

HENRY GARNSEY CONDOMINIUMS MEDWAY, MA SITE PLAN



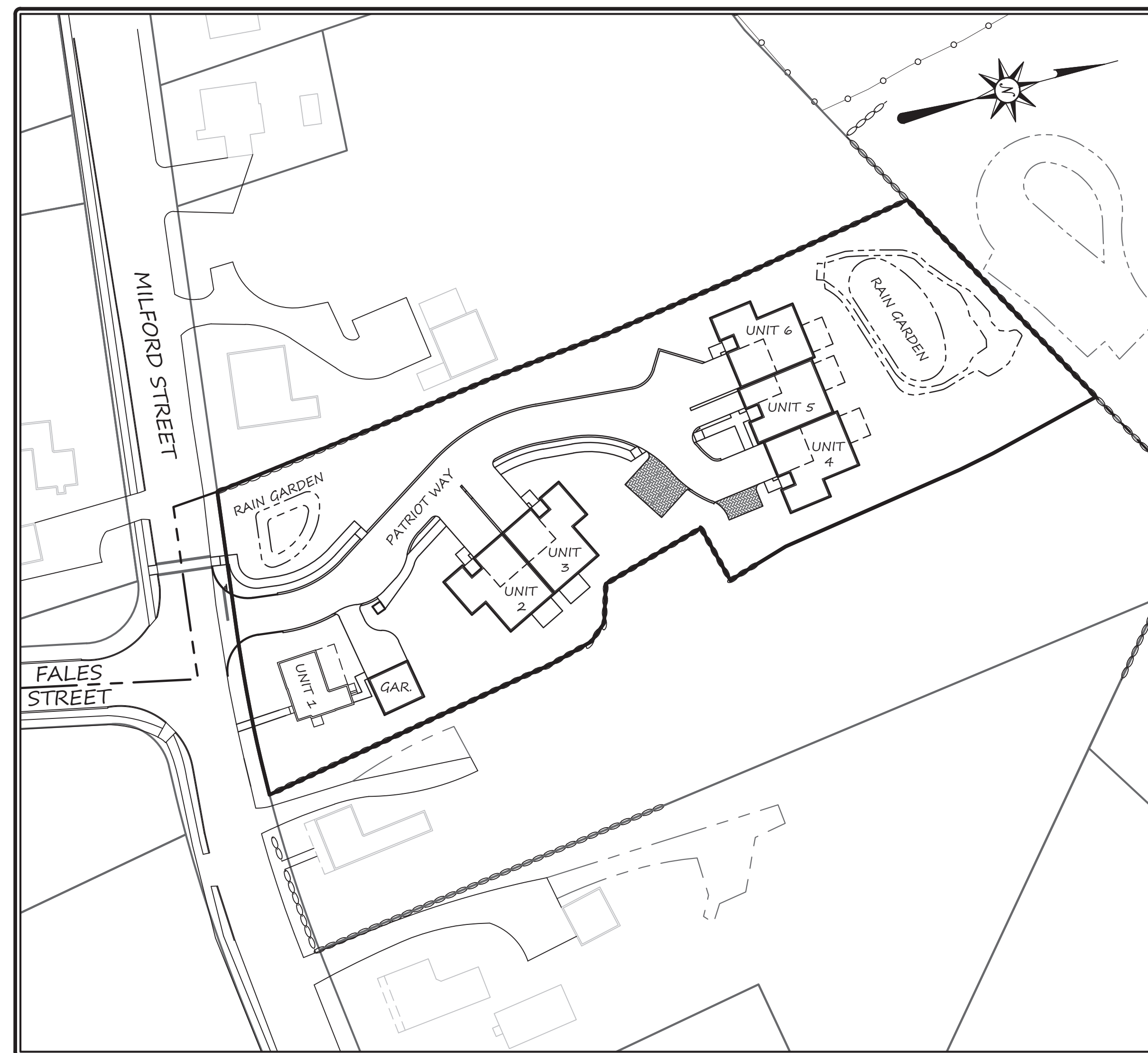
Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2024.11.21 12:20:53 -05'00'

FOR REGISTRY USE

PREPARED BY:
LEGACY ENGINEERING LLC
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

OCTOBER 7, 2024

PREPARED FOR:
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756



LOCUS
SCALE: 1" = 50'

SHEET LEGEND

C-0: COVER SHEET
C-1: SITE CONTEXT SHEET
C-2: EXISTING CONDITIONS
C-4: LAYOUT SHEET
C-5: GRADING & DRAINAGE
C-6: UTILITIES SHEET
C-7: LIGHTING SHEET
C-8: EROSION CONTROL
C-9: DETAILS
C-10: DETAILS
C-11: DETAILS
DUPLEX PLANS
A-1: PERSPECTIVE
A-2: ELEVATIONS
A-3: ELEVATIONS
A-4: BASEMENT
A-5: 1ST FLOOR
A-6: 2ND FLOOR
TRIPLEX PLANS
A-1: PERSPECTIVE
A-2: ELEVATIONS
A-3: ELEVATIONS
A-4: BASEMENT
A-5: 1ST FLOOR
A-6: 2ND FLOOR
LANDSCAPE PLANS
L1: SITE PLANTING PLAN
L2: UNIT 1, 2, & 3 PLANTING PLAN
L3: UNIT 4, 5, & 6 PLANTING PLAN
D1: PLANTING DETAILS
D2: PLANTING SPECIFICATIONS

WAIVER LIST

NO WAIVERS ARE REQUESTED AT THIS TIME

OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
OVERLAY DISTRICT (MHOD)
RABBIT HILL NATIONAL
REGISTER HISTORIC DISTRICT

ASSESSORS PARCEL
47-113

DEED REFERENCE
BOOK 41922, PAGE 504

I HEREBY CERTIFY THAT THE PROPERTY
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REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

PLAN SCALE: AS NOTED

PLAN DATE: OCTOBER 7, 2024

HENRY GARNSEY
CONDOMINIUMS
COVER SHEET
PLAN OF LAND
IN MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-0



LEGACY
ENGINEERING

300' ABUTTERS:

