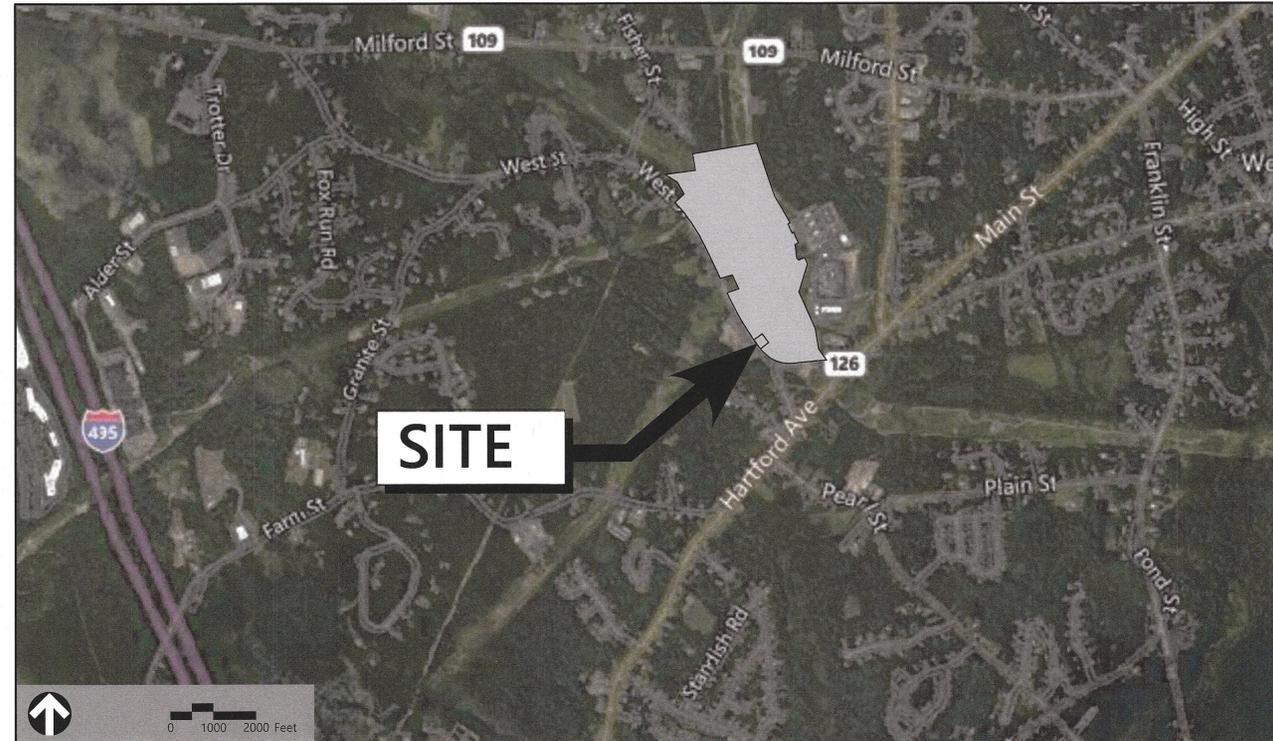


Site Plans

Issued for Permitting
 Date Issued 01/19/2021
 Latest Issue 04/26/2021

Medway Station #65

12 and 34 West Street
 Medway, MA 02053



Owner

Exelon West Medway LLC
 P.O. Box 340014
 Nashville, TN 37203

Applicant

NSTAR Electric Company d/b/a Eversource Energy
 247 Station Drive
 Westwood, MA 02090

Deed Book, Page: 12521, 109

Assessor's Information: Map 66, Parcels 010 & 012

Zoning District: Energy Resources - ER

Sheet Index

No.	Drawing Title	Latest Issue
C-1	Site Context Sheet	April 26, 2021
C-2	Legend and General Notes	April 26, 2021
C-3	Existing Conditions, Sediment & Erosion Control Plan	April 26, 2021
C-4	Site Plan	April 26, 2021
C-5	Grading & Drainage Plan	April 26, 2021
C-6	Site Details	April 26, 2021
C-7	Mobile Transformer Plan	April 26, 2021

Reference Drawings

No.	Drawing Title	Latest Issue
1	Substation Easement Perimeter Plan by SMC	1/7/2021
1	Existing Conditions and Topographic Survey by SMC	1/7/2021
C7329M07	Exterior Elevations prepared by AZZ, Inc.	3/5/2015
C7329M08	Exterior Elevations - End Views prepared by AZZ, Inc.	3/5/2015
PH-001	Photometric Plan prepared by Eversource	3/3/2021

Approved Waivers

- SECTION 207-9 PEDESTRIAN & BICYCLE ACCESS AND SIDEWALKS; SECTION 207-10 PAVING; SECTION 207-11 TRAFFIC AND VEHICULAR CIRCULATION; 207-12 PARKING; AND SECTION 207-13 LOADING AND UNLOADING
- SECTION 207-19 LANDSCAPING
- SECTION 207-4 ENERGY EFFICIENCY AND SUSTAINABILITY; SECTION 207-16 UTILITIES; AND SECTION 207-18 OUTDOOR LIGHTING



1 Cedar Street
 Suite 400
 Providence, RI 02903
 401.272.8100

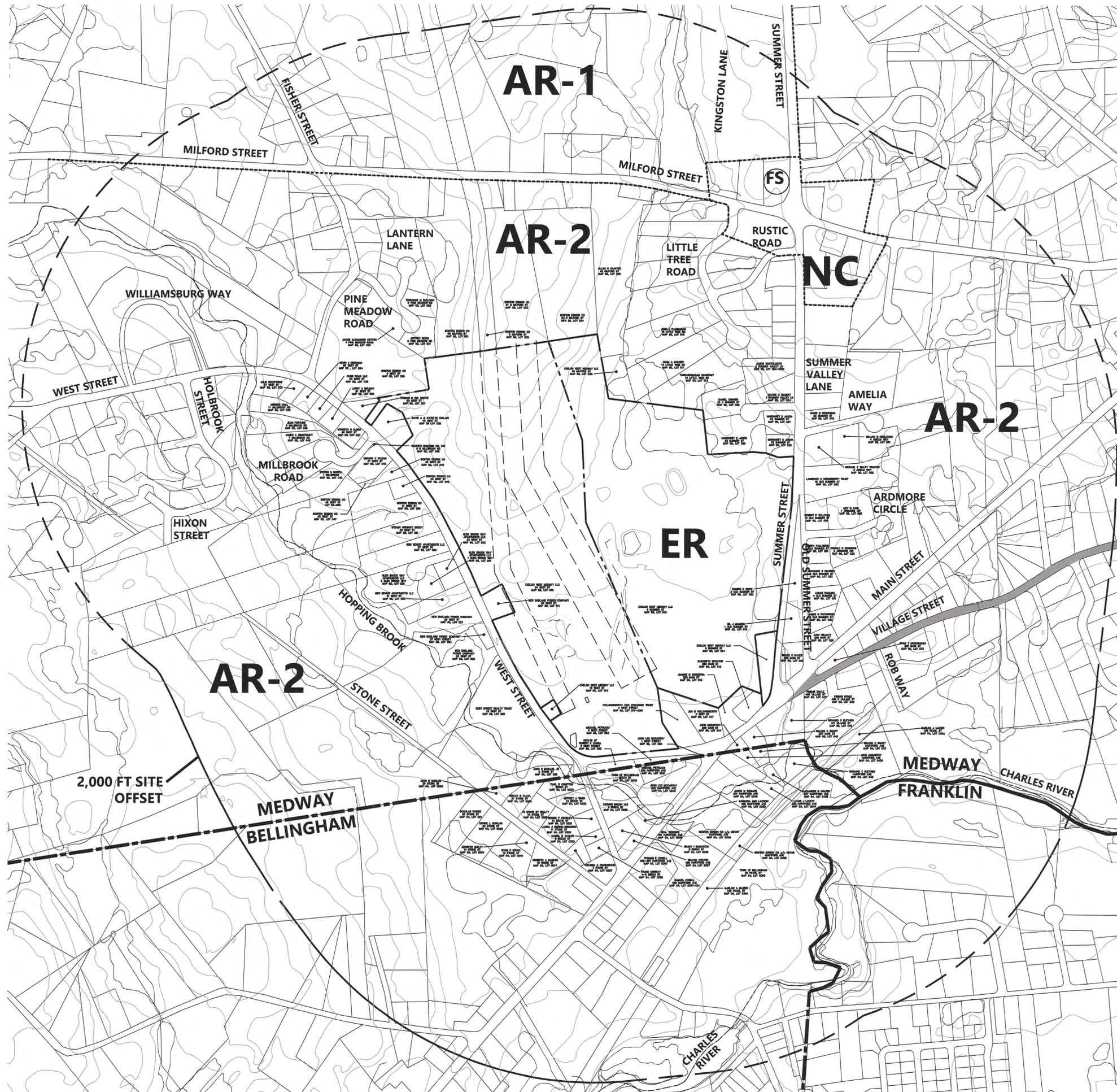
Approved By:
 Town of Medway Planning and Economic
 Development Board

(Signature)

(Signature)

Decision Date: March 23, 2021

Endorsement Date: April 28, 2021

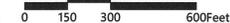


Legend & Abbreviations

	PROPERTY LINE
	300 FOOT RADIUS
	2,000 FOOT RADIUS
	EXISTING CONTOUR
	EASEMENT
	BORDERING VEGETATED WETLAND
	RIVER/STREAM/BROOK
	ZONING LINE
	TOWN LINE
	SCENIC ROAD
	ENERGY RESOURCES
	AGRICULTURAL RESIDENTIAL 1
	AGRICULTURAL RESIDENTIAL 2
	NEIGHBORHOOD COMMERCIAL
	FIRE STATION

GENERAL NOTES:

- THE FOLLOWING INFORMATION DEPICTED HEREIN WAS OBTAINED FROM THE OLIVER MA GIS ONLINE MAPPING TOOL:
 - RIVER CENTERLINE LOCATIONS
 - WETLAND LOCATIONS
 - EXISTING TOPOGRAPHY
 - ASSESSOR PARCELS
 - TOWN BOUNDARY LINES
- SCENIC ROAD INFORMATION WAS OBTAINED FROM THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS, CHAPTER 400 - SCENIC ROADS, ADOPTED JULY 16, 2002.
- ZONING BOUNDARIES AND DESCRIPTIONS WERE OBTAINED FROM THE TOWN OF MEDWAY ZONING MAP, LAST UPDATED JANUARY 2, 2020.
- LOT LINE DIMENSIONS AND TOPOGRAPHY AT 2-FOOT INTERVALS ARE NOT DEPICTED HEREIN DUE TO THE SCALE OF THE PLAN.
- MEDWAY ABUTTER INFORMATION DEPICTED HEREIN TAKEN FROM A CERTIFIED ABUTTER'S LIST PREPARED BY THE MEDWAY ASSESSOR'S OFFICE DATED NOVEMBER 17, 2020.
- BELLINGHAM ABUTTER INFORMATION DEPICTED HEREIN TAKEN FROM A CERTIFIED ABUTTER'S LIST PREPARED BY THE BELLINGHAM ASSESSOR'S OFFICE DATED NOVEMBER 19, 2020.



