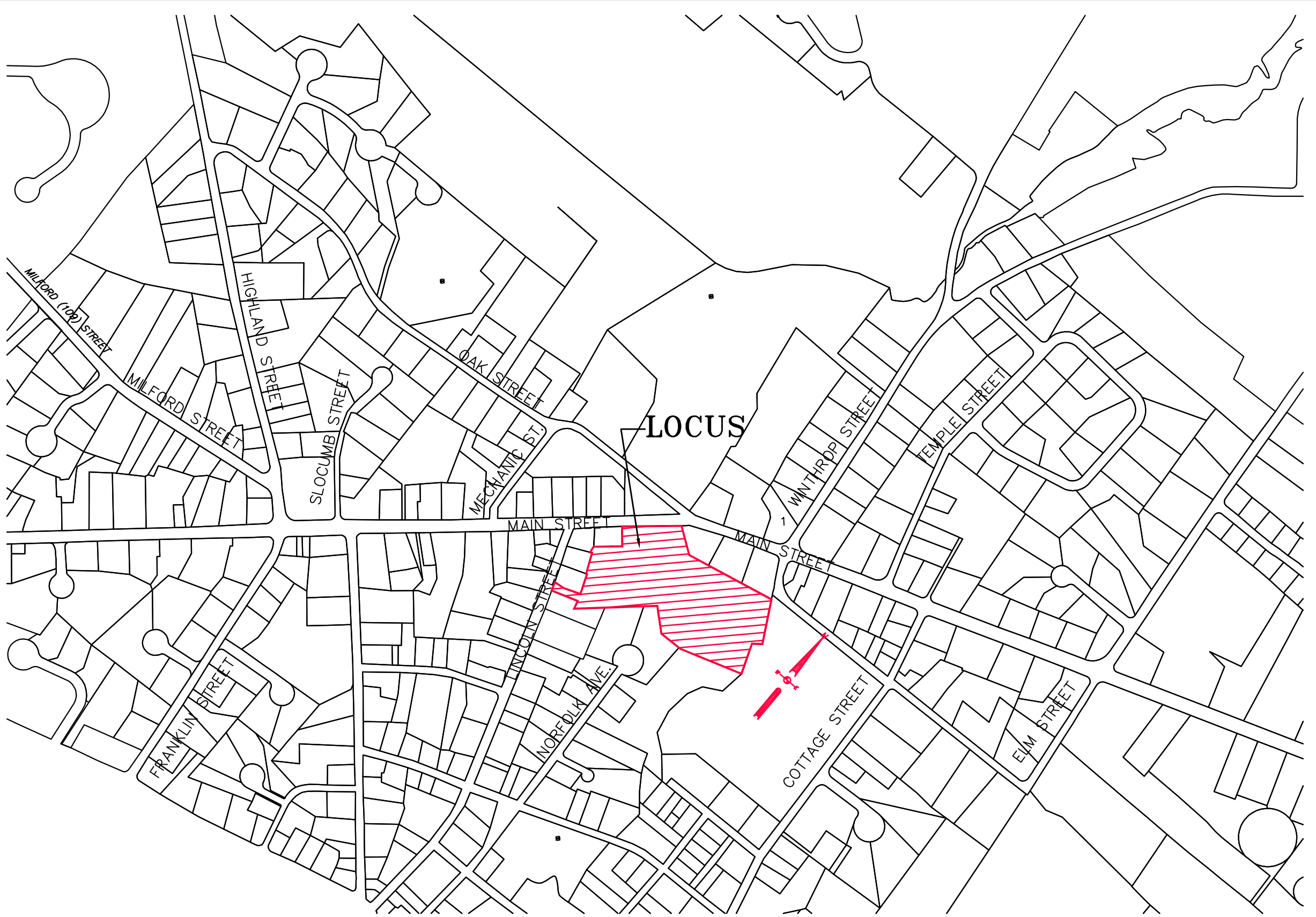


SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

1. THIS SITE IS IN A FLOOD HAZARD ZONE AE AND X500.
2. THIS LAND IS ZONED AR-II.
3. THIS LAND IS LOCATED IN THE MILL CONVERSION OVERLAY DISTRICT, AN ADAPTIVE USE DISTRICT (AUOD), AND A MULTI FAMILY HOUSING OVERLAY DISTRICT (MHOD).
4. LINCOLN STREET IS CONSIDERED A SCENIC ROAD.
5. THIS LAND IS NOT LOCATED WITHIN THE NHESP AREA.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
7. ALL STRIPING AND SIGNAGE TO CONFORM TO "THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES."
8. REFER TO MEDWAY ASSESSORS MAP 48 LOT 92.
9. THIS SITE IS NOT IN A GROUND WATER PROTECTION DISTRICT.
10. ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
11. THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.
12. THE EXISTING CONDITIONS TOPOGRAPHICAL SURVEY AND BOUNDARY SHOWN HEREIN WAS OBTAINED BY REED LAND SURVEYING, INC, 109 RHODE ISLAND ROAD, SUITE 4A, LAKEVILLE, MA 02347. MINOR FIELD SURVEY WAS DONE BY GUERRIERE & HALNON, INC TO UPDATE THE PARKING STRIPING AND OTHER MINOR FEATURES. GUERRIERE & HALNON, INC, WITH ELECTRONIC FILES PROVIDED BY REED LAND SURVEYING, CONVERTED THE DRAWING FROM THE PREVIOUS DATUM TO NAD83/NAVD88.
13. THE WETLANDS WERE DELINEATED BY GODDARD CONSULTING, INC. ON AUGUST 19, 2019



VICINITY MAP

SCALE: 1" = 500'

WAIVER REQUEST

REQUEST FROM THE TOWN OF MEDWAY PLANNING BOARD
RULES AND REGULATIONS CHAPTER 200

1. SECTION 204-3.F WRITTEN DEVELOPMENT IMPACT STATEMENT
2. SECTION 204-5.B SITE CONTEXT SHEET
3. SECTION 204-5.D.8.a PLAN PREPARED BY LANDSCAPE ARCHITECT
4. SECTION 207-17.D USE OF SHARED COMPACTORS
5. SECTION 207-19.B.2 PERIMETER LANDSCAPING
6. SECTION 207-19.H TREE REPLACEMENT

I, MARYJANE WHITE, CLERK OF THE TOWN OF
MEDWAY, RECEIVED AND RECORDED FROM THE
PLANNING BOARD COVENANT APPROVAL OF
THIS PLAN ON _____ AND NO
APPEAL WAS TAKEN FOR TWENTY DAYS NEXT
AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK DATE



F3519

APPROVED DATE: _____

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE _____

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(72333).

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

COVER SHEET

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION
10/13/2020	REVISED PARKING CONFIGURATION
12/23/2020	PER TOWN COMMENTS



Guerriere &
Halnon, Inc.

ENGINEERING & LAND SURVEYING

55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 1 OF 13 JOB NO. F3519



0 COTTAGE ST. EVERGREEN CEMETERY ASSOC. MAP 48 PARCEL 68
1 CHOATE PARK RD. TOWN OF MEDWAY MAP 39 PARCEL 74

32 LINCOLN ST. RICHARD BRIGGS MAP 48 PARCEL 85
34 LINCOLN ST. LAURIE MARCINKIEWICZ MAP 48 PARCEL 89
35 LINCOLN ST. MICHAEL & ELIZABETH HEIDEN MAP 48 PARCEL 109
36 LINCOLN ST. JOHN & STACEY CLOUTIER MAP 48 PARCEL 90
37 LINCOLN ST. STEPHEN & KERI PATTERSON MAP 48 PARCEL 108
39 LINCOLN ST. MICHAEL MARRAFFINO TRUSTEE MAP 48 PARCEL 107
40 LINCOLN ST. JAMES COAKLEY MAP 48 PARCEL 91
41 LINCOLN ST. JENNIFER & HANS MORRISON MAP 48 PARCEL 106
42 LINCOLN ST. CALVIN & KAREN WHITLA MAP 48 PARCEL 93
43 LINCOLN ST. KRISTY HARGREAVES & MICHAEL CAMPAGNA
MAP 48 PARCEL 105
44 LINCOLN ST. CATHERINE SANDOZ MAP 48 PARCEL 94
45 LINCOLN ST. FEDERICO VASQUEZ MAP 48 PARCEL 104

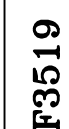
148 MAIN ST. UNIT A TAREK CHEBAKLO MAP 48 PARCEL C-A
148 MAIN ST. UNIT B ARTHUR PRUTSALIS MAP 48 PARCEL 9 C-B
145 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 22
149 MAIN ST. EARLY CAPITAL LLC MAP 48 PARCEL 21
151 MAIN ST. JOHN & CHRISTINE EARLY MAP 48 PARCEL 20
153 MAIN ST JOHN & CHRISTINE EARLY MAP 48 PARCEL 19
155 MAIN ST- DAVID AND TARA WERLICH MAP 48 PARCEL 99
157 MAIN ST- 157 MAIN ST. REALTY TRUST MAP 48 PARCEL 98
158 MAIN ST- WOMACK FAMILY FUNDING MAP 48 PARCEL 2
159 MAIN ST- PAUL & KATHLEEN YORKIS MAP 48 PARCEL 97
160 MAIN ST- SHIRLEY MCDANIEL MAP 48 PARCEL 1
164 MAIN ST. FASLAND LLC MAP 48 PARCEL 114
167 MAIN ST. JOHN & CHARLENE KAIRIT MAP 48 PARCEL 96
168 MAIN ST. RICHARD & KRYSTIN FRASER MAP 48 PARCEL 115
169 MAIN ST. I O O F TRUST MAP 48 PARCEL 95
170 MAIN ST. UNIT A ARTHUR COWAN MAP 48 PARCEL 116- CA
170 MAIN ST. UNIT B RICHARD HUFFAM & MARK DENOMMEE
MAP 48 PARCEL 116- CB
171 MAIN ST. JOSE & DAMARYS CAICEDO MAP 48 PARCEL 103
172 MAIN ST. FRANCIS & MARGARET YERED MAP 48 PARCEL 117
173 MAIN ST. STEVEN LINNELL MAP 48 PARCEL 102
174-A MAIN ST. PAUL CHELMAN & ROSE COTE MAP 47 PARCEL 35-A
174-B MAIN ST. MICHAEL OLIVAL MAP 47 PARCEL 35-B
175 MAIN ST. CHERYL ROSENBERG TRUSTEE 1 MAP 48 PARCEL 101
177 MAIN ST. ERIC & TANYA BOUWMAN MAP 48 PARCEL 100
179 MAIN ST. VLADIMIR & SUZANNE ATEYZEK MAP 47 PARCEL 43

14 MECHANIC ST. WILLIAM & BETTYE REARDON MAP 48 PARCEL 112

26 NORFOLK AVE. CHRISTOPHER & KRISTIN BRODEUR MAP 48 PARCEL 80
29 NORFOLK AVE. PETER & BRENDA LEE CHAPIN MAP 48 PARCEL 84
30 NORFOLK AVE. JENNIFER & JOHN DIGIACOMO MAP 48 PARCEL 82
31 NORFOLK AVE. THOMAS & CLAUDETTE BANNON MAP 48 PARCEL 83

0 OAK ST. TOWN OF MEDWAY MAP 39 PARCEL 74-1

1 WINTHROP ST. LINDA S. RUSSO REVOCABLE TRUST MAP 48 PARCEL 3



APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

LEGAL NOTES

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165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

ABUTTERS FOR 300FT.

FEBRUARY 14, 2020

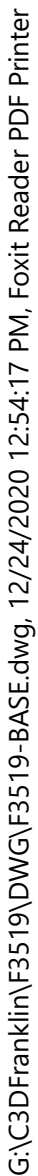
DATE	REVISION DESCRIPTION
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SHEET 2 OF 12

JOB NO.	F3519
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RIM=189.79
INV=179.13(8"PVC)
INV=172.58(TRENCH/10"PLUG)
INV=171.73(27"RCP IN)
INV=171.68(TROUGH)
INV=171.64(27"RCP OUT)



JOB NO. **F3519**

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STORM DRAINAGE NOTES

- SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:
1. INSTALL SILT SACKS.
 2. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL
 3. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
 4. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
 5. CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
 6. ALL DRAINAGE PIPES ARE TO BE 12" CLASS V RCP.
 7. ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING TYPE (300-11 B.(2)(A)).

EXCESS MATERIALS WILL BE MAINTAINED AND REMOVED OFF SITE DUE TO LIMITED SPACE.

UTILITY NOTE

ALL UTILITIES SHALL BE CONSTRUCTED ACCORDING TO STATE AND LOCAL REGULATIONS.

TESTING INFORMATION

TESTING DATE: MARCH 25, 2010 SOIL EVALUATOR: DONALD NIELSEN, SE #1744

192.00	TP 1		186.10	TP 2		176.80	TP 3	
	LOAM 10YR2/2	9"		LOAM 10YR3/2	6"		LOAM 10YR3/2	12"
191.25	SUBSOIL 10YR5/8	24"	185.60	SUBSOIL 10YR5/6	12"	175.80	FILL 10YR5/6	24"
189.25	SAND W/SILT TRACES 3"-6" COBBLES BONEY ANGULAR ROCK BOT. OF HOLE	63"	184.60	SAND W/ 3"-6" COBBLES	51"	173.80	NATURAL LOAM	9"
						173.05	SUBSOIL	15"
184.00	10Y5/8		180.35	10Y5/4		171.80	COARSE SAND 3"-6" COBBLES	15"
	REFUSAL @ 8' NO GW @ 8'					170.55	RUST & GW @ 60"	
181.20	TP 4		176.65	TP 5		176.10	TP 6	
	LOAM	12"		FILL	6"		SANDY LOAM FILL	36"
180.20	SUBSOIL	24"	176.15	LOAM	12"	173.10	NATURAL LOAM 10YR2/	36"
178.20	SANDY LOAM 3"-6" COBBLES SOME SILT	54"	175.15	GRAVELLY SUBSOIL	24"	170.10	MED TO COARSE SAND	12"
			173.15	FINE SILTY SAND	12"			
173.70			172.15			169.10	10Y5/6	
	GW @ 88"			GW @ 3'-6"				GW @ 4'-8"
174.50	TP 7							
174.34	MULCH	2"						
	CLEAN SAND FILL	66"						
168.84								
166.84	LOAM 10YR5/6	24"						
	COARSE GRAVEL	12"						
165.84	10Y5/3							
	GW @ 60"							

AGRICULTURAL RESIDENTIAL II
MAIN STREET AUOD DISTRICT
MEDWAY MILL CONVERSION SUBDISTRICT

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	22,500 SF	317,260±SF. (7.28 ACRES)	317,260±SF. (7.28 ACRES)
MINIMUM LOT FRONTAGE	150'	286.79 MAIN STREET	286.79 MAIN STREET
		38.45 LINCOLN STREET	38.45 LINCOLN STREET
MINIMUM YARDS			
FRONT	35'	8' ENCROACHING ON MAIN	8' ENCROACHING ON MAIN
SIDE	15'	.06' ENCROACHING ON YORKIS PROP	.06' ENCROACHING ON YORKIS PROP
REAR	15'	163'±	163'±
MAXIMUM BUILDING HEIGHT	35'	--	--
% OF LOT UPLAND COVERED BY:			
STRUCTURES	30	42,777±SF. (13.5%)	42,777±SF. (13.5%)
STRUCTURES+PAVING	40	106,303±SF. (33.50%)	125,029±SF. (39.40%)
PARKING	134	83 PARKING SPACES	144 TOTAL PARKING SPACES

EXISTING BUILDING AREAS:

	OFFICE SPACE	RETAIL	STORAGE
MAIN MILL			
FIRST FLOOR	10,790±SF.	4325±SF.	
SECOND FLOOR	8826±SF.	1505±SF.	258±SF.
THIRD FLOOR	1875±SF.		
REAR BUILDING			
FIRST FLOOR	4449±SF.		
TENANT BAY BUILDINGS			
FIRST FLOOR	1075±SF.	4537±SF.	8327±SF.
TOTAL AREAS	27,015±SF.	10,367±SF.	8585±SF.

REQUIRED PARKING FOR EXISTING USES:

PARKING SPACES REQUIRED 90 SPACES 35 SPACES 9 SPACES
TOTAL PARKING REQUIRED= 134 PARKING SPACES

PARKING NOTES

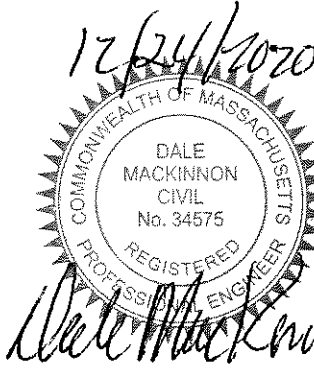
1. EXISTING PARKING SPACES ON SITE = 83 PARKING SPACES.
2. 15 PARKING SPACES PROPOSED TO THE EAST SIDE OF SITE.
3. 42 NEW PARKING SPACES PROPOSED ON THE WEST SIDE OF SITE.
4. 5 PARKING SPACES REMOVED DUE TO THE BRIDGE EXPANSION.
5. A TOTAL OF PARKING SPACES FOR THIS SITE = 135 PARKING SPACES

LEGEND

⊞	CATCH BASIN	⊙	PROPOSED LIGHT POLE
⊙	DRAIN MANHOLE	⊙	UTILITY POLE
⊙	ELECTRIC MANHOLE	⊙	GUY WIRE
⊙	SEWER MANHOLE	⊙	SIGN
⊙	GAS VALVE	— S —	SEWER LINE
⊙	GAS SHUT OFF VALVE	— D —	DRAIN LINE
⊙	WATERGATE	— W —	WATER LINE
⊙	WATER SHUT OFF VALVE	— G —	GAS LINE
⊙	FIRE HYDRANT	— ETC —	ELEC., TEL, CABLE
VCC	VERTICAL CONC CURB	— OHW —	OVERHEAD WIRES
RW	RETAINING WALL	— 25' B —	25' WETLAND BUFFER
A.F.G.	ABOVE FINISH GRADE	EP	EDGE OF PAVEMENT
⊙	ARBORVITAE	X 000.0	SPOT ELEVATION
⊙	SHRUB	• C.O.	CLEAN OUT
⊙	TREE	⊙	ELECTRIC METER

TEMPORARY RETENTION AREA NOTES:

1. CONSTRUCT TEMPORARY RETENTION AREA TO COLLECT RUNOFF.
2. THE TEMPORARY RETENTION AREA IS TO BE UTILIZED AS A TEMPORARY SEDIMENTATION TRAP DURING CONSTRUCTION.
3. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY RETENTION AREA, WHERE POSSIBLE.
4. CLEAN ALL SEDIMENT OUT OF TEMPORARY RETENTION AREA PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
5. ONCE SITE IS STABILIZED REMOVE ALL REMAINING ACCUMULATED SEDIMENT AT THE BOTTOM OF THE SEDIMENT TRAP.
6. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
7. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY SEDIMENT TRAP, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
8. FOR FURTHER EROSION CONTROL NOTES REFER TO THE FOLLOWING SECTIONS ON THE DETAIL SHEETS:
"INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE"
"GENERAL EROSION CONTROL AND CONSTRUCTION NOTES"



F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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OWNER

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JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

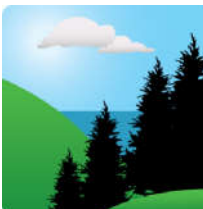
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

GENERAL NOTES

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION
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12/23/2020	PER TOWN COMMENTS



Guerriere &
Halnon, Inc.