- 47-097

TOMMY NGA HONG CHAN

23 HIGHLAND STREET
- 47-098

CHRISTIAN P. HOCKEY

SARAH L. HOCKEY

21 HIGHLAND STREET
- 47-099

ERIC S. COOK

19 HIGHLAND STREET
- 47-100

VINCENT A. BOCZANOWSK

117 HIGHLAND STREET
- 47-101

NORA LORD

JASON LORD

15 HIGHLAND STREET
- 47-102

CHRISTOPHER MULKERRIN

JENNIFER LYNN MULKERRIN

13 HIGHLAND STREET
- 47-110

SHELLY M. SANRICCA

MICHAEL D. DANIELE

10 MILFORD STREET
- 47-111

CYNTHIA WILLETTE

BEMIS C. HERBET

16 MILFORD STREET
- 47-112

MICHAEL MEUSE

MADISON BROSLER

18 MILFORD STREET
- 47-114

DENISE M. PARCHESKY

22 MILFORD STREET
- 47-115

MARK E. ROBINSON

LISA M. ROBINSON

26 MILFORD STREET
- 57-008

LORI ANN MOSHER

24 MILFORD STREET
- 57-010

JONATHAN C. HATOSY

25 MILFORD STREET
- 57-018

EILEEN T. CADOGAN

21 MILFORD STREET
- 57-019

SANJAY K. DESAI

ARPITA S. DESAI

2 FALES STREET
- 57-020

PEARL REALTY TRUST

ROBERT S. & DOROTHY L. PEARL, TTEES

4 FALES STREET
- 57-024

MICHAEL J. NORTHCOTT

KAREN L. NORTHCOTT

3 FALES STREET
- 57-0251

FALES STREET REALTY TRUST

SHARLENE K. HARRIS, TR

1 FALES STREET
- 57-026

DAVID A. DIGIAMMERINO

15 MILFORD STREET
- 57-027

BEMIS REALTY TRUST

LAWRENCE BEMIS, TR.

13 MILFORD STREET
- 57-028

MARA HACKETT

FRANCIS HACKETT

11 MILFORD STREET



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2024.11.21 12:20:23 -05'00'

NOTES:

1. REFER TO SHEET C-2 FOR SITE PROPERTY LINE AND TOPOGRAPHICAL DATA. THERE ARE NO EASEMENTS ON THE LOCUS.

FOR REGISTRY USE



LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
CB: DOUBLE-GRATE CATCH BASIN
PTU xxx: PROPRIETARY STORMWATER UNIT
DMH: DRAIN MANHOLE
TR: TRENCH DRAIN
INFL: INFILTRATION TRENCH
X" D: DRAIN PIPELINE
RCP: REINFORCED CONCRETE PIPE
PVC: POLYVINYL CHLORIDE PIPE
SMH: SEWER MANHOLE
X" S: SEWER PIPELINE
C.O.: SEWER SERVICE CLEANOUT
X" W: WATER MAIN
HYD: HYDRANT
G.V.: WATER GATE VALVE
C.S.: WATER SERVICE CURB STOP
M.B.: WATER SERVICE METER BOX
G: GAS PIPELINE
E: ELECTRIC CONDUIT
L.P.: LIGHT POLE
U.P.: UTILITY POLE
G.W.: GUY WIRE
S.P.: TRAFFIC SIGNAL POLE
E.O.P.: EXISTING CONTOUR
P.P.S.: PROPOSED CONTOUR
E.O.P.: INTEGRAL SLOPED BIT. BERM
V.B.B.: VERTICAL BITUMINOUS BERM
S.G.C.: SLOPED GRANITE CURB
V.G.C.: VERTICAL GRANITE CURB
V.C.C.: VERTICAL CONCRETE CURB
E.C.S.: EDGE CONCRETE SLAB
G.V.: GATE VALVE
C.L.F.: CHAIN LINK FENCE
W.S.F.: WOOD STOCKADE FENCE
P.P.F.: PVC PICKET FENCE
G.R.: GUARD RAIL
C.C.: HANDICAP CURB CUT

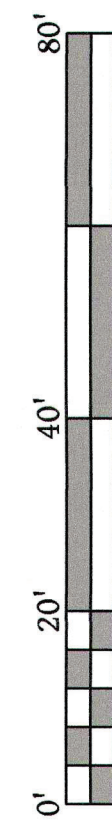
BENCHMARK TABLE	
BM #1	N/A
BM #2	TOP OF HYDRANT SPINDLE ELEV. = 270.06 (NAVD88)
BM #3	NAIL SET IN 30" APPLE TREE ELEV. = 278.66 (NAVD88)
BM #4	NAIL SET IN 10" MAPLE TREE ELEV. = 269.73 (NAVD88)
BM #5	NAIL SET IN 30" PINE TREE ELEV. = 260.35 (NAVD88)



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2024.11.21 12:19:48 -05'00'

FOR REGISTRY USE

PLAN SCALE: 1" = 20'



OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
OVERLAY DISTRICT (MHOD)
RABBIT HILL NATIONAL
REGISTER HISTORIC DISTRICT

ASSESSORS PARCEL
47-113

DEED REFERENCE
BOOK 41922, PAGE 504

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I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: 11-19-2024

Anthony M. Dellorco
REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

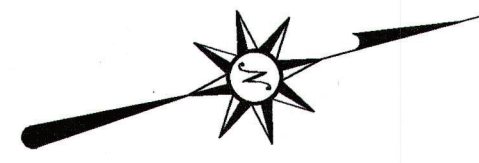
C-2



LEGACY
ENGINEERING

EXISTING CONDITION NOTES:

- THE LOCATION OF EXISTING UTILITIES IS BASED ON AVAILABLE INFORMATION SUCH AS SURFACE FEATURES AND RECORD PLANS. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE, ARE NOT WARRANTED TO BE CORRECT, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONDUCTING ANY EXCAVATION ON THE SITE.
- OFFSITE FEATURES SUCH AS BUILDING, PAVING LIMITS, UTILITIES, ETC., ARE APPROXIMATE ONLY AND BASED ON MASSGIS AERIAL PHOTOGRAPHS.

