

Medway Oak Grove Zoning Task Force
Thursday December 6, 2018 at 7:00 pm
Medway Senior Center
76 Oakland Street
Medway, MA 02053

| | | | | | | | |
|-------------------|---------------------------|------------------------|--------------------|----------------------|---------------------|----------------------------|---------------------------|
| Members | Jessica Chabot | Andy Rodenhiser | Paul Yorkis | Matthew Hayes | Matt Buckley | Anthony Varrichione | Brian Cowan |
| Attendance | Absent with notice | X | X | X | X | X | Absent with Notice |

ALSO PRESENT:

Barbara J. Saint Andre, Director Community & Economic Development
 Susy Affleck Childs, Planning and Economic Development Coordinator
 Wendy Harrington, Recording Secretary
 Ted Brovitz, Project Leader from Brovitz Community Planning and Design

The meeting of the Medway Oak Grove Zoning Task Force was called to order at 7:03 pm. by Vice-chairman Matthew Hayes

Approval of Minutes:**November 7, 2018:**

On a motion made by Paul Yorkis and seconded to Andy Rodenhiser, the Oak Grove Task Force voted unanimously to approve the minutes from the November 7, 2018 Task Force meeting as distributed.

Review of Draft Zoning Bylaw Amendments for Oak Grove:

The members are in receipt of draft of the Form-Based Zoning Amendment Package dated November 2018.

Ted Brovitz gave the following background on the amendments to be discussed:

A proposed Section 9, Form Based Districts, of the Zoning Bylaw is a new section and provides the framework for Oak Grove Park zoning as well as for future projects in other parts of town where form-based zoning could apply. This creates a strong connection between long term planning and zoning regulations. Once this is in place, there may be developers who request to develop form-based zoning regulations in other parts of town.

Ted Brovitz explained the differences between a regular zoning map and the form based and then went on to review the document as presented. Susy Affleck Childs clarified that the official Zoning Map will be revised to include a new insert for the special Oak Grove Zoning.

9.1 Purpose

The purpose section includes non-specific verbiage. Flexibility is the key element and is a guiding statement that is broader than Oak Grove. Andy Rodenhiser believes this language should be ironed out now instead of arguing about the language in the future. He is afraid if we aren't careful there will be conflicts with what will be built.

It was decided to rename Section 9.1 from Purpose to Designated Districts with a list.

9.1 A Oak Grove Park (OGP)

Paul Yorkis suggested changing the last word in the paragraph from reinvestment to investment.

Susy Affleck Childs suggested to make note of the date of adoption in 9.1.A.1.a. where it says Master Plan and Urban Renewal Plan, and if there is another form-based district developed it would be inserted as subsection B.

Ted Brovitz explained 9.2. These are basic standards as well as a form-based plan. Pedestrian Frontage Zones were explained. Ground floor areas were explained as areas for retail, restaurants and not office spaces.

Barbara Saint Andre asked for an explanation of the Figure 9.1 graphic and suggested "Ground Floor Limitations" be changed to "publicly oriented", which Susy Affleck Childs noted is changing a negative statement to affirmative.

It was agreed at this point that numbering and labeling of Figures needs to be reworked and a definition section could be helpful. Ted Brovitz suggested members submit items, specific to form-based, that they may want to see included.

As section 9.3 was being reviewed it was suggested by Anthony Varrichioni it might be more helpful to not mention Oak Grove at the beginning and bring Oak Grove in later in the document. Ted Brovitz has seen issues with this idea and re-do's in other communities. He would prefer to define form-based code and then it can be used anywhere. It was decided to move Oak Grove to the end.

It was suggested by Barbara Saint Andre to change Figure 9.7 on page 9 to a Table and move that to the end. Another member suggested that Reserved for Future Use be inserted.

Ted Brovitz spoke to Façade Orientation (page 7). Building Height on page 8 was clarified. Ted explained that average height is ½ way up the roof line. Paul Yorkis believes there will be resident questions regarding Figure 9.6. Barbara Saint Andre explained the exact wording is from the bylaw and Andy Rodenhiser suggested Jack Mee, Building Commissioner be consulted on all things building and permitting, Barbara Saint Andre agreed.

Clarification on attics was explained.

Barbara Saint Andre suggested moving Building Height to another section of the Bylaw so it applies across town. Paul Yorkis would like to ensure small wind turbine language remain after a discussion on roof decks took place. Ted Brovitz will input single platform roof deck verbiage.

Page 9. Stepback and Setbacks were explained. Figure 9.7 was reviewed. Paul Yorkis believes a 50' set back is too far back in an area where there is minimal area to build on and would like to encourage dense commercial use with a building height of 60'.

Andy Rodenhiser noted that a goal is to maximize the taxable usage of the property.

Susy Affleck Childs thinks figure 9.7 should be moved to 9.10 as it's specific to Oak Grove. Use of this figure without numbers could be considered.

Paul Yorkis asked if it was possible to include the same figure (9.7) with all numbers for Business Park, Village Center and Neighborhood included. He believes this would calm the public. Barbara Saint Andre agreed but noted there are other graphics that could be removed.

Horizontal and vertical modulation was reviewed from page 9 and 10. This provides for a variation on surface and not just large flat faces on buildings.

Matt Buckley talked to subsection 2.b on page 10 and wonders if that much description is necessary.

Discussions on page 11 and figure 9.9 and 9.10 took place. Barbara Saint Andre believes Figure 9.9 is a nice illustration of architectural elements but doesn't believe it relates to the bylaw. Paul Yorkis would like to see it left in.

Matthew Hayes would like to have consistency of "shall" or "should" throughout the document.

Building transparency on page 11 was discussed. Barbara Saint Andre noted in section 4 to remove multi-family from the requirement of transparent ground level windows. It was agreed that this was a mistake, it should apply to commercial and mixed use only. Ted Brovitz will correct.

Anthony Varrichione referenced the tables beginning page 14 and suggested using the same type of table for all of the items previously mentioned. Take the same principle and input the information to organize the information differently. Ted agreed with Anthony that there needs to be more explanation.

Paul Yorkis talked about the cottages on page 14 and suggested the listing indicate a maximum of 3 bedrooms. This will help with starter homes, downsizing, and affordable housing families with children. Susy Affleck Childs agreed as long as the square footage of the cottages stays the same.

Matt Buckley spoke to 9.4, which prompted a discussion on designing all sides of a building unless the building backs up to wetlands or woods.

Matt Hayes talked to the next steps. The next meeting should be scheduled but Barbara Saint Andre suggested the task force meet among themselves to save time. Ted Brovitz explained he has two meetings left in his contract but can be flexible and do more meetings. He wants to make sure that the group is comfortable. It was agreed he would attend the next meeting.

Paul Yorkis relayed to the Task Force that he has spoken to Senator Karen Spilka and Representative Jeff Roy regarding a traffic signalization project at the intersection of Trotter Drive and Milford Street. The project is now on the State Senate President's list of projects.

Barbara Saint Andre mentioned land takings and suggested Paul get in touch with the Town Administrator and Board of Selectmen. Paul also mentioned he is waiting to speak to Sgt Watson regarding the turn-about at West Street and Milford Street.

The meeting concluded as the Task Force reviewed through Section 9.4 page 12. Susy would like to change Town House, add duplex. Barbara Saint Andrew thinks the defining pictures should be removed on the tables.

Future Meeting:

- Thursday, January 3, 2018. Location to be determined.

Paul Yorkis left the meeting at 9:10 pm

Adjourn:

On a motion made by Matt Buckley, and seconded by Andy Rodenhiser, the Oak Grove Zoning Task Force voted unanimously to adjourn the meeting.

The meeting was adjourned at 9:12 pm.

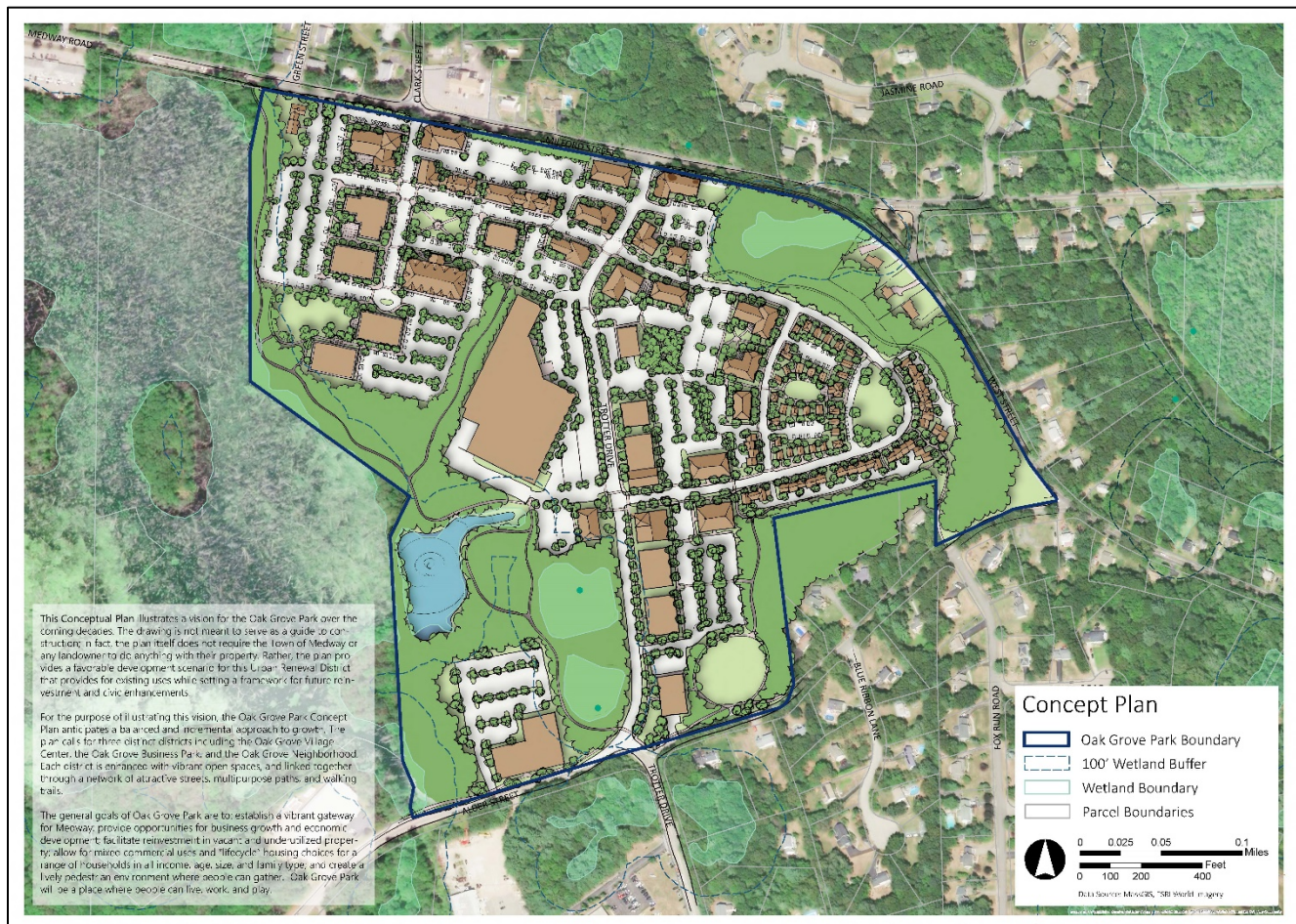
Respectfully Submitted,
Wendy Harrington
Recording Secretary

OAK GROVE PARK FORM-BASED ZONING AMENDMENTS PACKAGE

TOWN OF MEDWAY, MA

Version 2.0

November 2018



Brovitz Community Planning & Design
Dodson & Flinker Associates

SECTION 9. FORM-BASED DISTRICTS

9.1. PURPOSE

A. Oak Grove Park (OGP)

9.2. REGULATING PLAN

A. Pedestrian Frontage Zones.

B. Civic Zones.

C. Thoroughfares.

D. Transitional Buffer Zones.

9.3. GENERAL STANDARDS FOR ALL BUILDINGS AND LOTS

A. Building Placement and Orientation

1. Building Lots
2. Number of Buildings
3. Building Placement
4. Build-To-Zones (BTZ)
5. Build-To-Zone Occupancy (BTZO)
6. Facade Orientation

B. Building Height

1. Minimum and Maximum Height
2. Height Measurement and Roof Pitch
3. Half-Stories
4. Attics
5. Building Height Exceptions
6. Building Stepback and Street Enclosure

C. Building Proportions and Façade Composition

1. Vertical Modulation and Articulation
2. Horizontal Modulation and Articulation
3. Surface Relief with Architectural Features
4. Building Transparency

D. Roof Types and Design

1. Roof Shapes and Pitch
2. Parapet Wall

E. Exterior Treatments

9.4 BUILDING TYPES, USE AND DESIGN STANDARDS

A. Allowable Uses

B. Determination of Building Type

C. Allowed Building Types

9.5 DEVELOPMENT SITE STANDARDS

A. Development Site

1. Definition
2. Site Area
3. Permitted Development Types
4. Street Frontage

B. Development Site Types

1. General Commercial Development
2. General Residential Development
3. Pocket Neighborhood Development
4. General Industrial Development
5. Mixed Use Development

C. Development Block Standards

1. Size and Dimension
2. Access and Utilities

D. Pre-Existing Building and Lot Standards

1. Purpose
2. Non-Conforming Building Additions
3. New Buildings
4. Non-Conforming Building Retrofit
5. Outdoor Amenity Space
6. Waivers

E. Parking Requirements

1. Purpose
2. Applicability
3. Off-Street Parking Requirements
4. Parking Reduction Methods
5. Special Parking Types and Standards

6. Structured Parking
7. Parking Design Standards
8. Parking Lot Landscaping and Screening
9. Parking Special Permit

F. Site Landscaping

G. Utilities

1. Public Utilities
2. Trash and Service Areas

H. Sustainable Site Design Standards

1. Purpose
2. Stormwater Management
3. Sustainable Landscaping and Open Space
4. Local Food Production

I. Site Improvement Guidelines

9.6 OUTDOOR AMENITY SPACE

A. General Standards

B. Permitted Outdoor Amenity Spaces

C. Building Frontage Zones

9.7 SIGN AND BUILDING ENCROACHMENTS

A. Signs

B. Building Activation Encroachments

9.8 PUBLIC REALM STANDARDS

A. Purpose

B. Standards for All Traveled Ways

C. Public Realm Design Standards

1. Street Design
2. Vehicle Travel Lanes
3. On-Street Parking Lanes
4. Bike Lanes
5. Sidewalks.
6. Curb Extensions (Bulb-Outs)
7. Street Trees.
8. Driveway and Sidewalk Crossings.

9. Pedestrian Crosswalks.
10. Pedestrian Passages
11. Multipurpose Pathways and Walking Trails

9.9 DENSITY AND BULK STANDARDS

A. Base Residential Density

B. Density Bonus Requirements

1. General Requirement
2. Eligible Public Benefit Improvements
3. Approval of Density Bonus Improvements

9.10 FORM-BASED DISTRICTS

A. Oak Grove Village Center

B. Oak Grove Business Park

C. Oak Grove Neighborhood

MAPS, TABLES, AND FIGURES

FIGURE 9.1 – PEDESTRAIN FRONTAGE ZONE

FIGURE 9.2 – TRANSITIONAL BUFFER ZONE

FIGURE 9.3 - BUILDING PLACEMENT ON THE LOT

FIGURE 9.4 - PRIMARY AND SECONDARY BUILD-TO-ZONE (BTZ)

FIGURE 9.5 - FAÇADE ORIENTATION AND CORNER LOT SITE CLEARANCE

FIGURE 9.6 - BUILDING HEIGHT WITH A FLAT ROOF AND PITCHED ROOF

FIGURE 9.7 - BUILDING SETBACK, STEPBACK, AND STREET ENCLOSURE

FIGURE 9.8 - VERTICAL AND HORIZONTAL MODULATION

FIGURE 9.9 - FAÇADE COMPONENTS AND ARCHITECTURAL FEATURES

FIGURE 9.10 - GROUND AND UPPER FLOOR TRANSPARENCY

TABLE 9.1 - ROOF FORMS

TABLE 9.2 - PRINCIPAL BUILDING TYPES AND DESIGN STANDARDS

FIGURE 9.11 - DEVELOPMENT SITE ENVELOPE STANDARDS

TABLE 9.3 – DEVELOPMENT TYPES AND STANDARDS

FIGURE 9.12 - DEVELOPMENT BLOCK STANDARDS

FIGURE 9.13 - NON-CONFORMING BUILDING ADDITION STANDARDS

FIGURE 9.14 – NEW BUILDINGS ON EXISTING NON-CONFORMING SITES

FIGURE 9.15 - TANDEM AND STACKED PARKING

FIGURE 9.16 - STREET SIDE PARKING (ON FRONT PROPERTY LINE)

FIGURE 9.17 – TEASER PARKING (IN FRONT OF PRIMARY BUILDING)

TABLE 9.4 - OFF-STREET PARKING STANDARDS

TABLE 9.5 - OUTDOOR AMENITY SPACE

FIGURE 9.18 – BUILDING FRONTAGE ZONES

FIGURE 9.19 - BUILDING ACTIVATION ENCROACHMENTS

TABLE 9.6 – PUBLIC REALM DESIGN STANDARDS

FIGURE 9.20 – SIDEWALK COMPONENTS

FIGURE 9.21 – STREET ENHANCEMENT ZONES AND CURB EXTENSIONS

FIGURE 9.22 - DRIVEWAYS AND ALLEY CROSSINGS

FIGURE 9.23 - PEDESTRIAN CROSSWALK

FIGURE 9.24 - PEDESTRIAN PASSAGE

TABLE 9.7 - RESIDENTIAL DENSITY BY FORM-BASED ZONING DISTRICT

OAK GROVE PARK DISTRICT (OGP) FORM-BASED ZONING STANDARDS

SECTION 4. ESTABLISHMENT OF DISTRICTS

4.1. DISTRICTS

ADD:

D. Form-Based Districts

1. Oak Grove Park (OGP)

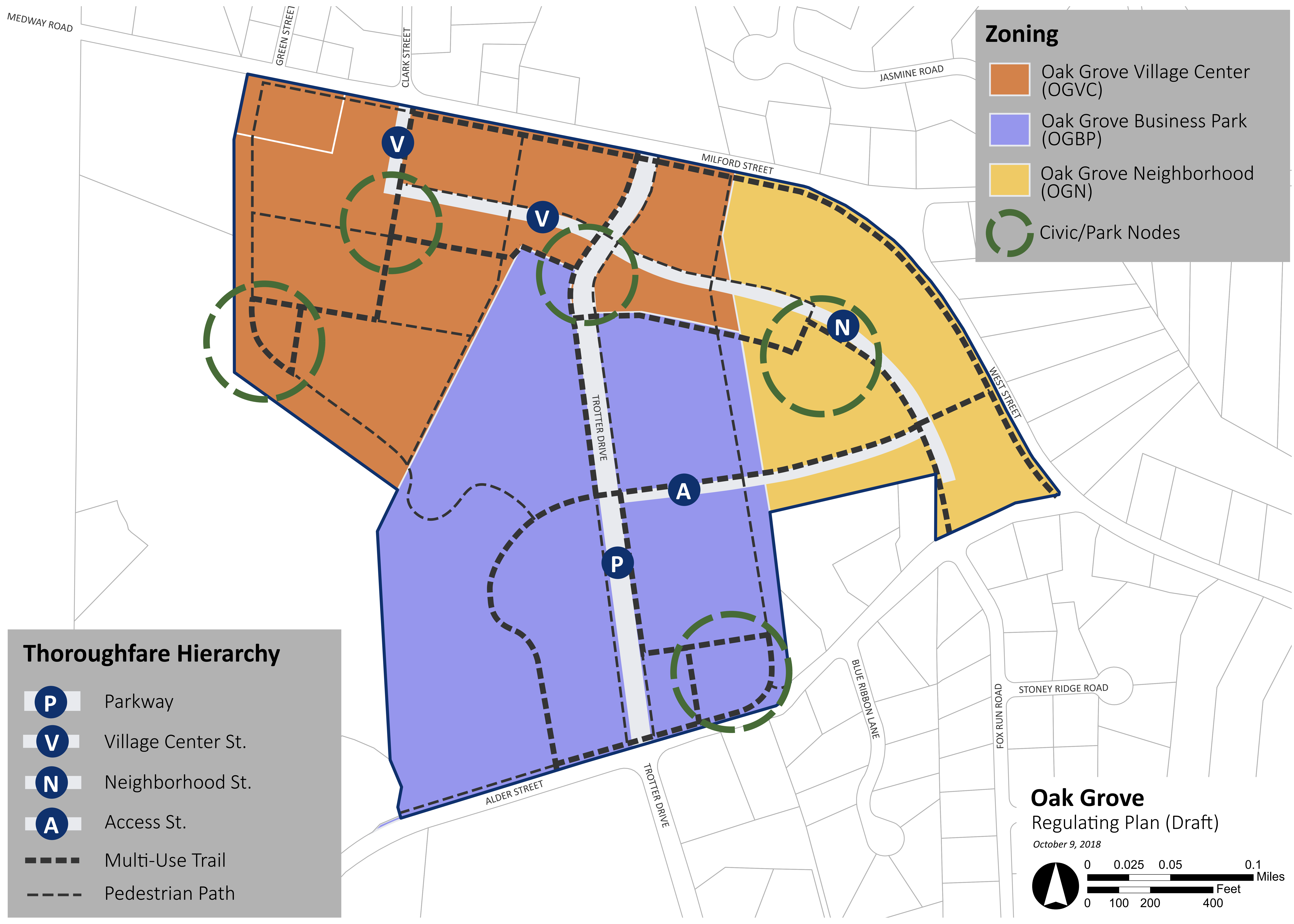
4.2. ZONING MAP

SEE OAK GROVE PARK REGULATING PLAN

SECTION 5. USE REGULATIONS

5.4. SCHEDULE OF USES





SEE AMENDED TABLE OF USES



Zoning

-  Oak Grove Village Center (OGVC)
-  Oak Grove Business Park (OGBP)
-  Oak Grove Neighborhood (OGN)
-  Civic/Park Nodes