Medway Station #65

12 and 34 West Street
Medway, MA 02053

No.	Revision	Date	Appvd.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by: **RTL** Checked by: **RLC**

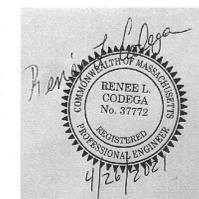
Issued for: **Permitting** Date: **January 19, 2021**

Approved By:
Town of Medway Planning and Economic
Development Board

[Signature]
[Signature]

Not Approved for Construction
Drawing Title: **Site Context Sheet**

Drawing Number



C-1

Sheet 1 of 7

Decision Date: March 23, 2021

Endorsement Date: April 28, 2021

Project Number
73139.01



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Legend

Exist.	Prop.	Exist.	Prop.	
				PROPERTY LINE
				PROJECT LIMIT LINE
				RIGHT-OF-WAY/PROPERTY LINE
				EASEMENT
				BUILDING SETBACK
				PARKING SETBACK
				BASELINE
				CONSTRUCTION LAYOUT
				ZONING LINE
				TOWN LINE
				LIMIT OF DISTURBANCE
				WETLAND LINE WITH FLAG
				FLOODPLAIN
				BORDERING LAND SUBJECT TO FLOODING
				WETLAND BUFFER ZONE
				NO DISTURB ZONE
				200' RIVERFRONT AREA
				GRAVEL ROAD
				EDGE OF PAVEMENT
				BITUMINOUS BERM
				BITUMINOUS CURB
				CONCRETE CURB
				CURB AND GUTTER
				EXTRUDED CONCRETE CURB
				MONOLITHIC CONCRETE CURB
				PRECAST CONC. CURB
				SLOPED GRAN. EDGING
				VERT. GRAN. CURB
				LIMIT OF CURB TYPE
				SAWCUT
				BUILDING
				BUILDING ENTRANCE
				LOADING DOCK
				BOLLARD
				DUMPSTER PAD
				SIGN
				DOUBLE SIGN
				STEEL GUARDRAIL
				WOOD GUARDRAIL
				PATH
				TREE LINE
				WIRE FENCE
				FENCE
				STOCKADE FENCE
				STONE WALL
				RETAINING WALL
				STREAM / POND / WATER COURSE
				DETENTION BASIN
				HAY BALES
				SILT FENCE
				SILT SOCK / STRAW WATTLE
				MINOR CONTOUR
				MAJOR CONTOUR
				PARKING COUNT
				COMPACT PARKING STALLS
				DOUBLE YELLOW LINE
				STOP LINE
				CROSSWALK
				ACCESSIBLE CURB RAMP
				ACCESSIBLE PARKING
				VAN-ACCESSIBLE PARKING
				MATCHLINE

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

- General**
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
 - WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
 - WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
 - TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 - IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
 - CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
 - DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
 - CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- Utilities**
- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
 - WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITINGS TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
 - SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
 - RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
 - THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
 - CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
 - UTILITY PIPE MATERIALS SHALL BE AS NOTED ON THE PLAN:
 - A. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
 - CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
 - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.
- Layout and Materials**
- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
 - SEE ELECTRICAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE

BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.

PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

Demolition

- ALL DEMOLITION SHALL BE PER THE INFORMATION DEPICTED ON THE ELECTRICAL PLANS. ANY DEMOLITION INFORMATION PRESENTED HEREIN IS FOR PERMITTING PURPOSES ONLY.
- WHERE APPLICABLE, EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DERRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- EXISTING CONDITIONS INFORMATION, INCLUDING TOPOGRAPHICAL SURVEY AND WETLAND LOCATIONS PROVIDED BY EVERSOURCE. AN EXISTING CONDITIONS PLAN PREPARED BY SMC IS INCLUDED HEREIN FOR REFERENCE.

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

Medway Station #65

12 and 34 West Street
Medway, MA 02053

No.	Revision	Date	Apprd.
1	Planning Board Comments	03/09/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by: **RTL** Checked by: **RLC**
Issued for: **Permitting** Date: **January 19, 2021**

Not Approved for Construction
Drawing Title: **Legend and General Notes**
Drawing Number: _____

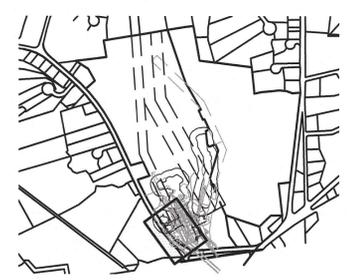
Approved By:
Town of Medway Planning and Economic Development Board
[Signature]

Decision Date: March 23, 2021

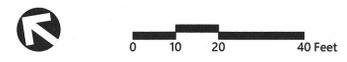
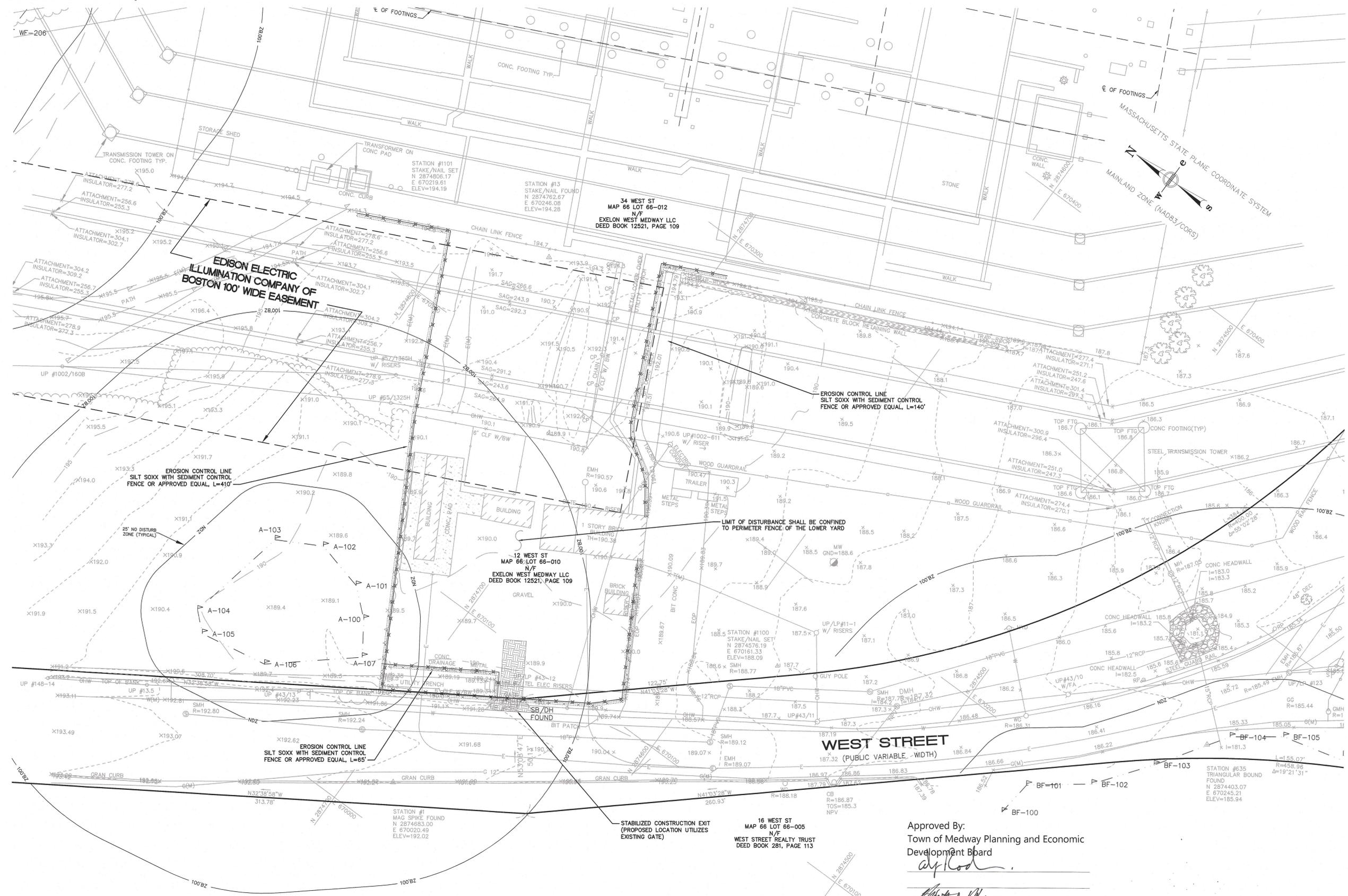
Endorsement Date: *April 26, 2021*



C-2
Sheet 2 of 7
Project Number: 73139.01



Key
Scale: 1" = 1,000'



Medway Station #65

12 and 34 West Street
Medway, MA 02053

No.	Revision	Date	App'd.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/06/2021	RTL

Designed by: **RTL** Checked by: **RLC**
Issued for: _____ Date: _____
Permitting January 19, 2021

Not Approved for Construction
Drawing Title
**Existing Conditions,
Erosion & Sediment
Control Plan**

Approved By:
Town of Medway Planning and Economic
Development Board
[Signature]

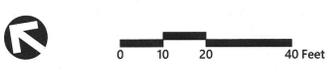
Decision Date: March 23, 2021
Endorsement Date: *April 26, 2021*

GENERAL NOTES:
1. REFER TO SUBSTATION EASEMENT PERIMETER PLAN PREPARED BY SMC, INC. LAST REVISED JANUARY 7, 2021 AND EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY PLAN PREPARED BY SMC, INC. LAST REVISED JANUARY 7, 2021 FOR ALL EXISTING CONDITIONS, PROPERTY LINE, EASEMENT, AND ABUTTER INFORMATION AND SOURCE NOTES.





