

EVERGREEN VILLAGE

ZONING TABLE-AR-II RESIDENTIAL II DISTRICT

22 EVERGREEN STREET MEDWAY, MASSACHUSETTS

OWNER/APPLICANT:

SAMPSON POND LLC
P.O. BOX 5
MEDWAY, MA 02053

ARCHITECT:

DANIEL LEWIS AIA LLED AP
332 WHITNEY STREET
NORTHBOROUGH, MA 01532

LANDSCAPE DESIGN:

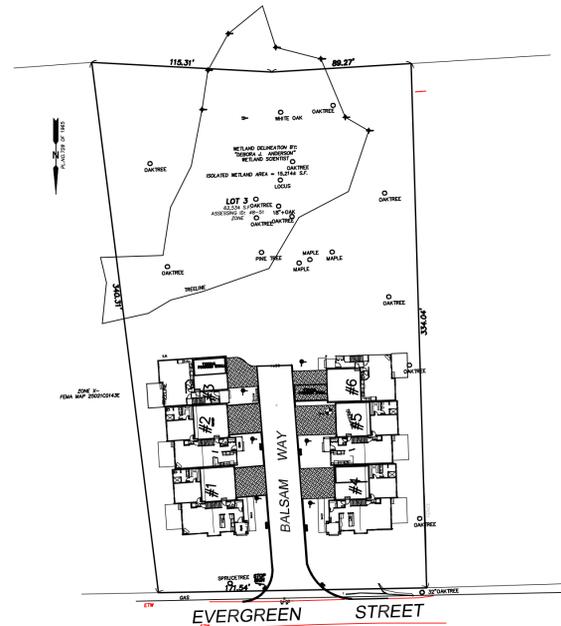
WDA DESIGN GROUP
31 EAST MAIN STREET
WESTBOROUGH MA 01581

SURVEY:

CHENEY ENGINEERING CO, INC.
53 MELLEEN STREET
NEEDHAM MA 02494

ENGINEER:

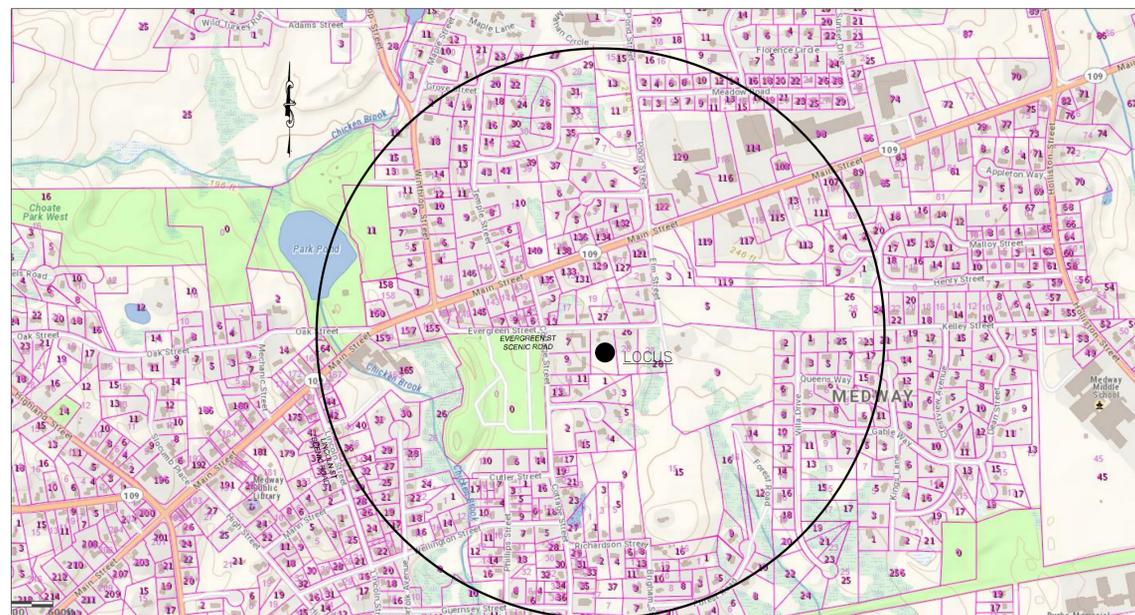
RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760



	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	150	171+
LOT WIDTH	NA	188+
FRONT SETBACK	35	35
SIDE SETBACK	15	15
REAR SETBACK	15	15
BLDG. HT.	40'	38'
LOT COVERAGE (BUILDINGS)	NA	16.5%
LOT COVERAGE (IMPERVIOUS)	NA	29.0%
PARKING	1.5/UNIT	2/UNIT

PLAN INDEX

TITLE SHEET / SITE CONTENT	T-1
EXISTING CONDITIONS	S-1
SITE LAYOUT	S-2
SITE GRADING	S-3
SITE DRAINAGE	S-4
SITE UTILITIES	S-5
SIGHT DISTANCE PLAN	S-6
VEHICLE ACCESS PLAN	S-7
DRAINAGE DETAILS	D-1
SITE DETAILS	D-2
SITE DETAILS	D-3
LANDSCAPING	L-1
LIGHTING	L-2
ARCHITECTURAL ELEVATIONS	A-1
ELEVATIONS	A-2
1ST FLOOR PLANS	A-3
2ND FLOOR PLANS	A-4
SURVEYORS PLAN	
EROSION CONTROL PLAN	E-1



LOCUS MAP
1" = 300'

LOT 3
22 EVERGREEN STREET
ASSESSING ID: 48-51
ZONE: AR-2
DISTRICT

AUOD - Waivers REQUESTED -

ADD. Section 6.2.2

Subsection 604-42 - The Prohibition of curb cuts.

Section 604-47 - Requirement for bicycle parking. Bicycle parking is anticipated to be within the unit garages.

Site Plan Regulations

Section 905-2.2.3 90 Degree Intersection of driveway to street requirement. Proposed at 90 degree to provide better site layout.

Section 905-2.2.6 Sidewalk requirement. Proposed no side walk in keeping with neighborhood streets and rural appearance.

Section 905-4 B permeation testing requirement. certified soil evaluation were conducted as per industry norm.

Section 905-4 E Granite Curbing requirement. Proposed curbing beyond driveway entrance in bituminous curbing.

Section 905-5 I Travel Lanes 24' wide, due to tight site conditions, travel lanes are reduced to 22', and parking located only driveways.

Section 905-9 Parking Shade trees- due to site constraints no off street parking areas are proposed.



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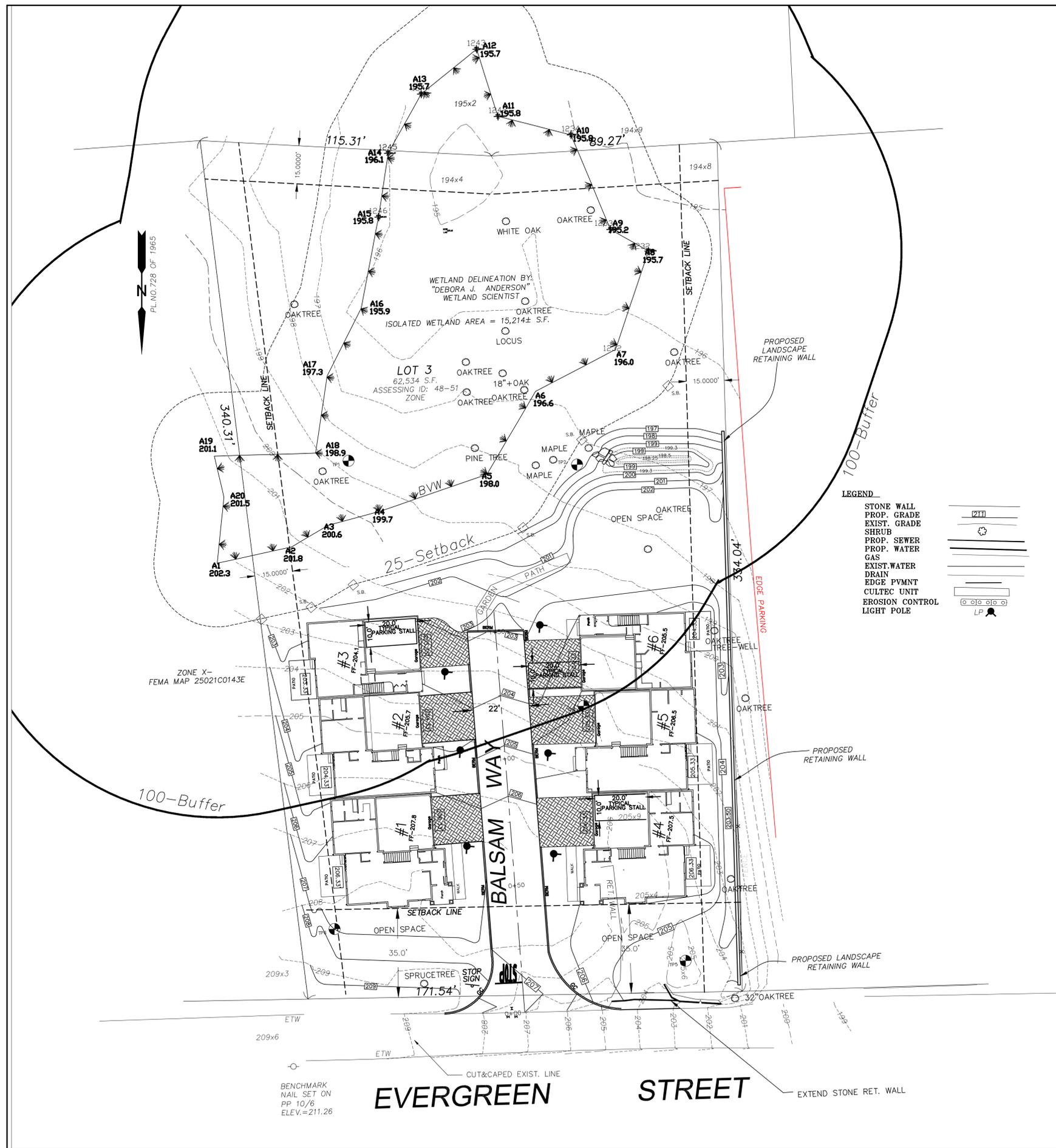
ABUTTERS LOCUS MAP
1" = 200'

MULTIFAMILY HOUSING TABLE

	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	50	171+
UNIT DENSITY	12	6
AFFORDABLE UNITS	1	1
BLDG. HT.	40'	38'
OPEN SPACE	15%	75%
PARKING SPACES	12	23

DATE ISSUED:
SEPT 5, 2019

DATE REVISED:
NOV 20, 2019
FEB. 6, 2020



GENERAL SITE NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSHEET PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
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REVISIONS

No.	DATE	DESCRIPTION
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2.	12-3-19	TOWN COMMENTS
3.	2-6-20	TOWN & PEER REVIEW COMMENTS

