



**TOWN OF MEDWAY**  
**Department of Community and Economic Development**  
155 Village Street - Medway, Massachusetts 02053  
508-533-3291  
[planningboard@townofmedway.org](mailto:planningboard@townofmedway.org)

June 21, 2019

**ADMINISTRATIVE SITE PLAN DECISION**  
**44 Milford Street – Medway Fire Department**

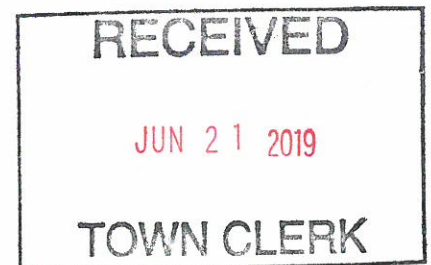
As owner of the subject property, the Town of Medway has requested Administrative Site Plan Approval under Section 3.5.3.A.3.j Administrative Site Plan Review of the Medway Zoning Bylaw.

- I. **PROJECT LOCATION** – 44 Milford Street (Medway map and parcel #46-014) in the Neighborhood Commercial zoning district. The property is 44,144 square feet in area.
- II. **DESCRIPTION of PROPOSED WORK** – The Medway Fire Department has been gifted a commercial metal storage container from Exelon that is 8' x 40'. The proposed location of the storage container will be the back corner behind the Fire Station.

Michael Fasolino, Deputy Fire Chief, represented the Fire Department at the Administrative Site Plan meeting. He stated that the Fire Station is out of storage space, resulting in equipment and materials being stored in work areas. The additional storage space is badly needed for storage of large items such as canoes, rescue equipment, and training props.

The container will be placed behind the Fire Station, five feet away from the building, near the location of the current storage shed. This area is not part of the parking area, but it is paved and can support the storage container. The placement behind the building will help shield it from being visible from the street. The container is currently a blue color that would contrast with the red brick building and therefore tend to stand out. Deputy Chief Fasolino stated that he wants to re-paint it in order to improve its appearance and help it blend in with the building.

- III. **PROCEDURAL HISTORY** - An application for administrative site plan review was filed with the Community and Economic Development Department and the Town Clerk on June 19, 2019. The Medway Administrative Site Plan Review Team (Building Commissioner Jack Mee, Planning and Economic Development Coordinator Susan Affleck-Childs, and Director of Community and Economic Development Barbara Saint Andre) met on June 21, 2019 to review the application.



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20 day Appeal  
JULY 11, 2019

June 21, 2019

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- IV. INDEX OF SITE PLAN DOCUMENTS** – The following materials were provided for review:
- A. Administrative Site Plan Review Application dated June 18, 2019
  - B. Aerial photo/sketch plan
  - C. Two photos
- V. FINDINGS** - Administrative site plan review is required for this project pursuant to the Medway Zoning Bylaw Section 3.5.3.A.3.j. This is considered an accessory structure under the definition in Section 2 of the Zoning Bylaw. There is a definite need for this storage to store equipment and other items necessary for the Fire Department's public safety function. The storage container will not be highly visible from the adjacent roads, and painting the container in order to blend it into the building will also help decrease any visual impact. No additional paving is required, and no parking spaces will be eliminated.
- VI. DECISION** – At its meeting on June 21, 2019, the Medway Administrative Site Plan Review Team voted 3-0 to grant the above described site improvements subject to the conditions specified below.
- VII. SPECIFIC CONDITIONS OF APPROVAL** – Administrative approval of this site plan application is subject to the following specific conditions as agreed to at the June 21, 2019 meeting:
- A. The container will be placed to the rear of the Fire Station building, with a separation of approximately five feet between the building and the container. Placement will be in the location as shown on the aerial photo/sketch plan submitted with the application.
  - B. The container will be re-painted in a color that will blend with the existing brick building within 90 days of its placement at the site.
- VIII. APPEAL** - Any person aggrieved by this Administrative Site Plan Review decision may appeal the decision to the Planning & Economic Development Board within twenty days after the decision is filed with the Town Clerk.

**Signed:**

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*Susan E. Affleck-Childs*  
*Planning and Economic Development Coordinator*

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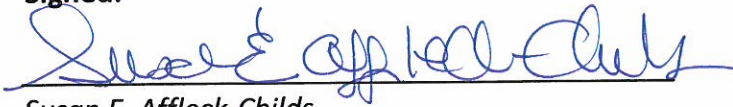
*Jack Mee*  
*Building Commissioner*

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*Barbara J. Saint Andre*  
*Director of Community and Economic Development*

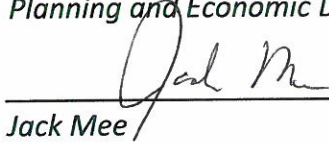
**COPIES TO:** Donna Greenwood, Principal Assessor  
Michael Boynton, Town Administrator  
Bridget Graziano, Conservation Agent  
Jack Mee, Building Commissioner  
Barbara J. Saint Andre, Director of Community and Economic Development  
John Foresto, Chairman, Board of Selectman  
Allison Potter, Assistant Town Administrator  
Jeff Lynch, Fire Chief  
Michael Fasolino, Deputy Fire Chief

**Signed:**



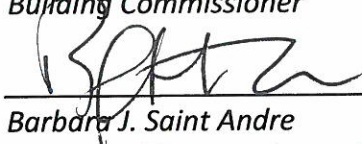
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