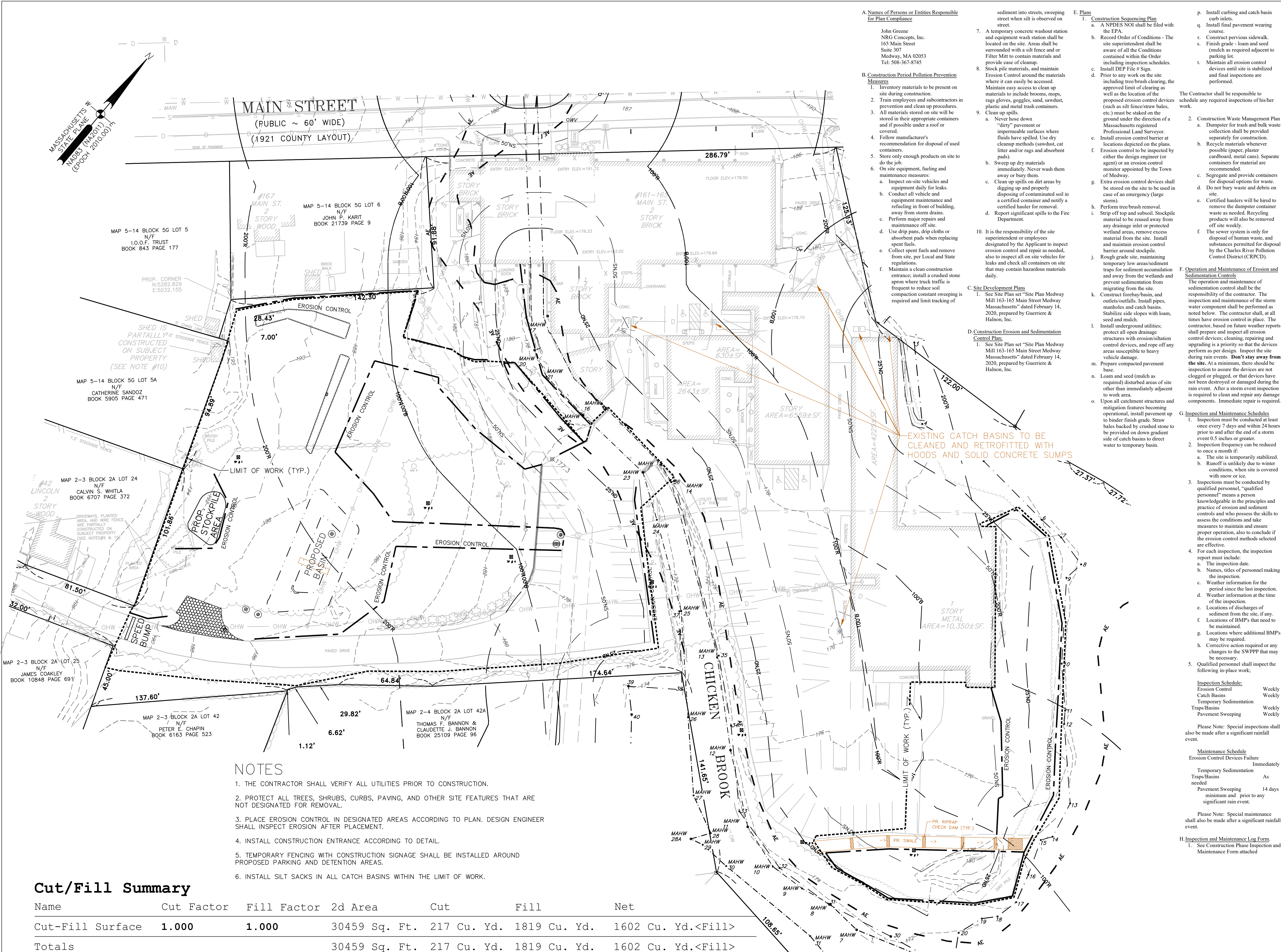
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SHEET 4 OF 12

JOB NO. F3519

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NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PROTECT ALL TREES, SHRUBS, CURBS, PAVING, AND OTHER SITE FEATURES THAT ARE NOT DESIGNATED FOR REMOVAL.
3. PLACE EROSION CONTROL IN DESIGNATED AREAS ACCORDING TO PLAN. DESIGN ENGINEER SHALL INSPECT EROSION AFTER PLACEMENT.
4. INSTALL CONSTRUCTION ENTRANCE ACCORDING TO DETAIL.
5. TEMPORARY FENCING WITH CONSTRUCTION SIGNAGE SHALL BE INSTALLED AROUND PROPOSED PARKING AND DETENTION AREAS.
6. INSTALL SILT SACKS IN ALL CATCH BASINS WITHIN THE LIMIT OF WORK.

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Cut-Fill Surface	1.000	1.000	30459 Sq. Ft.	217 Cu. Yd.	1819 Cu. Yd.	1602 Cu. Yd.<Fill>
Totals			30459 Sq. Ft.	217 Cu. Yd.	1819 Cu. Yd.	1602 Cu. Yd.<Fill>

A. Names of Persons or Entities Responsible for Plan Compliance

John Greene
NRG Concepts, Inc.
165 Main Street
Suite 307
Medway, MA 02053
Tel: 508-367-8745

B. Construction Period Pollution Prevention Measures

1. Inventory materials to be present on site during construction.
2. Train employees and subcontractors in prevention and clean up procedures.
3. All materials stored on site will be stored in their appropriate containers and if possible under a roof or covered.
4. Follow manufacturer's recommendation for disposal of used containers.
5. Store only enough products on site to do the job.
6. On site equipment, fueling and maintenance measures:
 - a. Inspect on-site vehicles and equipment daily for leaks.
 - b. Conduct all vehicle and equipment maintenance and maintenance off site.
 - c. Use drip pans, drip cloths or absorbent pads when replacing spent fuels.
 - d. Use drip pans, drip cloths or absorbent pads when replacing spent fuels.
 - e. Collect spent fuels and remove from site, per Local and State regulations.
 - f. Maintain a clean construction entrance; install a crushed stone apron where truck traffic is frequent to reduce soil compaction constant sweeping is required and limit tracking of

C. Site Development Plans

1. See Site Plan set "Site Plan Medway Mill 163-165 Main Street Medway Massachusetts" dated February 14, 2020, prepared by Guerriere & Halnon, Inc.

D. Construction Erosion and Sedimentation Control Plan

1. See Site Plan set "Site Plan Medway Mill 163-165 Main Street Medway Massachusetts" dated February 14, 2020, prepared by Guerriere & Halnon, Inc.

E. Plans

1. Construction Sequencing Plan
 - a. A NPDES NOI shall be filed with the EPA.
 - b. Record Order of Conditions - The site superintendent shall be aware of all the Conditions contained within the Order including inspection schedules.
 - c. Install DEP File # Sign.
 - d. Prior to any work on the site including tree/shrub clearing, the approved limit of clearing as well as the location of the proposed erosion control devices (such as silt fence/storm holes, etc.) must be staked on the ground under the direction of a Massachusetts registered Professional Land Surveyor.
 - e. Install erosion control barrier at locations depicted on the plans.
 - f. Erosion control to be inspected by either the design engineer (or agent) or an erosion control monitor appointed by the Town of Medway.
 - g. Extra erosion control devices shall be stored on the site to be used in case of an emergency (large storm).
 - h. Perform tree/shrub removal.
 - i. Strip off top and subsoil. Stockpile material to be reused away from any drainage inlet or protected wetland areas, remove excess material from the site. Install and maintain erosion control barrier around stockpile.
 - j. Rough grade site, maintaining temporary low areas/sediment traps for sediment accumulation and away from the wetlands and prevent sedimentation from migrating from the site.
 - k. Construct forebay/basin, and outlets/outfalls. Install pipes, manholes and catch basins. Stabilize side slopes with loam, seed and mulch.
 - l. Install underground utilities; protect all open drainage structures with erosion/siltation control devices, and rope off any areas susceptible to heavy vehicle damage.
 - m. Prepare compacted pavement base.
 - n. Loam and seed (mulch as required) disturbed areas of site other than immediately adjacent to work area.
 - o. Upon all catchment structures and mitigation features becoming operational, install pavement up to binder finish grade. Straw bales backed by crushed stone to be provided on down gradient side of catch basins to direct water to temporary basin.

- p. Install curbing and catch basin curb inlets.
- q. Install final pavement wearing course.
- r. Construct pervious sidewalk.
- s. Finish grade - loam and seed (mulch as required adjacent to parking lot).
- t. Maintain all erosion control devices until site is stabilized and final inspections are performed.

The Contractor shall be responsible to schedule any required inspections of his/her work.

2. Construction Waste Management Plan
 - a. Dumpster for trash and bulk waste collection shall be provided separately for construction.
 - b. Recycle materials whenever possible (paper, plaster cardboard, metal cans). Separate containers for material are recommended.
 - c. Segregate and provide containers for disposal options for waste.
 - d. Do not bury waste and debris on site.
 - e. Certified haulers will be hired to remove the dumpster container waste as needed. Recycling products will also be removed off site weekly.
 - f. The sewer system is only for disposal of human waste, and substances permitted for disposal by the Charles River Pollution Control District (CRPCD).

F. Operation and Maintenance of Erosion and Sedimentation Controls

The operation and maintenance of sedimentation control shall be the responsibility of the contractor. The inspection and maintenance of the storm water control shall be performed as noted below. The contractor shall, at all times have erosion control in place. The contractor, based on future weather reports shall prepare and inspect all erosion control devices; cleaning, repairing and upgrading is a priority so that the devices perform as per design. Inspect the site during rain events. **Don't stay away from the site** at a minimum, there should be inspection to assure the devices are not clogged or plugged, or that devices have not been destroyed or damaged during the rain event. After a storm event inspection is required to clean and repair any damage components. Immediate repair is required.

G. Inspection and Maintenance Schedules

1. Inspection must be conducted at least once every 7 days and within 24 hours prior to and after the end of a storm event 0.5 inches or greater.
2. Inspection frequency can be reduced to once a month if:
 - a. The site is temporarily stabilized.
 - b. Runoff is unlikely due to winter conditions, when site is covered with snow or ice.
3. Inspections must be conducted by qualified personnel, "qualified personnel" means a person knowledgeable in the principles and practice of erosion and sediment controls and who possess the skills to assess the conditions and take measures to maintain and ensure proper operation, also to conclude if the erosion control methods selected are effective.
4. For each inspection, the inspection report must include:
 - a. The inspection date.
 - b. Names, titles of personnel making the inspection.
 - c. Weather information for the period since the last inspection.
 - d. Weather information at the time of the inspection.
 - e. Locations of discharges of sediment from the site, if any.
 - f. Locations of BMP's that need to be maintained.
 - g. Locations where additional BMP's may be required.
 - h. Corrective action required or any changes to the SWPPP that may be necessary.
5. Qualified personnel shall inspect the following in-place work:

Inspection Schedule:	
Erosion Control	Weekly
Catch Basins	Weekly
Temporary Sedimentation	Weekly
Traps/Basins	Weekly
Pavement Sweeping	Weekly

Please Note: Special inspections shall also be made after a significant rainfall event.

Maintenance Schedule	
Erosion Control Devices Failure	Immediately
Temporary Sedimentation	As needed
Traps/Basins	As needed
Pavement Sweeping	14 days minimum and prior to any significant rain event.

Please Note: Special maintenance shall also be made after a significant rainfall event.

H. Inspection and Maintenance Log Form

1. See Construction Phase Inspection and Maintenance Form attached

12/24/2020

DALE MACKINNON
CIVIL
No. 54575
REGISTERED ENGINEER

Walter Mackinnon

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA
DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

EROSION CONTROL
LIMIT OF CLEARING

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION
10/13/2020	REVISED PARKING CONFIGURATION
12/23/2020	PER TOWN COMMENTS

0 15 30 FEET 60 90

0 2.5 5 10 METERS 20

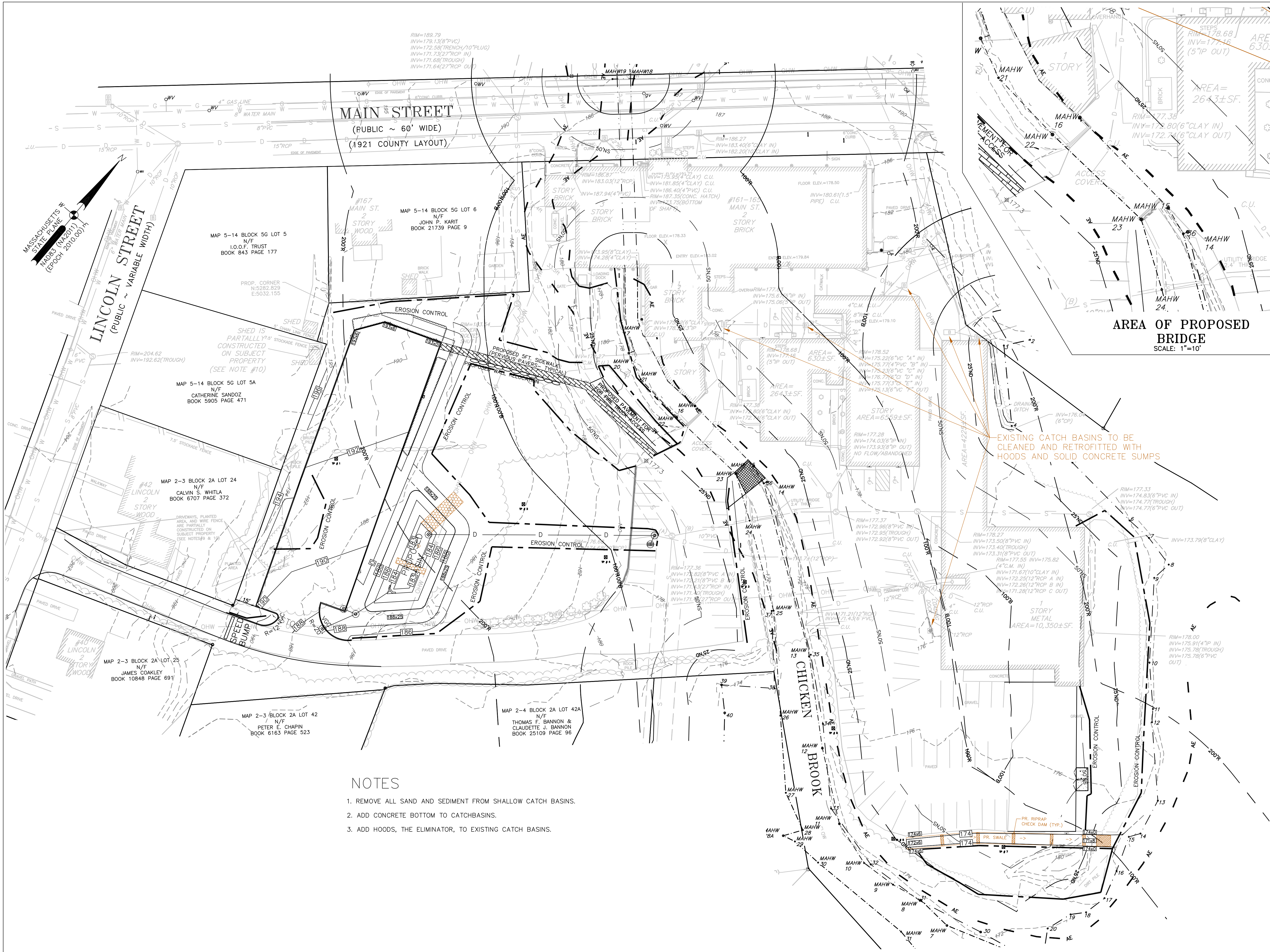
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SHEET 6 OF 12

JOB NO. F3519

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NOTES

1. REMOVE ALL SAND AND SEDIMENT FROM SHALLOW CATCH BASINS.
2. ADD CONCRETE BOTTOM TO CATCHBASINS.
3. ADD HOODS, THE ELIMINATOR, TO EXISTING CATCH BASINS.

12/24/2020

DALE MACHINON
CIVIL
No. 34575
REGISTERED PROFESSIONAL ENGINEER

DATE

12/24/2020

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

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OWNER

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JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

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165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

GRADING AND DRAINAGE

FEBRUARY 14, 2020

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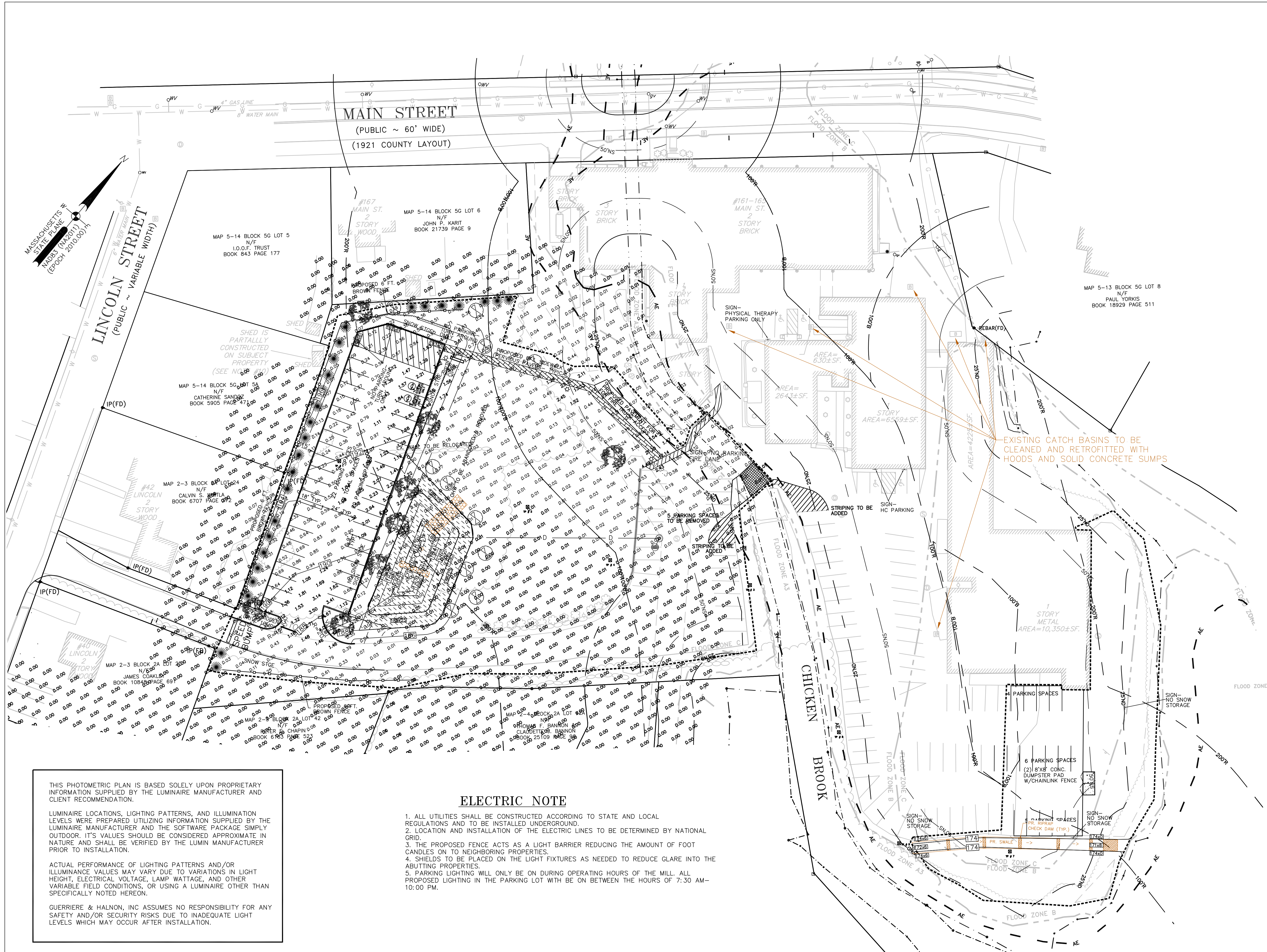
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JOB NO.