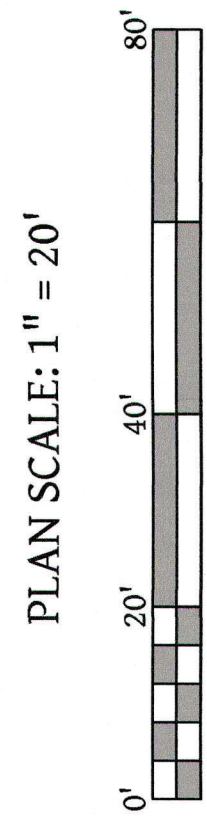


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Date: 2024.11.21 12:19:06 -05'00'

ZONING REQUIREMENTS			
	VILLAGE-RESIDENTIAL	EXISTING	PROPOSED
MIN. LOT AREA	30,000 S.F.	68,039± S.F.	
MIN. FRONTAGE	150'	168.91'	
SHAPE FACTOR	P=2/A=22	15.8 (W/ IMAGINARY LINE)	
FRONT YARD	20'	19.3'	
SIDE YARD	10'	9.7'	13.0'
REAR YARD	10'	397.9'	84.7'
MAX BLDG. HEIGHT	35'	35'	
IMP. COVERAGE	40%	5.4%	34.2%
OPEN SPACE	15%	94.6%	65.8%

* EXISTING NONCONFORMING

FOR REGISTRY USE



REVISION	DATE	BY

HENRY GARNSEY
CONDOMINIUMS
LAYOUT
PLAN OF LAND
IN MEDWAY, MA

OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
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DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-3



LANDSCAPING NOTES

- SEE LANDSCAPING PLAN BY HAWK DESIGN, INC.

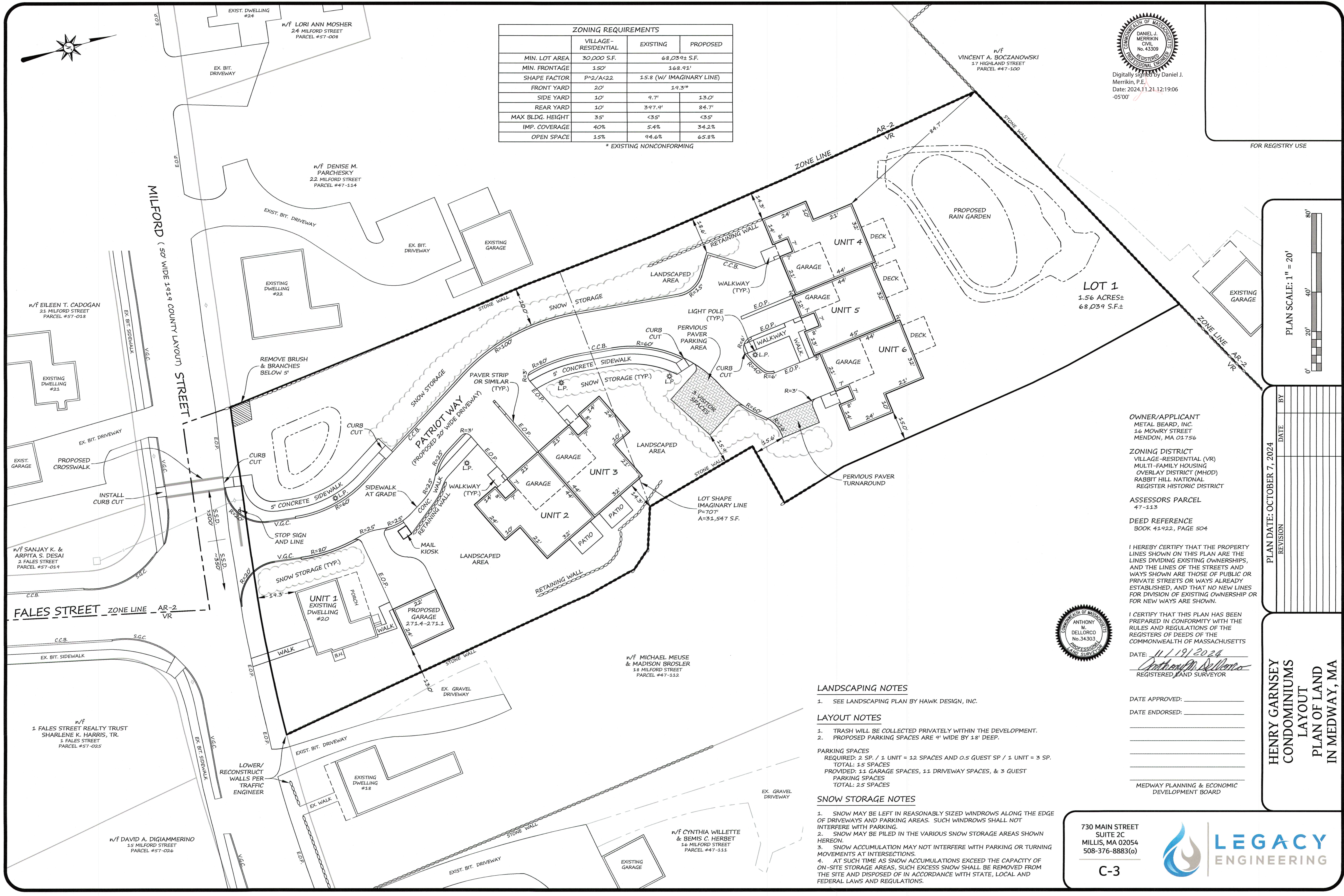
LAYOUT NOTES

- TRASH WILL BE COLLECTED PRIVATELY WITHIN THE DEVELOPMENT.
- PROPOSED PARKING SPACES ARE 9' WIDE BY 18' DEEP.

PARKING SPACES
REQUIRED: 2 SP. / 1 UNIT = 12 SPACES AND 0.5 GUEST SP / 1 UNIT = 3 SP.
TOTAL: 15 SPACES
PROVIDED: 11 GARAGE SPACES, 11 DRIVEWAY SPACES, & 3 GUEST
PARKING SPACES
TOTAL: 25 SPACES

SNOW STORAGE NOTES

- SNOW MAY BE LEFT IN REASONABLY SIZED WINDROWS ALONG THE EDGE OF DRIVEWAYS AND PARKING AREAS. SUCH WINDROWS SHALL NOT INTERFERE WITH PARKING.
- SNOW MAY BE PILED IN THE VARIOUS SNOW STORAGE AREAS SHOWN HEREON.
- SNOW ACCUMULATION MAY NOT INTERFERE WITH PARKING OR TURNING MOVEMENTS AT INTERSECTIONS.
- AT SUCH TIME AS SNOW ACCUMULATIONS EXCEED THE CAPACITY OF ON-SITE STORAGE AREAS, SUCH EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL LAWS AND REGULATIONS.





