIOR TO STORM EVENTS AND IMMEDIATELY AFTER STORM EVENTS TO ENSURE ITS INTEGRITY. PORTIONS OF THE EROSION CONTROL BARRIER SHALL BE REMOVED AS NECESSARY TO PREVENT EROSION.
- CONSTRUCTION COMPLETION: THE ENTIRE STORM WATER MANAGEMENT SYSTEM SHALL BE INSPECTED UPON COMPLETION OF CONSTRUCTION. PORTIONS OF THE SYSTEM CONTAINING SEDIMENTATION SHALL BE PROPERLY CLEANED AND THE SILT REMOVED.
- OWNER OF THE STORMWATER SYSTEM: \_\_\_\_\_ DATE: \_\_\_\_\_
- PERSON/ENTITY RESPONSIBLE FOR FINANCING MAINTENANCE AND EMERGENCY REPAIRS: \_\_\_\_\_
- VORTSENTRY UNIT INSPECTIONS: INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE AND IS EASILY PERFORMED. POLLUTANT DEPOSITION AND TRANSPORT MAY VARY FROM YEAR TO YEAR, AND REGULAR INSPECTIONS WILL HELP INSURE THAT THE SYSTEM IS KEPT CLEAN OUT AT THE APPROPRIATE TIME. INSPECTIONS SHOULD BE PERFORMED FOUR TIMES PER YEAR, HOWEVER MORE OR LESS FREQUENT INSPECTIONS MAY BE NECESSARY WHERE FREQUENT WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS. THE VISUAL INSPECTION SHOULD ASCERTAIN THAT THE SYSTEM COMPONENTS ARE IN WORKING ORDER AND THAT THERE ARE NO BLOCKAGES OR OBSTRUCTIONS TO INLET AND/OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO IDENTIFY ACCUMULATIONS OF HYDROCARBONS, TRASH, AND SEDIMENT IN THE SYSTEM. MEASURING POLLUTANT ACCUMULATION CAN BE DONE WITH A CALIBRATED DIPSTICK, TIPS MEASURE OR OTHER MEASURING INSTRUMENT. IT IS USEFUL AND OFTEN REQUIRED AS PART OF A PERMIT TO KEEP A RECORD OF EACH INSPECTION. (SEE THE INSPECTION AND MAINTENANCE GUIDE PROVIDED BY THE MANUFACTURER)
- CLEANING OF THE VORTSENTRY SYSTEM SHOULD BE DONE WHEN SEDIMENT ACCUMULATES AT A DEPTH OF TWO FEET WITHIN THE UNIT AND SHOULD BE DONE DURING DRY WEATHER CONDITIONS WHEN NO FLOW IS ENTERING THE SYSTEM. CLEANOUT OF THE CDS WITH A VACUUM TRUCK IS GENERALLY THE MOST EFFECTIVE, AND WHENEVER THE METHOD OF EXCAVATING POLLUTANTS FROM THE SYSTEM, SIMPLY REMOVE THE MANHOLE COVERS AND INSERT THE VACUUM HOSE INTO THE SUMP. THE SYSTEM SHOULD BE COMPLETELY DRAINED DOWN AND THE SUMP FULLY EVACUATED OF SEDIMENT. THE AREA OUTSIDE THE SCREEN SHOULD BE PUMPED OUT ALSO IF POLLUTANT BUILD-UP EXISTS IN THIS AREA.
- BUILDING GUTTERS: THE PROPOSED BUILDING WILL CONTAIN GUTTERS. ALL STORMWATER FROM ROOF RUNOFF IS DIRECTED TOWARD INFILTRATION SYSTEM LOCATED AT THE REAR OF THE BUILDING. THE DOWNSPOUTS WILL BE DIRECTED TO THE INFILTRATION TRENCHES THROUGH ROOF LEADER PIPES. GUTTERS SHALL BE CLEANED PERIODICALLY AS NEEDED AND/OR AT LEAST TWICE PER YEAR, AFTER LEAVES HAVE FALLEN IN THE FALL SEASON AND IN THE SPRING SEASON AFTER NEW LEAF GROWTH. IT MAY BE DETERMINED UPON INSPECTION THAT CLEANING MORE OFTEN MAY BE NECESSARY. DOWNSPOUT STRAINERS SHALL BE USED AT DOWNSPOUT LOCATIONS WITHIN THE GUTTERS.