F3519

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THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SIMPLY OUTDOOR. IT'S VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINANCE VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

GUERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.

ELECTRIC NOTE

1. ALL UTILITIES SHALL BE CONSTRUCTED ACCORDING TO STATE AND LOCAL REGULATIONS AND TO BE INSTALLED UNDERGROUND.
2. LOCATION AND INSTALLATION OF THE ELECTRIC LINES TO BE DETERMINED BY NATIONAL GRID.
3. THE PROPOSED FENCE ACTS AS A LIGHT BARRIER REDUCING THE AMOUNT OF FOOT CANDLES ON TO NEIGHBORING PROPERTIES.
4. SHIELDS TO BE PLACED ON THE LIGHT FIXTURES AS NEEDED TO REDUCE GLARE INTO THE ADJUTING PROPERTIES.
5. PARKING LIGHTING WILL ONLY BE ON DURING OPERATING HOURS OF THE MILL. ALL PROPOSED LIGHTING IN THE PARKING LOT WITH BE ON BETWEEN THE HOURS OF 7:30 AM-10:00 PM.

12/24/2020
DALE MACKINNON
CIVIL
No. 34575
REGISTERED
ENGINEER
MASSACHUSETTS

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

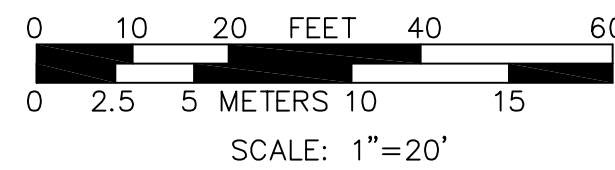
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

PHOTOMETRICS

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION
10/13/2020	REVISED PARKING CONFIGURATION
12/23/2020	PER TOWN COMMENTS

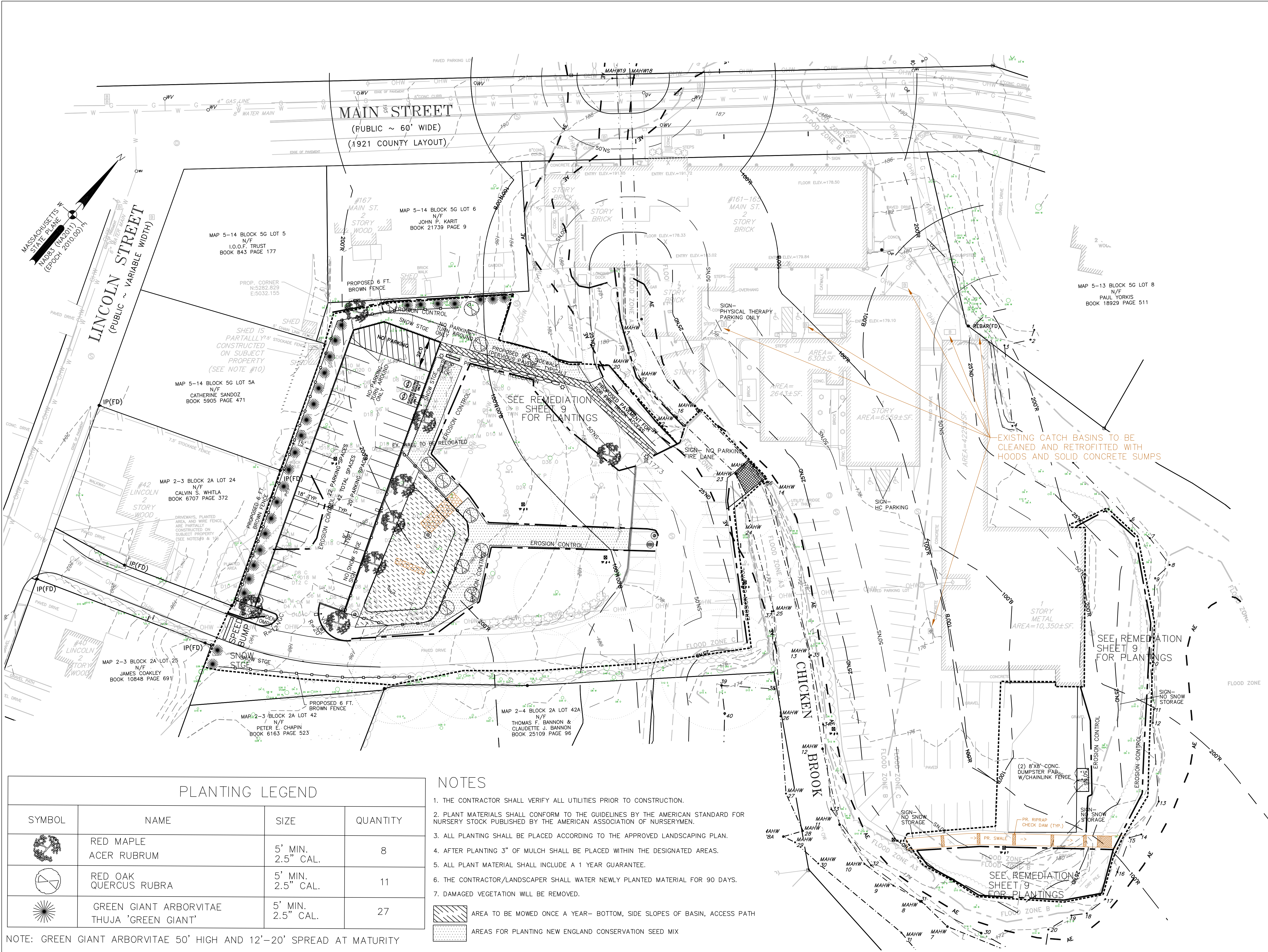


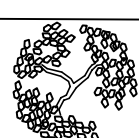
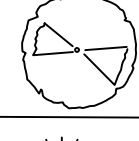

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SHEET
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JOB NO.
F3519

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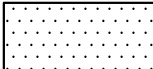


PLANTING LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	RED MAPLE ACER RUBRUM	5' MIN. 2.5" CAL.	8
	RED OAK QUERCUS RUBRA	5' MIN. 2.5" CAL.	11
	GREEN GIANT ARBORVITAE THUJA 'GREEN GIANT'	5' MIN. 2.5" CAL.	27

NOTE: GREEN GIANT ARBORVITAE 50' HIGH AND 12'-20' SPREAD AT MATURITY

NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PLANTING SHALL BE PLACED ACCORDING TO THE APPROVED LANDSCAPING PLAN.
4. AFTER PLANTING 3" OF MULCH SHALL BE PLACED WITHIN THE DESIGNATED AREAS.
5. ALL PLANT MATERIAL SHALL INCLUDE A 1 YEAR GUARANTEE.
6. THE CONTRACTOR/LANDSCAPER SHALL WATER NEWLY PLANTED MATERIAL FOR 90 DAYS.
7. DAMAGED VEGETATION WILL BE REMOVED.

-  AREA TO BE MOWED ONCE A YEAR- BOTTOM, SIDE SLOPES OF BASIN, ACCESS PATH
-  AREAS FOR PLANTING NEW ENGLAND CONSERVATION SEED MIX

12/24/2020

DALE
MACKINNON
CIVIL
No. 34575

REGISTERED PROFESSIONAL ENGINEER

Dale Mackinnon

F3519

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

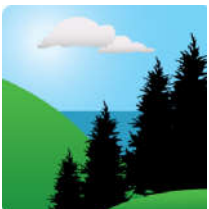
LANDSCAPING

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION
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12/23/2020	PER TOWN COMMENTS

0 15 30 FEET 60 90

0 2.5 5 10 METERS 20

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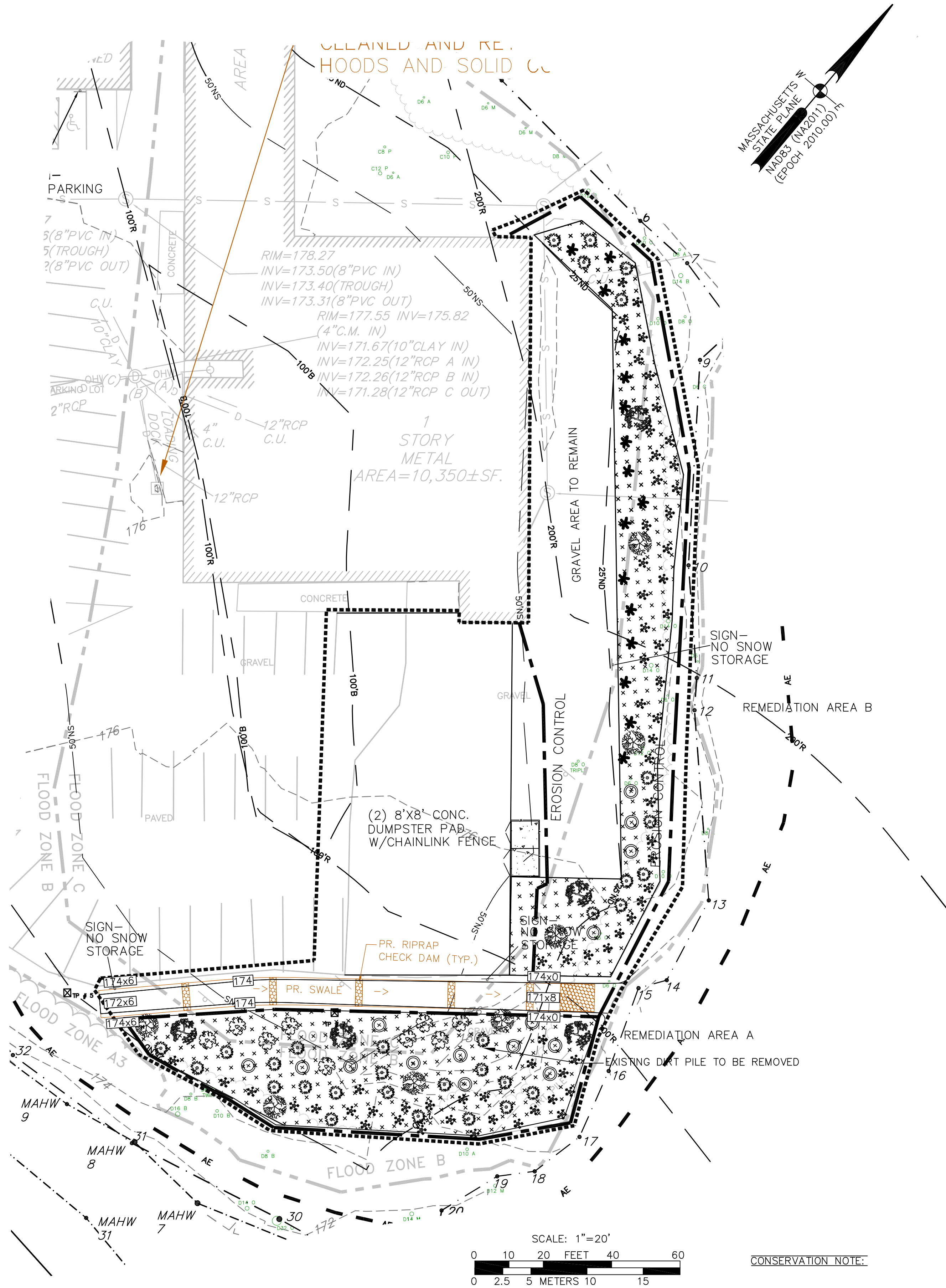
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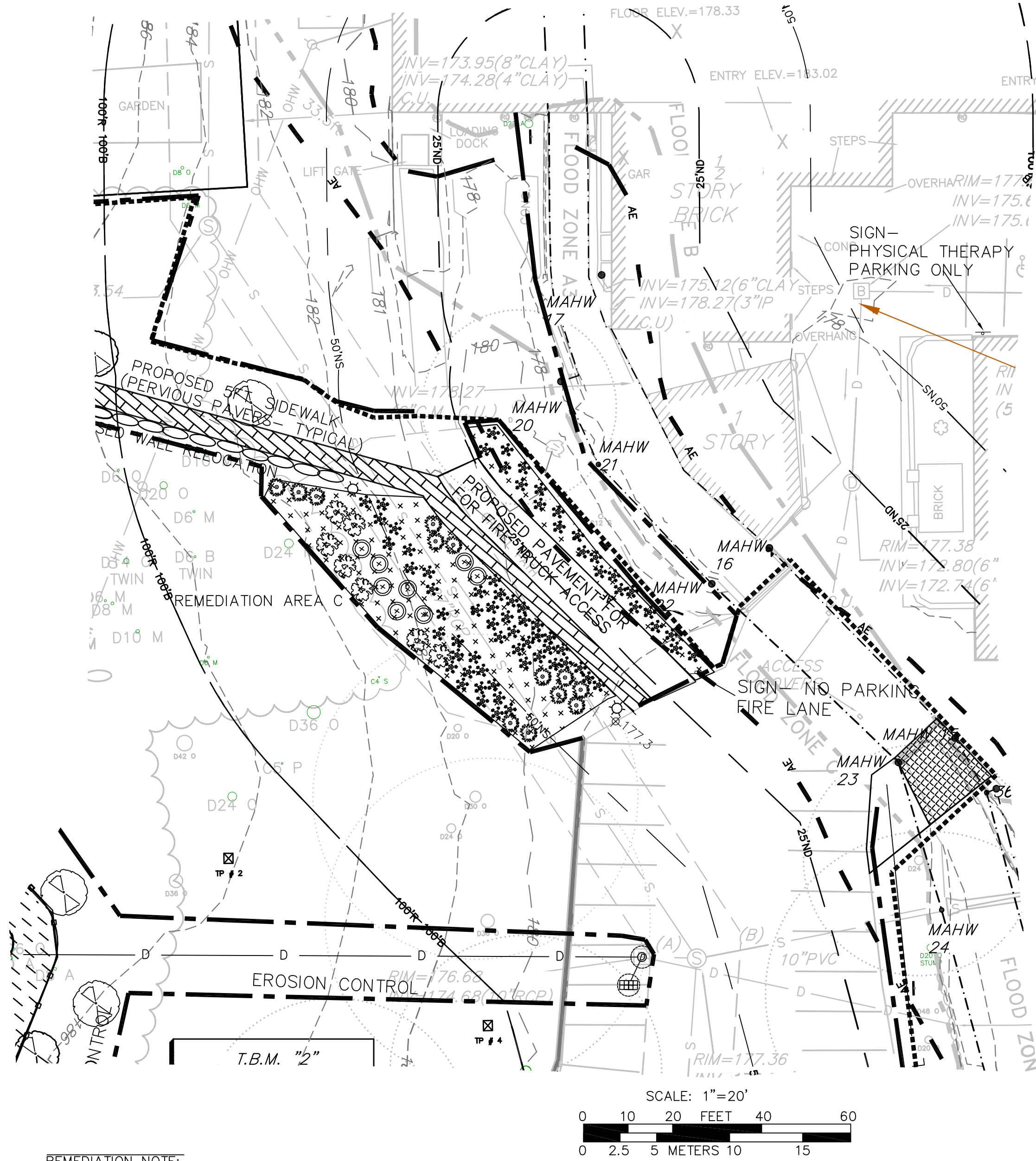
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CONSERVATION NOTE:

A CONSERVATION PLAQUE TO BE PLACED AT THE REMEDIATION AREAS ACCORDING TO THE MEDWAY CONSERVATION COMMISSION DECISION.



REMEDATION NOTE:

- ALL REMEDIATION AREAS;
1. RAKE TO LOOSEN ALL HARD PACKED SOIL
 2. ADD 6" MINIMUM TOPSOIL
 3. ADD 12LBS. CONSERAVTION MIX
 4. ADD 50LBS. OF RYE GRASS
 5. ALL DISTURBED AREAS TO BE MULCHED WITH STRAW UNTIL NEWLY PLANTED VEGETATION IS ESTABLISHED.