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Date: 2024.11.21 12:16:49 -05'00'

FOR REGISTRY USE

PLAN SCALE: 1" = 20'



PLAN DATE: OCTOBER 7, 2024

REVISION	DATE	BY

HENRY GARNSEY
CONDOMINIUMS
GRADING & DRAINAGE
PLAN OF LAND
IN MEDWAY, MA

OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
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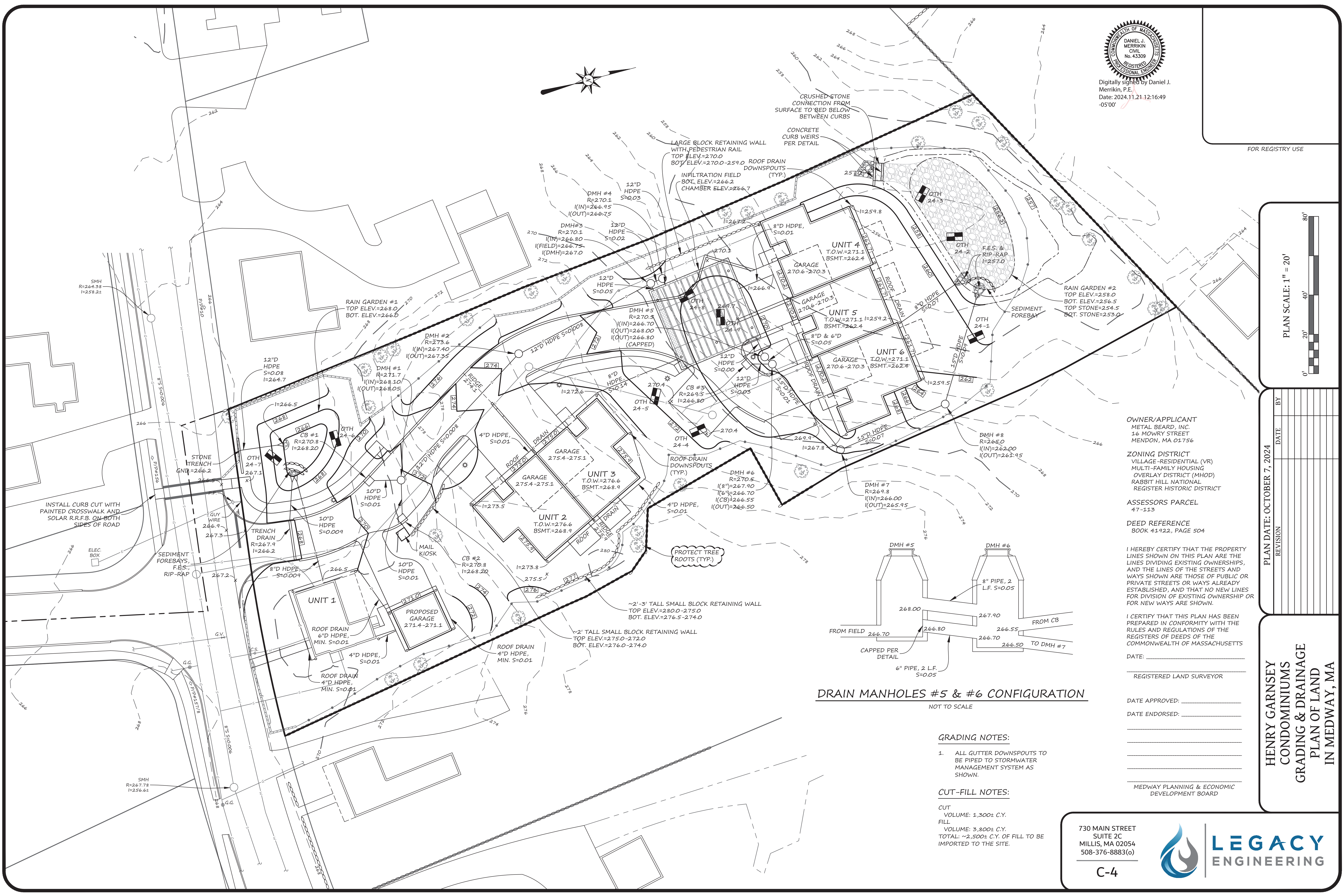
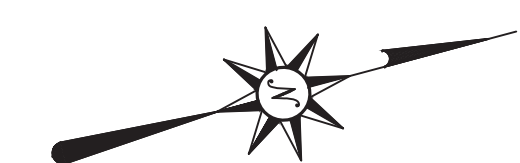
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-4



LEGACY
ENGINEERING



DRAIN MANHOLES #5 & #6 CONFIGURATION

NOT TO SCALE

GRADING NOTES:

- ALL GUTTER DOWNSPOUTS TO BE PIPED TO STORMWATER MANAGEMENT SYSTEM AS SHOWN.

CUT-FILL NOTES:

CUT
VOLUME: 1,300± C.Y.
FILL
VOLUME: 3,800± C.Y.
TOTAL: ~2,500± C.Y. OF FILL TO BE IMPORTED TO THE SITE.



FOR REGISTRY USE



PLAN DATE: OCTOBER 7, 2024

HENRY GARNSEY
CONDOMINIUMS
UTILITIES
PLAN OF LAND
IN MEDWAY, MA

OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

UTILITY NOTES:

1. DOMESTIC WATER SERVICES SHALL BE 1" TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT. THE PROJECT ARCHITECT SHALL VERIFY THE DOMESTIC, IRRIGATION AND FIRE WATER SERVICE PIPE SIZE REQUIREMENTS FOR THE BUILDINGS.
2. WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
3. SEWER SERVICES SHALL BE 6-INCH SDR35 PIPE WITH A MIN. SLOPE OF 2% IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
4. DRAINAGE PIPING SHALL BE HDPE RATED FOR H₂O LOADING. (ADS N12 OR EQUAL)
5. ROOF DOWNSPOUT PIPING SHALL BE HDPE, MIN. SLOPE = 0.5%.
6. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER (IF NEEDED). CONDUITS TO PROPOSED LIGHT POLES SHALL BE DESIGNED BY THE ARCHITECT.
7. WATER AND SEWER LINES SHALL BE SEPARATED BY AT LEAST 10 FEET.