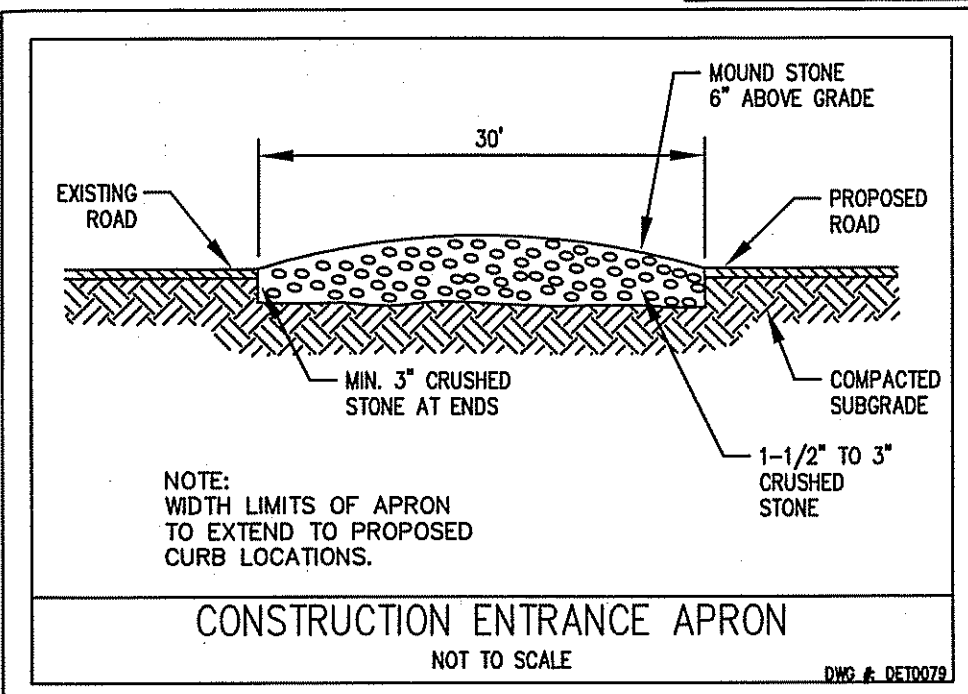
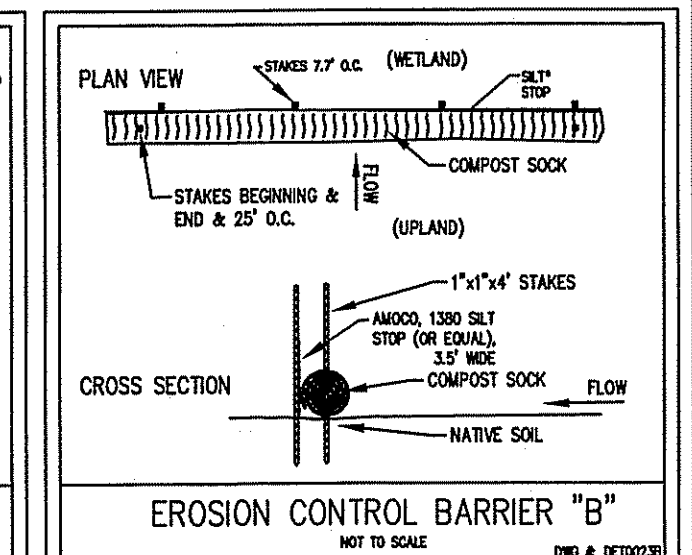
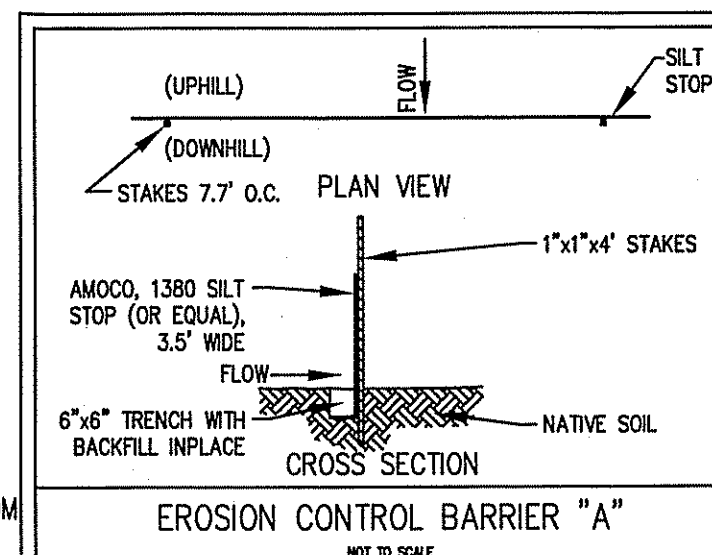
NOTE:  
UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811

#### CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, JULY 10, 2018 FOR PLAN ENTITLED, "9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS," FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.