Key
SCALE: 1" = 1,000'



Medway Station #65
12 and 34 West Street
Medway, MA 02053

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Issued for: **Permitting**
Date: **January 19, 2021**

Not Approved for Construction

Layout and Materials Plan



C-4
Sheet 4 of 7
Project Number: 73139.01

Zoning Summary Chart

Zoning District(S):	Energy Resources - ER	
Overlay District(S):	n/a	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	20,000 SF	4,092,852 SF
FRONTAGE	150.0 Feet	2,619.08 Feet
FRONT YARD SETBACK	30 Feet	30.17 Feet
SIDE YARD SETBACK	20 Feet	+/- 647 Feet
REAR YARD SETBACK	30 Feet	+/- 637 Feet
MAXIMUM BUILDING HEIGHT	40 Feet	12 Feet, 2-3/4 Inches
MAXIMUM IMPERVIOUS	80.0 %	< 1.0 %
MINIMUM OPEN SPACE	20.0 %	> 95.0 %
MINIMUM REQUIRED PARKING SPACES	1 per 1,000 SF	None **

* Zoning regulation requirements as specified in the Town of Medway Zoning Bylaw, as amended November 18, 2019, and published January 6, 2020.
** Facility is unmanured therefore no parking is proposed and/or required within the perimeter fence of the yard, which eliminates the need for additional impervious pavement. The paved area immediately southeast of the substation may be utilized for parking when necessary.

Approved By:
Town of Medway Planning and Economic
Development Board
[Signature]

[Signature]
[Signature]

Decision Date: March 23, 2021

Endorsement Date: *April 28, 2021*

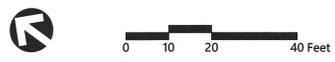
- GENERAL NOTES:
- REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR DIMENSIONAL MATERIAL, AND INSTALLATION REQUIREMENTS FOR ALL PROPOSED ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO SWITCHGEAR BUILDING, FOUNDATIONS, CABLE TRAYS, DUCT BANKS, ELECTRICAL MANHOLES, AND DIRECT BURIED CABLES.
 - ELECTRICAL EQUIPMENT DEPICTED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY.
 - SIZED AND TYPE OF CRUSHED STONE YARD MATERIAL SHALL BE PER EVERSOURCE SPECIFICATIONS.



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Key
Scale: 1" = 1,000'



Medway Station #65

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Issued for: Permitting Date: January 19, 2021

Approved By:
Town of Medway Planning and Economic
Development Board

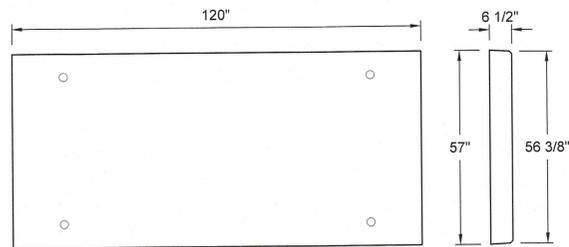
[Signature]
T. Jay

Not Approved for Construction
Drawing Title: **Grading and
Drainage Plan**

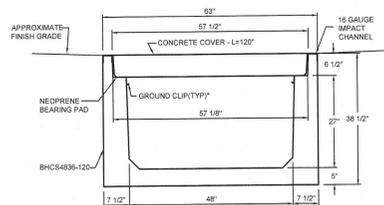
Decision Date: March 23, 2021
Endorsement Date: April 28, 2021



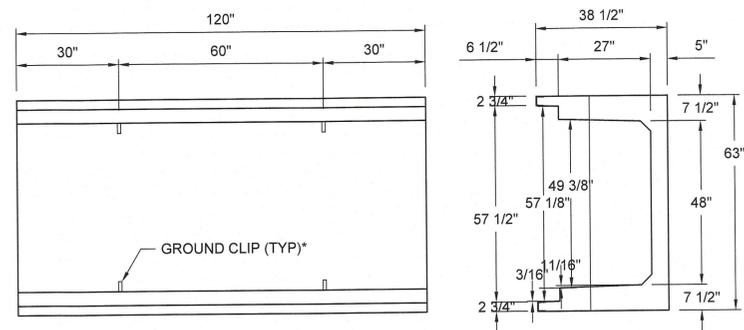
C-5
Sheet 5 of 7
Project Number: 73139.01



PRECAST CONCRETE COVER



TYPICAL SECTION - 48"W X 27"D



48"W X 27"D X 120"L TOP & SIDE VIEWS

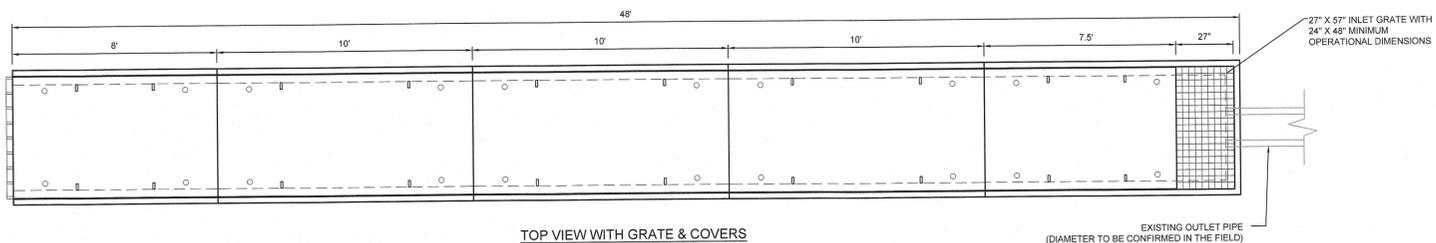
GENERAL NOTES:

- GROUND CLIPS ARE OPTIONAL.
- PRECAST CONCRETE UTILITY TRENCH AND COVER TO BE DESIGNED TO CARRY AASHTO HS20 DESIGN LOAD (32,000 LBS/AXLE).
- ONE SECTION OF PRECAST TRENCH SHALL BE CAST WITH END CAP FOR TIE-IN TO EXISTING OUTLET PIPE.
- PRECAST TRENCH SHALL BE FITTED WITH BAR GRATE AT INLET END OF TRENCH.
- PREPARATION OF SUBGRADE AND BEDDING SHALL BE PER MANUFACTURE'S INSTALLATION SPECIFICATIONS.
- DETAIL AND DIMENSIONS ARE BASED ON MODIFIED TRENWA DETAIL BHCS4836-120 AND COVER DETAIL LHC4836-120

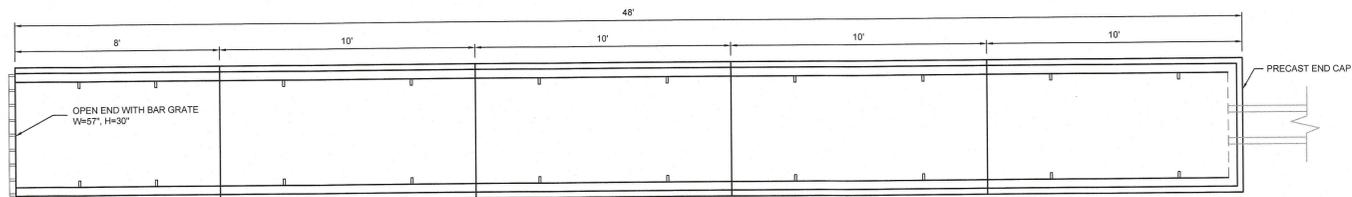
Utility Trench Section & Cover Detail

N.T.S. Source: VHB

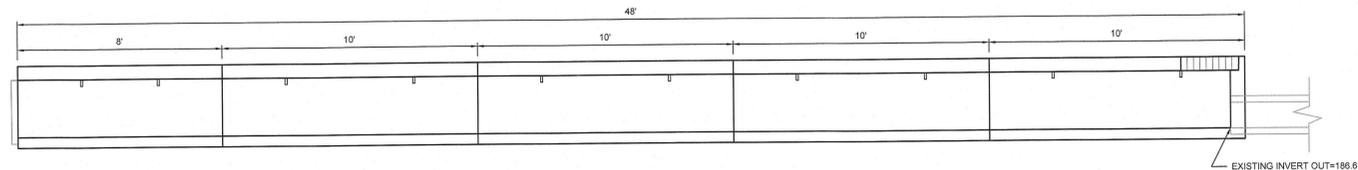
9/20



TOP VIEW WITH GRATE & COVERS



TOP VIEW



SIDE VIEW

Utility Trench Detail

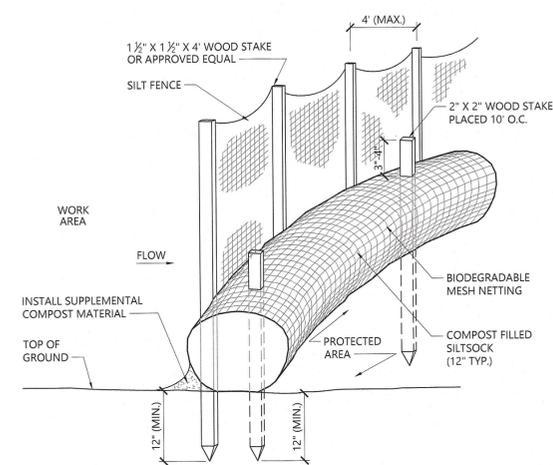
N.T.S. Source: VHB

Approved By:
Town of Medway Planning and Economic
Development Board

[Signature]

Decision Date: March 23, 2021

Endorsement Date: _____

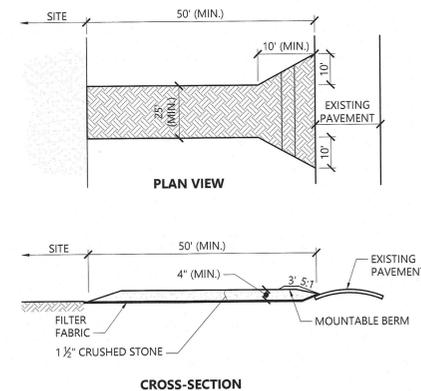


NOTES

- SILT SOCK SHALL BE FILTREXX SILT SOCK, OR APPROVED EQUAL.
- SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
- SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
- COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
- IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock / Silt Fence Barrier

N.T.S. Source: VHB 1/16 LD_658-A



NOTES

- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
- STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit

N.T.S. Source: VHB REV 1/16 LD_682

vhb.com

1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Medway Station #65

12 and 34 West Street
Medway, MA 02053

No.	Revision	Date	App'd
1	Planning Board Comments	03/02/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