REMEDATION LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	RIVER BIRCH BETULA NIGRA	4' MIN. 2.5" CAL.	7
	MOUNTAIN PEPPERBUSH CLETHRA ACUMINATA	3 GAL.	43
	WITCHHAZEL HAMAMELIS VIRGINANA	5 GAL.	16
	WINTERBERRY ILEX VERTICILLATA	3 GAL.	23
	JUNIPER PLUMROSA COMPACTA	3 GAL.	16
	CINNAMON FERN OSMUNDA CINNAMOMEA	2 GAL.	113
	RED MAPLE ACER RUBRUM	4' MIN. 2.5" CAL.	5



APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

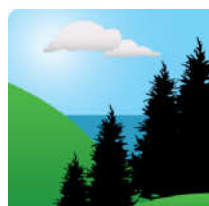
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MEDWAY, MA. 02053

**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

REMEDATION

FEBRUARY 14, 2020

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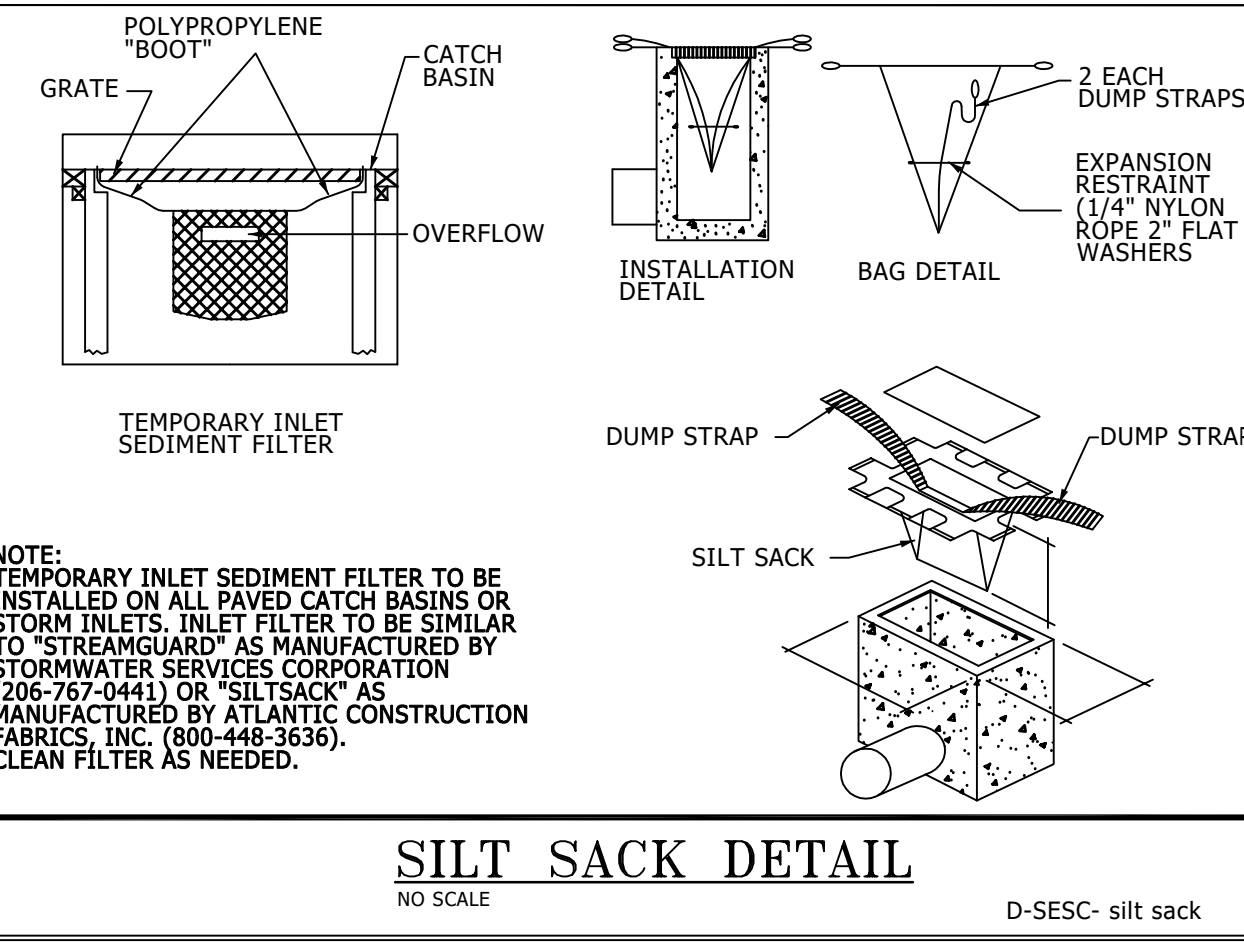
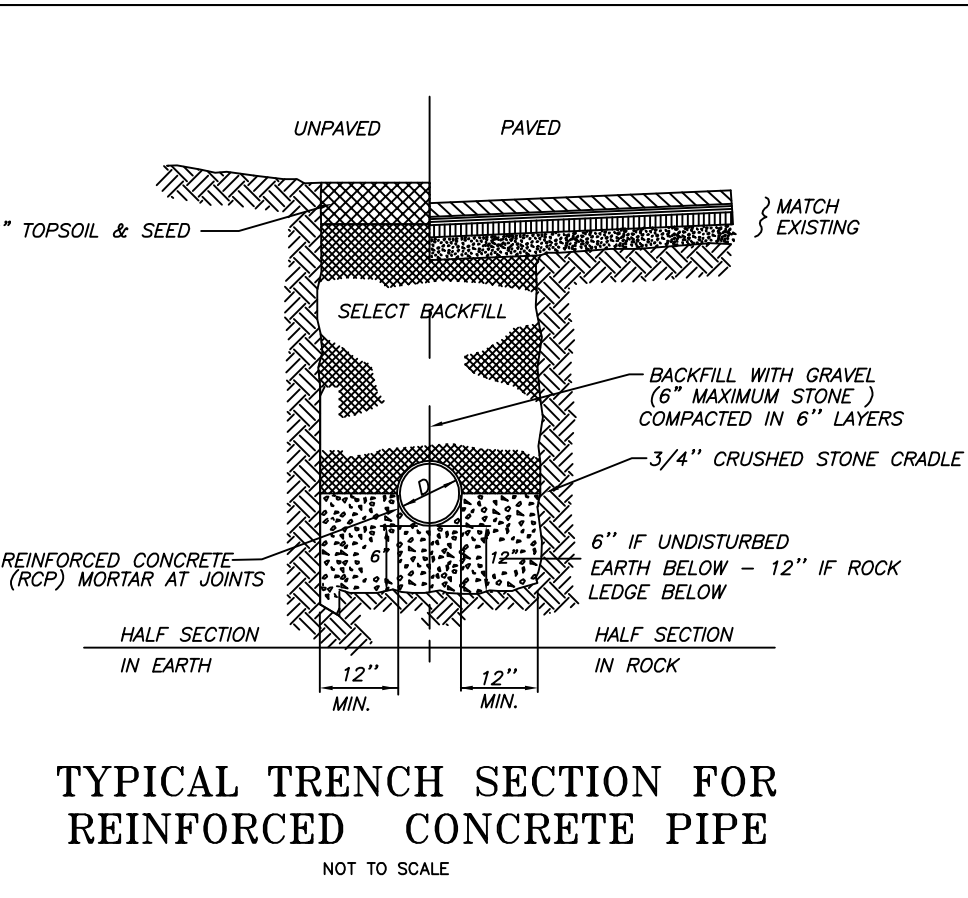
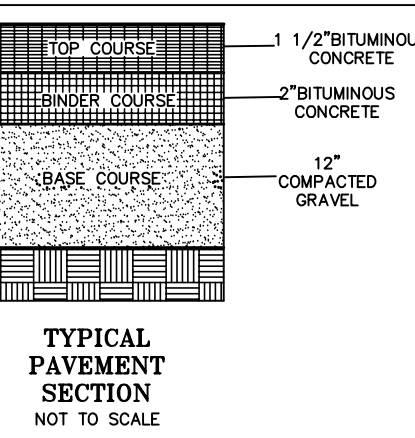
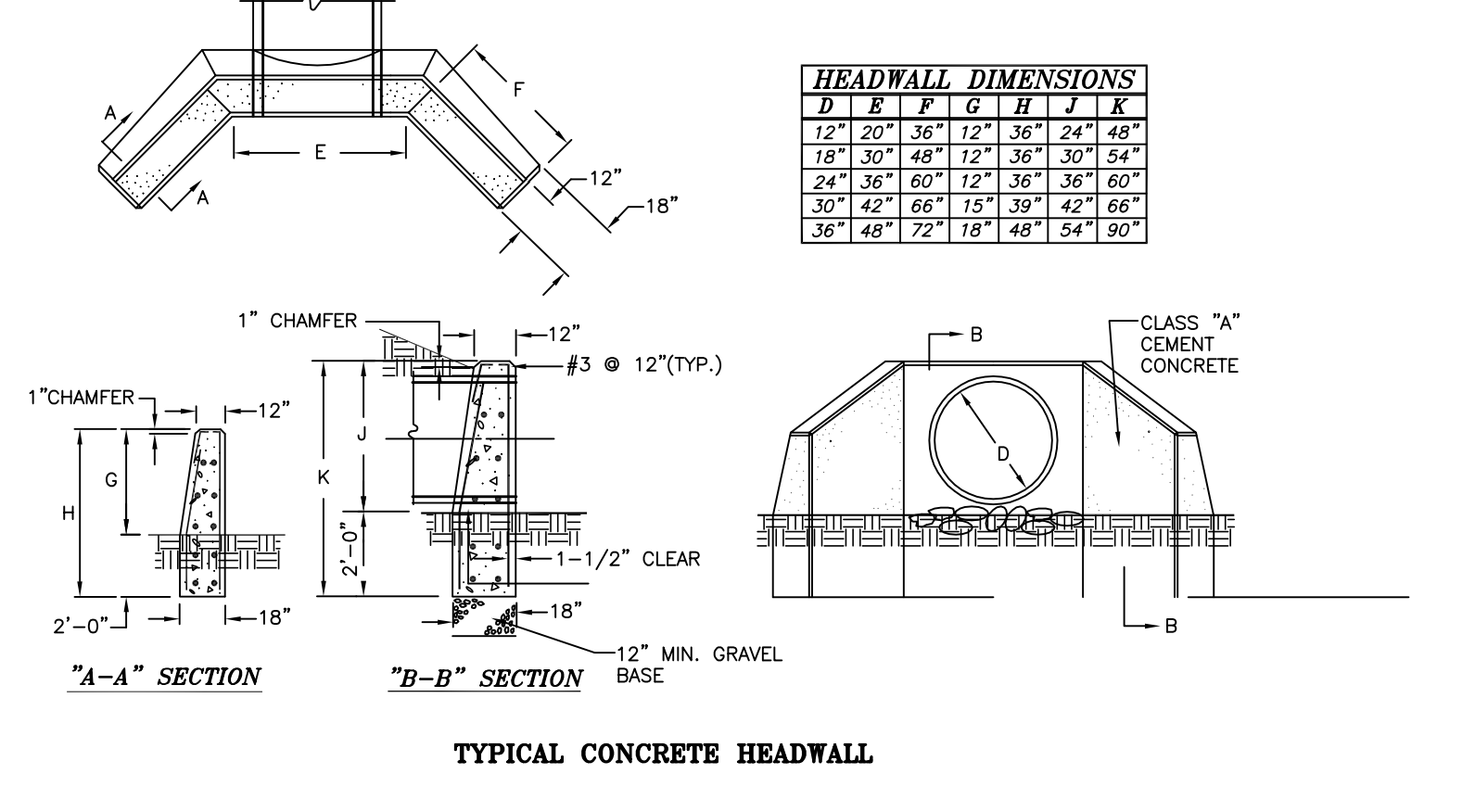
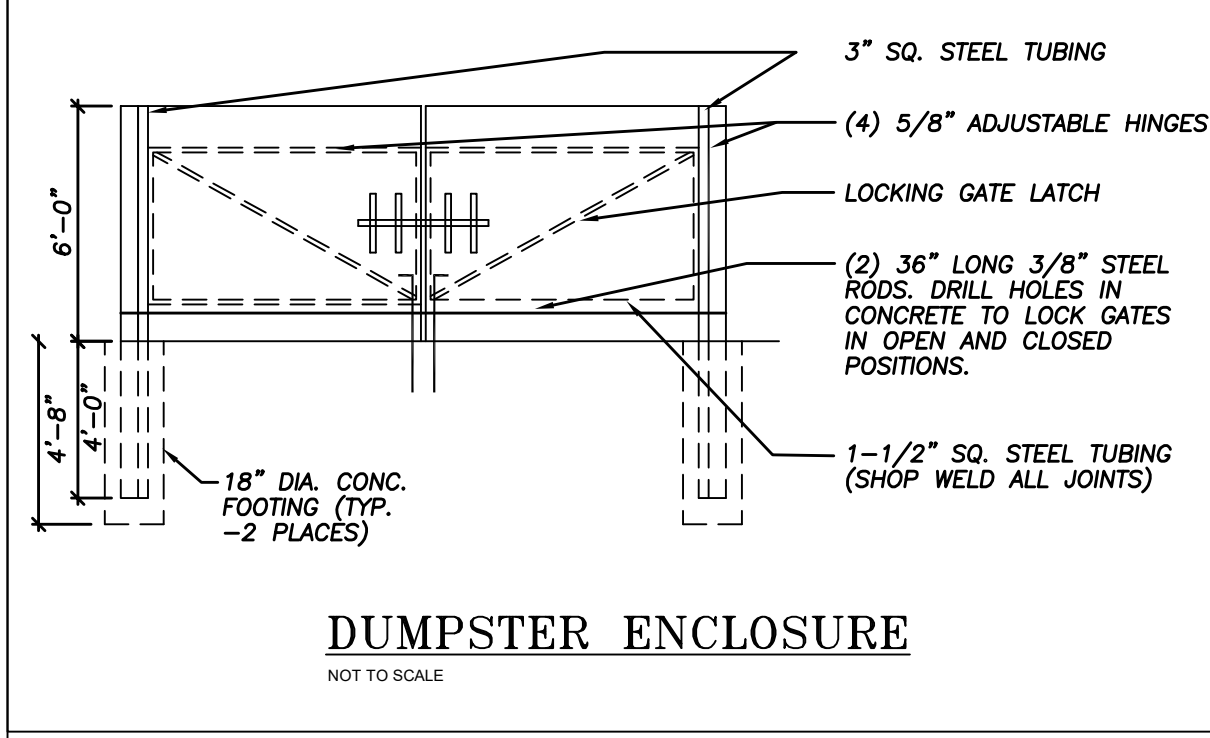
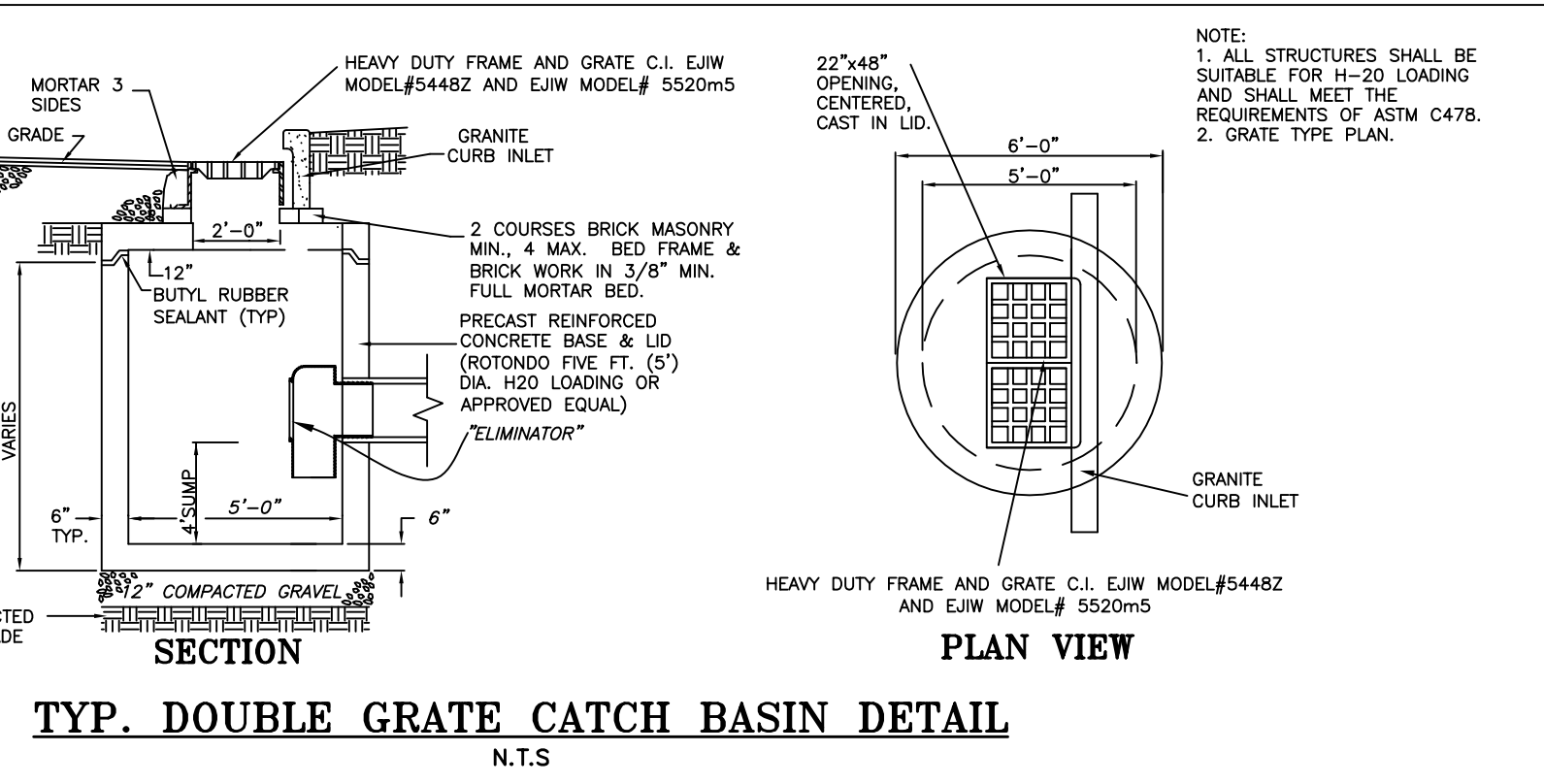
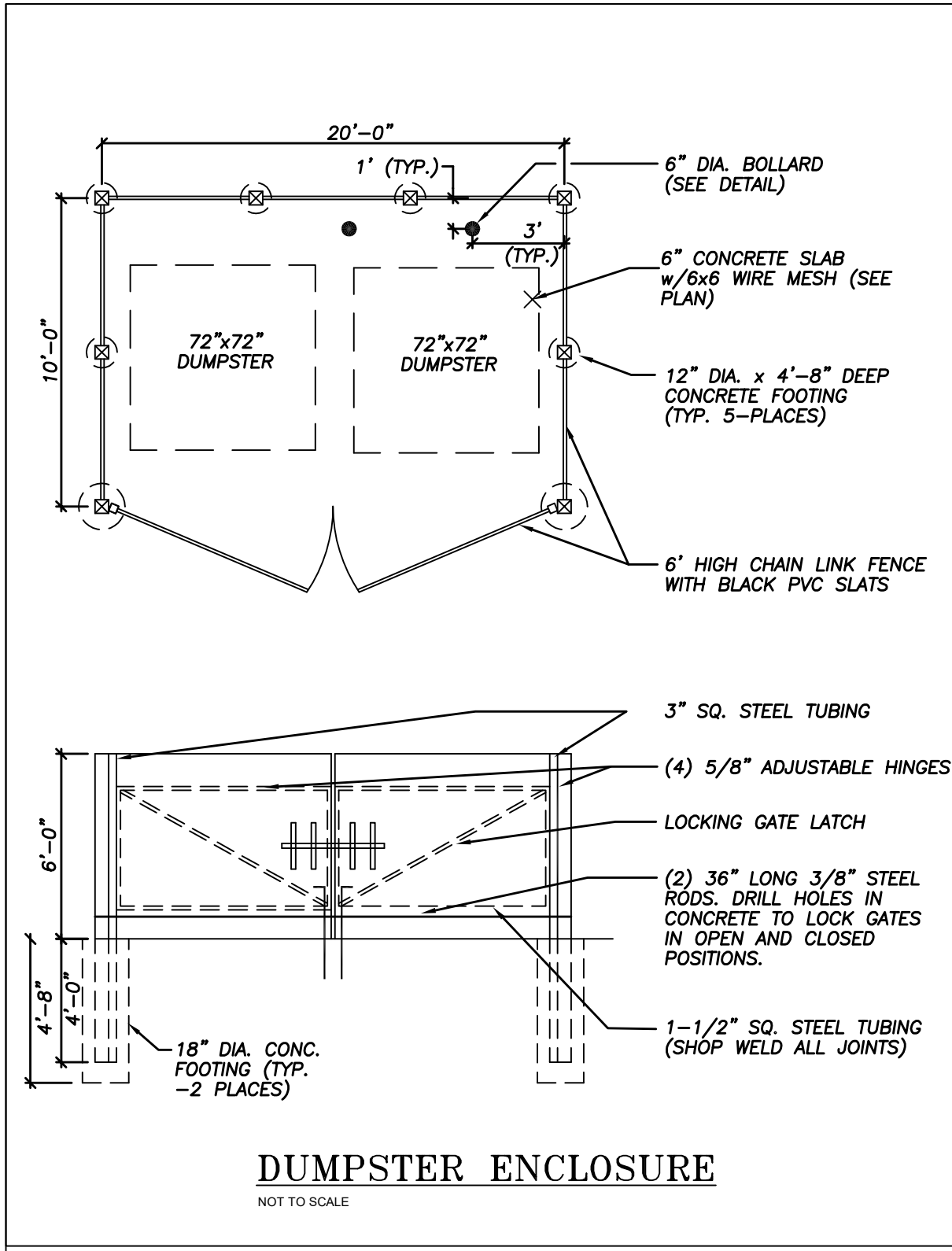