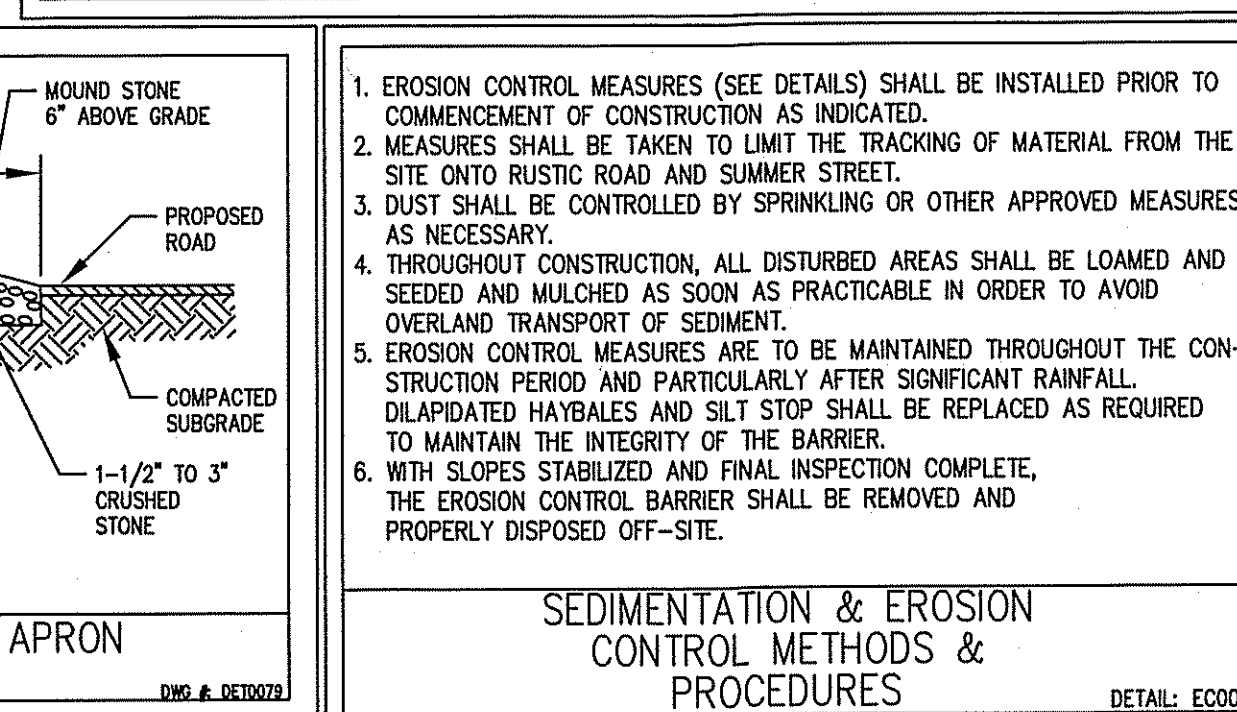
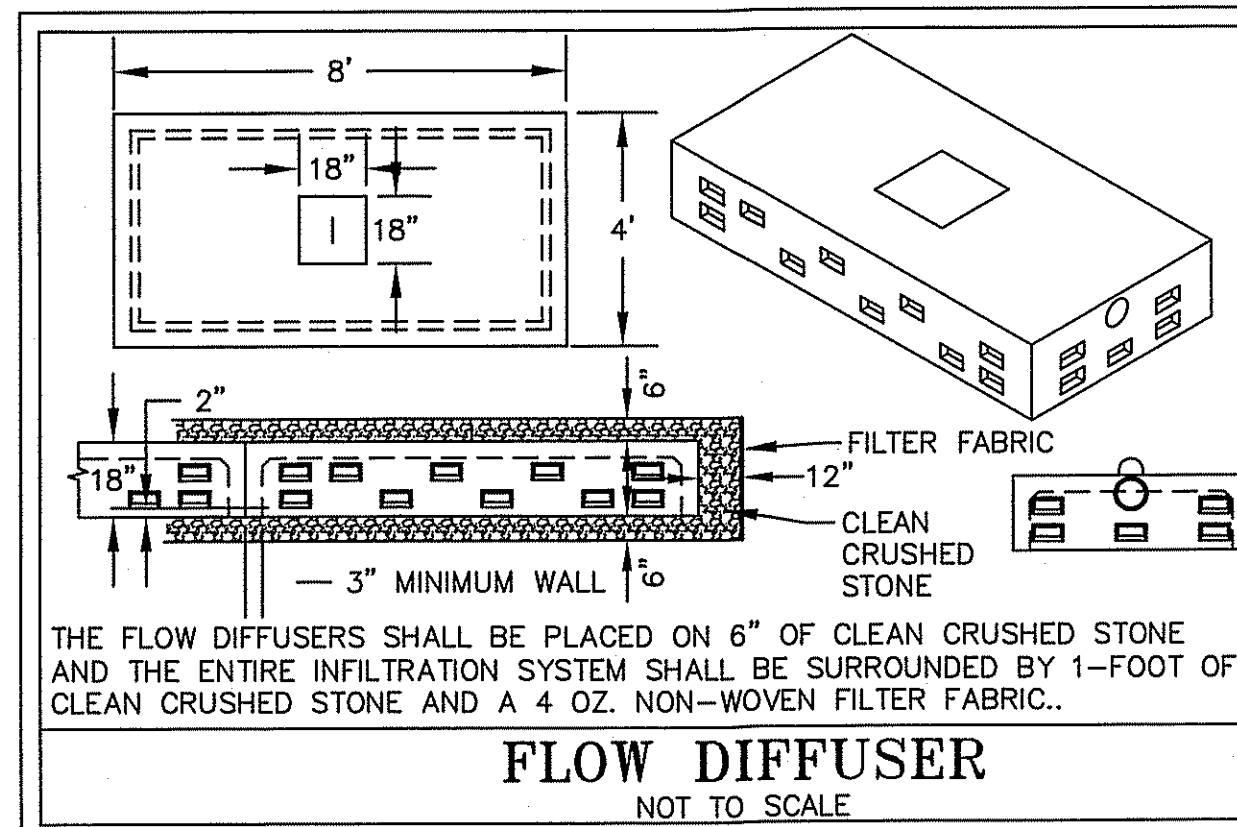
#### CONSTRUCTION PERIOD POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL PLAN:

- NAME OF PERSON AND ENTITY RESPONSIBLE FOR PLAN COMPLIANCE: \_\_\_\_\_
- PROJECT MANAGER OF 15 TROTTER DRIVE CONSTRUCTION IS THE CONTACT PERSON. CONTACT NUMBER IS \_\_\_\_\_
- CONSTRUCTION PERIOD POLLUTION PREVENTION MEASURES: AS DEFINED WITHIN.
- EROSION AND SEDIMENTATION CONTROL PLAN DRAWINGS: REFER TO PLAN VIEW FOR EROSION CONTROL MEASURE LOCATIONS
- DETAIL DRAWINGS AND SPECIFICATIONS FOR EROSION CONTROL: REFER TO INDIVIDUAL DETAILS FOR INSTALLATION OF EROSION CONTROL MEASURES.
- VEGETATION PLANNING: THE PROPOSED CONSTRUCTION ACTIVITIES WILL BE PERFORMED WITHIN THE LIMITS OF WORK AREA (SILTATION BARRIER BEING THE LIMIT OF WORK). THE FINAL PROPOSED SURFACE WILL CONSIST OF PAVING AND GRASSED AREAS (REFER TO SEQUENCING BELOW).
- SITE DEVELOPMENT PLAN: REFER TO PLAN VIEW & APPROVED SITE PLANS.
- CONSTRUCTION SEQUENCING PLAN: THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED:
  - EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.
  - ANTI-TRACKING STONE CONSTRUCTION ENTRANCE.
  - CLEAR AND GRUB.
  - STRIP AND STOCKPILE TOPSOIL. PROVIDE TEMPORARY SEEDING OF STOCKPILE. PLACE SILTATION BARRIER AROUND STOCKPILE AND PLACE TARPS OVER THE STOCKPILE IF NECESSARY.
  - ROUGH GRADE PROPOSED SITE.
  - EXCAVATE AND CONSTRUCT UTILITIES SYSTEMS. REMOVE UNUSABLE MATERIAL FROM SITE.
  - INSTALL WATER PIPE, DRAINAGE, VORTSENTRY UNITS, AND OTHER UTILITIES.
  - EROSION CONTROL MEASURES AT NEW DRAINAGE INLETS.
  - PLACE BASE PAVING.
  - CONSTRUCT BUILDING.
  - FINAL GRADING.
  - LOAN AND SEED ALL DISTURBED AREAS AND LANDSCAPE YARDS.
  - FINAL TOP COURSE PAVING.
  - REMOVE EROSION CONTROL PROVISIONS UPON STABILIZATION AND FINAL SITE INSPECTION BY APPROVING AUTHORITY.
- SEQUENCING OF EROSION AND SEDIMENTATION CONTROLS: EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.
- OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS: THE CONTRACTOR/OPERATOR IS RESPONSIBLE FOR MAINTAINING A STABLE SITE. THE OPERATOR SHALL EMPLOY EROSION AND SEDIMENTATION CONTROLS TO PREVENT EROSION AND SEDIMENT RELEASES BEYOND THE SEDIMENT BARRIER. THE EROSION CONTROL MEASURES INDICATED ARE THE MINIMUM THAT SHOULD BE EMPLOYED. THE CONTRACTOR/OPERATOR SHALL EMPLOY ADDITIONAL CONTROLS AS THE ON-SITE CONSTRUCTION EXPERIENCE DICTATES.
- INSPECTION SCHEDULE:
  - INSPECTIONS SHALL TAKE PLACE AT LEAST ONCE EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.25" OF RAIN OR GREATER.
  - INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE ENTIRE SITE IS TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS OR EXTREMELY DRY CONDITIONS.
  - INSPECTIONS MUST BE CONDUCTED BY A PROPERLY AUTHORIZED QUALIFIED PERSONNEL.
  - INSPECTIONS SHALL INCLUDE ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION ACTIVITIES. INSPECTIONS MUST LOOK FOR EVIDENCE OF POLLUTANTS OR POTENTIAL POLLUTANTS ENTERING THE STORM WATER SYSTEM. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED TO ENSURE PROPER OPERATION. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
- MAINTENANCE SCHEDULE: REPORTS OF SUMMARIZING THE INSPECTIONS SHOULD BE KEPT AS PART OF THIS CONSTRUCTION PERIOD POLLUTION PREVENTION AND SOIL EROSION AND SEDIMENTATION CONTROL PLAN. AT A MINIMUM THE INSPECTION REPORTS SHALL INCLUDE:
  - INSPECTION DATE
  - NAME, TITLE AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION
  - WEATHER CONDITIONS AT THE TIME OF INSPECTION AND SINCE THE PREVIOUS INSPECTION, INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT THAT OCCURRED, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT, AND WHETHER ANY DISCHARGES HAVE OCCURRED;
  - DISCHARGES THAT OCCUR AT THE TIME OF INSPECTION;
  - LOCATION OF DISCHARGES OR SEDIMENTATION FROM THE SITE;
  - LOCATION OF "BMP" THAT NEED TO BE MAINTAINED;
  - LOCATION OF "BMP" THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
  - LOCATIONS WHERE ADDITIONAL "BMP" ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THIS PLAN;
  - ALL REPORTS SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS SUPERINTENDENT ON A WHEN REQUESTED DURING THE CONSTRUCTION PERIOD, AND MAINTAINED FOR THREE YEARS AFTER FINAL CONSTRUCTION PROJECT CLOSEOUT IS COMPLETE.

#### CONSTRUCTION NOTES

- EROSION CONTROL GRASS MIXTURE (SIDE SLOPE GREATER THAN 4 HORIZONTAL TO 1 VERTICAL) FOLLOWING COMPLETION OF GRADING. THE FOLLOWING SEED MIX SHALL BE APPLIED:
 

TYPE OF SEED	% BY WEIGHT
CREeping RED FESCUE	30
TALL FESCUE	30
WHITE DUTCH CLOVER	30
RED TOP	10
- SEED AT THE RATE OF 2#/2,000 SF  
USE THE ABOVE MIX AT THE RATE OF 50#/ACRE AND WITH 1/2 BUSH/acre OF WINTER RYE
- ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDING WITH A MINIMUM OF 6" OF TOP SOIL SPREAD EVENLY THROUGHOUT THE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.

