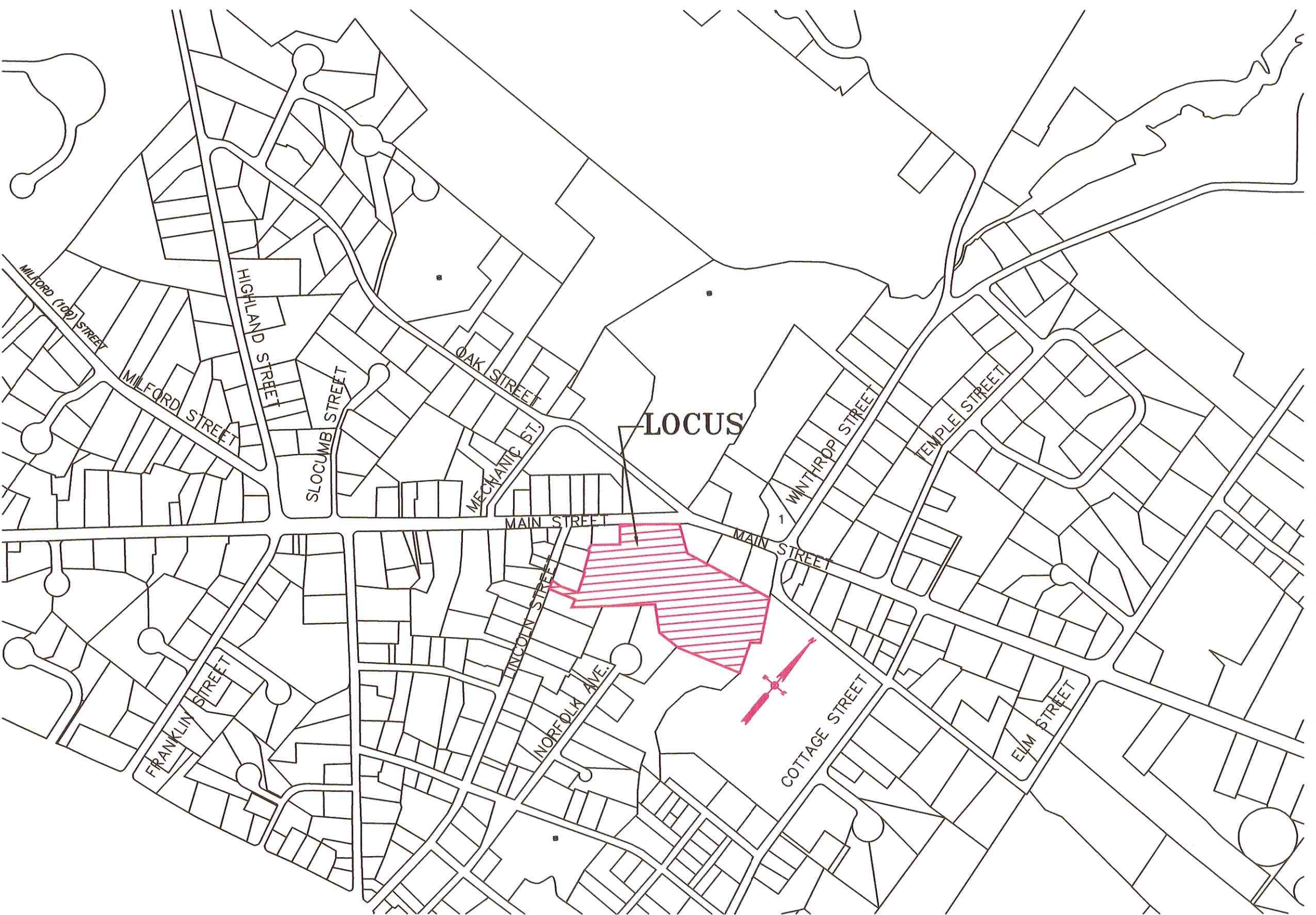


SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

1. THIS SITE IS IN A FLOOD HAZARD ZONE AE AND X500.
2. THIS LAND IS ZONED AR-II.
3. THIS LAND IS LOCATED IN THE MILL CONVERSION OVERLAY DISTRICT, AN ADAPTIVE USE DISTRICT (AUOD), AND A MULTI FAMILY HOUSING OVERLAY DISTRICT (MHOD).
4. LINCOLN STREET IS CONSIDERED A SCENIC ROAD.
5. THIS LAND IS NOT LOCATED WITHIN THE NHESP AREA.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
7. ALL STRIPING AND SIGNAGE TO CONFORM TO "THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES."
8. REFER TO MEDWAY ASSESSORS MAP 48 LOT 92.
9. THIS SITE IS NOT IN A GROUND WATER PROTECTION DISTRICT.
10. ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
11. THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.
12. THE EXISTING CONDITIONS TOPOGRAPHICAL SURVEY AND BOUNDARY SHOWN HEREIN WAS OBTAINED BY REED LAND SURVEYING, INC, 109 RHODE ISLAND ROAD, SUITE 4A, LAKEVILLE, MA 02347. MINOR FIELD SURVEY WAS DONE BY GUERRIERE & HALNON, INC TO UPDATE THE PARKING STRIPING AND OTHER MINOR FEATURES. GUERRIERE & HALNON, INC, WITH ELECTRONIC FILES PROVIDED BY REED LAND SURVEYING, CONVERTED THE DRAWING FROM THE PREVIOUS DATUM TO NAD83/NAVD88.
13. THE WETLANDS WERE DELINEATED BY GODDARD CONSULTING, INC. ON AUGUST 19, 2019



VICINITY MAP

SCALE: 1" = 500'

WAIVER REQUEST

REQUEST FROM THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS

1. SECTION 204-4 B. STANDARDS FOR SITE PLAN PREPARATION.
2. SECTION 204-5C 3. EXISTING LANDSCAPE INVENTORY.
3. SECTION 204-5 D 7. LANDSCAPE ARCHITECTURAL PLAN
4. SECTION 205-9 TREES AND LANDSCAPING- TREE REPLACEMENT

INDEX

1. COVER SHEET
2. ABUTTERS FOR 300FT.
3. EXISTING CONDITIONS
4. GENERAL NOTES
5. PROPOSED LAYOUT
6. LIMIT OF CLEARING/EROSION CONTROL
7. PROPOSED GRADING AND UTILITIES
8. PHOTOMETRIC PLAN
9. LANDSCAPING PLAN
10. REMEDIATION PLAN
- 11-12 CONSTRUCTION DETAILS



F3519

APPROVED DATE: _____

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE _____

LEGAL NOTES

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

COVER SHEET

FEBRUARY 14, 2020

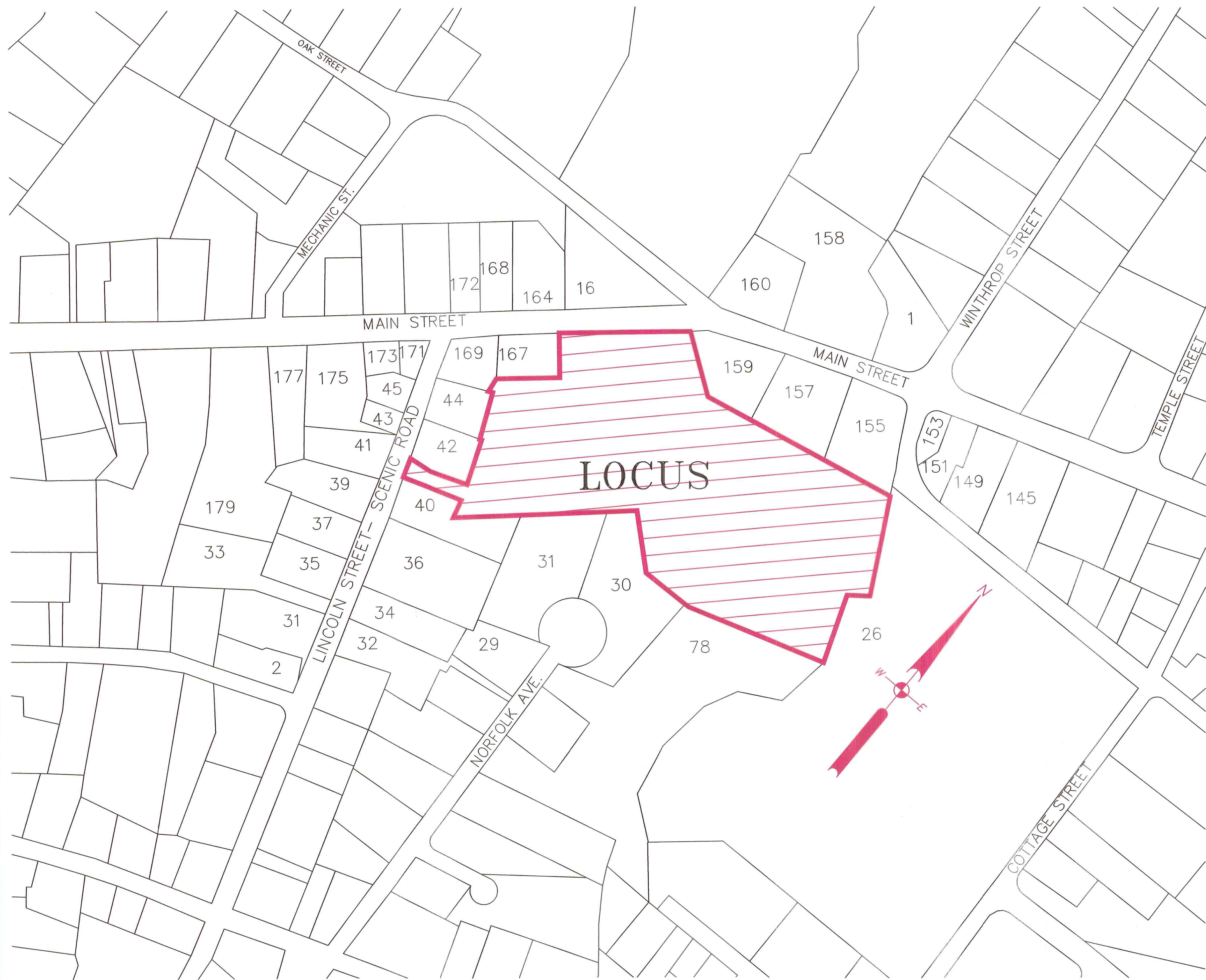
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Guerriere &
Halnon, Inc.