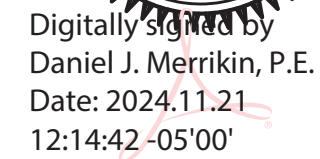
730 MAIN STREET
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C-5

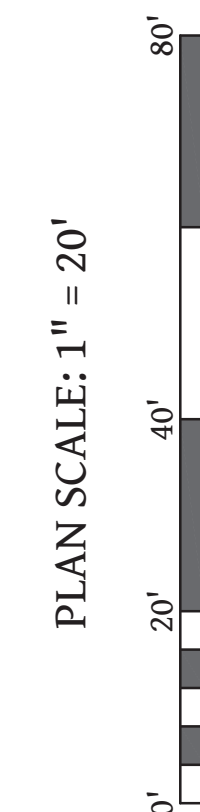


LEGACY
ENGINEERING

LUMINAIRE SCHEDULE						
CALLOUT	SYMBOL	QUANTITY	LAMP	MOUNTING	MOUNTING HEIGHT	MODEL
P1	⊗	6	LED	POST	10'	AMERILUX D623-FDR FULL-CUTOFF FIXTURE



FOR REGISTRY USE



PLAN DATE: OCTOBER 7, 2024

HENRY GARNSEY
CONDOMINIUMS
LIGHTING
PLAN OF LAND
IN MEDWAY, MA

OWNER/APPLICANT
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16 MOWRY STREET
MENDON, MA 01756

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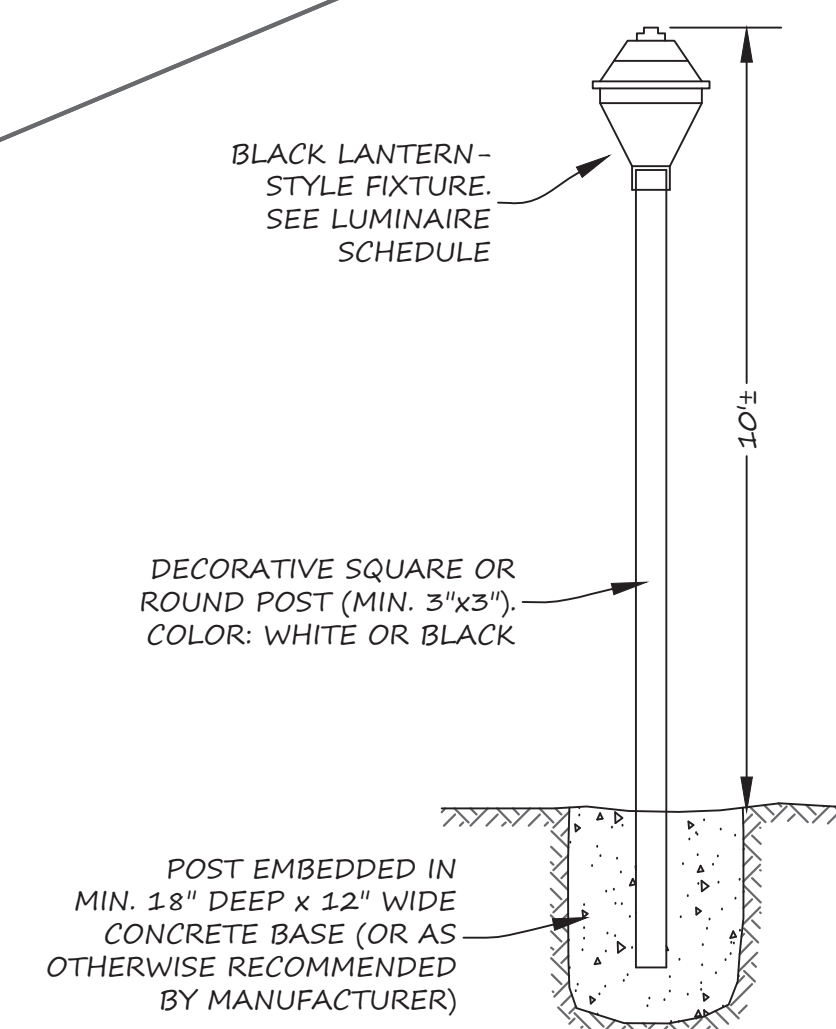
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DEVELOPMENT BOARD

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LEGACY
ENGINEERING

C-6



SEDIMENT & EROSION CONTROL NOTES

GENERAL

1. IF APPLICABLE (I.E. >1 ACRE OF DISTURBANCE), FOR COMPLETE EROSION CONTROL AND CONSTRUCTION ACTIVITY GUIDANCE, REFER TO THE STORMWATER POLLUTION PREVENTION PLAN ("SWPPP"), OTHERWISE FOLLOW THE SITE PLAN.
2. FOR SWPPP PROJECTS, A NOTICE SHALL BE POSTED VISIBLE FROM A PUBLIC RIGHT-OF-WAY WITH CONTACT INFORMATION AND INSTRUCTIONS TO FIND A COPY OF THE SWPPP.