Thoroughfare Hierarchy

-  Parkway
-  Village Center St.
-  Neighborhood St.
-  Access St.
-  Multi-Use Trail
-  Pedestrian Path

Oak Grove
Regulating Plan (Draft)

October 9, 2018

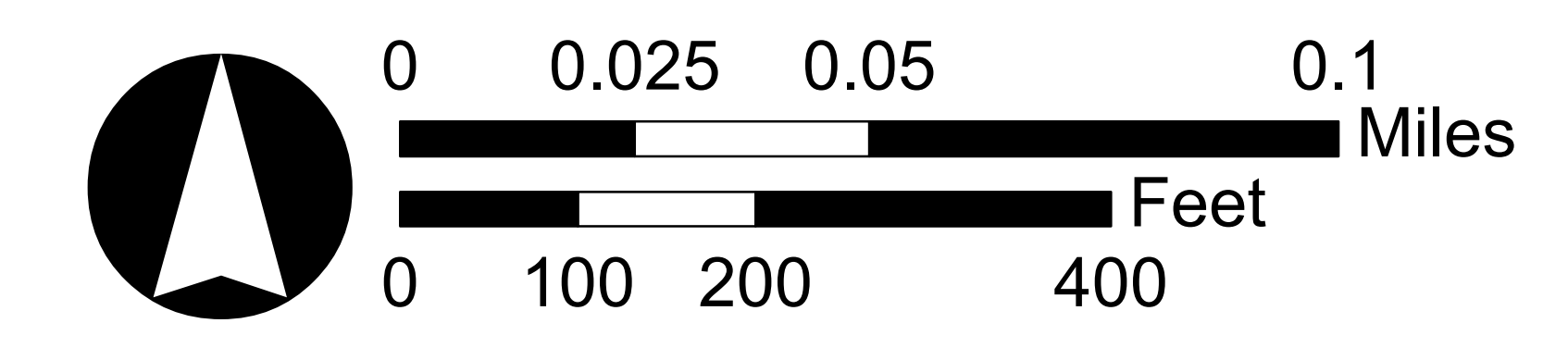


TABLE 1: SCHEDULE OF USES

| | AR-I | AR-II | VR | CB | VC | NC | BI | EI | ER | WI | FORM-BASED DISTRICTS | | |
|---|------|-------|----|----|----|----|----|----|----|----|----------------------|------|-----|
| | | | | | | | | | | | OGVC | OGBP | OGN |
| A. AGRICULTURE, CONSERVATION, RECREATION USES | | | | | | | | | | | | | |
| Agriculture, excluding piggeries and tur farms on less than 5 acres of land, and excluding livestock on less than 44,000 sq. ft. of land. | Y | Y | N | N | N | N | N | N | N | N | N | N | Y |
| Poultry on less than 1 acre. Minimum lot size for poultry is 5,000 sq. ft. subject to Board of Health regulations. | Y | Y | Y | N | N | N | N | N | N | N | N | N | Y |
| Commercial Greenhouse | SP | SP | N | N | N | Y | Y | N | N | N | N | Y | N |
| Nursery | SP | SP | N | N | N | Y | Y | N | N | N | N | N | PB |
| Recreational facility | SP | SP | N | N | N | N | Y | Y | N | N | Y | Y | PB |
| Ski Area | SP | SP | N | N | N | N | N | N | N | N | N | N | N |
| Golf course | SP | SP | N | N | N | N | N | N | N | N | N | N | N |
| Livery riding stable | Y | Y | N | N | N | N | N | N | N | N | N | PB | PB |
| | | | | | | | | | | | | | |
| B. PUBLIC SERVICE | | | | | | | | | | | | | |
| Municipal use | Y | Y | Y | Y | Y | Y | Y | Y | Y | Y | Y | Y | PB |
| Public utility | SP | SP | SP | SP | Y | Y | Y | Y | Y | Y | PB | PB | PB |
| | | | | | | | | | | | | | |
| C. RESIDENTIAL USES | | | | | | | | | | | | | |
| Detached single-family house (Amended 5-7-17) | Y | Y | Y | N | Y | N | N | N | N | N | N | N | N |
| Two-family house/duplex, provided that the exterior of the dwelling has the appearance of a single-family dwelling. (Amended 5-7-17) | N | SP | SP | N | N | N | N | N | N | N | N | N | N |
| Infill dwelling unit, subject to Section 8.1. | N | PB | PB | N | N | N | N | N | N | N | PB | N | PB |
| Open space residential development, subject to Section 5.6.2 E and Section 5.6.4 (Added 11/16/15) | PB | PB | N | N | N | N | N | N | N | N | N | N | N |
| Assisted living residence facility | PB | PB | N | N | N | N | N | N | N | N | PB | PB | PB |
| Adult retirement community planned unit development, subject to Section 8.5 | PB | PB | N | N | N | N | N | N | N | N | PB | PB | PB |
| Multifamily dwellings and multifamily developments subject to Section 5.6.2 E and Section 5.6.4 (Added 11/16/15) | PB | PB | PB | N | PB | N | N | N | N | N | P | N | P |
| Multifamily units in combination with a commercial use that is permitted or allowed by special permit, subject to Section 5.4.1. | N | N | N | PB | N | N | N | N | N | N | P | N | N |
| Long-term care facility | SP | SP | N | N | N | N | N | N | N | N | PB | PB | PB |
| | | | | | | | | | | | | | |
| Accessory Uses | | | | | | | | | | | | | |
| Accessory family dwelling unit, subject to Section 8.2 | SP | SP | SP | N | SP | N | N | N | N | N | N | N | N |
| Home-based business, subject to Section 8.3 | Y | Y | Y | N | Y | N | N | N | N | N | Y | N | Y |
| Boathouse | Y | Y | N | N | N | N | N | N | N | N | N | N | N |
| Greenhouse | Y | Y | Y | N | N | N | N | N | N | N | Y | N | Y |
| | | | | | | | | | | | | | |
| D. BUSINESS USES | | | | | | | | | | | | | |
| Retail Trade | | | | | | | | | | | | | |
| Retail bakery (Added 11/16/15) | N | N | N | Y | Y | Y | Y | N | N | N | Y | Y | N |
| Retail sales | N | N | N | Y | Y | Y | Y | N | N | N | Y | PB | N |
| Retail store larger than 20,000 sq. ft. | N | N | N | SP | N | N | SP | N | N | N | PB | PB | N |
| Shopping center/multi-tenant development | N | N | N | SP | N | SP | SP | N | N | N | PB | PB | N |
| Auto parts | N | N | N | N | N | N | Y | N | N | N | PB | PB | N |

TABLE 1: SCHEDULE OF USES

| | AR-I | AR-II | VR | CB | VC | NC | BI | EI | ER | WI | FORM-BASED DISTRICTS | | |
|--|------|-------|----|----|----|----|----|----|----|----|----------------------|------|-----|
| | | | | | | | | | | | OGVC | OGBP | OGN |
| Florist | N | N | N | Y | Y | Y | Y | N | N | N | Y | PB | N |
| Indoor sales of motor vehicles, trailers, boats, farm equipment, with accessory repair services and storage, but excluding auto body, welding, or soldering shop | N | N | N | Y | N | N | N | N | N | N | N | N | N |
| Retail sales, outdoors | N | N | N | N | N | N | Y | N | N | N | PB | PB | N |
| Hospitality and Food Services | | | | | | | | | | | | | |
| Restaurant providing food within a building, which may include outdoor seating on an adjoining patio | N | N | N | Y | Y | Y | Y | N | N | N | Y | Y | N |
| Restaurant providing live entertainment within a building, subject to license from the Board of Selectmen | N | N | N | Y | SP | SP | N | N | N | N | Y | Y | N |
| Brew pub | N | N | N | Y | Y | Y | Y | N | N | N | Y | Y | N |
| Motel or hotel | N | N | N | SP | N | N | N | N | N | Y | Y | PB | N |
| Bed and breakfast | SP | SP | SP | N | SP | N | N | N | N | N | Y | N | N |
| Inn | SP | SP | SP | SP | SP | N | N | N | N | N | Y | N | N |
| Cultural and Entertainment Uses | | | | | | | | | | | | | |
| Studio | N | N | SP | Y | Y | Y | N | N | N | N | Y | Y | N |
| Museum | N | N | N | Y | SP | SP | N | N | N | N | Y | PB | N |
| Movie theatre/cinema | N | N | N | SP | N | N | N | N | N | N | Y | PB | N |
| Theatre | N | N | N | Y | SP | SP | N | N | N | N | Y | PB | N |
| Gallery | N | N | N | Y | Y | Y | N | N | N | N | Y | PB | N |
| Commercial indoor amusement | N | N | N | SP | N | N | Y | Y | Y | Y | Y | PB | N |
| Professional Uses and Financial Services | | | | | | | | | | | | | |
| Financial institution | N | N | N | Y | Y | Y | Y | N | N | N | Y | Y | N |
| Professional or business office | N | N | N | Y | Y | Y | Y | Y | Y | Y | Y | Y | N |
| Services | | | | | | | | | | | | | |
| Personal care service establishments | N | N | N | Y | Y | Y | Y | N | N | N | Y | Y | N |
| Service establishment (amended 11-13-17) | N | N | N | Y | Y | Y | Y | N | N | N | Y | Y | N |
| Doggie Day Care | N | N | N | N | N | N | SP | N | N | N | Y | Y | N |
| Repair shop | N | N | N | N | Y | Y | Y | SP | N | N | Y | Y | N |
| Furniture Repair | N | N | N | N | Y | Y | Y | SP | N | N | Y | Y | N |
| Educational/instructional facility, commercial | N | N | N | Y | Y | Y | Y | Y | N | N | Y | PB | N |
| Funeral home | SP | SP | N | SP | Y | Y | Y | N | N | N | N | PB | N |
| Veterinary hospital | SP | SP | N | N | N | Y | Y | N | N | N | N | PB | N |
| Kennel | SP | SP | SP | N | SP | N | SP | SP | N | N | N | PB | N |
| Medical office or clinic | N | N | N | Y | Y | Y | Y | N | N | N | Y | Y | N |
| Adult day care facility, subject to Section 8.5 | PB | PB | N | N | N | N | N | N | N | N | Y | Y | PB |
| Automotive Uses | | | | | | | | | | | | | |
| Vehicle fuel station with repair services | N | N | N | N | N | N | PB | N | N | N | N | N | N |
| Vehicle fuel station with car wash | N | N | N | N | N | N | PB | N | N | N | N | N | N |
| Car wash | N | N | N | N | N | N | PB | N | N | N | N | SP | N |
| Vehicle fuel station with convenience store | N | N | N | N | N | N | PB | N | N | N | SP | N | N |
| Vehicle repair | N | N | N | N | PB | N | PB | Y | N | N | N | Y | N |

| | AR-I | AR-II | VR | CB | VC | NC | BI | EI | ER | WI | FORM-BASED DISTRICTS | | |
|--|------|-------|----|----|----|----|----|----|----|----|----------------------|------|-----|
| | | | | | | | | | | | OGVC | OGBP | OGN |
| Auto body shop | N | N | N | N | N | N | PB | Y | N | N | N | Y | N |
| Other Business Uses: Unclassified | | | | | | | | | | | | | |
| Adult uses | N | N | N | N | N | N | N | Y | N | N | N | N | N |
| Accessory Uses | | | | | | | | | | | | | |
| Drive-through facility | N | N | N | N | N | PB | PB | N | N | N | SP | SP | N |
| Outdoor display | N | N | N | SP | SP | SP | SP | N | N | N | SP | SP | N |
| Outdoor storage of materials and parking of vehicles and equipment associated with a business operated in a building on the premises | N | N | N | N | N | N | Y | Y | N | N | N | Y | N |
| E. INDUSTRIAL AND RELATED USES | | | | | | | | | | | | | |
| Warehouse/distribution facility | N | N | N | N | N | Y | N | Y | Y | Y | N | Y | N |
| Wholesale bakery (Added 11/16/15) | N | N | N | N | N | N | N | Y | Y | Y | N | Y | N |
| Wholesale showroom or office, including warehouse | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Manufacturing (Amended 5/8/17) | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Light Manufacturing (Added 5-8-17) | N | N | N | N | N | Y | Y | Y | Y | Y | N | Y | N |
| Contractor's yard | N | N | N | N | N | N | Y | Y | N | N | N | Y | N |
| Research and development | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Brewery | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Research and development and/or manufacturing of renewable or alternative energy products | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Electric power generation including but not limited to renewable or alternative energy generating facilities such as the construction and operation of large-scale ground-mounted solar photovoltaic installations with a rated name plate capacity of 250 kW (DC) or more | N | N | N | N | N | N | N | N | Y | N | N | Y | N |
| Gravel/loam/sand or stone removal, commercial | N | N | N | N | N | N | N | N | N | N | N | N | N |
| Accessory Uses | | | | | | | | | | | | | |
| Outdoor storage of materials and parking of vehicles and equipment associated with a business operated in a building on the premises | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| F. INSTITUTIONAL USES | | | | | | | | | | | | | |
| Community center | SP | SP | SP | SP | SP | SP | SP | N | N | N | Y | PB | PB |
| Lodge or club | SP | SP | SP | N | N | N | N | N | N | N | Y | Y | N |

| | AR-I | AR-II | VR | CB | VC | NC | BI | EI | ER | WI | FORM-BASED DISTRICTS | | |
|--|------|-------|----|----|----|----|----|----|----|----|----------------------|------|-----|
| | | | | | | | | | | | OGVC | OGBP | OGN |
| Auto body shop | N | N | N | N | N | N | PB | Y | N | N | N | Y | N |
| Other Business Uses: Unclassified | | | | | | | | | | | | | |
| Adult uses | N | N | N | N | N | N | N | Y | N | N | N | N | N |
| Accessory Uses | | | | | | | | | | | | | |
| Drive-through facility | N | N | N | N | N | PB | PB | N | N | N | SP | SP | N |
| Outdoor display | N | N | N | SP | SP | SP | SP | N | N | N | SP | SP | N |
| Outdoor storage of materials and parking of vehicles and equipment associated with a business operated in a building on the premises | N | N | N | N | N | N | Y | Y | N | N | N | Y | N |
| E. INDUSTRIAL AND RELATED USES | | | | | | | | | | | | | |
| Warehouse/distribution facility | N | N | N | N | N | Y | N | Y | Y | Y | N | Y | N |
| Wholesale bakery (Added 11/16/15) | N | N | N | N | N | N | N | Y | Y | Y | N | Y | N |
| Wholesale showroom or office, including warehouse | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Manufacturing (Amended 5/8/17) | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Light Manufacturing (Added 5-8-17) | N | N | N | N | N | Y | Y | Y | Y | Y | N | Y | N |
| Contractor's yard | N | N | N | N | N | N | Y | Y | N | N | N | Y | N |
| Research and development | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Brewery | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Research and development and/or manufacturing of renewable or alternative energy products | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| Electric power generation including but not limited to renewable or alternative energy generating facilities such as the construction and operation of large-scale ground-mounted solar photovoltaic installations with a rated name plate capacity of 250 kW (DC) or more | N | N | N | N | N | N | N | N | Y | N | N | Y | N |
| Gravel/loam/sand or stone removal, commercial | N | N | N | N | N | N | N | N | N | N | N | N | N |
| Accessory Uses | | | | | | | | | | | | | |
| Outdoor storage of materials and parking of vehicles and equipment associated with a business operated in a building on the premises | N | N | N | N | N | N | Y | Y | Y | Y | N | Y | N |
| F. INSTITUTIONAL USES | | | | | | | | | | | | | |
| Community center | SP | SP | SP | SP | SP | SP | SP | N | N | N | Y | PB | PB |
| Lodge or club | SP | SP | SP | N | N | N | N | N | N | N | Y | Y | N |

SECTION 9. FORM-BASED DISTRICTS

9.1. PURPOSE

The purpose of Form-Based Districts is to facilitate building renovation and new development that is compatible with the historic character and settlement patterns of Medway and fulfills the opportunities for residential, commercial, light industrial, civic, and mixed uses in specific areas targeted for revitalization and reinvestment.

A. Oak Grove Park (OGP)

Oak Grove Park (OGP) incorporates the Oak Grove Urban Renewal District and is a major gateway into Medway with access to State Route 109 and Interstate 495. OGP is identified in the Medway Master Plan and the Oak Grove Urban Renewal Plan as an area targeted for development and reinvestment.

1. Intent: The standards set forth herein are intended to:
 - a. Promote development that is consistent with the Oak Grove Urban Renewal Plan to facilitate reinvestment and create vibrant, authentic, diverse, connected and resilient district.
 - b. Guide the physical character of development by providing context-based building and site development standards that reflect scale, design characteristics, and development patterns existing or envisioned for the district.
 - c. Create a public realm with high quality streetscape, enhanced outdoor recreation areas, and active public and publicly-oriented gathering spaces that enhance development and reinforce pedestrian orientation and multi-modal transportation in the district.
 - d. Encourage high quality housing production for a variety of age groups, household types, and income ranges.
 - e. Encourage a range of business development opportunities using the advantages of access to Route 109 and Interstate 495.
2. Subdistricts: Oak Grove Park (OGP) contains three subdistricts identified on the OGP Zoning District Map and included as an insert on the Town of Medway Zoning Map. The OGP Subdistricts include the following:
 - 1) Oak Grove Business Park (OGBP): The purpose of this district is to create an attractive gateway along State Route 109 by encouraging a broad range of

commercial uses and a limited amount of residential and institutional uses at moderate densities supported by attractive streetscape treatments and multi-modal transportation facilities including bus transit, sidewalks, and multipurpose trails along the corridor and connecting to other subdistricts in Oak Grove Park.

- 2) Oak Grove Village Center (OGVC): The purpose of this district is to facilitate the redevelopment of underutilized parcels by promoting opportunities for small to large-scale businesses including a broad range of commercial office, service, light industrial, and institutional uses that benefit from proximity to the Route 109 and Interstate 495, surrounding natural amenities, and neighborhoods. The district is envisioned to service a wide range of economic development from an incubator for business start-ups and entrepreneurial activities to large corporations.
- 3) Oak Grove Neighborhood (OGN): The purpose of this district is to facilitate the redevelopment of a limited number of underutilized parcels by promoting opportunities for alternative residential housing forms and patterns that take advantage of the natural attributes, proximity to primary travel corridors, and nearby village centers. This district is intended to include residential development that produces affordable housing units to a broad range of age, income, and household types.