ENGINEERING & LAND SURVEYING

55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



VICINITY MAP

NOT TO SCALE

ABUTTERS

0 COTTAGE ST. EVERGREEN CEMETERY ASSOC. MAP 48 PARCEL 68
1 CHOATE PARK RD. TOWN OF MEDWAY MAP 39 PARCEL 74

32 LINCOLN ST. RICHARD BRIGGS MAP 48 PARCEL 85
34 LINCOLN ST. LAURIE MARCINKIEWICZ MAP 48 PARCEL 89
35 LINCOLN ST. MICHAEL & ELIZABETH HEIDEN MAP 48 PARCEL 109
36 LINCOLN ST. JOHN & STACEY CLOUTIER MAP 48 PARCEL 90
37 LINCOLN ST. STEPHEN & KERI PATTERSON MAP 48 PARCEL 108
39 LINCOLN ST. MICHAEL MARRAFFINO TRUSTEE MAP 48 PARCEL 107
40 LINCOLN ST. JAMES COAKLEY MAP 48 PARCEL 91
41 LINCOLN ST. JENNIFER & HANS MORRISON MAP 48 PARCEL 106
42 LINCOLN ST. CALVIN & KAREN WHITLA MAP 48 PARCEL 93
43 LINCOLN ST. KRISTY HARGREAVES & MICHAEL CAMPAGNA
MAP 48 PARCEL 105
44 LINCOLN ST. CATHERINE SANDOZ MAP 48 PARCEL 94
45 LINCOLN ST. FEDERICO VASQUEZ MAP 48 PARCEL 104

148 MAIN ST. UNIT A TAREK CHEBAKLO MAP 48 PARCEL C-A
148 MAIN ST. UNIT B ARTHUR PRUTSALIS MAP 48 PARCEL 9 C-B

145 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 22
149 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 21
151 MAIN ST. JOHN & CHRISTINE EARLY MAP 48 PARCEL 20
153 MAIN ST. JOHN & CHRISTINE EARLY MAP 48 PARCEL 19
155 MAIN ST- DAVID AND TARA WERLICH MAP 48 PARCEL 99
157 MAIN ST- 157 MAIN ST. REALTY TRUST MAP 48 PARCEL 98
158 MAIN ST- WOMACK FAMILY FUNDING MAP 48 PARCEL 2
159 MAIN ST- PAUL & KATHLEEN YORKIS MAP 48 PARCEL 97
160 MAIN ST- SHIRLEY MCDANIEL MAP 48 PARCEL 1
164 MAIN ST. FASLAND LLC MAP 48 PARCEL 114
167 MAIN ST. JOHN & CHARLENE KAIRIT MAP 48 PARCEL 96
168 MAIN ST. RICHARD & KRYSTIN FRASER MAP 48 PARCEL 115
169 MAIN ST. I O O F TRUST MAP 48 PARCEL 95

170 MAIN ST. UNIT A ARTHUR COWAN MAP 48 PARCEL 116- CA
170 MAIN ST. UNIT B RICHARD HUFFAM & MARK DENOMMEE
MAP 48 PARCEL 116- CB

171 MAIN ST. JOSE & DAMARYS CAICEDO MAP 48 PARCEL 103
172 MAIN ST. FRANCIS & MARGARET YERED MAP 48 PARCEL 117
173 MAIN ST. STEVEN LINNELL MAP 48 PARCEL 102

174-A MAIN ST. PAUL CHELMAN & ROSE COTE MAP 47 PARCEL 35-A
174-B MAIN ST. MICHAEL OLIVAL MAP 47 PARCEL 35-B

175 MAIN ST. CHERYL ROSENBERG TRUSTEE 1 MAP 48 PARCEL 101
177 MAIN ST. ERIC & TANYA BOUWMAN MAP 48 PARCEL 100
179 MAIN ST. VLADMIR & SUZANNE ATEYZEK MAP 47 PARCEL 43

14 MECHANIC ST. WILLIAM & BETTYE REARDON MAP 48 PARCEL 112

26 NORFOLK AVE. CHRISTOPHER & KRISTIN BRODEUR MAP 48 PARCEL 80
29 NORFOLK AVE. PETER & BRENDA LEE CHAPIN MAP 48 PARCEL 84
30 NORFOLK AVE. JENNIFER & JOHN DIGIACOMO MAP 48 PARCEL 82
31 NORFOLK AVE. THOMAS & CLAUDETTE BANNON MAP 48 PARCEL 83

0 OAK ST. TOWN OF MEDWAY MAP 39 PARCEL 74-1

1 WINTHROP ST. LINDA S. RUSSO REVOCABLE TRUST MAP 48 PARCEL 3



F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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DEED BOOK 24499 PAGE 10
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ABUTTERS FOR 300FT.

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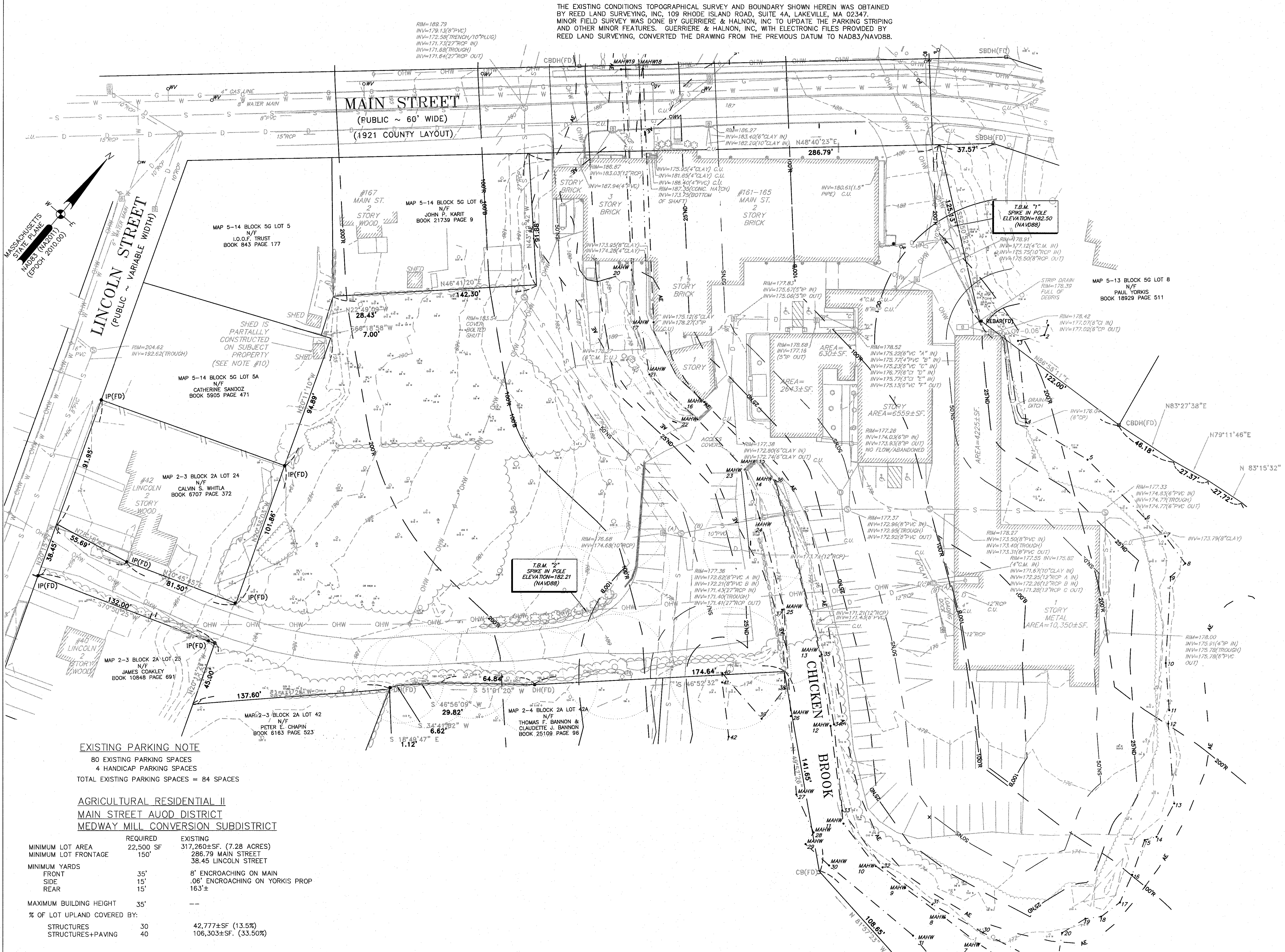
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SHEET
2 OF 12

JOB NO. **F3519**

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EXISTING PARKING NOTE

80 EXISTING PARKING SPACES
4 HANDICAP PARKING SPACES
TOTAL EXISTING PARKING SPACES = 84 SPACES

**AGRICULTURAL RESIDENTIAL II
MAIN STREET AUOD DISTRICT
MEDWAY MILL CONVERSION SUBDISTRICT**

	REQUIRED	EXISTING
MINIMUM LOT AREA	22,500 SF	317,260±SF. (7.28 ACRES)
MINIMUM LOT FRONTAGE	150'	286.79 MAIN STREET 38.45 LINCOLN STREET
MINIMUM YARDS		
FRONT	35'	8' ENCROACHING ON MAIN
SIDE	15'	.06' ENCROACHING ON YORKIS PROP
REAR	15'	163±
MAXIMUM BUILDING HEIGHT	35'	--
% OF LOT UPLAND COVERED BY:		
STRUCTURES	30	42,777±SF. (13.5%)
STRUCTURES+PAVING	40	106,303±SF. (33.50%)

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

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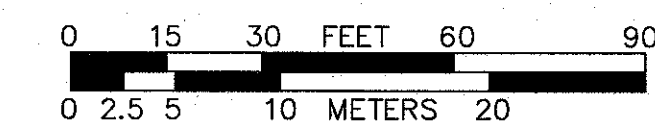
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

**SITE PLAN
MEDWAY MILL
161-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

EXISTING CONDITIONS

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION



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SHEET
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JOB NO.
F3519

RIVERFRONT NOTES:

1. PROPERTY WITHIN THE RIVERFRONT AREA= 219,667±SF.
2. 0-100FT. RIVERFRONT DISTURBANCE (LEFT SIDE OF SITE) FOR BRIDGE AND ADDITIONAL PAVEMENT= 2252±SF.
3. 100-200FT RIVERFRONT DISTURBANCE FOR PROPOSED PARKING, SIDEWALK, AND GRADING AREA=16,500±SF.
4. 0-100 FT. RIVER FRONT DISTURBANCE (RIGHT SIDE OF SITE) ADDITIONAL PAVEMENT AREA= 598 ±SF.
5. 100-200 RIVERFRONT DISTURBANCE (RIGHT SIDE OF SITE) = 3939±SF.
6. TOTAL PROPOSED DISTURBANCE =23,289±SF.
7. TOTAL PROPOSED AREA OF REMEDIATION AREA = 10,370 ±SF.
8. FOR A NET INCREASE OF DISTURBANCE = 12,919±SF.