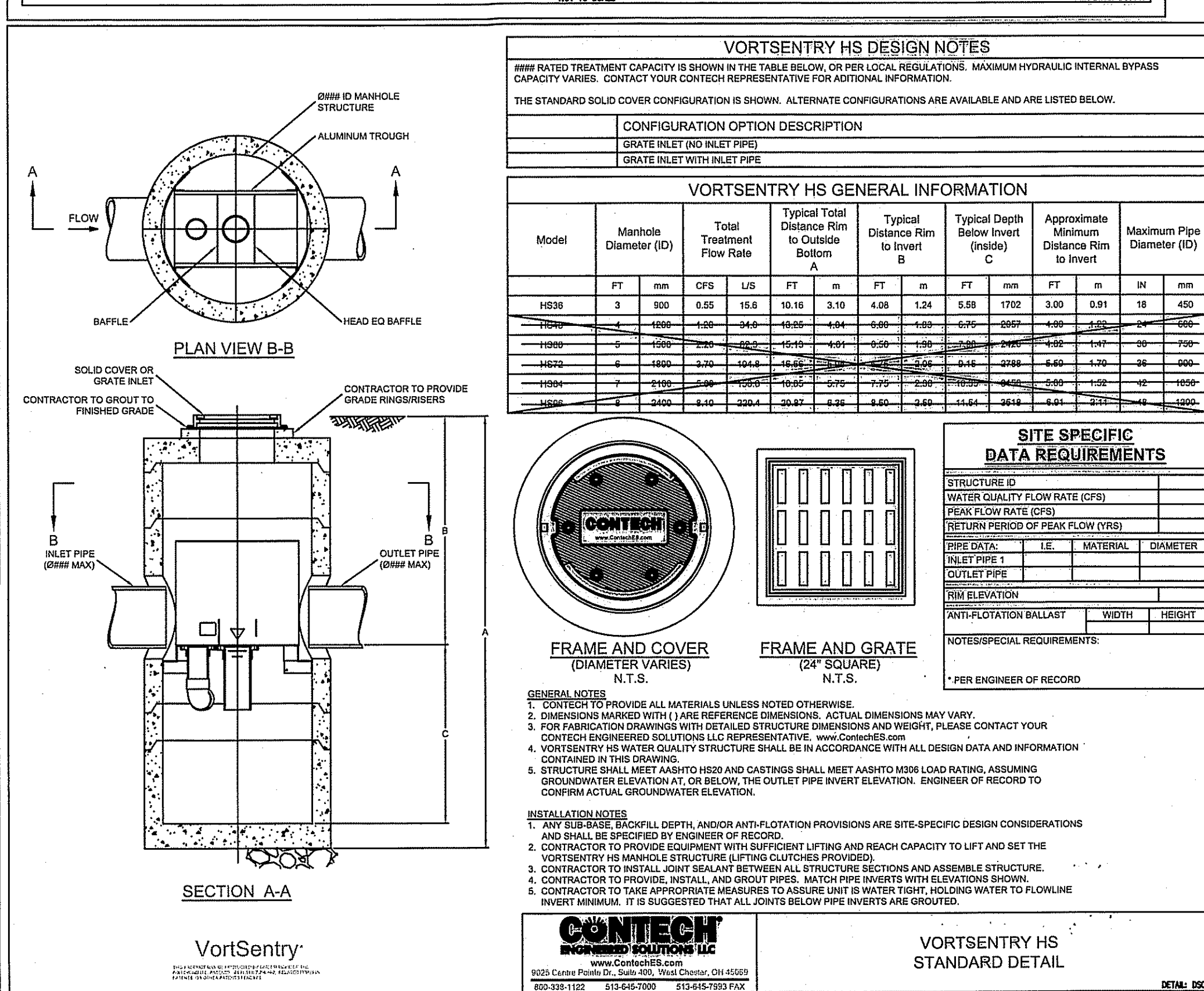
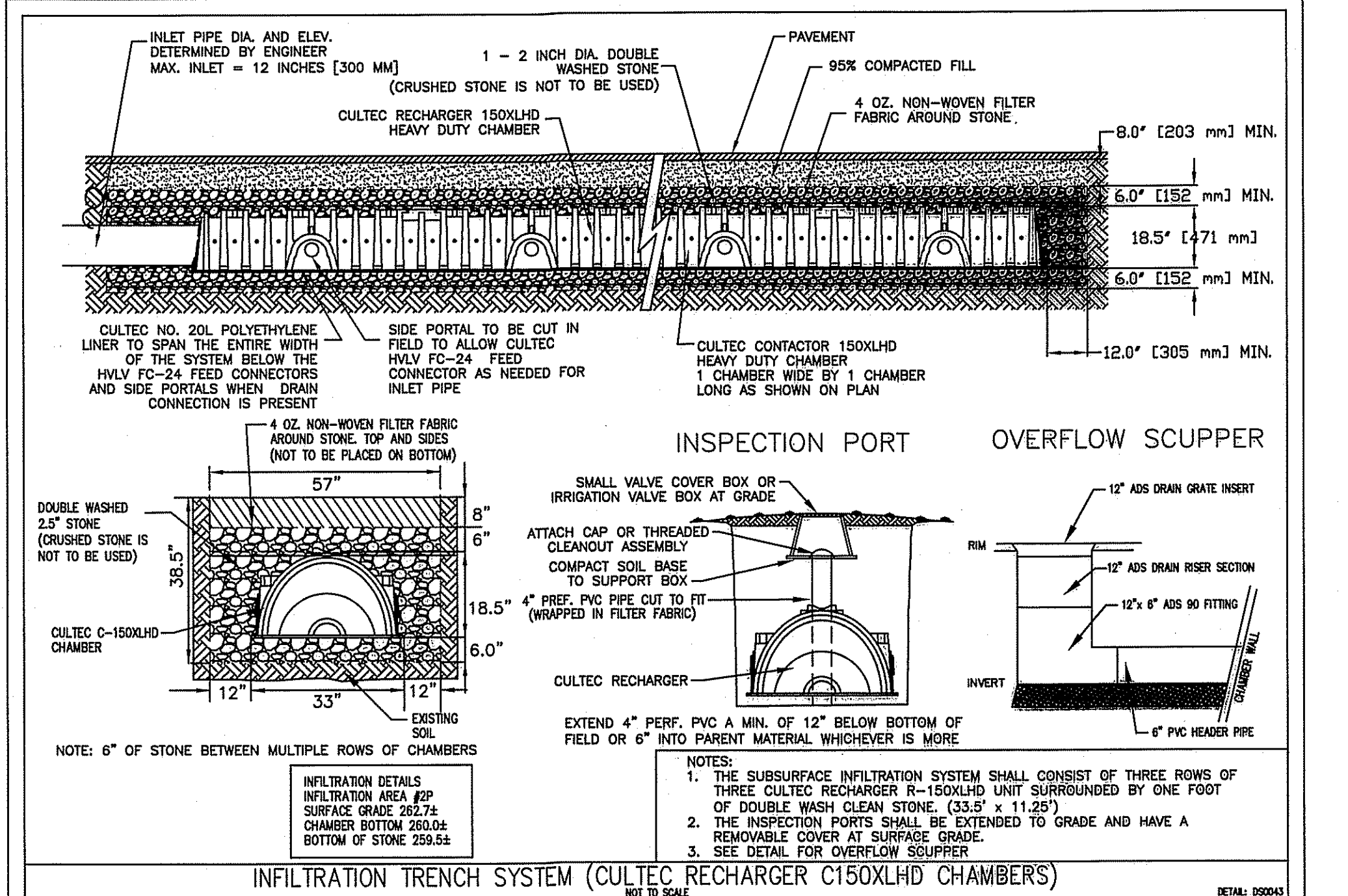