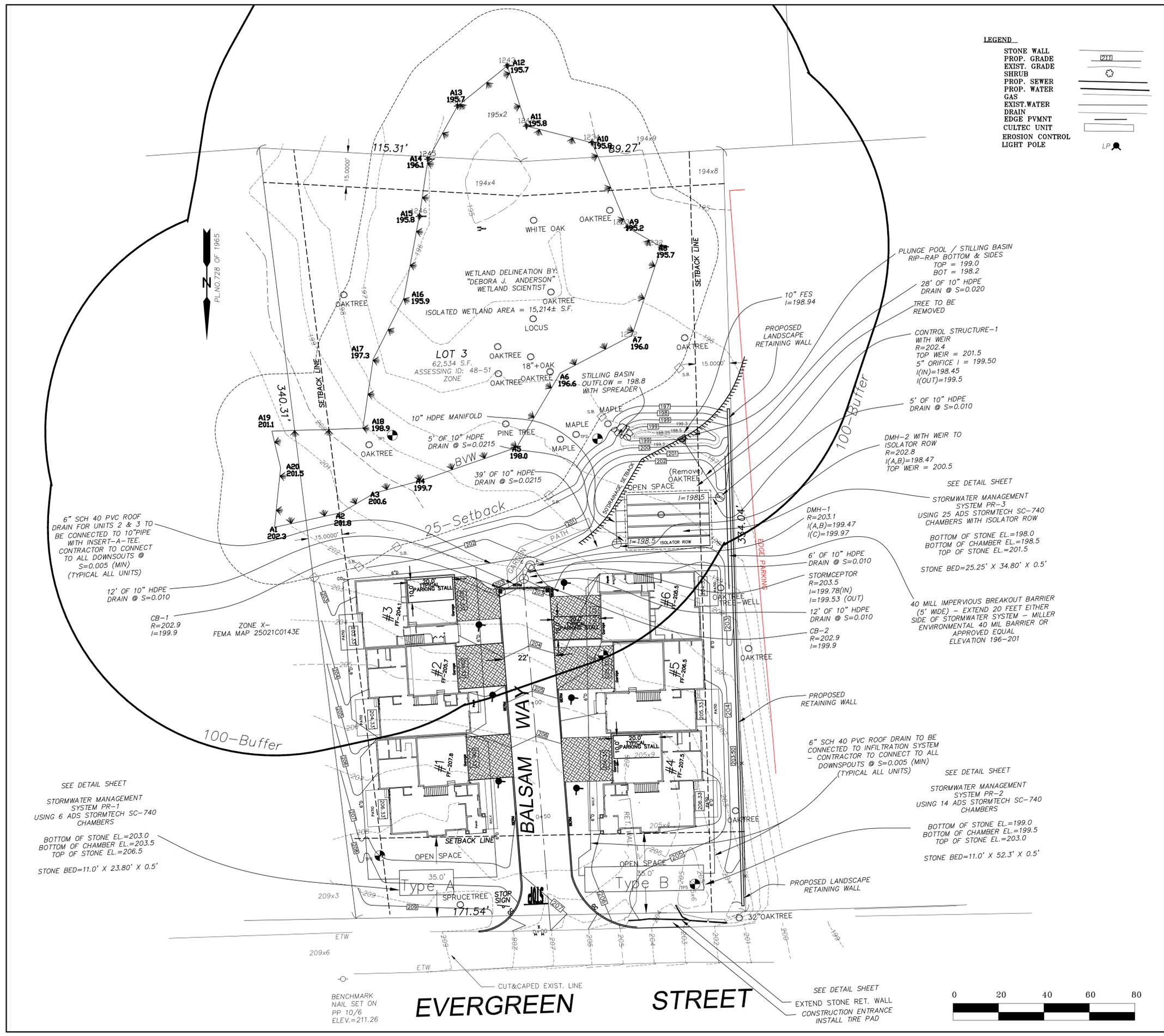
PROPOSED SITE GRADING PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

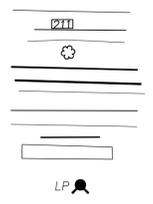
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PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: SEPT 2, .2019 **S-3**



- LEGEND**
- STONE WALL
 - PROP. GRADE
 - EXIST. GRADE
 - SHRUB
 - PROP. SEWER
 - PROP. WATER
 - GAS
 - EXIST. WATER
 - DRAIN
 - EDGE FVMNT
 - CULTEC UNIT
 - EROSION CONTROL
 - LIGHT POLE



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APPROVED BY PLANNING BOARD
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PROPOSED SITE DRAINAGE PLAN
 IN
 MEDWAY, MASSACHUSETTS
EVERGREEN VILLAGE
 22 EVERGREEN STREET

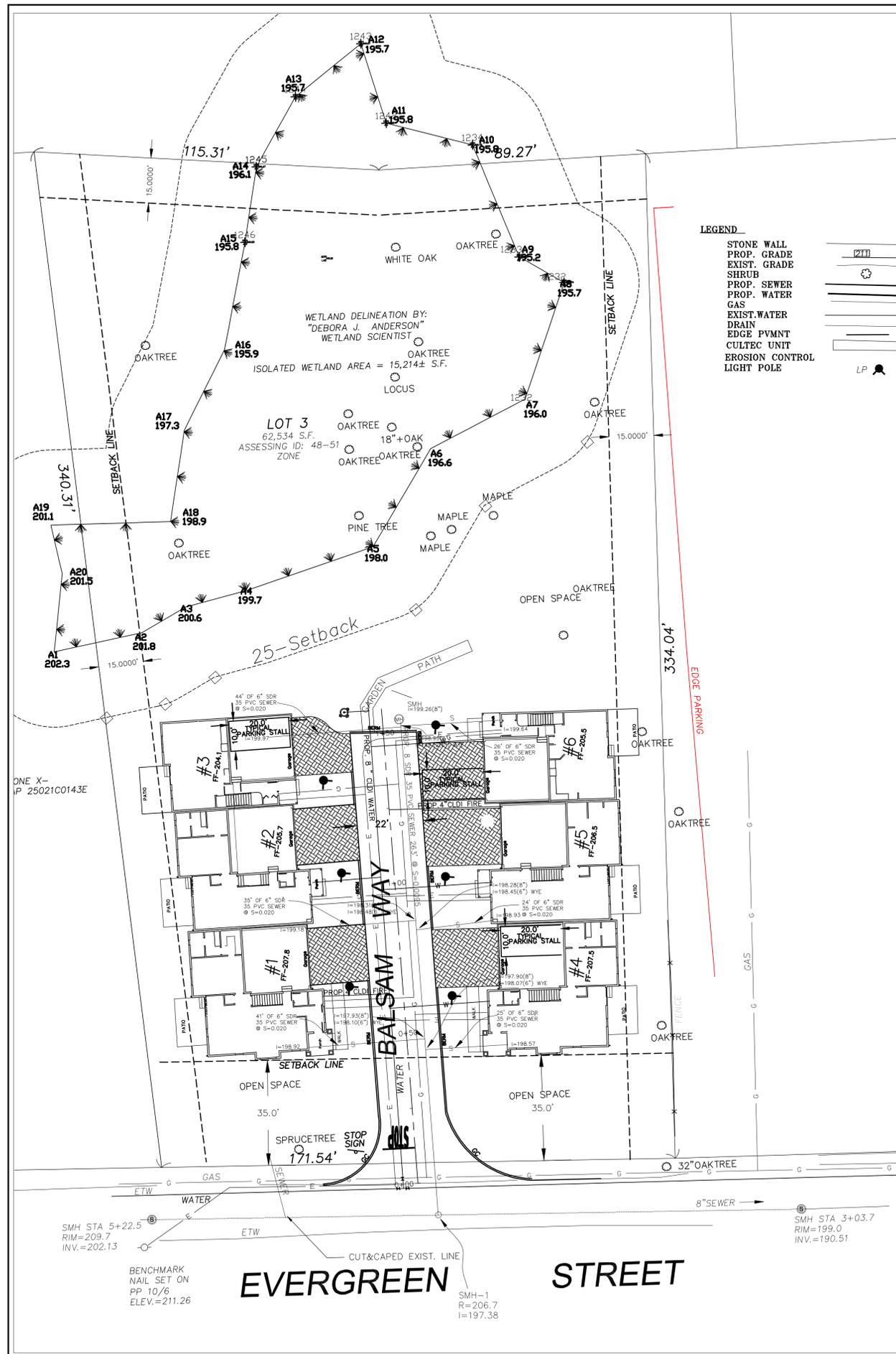
PREPARED FOR: **SAMPSON POND LLC**
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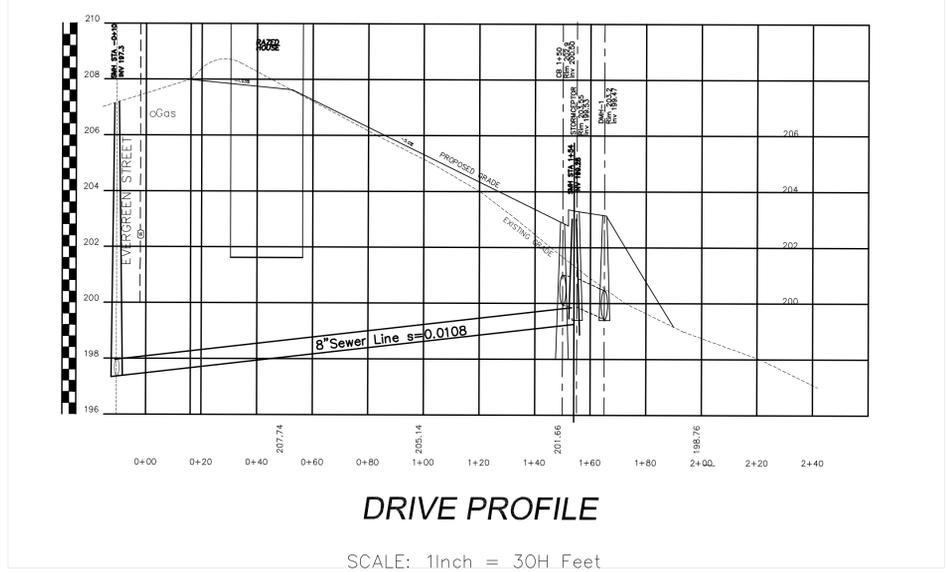
DRAWING SCALE: 1 inch = 20 feet
 PROJECT NUMBER: 2616
 DATE: JAN.2019 S-4

FOR REGISTRY USE





- LEGEND**
- STONE WALL
 - PROP. GRADE
 - EXIST. GRADE
 - SHRUB
 - PROP. SEWER
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 - GAS
 - EXIST. WATER
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- UTILITY NOTES:**
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 - 2) PROPERTY LINES TO BE VERIFIED BY CONTRACTOR.
 - 3) ALL PROPOSED UTILITY SERVICES TO BE MADE IN ACCORDANCE WITH LOCAL REQUIREMENTS, INCLUDING TOWN OF MEDWAY WATER & SEWER REGULATIONS 2017 (OR LATEST EDITION).
 - 4) STORMWATER PIPING SHALL BE HDPE RATED FOR H20 LOADING.
 - 5) ELECTRICAL; COMPANY SHALL DETERMINE TRANSFORMER LOCATIONS AND FINAL UNDERGROUND WIRING.
 - 6) FIRE WATER SERVICE SIZING TO BE PROVIDED BY SPRINKLER SYSTEM DESIGN ENGINEER.