REMEDATION NOTES:

TOTAL REMEDIATION AREA = 10,370±SF.

EXISTING PARKING NOTES:

1. EXISTING PARKING SPACES ON SITE = 83 PARKING SPACES.
2. 25 PARKING SPACES PROPOSED TO THE EAST SIDE OF SITE.
3. 41 NEW PARKING SPACES PROPOSED ON THE WEST SIDE OF SITE.
4. 5 PARKING SPACES REMOVED DUE TO THE BRIDGE EXPANSION.
5. A TOTAL OF PARKING SPACES FOR THIS SITE = 144 PARKING SPACES

EXISTING BUILDING AREAS:

MAIN MILL

FIRST FLOOR	10,790±SF.	4325±SF.	
SECOND FLOOR	8826±SF.	1505±SF.	258±SF.
THIRD FLOOR	1875±SF.		

REAR BUILDING

FIRST FLOOR	4449±SF.		
-------------	----------	--	--

TENANT BAY BUILDINGS

FIRST FLOOR	1075±SF.	4537±SF.	8327±SF.
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TOTAL AREAS

	27,015±SF.	10,367±SF.	8585±SF.
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REQUIRED PARKING FOR EXISTING USES:

PARKING SPACES REQUIRED	90 SPACES	35 SPACES	9 SPACES
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TOTAL PARKING REQUIRED= 134 PARKING SPACES

STORM DRAINAGE NOTES

SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:

1. INSTALL SILT SACKS.
2. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL
3. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
4. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
5. CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
6. ALL DRAINAGE PIPES ARE TO BE 12" CLASS V RCP.
7. ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING TYPE (300-11 B.(2)(A)).

EXCESS MATERIALS WILL BE MAINTAINED AND REMOVED OFF SITE DUE TO LIMITED SPACE.

UTILITY NOTE

ALL UTILITIES SHALL BE CONSTRUCTED ACCORDING TO STATE AND LOCAL REGULATIONS.

TESTING INFORMATION

TESTING DATE: MARCH 25, 2010 SOIL EVALUATOR: DONALD NIELSEN

192.00	TP 1	186.10	TP 2	176.80	TP 3
191.25	LOAM 10YR2/2	9"	185.60	LOAM 10YR3/2	6"
189.25	SUBSOIL 10YR5/8	24"	184.60	SUBSOIL 10YR5/6	12"
184.00	SAND W/SILT TRACES 3"-6" COBBLES BONEY ANGULAR ROCK BOT. OF HOLE 10Y5/8	63"	180.35	SAND W/ 3"-6" COBBLES	51"
	REFUSAL @ 8' NO GW @ 8'			COARSE SAND 3"-6" COBBLES	15"
				RUST & GW @ 60"	
181.20	TP 4	176.65	TP 5	176.10	TP 6
180.20	LOAM	12"	176.15	FILL	6"
178.20	SUBSOIL	24"	175.15	LOAM	12"
173.70	SANDY LOAM 3"-6" COBBLES SOME SILT	54"	173.15	GRAVELLY SUBSOIL	24"
	GW @ 88"		172.15	FINE SILTY SAND	12"
				GW @ 4'-6"	
174.50	TP 7				
174.34	MULCH	2"			
168.84	CLEAN SAND FILL	66"			
166.84	LOAM 10YR5/6	24"			
165.84	COARSE GRAVEL	12"			
	GW @ 60"				

AGRICULTURAL RESIDENTIAL II

MAIN STREET AUOD DISTRICT

MEDWAY MILL CONVERSION SUBDISTRICT

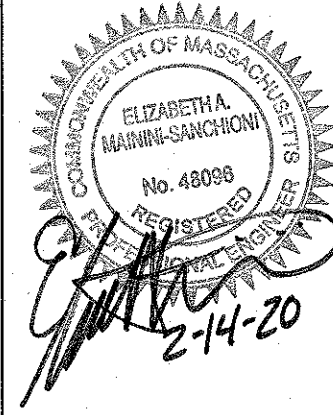
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	22,500 SF	317,260±SF. (7.28 ACRES)	317,260±SF. (7.28 ACRES)
MINIMUM LOT FRONTAGE	150'	286.79 MAIN STREET	286.79 MAIN STREET
		38.45 LINCOLN STREET	38.45 LINCOLN STREET
MINIMUM YARDS			
FRONT	35'	8' ENCROACHING ON MAIN	8' ENCROACHING ON MAIN
SIDE	15'	.06' ENCROACHING ON YORKIS PROP	.06' ENCROACHING ON YORKIS PROP
REAR	15'	163'±	163'±
MAXIMUM BUILDING HEIGHT	35'	--	--
% OF LOT UPLAND COVERED BY:			
STRUCTURES	30	42,777±SF (13.5%)	42,777±SF (13.5%)
STRUCTURES+PAVING	40	106,303±SF. (33.50%)	DECEMBER 30, 2019 129,969.14 (40.96%)

LEGEND

⊞	CATCH BASIN	⊙	PROPOSED LIGHT POLE
⊕	DRAIN MANHOLE	⊙	UTILITY POLE
⊖	ELECTRIC MANHOLE	⊙	GUY WIRE
⊗	SEWER MANHOLE	⊙	SIGN
⊘	GAS VALVE	— S —	SEWER LINE
⊙	GAS SHUT OFF VALVE	— D —	DRAIN LINE
⊙	WATERGATE	— W —	WATER LINE
⊙	WATER SHUT OFF VALVE	— G —	GAS LINE
⊙	FIRE HYDRANT	— ETC —	ELEC., TEL., CABLE
VCC	VERTICAL CONC CURB	— OHW —	OVERHEAD WRES
RW	RETAINING WALL	— 25' —	25' WETLAND BUFFER
A.F.G.	ABOVE FINISH GRADE	⊙	EDGE OF PAVEMENT
⊙	ARBORVITAE	X 000.0	SPOT ELEVATION
⊙	SHRUB	+ C.O.	CLEAN OUT
⊙	TREE	⊙	ELECTRIC METER

TEMPORARY RETENTION AREA NOTES:

1. CONSTRUCT TEMPORARY RETENTION AREA TO COLLECT RUNOFF.
2. THE TEMPORARY RETENTION AREA IS TO BE UTILIZED AS A TEMPORARY SEDIMENTATION TRAP DURING CONSTRUCTION.
3. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY RETENTION AREA, WHERE POSSIBLE.
4. CLEAN ALL SEDIMENT OUT OF TEMPORARY RETENTION AREA PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
5. ONCE SITE IS STABILIZED REMOVE ALL REMAINING ACCUMULATED SEDIMENT AT THE BOTTOM OF THE SEDIMENT TRAP.
6. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
7. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY SEDIMENT TRAP, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
8. FOR FURTHER EROSION CONTROL NOTES REFER TO THE FOLLOWING SECTIONS ON THE DETAIL SHEETS:
"INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE"
"GENERAL EROSION CONTROL AND CONSTRUCTION NOTES"



F3519

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MEDWAY PLANNING BOARD

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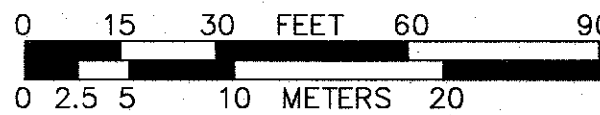
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GENERAL NOTES

FEBRUARY 14, 2020

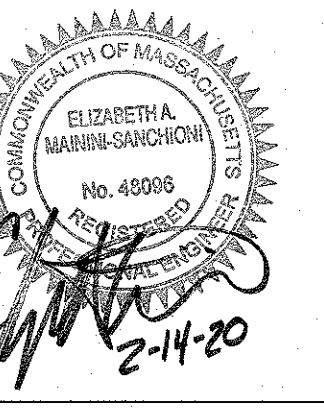
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SHEET
4 OF 12

JOB NO.
F3519



STORY

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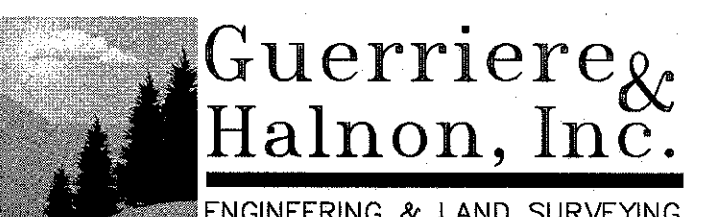
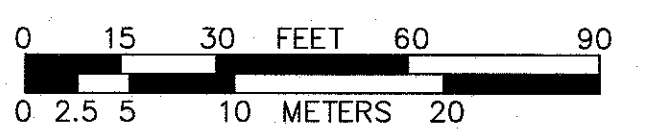
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165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