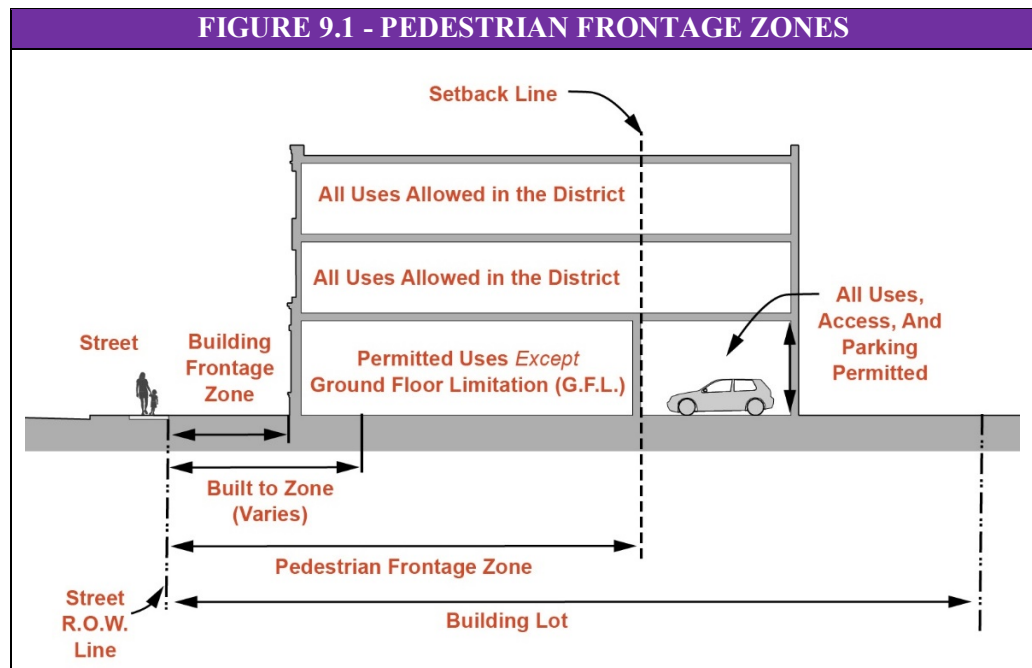
9.2. REGULATING PLAN

The Form-Based Districts (FBD) are located and bounded as shown on a map entitled “Town of Medway Zoning Map,” copies of which are on file in the offices of the Town Clerk and Planning Department. Each FBD includes a Regulating Plan which is an enhanced zoning map that illustrates additional development and design standards specific to each district. The Regulating Plan may include the following standards:

A. Pedestrian Frontage Zones.

1. Purpose: The Pedestrian Frontage Zones identify properties along certain public streets in the FBD as places prioritized for pedestrian-oriented and active ground floor uses. Pedestrian Frontage Zones are identified on the FBD Zoning Insert Map as a submap of the Town of Medway Zoning Map.
2. Requirements: Buildings fronting on the designated street segments shall be subject to the following ground floor limitations:
 - a. Ground floor areas shall be reserved for retail, restaurant, and publicly-oriented personal service, office, repair, and municipal uses.

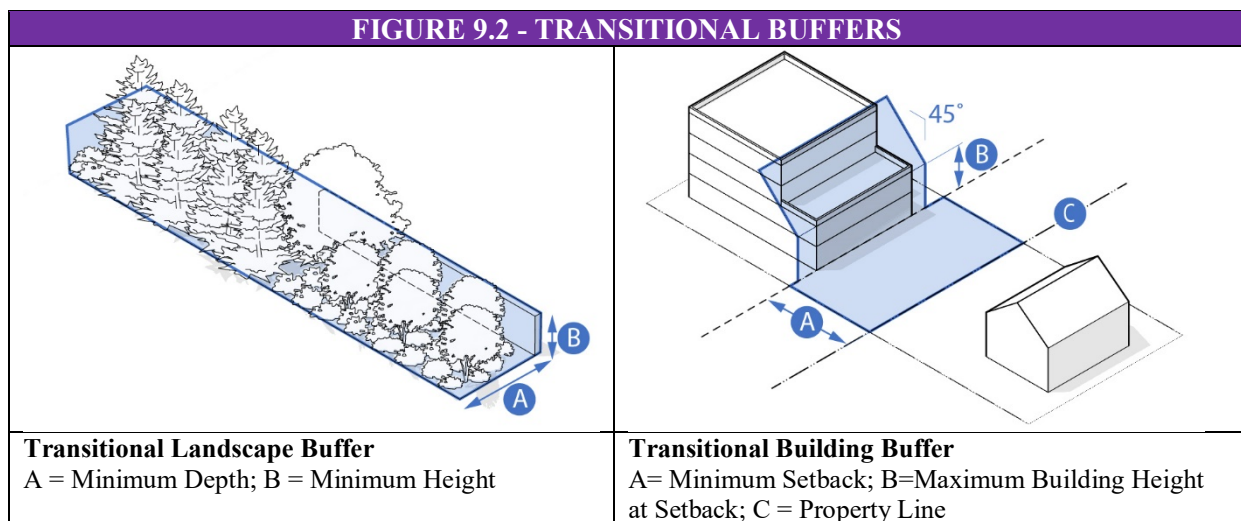
- b. Residential and other non-residential uses not oriented to public access shall be allowed to have access at the street line by an entrance that leads to the upper floors of the building or the rear of the building.
- c. Residential and other non-residential uses not oriented to public access shall be allowed on ground floors where:
 - 1) The use is within a building with frontage on the street and the use is set back a minimum of 60 feet from the street line; or
 - 2) The PEDB may waive this requirement if it determines that street-front residential and other non-publicly oriented uses will not have an adverse impact on the continuity and vitality of the pedestrian-oriented street-front uses.



- B. Civic Zones.** The Oak Grove Park District Regulating Plan identifies Civic Zones which are areas within the district that are intended to be used as a Public Outdoor Amenity Space under Section 9.6.
- C. Thoroughfares.** The Oak Grove Park District Regulating Plan identifies a hierarchy of thoroughfares including publicly-accessible streets, walking trails, and multi-purpose pathways that connect the three subdistricts and are subject to design standards under Section 9.8 - Public Realm Standards.

D. Transitional Buffer Zones.

1. **Purpose:** The Transitional Buffer Zones identifies certain subdistrict boundaries where buildings and uses must be buffered to create a compatible transition with the surrounding neighborhoods and other land uses. Transitional Buffer Zones are identified on the OGP District Zoning Map which is integrated into the Town of Medway Zoning Map.
2. **Buffer Requirements:** Where required, buffers may include a combination of natural or landscaped screening and fencing that provides an opaque visual barrier to a minimum height of eight feet above the ground. Buildings and associated accessory uses shall be setback a minimum of 75 feet from the property on which the Transitional Buffer Zone is located. The PEDB may waive the buffering requirements in part or in whole if they determine that such application is not necessary to create a compatible transition with the surrounding neighborhood.

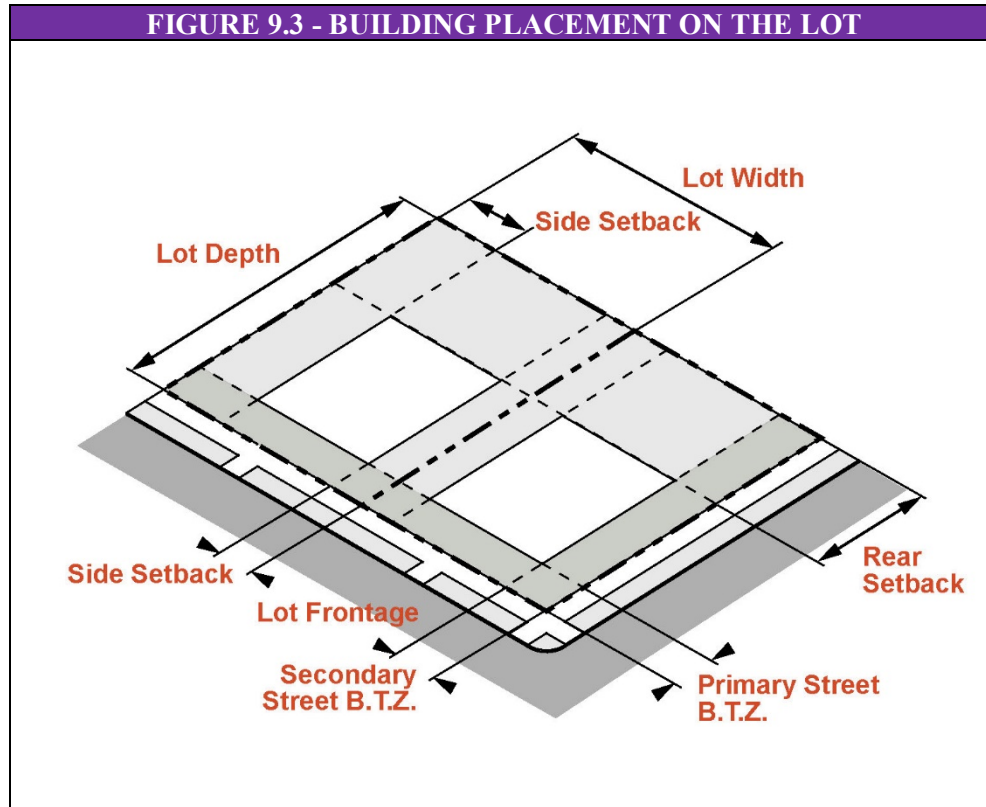


9.3. GENERAL STANDARDS FOR ALL BUILDINGS AND LOTS

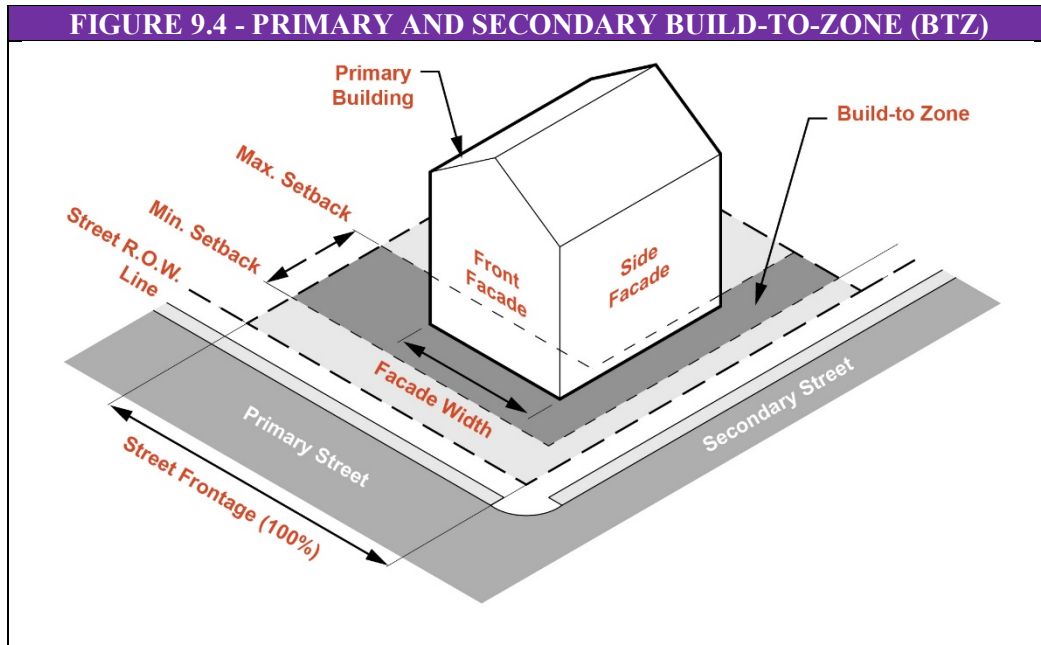
A. Building Placement and Orientation.

1. **Building Lots:** Building lot requirements designate the minimum area that a given building or development site can be built on in a specific District. Minimum lot sizes are defined in Section 9.4 for each of the Building Types.
2. **Number of Buildings:** No more than one principal building is allowed on a building lot except where otherwise specified in this section.

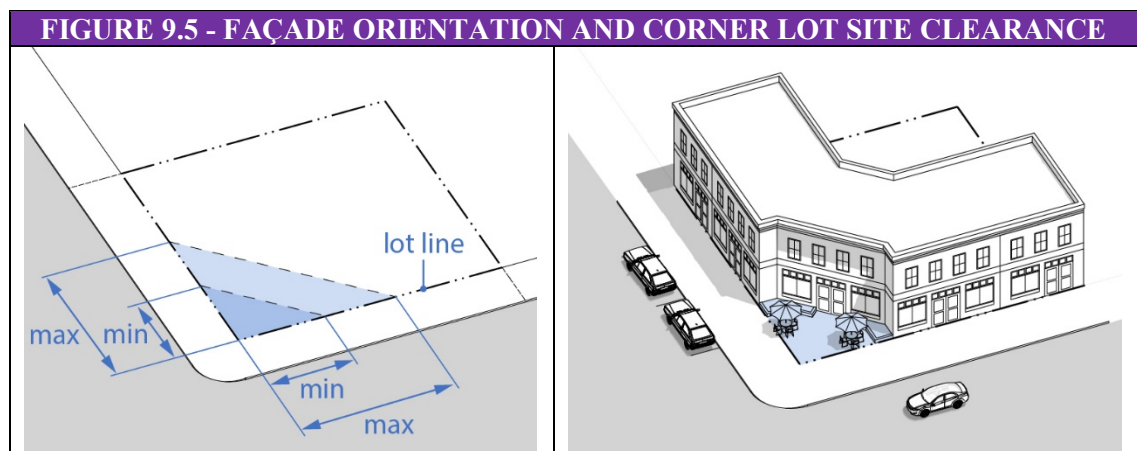
3. **Building Placement:** All principal buildings and accessory structures must be located outside of any required front, side, or rear setbacks except as otherwise permitted in this section. Building placement standards are required in each Building Type in Section 9.4.



4. **Build-To-Zones (BTZ):** The area between the minimum front setback and maximum front setback is the **Primary Street Built-To-Zone (BTZ)** in which the front façade of the primary building facing the primary street shall be placed. If the lot is on a street corner, the side façade facing the secondary street shall also be placed in the required **Secondary Street Built-To-Zone**. The BTZ is defined for each Building Type in Section 9.4.

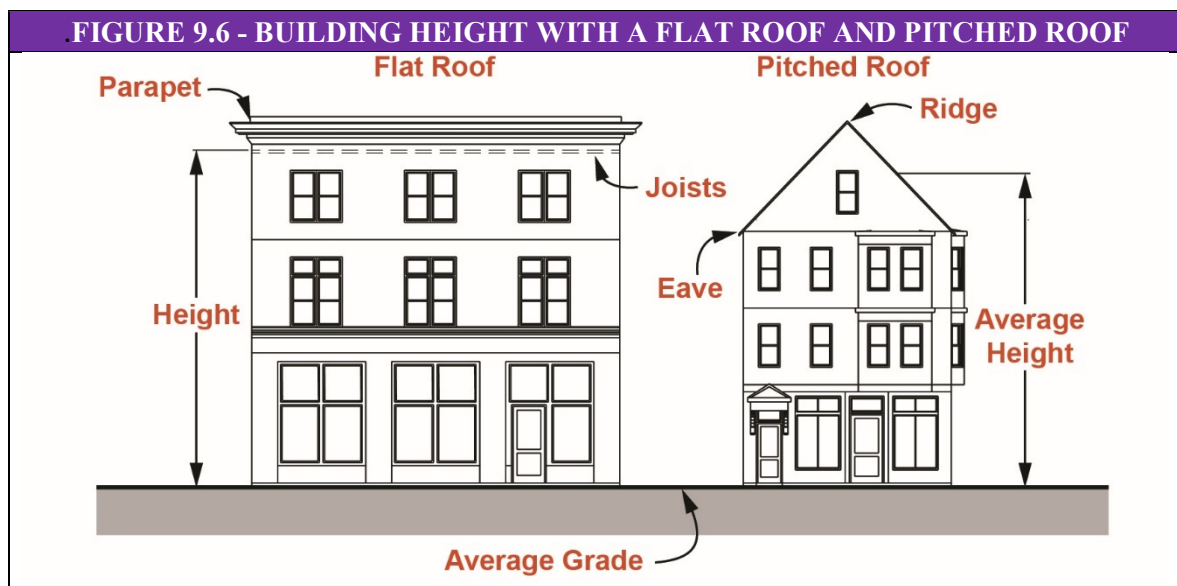


5. **Build-To-Zone Occupancy (BTZO):** The width of the primary building façade facing the Primary Street measured as a percentage of the street frontage shall determine the percentage occupancy of the Build-To-Zone. Primary BTZ Occupancy shall be equal to at least 50% of the frontage width at the street line unless otherwise specified in the Building Type standards in Section 9.4.
6. **Facade Orientation:** The front facade and entrance of a principal building must be built parallel to a **Street ROW Line** or to the tangent of a curved Street ROW Line. On a **corner lot**, the building façade may be retracted up to 30 feet at a 45-degree angle between the curb radius to allow for Outdoor Amenity Space and for clear site distance at the corner.



B. Building Height.

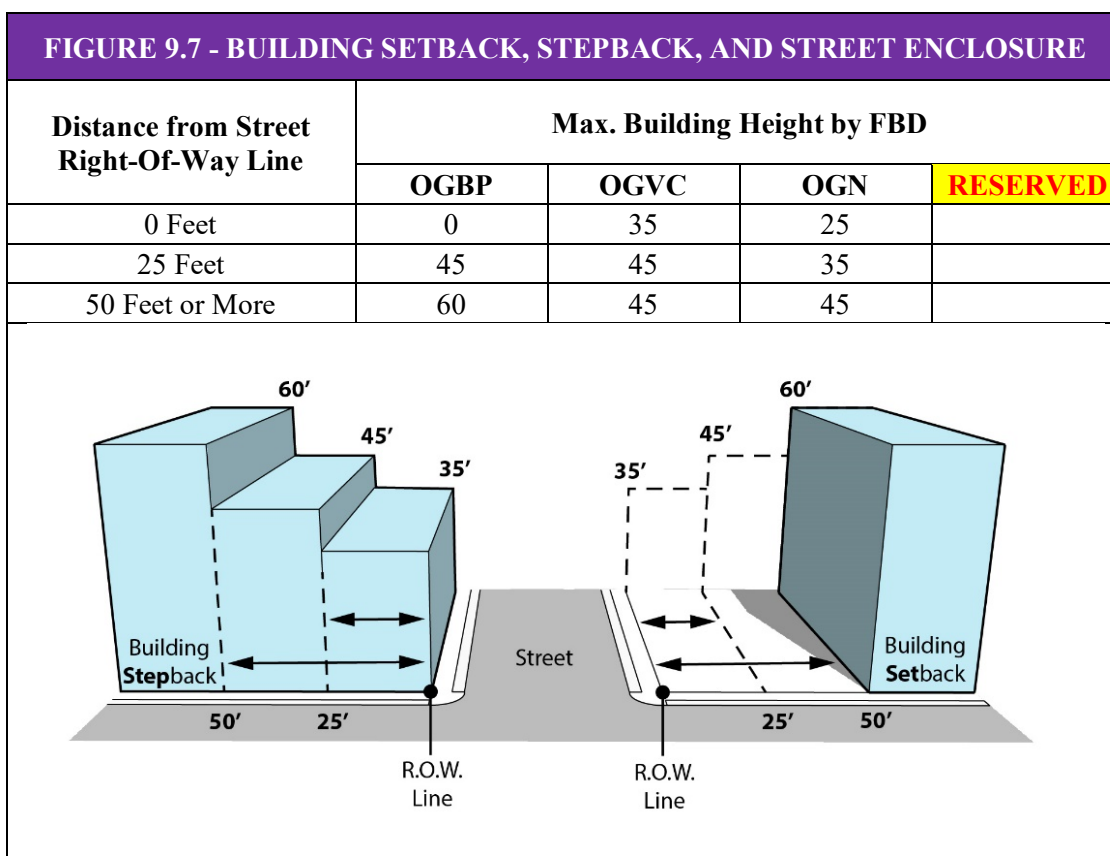
1. Minimum and Maximum Height: The minimum and maximum height and number of stories is defined by Building Type in Section 9.4. A factor in determining the minimum and maximum building height is the typical height of traditional building types, the existing height of adjacent buildings in historic areas, and the pedestrian-orientation and level of walkability desired for the District.
2. Height Measurement and Roof Pitch: Building height is calculated in feet and measured as the vertical distance from the grade plane to the average height of the highest roof surface.