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**PROPOSED
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IN
MEDWAY, MASSACHUSETTS**

**EVERGREEN VILLAGE
22 EVERGREEN STREET**

PREPARED FOR: **SAMPSON POND LLC
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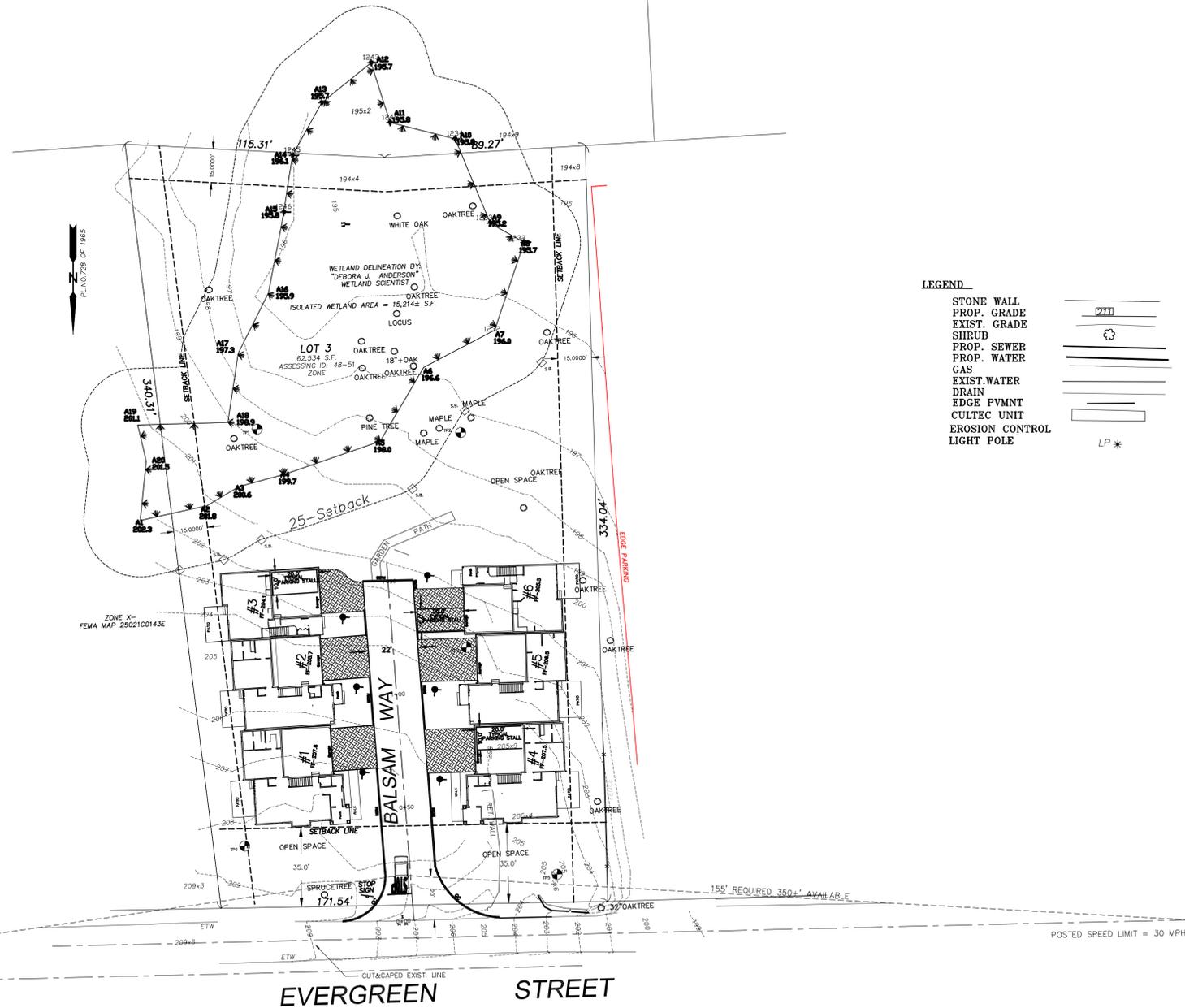
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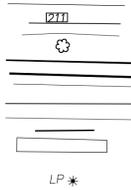
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**PROPOSED
SIGHT DISTANCE PLAN
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**EVERGREEN VILLAGE
22 EVERGREEN STREET**

PREPARED FOR:
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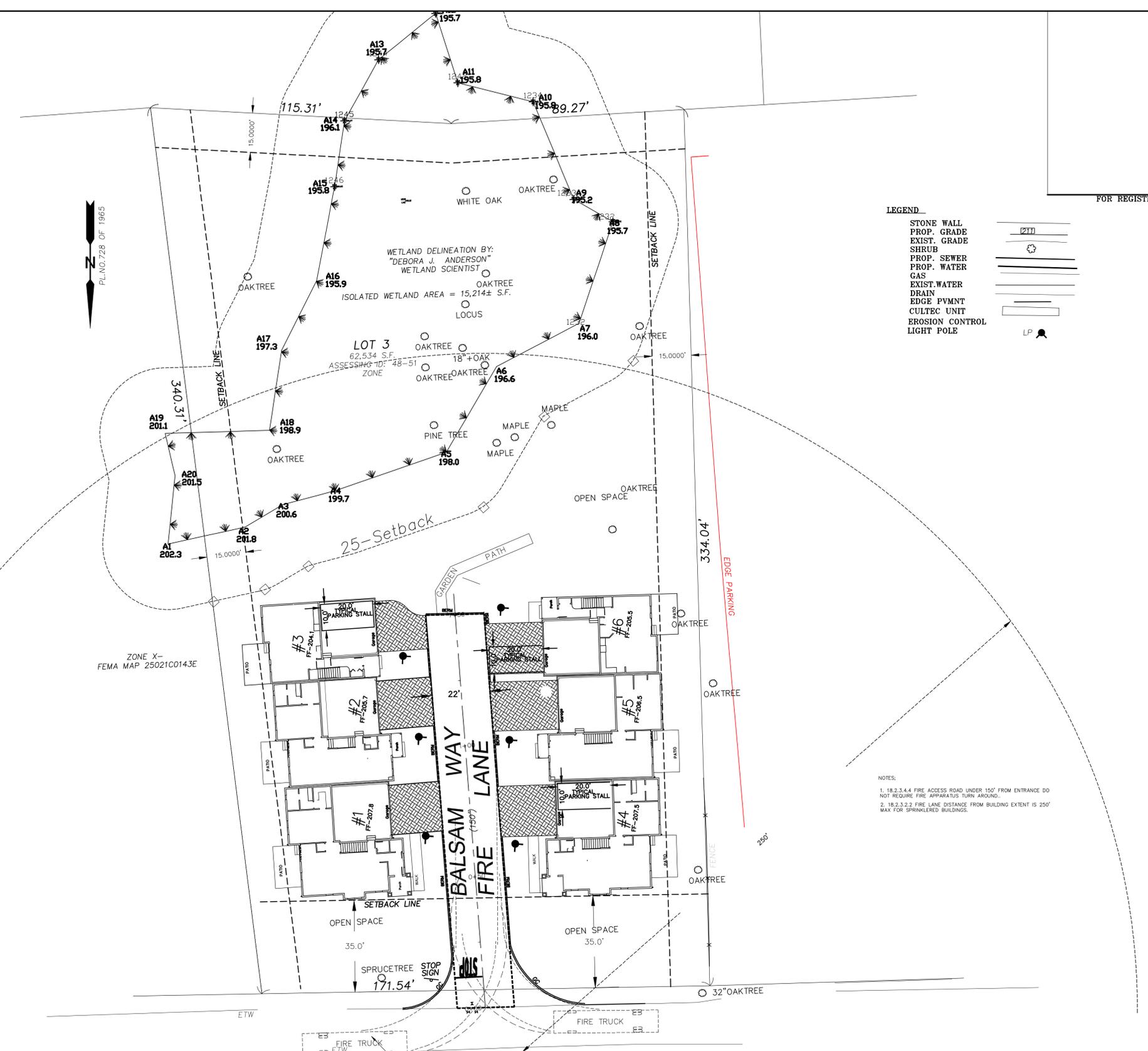




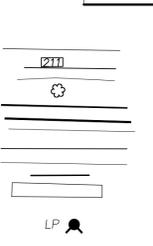
ZONE X-
FEMA MAP 25021C0143E

BENCHMARK
NAIL SET ON
PP 10/6
ELEV.=211.26

EVERGREEN STREET



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FOR REGISTRY USE

- NOTES:**
- 18.2.3.4.4 FIRE ACCESS ROAD UNDER 150' FROM ENTRANCE DO NOT REQUIRE FIRE APPARATUS TURN AROUND.
 - 18.2.3.2.2 FIRE LANE DISTANCE FROM BUILDING EXTENT IS 250' MAX FOR SPRINKLERED BUILDINGS.

GENERAL SITE NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSHEET PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 (1(888)DIG-SAFE).

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED BY PLANNING BOARD
DATE: _____



REVISIONS

No.	DATE	DESCRIPTION
1.	10-20-19	FIRE LANE ADJUSTMENT
3.	2-6-20	TOWN & PEER REVIEW COMMENTS

**PROPOSED EMERGENCY
VEHICLE ACCESS PLAN**
IN
MEDWAY, MASSACHUSETTS

**EVERGREEN VILLAGE
22 EVERGREEN STREET**

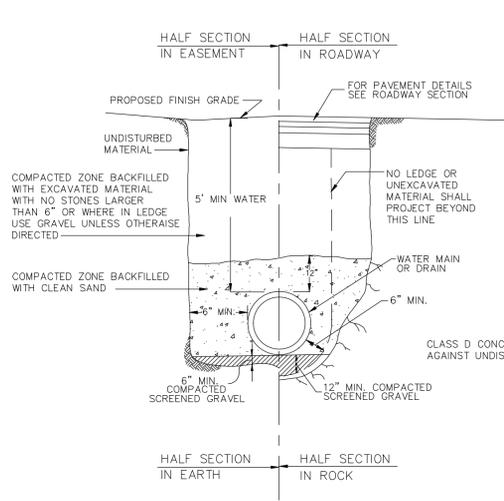
PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