SITE LAYOUT

FEBRUARY 14, 2020

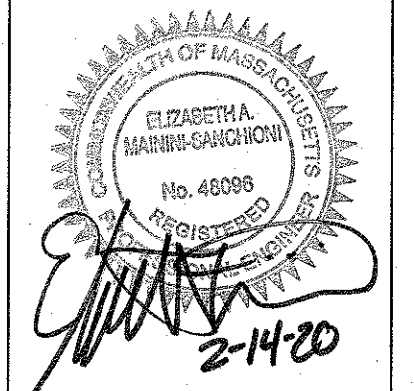
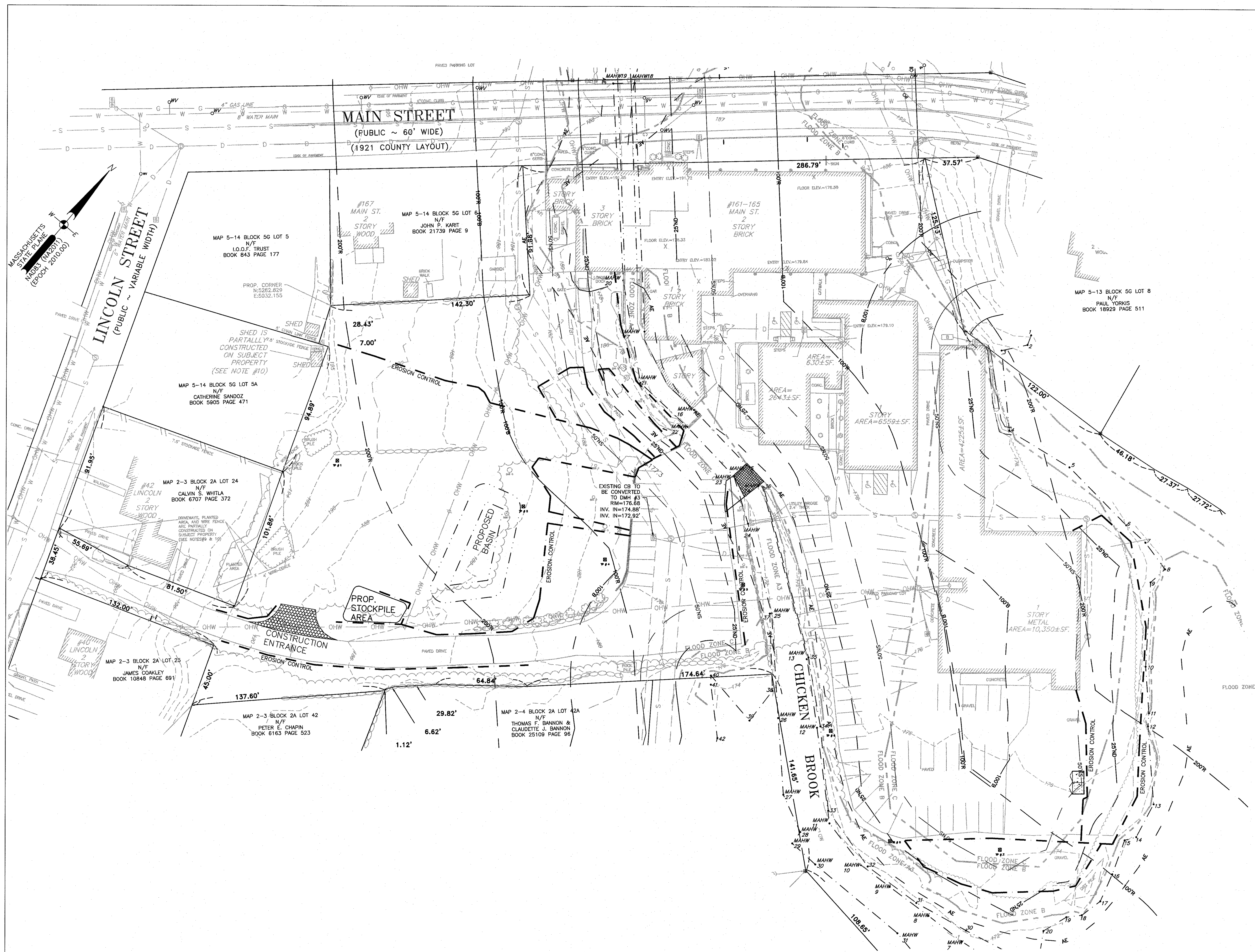
DATE	REVISION DESCRIPTION
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FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 5 OF 12

JOB NO. **F3519**



F3519

APPROVED DATE: _____

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE _____

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

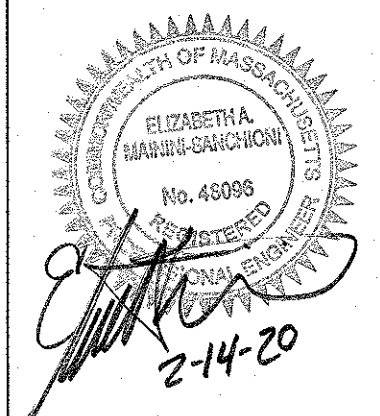
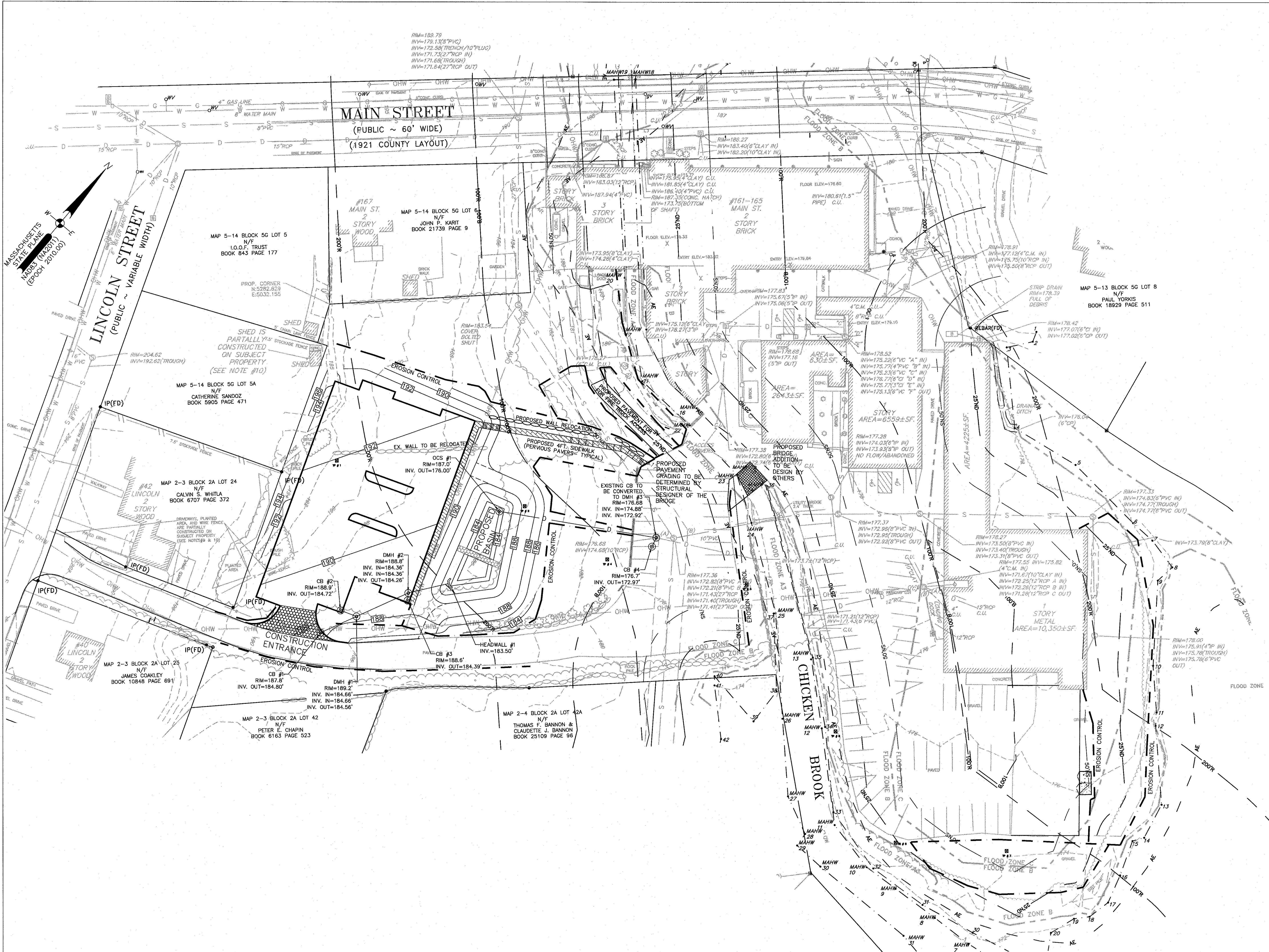
**EROSION CONTROL
LIMIT OF CLEARING**

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
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F3519