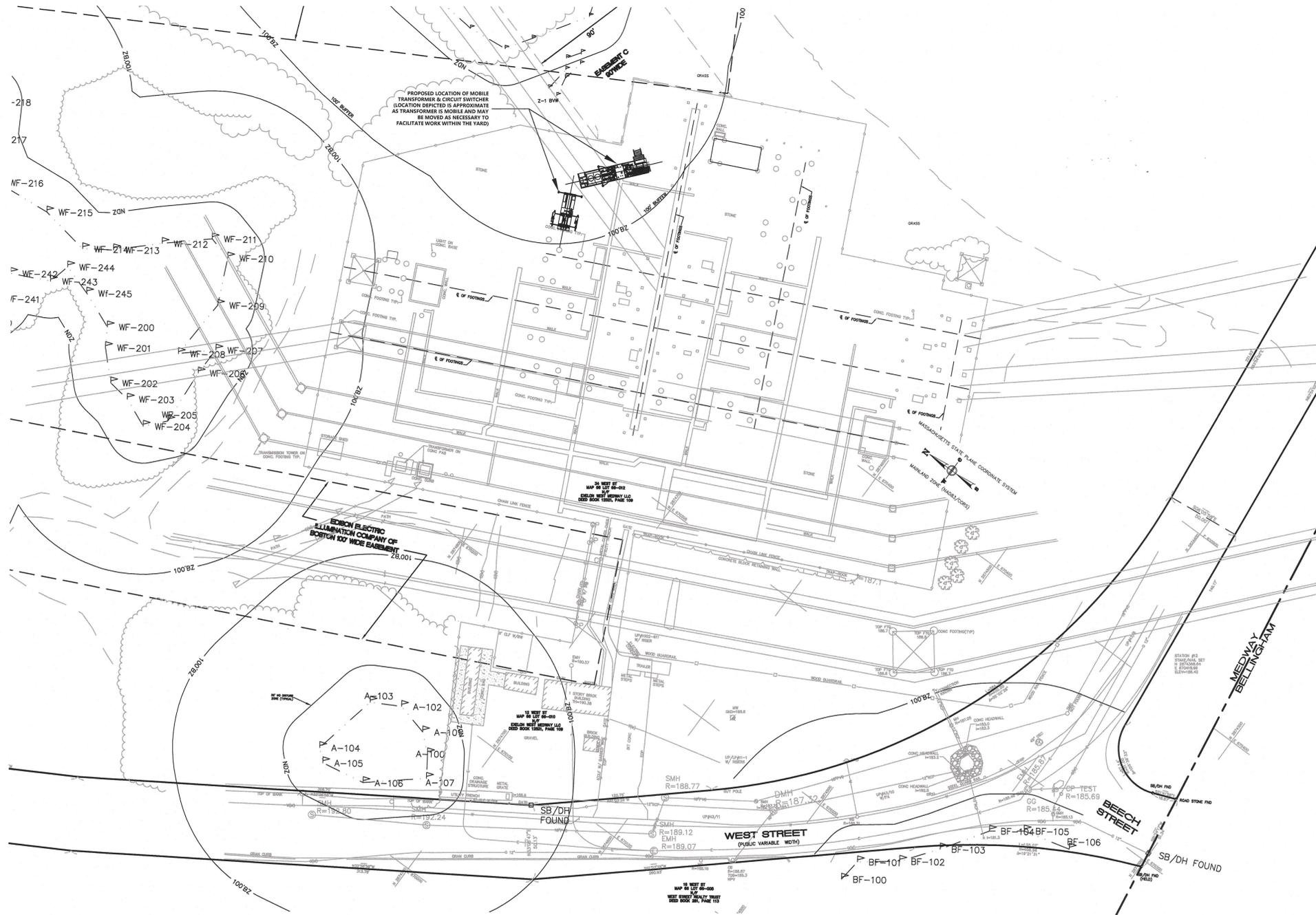
Designed by: **RTL** Checked by: **RLC**
Issued for: **Permitting** Date: **January 19, 2021**

Not Approved for Construction

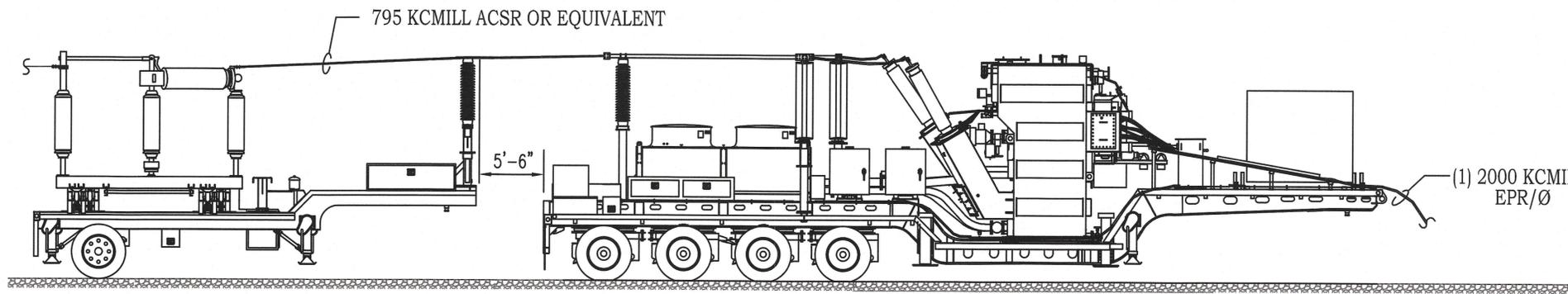
Site Details



C-6
Sheet 6 of 7
Project Number: 73139.01



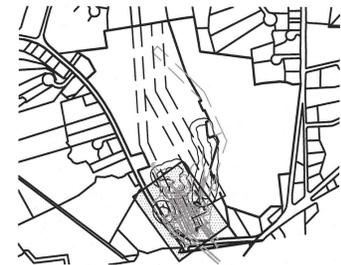
Plan View



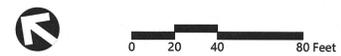
Elevation



Photo



Key
Scale: 1" = 1,000'



Approved By:
Town of Medway Planning and Economic
Development Board

[Signature]

Decision Date: March 23, 2021

Endorsement Date: _____

Medway Station #65
12 and 34 West Street
Medway, MA 02053

No.	Revision	Date	Appr.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by: RTL
Checked by: RLC
Issued for: _____
Date: _____

Permitting
January 19, 2021

Not Approved for Construction

Mobile Transformer Plan



C-7

Sheet 7 of 7

Project Number
73139.01

MEDWAY ABUTTERS WITHIN 300 FEET

MAP-LOT	ADDRESS	RECORD OWNER	DEED BOOK	PAGE
55-009	66 WEST ST	MAH REAL ESTATE LLC	35477	88
55-010	60 WEST ST	COLACE ANGELO	12314	240
55-011	0 FISHER ST	BOSTON EDISON CO	4376	37
55-012	66 R WEST ST	BOSTON EDISON CO	4273	120
55-013	9 FISHER ST	BOSTON EDISON CO	1786	417
55-015	11 FISHER ST	LONG GERALDINE C & BRUCE C TT	22728	358
55-020	5 PINE MEADOW RD	SULLIVAN TERRANCE M	34114	457
55-021	6 PINE MEADOW RD	BONCI JEFFREY	35842	142
55-022	4 PINE MEADOW RD	COTTON ALEXANDER JACOB	33215	346
55-023	2 PINE MEADOW RD	REED ALLISON	33048	574
55-024	8 FISHER ST	HAGEN TRUSTEE PATRICIA M	32755	228
55-026	0 WEST ST	BOSTON EDISON CO	4258	231
55-027	50 WEST ST	DEL MONTE THOMAS M	1227	133
55-028	46 WEST ST	DINKEL TRUSTEE MARIANNE P	1400	666
55-032	59 WEST ST	CENEDELLA PETER F.	8082	399
55-033	57 WEST ST	HINOPOROS JULIE	36439	246
55-034	55 WEST ST	BRENNAN KEVIN J	789	130
55-035	53 WEST ST	CAHILL RUTH E. (MILLER)	5284	130
55-036	51 WEST ST	BULMAN LARRY A	4954	512
55-037	49 WEST ST	OLSEN KENNETH G.	8717	729
55-038	11 MILLBROOK RD	VIALL ANDREW	34271	343
55-039	9 MILLBROOK RD	FORTUNE JEAN	22445	263
55-040	7 MILLBROOK RD	SWARTHOUT JAMES A.	10473	346
55-045	47 WEST ST	GILMAN GERARD C	8050	270
55-046	0 R MILLBROOK RD	ROCHE'S BUILDING CO., INC.	9710	366
55-048	45 WEST ST	BOSTON EDISON CO	4521	30
55-049	43 WEST ST	BOSTON EDISON CO	4429	705
55-050	41 WEST ST	BOSTON EDISON CO	4404	229
55-051	39 WEST ST	BERNARDO MEGHAN E	29684	215
56-001	65 MILFORD ST	BOSTON EDISON CO	4355	587
56-002	0 MILFORD ST	BOSTON EDISON CO	1391	423
56-003	61 R MILFORD ST	BOSTON EDISON CO	4355	587
56-004	53 R MILFORD ST	BOSTON EDISON CO	4355	587
56-005	49 MILFORD ST	EXELON WEST MEDWAY LLC	12521	109
56-006	49 MILFORD ST	CHAFFEE ALLAN H	10210	268
56-009	10 LITTLE TREE RD	MATHEW MANOJ V	32495	263
56-010	12 LITTLE TREE RD	FLANNAGAN JOHN J	27352	402
56-011	14 LITTLE TREE RD	HOUSER ADAM A	31597	210
56-012	16 LITTLE TREE RD	MUNISAMY THIRUVENGADAM	33100	403
56-024	3 SUMMER VALLEY LN	GILBERT SHAWN S	32484	72
56-025	23 A SUMMER ST	CONNOR DANIEL	32274	581
56-026	23 B SUMMER ST	JASON VICTOR E	11742	4
56-027	23 SUMMER ST	JASON MARGARET D & SUCCESSORS	23182	368
56-028	21 SUMMER ST	JASON KEVIN E	23122	500
56-052	2 AMELIA WAY	WILLEY MICHAEL E	23821	291
56-053	16 OLD SUMMER ST	HENNEBERRY LAWRENCE K TRST	21510	3
65-024	37 WEST ST	GBW SENIOR APARTMENTS LLC	36330	149
65-026	3 GLEN BROOK WAY	GLEN BROOK WAY APARTMENTS LLC	35437	61
65-027	29 WEST ST	NEW ENGLAND POWER COMPANY	4380	368
65-028	23 WEST ST	NEW ENGLAND POWER COMPANY	4454	689
66-001	1 GLEN BROOK WAY	GLEN BROOK WAY APARTMENTS LLC	35437	61
66-002	33 WEST ST	GLEN BROOK WAY APARTMENTS LLC	35270	532
66-003	31 WEST ST	GBW SENIOR APARTMENTS LLC	36269	207
66-004	27 WEST ST	NEW ENGLAND POWER COMPANY	3781	44
66-005	15 WEST ST	WEST STREET REALTY TRUST	281	113
66-006	0 STONE ST	BARLOW JR JOHN R	29412	289
66-010	12 WEST ST	EXELON WEST MEDWAY LLC	12521	109
66-011	30 WEST ST	NEW ENGLAND POWER COMPANY	4390	243
66-012	34 WEST ST	EXELON WEST MEDWAY LLC	12521	109
66-013	9 SUMMER ST	EXELON WEST MEDWAY LLC	12521	109
66-014	5 SUMMER ST	EXELON WEST MEDWAY LLC	35175	384
66-015	266 MAIN ST	SECATOR ELIZABETH	32871	450
66-016	268 MAIN ST	SHRESTHA JOANNE M	34822	506
66-017	2 WEST ST	HOLLINGSWORTH JON B	1348	301
66-017-0001	4 WEST ST	HOLLINGSWORTH 1031 EXCHANGE TRUST	1348	301
66-018	260 MAIN ST	LOPES MARIA E	16560	546
66-019	1 OLD SUMMER ST	MANZON GIL J	30179	435
66-020	3 OLD SUMMER ST	ORTIZ RAMIRO E	34261	62
66-044	269 MAIN ST	MCCARTHY JOHN	26018	400
66-045	267 MAIN ST	DESMARIS DANIEL R	8656	66
66-046	411 VILLAGE ST	BLETHEN RICHARD C	5489	297
66-052	5 WEST ST	CAHILL, ESTATE OF ROBERT E	2524	575
66-053	3 WEST ST	PETRUCCHI MICHAEL	33566	476