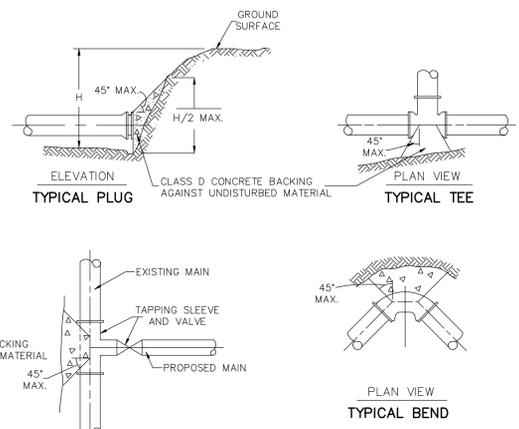
PROJECT NUMBER: 2616

DATE: JAN2.2019



WATER MAIN TRENCH DETAILS

NOT TO SCALE



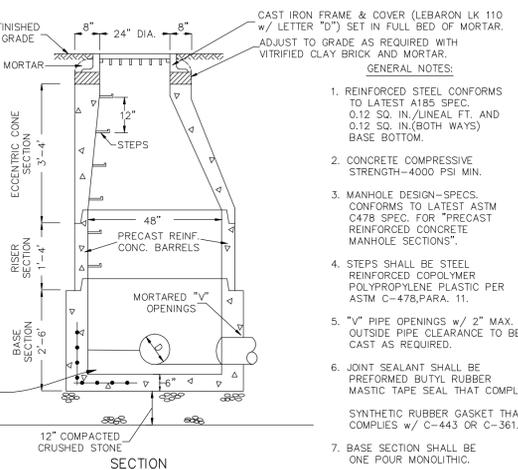
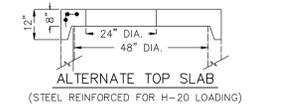
TYPICAL TAPPED CONNECTION

BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)

PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND	PLUG TEES
6 AND 8	8	8	-	8
10 AND 12	22	13	8	16

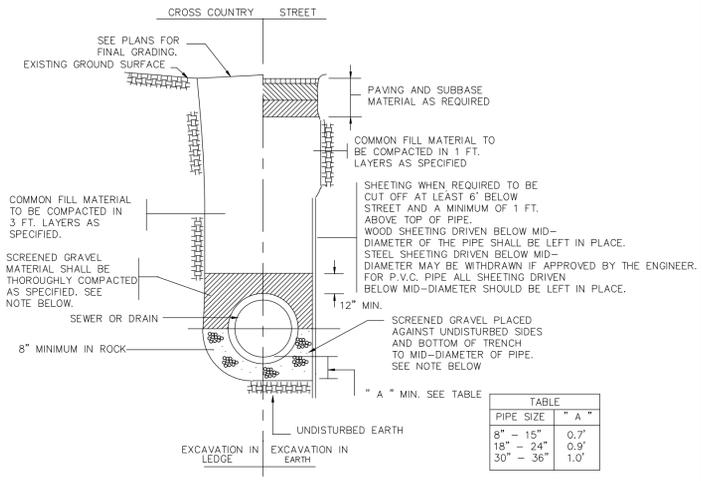
WATER MAIN THRUST BLOCK DETAILS

NOT TO SCALE



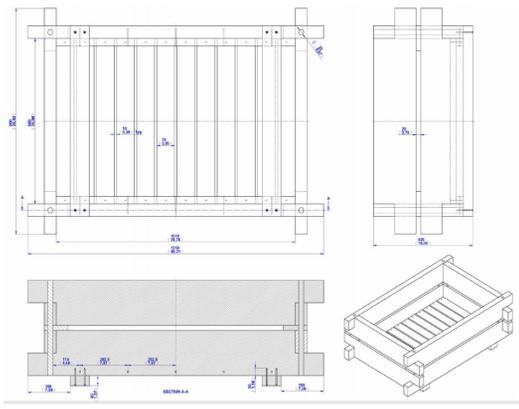
48" DIAMETER PRECAST DRAIN MANHOLE (DMH) FOR PIPE DIAMETERS UP TO 24"

NOT TO SCALE

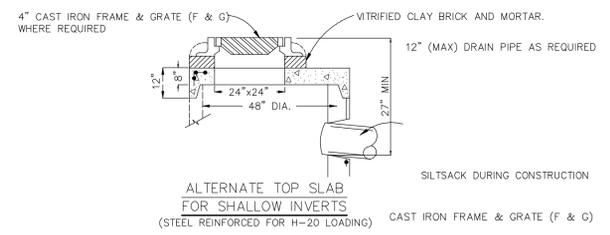


TYPICAL TRENCH DETAIL FOR SEWER & DRAIN

NOT TO SCALE

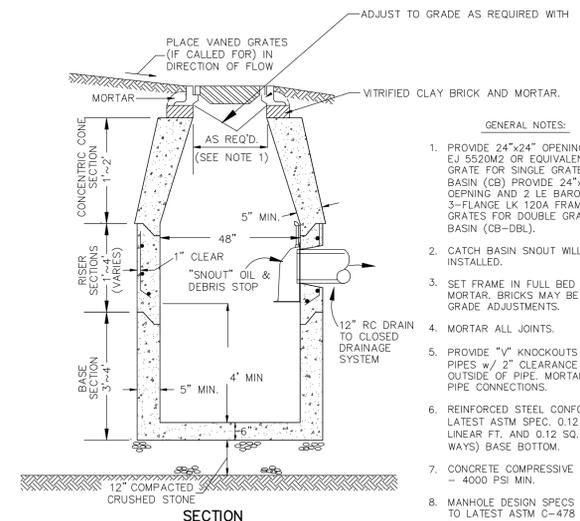


PLANTER BOX DETAIL



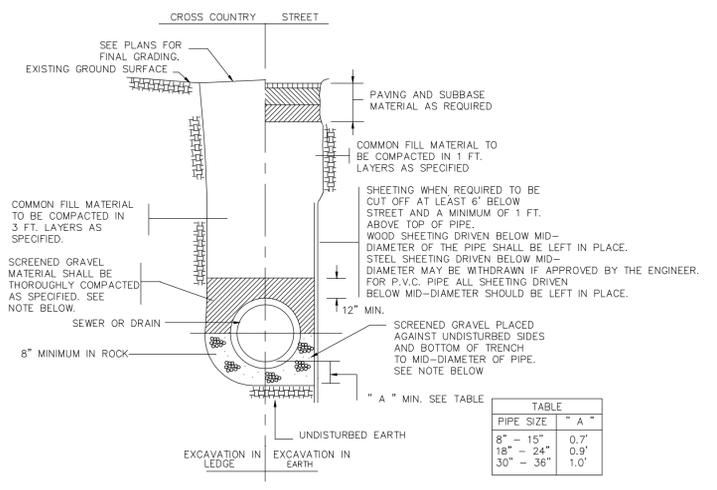
ALTERNATE TOP SLAB FOR SHALLOW INVERTS

(STEEL REINFORCED FOR H-20 LOADING)



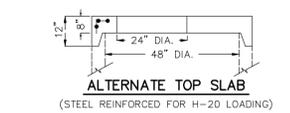
CATCH BASIN (CB) & DOUBLE GRATE CATCH BASIN (CB-DBL)

NOT TO SCALE



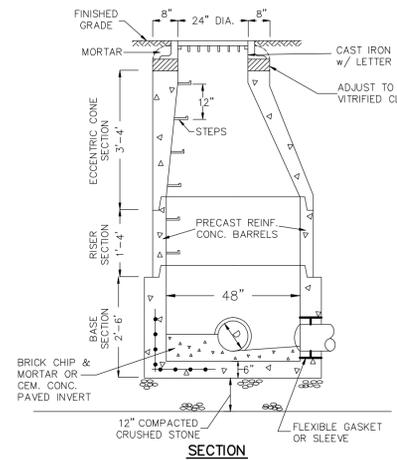
TYPICAL TRENCH DETAIL FOR SEWER & DRAIN

NOT TO SCALE



ALTERNATE TOP SLAB

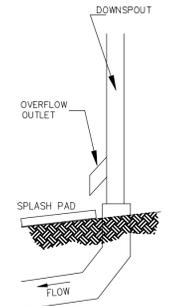
(STEEL REINFORCED FOR H-20 LOADING)



SECTION

SANITARY SEWER MANHOLE (SMH)

NOT TO SCALE



DOWNSPOUT

NOT TO SCALE

GENERAL SITE NOTES

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APPROVED BY PLANNING BOARD
DATE: _____



REVISIONS

No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS
2.	12-3-19	TOWN COMMENTS
3.	2-6-20	TOWN & PEER REVIEW COMMENTS

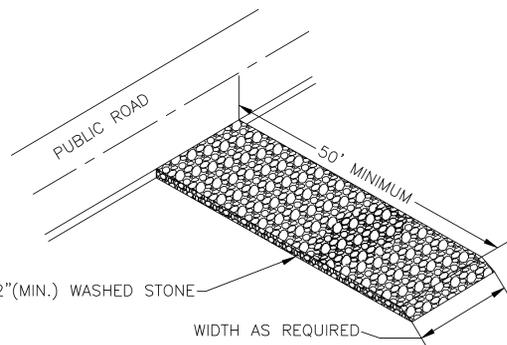
DETAILS
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

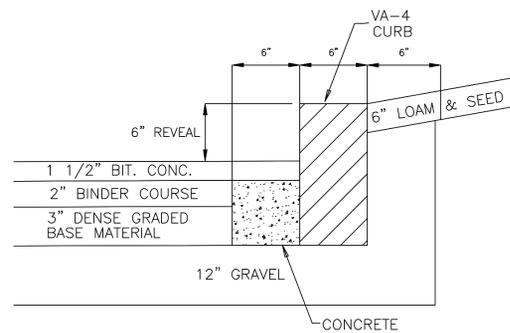
PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: SEPT 2.2019



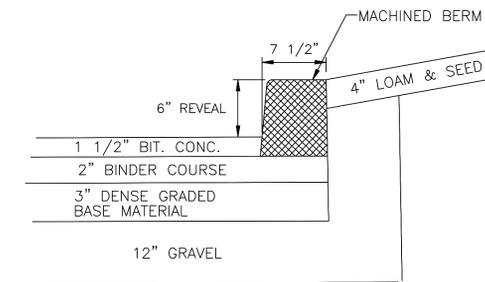
CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



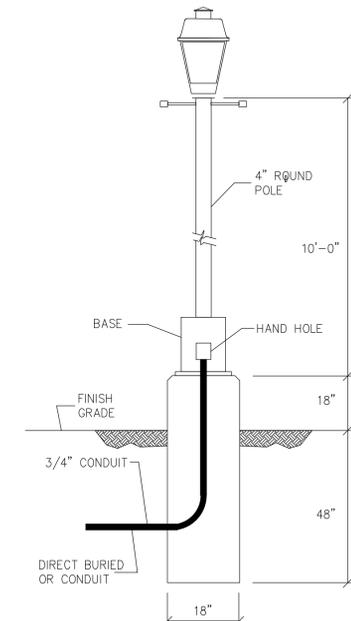
VERTICAL GRANITE CURB DETAIL

NOT TO SCALE



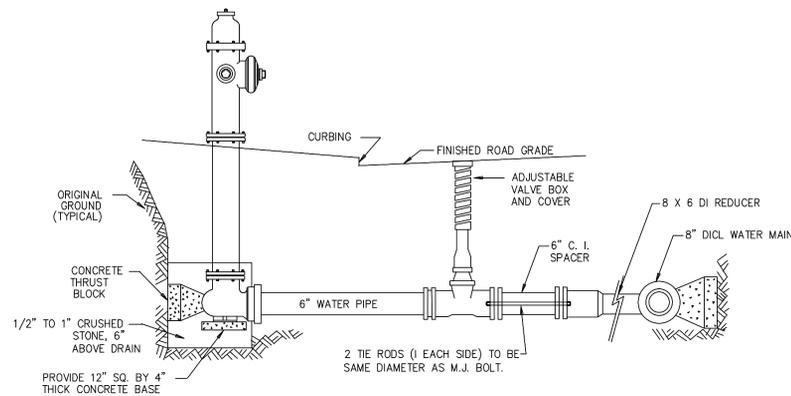
BITUMINOUS MACHINED BERM

NOT TO SCALE



POLE LAMP (TYP)
N.T.S.