APPROVED DATE: _____
MIDWAY PLANNING BOARD

BEING A MAJORITY
ENDORSEMENT DATE _____

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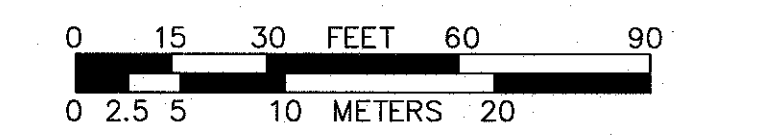
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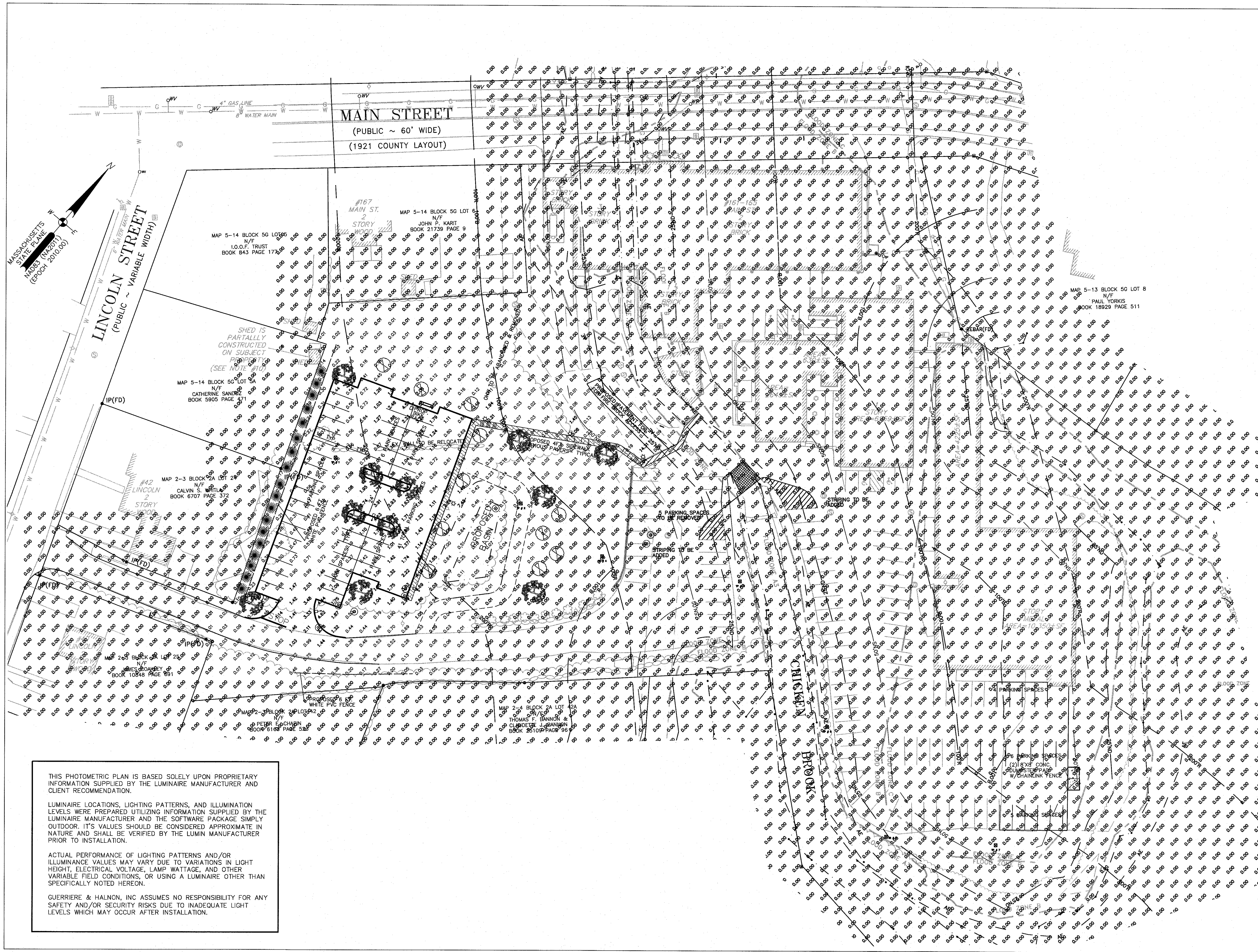
GRADING AND DRAINAGE

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION



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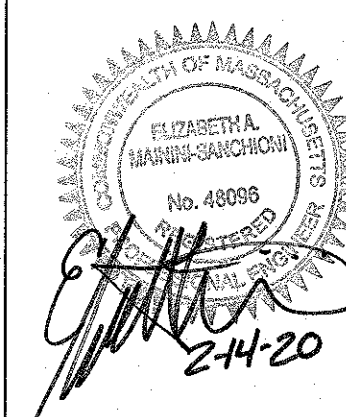


THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING THE INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SIMPLY OUTDOOR. IT'S VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINANCE VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

GUERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.



APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

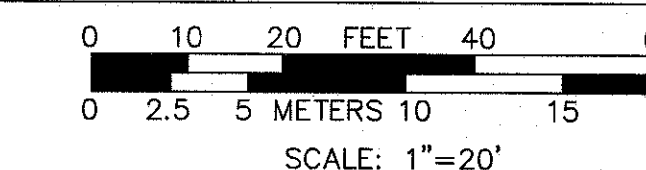
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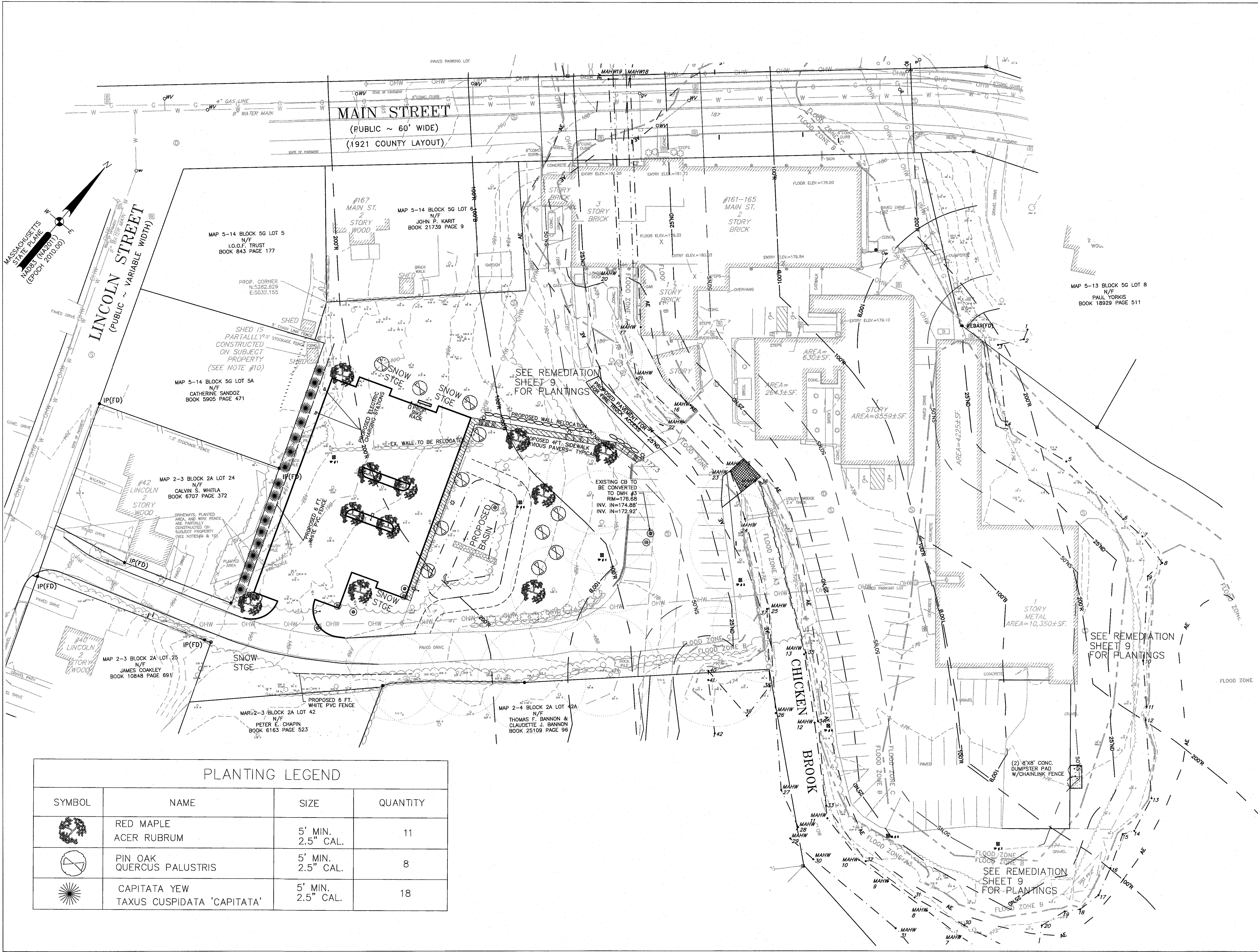
PHOTOMETRICS

FEBRUARY 14, 2020

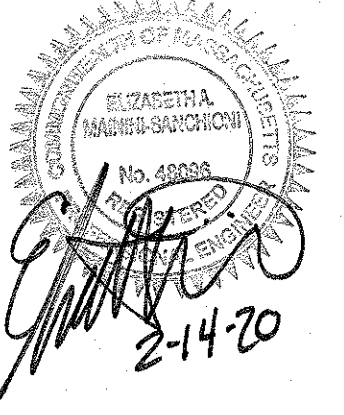
DATE	REVISION DESCRIPTION



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PLANTING LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	RED MAPLE ACER RUBRUM	5' MIN. 2.5" CAL.	11
	PIN OAK QUERCUS PALUSTRIS	5' MIN. 2.5" CAL.	8
	CAPITATA YEW TAXUS CUSPIDATA 'CAPITATA'	5' MIN. 2.5" CAL.	18



2-14-20

APPROVED DATE:

MIDWAY PLANNING BOARD

BEING A MAJORITY
ENDORSEMENT DATE

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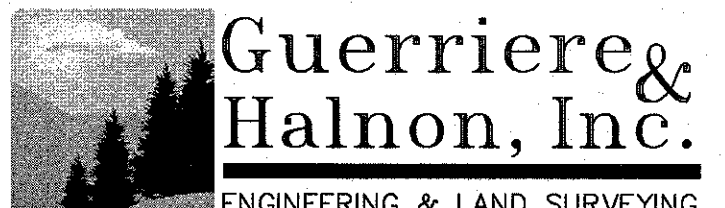
LANDSCAPING