3. Half-Stories: When building height allows for a half-story, the half story is counted as the habitable space located directly under a pitched roof. For half-stories, the following standards apply:
 - a. The roof rafters must intersect the wall plate or top of wall frame of the exterior walls at a height no more than two feet above the finished floor of the half-story.
 - b. Ceiling height of a half story must not exceed twelve feet in height at any point.
4. Attics: Non-habitable attic space located under a pitched roof is not counted as a half-story.
5. Building Height Exceptions: Height limits do not apply to Outdoor Amenity Spaces such as a roof deck, terrace, garden, trellises, and related structures conforming to Section 9.6. Height limits do not apply to mechanical and stairwell housing; roof mounted cellular, radio, and internet transmission equipment; vents or exhausts; solar panels or small wind

turbines; skylights; flagpoles; and belfries, chimneys, cupolas, monuments, parapets, spires, steeples, and other non-habitable architectural features.

6. **Building Stepback and Street Enclosure:** In specified districts, buildings may be required to be set back or stepped back from the street right-of-way line in accordance with the figure below. These standards supersede the maximum height requirements for individual Building Types in Section 9.4. The purpose of this requirement is to enhance the pedestrian environment and prevent excessive street enclosure and shadowing on narrower streets. Within the spaces created by building setbacks or stepbacks, Outdoor Amenities Space is encouraged and may be required under Section 9.6.

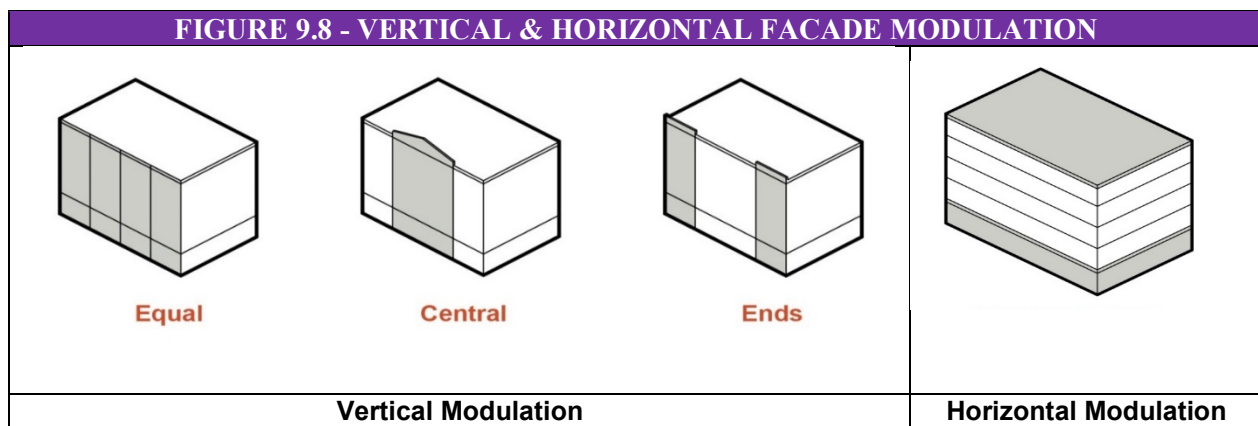


C. Building Proportions and Façade Composition.

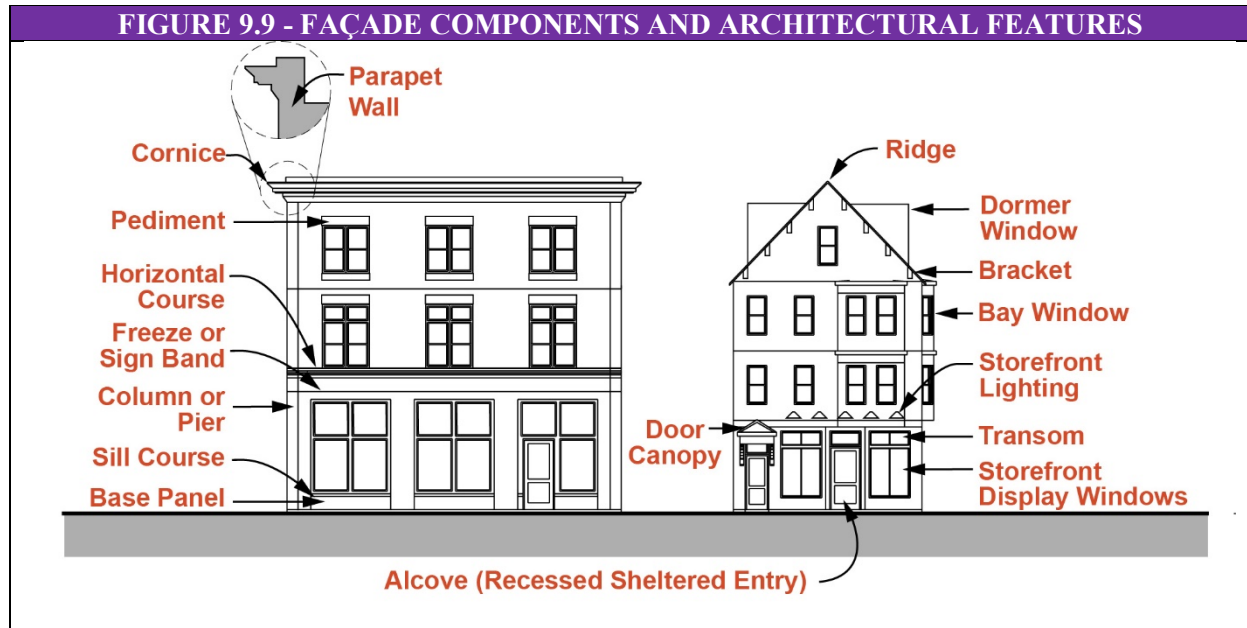
1. Vertical Modulation and Articulation:

- a. The minimum and maximum building width shall be determined for each building type under Section 9.4. Street facing building facades shall be vertically articulated with architectural bays to create an equal, central, or end articulated facade composition.

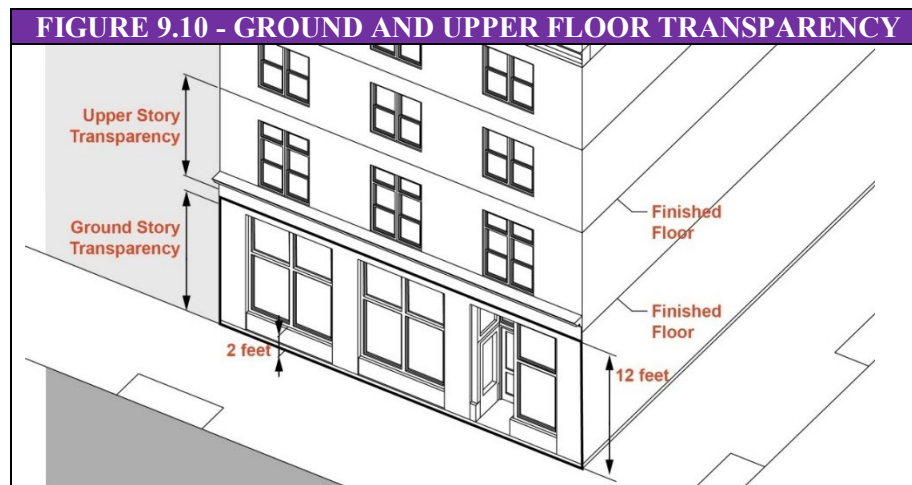
- b. Buildings greater than fifty feet in width shall be designed to read as a series of smaller buildings with varied articulation, architectural detailing, and fenestration patterns. Articulation must result in a change in vertical plane of the facade of at least four feet (in depth or projection) for at least one modulated bay in width for every fifty feet of total street-facing and publicly accessible facade width.
 - c. The façade on new buildings that are wider than tall shall be articulated and defined by piers built into the façade at least 12 inches wide and 4 inches deep or of equivalent separation on the street-facing publicly accessible facade.
2. **Horizontal Modulation and Articulation:** Street-facing building facades should be horizontally articulated with a clearly defined base, middle, and top as illustrated below. For buildings three stories and taller, the following standards apply:
- a. The top story of each street-facing facade should have a cornice, parapet, roof element, or change in massing as an expression of the building's top.
 - b. Materials appearing heavier in weight should be used for the buildings base, with materials appearing similar or lighter in weight used above. Materials lighter in color, tint, or shade should be used for the buildings base, with materials similar or darker in color, tint, or shade used above.



3. **Surface Relief with Architectural Features:** Street-facing building facades should provide surface relief through the use of bay windows, cladding, columns, corner boards, cornices, door surrounds, moldings, piers, pilasters, sills, sign bands, windows, and other equivalent architectural features that either recess or project from the average plane of the facade by at least four inches.

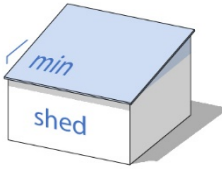
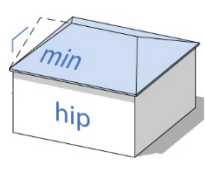
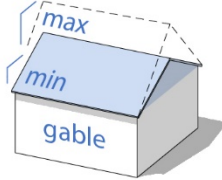
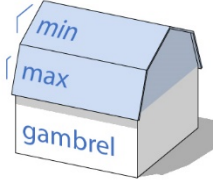


4. **Building Transparency:** The following standards apply to all commercial, multi-family, and mixed-use buildings in Form-Based Districts. Specific façade transparency requirements are defined in each Building Type in Section 9.4:
- Windows shall be evenly spaced on the façade.
 - Facades shall have windows and doors with highly transparent, low reflectivity glass for a percentage of the total area of a façade, measured for each story independently.
 - Facade transparency of a ground story façade is measured between two feet and twelve feet above the adjacent Public Realm.
 - Facade transparency requirements are only applicable to front facades facing a street right-of-way line.



D. Roof Types and Design.

1. **Roof Shapes and Pitch.** The shape and proportion of the roof shall be visually compatible with the architectural style of the building and with those of neighboring buildings. Roofs shall have a minimum slope as follows:

| TABLE 9.1 - ROOF FORMS | | | | |
|---|---|---|---|-------------------|
| Roof Shape and Pitch Requirement | | | | |
| Shed | Hip | Gable | Gambrel | Flat |
| 2:12 Min. | 3:12 Min. | 6:12 Min./ 12:12 Max. | 6:12 Min./ 30:12 Max. | Not Applicable |
|  |  |  |  | |

2. **Parapet Wall.** Buildings with flat roofs shall be capped by an articulated parapet design that acts as a structural expression of the building façade and its materials, visible from all sides of the building.

E. Exterior Treatments.

1. The main elements of the architectural treatment of the building's street-facing façade, including the materials used, should be continued around all sides of the building that are visible from a street, pedestrian passage, parking lot, or outdoor amenity spaces.
2. Traditional construction materials are preferred in the FBC such as brick, stone, clapboard, and shingle are preferred construction materials. Other contemporary construction materials such as glass, metal, block, and other siding materials may be appropriate in certain FBDs and when compatible with more traditional materials. See Town of Medway Design Review Guidelines.

9.4 BUILDING TYPES, USE AND DESIGN STANDARDS

A. Allowable Uses

Uses allowed by right and by special permit are identified in Section 5.4 Schedule of Uses and Table 1. The Medway Planning and Economic Development Board (PEDB) shall be the Special Permit Granting Authority (SPGA) for all special permits required in the Form-Based Zoning Districts.

B. Determination of Building Type

1. The Building Inspector shall classify new principal structures as a specific building type based on the definition of each type and upon finding that the structure is substantially similar in placement, height, massing, use, and features to one of the permitted building types for the zoning district where the structure is located. The Building Inspector shall also classify existing structures that are being substantially expanded or converted to new uses under this section. If the Building Inspector is unable to classify an existing principal structure as one of the building types of this section, the structure is considered nonconforming and subject to Special Permit review and approval by the PEDB.
2. If a new building is proposed that cannot be classify as one of the allowed building types of this section by the Building Inspector, the building type is subject to special permit review and may be approved by the PEDB. This does not additional uses that are not listed on Table 1 in Section 5.4 Schedule of Uses.

C. Allowed Building Types

See Table 9.2 below.

TABLE 9.2A - RESIDENTIAL BUILDING TYPES AND DESIGN STANDARDS

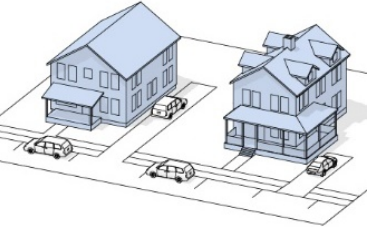

| 1. BUILDING TYPES AND DEFINITIONS | | | |
|--|---------------------------------------|---|---|
| | | DETACHED SINGLE FAMILY DWELLING (SFD) | COTTAGE (C) |
| 1.1 BUILDING DIAGRAM | |  |  |
| 1.2 DEFINITION | | A detached building containing not more than one dwelling unit and intended or designed to be occupied by one family. | A small detached single-family dwelling with narrow massing. They are permitted on individual lots or as part of a Pocket Neighborhood Development. |
| 2. LOT STANDARDS | | | |
| 2.1 | Lot Size (S.F.) (Min.) | Not Required | Not Required |
| 2.2 | Street Frontage (Min./Max.) | 50 Ft Min. | 25 Min. / 40 Max. |
| 2.3 | Lot Depth (Min./Max.) | NR | NR |
| 2.4 | Front Yard Build-To-Zone (Min./Max.) | 20 Ft. Min. | 5 Ft. / 20 Ft. |
| 2.5 | Side Yard (Min.) | 15 Ft | 5 Ft |
| 2.6 | Rear Yard (Min.) | 15 Ft | 10 Ft |
| 2.7 | Outdoor Amenity Space Coverage (Min.) | 20% | 20% |
| 3. DESIGN STANDARDS | | | |
| 3.1 | Building Height (Max.) | 2.5 Stories / 30 Ft | 1.5 Stories / 20 Ft |
| 3.2 | Street Facing Wall Width (Min.) | 18 Ft. | 18 Ft. |
| 3.3 | Street Facing Wall Width (Max.) | Not Required | 20 FT |
| 3.4 | Street Facing Entrance | Not Required | Required |
| 3.5 | Maximum Building Footprint (SF) | Not Required | Not Required |
| 4. ADDITIONAL STANDARDS | | | |
| 4.1 | | Maximum of 1 Dwelling Unit per building | Maximum of 1 Dwelling Unit per building |
| 4.2 | | | Maximum unit size is 1,400 GFA and 2 Bedrooms |
| 4.3 | | | See Section 9.5.B.2 for Pocket Neighborhood Development Standards |

TABLE 9.2A - RESIDENTIAL BUILDING TYPES AND DESIGN STANDARDS


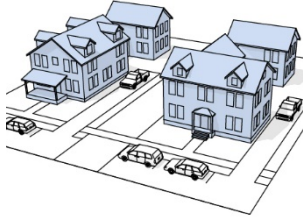

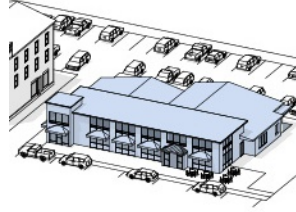
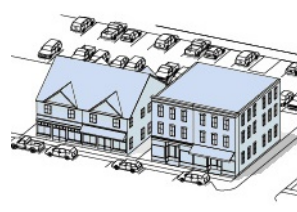
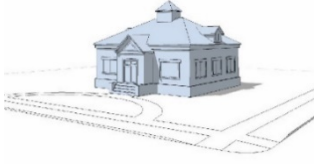
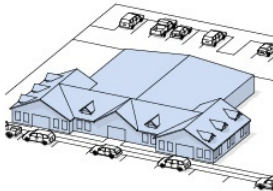
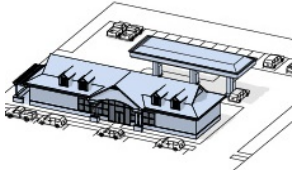
| 1. BUILDING TYPES AND DEFINITIONS | | |
|--|--|---|
| | ATTACHED SINGLE FAMILY DWELLING (SFA) | MULTI-FAMILY BUILDING (MF) |
| 1.1 BUILDING DIAGRAM |  |  |
| 1.2 DEFINITION | Small footprint, attached single family residential buildings that have narrow massing and may be located on individual or common lots. Each unit is separated horizontally by a common wall and groups of buildings may be separated by a common driveway or community space. | A large floor plate residential building type with three or more dwelling units vertically and horizontally integrated and accessed by common entrances and hallways. MF Buildings are not intended for non-residential uses. |
| 2. LOT STANDARDS | | |
| 2.1 | Lot Size (S.F.) (Min.) | 1,200 SF |
| 2.2 | Street Frontage (Min./Max.) | 18 Ft./24 Ft. |
| 2.3 | Lot Depth (Min./Max.) | 50 Ft |
| 2.4 | Front Yard Build-To-Zone (Min./Max.) | 5 Ft./15 Ft. |
| 2.5 | Side Yard (Min.) | 0 Ft (15 feet is detached) |
| 2.6 | Rear Yard (Min.) | 15 Ft |
| 2.7 | Outdoor Amenity Space Coverage (Min.) | 20% |
| | | |
| 3. DESIGN STANDARDS | | |
| 3.1 | Building Height (Max.) | 2.5 Stories/35 Ft |
| 3.2 | Street Facing Wall Width (Min.) | 18 Ft. |
| 3.3 | Street Facing Wall Width (Max.) | 18 Ft./24 Ft. |
| 3.4 | Street Facing Entrance | Required |
| 3.5 | Maximum Building Footprint (SF) | Not Required |
| | | |
| 4. ADDITIONAL STANDARDS | | |
| 4.1 | | Off-street parking is not allowed between the buildings |
| 4.2 | | A maximum of eight units can be attached by a common wall before accessway of 20 feet is provided for pedestrians, vehicles or outdoor amenity space. |

TABLE 9.2B - COMMERCIAL AND MIXED-USE BUILDING TYPES AND DESIGN STANDARDS

| 1. BUILDING TYPES AND DEFINITIONS | | | | |
|-----------------------------------|---------------------------------------|--|---|---|
| | | LIVE-WORK BUILDING (LW) | GENERAL COMMERCIAL BUILDING (GCB) | MIXED USE BUILDING (MUB) |
| 1.1 BUILDING DIAGRAM | |  |  |  |
| 1.2 DEFINITION | | A small floor plate attached residential building type with one owner-occupied dwelling unit and one ground floor commercial unit. | A variable floor plate building type that typically accommodates a variety of ground floor commercial uses and upper office uses at the scale that is compatible and compliments to its given district. GC Buildings are not intended for residential uses. | A variable floor plate building type that typically accommodates a variety of ground floor commercial uses and upper residential and office uses at a scale that is compatible and complimentary to its given district. |
| 2. LOT STANDARDS | | | | |
| 2.1 | Lot Size (S.F.) (Min.) | Not Required | Not Required | Not Required |
| 2.2 | Street Frontage (Min./Max.) | 40 Min. | 50 Min. | 50 Min. |
| 2.3 | Lot Depth (Min./Max.) | Not Required | Not Required | Not Required |
| 2.4 | Front Yard Build-To-Zone (Min./Max.) | 0 Ft./15 Ft. | 0 Ft./20 Ft. | 0 Ft. / 20 Ft. |
| 2.5 | Side Yard (Min.) | 0 Ft (15 Feet if Detached) | 10 Ft (0 Ft if Common Wall) | 10 Ft (0 Ft if Common Wall) |
| 2.6 | Rear Yard (Min.) | 20 Ft | 15 Ft | 20 Ft |
| 2.7 | Outdoor Amenity Space Coverage (Min.) | 15% | 10% | 20% |
| | | | | |
| 3. DESIGN STANDARDS | | | | |
| 3.1 | Building Height (Max.) | 2.5 Stories/35 Ft | 3 Stories/40 Ft | 4 Stories /40 Ft |
| 3.2 | Street Facing Wall Width (Min.) | 80 Ft. | 60 Ft. | 60 Ft. |
| 3.3 | Street Facing Wall Width (Max.) | 100 Ft | 100 Ft | 150 Ft |
| 3.4 | Street Facing Entrance | Required | Required | Required |
| 3.5 | Maximum Building Footprint (SF) | Not Required | 20,000 SF | 20,000 SF |
| | | | | |
| 4. ADDITIONAL STANDARDS | | | | |
| 4.1 | | | One-Story buildings must have a minimum street facing façade height of 18 feet. | One-Story buildings must have a minimum street facing façade height of 18 feet. |

| | | | | |
|-----|--|--|--|--|
| 4.2 | | | Side Setback is not required when there is a common wall; a minimum 10 foot side setback is required when there is not a common wall to accommodate pedestrian and/vehicle access to the side and rear of the property | Side Setback is not required when there is a common wall; a minimum 10 foot side setback is required when there is not a common wall to accommodate pedestrian and/vehicle access to the side and rear of the property |
| | | | | |