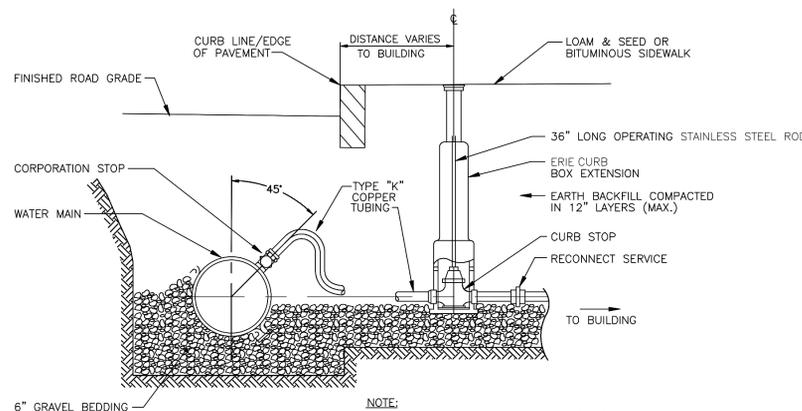
TYPE	MOUNT	VOLT	LAMP	CATALOG #	MANUFACTURER
II	POLE	120	39W	20LEDE10	VALIANT



TYPICAL HYDRANT INSTALLATION

(NOT TO SCALE)

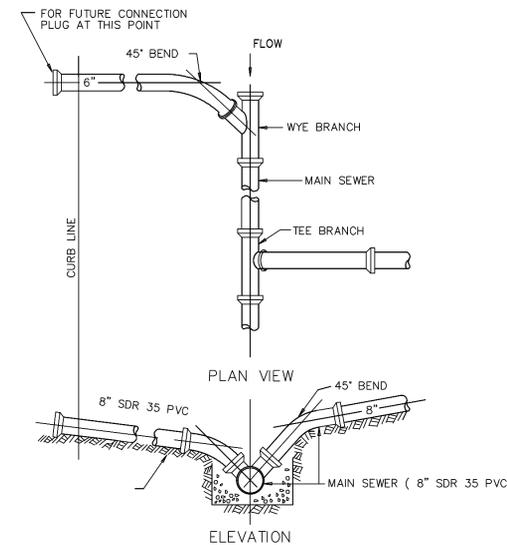
- NOTES:
1. ONLY MUELLER, AMERICAN-DARLING B-62-B OR U.S. PIPE METROPOLITAN HYDRANTS CAN BE USED.
 2. ALL WATER LINES WILL HAVE MEGA LUG OR EQUAL RESTRAINTS ON ALL UNRESTRAINED JOINTS.
 3. TIE RODS TO BE USED IN PLACE OF TRUST BLOCK BLOCKS IN FILL AREAS OR WHERE EXISTING SOIL LACKS SUFFICIENT BEARING STRENGTH.



TYPICAL HOUSE SERVICE CONNECTION

(NOT TO SCALE)

- NOTE:
1. ALL SERVICE CONNECTION FITTINGS SHALL BE BY THE MUELLER COMPANY.
 2. ALL WORK AND MATERIALS SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWN OF MEDWAY'S DEPARTMENT OF PUBLIC WORKS.



SEWER SERVICE CONNECTION DETAIL

NOT TO SCALE



REVISIONS

No.	DATE	DESCRIPTION

SITE DETAILS

**EVERGREEN VILLAGE
22 EVERGREEN STREET**

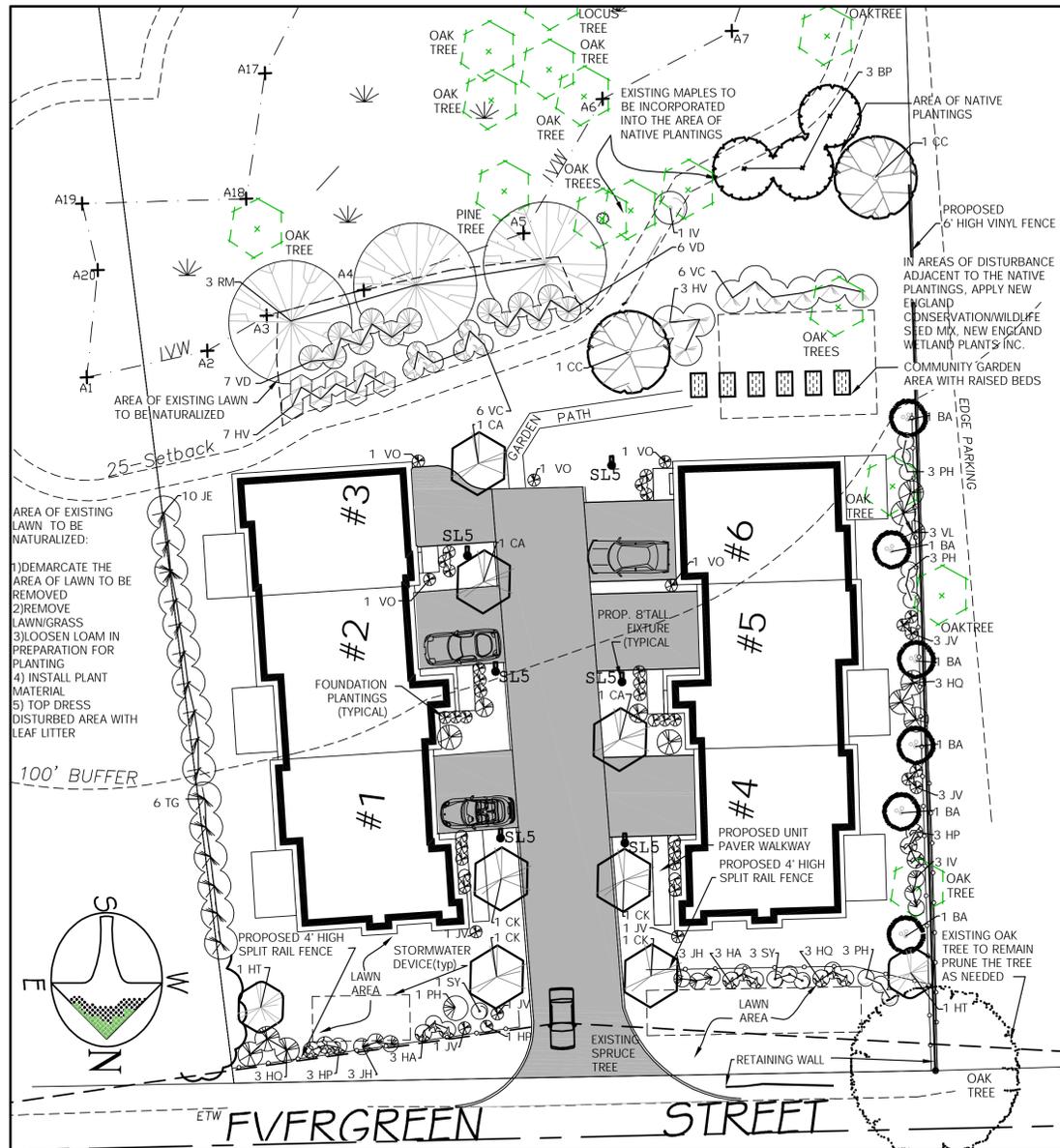
PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: NOV.2019



LANDSCAPING NOTES

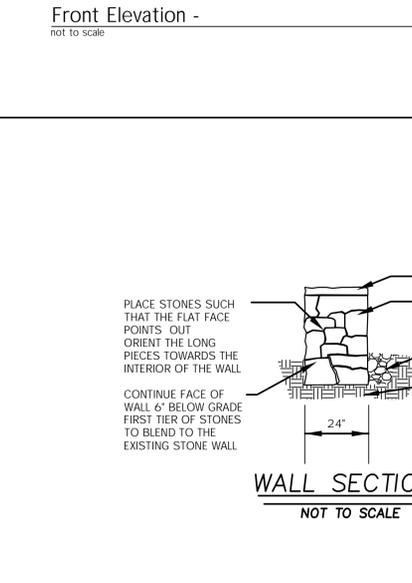
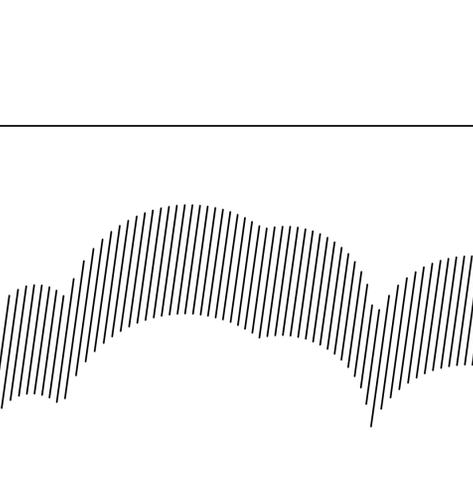
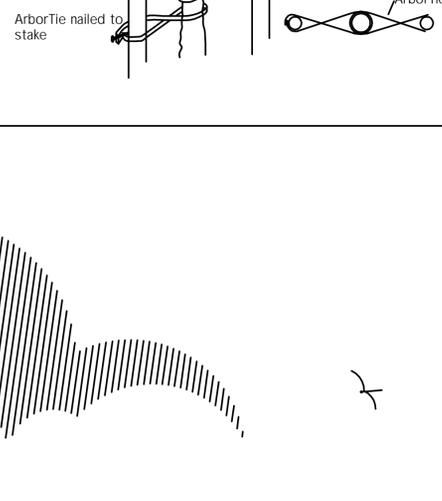
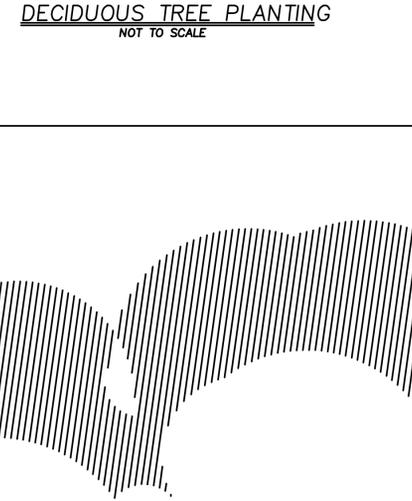
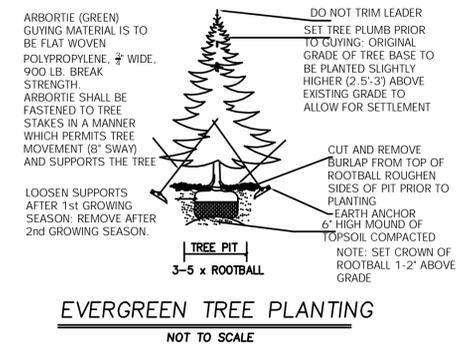
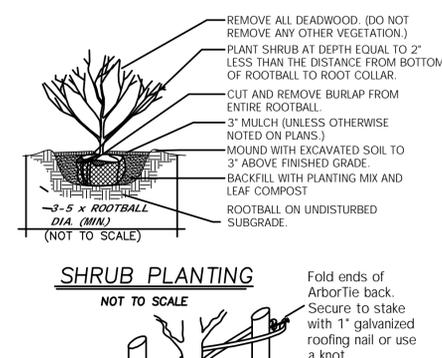
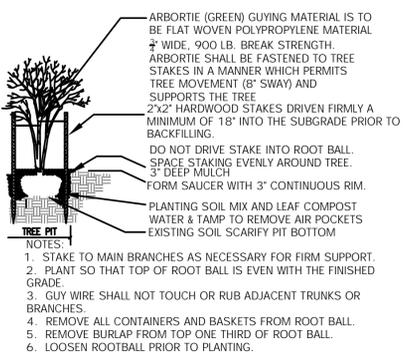
- NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
- DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
- THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
- ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
- WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
- PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
- PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS SOIL AND PLANT TISSUE TESTING LABORATORY, WEST EXPERIMENT STATION, 682 NORTH PLEASANT ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.
- LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND 30% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
- SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP. PLANT AT A RATE OF 1 LB. PER 150. SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150SQ.
- LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDED AREAS WITHIN THE SEEDED AREAS HAVE BEEN ACCEPTED.
- THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN AT LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
- PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
- THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWNS, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL WET A 20'-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
- WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO (HEMLOCK, PINE, SPRUCE, OR CEDAR) MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
- ALL LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF BARK MULCH.
- LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.
- THE QUANTITIES OF THE FOUNDATION PLANTINGS ARE NOT LISTED WITHIN THE PLANTING SCHEDULE. FOUNDATION PLANTINGS FOR UNITS OUTSIDE THE 100' BUFFER AND WITHIN THE 100' BUFFER SHALL BE FROM THE RECOMMENDED LISTS BELOW.