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JOB NO. **F3519**



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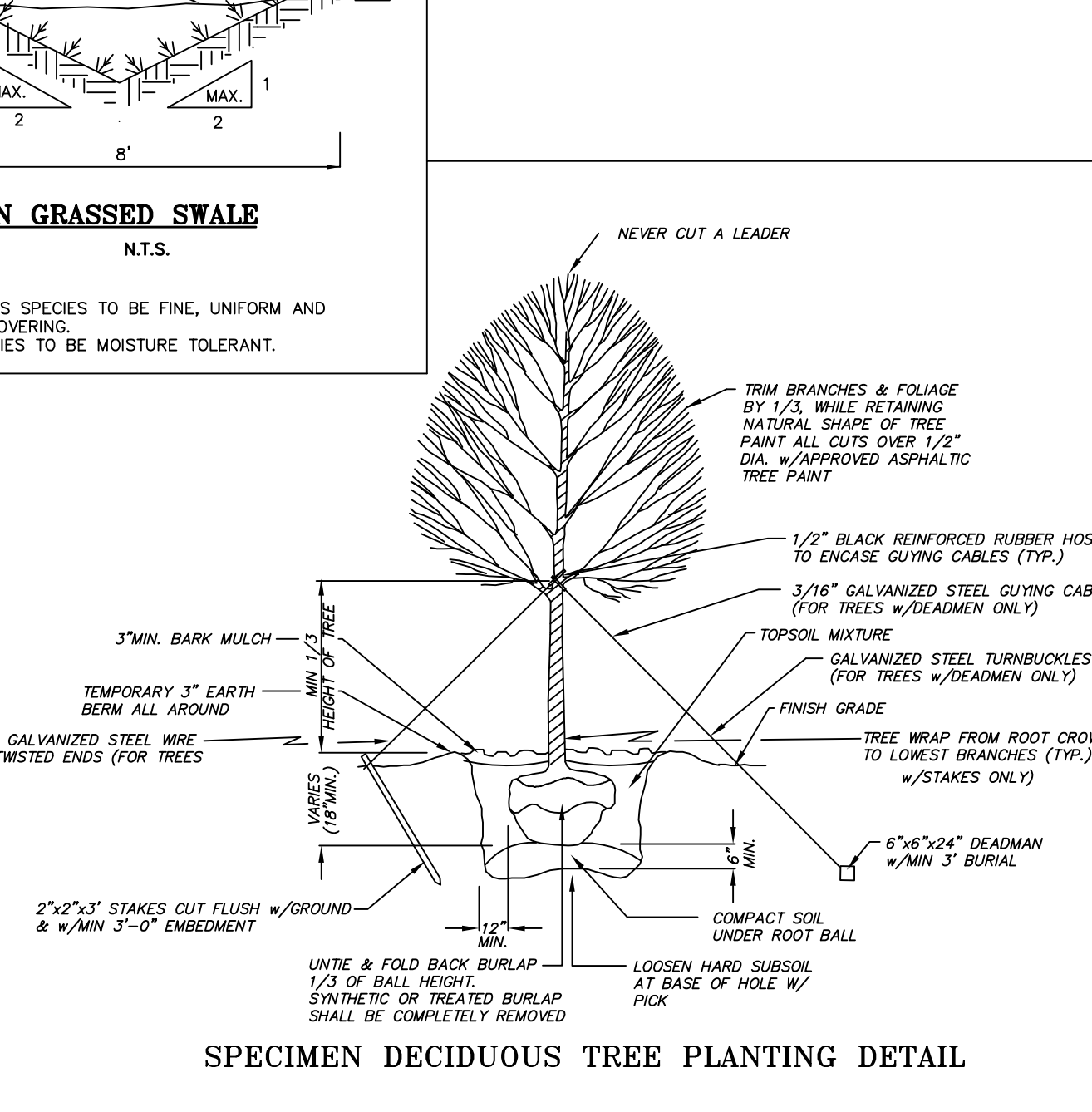
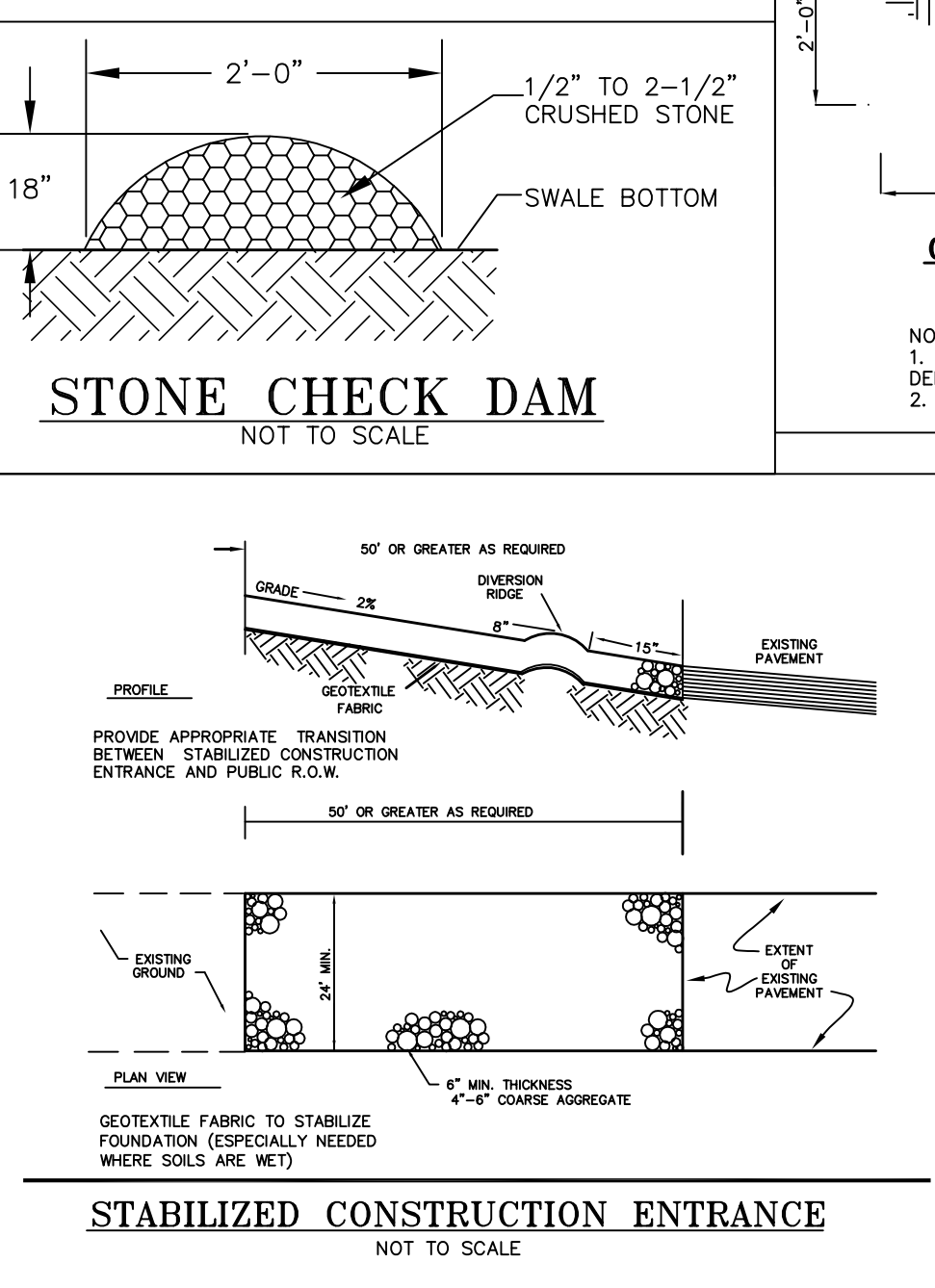
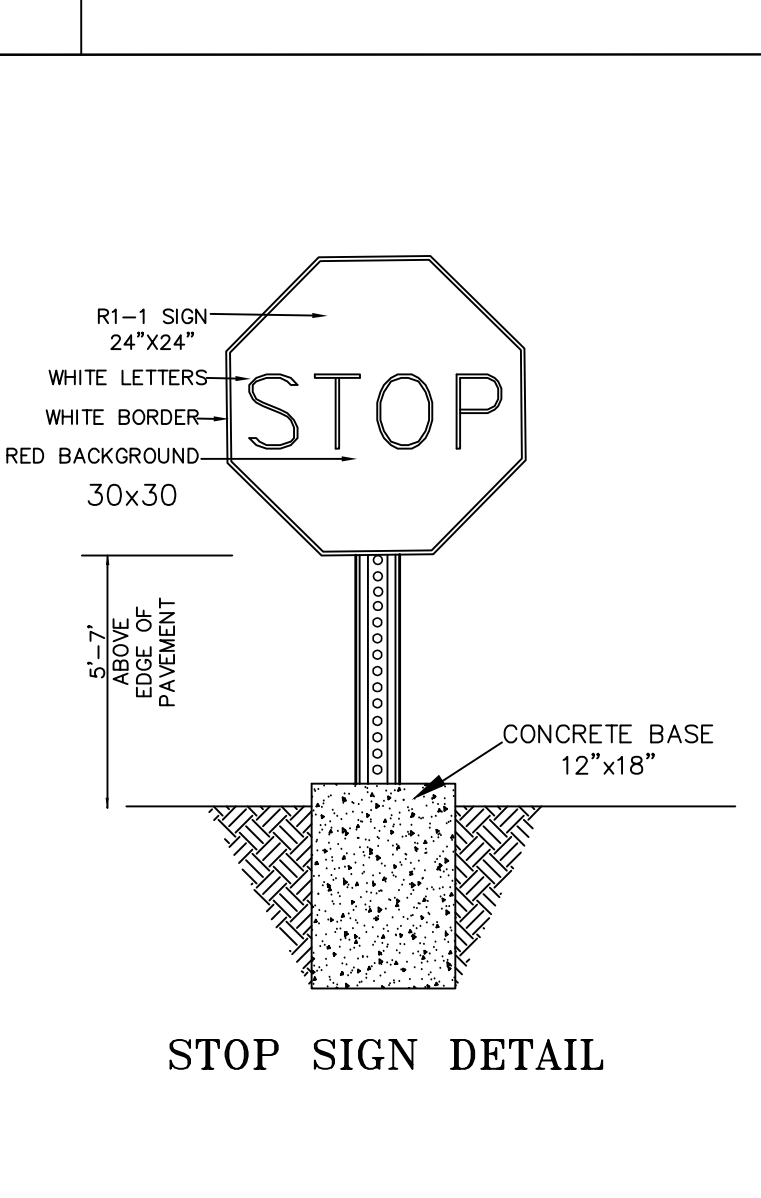
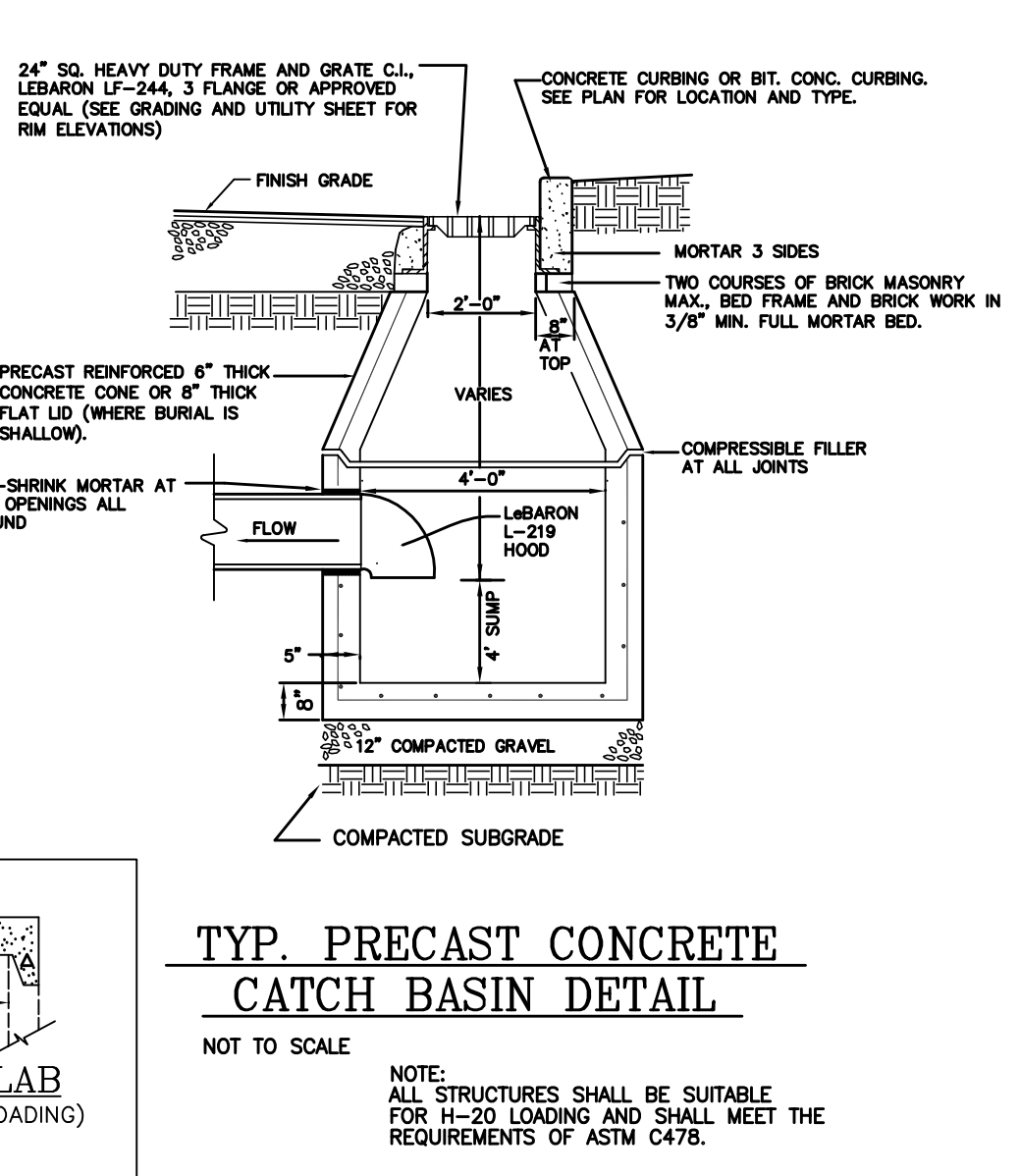
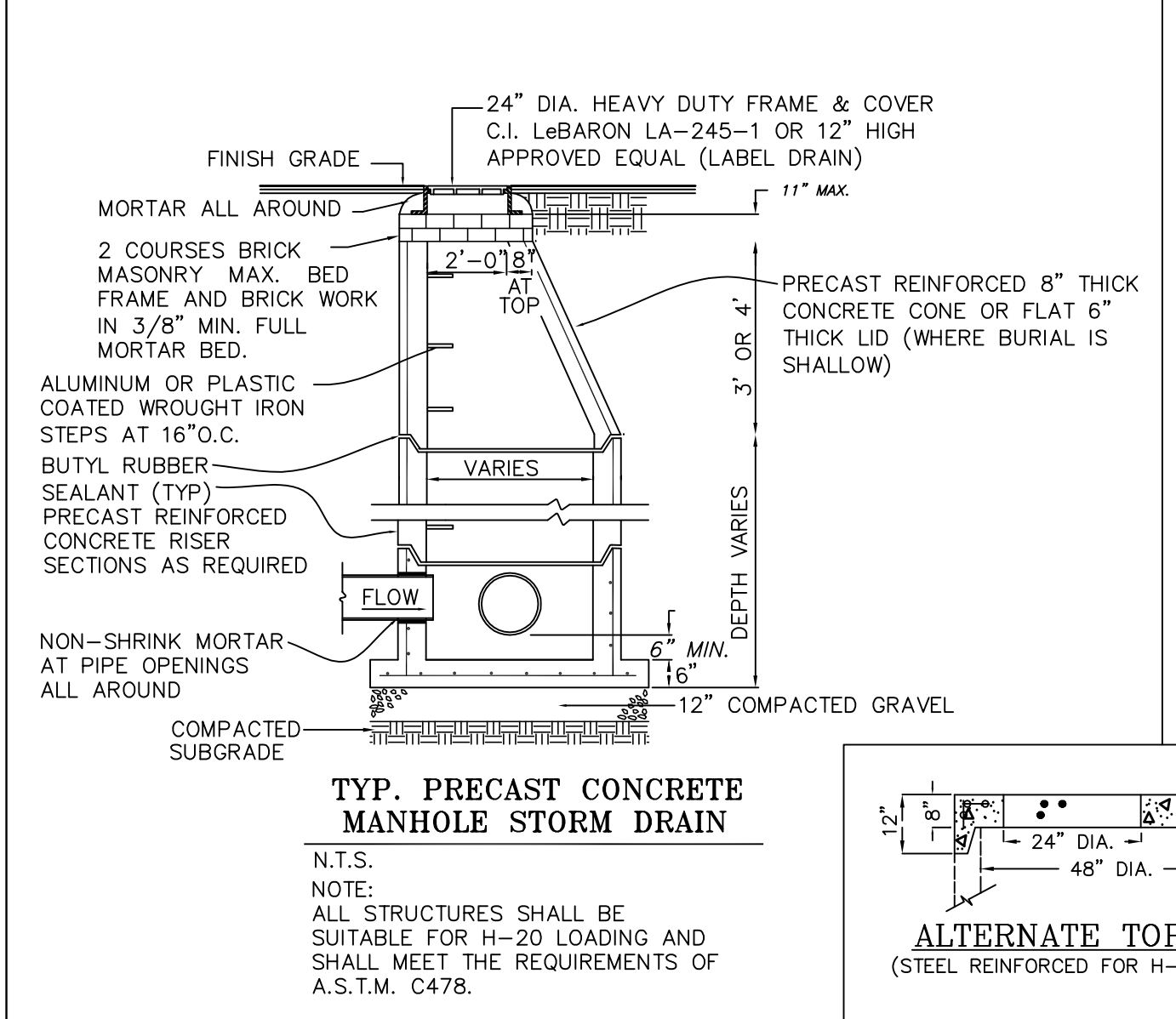
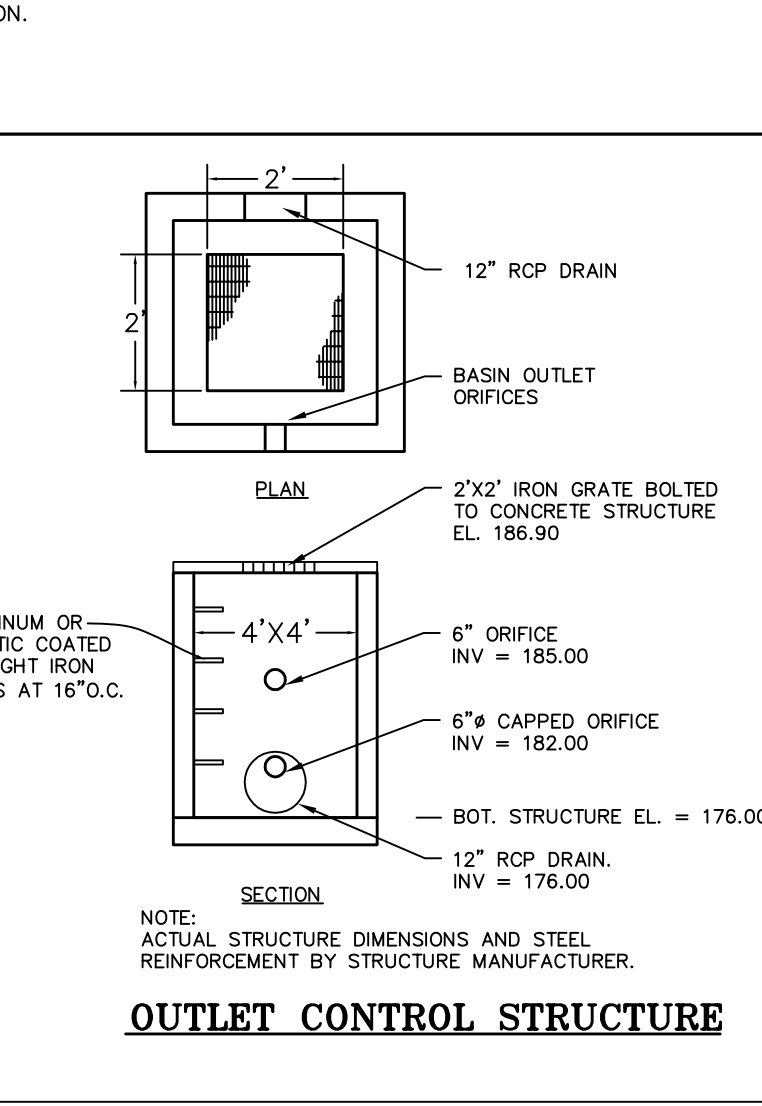
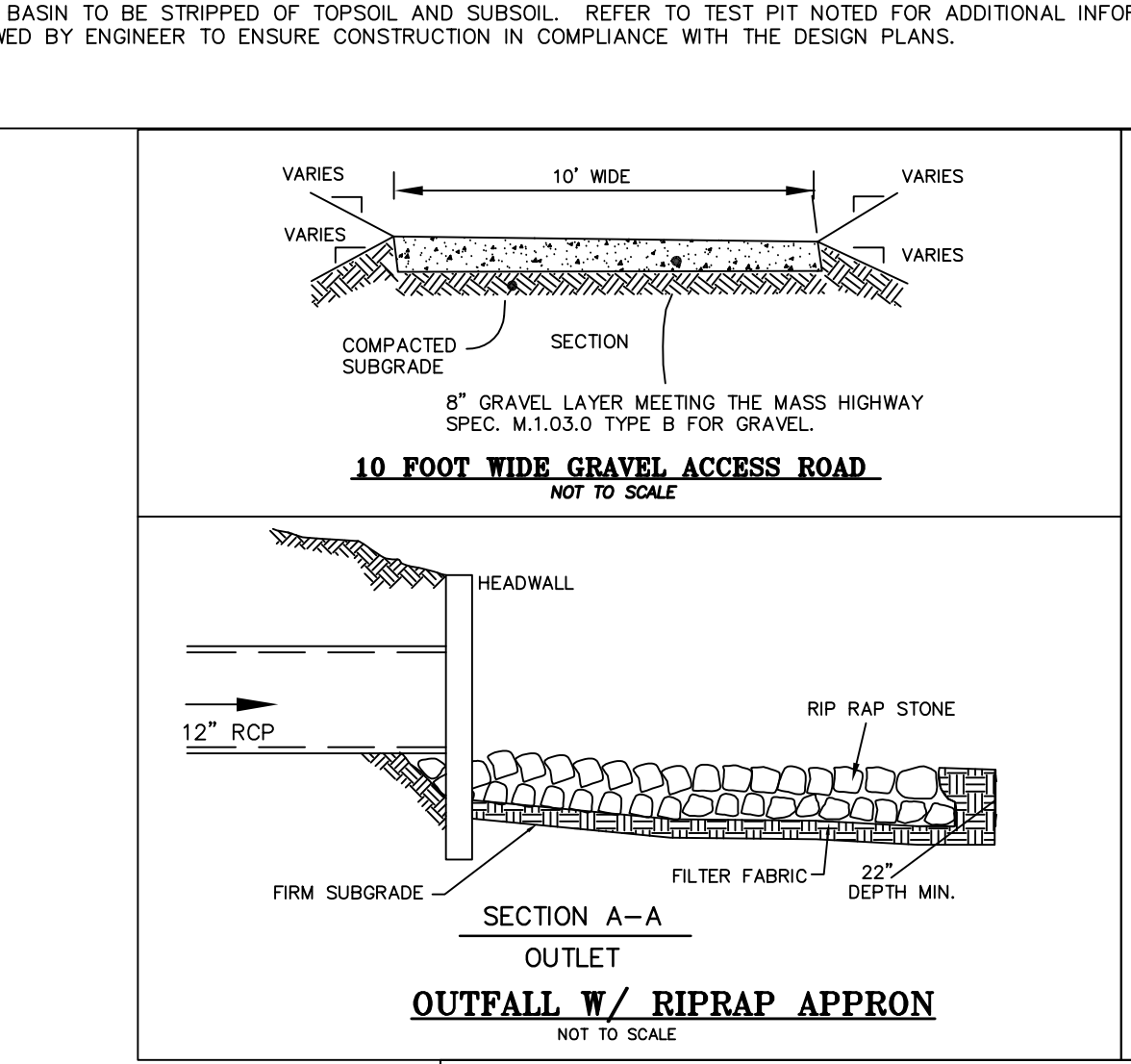
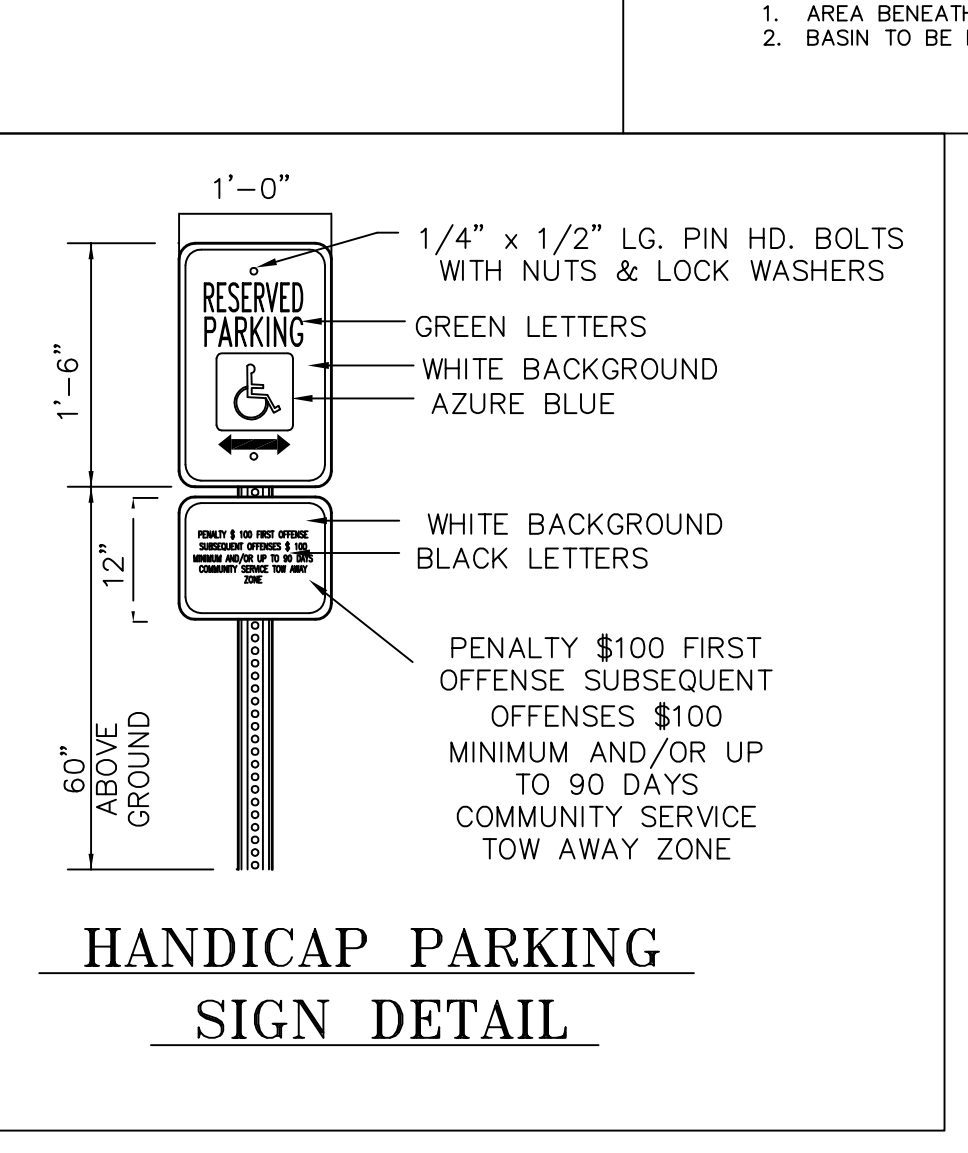
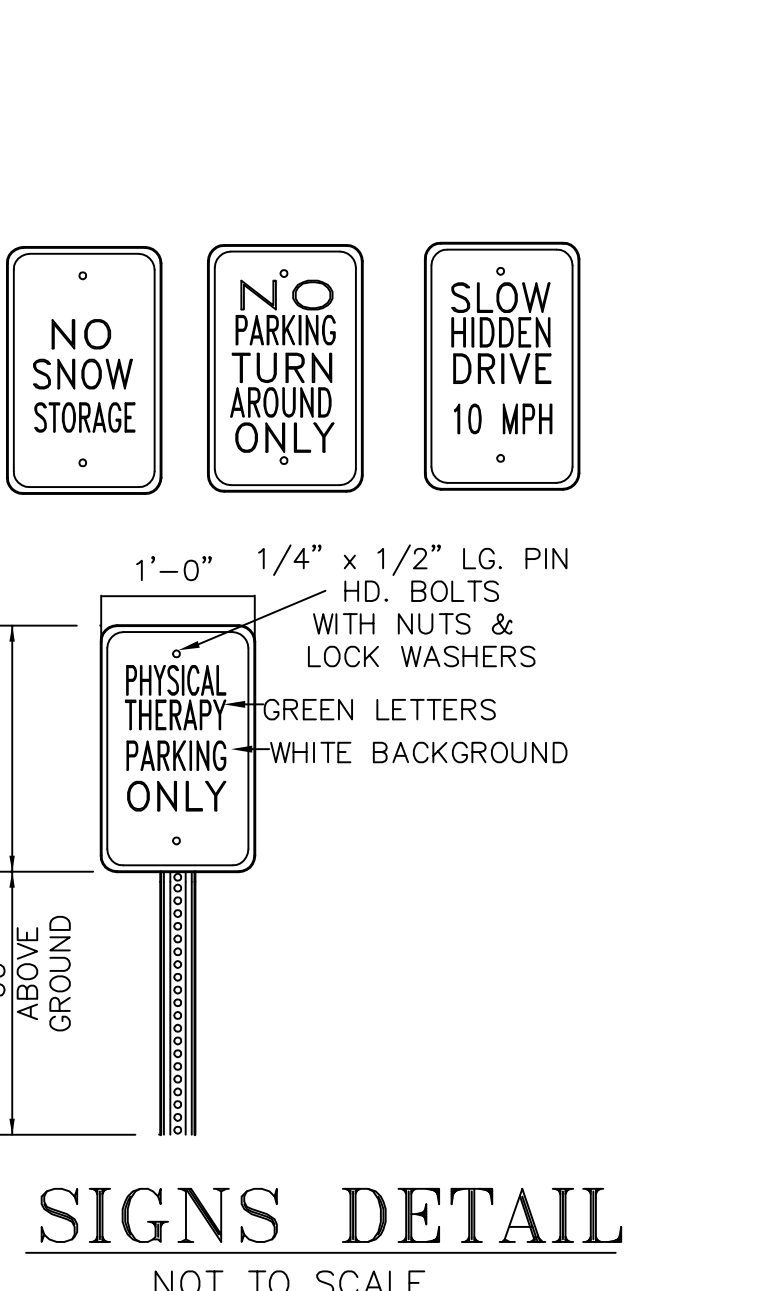
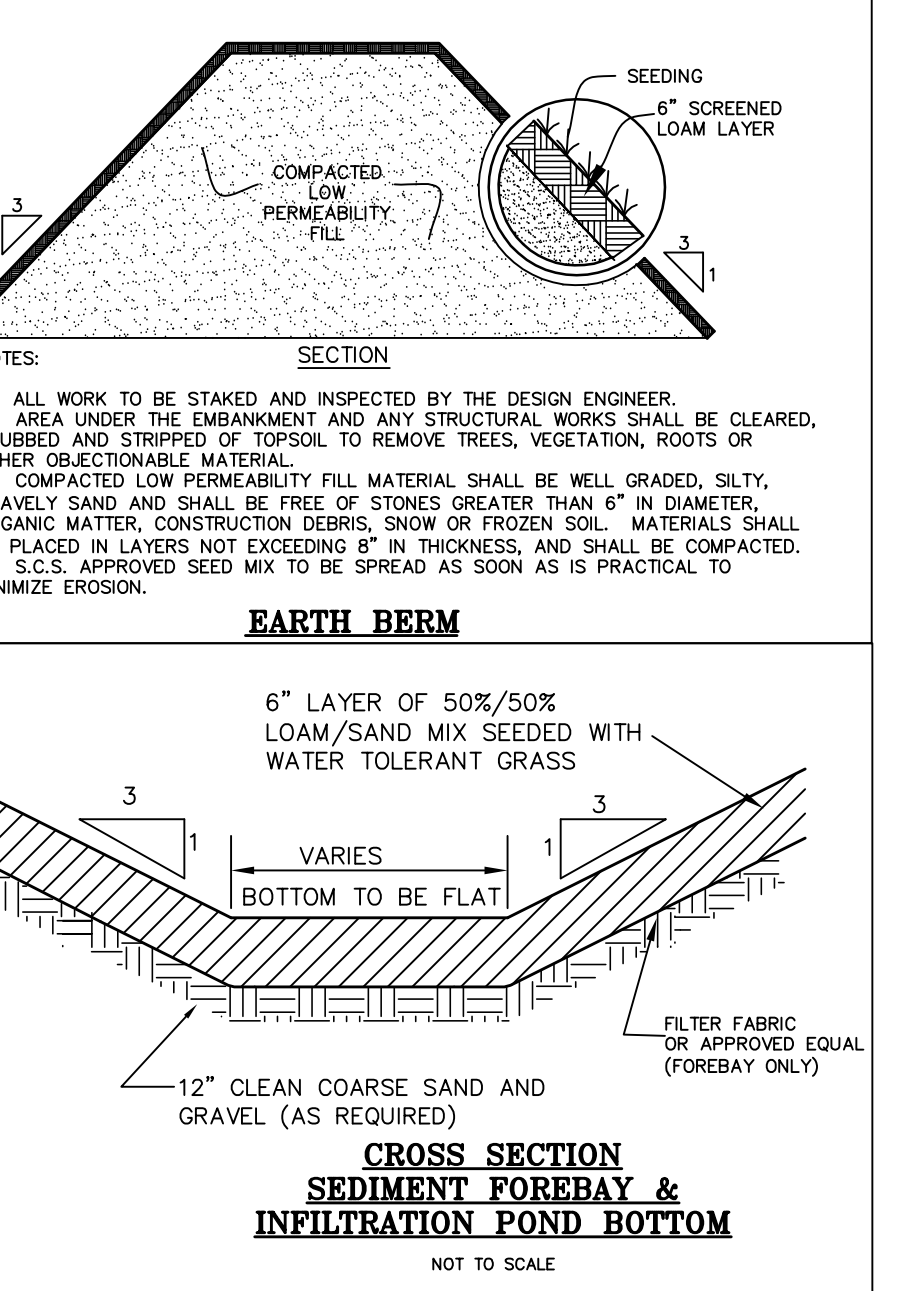
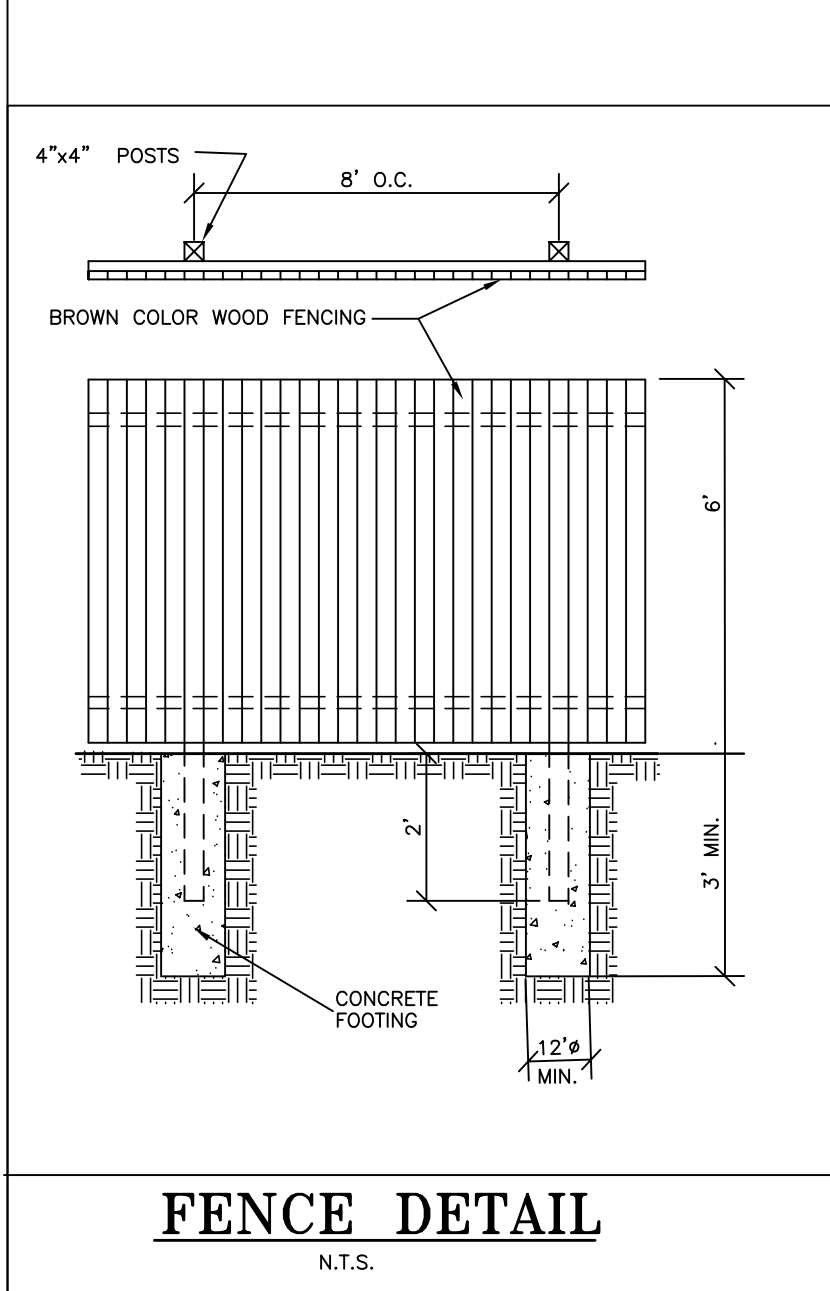
DALE MACKINNON
CIVIL ENGINEER
No. 54575