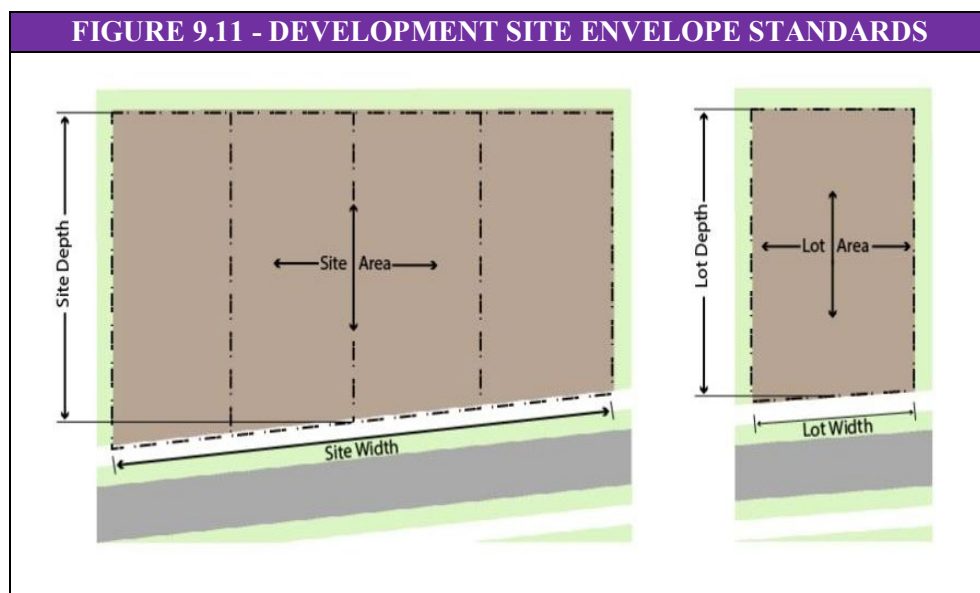
TABLE 9.2C - INDUSTRIAL AND SPECIAL BUILDING TYPES AND DESIGN STANDARDS

| 1. BUILDING TYPES AND DEFINITIONS | | | | |
|-----------------------------------|---------------------------------------|---|--|--|
| | | CIVIC/COMMUNITY BUILDING (CB) | FABRICATION/FLEX BUILDING (FFB) | GAS BACKWARDS (GB) |
| 1.1 BUILDING DIAGRAM | |  |  |  |
| 1.2 DEFINITION | | A building located and designed for public assembly such as for social, religious, educational, recreational, and similar civic uses. | A building located and designed to accommodate a small or medium scale fabrication and light industrial uses. Flex buildings are also used to provide affordable space to small and creative business enterprises. | This building type reverses the conventional site layout for gas stations with convenience store by placing the storefront along the street line and the gas pumps and canopy behind. This reverse layout highlights the building, shields the utilitarian pump/canopy and pulls the curb-cuts away from the intersection, creating easier access. |
| 2. LOT STANDARDS | | | | |
| 2.1 | Lot Size (S.F.) (Min.) | Not Required | NR Not Required | Not Required |
| 2.2 | Street Frontage (Min./Max.) | 80 Min. | 50 Min. | 100 Min. |
| 2.3 | Lot Depth (Min./Max.) | Not Required | Not Required | 100 Min. |
| 2.4 | Front Yard Build-To-Zone (Min./Max.) | 20 Ft. Min. | 0 Ft. / 30 Ft. | 5' Min./15' Max. (Primary/Secondary Streets) |
| 2.5 | Side Yard (Min.) | 15 Ft | 20 Ft (0 Ft if Common Wall) | 20 Ft Min. |
| 2.6 | Rear Yard (Min.) | 20 Ft | 20 Ft | 20 Ft. Min. |
| 2.7 | Outdoor Amenity Space Coverage (Min.) | 20% | 10% | 10% |
| 3. DESIGN STANDARDS | | | | |
| 3.1 | Building Height (Max.) | 3 Stories / 45 Ft | 2 Stories / 40 Ft | 1.5/(24') Max. |
| 3.2 | Street Facing Wall Width (Min.) | 60 Ft. | 60 Ft. | 4,000 S.F. |
| 3.3 | Street Facing Wall Width (Max.) | 100 Ft | 100 Ft | |
| 3.4 | Street Facing Entrance | Required | Required | Required |
| 3.5 | Max. Building Footprint (SF) | Not Required | 20,000 SF | 4,000 SF |
| 4. ADDITIONAL STANDARDS | | | | |
| 4.1 | | | Side Setback is not required when there is a common wall; a minimum 10 foot side setback is required when there is not a common wall to accommodate pedestrian and/or vehicle access to the side and rear of the property. | Gas station canopies should be designed as an integral part of the station architecture whenever possible. |
| 4.2 | | | | Secondary entrance required to the rear for access to gas pumps. |

9.5 DEVELOPMENT SITE STANDARDS

A. Development Sites.

1. Definition. A development site is any lot or group of contiguous building lots owned or controlled by the same person or entity, assembled for the purpose of a single development and including one or more principal buildings.
2. Site Area. Development site area is the cumulative area of all contiguous building lots that the site is composed of. Development site area does not include existing or proposed right-of-way, whether dedicated or not dedicated to public use.


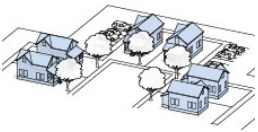

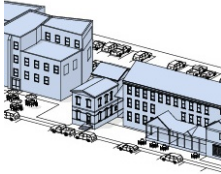



3. Permitted Building Types. A Development Site may include a combination of Building Types as permitted in each of the Form-Based District in Section 9.10 that are assembled on an individual lot or group of contiguous lots for the purpose of a single development.
4. Street Frontage. All Development Sites must have a minimum of 50 feet of frontage on a public or publicly accessible street providing access to internal streets located within the Development Sites.

B. Development Types.

1. Development Type Standards. The types of development permitted in the Form-Based Districts and associated standards are included in Table 9.3 below.

TABLE 9.3 - DEVELOPMENT TYPES AND STANDARDS

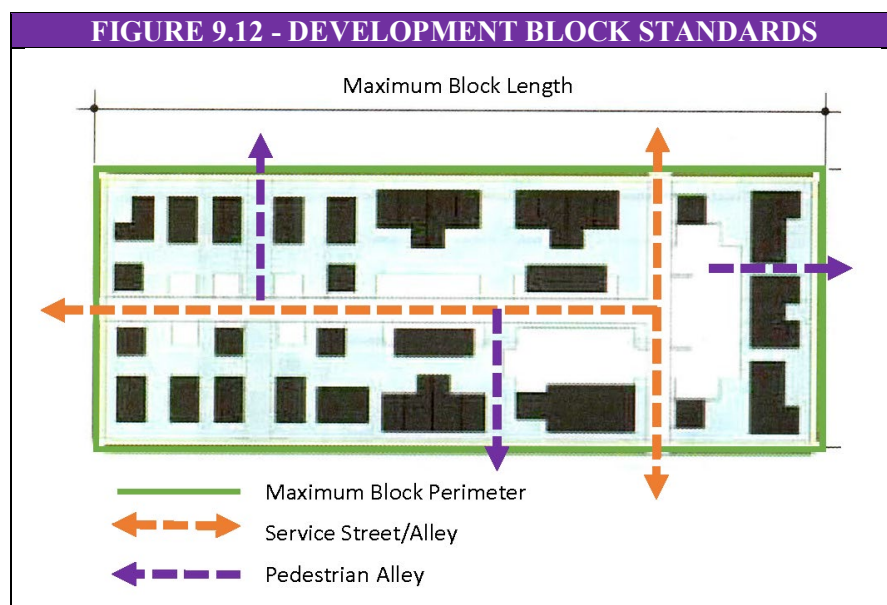
| TABLE 9.3 - DEVELOPMENT TYPES AND STANDARDS | | | | | | |
|---|--------------------------------|---|---|---|---|--|
| 1. DEVELOPMENT TYPES | | | | | | |
| | | MIXED USE DEVELOPMENT (MUD) | POCKET NEIGHBORHOOD (PN) | GENERAL RESIDENTIAL DEVELOPMENT (GRD) | GENERAL INDUSTRIAL DEVELOPMENT (GID) | GENERAL COMMERCIAL DEVELOPMENT (GCD) |
| 1.1 | GRAPHIC |  |  |  |  |  |
| 1.2 | DEFINITION | A development containing multiple residential, nonresidential, and mixed-use building types. Mixed Use Developments may include a combination of horizontally and vertically mixed buildings and uses on site subject to all applicable building type standards in Section 9.4.A. | A residential development containing is a cohesive cluster of small dwelling units gathered around a variety of common buildings and open space amenities. Where specified in the Form-Based Districts, the following Pocket Neighborhood Development Types are permitted: Cottage Court and Housing Cooperative. | A development containing one or more residential building types and community buildings in accordance with allowed building types and design standards in Section 9.4.A. | A development containing one or more fabrication, flex, or general industrial building types in accordance with allowed building types and design standards in Section 9.4.A. | A development containing one or more commercial Building Types in accordance with allowed building types and design standards in Section 9.4.A. |
| 2. DEVELOPMENT STANDARDS | | | | | | |
| 2.1 | Tract Size (Min.) | 20,000 S.F. | 20,000 S.F. | 20,000 S.F. | 20,000 S.F. | 20,000 S.F. |
| 2.2 | Tract Street Frontage (Min.) | 80 Ft. | 80 Ft. | 80 Ft. | 80 Ft. | 80 Ft. |
| 2.3 | Tract Front Yard (Min.) | None | 20 Ft | NR | NR | NR |
| 2.4 | Side/Rear Yard (Min.) | 15 Ft. | 15 Ft. | 15 Ft. | 15 Ft. | 15 Ft. |
| 2.5 | Outdoor Amenity Space (Min.) | 15% of Tract Size | 20% of Tract | 20% of Tract Size | 15% of Tract Size | 15% of Tract Size |
| 2.6 | Outdoor Amenity Space Types | All Types | Neighborhood Park/Preserve; Common or Green; Athletic Field or Ball Court; Pathway; Pedestrian Passage; Community Garden; Forecourt; Courtyard; Pocket Park/Playground; Common Yard and Garden; Dooryard | Neighborhood Park/Preserve; Common or Green; Athletic Field or Ball Court; Pathway; Pedestrian Passage; Community Garden; Forecourt; Courtyard; Pocket Park/Playground; Rooftop Terrace; Common Yard and Garden; Dooryard | Neighborhood Park/Preserve; Common or Green; Athletic Field or Ball Court; Pathway; Pedestrian Passage; Community Garden; Forecourt; Courtyard; Pocket Park/Playground; Common Yard and Garden; | Common or Green; Athletic Field or Ball Court; Pathway; Pedestrian Passage; Forecourt; Courtyard; Plaza or Square; Pocket Park/Playground; Outdoor Dining Terrace; Rooftop Terrace; Common Yard and Garden |
| 2.7 | Space Between Buildings (Min.) | 20 Ft | 15 Ft. | 15 Ft | 20 Ft | 20 Ft |
| 3. PERMITTED BUILDING TYPES | | | | | | |
| 3.1 | | Multi-Family, SF Attached, Live-Work, General Commercial, Mixed-Use, Flex Space/Fabrication, Civic/Community | Cottage, Multi-Family | Multi-Family, SF Attached, Live-Work, Civic/Community | General Commercial, Flex Space/Fabrication, Civic/Community | General Commercial, Civic/Community, Gas Backwards |
| 4. ADDITIONAL STANDARDS | | | | | | |
| 4.1 | | | Maximum Cottage Unit and Cohousing Unit GFA is 1,400 GFA and 2 Bedrooms | | | |
| 4.2 | | | Minimum Courtyard size is the greater of 3,000 SF or 600 SF/DU and 40 Ft. in | | | |
| 4.3 | | | Cohousing Developments may include a common house and co-work space | | | |

2. Special Development Types.

- a. Cottage Court. A Pocket Neighborhood Development and community of small private homes arranged around a common courtyard which takes the place of private yard space and becomes an important community-enhancing element of the development site. Cottage Courts may also have shared community garden plots, parking courts, and recreation buildings and facilities.
- b. Housing Cooperative. A Pocket Neighborhood Development and community of small private homes clustered around shared buildings and community spaces. Each attached or detached single family home has traditional amenities, including a private kitchen. Shared spaces typically feature a common house, which may include a large kitchen and dining area, laundry, and assembly spaces. Other shared spaces include community garden plots, recreational fields, parking courts, and shared work spaces.
- c. Other Development Types. By Special Permit, the PEDB may allow other development types not specifically allowed in Table 9.3 but not additional uses that are not listed on Table 1 in Section 5.4 Schedule of Uses.

C. Development Block Standards.

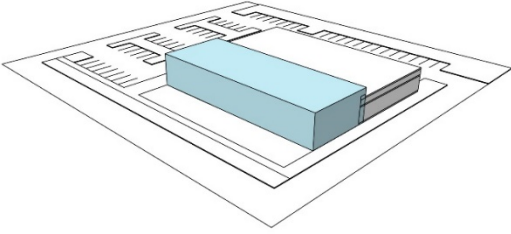
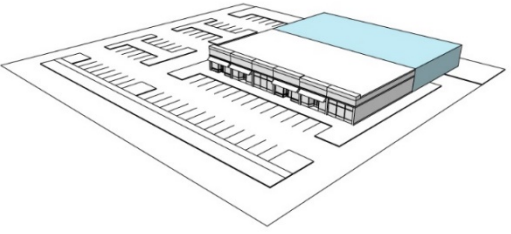
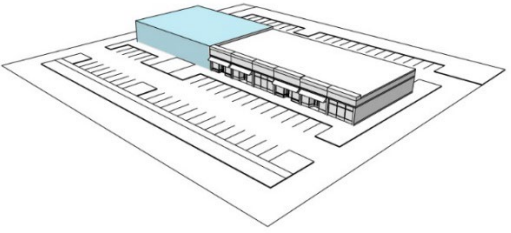
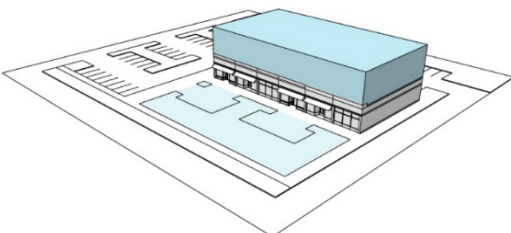
These standards establish maximum block length along public or private streets within a Development Site as a method to ensure that access and walkability are integrated into the placement of buildings, outdoor amenity spaces, and site utility areas. Generally, blocks are laid out to orient buildings to the street while concentrating utility elements such as electrical service, parking, and refuse collection to the center of blocks.



1. Size and Dimension. The maximum length of a block shall be 400 feet and the maximum length of a block perimeter shall be 1,200 feet. The PEDB may grant a Special Permit for a longer block face or block perimeter where the applicant can demonstrate that the block will be highly walkable with pedestrian passages, curb extensions, streetscape enhancements, mid-block crossings, and other enhancements.
2. Access and Utilities. Access to the interior utility area of a block will be made by a paved Service Street of 20 feet with a 4-foot sidewalk on one side. A Service Road shall be located no less than 50 feet from any intersecting street at the corner of a block. A Pedestrian Passage is required every 150 linear feet along a block face between intersecting streets where shared parking areas or community space is located within the interior of the block.

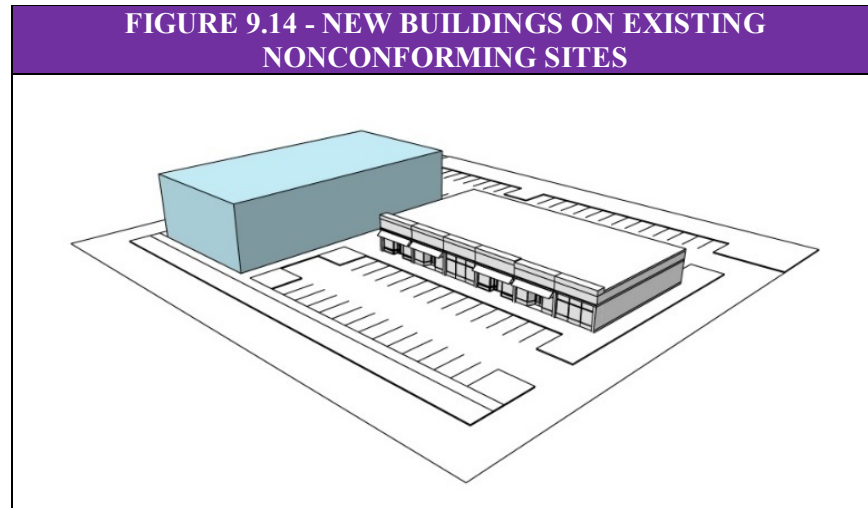
D. Pre-Existing Building and Lot Standards.

1. Purpose. The purpose of this section is to establish standards for the continued utilization of existing buildings in Form-Based Districts constructed prior to the effective date of this bylaw. Where the provisions of this Section conflict with Section 5.5 - Non-Conforming Uses and Structures, this section shall apply.
2. Non-Conforming Building Additions. Where the expansion of an existing building is unable to meet the Building and Lot Standards in Section 9.4, the existing building shall comply with the following non-conforming provisions:

| FIGURE 9.13 - NON-CONFORMING BUILDING ADDITION STANDARDS | |
|--|--|
| Type of Addition | Standards |
| Front Addition  | Any addition to the front must be placed within the Front Build-To Zone (BTZ). The addition does not have to meet the minimum Front Build-To-Zone Occupancy (BTZO) |
| Rear Addition  | Rear additions are allowed up to the minimum Rear Yard line. |
| Side Addition  | Rear additions are allowed to a minimum Side Yard line and to a length not exceeding the maximum Street Facing Wall Width for the most similar Building Type. |
| Story Addition  | Story additions are allowed up to the maximum story and building height for the most similar building type. |

3. New Buildings. Where a new building is being constructed on a lot or site with an existing non-conforming building the following provisions apply:

- a. Any new building must be placed in the Front Build-To-Zone (BTZ) until the minimum occupation percentage for the lot has been met.
- b. Any new side or rear building are not allowed until the minimum Front Build-To-Zone Occupancy (BTZO) percentage for the lot has been met.



4. Non-Conforming Building Retrofit: A development project involving one or more pre-existing non-conforming building may be retrofitted and repurposed as a residential or mixed-use building if the underlying Form-Based District allows for residential use. The maximum residential density shall be consistent with the requirements of Section 9.9. This standard also applies to any additions to the pre-existing building.
5. Outdoor Amenity Space: The minimum Outdoor Amenity Space for pre-existing non-conforming building lots shall be 15% of the land area. All Outdoor Amenity Space types in Section 9.6 shall apply to new, expanded or retrofitted non-conforming building sites.
6. Waivers: Where an expansion or new building is proposed on a lot or site with an existing non-conforming building that does not meet the requirements of this section or Section 5.5, the applicant can request as waiver be granted by the PEDB.

E. Parking Requirements. (POSSIBLE INTEGRATION WITH SECTION 7.1.1)

1. Purpose.
 - a. To minimize the impact of sidewalk interruptions and conflict points on the walkability of the public realm.
 - b. To minimize excessive and inefficient off-street parking lots that result in lost opportunities to develop new buildings that expand business and the tax base.
 - c. To encourage the use of public transportation, bicycling, and walking in lieu of motor vehicle use when a choice of travel mode exists.