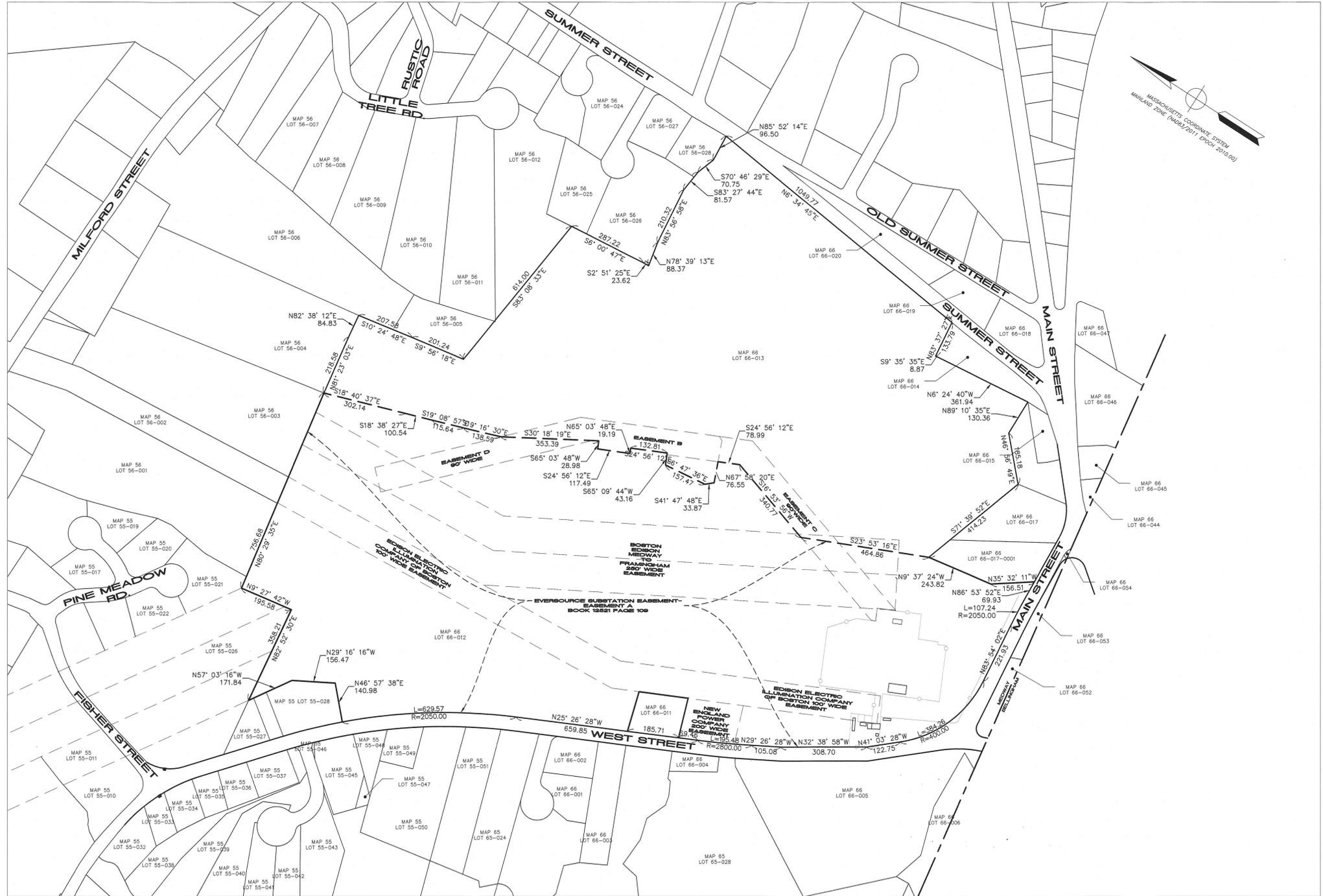
RECORD OWNER

EXELON WEST MEDWAY LLC, 34 WEST STREET, 5 SUMMER STREET AND 9 SUMMER STREET

325 WOOD ROAD
SUITE 109
BRAintree MA 02184
(781)380-7766
FAX (781)380-7757

SMC SURVEYING AND MAPPING CONSULTANTS

SMC PROJECT NO. 2000142.00



REFERENCES

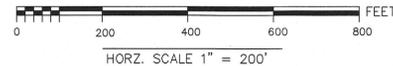
1. PLAN SHOWING THE RELOCATION AND WIDENING OF WEST STREET, MEDWAY DATED JULY 2, 1929 SCALE 1"=40'
2. PLAN SHOWING THE RELOCATION AND WIDENING OF WEST STREET, MEDWAY DATED SEPTEMBER 28, 1937 SCALE 1"=40'
3. CONVEYANCING PLAN OF LAND SUMMER STREET MEDWAY, MA. PREPARED BY BEALS AND THOMAS, INC. DATED MAY 11, 1998
4. ALTA/ACSM LAND TITLE SURVEY SUMMER STREET MEDWAY, MA. PREPARED BY BEALS AND THOMAS, INC. DATED JULY 21, 1996
5. EXISTING CONDITIONS SURVEY STATION 65 WEST MEDWAY, MA PREPARED BY SMC DATED SEPTEMBER 8, 2011
6. EXISTING CONDITIONS SURVEY STATION 65 WEST MEDWAY, MA PREPARED BY SMC DATED OCTOBER 24, 2017

NOTES

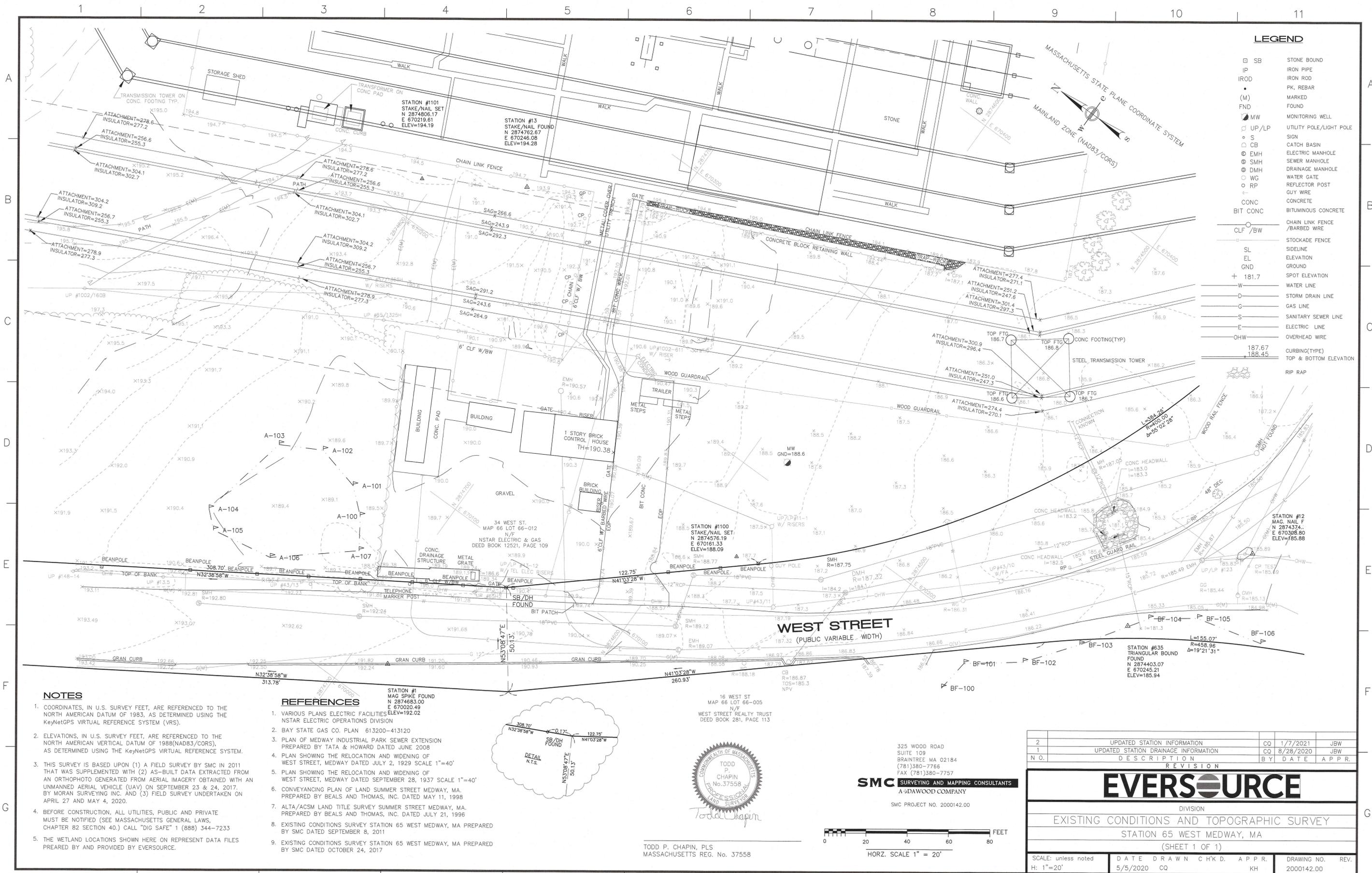
1. COORDINATES, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, AS DETERMINED USING THE KeyNetGPS VIRTUAL REFERENCE SYSTEM (VRS).
2. FOR ABUTTERS INFORMATION, SEE TABLE "MEDWAY ASSESSORS."