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE



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SUITE 307
MEDWAY, MA

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A.M. 48 LOT 092

APPLICANT

NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA. 02053

SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS

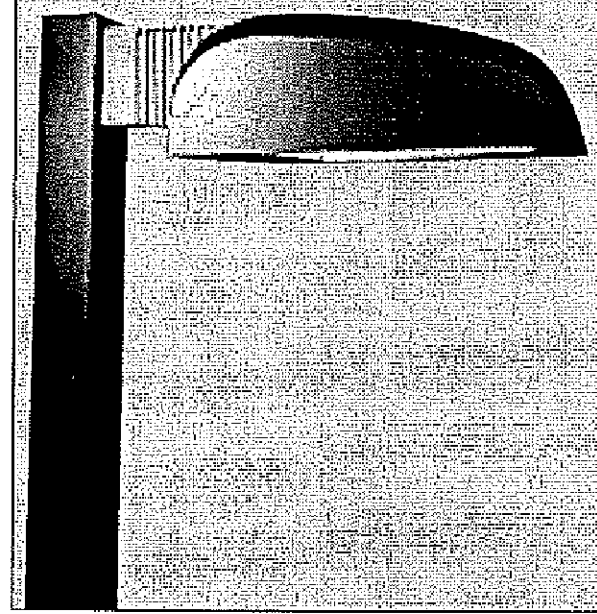
DATE	REVISION DESCRIPTION
10/13/2020	REVISED PARKING CONFIGURATION
12/23/2020	PER TOWN COMMENTS

0 15 30 FEET 60 90
0 2.5 5 10 METERS 20

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

Aeris™

NEW



Intended Use

For streets, walkways, parking lots and surrounding areas.