PHASING AND CONSTRUCTION SEQUENCE

1. PHASE 1 - CONSTRUCTION SEQUENCE
 - 1.1. STAKEOUT AND INSTALL EROSION AND PERIMETER CONTROLS (WHICH WILL DELINEATE THE LIMIT OF WORK FOR THE PROJECT);
 - 1.2. DEMARCATATE THE LOCATION OF EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA;
 - 1.3. CLEAR THE PROPOSED ENTRY AREAS AND INSTALL THE CONSTRUCTION ENTRANCE APRON(S);
 - 1.4. CLEAR AND GRUB THE DEVELOPMENT AREA;
 - 1.5. STRIP AND STOCKPILE TOPSOIL;
 - 1.6. COMMENCE ROUGH GRADING TO SUB-GRADE ELEVATIONS;
 - 1.7. INSTALL BUILDING FOUNDATION(S) AND BEGIN BUILDING CONSTRUCTION;
 - 1.8. INSTALL NEW SITE UTILITIES, INCLUDING THE STORMWATER MANAGEMENT SYSTEM;
 - 1.9. COMPLETE CONSTRUCTION OF NEW BUILDING(S);
 - 1.10. PAVE THE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE) TO BINDER COURSE;
 - 1.11. LOAM, SEED, AND STABILIZE DISTURBED AREAS, INCLUDING ALL SITE LANDSCAPING;
 - 1.12. CLEANOUT ALL CATCH BASINS AND NEW STORMWATER BMPs IN THE PORTION OF THE SITE AFFECTED BY CONSTRUCTION ACTIVITIES AFTER THE SITE IS FULLY STABILIZED.

PERIMETER EROSION CONTROL AND SEDIMENT CONTROLS

1. PERIMETER EROSION AND SEDIMENT CONTROL BARRIERS WILL BE PROVIDED, INSTALLED, AND MAINTAINED DOWNSTREAM OF ALL PROPOSED CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SWPPP (IF APPLICABLE), THE SITE PLAN, AND ALL PERMITS ISSUED FOR THE SITE DEVELOPMENT. SUCH CONTROLS MUST BE INSTALLED BEFORE ANY EARTH-DISTURBING ACTIVITIES OCCUR ON THE SITE IN QUESTION. EROSION AND SEDIMENT CONTROLS MAY BE INSTALLED IN PHASES SO LONG AS IT PRECEDES ANY EARTH-DISTURBING ACTIVITIES WITHIN THE CONTROLS' UPSTREAM WATERSHED.
2. SEDIMENT SHALL BE REMOVED ALONG SUCH CONTROLS ON A REGULAR BASIS. IN NO CASE, SHALL SEDIMENT BE ALLOWED TO REACH A DEPTH EQUAL TO ONE HALF OF THE ABOVE GROUND HEIGHT OF THE EROSION CONTROL DEVICE.

SITE ACCESS CONTROLS

1. CONSTRUCTION VEHICLES WILL USE DESIGNATED ENTRY POINTS FOR EACH SITE. CRUSHED STONE OR RIP-RAP ENTRY APRON(S) WILL BE INSTALLED AND PROPERLY MAINTAINED DURING CONSTRUCTION UNTIL THE SITE IS PAVED. ALL CONSTRUCTION ACCESS WILL BE VIA THE FRONTAGE PUBLIC ROAD STREET, WHICH WILL BE KEPT CLEAN AND SWEEPED AS NEEDED TO MINIMIZE THE TRACKING OF SOILS AND DUST FROM THE SITE.

STOCKPILED SOILS

1. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 24 HOURS SHALL BE SURROUNDED WITH A LINE OF SILT FENCE OR COMPOST SOCK TO PREVENT THE PILES FROM ERODING INTO THE SITE AND TO DISCOURAGE ON-SITE RUNOFF FROM ERODING THE STOCKPILES. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 14 DAYS SHALL BE STABILIZED TEMPORARILY. DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT WIND EROSION OF THE STOCKPILES.

DUST CONTROL

1. DUST CONTROL MEASURES WILL BE IMPLEMENTED REGULARLY TO PREVENT THE OFF-SITE DEPOSITION OF WIND-ERODED SOILS. THE PRINCIPAL FORM OF DUST CONTROL WILL BE WATER APPLICATION.

DISTURBANCE OF STEEP SLOPES

1. CONTRACTORS MUST PAY CAREFUL ATTENTION TO STEEP SLOPES AND MUST IMPLEMENT ADDITIONAL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING WORK ON STEEP SLOPES TO PREVENT EROSION. INSTALL EROSION CONTROL BLANKETS IF NEEDED.

SOIL COMPACTION

1. AREAS DESIGNATED FOR FINAL VEGETATIVE SURFACES OR CONSTRUCTION-STAGE OR FINAL STORMWATER INFILTRATION PRACTICES SHALL BE PROTECTED FROM EXCESSIVE COMPACTION BY RESTRICTING VEHICLE ACCESS AND THE TYPES OF EQUIPMENT THAT MAY BE USED IN SUCH AREAS. PRIOR TO SEEDING/PLANTING OF SUCH AREAS, EXPOSED SOIL THAT HAS BEEN COMPACTED SHALL BE LOOSENEED BY TILLING OR OTHER SIMILAR METHODS. CONDITIONING SHALL CONSIST OF DEEP TILLING WITH A ROTARY TILLER, DISC HARROWING, OR MANUAL LOOSENING AND RE-GRADING WITH AN EXCAVATOR BUCKET. CONDITIONING SHALL EXTEND TO A DEPTH OF AT LEAST 12-INCHES.

PROTECTION OF STORM DRAIN INLETS

1. ALL STORM DRAIN SYSTEM INLETS INSIDE OF PERIMETER CONTROLS SHALL BE PROTECTED WITH SEDIMENT CONTROL MEASURES DESIGNED TO REMOVE SEDIMENT FROM STORMWATER PRIOR TO ENTERING THE INLET. CATCH BASINS ALONG THE STREET FRONTAGE SHALL ALSO BE PROTECTED. SUCH MEASURES SHALL BE PERIODICALLY MAINTAINED AND REPLACED AS NEEDED TO ENSURE THEIR PROPER FUNCTIONALITY. SEDIMENT SHALL BE REMOVED DAILY WHERE FOUND.

TEMPORARY STABILIZATION

1. FOR PERMANENTLY OR TEMPORARILY (14 DAYS) CEASED CONSTRUCTION ACTIVITIES, TEMPORARY SOIL STABILIZATION MEASURES WILL BE EMPLOYED AS SOON AS PRACTICABLE BUT NO LONGER THAN 14 CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED. WHERE APPLICABLE, SEE THE SWPPP FOR ADDITIONAL REQUIREMENTS.