2. Applicability. The parking requirements in Section 7.1.1 of the Medway Zoning Bylaws shall apply unless otherwise specific in this section.
3. Off-Street Parking Requirements. The minimum number of off-street parking spaces in the Form-Based Districts shall be consistent with Table 3 in Section 7.1.1.D except as identified in Table 9.4 below. Any parking spaces in excess of the given minimum requirements in Section 7.1.1.D, Table 3 or the required parking spaces in table 9.4 below shall require a Special Permit from the PEDB. Outdoor seating cafes and accessory buildings are exempt from off-street parking requirements.

| TABLE 9.4 - OFF-STREET PARKING STANDARDS | |
|---|---|
| Commercial and Mixed Use | Required Parking Spaces ¹ |
| Retail Business, Commercial or Personal Service Establishment | 1 space per 400 square feet |
| General Office or Retail in Mixed Use Buildings | 1 space per 500 square feet |
| Medical or Dental Office or Clinic | 5 spaces per doctor or dentist within a single office or suite |
| Restaurant or Place of Assembly | 1 space for each 2 seats |
| Residential Use | |
| Single Family Attached Unit or Cottage Unit | 1.5 per DU with 2 bedrooms or less; and 2 per DU with 3 bedrooms or more located within 300 feet of the Dwelling Unit |
| 1-bedroom unit in Mixed-Use Building | 1 space |
| 2-bedroom unit in Mixed Use Building | 1.5 spaces |
| 3 or more bedroom unit in Mixed Use Building | 2 spaces |

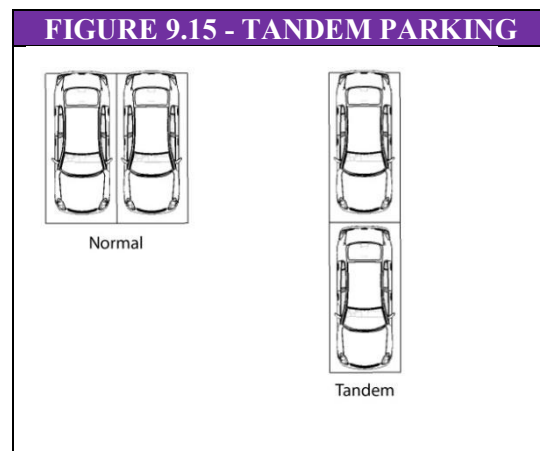
1. Required Parking equals both the minimum and maximum parking required for the use

4. Parking Reduction Methods. By Special Permit, the PEDB may increase off-street parking reduction in Section 7.1.1.J. to 50% under the following conditions:
 - a. On-Street Parking Off-Set. Parking spaces required to meet the minimum off-street parking requirements of Table 3 and 9.4 may include publicly available on-street parking spaces along the building lot frontage on the same side of the street.
 - b. Shared Parking and Mixed Use.
 - 1) A combination of uses on-site using shared parking lots with offset peak demand times where: a shared parking agreement with proximate properties where uses have offset peak demand times; uses have a high rate of parking turnover; or evidence of similar uses and location situations operating successfully with lower amounts of parking.
 - 2) In Commercial or Mixed Use Buildings or Developments where shared parking is proposed, the PEDB may require an evaluation prepared by the

applicant following the procedures of the Urban Land Institute (ULI) Shared Parking Manual (latest edition) or the Institute of Transportation Engineers (ITE) Shared Parking Guidelines (latest addition), or other approved procedures determined by the PEDB.

- 3) A formal parking evaluation may be waived for small developments where there is established experience with the land use mix and its impact is expected to be minimal.
- c. Car-Sharing Program. The PEDB may approve a parking reduction where an active car-sharing program is made available to residents and/or employees of a Development Site; and where cars for the car-share program are available on the site or within a 700-foot walking distance of the site.
 - d. Off-Site Parking. The PEDB may allow required parking to be provided off-site for employees, except for any required handicapped parking, as permitted according to the provisions of and when conforming to the following:
 - 1) A lot featuring the off-site parking must be located within seven hundred feet in walking distance, measured from the nearest point of the off-site parking along walkways to the principal building entrance served;
 - 2) Pedestrian access between the use and the off-site accessory parking area must be via paved sidewalk or walkways; and
 - 3) A lease, recorded covenant, or other comparable legal instrument, executed and filed with the Town of Medway and Norfolk County Registry of Deeds, guaranteeing long term use of the site is provided to the PEDB.
5. Special Parking Types and Standards.
- a. Valet Parking. By special permit, the PEDB may allow valet parking if the building is pre-existing, the use is for food and entertainment, and where there is no physical means of providing the required number of parking spaces on the lot where the building and use are located. The requirements number of minimum or maximum spaces continue to apply for valet parking but parking spaces do not require individual striping and may be permitted on-site or off-site as a means of satisfying the applicable off-street parking requirements where:
 - 1) A written guarantee must be filed with the Town ensuring that permission has been granted by another property owner within 300 feet of the use assuring the continued operation of the valet parking.
 - 2) A written guarantee must be filed with the Town ensuring that an attendant will always be present when the lot is in operation.

- 3) An equivalent number of valet spaces are available to replace the number of required off-street parking spaces.
 - 4) The design of the valet parking area will not cause queuing in a vehicular travel lane.
- b. Tandem Parking. By special permit, the PEDB may allow tandem parking under the following conditions:
- 1) To be used to meet parking requirements for residential units only. Tandem parking means two vehicles only.
 - 2) Tandem spaces shall be assigned to the same dwelling unit.
 - 3) Tandem parking shall not be used to provide guest parking.
 - 4) Two parking spaces in tandem shall have a combined minimum dimension of 9 feet in width by 30 feet in length.
 - 5) Up to 75% of the total off-street parking spaces provided may incorporate tandem parking.



- c. Street Side Parking. By Special Permit, the PEDB may allow parallel or angled parking provided on a privately-owned lot directly adjacent to the public street right-of-way in combination with a minimum five foot wide planting strip with street trees planted 40 feet on center, and a five foot minimum concrete sidewalk connecting to public sidewalks on abutting lots and to the primary building on-site. These parking spaces shall be privately owned but accessible to the public. These parking spaces effectively function as on-street parking.

FIGURE 9.16 - STREET SIDE PARKING (ON FRONT PROPERTY LINE)

- d. *Teaser Parking.* By Special Permit, the PEDB may allow a limited amount of off-street surface parking to be placed between a public street and the street facing façade of a primary building. Where this is permitted by the PEDB, the parking area will be setback a minimum of twenty feet from the street line and streetscape treatments including street trees, landscaping, and a minimum 5-foot sidewalk will be placed adjacent to the street line. The sidewalk shall also be connected to the front door of the primary building by a dedicated pedestrian connection. The portion of the parking lot located in front of the primary building shall be limited to one double row of vehicles and associated parking aisle.

FIGURE 9.17 – TEASER PARKING (IN FRONT OF PRIMARY BUILDING)

6. Structured Parking.

- a. Permitted Types. Off-street parking structures may include a private garage or carport, an above-ground parking structure, or an underground parking structure.
- b. Access. Pedestrian access to structured parking must lead directly to a public sidewalk and to the primary building. Structured parking may also be attached directly to the primary building allowing pedestrians to enter directly into the building.
- c. Design and Construction. The street facing facade of any story of a building occupied by motor vehicle parking must be designed as follows:
 - 1) Fenestration and facade openings must be vertically and horizontally aligned and all floors fronting on the facade must be level (not inclined).
 - 2) The facade must include windows of transparent or translucent, but non-reflective, glass or openings designed to appear as windows for between twenty percent (20%) and fifty percent (50%) of the wall area of each floor.
 - 3) Windows must be back-lit during evening hours and internal light sources must be concealed from view from public sidewalks.
 - 4) The facade area masking the floors occupied by motor vehicle parking must be seamlessly integrated into the architectural design of the building's facade.

7. Parking Design Standards. In addition to the parking standards in Section 7.1.1.F and 7.1.1.1.G, the following standards apply in the Form-Based Districts.

a. Parking Setbacks.

- 1) All off-street parking, except underground structured parking, shall be located at or behind the required parking setback as indicated by building type in Section 9.4.
- 2) Parking is never permitted within a lot frontage except for Street Side Parking and Teaser Parking in Section 9.5.E.5 above.

b. Pedestrian Access. Pedestrian access from parking lots must lead directly to a public sidewalk and to the primary building.

c. Vehicle Access. In addition to parking design standards in Section 7.1.1.F, the following apply in the Form-Based Districts.

- 1) Only one driveway shall be allowed on a building lot.
- 2) Shared driveways are permitted and encouraged.
- 3) Shared internal access between private parking lots is permitted and encouraged.

8. Parking Lot Landscaping and Screening

a. Landscaping.

- I. Parking lots greater than 20 spaces shall be relieved by landscaped islands of a minimum of 8 feet in width, equal in depth to the depth of a typical parking space and located such that there is one island per 10 continuous spaces.
- II. Alternatively, at least 5% of the interior area of the lot shall be devoted to landscaping.
- III. Parking lots described above shall have at a minimum of one shade tree per with a minimum caliper of 2 ½ inches diameter breast height (DBH). Trees planted in such locations shall be planted in protected pervious areas which have a minimum area of 50 square feet.

- b. Screening. A street screen shall be required where private parking is visible from a public street or sidewalk. A 5-foot wide buffer area is required and shall include a wall and/or landscaping that provides a sight impervious screen.

9. Parking Special Permit. Where a Special Permit is sought for relief from the parking standards, the PEDB shall consider the following review criteria as an alternative to those in Section 3.4:

- a. The supply and demand of public and private parking in the district, as determined through a parking study.
- b. Mobility management programs and services provided by the applicant to reduce the demand for parking.
- c. That parking provided in excess of the minimum requirement does not result in underutilized spaces, excessive impervious surfaces, and lost opportunities for building or outdoor amenities spaces.

F. **Site Landscaping.**

1. Existing trees should be preserved, reducing the need to plant additional trees.
2. All landscaping shall be maintained in a healthy growing condition, neat and orderly in appearance, and free of refuse and debris.
3. All plantings shall be arranged and maintained so as to not obscure the vision of traffic.
4. The utilization of plants and landscaping that produce edible food in settings that conventionally have been limited to ornamental or nonfood producing plants.

G. Utilities.

1. Public Utilities. All new public utilities (except structures and other facilities that require above-grade access) shall be installed underground.
2. Trash and Service Areas.
 - a. All service, loading and trash storage areas viewable from a public right of way or from an adjacent residential area shall be screened by one or a combination of masonry, a wood screen, or evergreen plantings to reduce their visual impact.
 - b. Loading and service areas shall not face any residential area unless no other location is possible. Loading areas shall be subject to screening requirements stated herein.
 - c. Garage doors and loading spaces are prohibited on the street facing façade of any commercial, mixed use, or multi-family building unless no other location is feasible.

H. Sustainable Site Design Standards.

1. Purpose and Intent. Sustainable Design and Low Impact Development (LID) techniques are necessary in the FBDs to reduce stormwater runoff, improve water quality, maintain canopy tree cover, protect natural landscapes, install appropriate planting materials, and encourage the production of local food. In achieving the requirements of this section, applicants should refer to sustainable and low impact development techniques provided in the Town of Medway Design Review Guidelines.
2. General Landscaping Requirements:
 - a. Existing trees shall be preserved to the extent possible reducing the need to plant additional trees.
 - b. All landscaping shall be maintained in a healthy growing condition, neat and orderly in appearance, and free of refuse and debris.
 - c. All plantings shall be arranged and maintained so as to not obscure the vision of traffic.
3. Stormwater Management:
 - a. Consistent with stormwater management best practices, new Development Projects in the FBDs should maintain or achieve pre-development hydrology through sustainable site design techniques that infiltrate, filter, store, evaporate and detain storm water close to its source.

- b. The post-construction peak runoff rate for the one-year, twenty-four (24) hour rain event should not exceed the existing peak runoff rate for the same storm event from the site under existing conditions prior to submittal of an application. Stormwater treatment best practices detailed in the Commonwealth of Massachusetts Stormwater Management Handbook should be used to achieve the required post construction runoff rate.

I. Site Improvement Guidelines.

In addition to the Development Site Standards of this section, new buildings and developments in the Form-Based Districts shall be subject to the Town of Medway Design Guidelines for: Section 2. Commercial Zones – C. Site Improvement Guidelines; Section 3. Industrial Zones – C. Site Improvement Guidelines; and Section 4. Residential Zones – C. Site Improvement Guidelines

9.6 OUTDOOR AMENITY SPACE




A. General Standards.



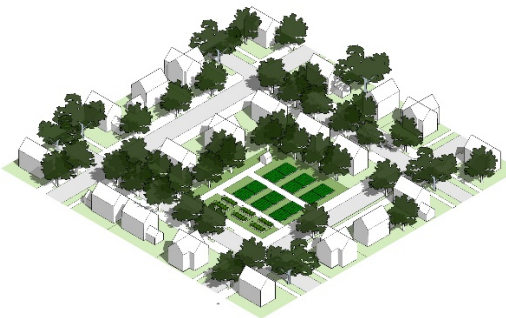
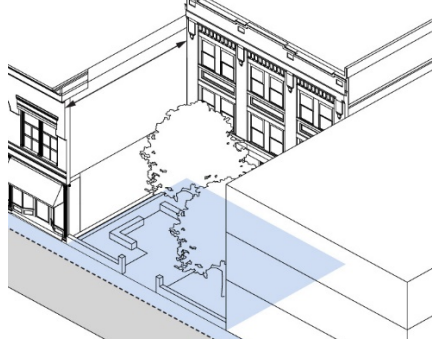
1. Outdoor Amenity Space Types. Outdoor Amenity Spaces include **Civic Space (CS)**, **Publicly Oriented Private Space (POPS)**, and **Private Open Space (PS)**. Civic Space includes publicly-owned or controlled parks, active and passive recreation areas, civic buildings, and other gathering spaces that are fully accessible to the general public. Publicly Oriented Private Spaces (POPS) are gathering spaces on private land primarily serving the residents, businesses and patrons of the principal building or development site, and generally available to the public. Private Open Space is associated with individual dwelling units and multi-family buildings and developments and is not intended for public access.
2. Required Outdoor Amenity Space: The required percentage of a building lot dedicated to outdoor amenity space is identified for each building type in Section 9.4. Where multiple lots or buildings are assembled together to form a Development Sites under Section 9.5, the required amount of Outdoor Amenity Space is the cumulative amount of all land area in the Development Site times the percentage required in for each type of development in Section 9.5.
3. Payments in Lieu of Outdoor Amenity Space: By Special Permit from the PEDB and approval by the Board of Selectmen, an applicant can make a contribution toward an existing or planned Civic Space within the Form-Based District as identified on the Form-Based District Zoning Map for which the principal building or development site is located in lieu of on-site outdoor amenity space. In reaching a decision, the PEDB and Board of Selectmen shall determine that such contribution will have a significant impact

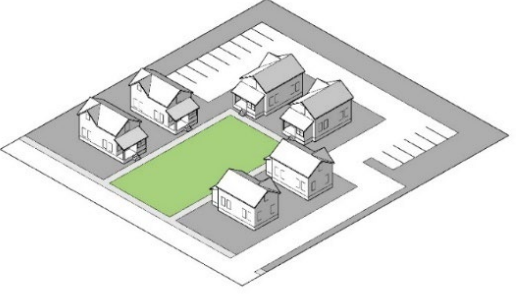



on the walkability, vibrancy, multimodal access, and/or enhanced activation of public gathering areas within the Form-Based District.

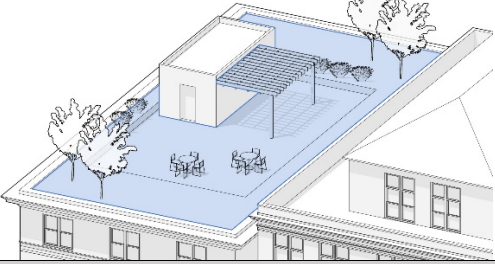
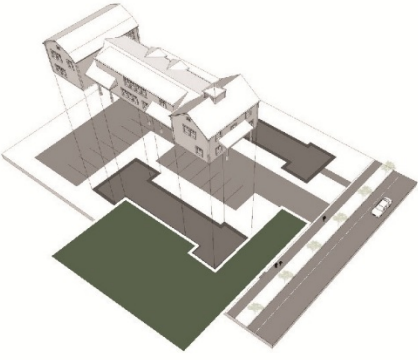
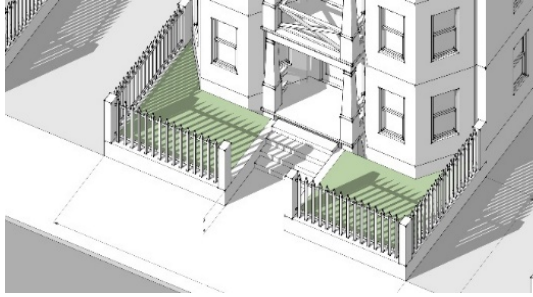
B. Permitted Outdoor Amenity Spaces.

Permitted Outdoor Amenity Spaces and associated design standards are identified in Table 9.5 below:

| TABLE 9.5 - OUTDOOR AMENITY SPACE | |
|--|---|
| Type | Description and General Design Standards |
| 1. Neighborhood Park, Preserve (CS, POPS)  | <p>Description: An open space designed for active and passive recreation with features and facilities that support the community or immediate neighborhood. Parks can include other Outdoor Amenity Spaces such as community gardens, recreation fields and courts, trails and pathway, and other facilities intended for public events, gatherings, and organized activities.</p> <p>Design Standards: Neighborhood Parks should be a minimum of 8,000 S.F.; 80% permeable surfaces; and 1 tree/350 SF on average.</p> |
| 2. Common or Green (CS, POPS)  | <p>Description: A common or green is a free-standing site with thoroughfares on all sides and landscape consisting of naturally disposed lawns, paths, and trees. This open space type is for active and passive recreation and gathering purposes.</p> <p>Design Standards: Commons should be a minimum of 20,000 S.F.; 85% permeable surfaces; and 1 tree/2,000 SF on average.</p> |
| 3. Athletic Field or Ball Court (CS, POPS)  | <p>Description: A publicly accessible open space designed and equipped for active recreation and organized sports. Playing fields and courts may include grass, artificial turf, clay, dirt, stone dust, concrete, asphalt, ice or other pervious or impervious materials to support various sporting organizations and events. This category also includes swimming pools.</p> <p>Design Standards: Side of Space: 7,500 S.F. Min.; 20 Acres Max. Landscape: Trees: N/A Permeable Surface: N/A Landscaped Area: 30%</p> |
| 4. Pathway (CS) | <p>Description: A linear open space that may follow natural</p> |

| | |
|---|---|
|  | <p>corridors providing unstructured and limited amounts of structured recreation. A pathway may be spatially defined by segment and include access to pedestrians, bicyclists, and other designated modes of transportation. Pathways may provide access and connections between natural areas, neighborhoods, villages, public facilities, and other points of interest.</p> <p><u>Design Standards:</u> The minimum width shall be 8 feet; Pathways shall be surfaced with stone dust, or asphalt.</p> |
| <p>5. Pedestrian Passage (CS, POPS)</p>  | <p><u>Description:</u> A paved or brick pedestrian connector between buildings. Pedestrian Passages provides direct connections between parking areas, buildings, streets, and sidewalks. Pedestrian Passages may be covered by a roof, trellis, and may be lined by shopfronts.</p> <p><u>Design Standards:</u> The minimum width shall be 8 feet; Hard surface such as asphalt, concrete, or paver stones is required.</p> |
| <p>6. Community Garden (CS, POPS, PS)</p>  | <p><u>Description:</u> An open space designed as individual garden plots available to residents for agriculture purposes, including storage facilities for necessary equipment. Community gardens may be freestanding or incorporated as a subordinate feature of a community park, neighborhood or pocket park, and development site.</p> <p><u>Design Standards:</u> Community gardens should be a minimum of 5,000 S.F.</p> |
| <p>7. Forecourt (POPS, PS)</p>  | <p><u>Description:</u> A private open space where a portion of the facade is aligned close to or at the Street ROW Line, and the central portion of the facade is set back to create a courtyard with a principal entrance at-grade and space for gathering and circulation, or for outdoor shopping or restaurant seating. The forecourt may be planted or paved to join with the public sidewalk.</p> <p><u>Design Standards:</u> Forecourts shall be enclosed by walls on 3 sides and have a minimum width and depth of 12 feet; The maximum ratio of building height to forecourt width shall be 2:1.</p> |
| <p>8. Courtyard (POPS, PS)</p> | <p><u>Description:</u> A courtyard (or court) is an enclosed open space,</p> |