PLANT SCHEDULE - RECOMMENDED FOUNDATION PLANTINGS FOR BUILDING UNITS OUTSIDE THE 100' WETLAND BUFFER

Plant Name	Quantity	Size	Notes
'Buz Midnight' Butterfly Bush	36	Ht.	B&B
'Blue Chip' Butterfly Bush	36	Ht.	B&B
'Dark Knight' Bluebeard	36	Ht.	B&B
'Golden Mops' Hinoki Cypress	36	Ht.	B&B
'Pearl Glam' Calliopsis	36	Ht.	B&B
'New Halo' Dogwood	36	Ht.	B&B
'Gold Splash' Eucalyptus	36	Ht.	B&B
'Lady Stanley' Rose of Sharon	36	Ht.	B&B
'Little Quick Fire' Hydrangea	36	Ht.	B&B
'Limelight' Hydrangea	36	Ht.	B&B
'Sky Pencil' Holly	36	Ht.	B&B
'Blushing Knock out' Rose	36	Ht.	B&B
'Little Princess' Spiraea	36	Ht.	B&B
'Blue Muffin' Viburnum	36	Ht.	B&B
'Shasta' Viburnum	36	Ht.	B&B
'Hamel' Fountain Grass	#3 Pot	C.G.	

PLANT SCHEDULE - RECOMMENDED FOUNDATION PLANTINGS FOR BUILDING UNITS WITHIN THE 100' WETLAND BUFFER

Plant Name	Quantity	Size	Notes
Shadow, service berry	36	Ht.	B&B
Sweet pepperbush	36	Ht.	B&B
Sweet fern	#3 Pot	C.G.	
Grey Dogwood	36	Ht.	B&B
Red Twig Dogwood	36	Ht.	B&B
Silky Dogwood	36	Ht.	B&B
Fothergilla	36	Ht.	B&B
Mountain pieris	36	Ht.	B&B
Beach plum	36	Ht.	B&B
Rosebay Rhododendron	36	Ht.	B&B
Canada yew	36	Ht.	B&B
Maple leaf viburnum	36	Ht.	B&B
Amelanchier canadensis-single stem	36	Ht.	B&B
Olethra alnifolia	36	Ht.	B&B
Comptonia peregrina	#3 Pot	C.G.	
Cornus racemosa	36	Ht.	B&B
Cornus sericea	36	Ht.	B&B
Cornus amomum	36	Ht.	B&B
Fothergilla major	36	Ht.	B&B
Fothergilla	36	Ht.	B&B
Prunella floribunda	36	Ht.	B&B
Prunus maritima	36	Ht.	B&B
Rhododendron maximum	36	Ht.	B&B
Toxus canadensis	36	Ht.	B&B
Viburnum acerifolia	36	Ht.	B&B



Planting Schedule

Qty	Key	Common Name	Botanical Name	Size	Remarks
TREES					
6	BA	Balsam Fir	<i>Abies balsamea</i>	8' Ht.	B&B
3	BP	Grey Birch	<i>Betula populifolia</i>	8' Ht.	B&B-Multi-stem
3	CA	Pagoda Dogwood	<i>Cornus alternifolia</i>	3" Cal.	B&B
4	CK	Hornbeam	<i>Carpinus caroliniana</i>	3" Cal.	B&B
2	CC	'Cherokee Brave' Dogwood	<i>Cornus florida 'Cherokee Brave'</i>	3" Cal.	B&B
2	HT	'Tardiva' Hydrangea	<i>Hydrangea paniculata 'Tardiva' treeform</i>	#15pot	Container Grown
3	RM	Red Maple	<i>Acer rubrum</i>	3" Cal.	B&B
6	TG	'Green Giant' Arborvitae	<i>Thuja x plicata 'Green Giant'</i>	6' Ht.	B&B
SHRUBS					
9	HQ	Oakleaf Hydrangea	<i>Hydrangea quercifolia</i>	24" Ht.	B&B
10	HV	Common Witchhazel	<i>Hamamelis virginiana</i>	24" Ht.	B&B
4	IV	Winterberry	<i>Ilex verticillata</i>	24" Ht.	B&B
7	HP	Golden Cup St. John's Wort	<i>Hypericum Hidcote</i>	24" Ht.	B&B
10	JE	Eastern Red Cedar	<i>Juniperus virginiana</i>	48" Ht.	B&B
6	JH	Creeeping Juniper	<i>Juniperus horizontalis</i>	#7 Pot	Container Grown
7	JV	'Taylor' Red Cedar	<i>Juniperus virginiana 'Taylor'</i>	48" Ht.	B&B
10	PH	'Summerwine' Purple Ninebark	<i>Physocarpus opulifolius 'Summerwine'</i>	24" Ht.	B&B
4	SY	'Bloomerang' Lilac	<i>Syringa x Bloomerang</i>	#3 Pot	Container Grown
12	VC	Highbush Blueberry	<i>Vaccinium corymbosum</i>	24" Ht.	B&B
13	VD	Arrowwood Viburnum	<i>Viburnum dentatum</i>	36" Ht.	B&B
3	VL	Chicago Lustre' Viburnum	<i>Viburnum dentatum 'Chicago Lustre'</i>	36" Ht.	B&B
5	VO	Highbush cranberry	<i>Viburnum opulus</i>	36" Ht.	B&B
PERENNIALS					
6	HA	'Aureola' Hakone Grass	<i>Hakonechloa macra 'Aureola'</i>	#3 Pot	Container Grown

GENERAL SITE NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO OBTAIN THE ANSWERS TO THE PROJECT SPECIFICATIONS SHALL BE FULL RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
- THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT (888)344-7233 ((888)DIG-SAFE).

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED BY PLANNING BOARD

DATE: _____

REVISIONS

No.	DATE	DESCRIPTION
1.	09/02/19	Town comments
2.	11/04/19	Town comments
3.	11/25/19	Plan edits
4.	12/31/19	Town comments
5.	01/21/20	Town comments

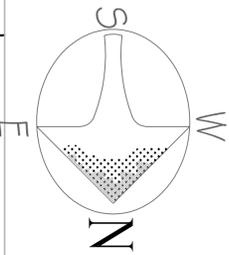
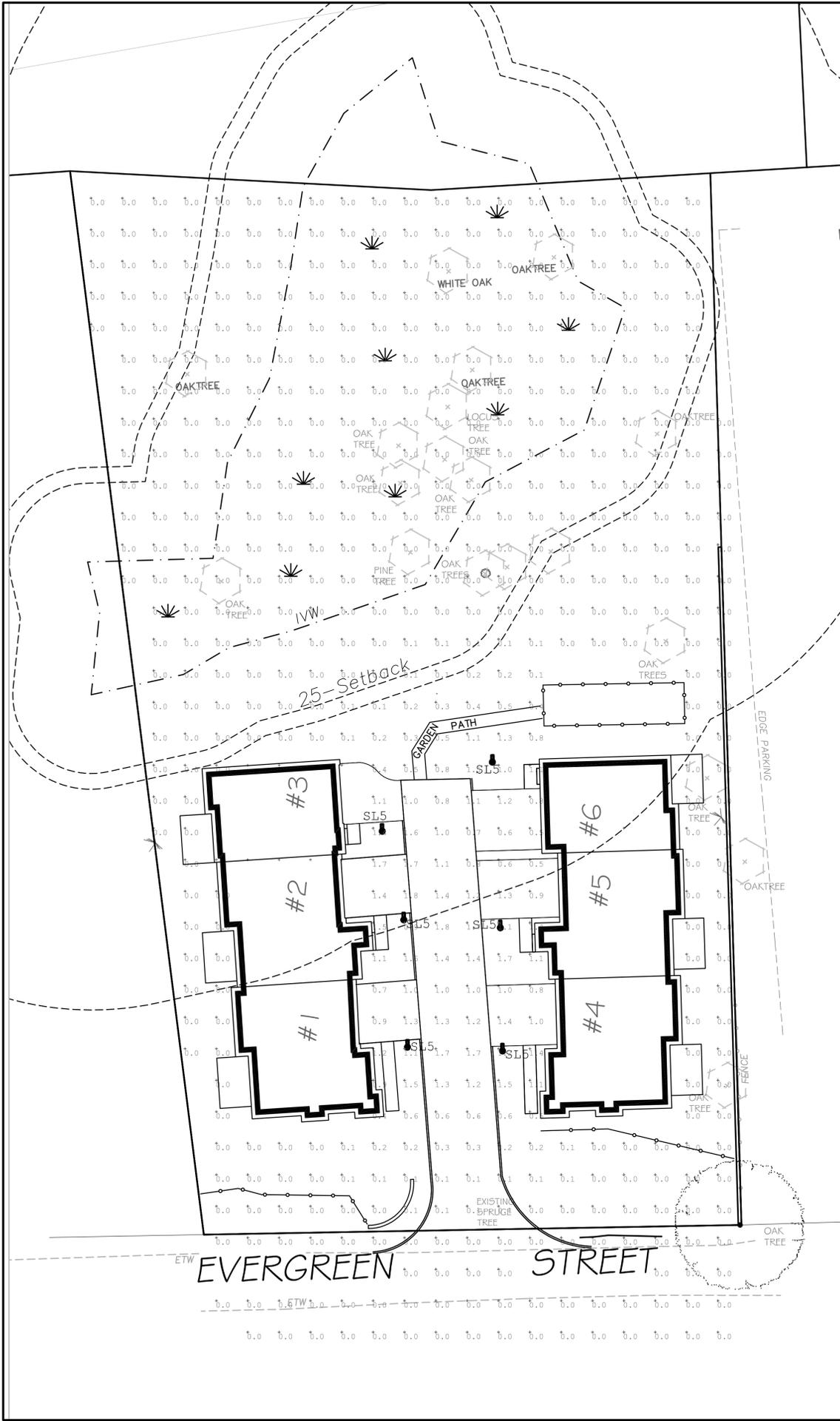
PROPOSED SITE LANDSCAPE PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