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION



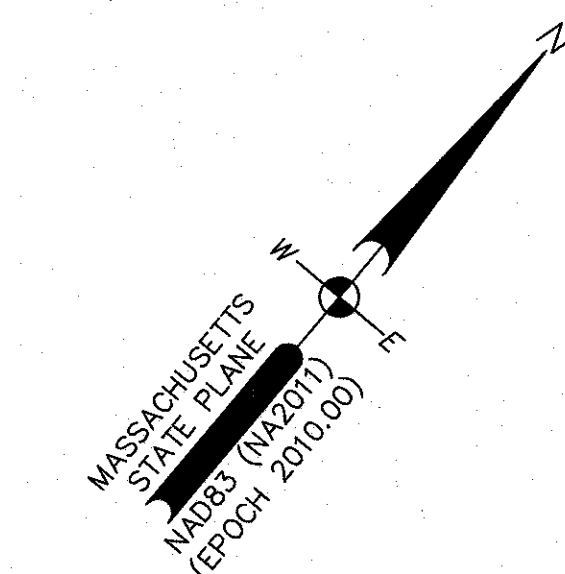
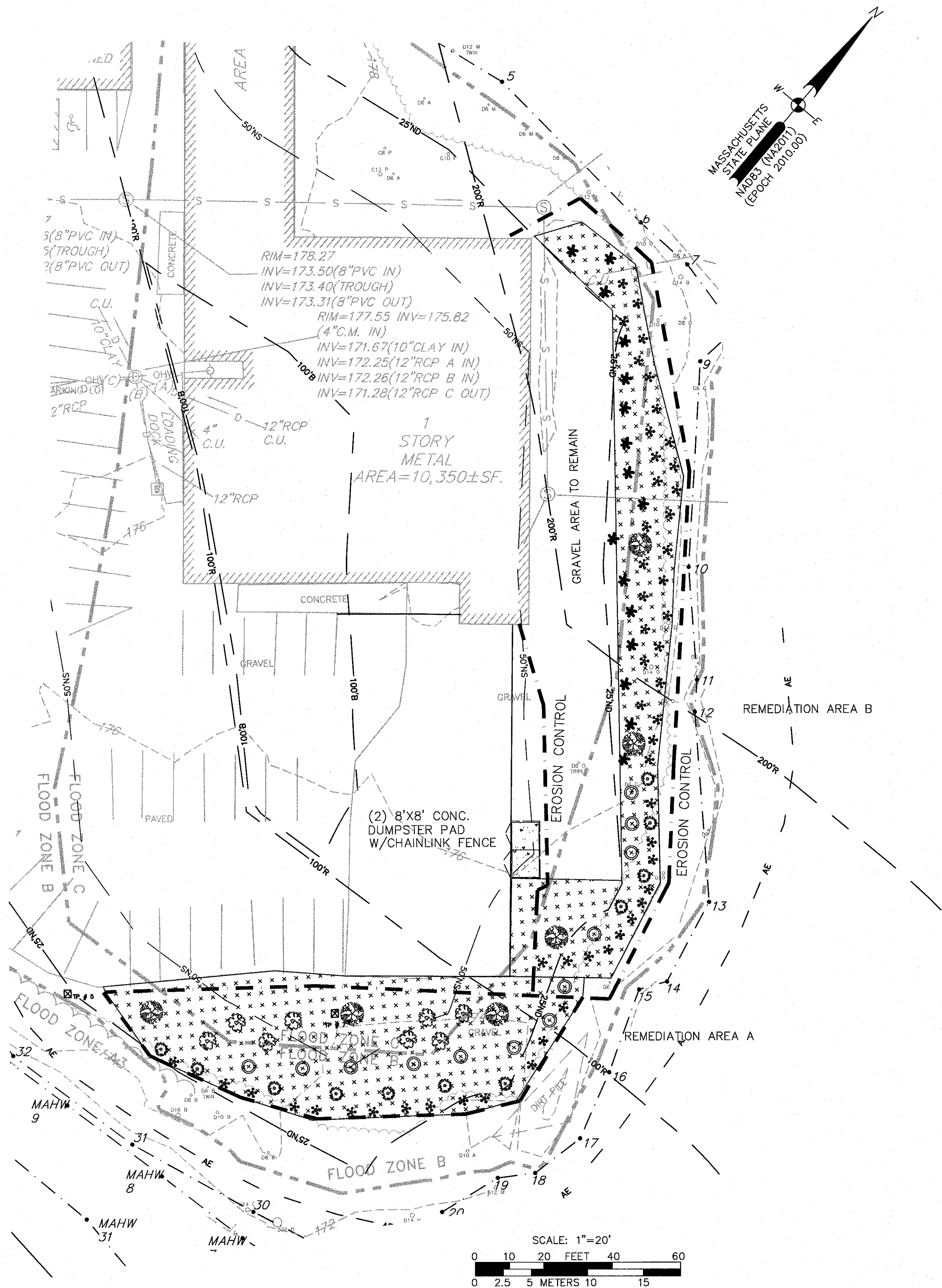
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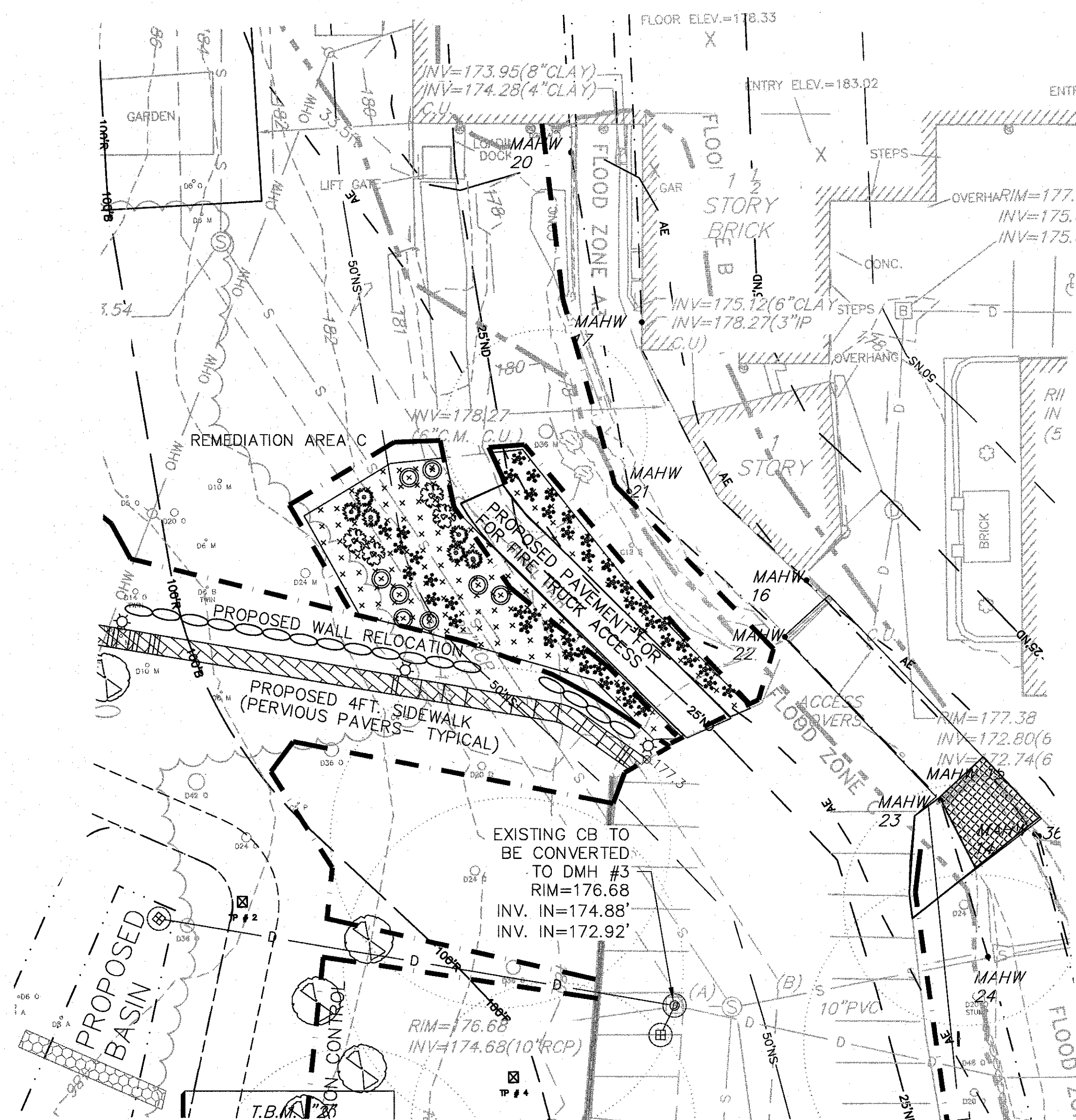
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SHEET
9 OF 12

JOB NO.
F3519



REPLICATION LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	RIVER BIRCH BETULA NIGRA	4' MIN. 2.5" CAL.	6
	MOUNTAIN PEPPERBUSH CLETHRA ACUMINATA	3 GAL.	17
	HIGH BUSH BLUEBERRY VACCINIUM CORYMBOSUM	5 GAL.	12
	WINTERBERRY ILEX VERTICILLATA	3 GAL.	20
	JUNIPER PLUMROSA COMPACTA	3 GAL.	16
	CINNAMON FERN OSMUNDA CINNAMOMEA	2 GAL.	99



REMEDATION NOTES:

REMEDATION AREA A = 4,569±SF.

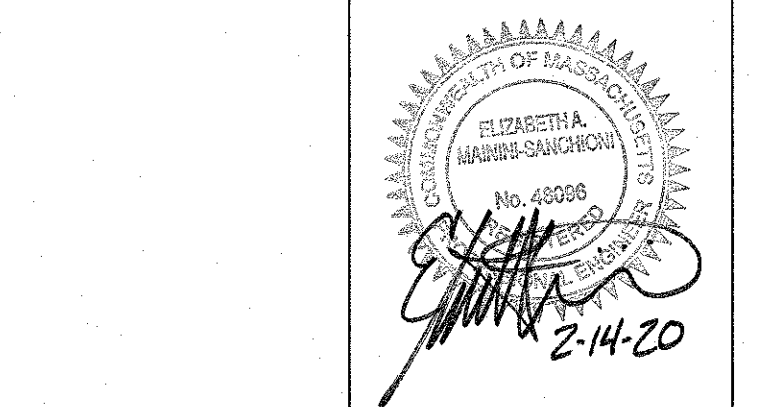
REMEDATION AREA B = 3,855±SF.

REMEDATION AREA C = 1946±SF.