MAINTENANCE OF EROSION & SEDIMENT CONTROL MEASURES

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION ACTIVITY AND UNTIL SUCH TIME AS THE UPSTREAM AREAS ACHIEVE FINAL STABILIZATION. SEDIMENT WILL BE REMOVED ALONG PERIMETER EROSION CONTROLS WHEN THE DEPTH EXCEEDS FOUR-INCHES. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF SITE INSPECTIONS IDENTIFY CONTROL MEASURES THAT ARE NOT OPERATING EFFECTIVELY OR FINDS OTHER PROBLEMS, THE CONTRACTOR MUST:
 - 1.1. INITIATE WORK TO CORRECT THE PROBLEM IMMEDIATELY UPON DISCOVERY AND COMPLETE THE WORK BY THE CLOSE OF THE NEXT WORK DAY IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE;
 - 1.2. FOR MORE SIGNIFICANT REPAIRS OR WHERE INSPECTIONS DETERMINE THAT ADDITIONAL EROSION AND SEDIMENT CONTROLS ARE NEEDED, SUCH WORK MUST BE COMPLETED AND OPERATION NO LATER THAN 7 CALENDAR DAYS AFTER DISCOVERY OF THE PROBLEM.

POLLUTION PREVENTION

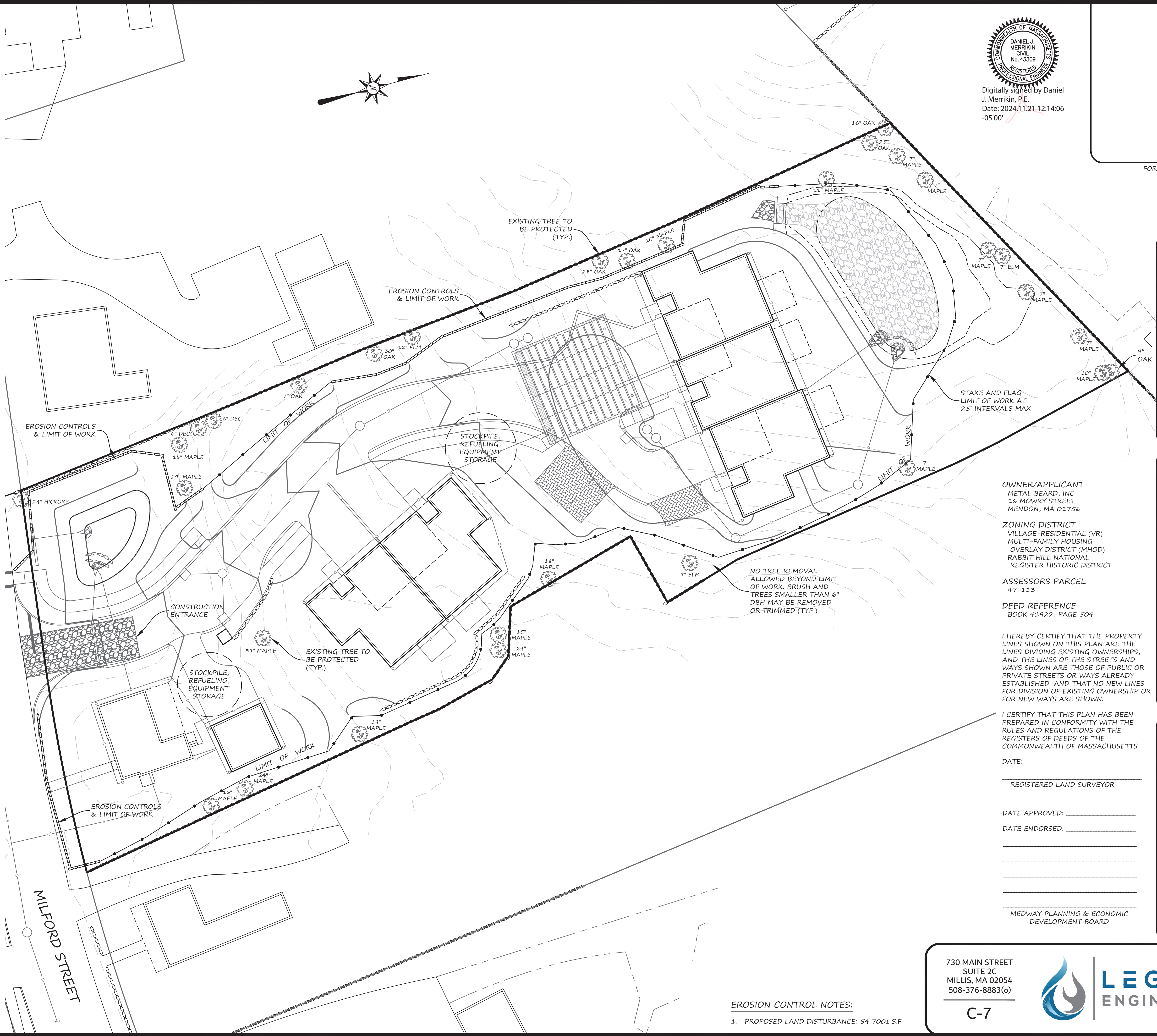
1. CONSTRUCTION STAGING AREAS WILL BE LIMITED IN QUANTITY AND WILL BE MAINTAINED IN A NEAT AND ORDERLY FASHION. REFER TO THE SITE PLAN FOR STAGING AREA LOCATION(S).
2. VEHICLES SHALL BE STORED IN FUELED IN DESIGNATED AREAS. MONITOR ALL EQUIPMENT FOR LEAKS. WHERE APPLICABLE, REFER TO THE SWPPP FOR ADDITIONAL VEHICLE STORAGE AREA REQUIREMENTS.
3. VEHICLE OR EQUIPMENT WASHING IS NOT ALLOWED ON-SITE.
4. MATERIALS AND EQUIPMENT SHALL BE STORED PROPERLY AND ORDERLY.
5. WHERE APPLICABLE, REFER TO THE SWPPP FOR:
 - 5.1. FURTHER INSTRUCTIONS ON PROPER MATERIAL AND EQUIPMENT STORAGE.
 - 5.2. REFER TO THE SWPPP FOR DISPOSAL OF WASTE, INCLUDING HAZARDOUS WASTE.
 - 5.3. REFER TO THE SWPPP FOR SPILL PREVENTION AND RESPONSE PROCEDURES.