PREPARED By: **WDA DESIGN GROUP**
31 EAST MAIN STREET
WESTBOROUGH, MA 01581

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: SEPTEMBER 2.2019



JOB NAME: EVERGREEN VILLAGE
 APEX LIGHTING SOLUTIONS
 WORKPLANE/CALC PLANE: AT FINISH GRADE
 MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
 APPS: LRE
 SALES: SS

Luminaire Schedule							
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
6	SL5	SINGLE	2885	37.74	0.850	B2-U3-G2	HADCO TX132-G2-B-S-L-CAGE-FINIAL-FASTENER-FINISH-5-PHOTO-NA3 / MOUNTED TO 8FT POLE

Calculation Summary							
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min	
CalcPts_1	0	0.16	1.8	0.0	N.A.	N.A.	
DRIVE LANE		0.89	1.8	0.1	8.90	18.00	

- GENERAL SITE NOTES**
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APPROVED BY PLANNING BOARD
 DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION
1.	09/02/19	Town comments
2.	11/04/19	Town comments
3.	11/25/19	Plan edits

PROPOSED SITE LIGHTING PLAN
 IN
 MEDWAY, MASSACHUSETTS
EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
 P.O. Box 5
 MEDWAY MA 02053

PREPARED BY: **WDA DESIGN GROUP**
 31 EAST MAIN STREET
 WESTBOROUGH, MA 01581

DRAWING SCALE: 1 inch = 20 feet
 PROJECT NUMBER: 2616
 DATE: MARCH 14, 2019



Prelim. Elev.-View From Evergreen St. - Unit 1
Scale: 3/16" = 1'-0"



Preliminary Front Elevation - Units 1, 2 and 3
Scale: 3/16" = 1'-0"



Preliminary Rear Elevation - Unit 3
Scale: 3/16" = 1'-0"



Preliminary Left Side Elevation - Units 3, 2 and 1
Scale: 3/16" = 1'-0"

DANIEL LEWIS, AIA
ARCHITECT
332 Whitney Street
Northborough, MA 01532
(508) 612-8771
daniel@charter.net www.daniellewisarchitect.com
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Preliminary Exterior Elevations	
Job Number 1816	Date October 28, 2019
Drawn By DML	Revised Nov. 25, 2019

Proposed Condominiums
22 Evergreen Street
Medway, MA 02053
For Sampson Pond LLC, Medway, MA



Preliminary Left Side Elevation - Unit 4, 5 and 6

Scale: 3/16" = 1'-0"



Prelim. Elev.-View From Evergreen St. - Unit 6

Scale: 3/16" = 1'-0"



Preliminary Right Side Elevation - Units 6, 5 and 4

Scale: 3/16" = 1'-0"



Preliminary Rear Elevation - Unit 4

Scale: 3/16" = 1'-0"

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Preliminary Exterior Elevations	
Job Number 1816	Date October 28, 2019
Drawn By DML	Revised Nov. 25, 2019

Proposed Condominiums
22 Evergreen Street
Medway, MA 02053
For Sampson Pond LLC, Medway, MA



Preliminary First Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

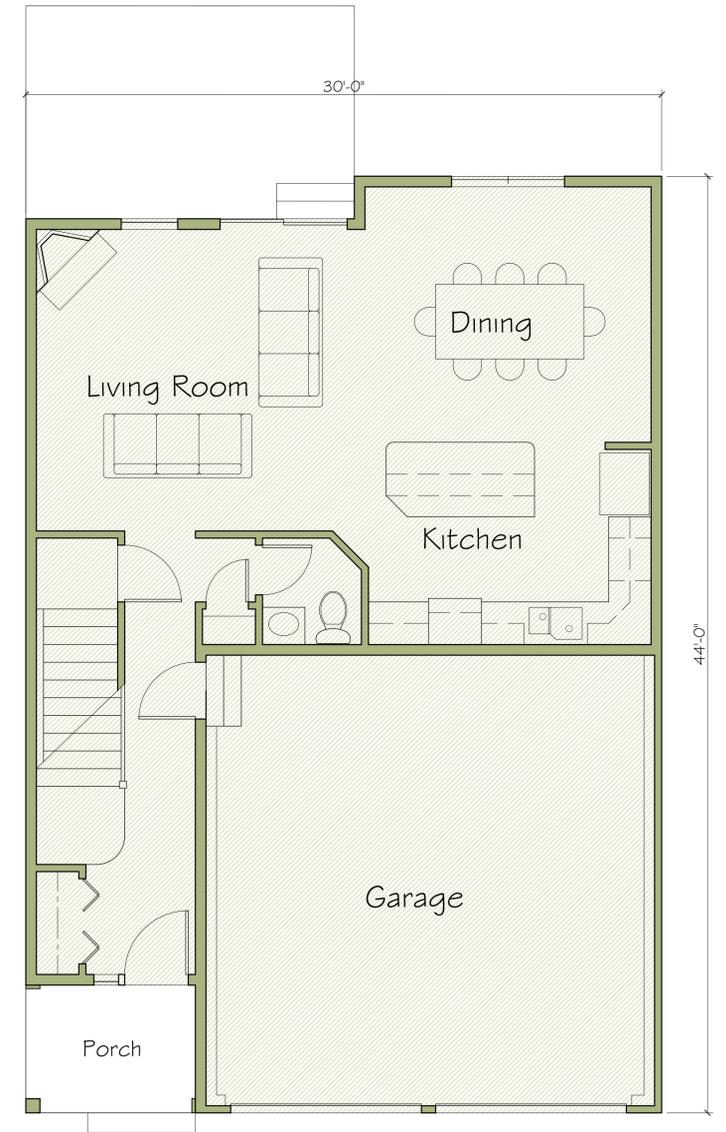
1170 SF



Preliminary First Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

1106 SF



Preliminary First Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

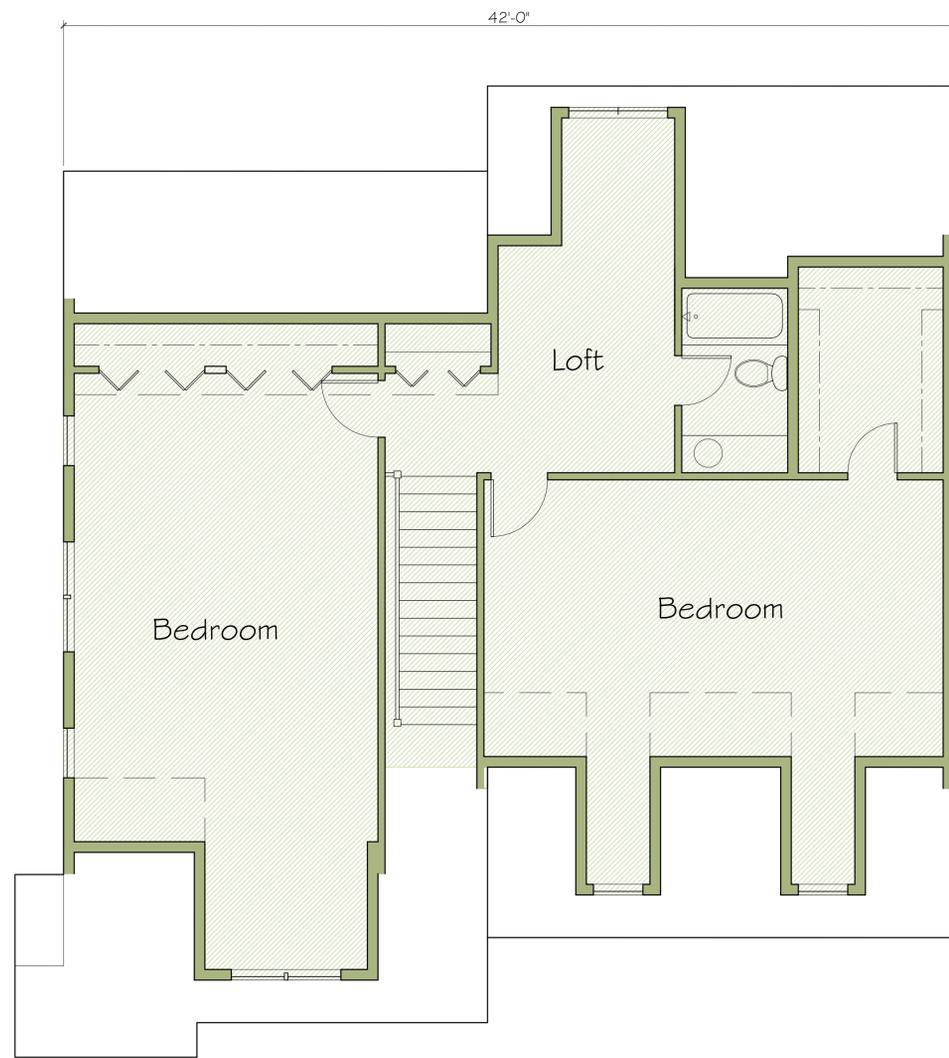
766 SF

Proposed Condominiums
 22 Evergreen Street
 Medway, MA 02053
 For Sampson Pond LLC, Medway, MA

Preliminary First Floor Plans	
Job Number	Date
1816	March 18, 2019
Drawn By	Revised
DML	Nov. 25, 2019