TOTAL REMEDIATION AREA = 10,370±SF.

ALL REMEDIATION AREAS:
REMOVE HARD PACKED GRAVEL, REPLACE WITH
BLEND LOOSELY PLACED OF SAND (40%),
COMPOST (30-40%), LOAM (20-30%)

SEED WITH NEW ENGLAND CONSERVATION MIX



APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

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MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

REMEDATION
FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION

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DUMPSTER ENCLOSURE

**TYPICAL
PAVEMENT
SECTION
NOT TO SCALE**

D	E	F	G	H	J	K
12"	20"	36"	12"	36"	24"	48"
18"	30"	48"	12"	36"	30"	54"
24"	36"	60"	12"	36"	36"	60"
30"	42"	66"	15"	39"	42"	66"
36"	48"	72"	18"	48"	54"	90"

TYPICAL CONCRETE HEADWALL

TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE

SILT SACK DETAIL

OUTFALL W/ RIPRAP APRRON

OUTLET CONTROL STRUCTURE

PVC FENCE DETAIL

1. ALL WORK TO BE TAKEN AND INSPECTED BY THE DESIGN ENGINEER.
2. AREA UNDER THE EMBANKMENT AND ANY STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
3. THE CLEARED AND STRIPPED AREA SHALL BE FILLED WITH A WELL GRADED, SILTY GRAVELLY SAND AND SHALL BE FREE OF STONES GREATER THAN 6" IN DIAMETER, ORGANIC MATTER, CONSTRUCTION DEBRIS, SNOW OR FROZEN SOIL. MATERIALS SHALL BE PLACED IN LAYERS NOT EXCEEDING 8" IN THICKNESS, AND SHALL BE COMPACTED.
4. SEED, FERTILIZER AND TOP DRESSING SHALL BE SPREAD AS SOON AS IS PRACTICAL TO MINIMIZE EROSION.

CROSS SECTION
SEDIMENT FOREBAY &
INFILTRATION POND BOTTOM

- NOTE:
1. AREA BENEATH THE BASIN TO BE STRIPPED OF TOPSOIL AND SUBSOIL. REFER TO TEST PIT NOTED FOR ADDITIONAL INFORMATION.
2. BASIN TO BE REVIEWED BY ENGINEER TO ENSURE CONSTRUCTION IN COMPLIANCE WITH THE DESIGN PLANS.

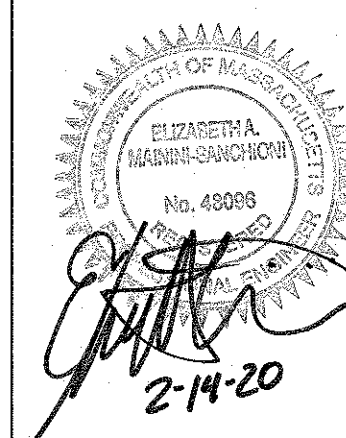
TYP. PRECAST CONCRETE
MANHOLE STORM DRAIN

TYP. PRECAST CONCRETE
CATCH BASIN DETAIL

STOP SIGN DETAIL

STABILIZED CONSTRUCTION ENTRANCE

SPECIMEN DECIDUOUS TREE PLANTING DETAIL



APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

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APPLICAN

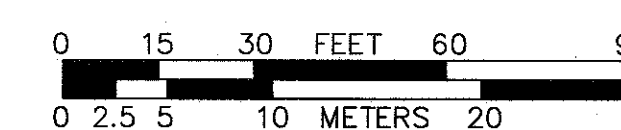
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SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
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CONSTRUCTION DETAILS

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION
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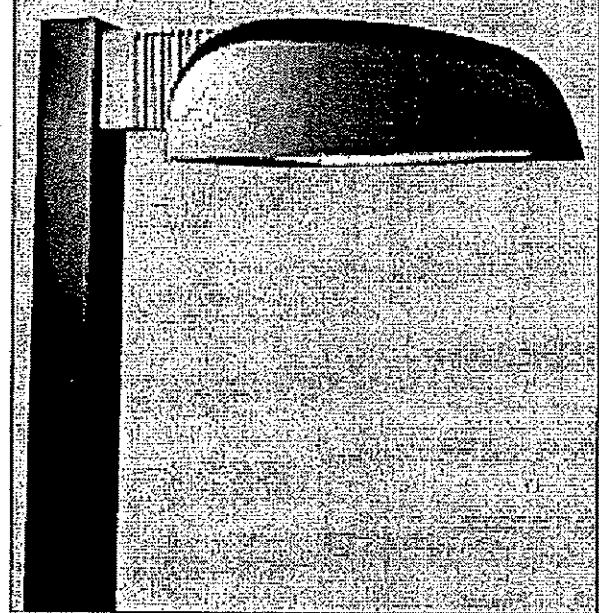


SHEET
11 OF 13

JOB NO.	F3519
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Aeris™

NEW



Intended Use

For streets, walkways, parking lots and surrounding areas.

Features

Housing – Die-cast single piece aluminum with nominal 1/4" wall thickness. Integral arm provides easy installation to pole or wall. Housing completely sealed against moisture or environmental contaminants.

Door Assembly – Die-cast door frame, impact-resistant, tempered, glass lens, 3/16" thick, fully sealed with one-piece tubular silicone gasket. Tool-less entry and closure via spring loaded die-cast latches.

Optics – Anodized segmented reflectors for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable.

Installation – Heavy duty easy mount block attaches to pole or wall to provide ease of installation as well as ensured alignment and leveling.

Electrical – 150W and below utilize a high reactance, high power factor. 175W and above use a constant-wattage autotransformer ballast. 42W uses an electronic high frequency ballast. Ballasts mounted on removable power tray with tool-less latch and have positive locking disconnect plugs. Ballasts are copper wound and 100% factory tested.

Finish – Standard finish is dark bronze (DOB) polyester powder finish. Other architectural colors available.

Socket – Porcelain, medium-base socket for AS1, mogul-base socket for AS2, with copper alloy nickel-plated screw shell and center contact. UL listed.

Listings – UL Listed (standard), CSA Certified or NOM certified (see options). U.S. and Canada patents pending. UL listed for wet locations. IP65 certified. Meets IES-NA full cutoff criteria.

For product details and performance data, see the OUTDOOR Lighting or the on-line catalog at www.lithonia.com.

Ordering Information

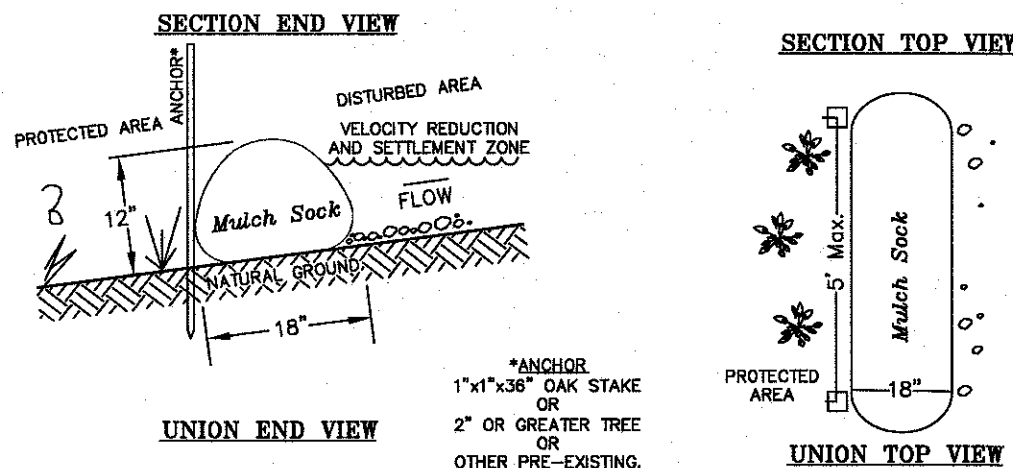
Designation	Distribution	Voltage	Mounting*	Options/Accessories
High Pressure Sodium	SR2 Segmented Type II roadway	120, 208³, 240³, 277, 347, 480³, TB⁴	Included	Installed
AS1 35S			SPA Square pole mounting block	SF Single fuse, 120, 277, 347V (1/4 TB) ⁵
AS1 50S				DF Double fuse, 208, 240, 480V (1/4 TB) ⁵
AS1 70S	SR3 Segmented Type III asymmetric		RPA Round pole mounting block	PER NEMA twist-lock receptacle only (no photocell)
AS1 100S			WBA wall bracket (up or down)	QRS Quartz restrike system (100W max. AS1, 250W max. AS2, lamp not included) ⁶
AS1 150S	SR4SC Segmented Type IV forward throw, sharp cutoff			CR Corrosion-resistant finish
AS2 200S				HS House-side shield
AS2 250S				EC Emergency circuit?
AS2 400S	SR4W Segmented Type IV wide, forward throw (size 2 only)			TP Tamperproof
Metal Halide	SR5S Segmented Type V square		Shipped separately	SCWA Super CWA Pulse Start Ballast (not available with HPS or TRT)
AS1 50M			ASKMA Mast arm adapter	LPI Lamp included (standard)
AS1 70M			Additional mounting and accessories available, consult factory	L/LP Less lamp
AS1 100M				CSA CSA Certified
AS1 150M				NOM ⁷ NOM Certified
AS1 175M				For optional architectural colors, see page 348.
AS2 200M ¹				Shipped separately
AS2 250M ²				PE1 NEMA twist-lock PE (120, 208, 240V)
AS2 320M ¹				PE3 NEMA twist-lock PE (347V)
AS2 350M ¹				PE4 NEMA twist-lock PE (480V)
AS2 400M ²				PE7 NEMA twist-lock PE (277V)
Compact Fluorescent				SC Shoring cap
AS1 42TRT				AS1VG Vandal guard
(120, 277, 347V only)				AS2VG Vandal guard

Dimensions are shown in inches (centimeters) unless otherwise noted.		
Length	AS1 21.58" 558	AS2 28" 711
Width	12.5" 318	16.25" 413
Height	6.25" 159	8.25" 210

LITHONIA LIGHTING

PARKING LIGHTING DETAIL AND SPECIFICATIONS

NOT TO SCALE
PROPOSED HEIGHT OF POLES = 20FT.