TODD P. CHAPIN, PLS
MASSACHUSETTS REG. No. 37558



1		ADDITION OF ASSESSORS INFORMATION		CQ	1/7/2021	JBW
N.O.		DESCRIPTION		BY	DATE	APPR.
REVISION						
EVERSOURCE						
DIVISION						
SUBSTATION EASEMENT PERIMETER PLAN						
STATION 65 WEST MEDWAY, MA						
(SHEET 1 OF 1)						
SCALE: unless noted		DATE DRAWN		CHK'D.		APPR.
H: 1"=200'		10/12/2020		CQ		JW
DRAWING NO.		2000142.00		REV.		

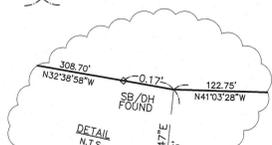


LEGEND

- SB STONE BOUND
- IP IRON PIPE
- IROD IRON ROD
- PK, REBAR MARKED
- (M) FOUND
- FND FOUND
- MW MONITORING WELL
- UP/LP UTILITY POLE/LIGHT POLE
- S SIGN
- CB CATCH BASIN
- EMH ELECTRIC MANHOLE
- SMH SEWER MANHOLE
- DMH DRAINAGE MANHOLE
- WG WATER GATE
- RP REFLECTOR POST
- GUY WIRE
- CONC CONCRETE
- BIT CONC BITUMINOUS CONCRETE
- CLF /BW CHAIN LINK FENCE /BARBED WIRE
- SL STOCKADE FENCE
- EL SIDELINE
- ELEV ELEVATION
- GND GROUND
- + 181.7 SPOT ELEVATION
- W WATER LINE
- D STORM DRAIN LINE
- G GAS LINE
- S SANITARY SEWER LINE
- E ELECTRIC LINE
- OHW OVERHEAD WIRE
- 187.67 CURBING (TYPE)
- 188.45 TOP & BOTTOM ELEVATION
- RP RAP

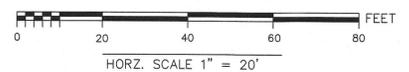
- NOTES**
1. COORDINATES, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, AS DETERMINED USING THE KeyNetGPS VIRTUAL REFERENCE SYSTEM (VRS).
 2. ELEVATIONS, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAD83/CORS), AS DETERMINED USING THE KeyNetGPS VIRTUAL REFERENCE SYSTEM.
 3. THIS SURVEY IS BASED UPON (1) A FIELD SURVEY BY SMC IN 2011 THAT WAS SUPPLEMENTED WITH (2) AS-BUILT DATA EXTRACTED FROM AN ORTHOPHOTO GENERATED FROM AERIAL IMAGERY OBTAINED WITH AN UNMANNED AERIAL VEHICLE (UAV) ON SEPTEMBER 23 & 24, 2017, BY MORAN SURVEYING INC. AND (3) FIELD SURVEY UNDERTAKEN ON APRIL 27 AND MAY 4, 2020.
 4. BEFORE CONSTRUCTION, ALL UTILITIES, PUBLIC AND PRIVATE MUST BE NOTIFIED (SEE MASSACHUSETTS GENERAL LAWS, CHAPTER 82 SECTION 40.) CALL "DIG SAFE" 1 (888) 344-7233
 5. THE WETLAND LOCATIONS SHOWN HERE ON REPRESENT DATA FILES PREPARED BY AND PROVIDED BY EVERSOURCE.

- REFERENCES**
1. VARIOUS PLANS ELECTRIC FACILITIES NSTAR ELECTRIC OPERATIONS DIVISION
 2. BAY STATE GAS CO. PLAN 613200-413120
 3. PLAN OF MEDWAY INDUSTRIAL PARK SEWER EXTENSION PREPARED BY TATA & HOWARD DATED JUNE 2008
 4. PLAN SHOWING THE RELOCATION AND WIDENING OF WEST STREET, MEDWAY DATED JULY 2, 1929 SCALE 1"=40'
 5. PLAN SHOWING THE RELOCATION AND WIDENING OF WEST STREET, MEDWAY DATED SEPTEMBER 28, 1937 SCALE 1"=40'
 6. CONVEYANCING PLAN OF LAND SUMMER STREET MEDWAY, MA. PREPARED BY BEALS AND THOMAS, INC. DATED MAY 11, 1998
 7. ALTA/ACSM LAND TITLE SURVEY SUMMER STREET MEDWAY, MA. PREPARED BY BEALS AND THOMAS, INC. DATED JULY 21, 1996
 8. EXISTING CONDITIONS SURVEY STATION 65 WEST MEDWAY, MA PREPARED BY SMC DATED SEPTEMBER 8, 2011
 9. EXISTING CONDITIONS SURVEY STATION 65 WEST MEDWAY, MA PREPARED BY SMC DATED OCTOBER 24, 2017

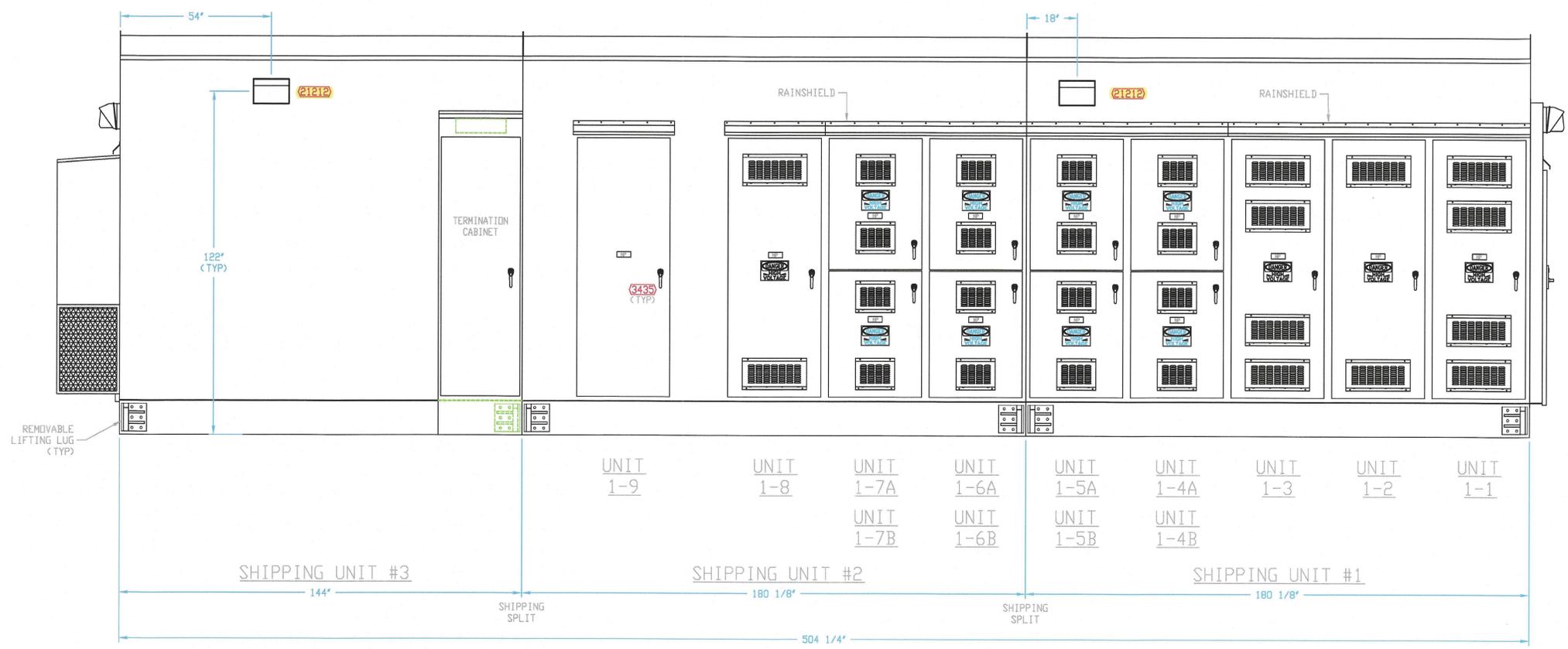
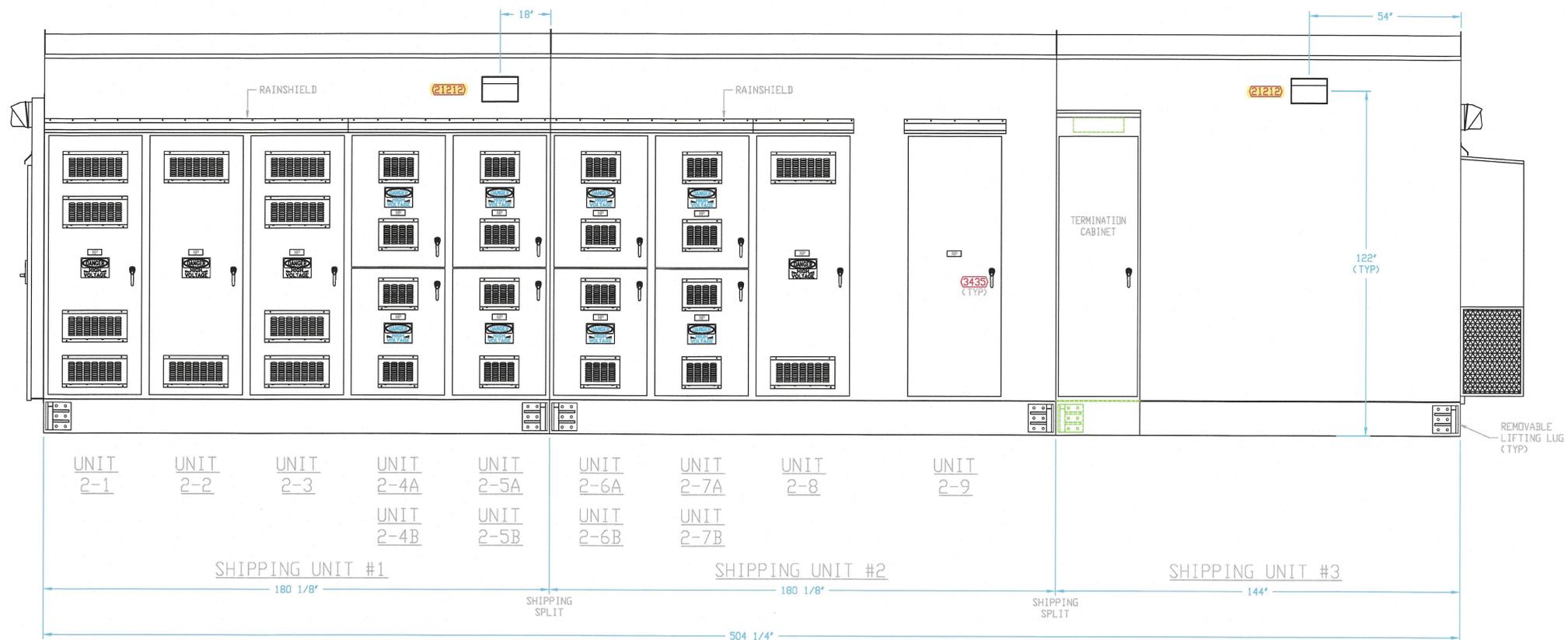