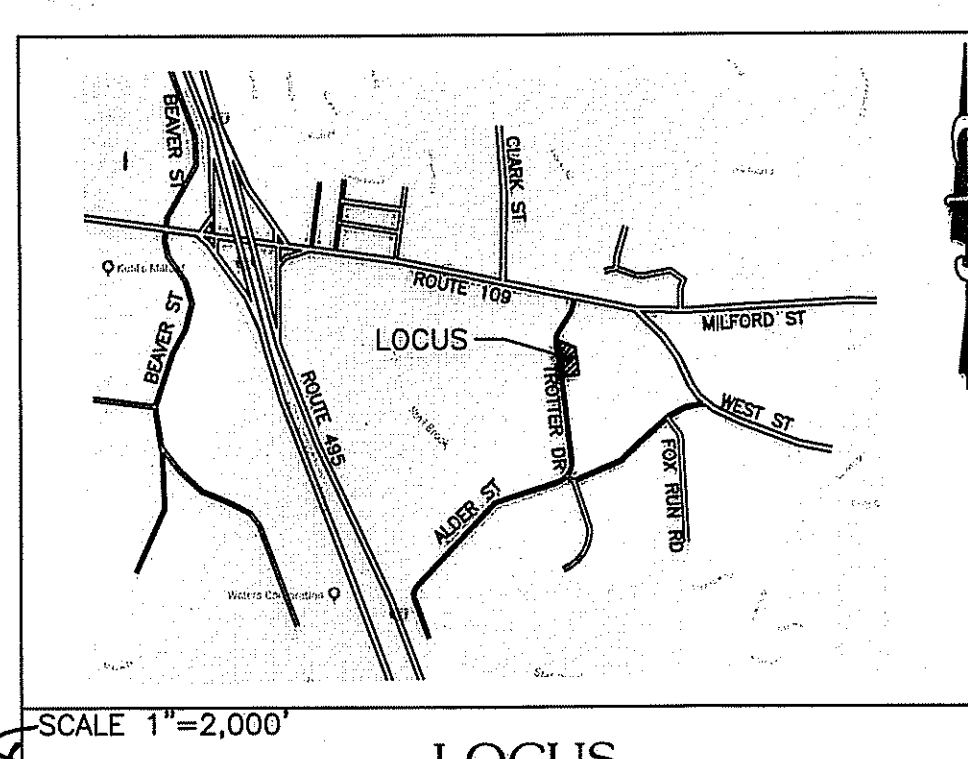