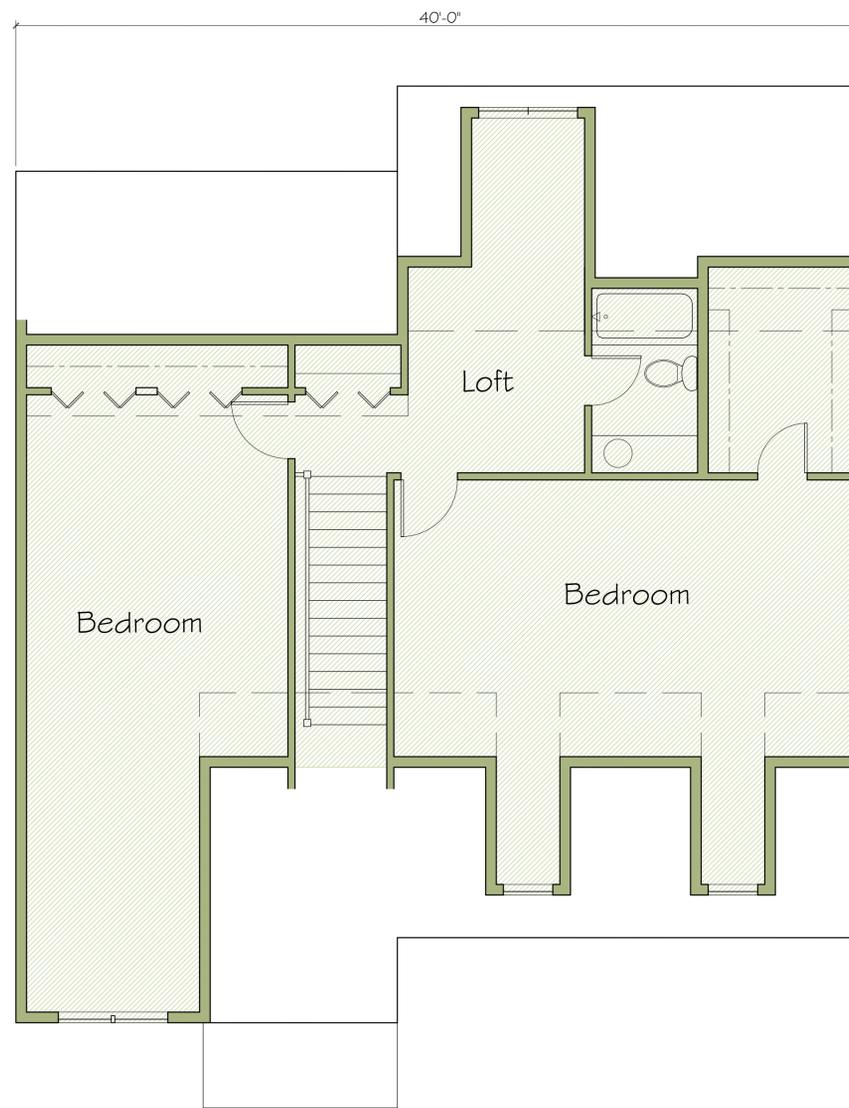
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 ARCHITECT
 332 Whitney Street
 Northborough, MA 01532
 (508) 612-8771
 danlewis@clarter.net www.daniellewisarchitect.com
 © 2019



Preliminary Second Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

approx. 1123 SF



Preliminary Second Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

approx. 1068 SF



Preliminary Second Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

approx. 955 SF

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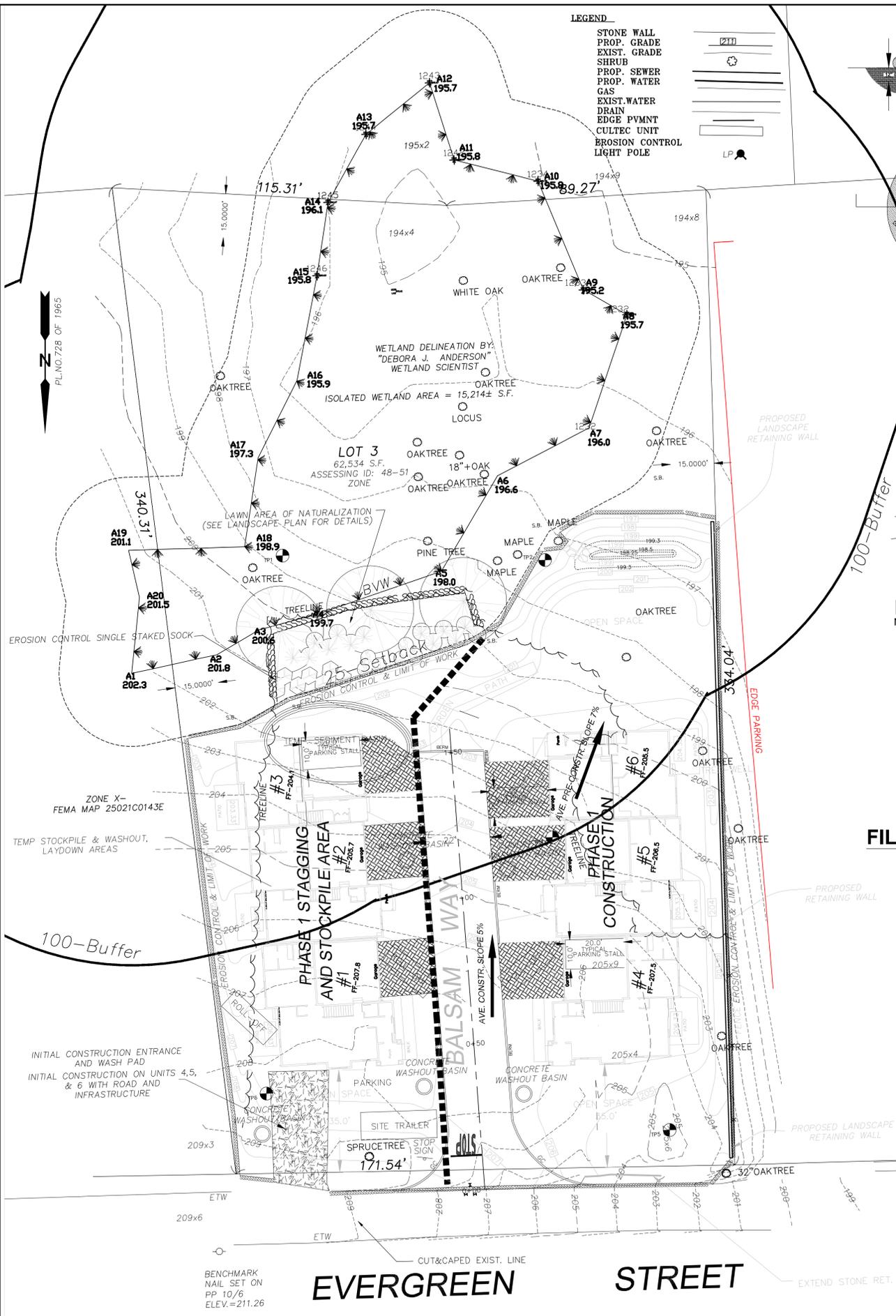


Preliminary Second Floor Plans

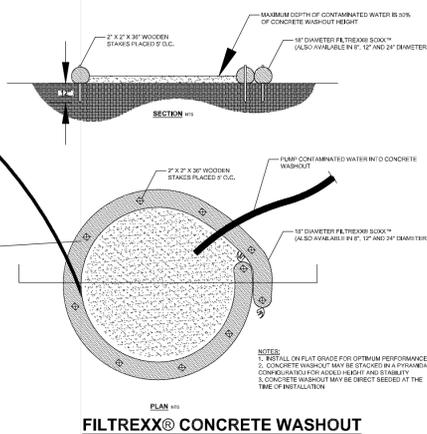
Job Number	Date
1816	March 8, 2019
Drawn By	Revised
DML	Nov. 25, 2019

Proposed Condominiums
 22 Evergreen Street
 Medway, MA 02053

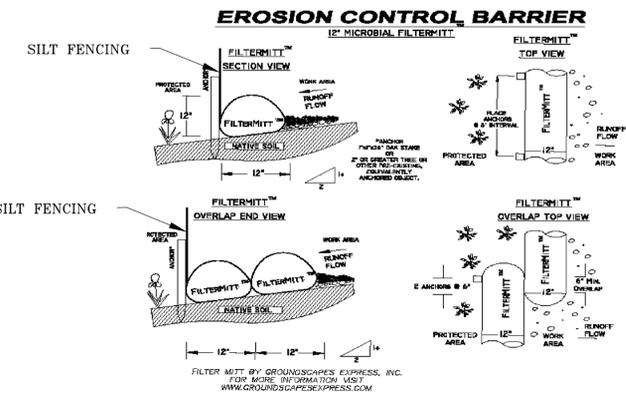
For Sampson Pond LLC, Medway, MA



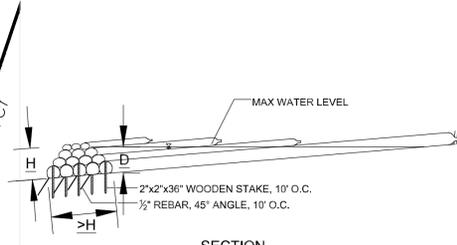
- LEGEND**
- STONE WALL
 - PROP. GRADE
 - EXIST. GRADE
 - SHRUB
 - PROP. SEWER
 - PROP. WATER
 - GAS
 - EXIST. WATER
 - DRAIN
 - EDGE PVMNT
 - CULTEC UNIT
 - EROSION CONTROL
 - LIGHT POLE



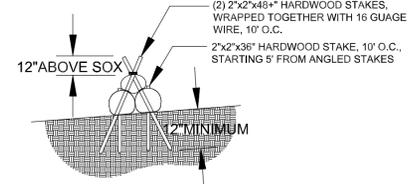
FILTREXX® CONCRETE WASHOUT



EROSION CONTROL BARRIER



FILTREXX® SEDIMENT TRAP



FILTREXX® SEDIMENT TRAP STAKING DETAIL



SITE NOTES

1. AREA OF DISTURBANCE IS 35,365 SF
2. EARTHWORK QUANTITIES
CUTS-(FOOTINGS) FOUNDATION = 711 CYS
FILLS-(GRAVING) = 1280 CYS
NET FILL = 540 CYS
3. ALL FILL SHALL MEET TOWN OF MEDWAY STANDARDS FROM A CERTIFIED SOURCE AS REQUIRED.
4. CONTRACTOR SHALL BE FAMILIAR WITH ALL STORM WATER OPERATION & MAINTENANCE PLAN AND SPILL PREVENTION REQUIREMENTS.
5. CONTRACTOR SHALL BE FAMILIAR WITH ALL CONSERVATION COMMISSION NOTICE OF INTENT CONDITIONS AND PLANNING BOARD APPROVAL REQUIREMENTS.

Approximate Construction Sequence:

1. Install Erosion Controls throughout & Catch Basin Protection site wide - 1Wk
2. Clear & Grub site wide - 1Wk
3. Rough Grade site wide, create drainage migration paths Phase 1 - 2Wk
4. Install Foundations Phase 1 - 3Wk
5. Backfill foundation and landscape wall Phase 1 - 1Wk
6. Install drainage & utilities Phase 1 - 3Wks
7. Complete access road to binder Phase 1 - 2Wks
8. Rough grade & conduct lawn naturalization area Phase 2 - 1Wk
9. Install & Backfill foundation Phase 2 - 3Wks
10. Install Drainage & utilities Phase 2 - 2Wks
11. Complete finish driveway and access road, curbing and walks site wide - 1Wk
12. Fine grading and Landscaping site wide - 3Wks
13. Remove Erosion Control Measures site wide - 1Wk

APPROVED BY PLANNING BOARD

DATE: _____

REVISIONS

No.	DATE	DESCRIPTION
1.	11-24-19	TOWN COMMENTS
2.	12-3-19	TOWN COMMENTS
3.	2-6-20	TOWN & PEER REVIEW COMMENTS



FOR REGISTRY USE

**EROSION CONTROL
SITE PLAN**
IN
MEDWAY, MASSACHUSETTS

**EVERGREEN VILLAGE
22 EVERGREEN STREET**

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053
(508) 561-6048

PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: JAN.2.2019