TODD P. CHAPIN, PLS
MASSACHUSETTS REG. No. 37558

SMC SURVEYING AND MAPPING CONSULTANTS
A DAWOOD COMPANY
325 WOOD ROAD
SUITE 109
BRAINTREE MA 02184
(781)380-7766
FAX (781)380-7757
SMC PROJECT NO. 2000142.00



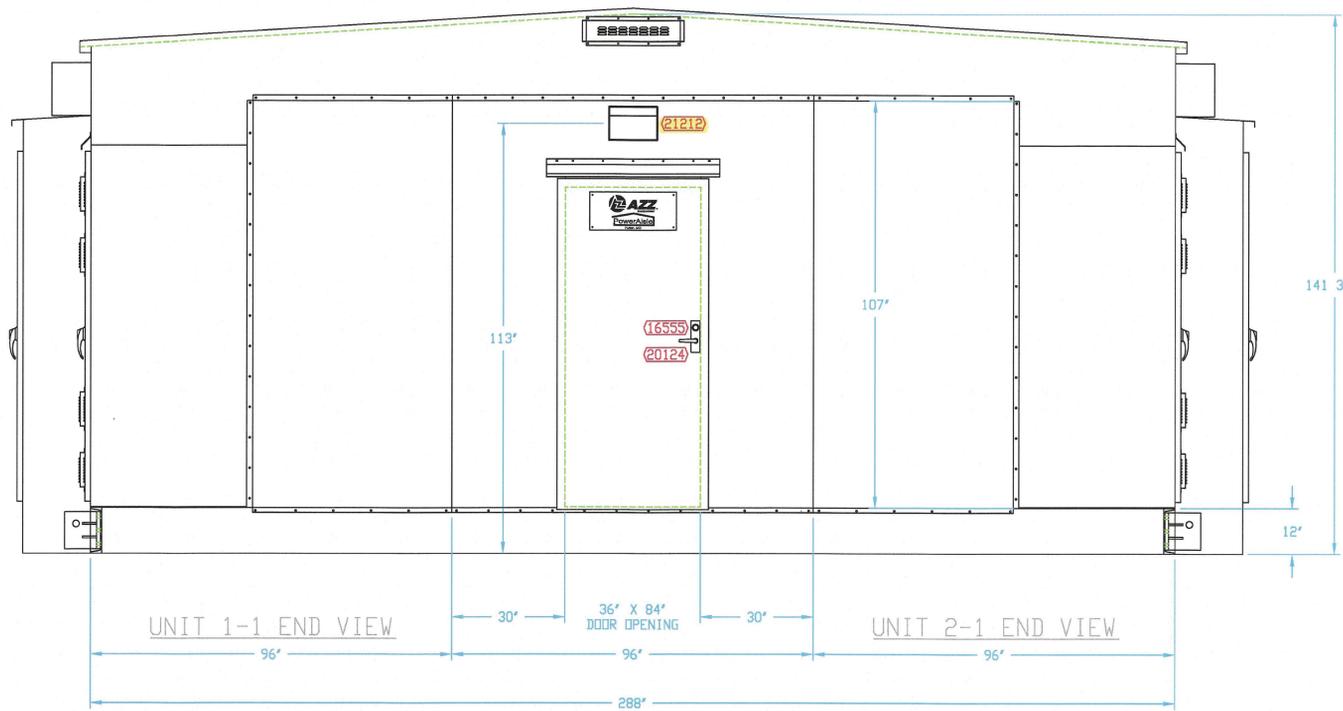
2	UPDATED STATION INFORMATION	CO	1/7/2021	JBW
1	UPDATED STATION DRAINAGE INFORMATION	CO	8/28/2020	JBW
N.O.	DESCRIPTION	BY	DATE	APP.R.
REVISION				
EVERSOURCE				
DIVISION				
EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY				
STATION 65 WEST MEDWAY, MA				
(SHEET 1 OF 1)				
SCALE: unless noted	DATE	DRAWN	CHECKED	APP.R.
H: 1"=20'	5/5/2020	CQ		KH
	DRAWING NO.			REV.
	2000142.00			



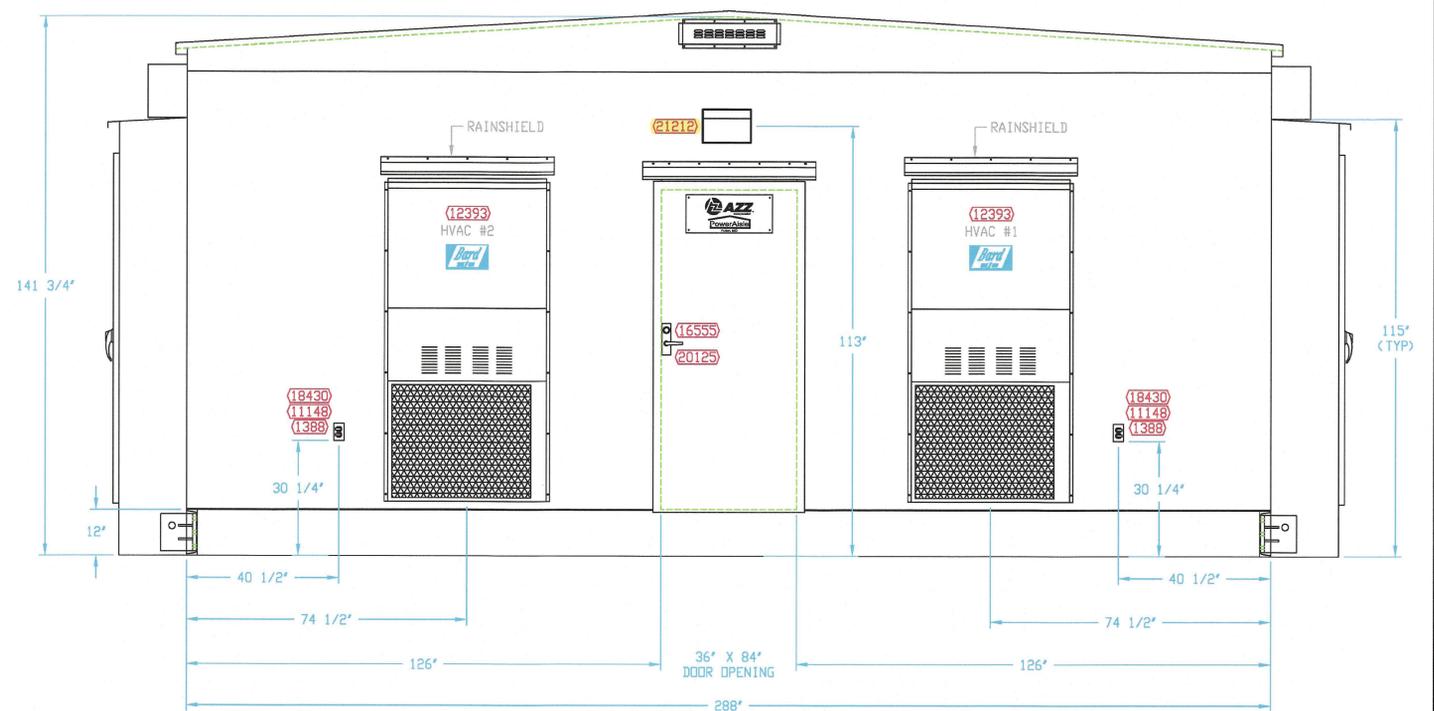
NOTE:
1. 21212 -INDICATES BILL OF MATERIAL ITEM NUMBER.