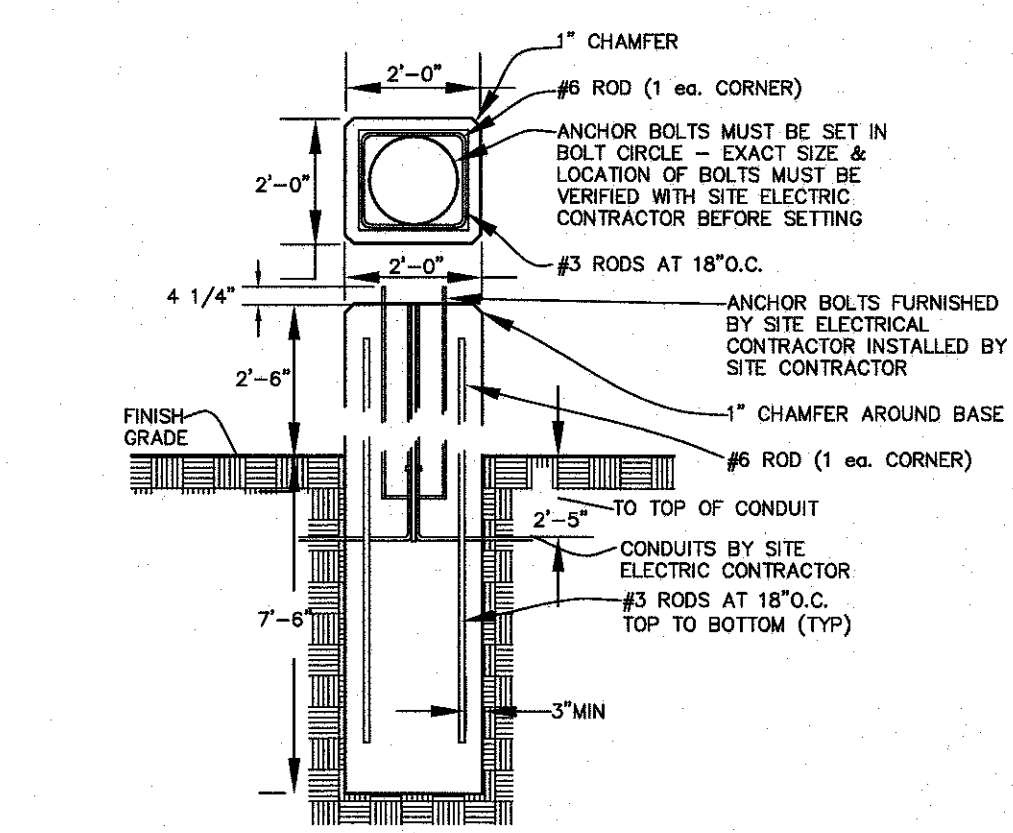


- WHERE SECTION ENDS MEET, THERE SHALL BE AN OVERLAP OF 6" OR GREATER. BOTH SIDES SHALL BE ANCHORED (OAK STAKES, TREES, ETC.) TO STABILIZE THE UNION.
- NO ADDITIONAL ANCHORS ARE REQUIRED ON SLOPES LESS THAN 2:1.
- ADDITIONAL ANCHORS ARE REQUIRED AT 5' INTERVALS (MAX.) ON THE DOWNSLOPE OR PROTECTED SIDE ON SLOPES GREATER THAN 2:1 TO PREVENT MOVEMENT.

EROSION CONTROL BARRIER

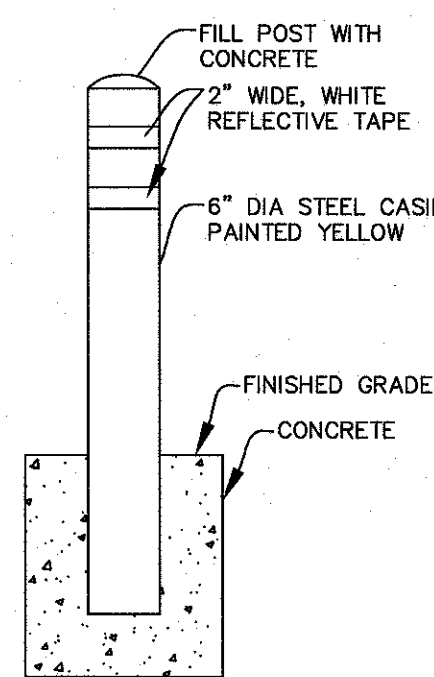
NOT TO SCALE

- Mulch Sock COMPONENTS:**
- OUTSIDE CASING: 100% organic hessian.
 - FILLER INGREDIENT: **Fiberfoot Mulch**. A blend of coarse and fine compost and shredded wood.
 - Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
 - Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./f.t.)



TYPICAL LIGHT POLE BASE

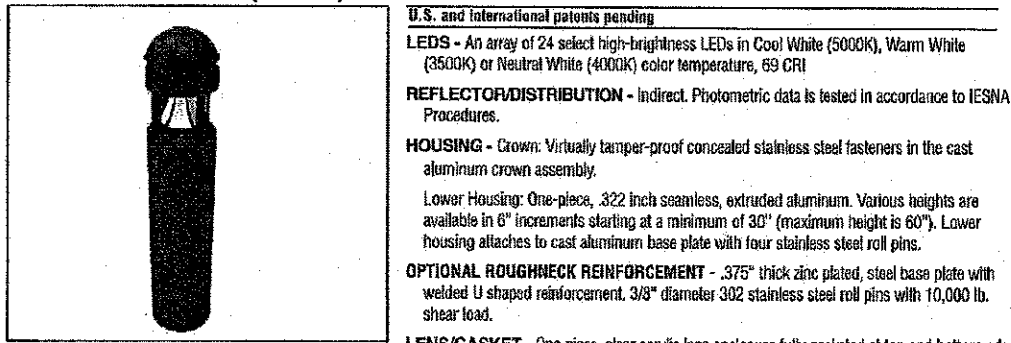
NOT TO SCALE
LIGHT POLES BY ELECTRIC CONTRACTOR



BOLLARD DETAIL

NOT TO SCALE

LED BOLLARD LIGHT (XBVRD)



LED LIGHTING FACTS: Department of Energy has certified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for complete catalog entries.

ANCHOR BOLTS: Requires four heavy-duty 3/8" x 10" galvanized steel anchor bolts.

ELECTRICAL: Lateral voltage power supply (120-277 VAC, 50/60 Hz, 347-480V also available - 400VA in standard. Surge protector meets IEEE C62.41.2-2002, Category 1 Location Category C.

DRIVER: State-of-the-art driver technology designed specifically for LED light sources provides unimpeded system efficiency. Driver complies with FCC and FCC standards.

OPERATING TEMPERATURE: -40°C to +140°C (-40°F to +122°F).

FINISH: Polymers are finished with 150% DuPont[®] polyester powder coat finishing process. The Durability finish withstands extreme weather changes without cracking or peeling.

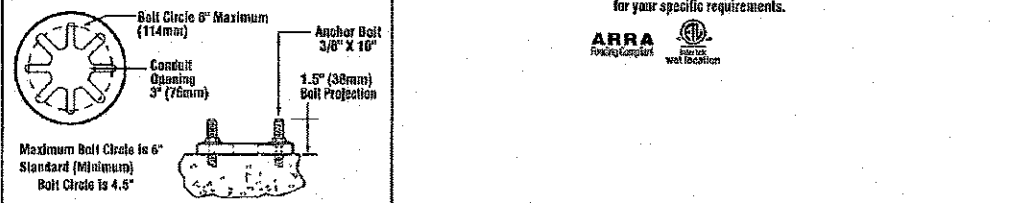
IDEAL SCHEDULING: Color-coordinated steel is available in 9 standard color codes or by custom order from a selection of hundreds. Color is guaranteed for five years against fading, cracking, or fading.

WARRANTY: LSI LED Bollards carry a limited 5-year warranty.

PHOTOMETRICS: Please visit our web site at www.lsi-lighting.com for detailed photometric data.

LISTINGS: Listed to U.S. and Canadian safety standards. Schedule for test facilities, UL, not all possible listings are UL approved. Please refer to UL or CUL web site for specific listings. For a list of the specific products in this series that are UL listed, please consult the LED Lighting section of our website or the Design Lights website at www.designlights.com.

Visit product, or selected versions of this product, visit the standard listed below. Please consult factory for more specific requirements.



Also available in traditional light sources

LSI LIGHTING

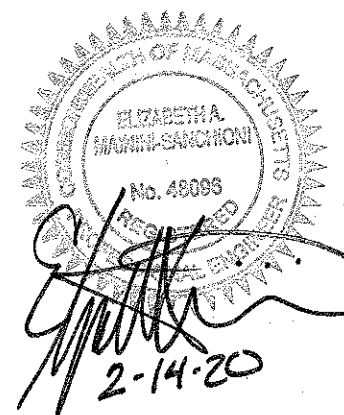
WALKWAY LIGHTING DETAIL AND SPECIFICATIONS

INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE

- INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER.
- CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
- STOCKPILE LOAM, OR REMOVE LOAM.
- BRING SITE TO SUB-GRADE.
- TEMPORARY STONE (3/4" - 1 1/2") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PARKING LOT OR PUBLIC WAYS.
- ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVICE.
- ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.
- THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
- CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
- THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION. PROPER FILTERFABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
- ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
- SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
- CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, AND TEMPORARY BASIN. INSTALL SILT BAGS AT EACH CATCH BASIN.
- KEEP SITE SWEEPED AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.

GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
- INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
- MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
- ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
- THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
- SEDIMENT BUILD UP BEHIND FILTERMITS SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
- CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
- THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
- THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED.
- BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
- TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
- STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
- ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
- THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE (FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
- SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
- ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
- ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
- EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED.



F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. TASKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION DETAILS

FEBRUARY 14, 2020

DATE	REVISION	DESCRIPTION
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FRANKLIN, MA 02038 FX. (508) 528-7921
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