Features

Housing – Die-cast single piece aluminum with nominal 1/8" wall thickness. Integral arm provides easy installation to pole or wall. Housing completely sealed against moisture or environmental contaminants.

Door Assembly – Die-cast door frame, impact-resistant, tempered, glass lens, 3/16" thick, fully sealed with one-piece tubular silicone gasket. Tool-less entry and closure via spring loaded die-cast latches.

Optics – Anodized segmented reflectors for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable.

Installation – Heavy duty easymount block attaches to pole or wall to provide ease of installation as well as ensured alignment and leveling.

Electrical – 150W and below utilize a high reactance, high power factor, 175W and above use a constant-wattage autotrans-former ballast. 42W uses an electronic high frequency ballast. Ballasts mounted on removable power tray with tool-less latch and have positive locking disconnect plugs. Ballasts are copper wound and 100% factory tested.

Finish – Standard finishes dark bronze (DDB) polyester powder finish. Other architectural colors available.

Socket – Porcelain, medium-base socket for AS1, mogul-base socket for AS2, with copper alloy nickel-plated screw shell and center contact. UL listed.

Listings – UL Listed (standard), CSA Certified or NOM certified (see options). U.S. and Canada patents pending. UL listed for wet locations. IP65 certified. Meets IES-NA full cutoff criteria.

For product details and performance data, see the OUTDOOR Lighting or the on-line catalog at www.lithonia.com.

Ordering Information

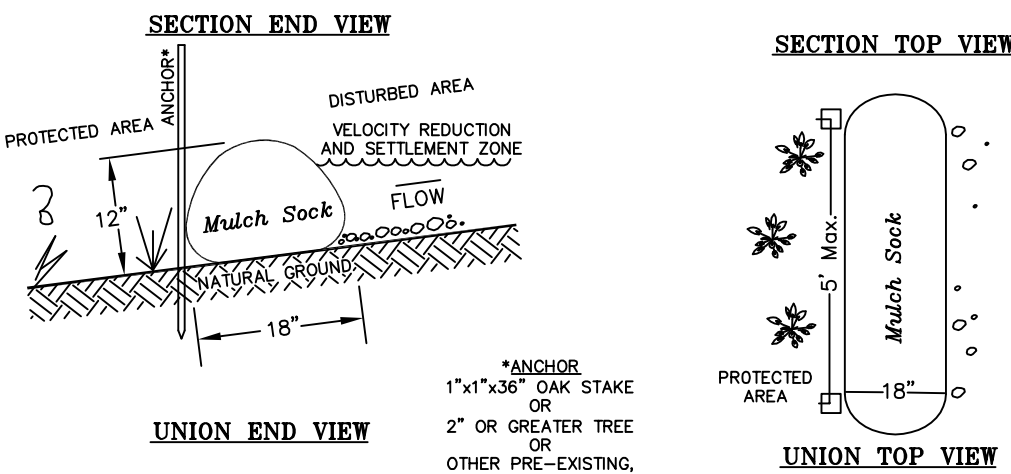
Designation	Distribution	Voltage	Mounting*	Options/Accessories
High Pressure Sodium	SR2 Segmented Type II roadway	120, 208¹, 240¹, 277, 347, 480¹, TB¹	Included	Installed
AS1 35S			SPA Square pole mounting block	SF Single fuse, 120, 277, 347V (n/a TB) ¹
AS1 50S			RPA Round pole mounting block	DF Double fuse, 208, 240, 480V (n/a TB) ¹
AS1 70S				PER NEMA twist-lock receptacle only (no photocell)
AS1 100S				QRS Quartz restrike system (160W max. AS1, 250W max. AS2, lamp not included) ¹
AS1 150S	SR4SC Segmented Type IV forward throw, sharp cutoff			CR Corrosion-resistant finish
AS2 200S				HS House-side shield
AS2 250S	SR4W Segmented Type IV wide, forward throw (size 2 only)			EC Emergency circuit ¹
AS2 400S				TP Tamperproof
Metal Halide	SR5S Segmented Type V square			SCWA Super CWA Pulse Start Ballast (not available with HPS or TRT)
AS1 50M				LPI Lamp included (standard)
AS1 70M				L/LP Less lamp
AS1 100M				CSA CSA Certified
AS1 150M				NOM ¹ NOM Certified
AS1 175M				For optional architectural colors, see page 348.
AS2 200M ¹				Shipped separately
AS2 250M ²				PE1 NEMA twist-lock PE (120, 208, 240V)
AS2 320M ¹				PE3 NEMA twist-lock PE (347V)
AS2 350M ¹				PE4 NEMA twist-lock PE (480V)
AS2 400M ²				PE7 NEMA twist-lock PE (277V)
Compact Fluorescent				SC Shorting cap
AS1 42TRT (120, 277, 347V only)				AS1VG Vandal guard
				AS2VG Vandal guard

	AS1	AS2
Length	21.38"	16.25"
Width	12.5"	8.25"
Height	6.28"	8.25"

LITHONIA LIGHTING

PARKING LIGHTING DETAIL AND SPECIFICATIONS

NOT TO SCALE
PROPOSED HEIGHT OF POLES = 20FT.

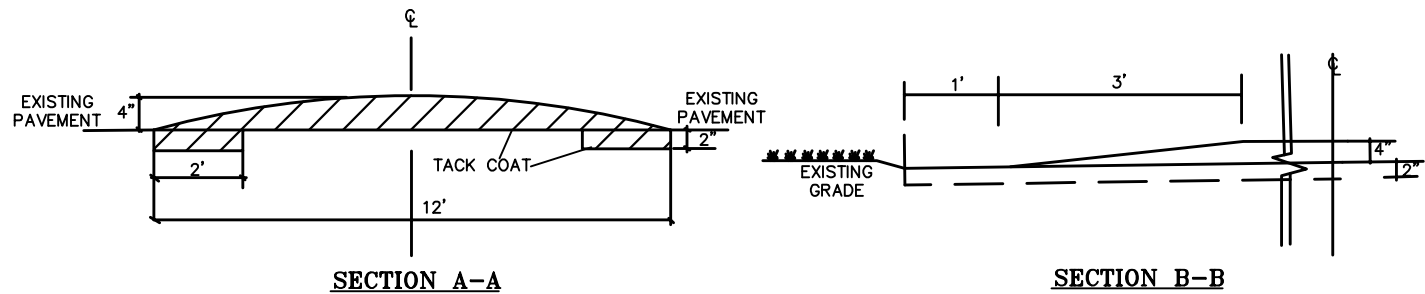


- WHERE SECTION ENDS MEET, THERE SHALL BE AN OVERLAP OF 6" OR GREATER. BOTH SIDES SHALL BE ANCHORED (OAK STAKES, TREES, ETC.) TO STABILIZE THE UNION.
- NO ADDITIONAL ANCHORS ARE REQUIRED ON SLOPES LESS THAN 2:1.
- ADDITIONAL ANCHORS ARE REQUIRED AT 5' INTERVALS (MAX.) ON THE DOWNSLOPE OR PROTECTED SIDE ON SLOPES GREATER THAN 2:1 TO PREVENT MOVEMENT.

EROSION CONTROL BARRIER

NOT TO SCALE

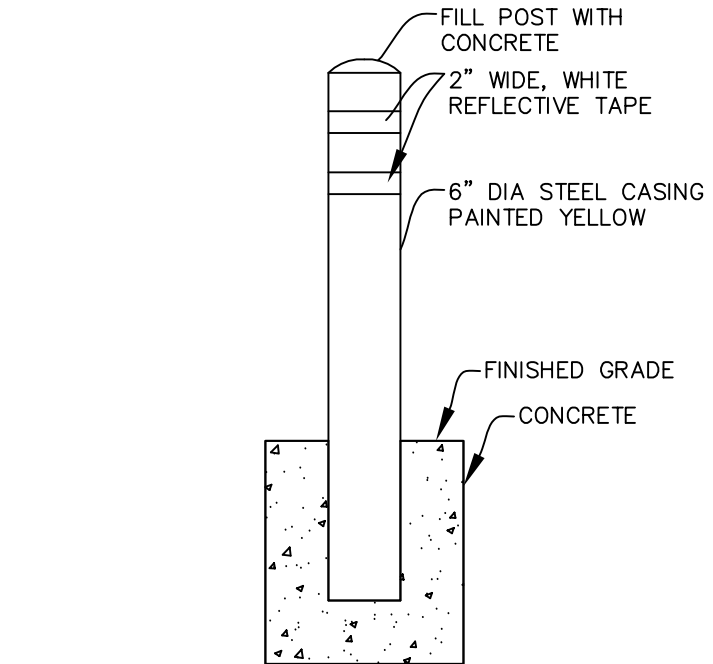
- SPEED BUMPS SHALL BE BITUMINOUS CONCRETE.
- CLEAN EXISTING PAVEMENT.
- SCAFFRY EXISTING PAVEMENT ALONG THE GUTTER LINES.
- REPLACE BITUMINOUS CONCRETE.
- COMPACT ANDJOINT AND SURFACE SEALING USING TACK COAT



SPEED BUMP DETAIL

TYPICAL LIGHT POLE BASE

NOT TO SCALE
LIGHT POLES BY ELECTRIC CONTRACTOR



BOLLARD DETAIL

NOT TO SCALE

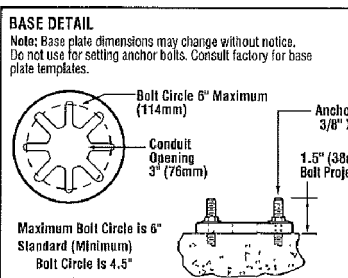
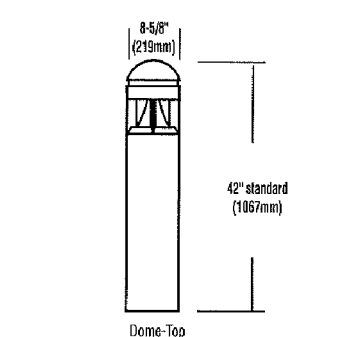
LED BOLLARD LIGHT (XBVRD)



DIAGNOSTIC FACTS

Department of Energy has verified representative product test data and results in accordance with the Lighting Facts Program. Visit www.lightingfacts.com for specific product ratings.

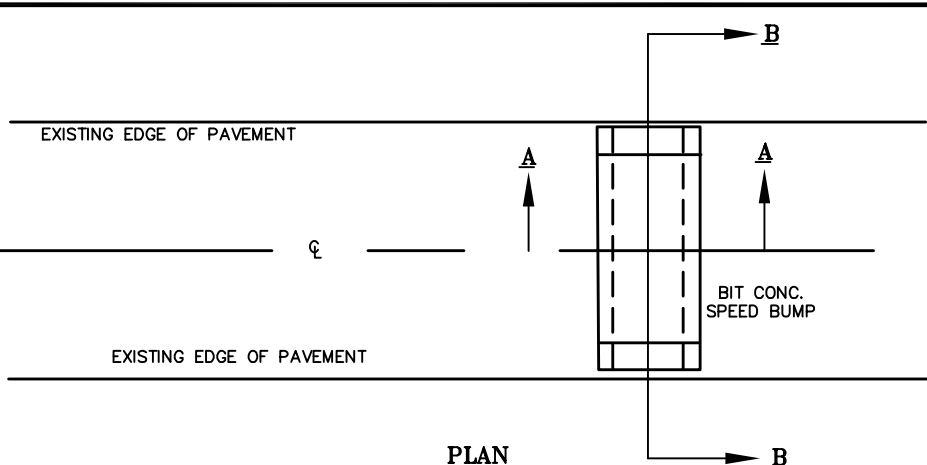
DIMENSIONS



Also available in traditional light sources

LSI LIGHTING

WALKWAY LIGHTING DETAIL AND SPECIFICATIONS



A. Names of Persons or Entities Responsible for Plan Compliance

John Greene
NRG Concepts, Inc.
165 Main Street
Suite 307
Medway, MA 02053
Tel: 508-367-8745

B. Construction Period Pollution Prevention Measures

- Inventory materials to be present on site during construction.
- Train employees and subcontractors in prevention and clean up procedures.
- All materials stored on site will be stored in their appropriate containers and if possible under a roof or covered.
- Follow manufacturer's recommendation for disposal of used containers.
- Store only enough products on site to do the job.
- On site equipment, fueling and maintenance measures:
 - Inspect on-site vehicles and equipment daily for leaks.
 - Conduct all vehicle and equipment maintenance and refueling in front of building, away from storm drains.
 - Perform major repairs and maintenance off site.
 - Use drip pans, drip cloths or absorbent pads when replacing spent fuels.
 - Collect spent fuels and remove from site, per Local and State regulations.
 - Maintain a clean construction entrance; install a crushed stone apron where truck traffic is frequent to reduce soil compaction constant sweeping is required and limit tracking of sediment into streets, sweeping street when silt is observed on street.

bags, gloves, goggles, sand, sawdust, plastic and metal trash containers.

- Clean up spills.
 - Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (sawdust, cat litter and/or rags and absorbent pads).
 - Sweep up dry materials immediately. Never wash them away or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil in a certified container and notify a certified hauler for removal.
 - Report significant spills to the Fire Department.

- It is the responsibility of the site superintendent or employees designated by the Applicant to inspect erosion control and repair as needed, also to inspect all on site vehicles for leaks and check all containers on site that may contain hazardous materials daily.

C. Site Development Plans

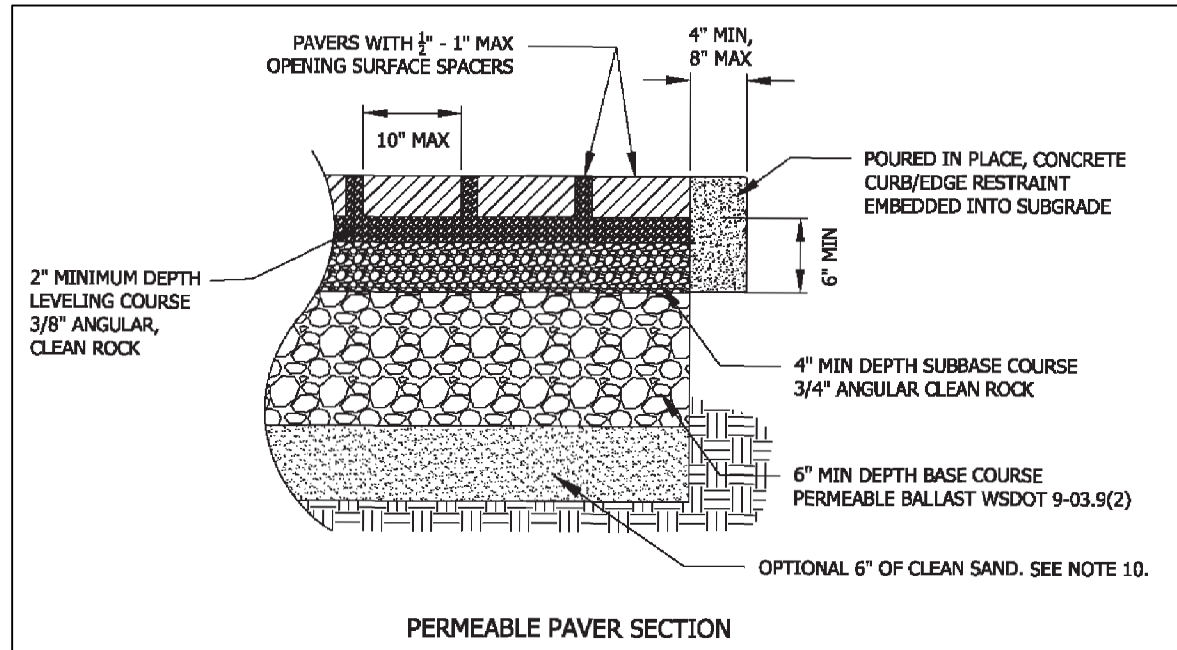
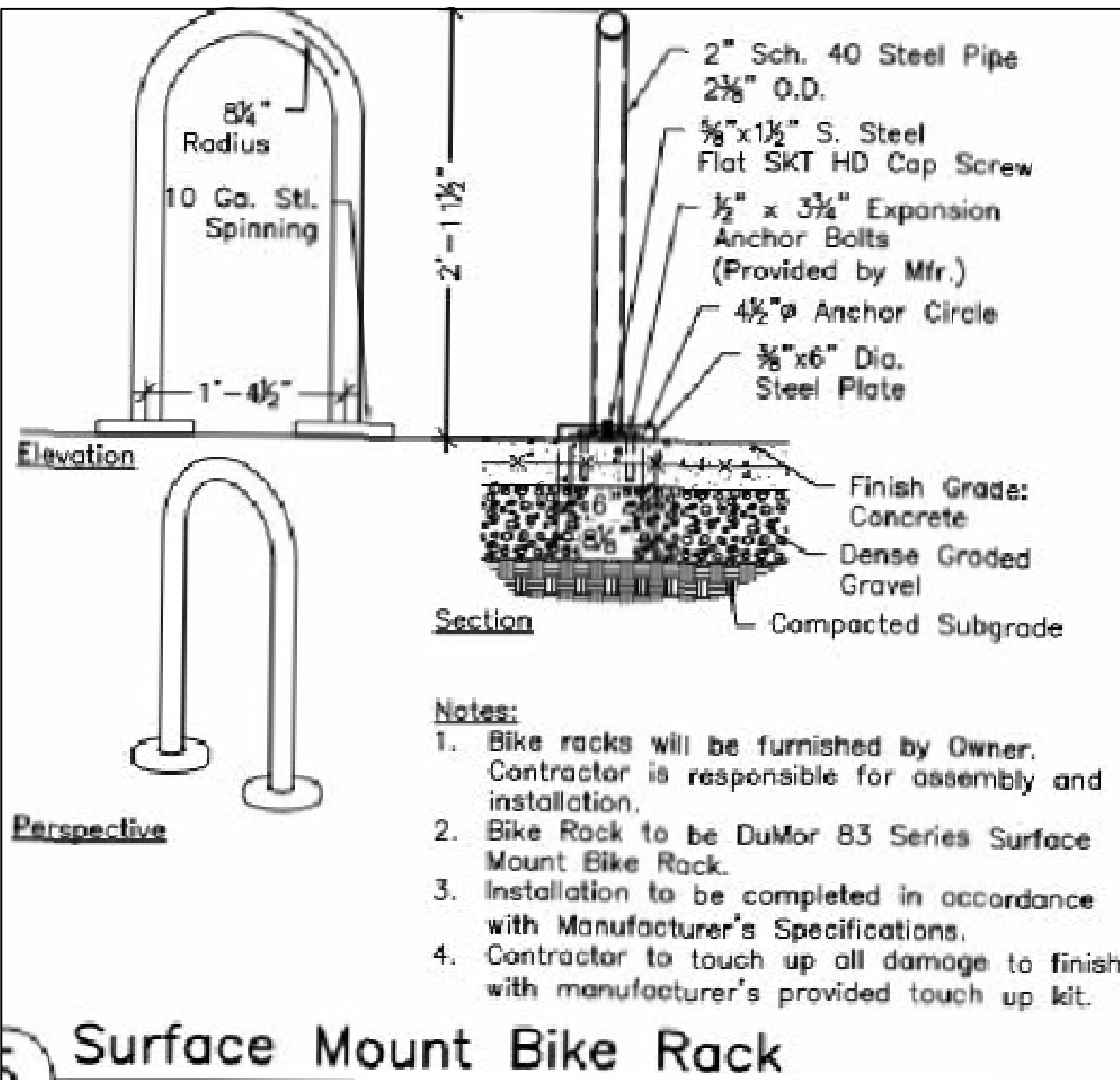
- See Site Plan set "Site Plan Medway Mill 163-165 Main Street Medway Massachusetts" dated February 14, 2020, prepared by Guerriere & Halnon, Inc.