REVISION LETTER	DATE	REVISIONS	BY	APPROV'D
A	04/24/15	REVISED PER D & L	NBH	VC
B	01/13/16	REVISED PER CHANGE TO STATION 131	NBH	VC
C	02/05/18	REVISED PER CUSTOMER CHANGES	VC	VC
D	03/08/18	REVISED PER D & L	JB	VC
E	04/03/18	REVISED EXTERIOR LIGHTS	VC	VC

		SWITCHGEAR SYSTEMS 7311 Old U.S. Highway 54 Fulton, MO 65251 573.642.6811	
		CUSTOMER NSTAR EAST EAGLE SUBSTATION NO. 131, BOSTON, MA 15kV, 50kA, 3000A METAL-CLAD CUSTOMER P. D. NO. 65752	
DRAWING STATUS		DRAWING TITLE	
Final As-Built 2/18/2019		EXTERIOR ELEVATIONS	
DRAWN R. Lewis	CHK'D B. Blackburn	DATE 3/5/2015	DRAWING NO. C7329M07
APPROV'D W. Colby	SCALE 1/2"=1'		



END ELEVATION
SWITCHGEAR END VIEW



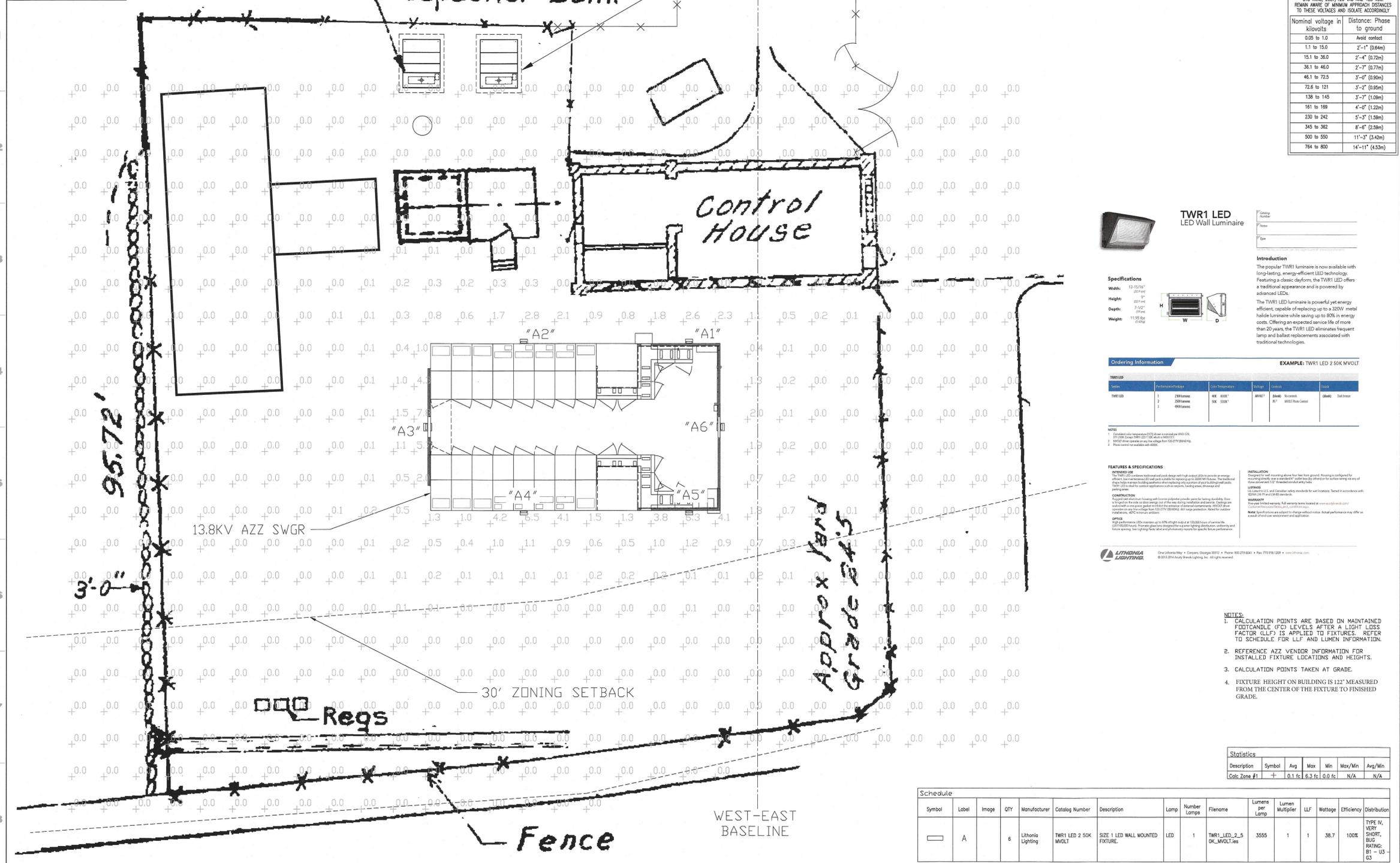
END ELEVATION
WORK AREA END VIEW

NOTE:

1. -INDICATES BILL OF MATERIAL ITEM NUMBER.

REVISION LETTER	DATE	REVISIONS	IFTR	APPROV'D	
A	04/13/15	REVISED PER D & L	NDH	WC	 SWITCHGEAR SYSTEMS 7911 Old U.S. Highway 54 Fulton, MO 65251 573.642.8511
B	01/13/16	REVISED PER CHANGE TO STATION 131	NDH	WC	
C	02/05/18	REVISED PER ENGINEERING	VC	VC	
D	03/08/18	REVISED PER D & L	BB	VC	
E	04/03/18	REVISED EXTERIOR LIGHTS	VC	VC	
F	12/04/18	REVISED PER ENGINEERING	RLI	VC	
DRAWING STATUS					CUSTOMER NSTAR EAST EAGLE SUBSTATION NO. 131, BOSTON, MA 15kV, 50kA, 3000A METAL-CLAD CUSTOMER P. O. NO. 65752
Final As-Built 2/18/2019					DRAWING TITLE EXTERIOR ELEVATIONS - END VIEWS
DRAWN <i>R. Lewis</i>			CHK'D <i>B. Blackburn</i>	DATE 3/5/2015	DRAWING NO. C7329M08
APPROV'D <i>W. Colby</i>			SCALE 3/4" = 1'		

PH-001



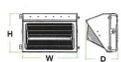
THIS PROJECT INVOLVES WORK ON EQUIPMENT THAT IS OPERATING AT VOLTAGES BETWEEN 240 KVA, 208Y/120 VAC AND 125 VDC. REMAIN AWARE OF MINIMUM APPROACH DISTANCES TO THESE VOLTAGES AND ISOLATE ACCORDINGLY.

Nominal voltage in kilovolts	Distance to ground to phase
0.05 to 1.0	Avoid contact
1.1 to 15.0	2'-1" (0.64m)
15.1 to 36.0	2'-4" (0.72m)
36.1 to 46.0	2'-7" (0.79m)
46.1 to 72.5	3'-0" (0.90m)
72.6 to 121	3'-2" (0.96m)
121 to 145	3'-7" (1.09m)
145 to 169	4'-0" (1.22m)
169 to 242	5'-3" (1.59m)
242 to 362	6'-6" (2.00m)
362 to 550	11'-3" (3.42m)
550 to 800	14'-11" (4.53m)



TWIR1 LED LED Wall Luminaire

Specifications
 Width: 12.1515"
 Height: 2"
 Depth: 7.52"
 Weight: 11.95 lbs



Introduction
 The popular TWIR1 luminaire is now available with long-lasting, energy-efficient LED technology. Featuring a classic dryform, the TWIR1 LED offers a traditional appearance and is powered by advanced LEDs.
 The TWIR1 LED luminaire is powerful, yet energy efficient, capable of replacing up to a 200W metal halide luminaire while saving up to 80% in energy costs. Offering an expected service life of more than 20 years, the TWIR1 LED eliminates frequent lamp and ballast replacements associated with traditional technologies.

Ordering Information **EXAMPLE: TWIR1 LED 2 50K MVOLT**

Item	Quantity	Manufacturer	Part Number	Notes
TWIR1 LED	1	Lithonia Lighting	OK 50K	2500K
TWIR1 LED	2	Lithonia Lighting	OK 30K	3000K

NOTES:
 1. Standard luminaire height is 20' unless otherwise noted.
 2. MVOLT luminaire requires a 120V ballast.
 3. Refer to the manufacturer's literature for more information.

FEATURES & SPECIFICATIONS
FINISHES: The TWIR1 LED luminaire is available in a variety of finishes. The standard finish is a powder-coated aluminum. Other finishes include: black, white, and custom colors. Contact your distributor for more information.
CONSTRUCTION: The TWIR1 LED luminaire is constructed from high-quality materials. The luminaire is designed to withstand harsh weather conditions and is suitable for outdoor use.
INSTALLATION: The TWIR1 LED luminaire is designed for easy installation. It is compatible with standard mounting brackets and can be installed on a wall or ceiling.
WARRANTY: The TWIR1 LED luminaire is covered by a 5-year warranty. The warranty covers the luminaire and its components.
LED: The TWIR1 LED luminaire uses high-quality LED chips. The LEDs are designed to provide long life and high efficiency.
OPERATION: The TWIR1 LED luminaire is designed to operate at a constant temperature. The luminaire is designed to provide consistent performance over its lifetime.

- NOTES:**
- CALCULATION POINTS ARE BASED ON MAINTAINED FOOTCANDLE (FC) LEVELS AFTER A LIGHT LOSS FACTOR (LLF) IS APPLIED TO FIXTURES. REFER TO SCHEDULE FOR LLF AND LUMEN INFORMATION.
 - REFERENCE AZZ VENDOR INFORMATION FOR INSTALLED FIXTURE LOCATIONS AND HEIGHTS.
 - CALCULATION POINTS TAKEN AT GRADE.
 - FIXTURE HEIGHT ON BUILDING IS 122" MEASURED FROM THE CENTER OF THE FIXTURE TO FINISHED GRADE.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.1 fc	6.3 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Efficiency	Distribution
□	A		6	Lithonia Lighting	TWIR1 LED 2 50K MVOLT	SIZE 1 LED WALL MOUNTED FIXTURE	LED	1	TWIR1_LED_2_5 OK_MVOLT.ies	3555	1	1	38.7	100%	TYPE IV, VERY SHORT, BUSHING RATING: B1 - US C3

NO.	DATE	DESCRIPTION OF ALTERATIONS	BY	CHECKED	APPROVED	TITLE OF REFERENCE DRAWINGS	NUMBER

ISSUED FOR PERMITTING

DATE: MARCH 1, 2021
 SCALE: N.T.S. IN=1 FOOT

APPROVED
 DRG/TRC

PH-001

NSTAR ELECTRIC

PHOTOMETRIC PLAN
 LOAD CENTER UNITS

65 STATION WEST MIDWAY

SDCs PENDING 20-030A

TRC

249 WESTERN AVE
 AUGUSTA, ME 04330

PROJECT NO: 20-043A
 DATE: 03/01/21
 REV: 1

DESCRIPTION: SWITCHGEAR - ELECTRICAL ENGINEERING & DESIGN

DATE: 03/01/21
 BY: MB/TRC
 CHECKED: MB/TRC
 APPROVED: MB/TRC

STATION DESIGN CHANGE NO: 20-043A
 TITLE OF CHANGE: SWITCHGEAR - ELECTRICAL ENGINEERING & DESIGN

(BASE) DWG. No. PH-001 (BASE) DWG. Rev. No. 7

DESCRIPTION OF REVISION:
 A ISSUED FOR PERMITTING - SWITCHGEAR

DATE: 03/01/21
 BY: MB/TRC
 CHECKED: MB/TRC
 APPROVED: MB/TRC