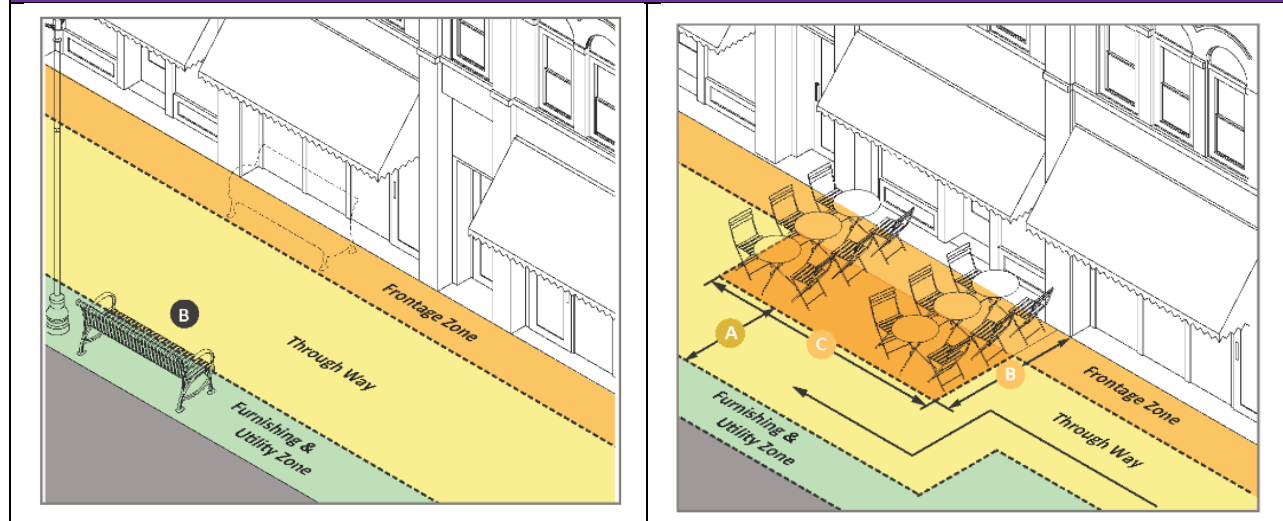
| | |
|---|--|
|  | <p>often surrounded by a building or buildings, that is open to the sky. Courtyards may include a variety of passive recreational activities, community gardens, and other amenities for community gatherings.</p> <p><u>Design Standards:</u> Courtyards shall be a minimum of 3,000 S.F. in area and 40 feet in width; and 1 tree/1,500 SF on average.</p> |
| <p>9. Plaza or Square (CS, POPS)</p>  | <p><u>Description:</u> An open space type designed for passive recreation, civic purposes, and commercial activities, with landscape consisting primarily of hardscape. Plazas are generally located in activity centers or the nexus of major circulation routes.</p> <p><u>Design Standards:</u> Squares should be a minimum of 8,000 S.F.; 50% permeable surfaces; 1 tree/2,000 SF on average; and include public seating.</p> |
| <p>10. Pocket Park/Playground (CS, POPS, PS)</p>  | <p><u>Description:</u> An open space type designed for passive recreation consisting of vegetation, a place to sit outdoors, and playground equipment.</p> <p><u>Design Standards:</u> Pocket Parks should be a minimum of 800 S.F.; 80% permeable surfaces; and 1 tree/200 SF on average; and include seating and recreational equipment.</p> |
| <p>11. Outdoor Dining Terrace (POPS)</p>  | <p><u>Description:</u> An open space where the building facade is setback from the Street ROW Line and the space between is occupied by a hardscape intended for use as an extension of the public sidewalk and outdoor amenity space such as for outdoor seating or displays. The terrace may also allow for public circulation along the façade and can be used to provide at-grade access or a grade change along a Street Line.</p> <p><u>Design Standards:</u> Where terraces are elevated above the public sidewalk they are required to meet ADA requirements for individual or shared entries facing the street.</p> |
| <p>12. Rooftop Terrace (POPS, PS)</p> | <p><u>Description:</u> A roofless, raised platform on the roof of a building</p> |

| | |
|---|---|
|  | <p>that provides community gathering space such as a terrace, community garden, food and entertainment, or other outdoor amenities.</p> <p><u>Design Standards:</u> Not Applicable.</p> |
| <p>13. Common Yard and Garden (PS)</p>  | <p><u>Description:</u> A private open space associated with private residence or non-residential buildings not intended for public access or a high level of pedestrian activity.</p> <p><u>Design Standards:</u> Where applicable, a walkway should be provided between the public sidewalk and the front door.</p> |
| <p>14. Dooryard (PS)</p>  | <p><u>Description:</u> A Private Frontage where the Building Facade is aligned close to the Street Line, and the Frontage Line is defined by a low wall, decorative fence or hedge providing a strong spatial definition from the public sidewalk. The result is a small semi-private dooryard containing the principal entrance in the front yard. The dooryard may be slightly raised, sunken, or at-grade, and may be planted or landscaped. A paved walkway from the sidewalk to the front door is required. This type is commonly associated with ground-floor residential use</p> <p><u>Design Standards:</u> Not Applicable.</p> |
| <p>15. Other OAS Types</p> | <p>Permitted by Special Permit by the PEDB</p> |

C. Building Frontage Zones.

A Building Frontage Zone is the setback space between the street facing façades of the primary building and the Street Right-of-Way Line. Building Frontage Zone uses must provide a compatible transition and interface between the private realm (buildings and uses) and the public realm (sidewalks, thoroughfares, and civic spaces). Outdoor Amenity Spaces are required in the Building Frontage Zone, and Publicly Oriented Private Spaces (POPS) are requirements in specified Form-Based Districts.

FIGURE 9.18 – BUILDING FRONTAGE ZONES



9.7 SIGN AND BUILDING ENCROACHMENTS

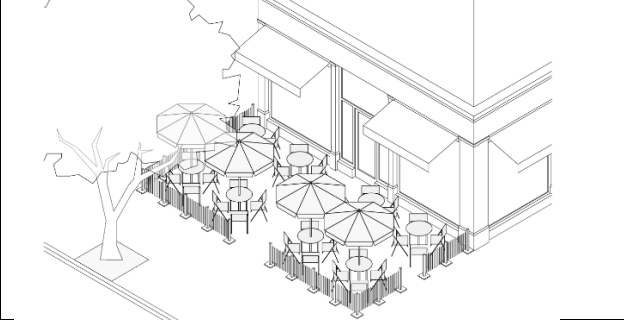



A. Signs.

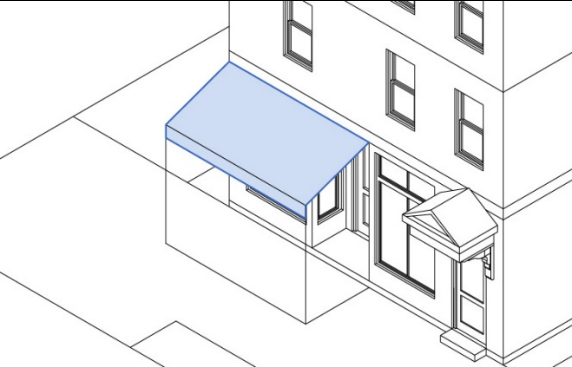
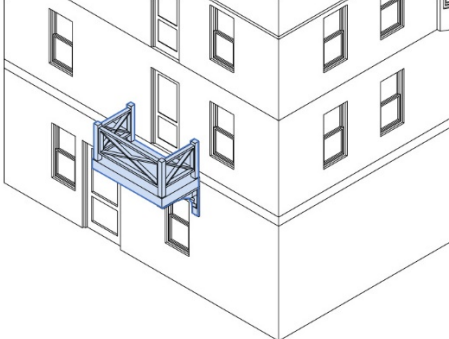
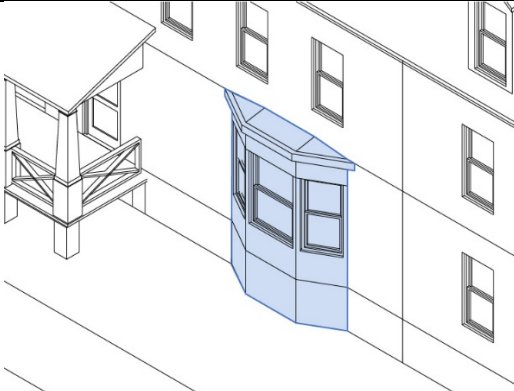

Building and site signs shall comply with the rules and regulations in Section 7.2 of the Medway Zoning Bylaw. The specific type of permitted signs and related design standards in Section 7.2.5, Tables 1-10 shall be applicable as identified in each of the Form-Based Districts.

B. Building Activation Encroachments.

Building Activation Encroachments including building components, outdoor amenity spaces, accessory signs and displays, and related attributes that extend into the Public Frontage Zone and contribute to the activation of the Public Realm, walkability, and enjoyment of the public. All building encroachments that extend into the Public Frontage Zone shall require compliance with all relevant Town Bylaws.

FIGURE 9.19 - BUILDING ACTIVATION ENCROACHMENTS

| Type | Description and Design Standards |
|--|---|
| 1. Sidewalk Dining Terrace  | <p>Outdoor dining cafes are permitted as an ancillary activity of any restaurant, pub, or other food and drink establishment. The operator of the outdoor dining cafe may be granted permission from the Town for locations on side and on the public sidewalk. See Section 9.8 (Public Realm)</p> |
| 2. Storefront Display  | <p>Sidewalks displays on a public sidewalk shall be within 3 feet of the building; are prohibited from interfering with pedestrian travel and shall leave clear an accessible walkway area of 5 feet minimum; must be removed when the business is not open; and require compliance with all Town Bylaws. Section 9.8 (Public Realm)</p> |
| 3. Sandwich Board Sign  | <p>A freestanding portable sign, not secured or attached to the ground or any building or structure, composed of a sign panel and supporting structure or one or more panels which form both the structure and sign face, and which is intended to be placed in a sidewalk or pedestrian way. Sidewalk signs displayed on a public sidewalk shall be within 3 feet of the building; are prohibited from interfering with pedestrian travel and shall leave clear an accessible walkway area of 5 feet minimum; must be removed when the business is not open; and requires compliance with all Town Bylaws.</p> |
| 4. Projecting Signs and Banner  | <p>A building mounted sign attached to, and extending from, a building or support beam in whole or in part which extends beyond said building. Projecting signs may encroach into the public right-of-way but shall not be located within 5 feet to the closest curb line. Project sign shall be mounted a minimum of 6 inches away from the building and 8 feet from the bottom of the sign to the sidewalk grade; and require compliance with all Town Bylaws.</p> |
| 5. Awning | <p>An Awning projecting over the sidewalk of a public</p> |

| | |
|---|---|
|  | <p>thoroughfare must have 8 feet of clearance in height, 8 feet in clearance from the curblane, and requires compliance with all Town Bylaws.</p> |
| <p>6. Balcony</p>  | <p>A balcony projecting over the sidewalk of a public thoroughfare must have 12 feet of height clearance, 8 feet in clearance from the curblane, and requires compliance with all Town Bylaws.</p> |
| <p>7. Bay Window</p>  | <p>Bay windows projecting over the sidewalk of a public thoroughfare must have 12 feet of height clearance, 8 feet in clearance from the curblane, and require compliance with all Town Bylaws.</p> |
| <p>8. Arcade</p>  | <p>An Arcade projecting over the sidewalk of a public thoroughfare must have 12 feet of clearance, 8 feet in clearance from the curblane, and requires compliance with all Town Bylaws.</p> |

9.8 PUBLIC REALM STANDARDS

A. Purpose.

1. To ensure the development of a well-connected travel network, composed of direct and convenient routes that reinforce the Form-Based District and Medway as a walkable and bikeable mixed use environment.
2. To encourage “Complete Streets” that accommodate multiple modes of transportation, consistent with the character of traditional neighborhood and village centers, and attractive to pedestrian and bicyclists.
3. To ensure pedestrian safety and comfort, promote economic vitality, preserve and enhance the character of the public realm along primary streets, and promote the social, environmental, and health benefits provided by a walkable development pattern.

B. Standards for Thoroughfares.

Thoroughfares shall be engineered and constructed in accordance with the design standards in Section t of the Town of Medway Subdivision Regulations. In the absence of official standards, thoroughfares shall be designed and constructed according to the standards deemed to be appropriate by the PEDB.

C. Public Realm Design Standards.

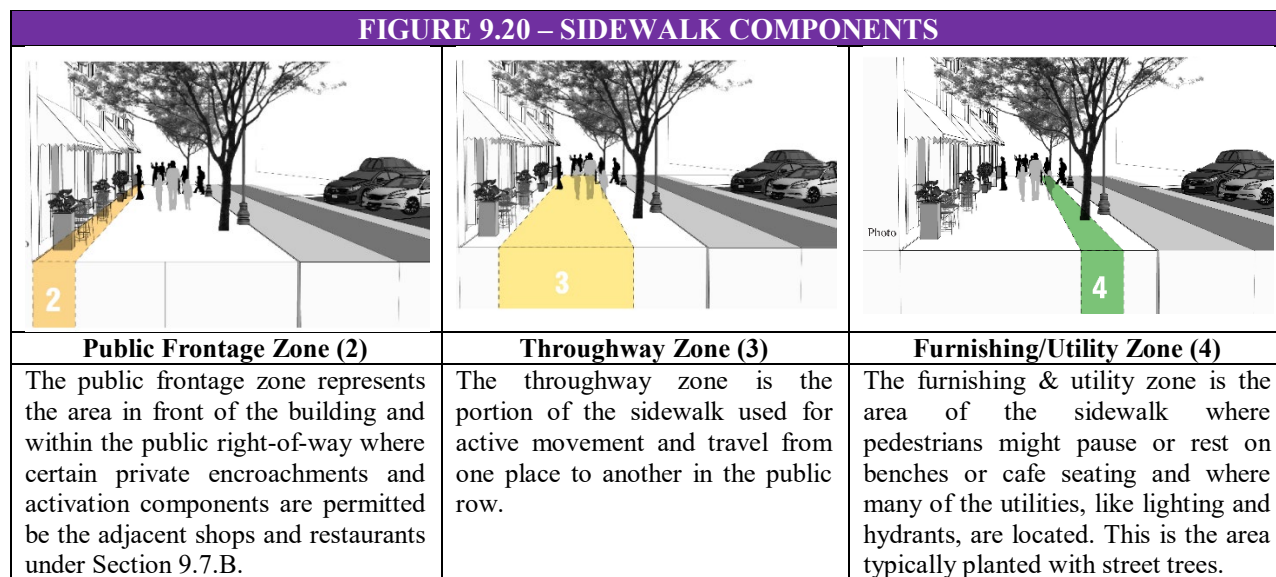
1. Street Design. Table 9.6 below provides design standards for streets in the Form-Based Districts.

TABLE 9.6 - PUBLIC REALM DESIGN STANDARDS

| A. Street Enclosure (façade to façade) | | | B. Right-Of-Way | |
|--|----------------------|-----------------------|------------------------------------|-------------------|
| C. Street Width (curb to curb) | | | 1. Building/Building Frontage Zone | |
| Street Component | Parkway | Village Center Street | Neighborhood Street | Access Street |
| Right-Of-Way (B) | 60 Ft Min. | 50 Ft Min. | 40 Ft. Min. | 24 Ft Min. |
| Vehicle Lanes (C) | | | | |
| Travel Lane (C-5) | 12 Min. | 11 Min. | 10 Min. | 10 Min. |
| Parking Lane (5) | Optional/5 Ft. Min. | 8 Min. | 1 Side or Informal | N/A |
| Bike Lanes | Optional/8 Ft. Min. | Optional/8 Ft. Min. | Sharrows/Informal | N/A |
| Multi-Purpose Path | Required | N/A | N/A | N/A |
| Public Frontage Zone (2) | Optional/20 Ft. Min. | Optional/4 Ft. Min. | N/A | N/A |
| Throughway Zone (3) | Optional/5 Ft. Min. | 5 Ft. Min. | 4 Ft Min. | 1 Side/4 Ft. Min. |
| Furnishing/Utility Zone (4) | 5 Ft. Min. | 5 Ft. Min | 4 Ft. Min. | N/A |
| Street Enhancement Zone (5) | Optional | Parking/Curb Ext. | N/A | N/A |

2. Vehicle Travel Lanes. Motor vehicle travel lanes may have a width between ten feet minimum and twelve feet maximum. No more than two motor vehicle travel lanes may be combined for any single direction of traffic flow.
3. On-Street Parking Lanes.
 - a. Motor vehicle parking lanes are required and must be eight feet wide minimum and twenty-two feet long maximum for perpendicular parking; and nine feet wide and eighteen feet long for diagonal parking.

- b. Diagonal on-street parking must be 45° angle parking and may be head-in or reverse-angle parking.
4. **Bike Lanes.** Bike lanes shall have a width minimum with of five feet. Bike lanes shall comply with the 2015 MassDOT Separated Bike Lane Planning & Design Guide.
5. **Sidewalks.** Sidewalks must include the Public Frontage Zone, Throughway (main walkway) and Furnishing Zone and may include a Public Frontage Zone as illustrated in Figure 9.20 below.



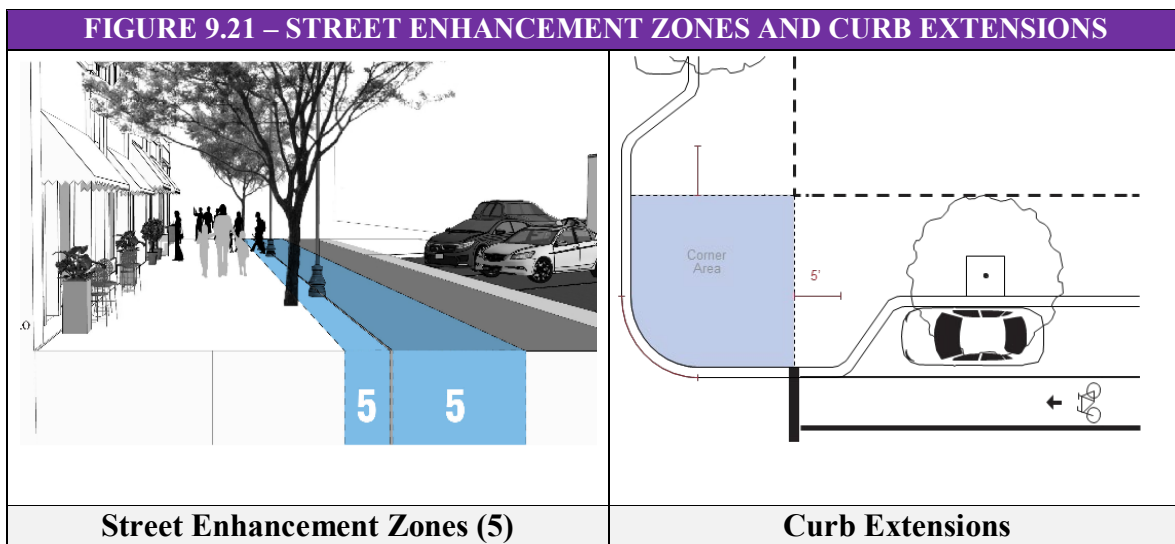
Sidewalk design standards are as follows:

- a. Throughway zones (i.e. “walkways”) must be concrete and a minimum of five feet in width.
 - b. Furnishing zones must be concrete with tree pits with grates and a minimum of four feet in width.
 - c. Edge zones must be concrete, brick, and stone materials with a granite curb and a minimum of two feet in width.
 - d. Public Frontage zones maybe used for Publicly Oriented Private Spaces and Building Activation Encroach in accordance with the standards in Section 9.7.B.
 - e. The pavement design of walkways must be continuous for the full length of each block face.
6. **Street Enhancement Zones.** The street enhancement zone includes on-street parking and potential pedestrian activity areas between the furnishing & utility zone and the edge of street and bicycle travel lanes. Components in this area include temporary uses like

parklets and food truck, which take over parking spaces, and permanent components like stormwater infiltration areas, bike racks and corrals, curb extensions, and crosswalks.