APPROVED BY:  
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

*Signature*

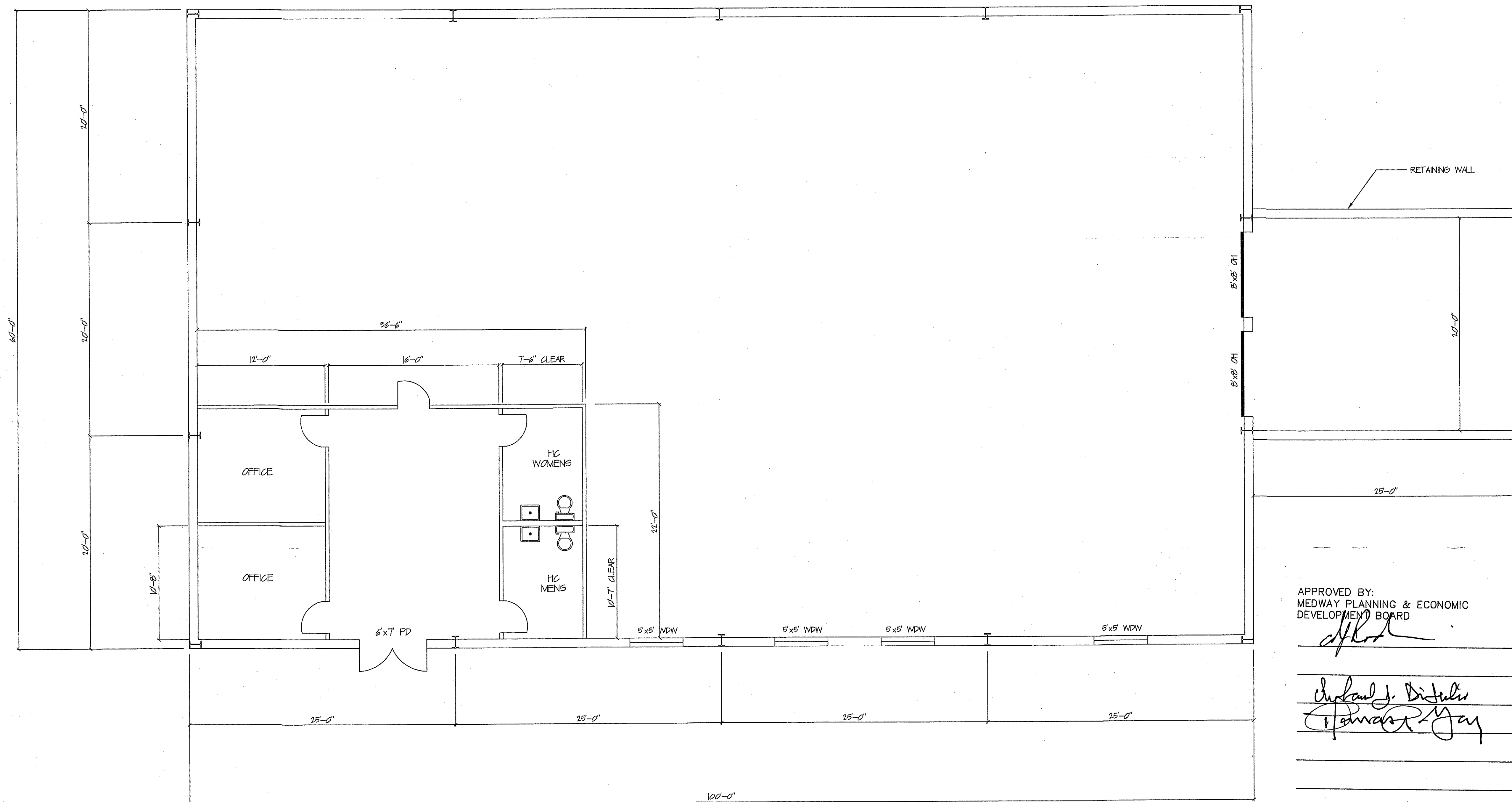
August 14, 2018

APPROVAL DATE: 7-10-18



ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE FAILURE OF THE CONTRACTORS EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.	REVIEWS: 2 8/9/18 ZRB 1 8/12/18 PSB 0 8/26/18 WML REV 1 DATE DESCRIPTION	ADDRESS CONDITIONS OF APPROVAL PEER REVIEW COMMENTS SITE PLAN REVIEW	PREPARED BY: WALTER M. LEWINSKI CIVIL No. 33327 PROFESSIONAL ENGINEER 8-9-18	PROJECT: Engineering Design Consultants, Inc. 32 Turnpike Road Southborough, Massachusetts ph:(508) 480-0228 fax:(800)832-5781	SITE PLAN 9 TROTTER DRIVE MEDWAY, MASSACHUSETTS 02053	TITLE: STORMWATER POLLUTION PREVENTION PLAN SITE PLAN OWNER: MARGUERITE K. MELE 203 MAIN STREET MEDWAY, MASSACHUSETTS 02053 APPLICANT: CTS PROPERTY MANAGEMENT 430 FRANKLIN VILLAGE DRIVE - SUITE 177 FRANKLIN, MASSACHUSETTS 02038	FILE NO. 3583 STORMWATER POLLUTION PREVENTION PLAN DATE: MARCH 26, 2018 DRAFTING PLAN NO.: 1 of 1 1
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FLOOR PLAN

APPROVED BY:  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

*[Signature]*

*Anthony J. DiStefano*  
*Thomas J. Jay*

DATE: August 14, 2018

APPROVAL DATE: July 10, 2018

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, JULY 10, 2018 FOR PLAN ENTITLED, '9 TROTTER DRIVE, A SITE PLAN IN MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

General Notes

TED GREENLAW  
183 COLUMBIA STREET  
HANOVER, MA

No.	1	Colors Details	8/9/18
		Revision/Issue	Date

Firm Name and Address

PRIGGEN STEEL  
133 FRANKLIN STREET  
WRENTHAM, MA

Project Name and Address

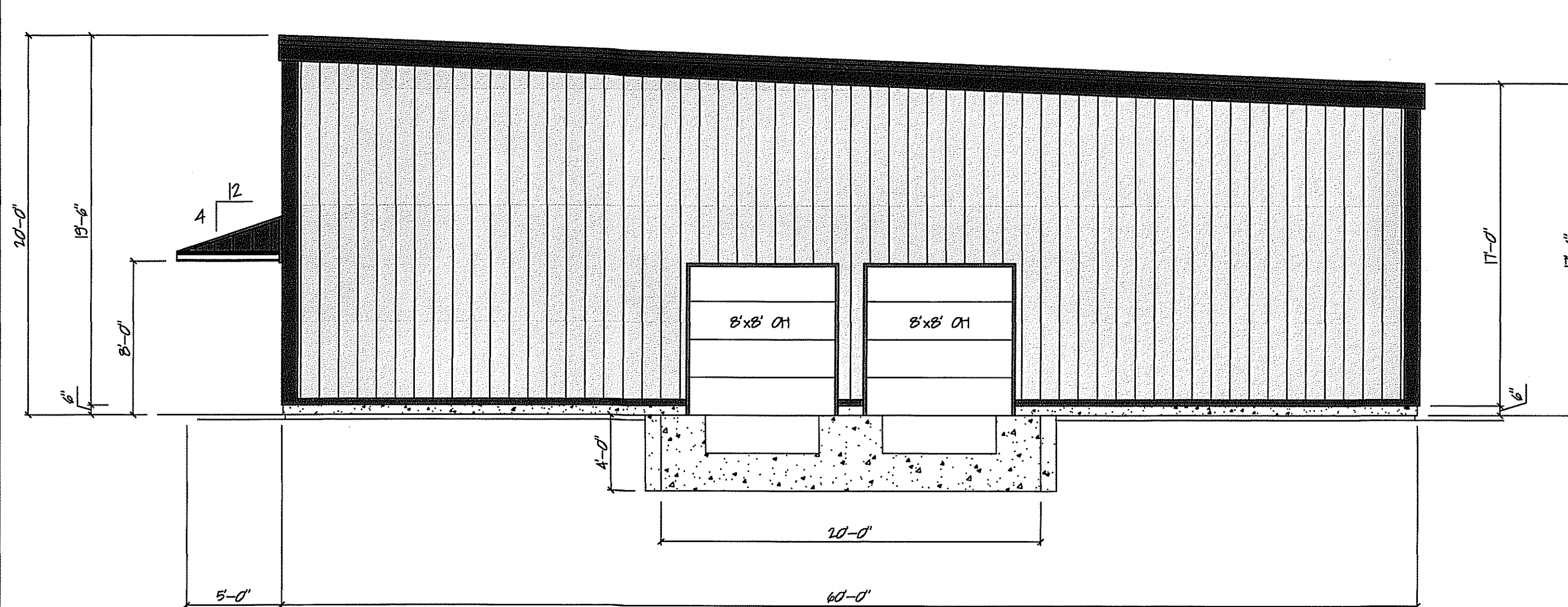
CTS  
430 FRANKLIN VILLAGE DR  
FRANKLIN, MA