D. Construction Erosion and Sedimentation Control Plan

- See Site Plan set "Site Plan Medway Mill 163-165 Main Street Medway Massachusetts" dated February 14, 2020, prepared by Guerriere & Halnon, Inc.

E. Plans

- Construction Sequencing Plan
 - A NPDES NOI shall be filed with the EPA.
 - Record Order of Conditions - The site superintendents shall be aware of all the conditions contained within the Order including inspection schedules.
 - Install DEP File # Sign.
 - Prior to any work on the site including tree/brush clearing, the approved limit of clearing as well as the location of the



NOTES:

- SEE DRIVEWAY STANDARD PLANS CK-R.21 FOR JOINTING AND LAYOUT.
- PERMEABLE PAVERS SHALL CONFORM TO ALL REQUIREMENTS BELOW:
 - 3-1/8" THICK PAVERS FOR VEHICULAR APPLICATIONS
 - 2-3/8" THICK PAVERS FOR PEDESTRIAN AREAS
 - SURFACE AREA AND ASPECT RATIO REQUIREMENTS OF ASTM C936
- AGGREGATE FOR BASE COURSE SHALL BE CLEAN, ANGULAR ROCK 1-1/4", CONFORMING TO PERMEABLE BALLAST WSDOT 9-03.9(2).
- PERMEABLE PAVERS TO BE INSTALLED AFTER CONSTRUCTION OF HOUSE. AFTER INSTALLATION, PROTECT PERMEABLE PAVEMENT FROM LANDSCAPE AND OTHER CONSTRUCTION ACTIVITIES.
- SUBGRADE IS TO BE COMPACTED TO THE MINIMUM NECESSARY FOR STRUCTURAL STABILITY, USING DUAL WHEEL SMALL MECHANICAL ROLLERS IN STATIC MODE. HEAVY EQUIPMENT OR TRUCK TRAFFIC IS NOT ALLOWED ON SUBGRADE.
- TO PREVENT COMPACTION, INSTALL THE AGGREGATE BASE IN THE FOLLOWING MANNER (BACK DUMPING):
-DUMP AGGREGATE BASE ONTO SUBGRADE FROM THE EDGE OF THE INSTALLATION, THEN PUSH IT OUT ONTO THE SUBGRADE.
-DUMP SUBSEQUENT LOADS FROM ON TOP OF THE AGGREGATE BASE AS THE INSTALLATION PROGRESSES.
- PREVIOUS CONCRETE SIDEWALK SHALL BE TESTED PRIOR TO ACCEPTANCE. ONE TEST PER 2500 SF AREA MINIMUM. TESTING SHALL MEET ASTM C1301 AND SHALL MEET A MINIMUM OF 100 IN/IN.
- IMPERVIOUS CHECK DAMS IN THE BASE COURSE ARE REQUIRED FOR SLOPES BETWEEN 5% AND 10%. SLOPE SHALL NOT EXCEED 10%.
- NO HORIZONTAL GEOTEXTILE FABRIC UNLESS RECOMMENDED BY GEOTECHNICAL PROFESSIONAL DUE TO POOR SOIL STRENGTH. VERTICAL SEPARATION WITH GEOTECHNICAL FABRIC MAY BE REQUIRED PER ENGINEER, DEPENDENT ON ADJACENT STRUCTURES.

proposed erosion control devices (such as silt fence/straw bales, etc.) must be staked on the ground under the direction of a Massachusetts registered Professional Land Surveyor.

- Install erosion control barrier at locations depicted on the plans.
- Erosion control to be inspected by either the design engineer (or agent) or an erosion control monitor appointed by the Town of Medway.

Extra erosion control devices shall be stored on the site to be used in case of an emergency (large storm).

- Perform tree/brush removal.
- Strip off top and subsoil. Stockpile material to be reused away from any drainage inlet or protected wetland areas, remove excess material from the site. Install and maintain erosion control barrier around stockpile.

Rough grade site, maintaining temporary low areas/sediment traps for sediment accumulation and away from the wetlands and prevent sedimentation from migrating from the site.

- Construct forebay/basin, and outlets/outfalls. Install pipes, manholes and catch basins. Stabilize side slopes with loam, seed and mulch.
- Install underground utilities, protect all open drainage structures with erosion/siltation control devices, and rope off any areas susceptible to heavy vehicle damage.

Prepare compacted pavement base. Loam and seed (mulch as required) disturbed areas of site other than immediately adjacent to work area.

- On all catchment structures and mitigation features becoming operational, install pavement up to binder finish grade. Straw bales backed by crushed stone to be provided on down gradient side of catch basins to direct water to temporary basin.

Install curbing and catch basin curb inlets.

- Install final pavement wearing course.
- Construct pervious sidewalk.

Finish grade - loam and seed (mulch as required) adjacent to parking lot.

- Maintain all erosion control devices until site is stabilized and final inspections are performed.

The Contractor shall be responsible to schedule any required inspections of his/her work.

- Construction Waste Management Plan
 - Dumpster for trash and bulk waste collection shall be provided separately for construction.
 - Recycle materials whenever possible (paper, plaster cardboard, metal cans). Separate containers for material are recommended.
 - Segregate and provide containers for disposal options for waste.
 - Do not bury waste and debris on site.
 - Certified haulers will be hired to remove the dumpster container waste as needed. Recycling products will also be removed off site weekly.
 - The sewer system is only for disposal of human waste, and substances permitted for disposal by the Charles River Pollution Control District (CRPCD).

Inspection Schedule:
Erosion Control Weekly
Catch Basins Weekly
Temporary Sedimentation Traps/Basins Weekly
Pavement Sweeping Weekly

Please Note: Special inspections shall also be made after a significant rainfall event.

Maintenance Schedule

Erosion Control Devices Failure
Temporary Sedimentation Traps/Basins As needed
Pavement Sweeping 14 days minimum and prior to any significant rain event.

Please Note: Special maintenance shall also be made after a significant rainfall event.

H. Inspection and Maintenance Log Form

- See Construction Phase Inspection and Maintenance Form attached

have erosion control in place. The contractor, based on future weather reports shall prepare and inspect all erosion control devices; cleaning, repairing and upgrading is a priority so that the devices perform as per design. Inspect the site during rain events. Don't stay away from the site. At a minimum, there should be inspection to assure the devices are not clogged or plugged, or that devices have not been destroyed or damaged during the rain event. After a storm event inspection is required to clean and repair any damage components. Immediate repair is required.

G. Inspection and Maintenance Schedules

- Inspection must be conducted at least once every 7 days and within 24 hours prior to and after the end of a storm event 0.5 inches or greater.

Inspection frequency can be reduced to once a month if:

- The site is temporarily stabilized.
- Runoff is unlikely due to winter conditions, when site is covered with snow or ice.

Inspections must be conducted by qualified personnel, "qualified personnel" means a person knowledgeable in the principles and practice of erosion and sediment controls and who possess the skills to assess the conditions and take measures to maintain and ensure proper operation, also to conclude if the erosion control methods selected are effective.

- For each inspection, the inspection report must include:
 - The inspection date.
 - Names, titles of personnel making the inspection.
 - Weather information for the period since the last inspection.
 - Weather information at the time of the inspection.
 - Locations of discharges of sediment from the site, if any.
 - Locations of BMP's that need to be maintained.
 - Locations where additional BMP's may be required.
 - Corrective action required or any changes to the SWPPP that may be necessary.

Qualified personnel shall inspect the following in-place work;

- Inspection Schedule:
Erosion Control Weekly
Catch Basins Weekly
Temporary Sedimentation Traps/Basins Weekly
Pavement Sweeping Weekly

Please Note: Special inspections shall also be made after a significant rainfall event.

Inspection Schedule:
Erosion Control Devices Failure
Temporary Sedimentation Traps/Basins As needed
Pavement Sweeping 14 days minimum and prior to any significant rain event.

Please Note: Special maintenance shall also be made after a significant rainfall event.

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

165 MAIN STREET REALTY TRUST
JOHN J. GREENE TRUSTEE
165 MAIN STREET
SUITE 307
MEDWAY, MA

DEED BOOK 24499 PAGE 10
A.M. 48 LOT 092

APPLICANT

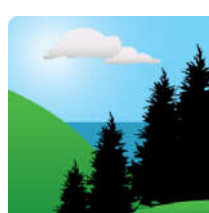
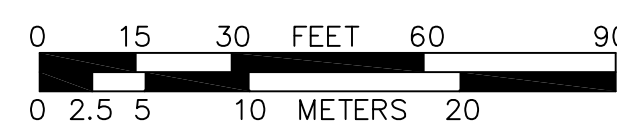
NRG CONCEPTS, INC.
165 MAIN STREET
SUITE 307
MEDWAY, MA 02053

SITE PLAN MEDWAY MILL 163-165 MAIN STREET MEDWAY MASSACHUSETTS

CONSTRUCTION DETAILS

FEBRUARY 14, 2020

DATE	REVISION DESCRIPTION
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SHEET
13 OF 13

JOB NO. F3519

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LONG TERM OPERATION AND MAINTENANCE PLAN

The following shall serve as the (O&M) Plan required by Standard 9, as well as the Long-Term Pollution Prevention Plan required by Standard 4.

A. Names of Persons or Entities Responsible for Plan Compliance:

John Greene
NRG Concepts, Inc.
165 Main Street
Suite 307
Medway, MA 02053
Tel: 508-367-8745

It is the intent of the Applicant to have the site completed and released by the various town Departments and Boards.

B. Good housekeeping practices:

- Maintain site, landscaping and vegetation.
- Sweep and pick up litter on pavements and grounds.
- Deliveries shall be monitored by owners or representative to ensure that if any spillage occurs, it shall be contained and cleaned up immediately.
- Maintain pavement and curbing in good repair.

C. Requirements for routine inspections and maintenance of stormwater BMPs:

- Plans: The storm water Operation and Maintenance Plan shall consist of all Plans, documents and all local state and federal approvals as required for the subject property.
- Record Keeping:
 - Maintain a log of all operation and maintenance activities for at least three years following construction, including inspections, repairs, replacement and disposal (for disposal, the log shall indicate the type of material and the disposal location).

- Descriptions and Designs: The Best Management Practices (BMP) incorporated into the design include the following:
 - Pavement Sweeping - Stipulated within the Construction Period Pollution Prevention Plan, the Long Term Pollution Prevention Plan, and the Operation and Maintenance Plan. As the amount of TSS removal is discretionary, no credit was taken within the calculations for this BMP.
 - Deep sump catch basins with hoods installed to promote TSS Removal of solids and control floatable pollutants. This BMP has a design rate of 25% TSS Removal.
 - Sediment Forebay - installed to promote TSS Removal of solids. This BMP has a design rate of 25% TSS Removal.
 - Infiltration Basin - infiltration BMP provides the required groundwater recharge and has a design rate of 80% TSS Removal. Refer to TSS Removal Worksheet included in the Attachments.
 - Spill Containment Kit to contain and clean-up spills that could occur on site.

- BMP Maintenance: After construction it is the responsibility of the owner to perform maintenance. The cleaning of the components of the stormwater management system shall generally be as follows:
 - Pavement: The owner shall keep the pavement swept with a mechanical sweeper or hand swept semi-annually at a minimum.
 - Catch Basins: Shall be cleaned by excavating, pumping or vacuuming. The sediment shall be disposed of off-site by the Owner. Inspect quarterly, remove silt when 1/2 full.
 - Sediment Forebay: Inspect monthly. Clean forebay 4 times per year.
 - Infiltration Basin: Inspect for proper function after every major storm event during the first 3 months of operation, inspect/remove debris twice per year afterward. Mow basin bottom, sideslopes, access path at least twice per year, remove clippings. No mowing of cross-country outlet drain line, hand remove woody vegetation as needed to prevent drainage to pipe.

- Access Provisions: All of the components of the storm water system will be accessible by the Owner

D. Spill prevention and response plans

- Train employees and subcontractors in prevention and clean up procedures.
- All materials stored on site will be stored in their appropriate containers under a roof or in the approved underground storage tanks.
- Follow manufacturer's recommendation for disposal of used containers.
- On site equipment, fueling and maintenance measures:
 - Inspect on-site vehicles and equipment daily for leaks.
 - Conduct all vehicle and equipment maintenance off site and refueling in one location, away from storm drains and wetlands.
- Clean up spills:
 - Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry clean-up methods (sawdust, cat litter and/or rags and absorbent pads).
 - Sweep up dry materials immediately. Never wash them away or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - Report significant spills to the Fire Department, Conservation Commission and Board of Health.

E. Provisions for maintenance of lawns, gardens, and other landscaped areas

F. Requirements for storage and use of herbicides and pesticides

- Dispose of clippings away from storm drains.
- The application of herbicides or pesticides will be done by professional certified contractor.
- Provisions for solid waste management:
 - Recycle materials whenever possible (paper, plaster cardboard, metal cans). Separate containers for material is recommended.
 - Do not bury waste and debris on site.
 - Certified haulers will be hired to remove the dumpster container waste as needed. Recycling products will also be removed off site weekly.

H. Snow disposal and plowing plans

Snow storage is adequate around the site for large storm events, see site plan

I. Winter Road Salt and/or Sand Use and Storage restrictions

No sand, salt, or chemicals for de-icing will be stored outside.

- Pavement sweeping schedules: Sweeping, the act of cleaning pavement can be done by mechanical sweepers, vacuum sweeper or hand sweeper. The quantity of sand is a direct correlation with the treatment of ice and snow and the types of chemicals and spreaders that are being used on site to manage snow. If a liquid de-icer such as calcium chloride is used as a pretreatment to new events the amount of sand is minimized. Sweeping for this site should be done semi-annually at a minimum. Collecting the particulate before it enters the catch basins is cheaper and more environmentally friendly than in a catch basin mixing with oils and greases in the surface water runoff in catch basins.

K. Provisions for prevention of illicit discharges to the stormwater management system

The discharge into the stormwater system is not being violated, see attachment for illicit discharges compliance.

L. Training the staff or personnel involved with implementing Long-Term Pollution Prevention Plan

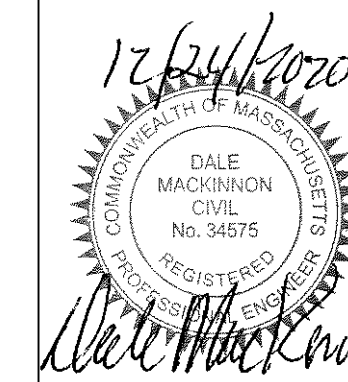
The owner shall develop policies and procedures for containing the illicit spillage of oils, soda, beer, paper and litter. These wastes provide a degrading of the water quality. The placement of signs and trash barrels with lids around the site would contribute to a clean water quality site conditions.

M. List of Emergency contacts for implementing Long-Term Pollution Prevention Plan:

John Greene
NRG Concepts, Inc.
165 Main Street
Suite 307
Medway, MA 02053
Tel: 508-367-8745

NOTES:

- SNOW STORAGE IS NOT PERMITTED WITHIN WETLAND RESOURCE AREAS OR WITHIN THE LIMITS OF THE INFILTRATION BASIN OR FOREBAY.
- THIS PLAN IS INTENDED TO ACCOMPANY THE STORMWATER REPORT / OPERATION & MAINTENANCE PLAN DATED FEBRUARY 14, 2020 AND REVISED THROUGH MAY 13, 2020



APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

ENDORSEMENT DATE

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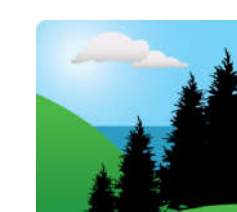
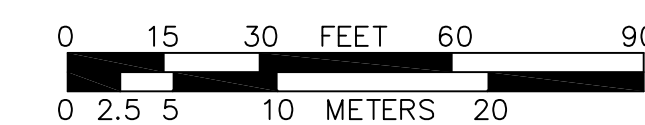
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**SITE PLAN
MEDWAY MILL
163-165 MAIN STREET
MEDWAY
MASSACHUSETTS**

**OPERATIONS &
MAINTENANCE PLAN**

FEBRUARY 14, 2020

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Halnon, Inc.**

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SHEET
1 OF 1

JOB NO. **F3519**

F3519