7. Curb Extensions (Bulb-Outs).

- a. Sidewalk extensions must occupy the full width of the parking lane they extend into.
- b. When a bike lane is present, sidewalk extensions must be set back so that the gutter does not extend into the bike lane.
- c. At corners, sidewalk extensions must run at least five feet from the corner area of the sidewalk as illustrated in Figure 9.21.
- d. At bus stops, sidewalk extensions must run at least fifty feet from the corner area of the sidewalk.

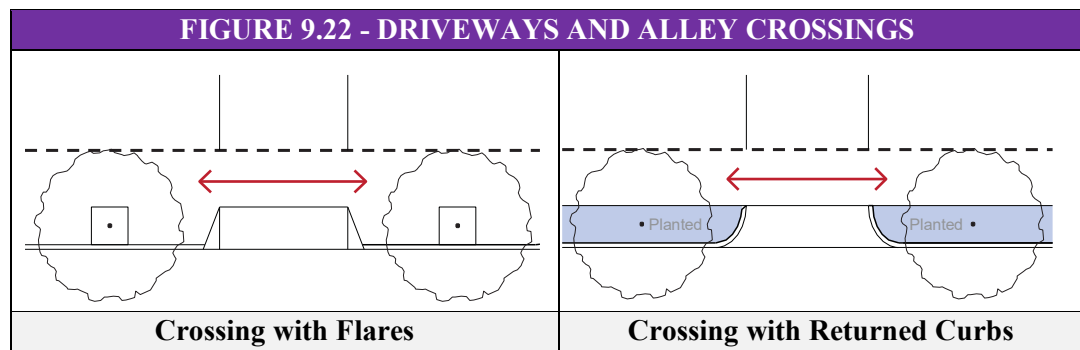


8. Street Trees.

- a. Planting strips must include street trees planted within the Furnishing Zone on average no greater than forty feet apart on center. Along Frontage Zones, street trees may be planted in an irregularly-spaced pattern to avoid visually obscuring storefront windows and signage.
- b. When planted, street trees must be a minimum height of ten feet and/or three inches in caliper.
- c. A minimum sixteen square feet open soil area must be left around each street tree, centered at the tree trunk. When level with an adjacent walkway, the soil area must be protected by six inch metal fencing and mulch must be applied to a minimum depth of three inches. When recessed below an adjacent walkway, open soil areas must be protected by metal tree grates.
- d. Sidewalks in front of terminated vistas and along civic space frontage may be granted a waiver from street tree requirements at the discretion of the PEDB.

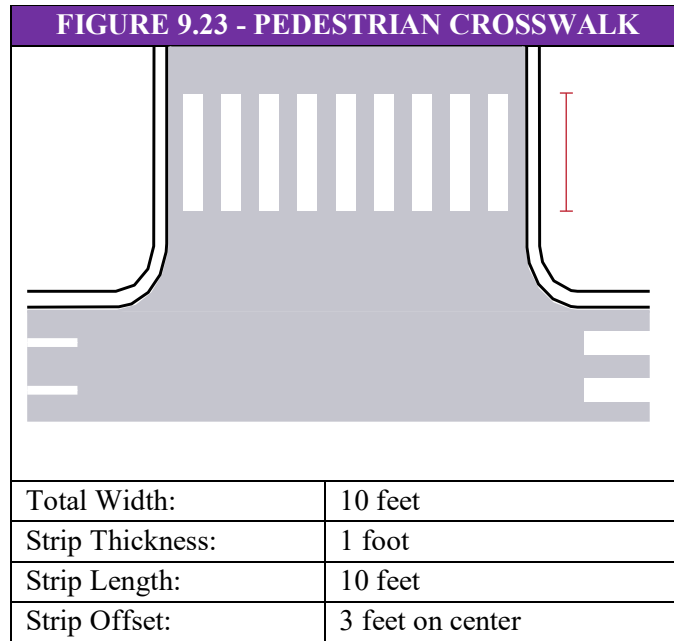
9. Driveway and Sidewalk Crossings.

- a. Driveway crossings traversing sidewalks with paved furnishing zones must be designed to maintain the grade and clear width of the walkway they cross and must include sloped flares on either side of the driveway apron as shown in Figure 9.19.
- b. Driveway crossings traversing sidewalks with continuously planted furnishing zones must be designed to maintain the grade and clear width of the walkway they cross and must include returned curbs as shown in Figure 9.22.
- c. The appearance of any walkway (i.e. scoring pattern or special paving) must be maintained across any driveway or alley to indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.
- d. Curb cuts may be no wider than the driveway or vehicular entrance they serve, excluding flares or returned curbs. Under no circumstances shall they be wider than 24 feet.



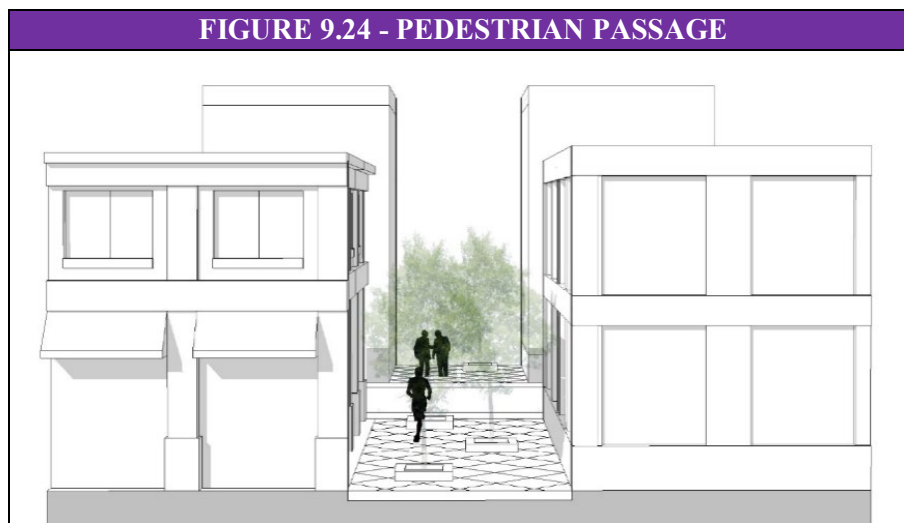
10. Pedestrian Crosswalks.

- a. Crosswalks must be designed as shown in Figure 9.23.
- b. The crosswalk pattern selected for the Form-Based District should be consistent with other areas in the Town of Medway. The preferred crosswalk pattern shall be determined by the DPS Director.
- c. Crosswalk markings must be aligned with the walkway of all adjacent sidewalks unless granted a waiver by the PEDB.
- d. Where the Throughway Zone (See Table 9.6) is wider than the prescribed width of the crosswalk, crosswalk markings should be widened to match the walkway of the sidewalk.



11. Pedestrian Passages.

- a. Pedestrian passages must connect the sidewalk of one Traveled Way to another on opposite side.
- b. Pedestrian passages may be designed with a covered atrium providing continuous protection from the elements or as an open air passage between buildings.
- c. Open air pedestrian passages must be at least ten feet in width, with a minimum eight foot wide paved walkway designed as a continuation of the sidewalks they connect, including materials and sidewalk furnishings.
- d. A covered pedestrian passage must be at least twenty feet in width.
- e. All pedestrian passages must be lighted using footlights, bollard lights, building lights, or street lights to provide for safety and visibility at night.



12. Multipurpose Pathways and Walking Trails.

- a. A multipurpose pathway is an independent pedestrian and bicycle way generally running through or parallel with parkways and streets and connecting building and development sites.
- b. Multipurpose pathways shall have a minimum width of 10 feet; be surfaced with asphalt or stone dust; and be connected directly with the sidewalk and street network.
- c. Walking trails are informal thoroughfares that connect building and development sites and should be cleared to a minimum width of 8 feet.

9.9 DENSITY AND BULK STANDARDS

A. Base Residential Density.

Buildings and Developments within a Form-Based District shall be subject to the following density standards:

| TABLE 9.7 - RESIDENTIAL DENSITY BY FORM-BASED ZONING DISTRICT | | | | |
|---|--|-------|------|---------|
| BUILDING TYPES | BY RIGHT/SPECIAL PERMIT UNITS PER ACRE | | | |
| | OGVC | OGN | OGBP | RESERVE |
| Workers Cottage (1 Detached SF Dwelling Unit) | N/A | 8/16 | N/A | |
| Single-Family Detached House (1 Dwelling Unit) | N/A | N/A | N/A | |
| Single-Family Attached House (1 Dwelling Unit) | 12/16 | 12/16 | N/A | |
| Paired House (2 or 3 Dwelling Units) | N/A | 12/16 | N/A | |
| Multi-Family Building (4 or More Dwelling Units) | 20/24 | 20/24 | N/A | |
| Live-Work/Shop House (1 Dwelling Unit) | 12/16 | N/A | N/A | |
| Mixed-Use Buildings (Commercial and Multi-Family Units) | 20/24 | 20/24 | N/A | |

B. Density Bonus Requirements.

1. General Requirement. The PEDB may, by Special Permit, allow higher density up to the maximum established on Table 9.7 above if certain Public Realm Improvements are made by the applicant that provide benefits to residents and businesses in the Development Site as well as to the Form-Based District, and surrounding area. If sufficient Public Realm Improvements are made, the PEDB shall make a written finding that the applicant will provide significant improvements providing a public benefit, in addition to those improvements necessary to meet the base density requirements of this bylaw.

2. Eligible Public Benefit Improvements. These improvements shall include on-site or off-site infrastructure improvements, streetscape improvements, open space or other amenities not otherwise required by any town board or agency, serving a public purpose, to be constructed in an attractive, context-sensitive, or pedestrian-oriented manner. Some eligible improvements include the following:
 - a. Improvements to designated Civic Zones for the purpose of enhancing publicly controlled active or passive recreation in desirable locations within the Form-Based District, in addition to the Outdoor Amenity Space required by this Section.
 - b. Land acquisition or donation to the Town or a designated non-profit agency for the purpose of publicly accessible active or passive recreation in desirable locations within the Form-Based District or surrounding area, in addition to the Outdoor Amenity Space required by this Section.
 - c. Sidewalks and pathways.
 - d. Streetscape improvements such as street trees and furnishings on public streets or contribution of land suitable for a public way or public streetscape improvements.
 - e. Public parking spaces and publicly-accessible parking facilities.
 - f. Additional affordable housing units above the number required by this Section.
3. Approval of Density Bonus Improvements. In order to make this determination, the following are required:
 - a. The applicant shall provide the PEDB with a written description of the intended improvements, the public benefit provided, significance to the Town, provision for maintenance if required, applicant's cost estimates, and a sketch plan showing the location and type, size and extent of improvements.
 - b. The PEDB may require a bond to cover the cost of any improvements that will be constructed, or a binding agreement approved by Town Counsel, to remain in place until the improvements are completed to the satisfaction of the Town.
 - c. A specific time frame for the completion of all required off-site improvements shall be incorporated as a condition of approval of the PEDB.
 - d. The applicant shall provide a list of all permits and approvals required relating to any proposed public benefit(s) with the application. These approvals shall be obtained prior to approval of the development, unless an exception for good cause is explicitly authorized by the PEDB.
 - e. The PEDB shall be under no obligation to grant such density bonus and may determine, in its sole discretion, whether the offered improvements are sufficient in nature, scope, cost or otherwise, to justify such bonus. The offer and commitment

by an applicant to provide all or any number of the above enumerated examples does not, in and of itself, justify or require the PEDB to grant such density bonus.

9.10 FORM-BASED DISTRICTS

The development and design standards of Section 9 apply to the designed Form-Based Districts listed below.

A. Oak Grove Park Village Center (OGVC)




| 1. BUILDING TYPES AND PROPERTY USE | | | 4. BLDG ACTIVATION ENCROACHMENTS | | |
|-------------------------------------|--|----|--|---------------------------------------|----|
| See Section 5.4 and 9.4.; Table 9.2 | | | See Sections 9.7.B.; Figure 9.19 | | |
| 1. | Single Family Detached House | N | 1. | Sidewalk Dining Terrace | P |
| 2. | Cottage | N | 2. | Storefront Display | P |
| 3. | Single Family Attached House | P | 3. | Sandwich Board Sign | P |
| 4. | Multi-Family Building | P | 4. | Projecting Sign and Banner | P |
| 5. | Live/Work Building | P | 5. | Awning | P |
| 6. | General Commercial Building | P | 6. | Balcony | P |
| 7. | Mixed Use Building | P | 7. | Bay Window | SP |
| 8. | Flex Space/Fabrication Building | P | 8. | Arcade | SP |
| 9. | Community and Civic Building | P | | | |
| 10. | Gas Backwards Building | SP | 5. SIGNS | | |
| 11. | Other Approved by PEDB | SP | See Section 7.2, Table 5, and 9.7.A. | | |
| | | | | | |
| 2. RESIDENTIAL DENSITY | | | 6. PARKING STANDARDS | | |
| See Section 9.9.; Table 9.7 | | | See Sections 7.1.1, and 9.5.E | | |
| | | | | | |
| 3. OUTDOOR AMENITY SPACES | | | 7. DEVELOPMENT TYPES | | |
| See Sections 9.6.; Table 9.5 | | | See Sections 7.1.1 and 9.5.B; Table 9.3 | | |
| 1. | Neighborhood Park/Preserve (CS, POPS) | P | 1. | Pocket Neighborhood (PN) | N |
| 2. | Common or Green (CS, POPS) | P | 2. | Mixed Use Development (MUD) | P |
| 3. | Recreation Field/Ball Court (CS, POPS) | P | 3. | General Residential Development (GRD) | P |
| 4. | Pathway (CS) | P | 4. | General Industrial Development (GID) | P |
| 5. | Pedestrian Passage (CS, POPS) | P | 5. | General Comm. Development (GCD) | P |
| 6. | Community Garden (CS, POPS, PS) | P | | | |
| 7. | Forecourt (POPS, PS) | P | | | |
| 8. | Courtyard (POPS, PS) | P | 8. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT | | |
| 9. | Plaza or Square (CS, POPS) | P | | | |
| 10. | Pocket Park or Playground (CS, POPS, PS) | P | | | |
| 11. | Outdoor Dining Terrace (POPS) | P | | | |
| 12. | Rooftop Terrace or Garden (POPS, PS) | P | | | |
| 13. | Common Yard and Garden (PS) | P | | | |
| 14. | Dooryard | P | | | |
| 15. | Other Approved by PEDB | SP | | | |

B. Oak Grove Park Business Park (OGP-BP)



| 1. BUILDING TYPES AND PROPERTY USE | | | 4. BLDG ACTIVATION ENCROACHMENTS | | |
|-------------------------------------|--|----|--|---------------------------------------|---|
| See Section 5.4 and 9.4.; Table 9.2 | | | See Sections 9.7.B.; Figure 9.19 | | |
| 1. | Single Family Detached House | N | 1. | Sidewalk Dining Terrace | P |
| 2. | Cottage | N | 2. | Storefront Display | P |
| 3. | Single Family Attached House | N | 3. | Sandwich Board Sign | N |
| 4. | Multi-Family Building | N | 4. | Projecting Sign and Banner | P |
| 5. | Live/Work Building | N | 5. | Awning | P |
| 6. | General Commercial Building | P | 6. | Balcony | N |
| 7. | Mixed Use Building | N | 7. | Bay Window | N |
| 8. | Flex Space/Fabrication Building | P | 8. | Arcade | N |
| 9. | Community and Civic Building | SP | | | |
| 10. | Gas Backwards Building | N | 5. SIGNS | | |
| 11. | Other Approved by PEDB | SP | See Section 7.2, Table 6, and 9.7.A. | | |
| | | | | | |
| 2. RESIDENTIAL DENSITY | | | 6. PARKING STANDARDS | | |
| See Section 9.9.; Table 9.7 | | | See Sections 7.1.1, and 9.5.E | | |
| | | | | | |
| 3. OUTDOOR AMENITY SPACES | | | 7. DEVELOPMENT TYPES | | |
| See Sections 9.6.; Table 9.5 | | | See Sections 7.1.1 and 9.5.B; Table 9.3 | | |
| 1. | Neighborhood Park/Preserve (CS, POPS) | P | 1. | Pocket Neighborhood (PN) | N |
| 2. | Common or Green (CS, POPS) | P | 2. | Mixed Use Development (MUD) | N |
| 3. | Recreation Field/Ball Court (CS, POPS) | P | 3. | General Residential Development (GRD) | N |
| 4. | Pathway (CS) | P | 4. | General Industrial Development (GID) | P |
| 5. | Pedestrian Passage (CS, POPS) | P | 5. | General Comm. Development (GCD) | P |
| 6. | Community Garden (CS, POPS, PS) | P | | | |
| 7. | Forecourt (POPS, PS) | P | | | |
| 8. | Courtyard (POPS, PS) | P | 8. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT | | |
| 9. | Plaza or Square (CS, POPS) | P | | | |
| 10. | Pocket Park or Playground (CS, POPS, PS) | P | | | |
| 11. | Outdoor Dining Terrace (POPS) | P | | | |
| 12. | Rooftop Terrace or Garden (POPS, PS) | P | | | |
| 13. | Common Yard and Garden (PS) | P | | | |
| 14. | Dooryard | P | | | |
| 15. | Other Approved by PEDB | SP | | | |

C. Oak Grove Park Neighborhood (OGP-N)



| 1. BUILDING TYPES AND PROPERTY USE | | | 4. BLDG ACTIVATION ENCROACHMENTS | | |
|-------------------------------------|--|----|--|---------------------------------------|---|
| See Section 5.4 and 9.4.; Table 9.2 | | | See Sections 9.7.B.; Figure 9.19 | | |
| 1. | Single Family Detached House | N | 1. | Sidewalk Dining Terrace | N |
| 2. | Cottage | Y | 2. | Storefront Display | N |
| 3. | Single Family Attached House | Y | 3. | Sandwich Board Sign | N |
| 4. | Multi-Family Building | Y | 4. | Projecting Sign and Banner | N |
| 5. | Live/Work Building | N | 5. | Awning | P |
| 6. | General Commercial Building | N | 6. | Balcony | P |
| 7. | Mixed Use Building | N | 7. | Bay Window | P |
| 8. | Flex Space/Fabrication Building | N | 8. | Arcade | P |
| 9. | Community and Civic Building | P | | | |
| 10. | Gas Backwards Building | N | 5. SIGNS | | |
| 11. | Other Approved by PEDB | SP | See Section 7.2, Table 5, and 9.7.A. | | |
| 2. RESIDENTIAL DENSITY | | | 6. PARKING STANDARDS | | |
| See Section 9.9.; Table 9.7 | | | See Sections 7.1.1, and 9.5.E | | |
| 3. OUTDOOR AMENITY SPACES | | | 7. DEVELOPMENT TYPES | | |
| See Sections 9.6.; Table 9.5 | | | See Sections 7.1.1 and 9.5.B; Table 9.3 | | |
| 1. | Neighborhood Park/Preserve (CS, POPS) | P | 1. | Pocket Neighborhood (PN) | P |
| 2. | Common or Green (CS, POPS) | P | 2. | Mixed Use Development (MUD) | N |
| 3. | Recreation Field/Ball Court (CS, POPS) | P | 3. | General Residential Development (GRD) | P |
| 4. | Pathway (CS) | P | 4. | General Industrial Development (GID) | N |
| 5. | Pedestrian Passage (CS, POPS) | P | 5. | General Comm. Development (GCD) | N |
| 6. | Community Garden (CS, POPS, PS) | P | | | |
| 7. | Forecourt (POPS, PS) | P | | | |
| 8. | Courtyard (POPS, PS) | P | 8. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT | | |
| 9. | Plaza or Square (CS, POPS) | P | | | |
| 10. | Pocket Park or Playground (CS, POPS, PS) | P | | | |
| 11. | Outdoor Dining Terrace (POPS) | P | | | |
| 12. | Rooftop Terrace or Garden (POPS, PS) | P | | | |
| 13. | Common Yard and Garden (PS) | P | | | |
| 14. | Dooryard | P | | | |
| 15. | Other Approved by PEDB | SP | | | |