Project	FLOOR	Sheet	S-1
Date	4/16/18		
Scale	3/16" = 1'-0"		

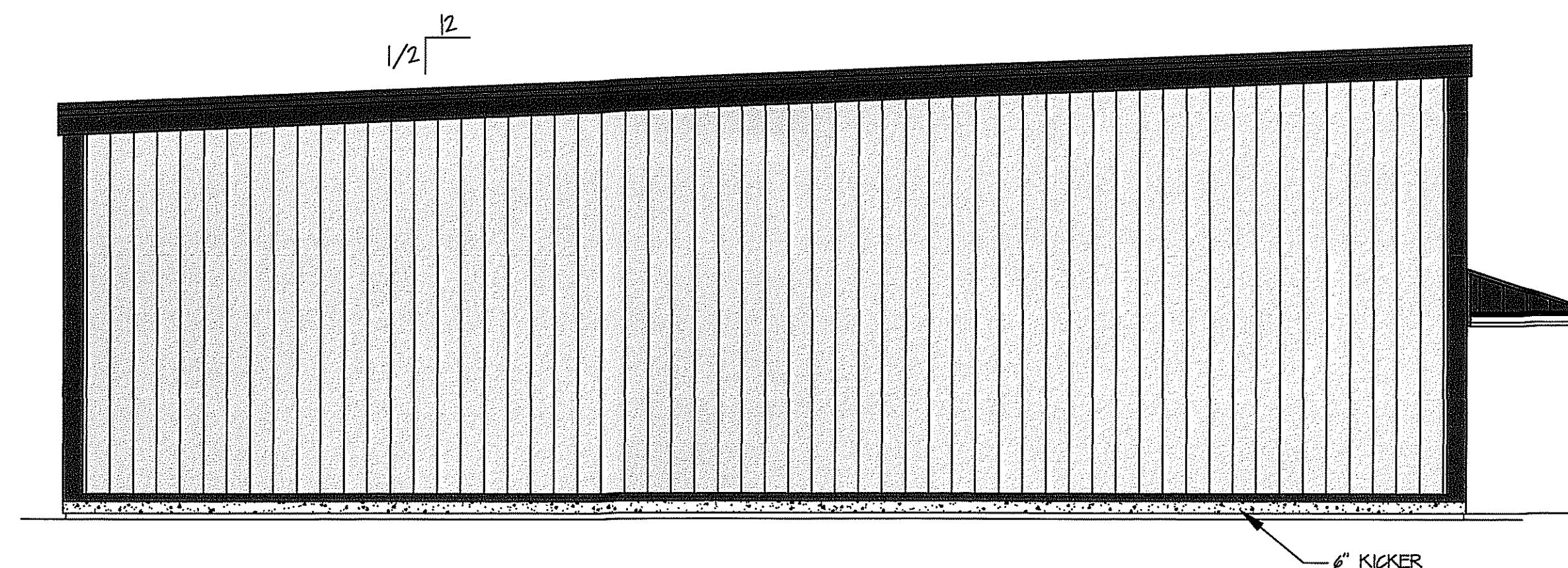




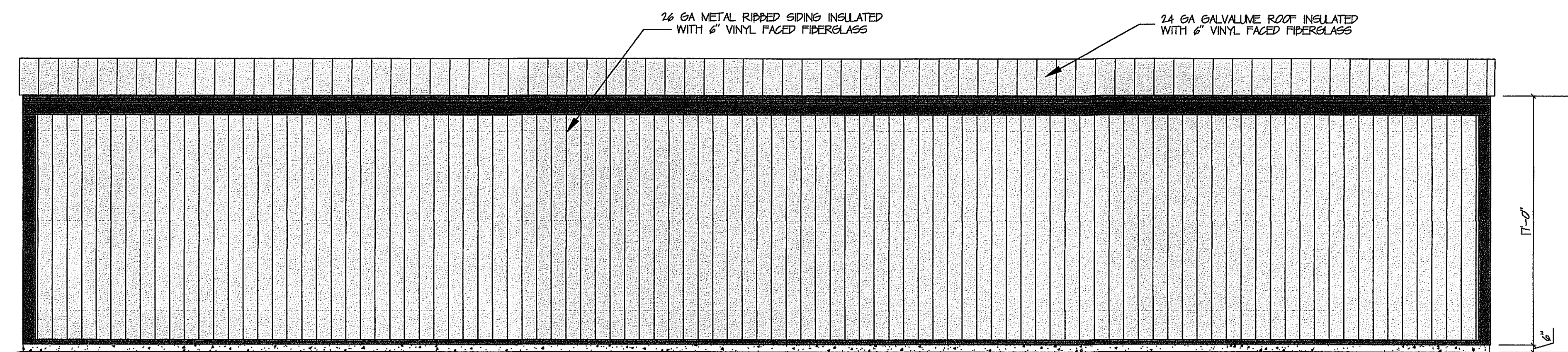
FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

APPROVED BY:  
MEDWAY PLANNING & ECONOMIC  
DEVELOPMENT BOARD

*adj Rod*

*Michael J. DiJulio*  
*Fernando Jay*

DATE: August 14, 2018

APPROVAL DATE: July 10, 2018

CERTIFICATE OF VOTE

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General Notes

TED GREENLAW  
183 COLUMBIA STREET  
HANOVER, MA

1	COLONSDetails	8/7/18
No.	Revision/Issue	Date

Firm Name and Address

PRIGGEN STEEL  
133 FRANKLIN STREET  
WRENTHAM, MA

Project Name and Address

CTS  
430 FRANKLIN VILLAGE DR  
FRANKLIN, MA

Project  
ELEVATION

Date

4/16/18

Scale

3/16" = 1'-0"

Sheet

S-2