DEWATERING PRACTICES

1. THIS SITE IS NOT EXPECTED TO ENCOUNTER SIGNIFICANT QUANTITIES OF GROUNDWATER DURING CONSTRUCTION ACTIVITIES BUT IF IT DOES, THE FOLLOWING PRACTICES WILL BE IMPLEMENTED:
 - 1.1. DO NOT DISCHARGE ANY FLOATING SOLIDS OR FOAM;
 - 1.2. IF DEWATERING WATER IS FOUND TO CONTAIN OIL, GREASE, ETC., IT MUST BE FILTERED OR PASSED THROUGH AN OIL/WATER SEPARATOR PRIOR TO DISCHARGE;
 - 1.3. WHEREVER POSSIBLE, DISCHARGE DEWATERING WATER TO VEGETATED UPLAND AREAS FOR INFILTRATION. WHERE THIS IS NOT POSSIBLE, DISCHARGE DEWATERING WATER INTO A FILTERING PIT CONSISTING OF A PERIMETER OF DOUBLE ROWS OF HAYBALES LINED WITH THREE LAYERS OF FILTER FABRIC. DO NOT DIRECT DEWATERING WATER INTO WETLANDS WITHOUT PRIOR TREATMENT;
 - 1.4. VELOCITY DISSIPATION MEASURES MUST BE INCLUDED AT ALL DISCHARGE POINTS (RIP-RAP OR CRUSHED STONE APRON).

INSPECTIONS

1. WHERE APPLICABLE, REFER TO SWPPP FOR INSPECTION & REPORTING REQUIREMENTS IN ADDITION TO THE FOLLOWING:
 - 1.1. THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.25 INCHES OR GREATER. INSPECTIONS MAY BE REDUCED DURING THE WINTER AND IN STABILIZED AREAS.
 - 1.2. ANY DEFICIENCIES SHALL BE REMEDIATED IMMEDIATELY AND NO LATER THAN 7 DAYS AFTER DISCOVERY OF THE DEFICIENCY, AND IF POSSIBLE, PRIOR TO THE NEXT RAINFALL EVENT.



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2024.11.21 12:14:06 -05'00'

FOR REGISTRY USE

PLAN SCALE: 1" = 20'



OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
OVERLAY DISTRICT (MHOD)
RABBIT HILL NATIONAL
REGISTER HISTORIC DISTRICT

ASSESSORS PARCEL
47-113

DEED REFERENCE
BOOK 41922, PAGE 504

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

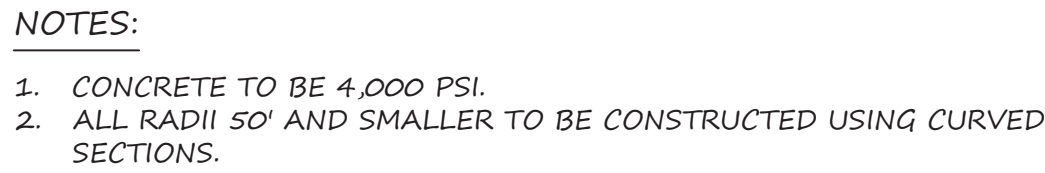


LEGACY
ENGINEERING

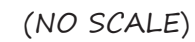
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EROSION CONTROL NOTES:

1. PROPOSED LAND DISTURBANCE: 54,700± S.F.

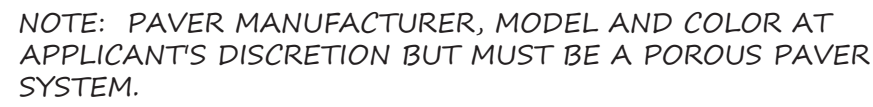


(NO SCALE)



1. ALL ASPECTS OF WALKWAY/SIDEWALK CONSTRUCTION SHALL BE IN FULL COMPLIANCE WITH §21 CMR.
2. 4,000 PSI CONCRETE MIX
3. PROVIDE CONTROL JOINTS EVERY 5' MIN.
4. PROVIDE PREMOLDED JOINT FILL EVERY 30' MIN.
5. PROVIDE 6x6 W1.4 x W1.4 - WELDED WIRE REINFORCEMENT MESH AT MIDDLE OF SLAB THICKNESS.

(NO SCALE)



NOT TO SCALE



NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH COMPOST MEDIA. JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

NOT TO SCALE



NOTES:

1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

NOT TO SCALE



1. RETAINING WALL SHALL BE OF THE SO-CALLED "BIG-BLOCK" GRAVITY WALL SYSTEMS. THE SYSTEM DEPICTED ON THIS PLAN IS THE "REDI ROCK" SYSTEM. ALTERNATIVE SYSTEMS MAY BE ALLOWED IF APPROVED BY THE TOWN ENGINEER.
2. EXPOSED WALL HEIGHTS OF GREATER THAN FOUR FEET REQUIRE A BUILDING PERMIT AND DESIGN BY A STRUCTURAL ENGINEER.
3. DEPICTED BLOCK CONFIGURATION IS APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED ON STRUCTURAL DESIGN.

NOT TO SCALE



1. RAMP AND SIDEWALK SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH ADA REGULATIONS
2. THIS DETAIL DOES NOT SPECIFY CURBING OR SIDEWALK REQUIREMENTS, BUT ONLY ACCESSIBLE (HANDICAP) RAMP SPECIFICATIONS. REFER TO APPLICABLE DETAILS FOR ROADWAY, CURBING, SIDEWALK SPECIFICATIONS.

NOT TO SCALE



1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
2. WALL HEIGHTS OVER FOUR FEET, INCLUDING FOOTING, MAY REQUIRE A BUILDING PERMIT AND/OR STRUCTURAL DESIGN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY BUILDING PERMITS AND FOR PROVIDING STRUCTURAL WALL DESIGN MEETING THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, AS DEEMED APPLICABLE BY THE BUILDING INSPECTOR.
3. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

NOT TO SCALE

FOR REGISTRY USE

PLAN SCALE: NOT TO SCALE

[illegible]

OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
OVERLAY DISTRICT (MHOD)
RABBIT HILL NATIONAL
REGISTER HISTORIC DISTRICT

ASSESSORS PARCEL
47-113

DEED REFERENCE
BOOK 41922, PAGE 504

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COMMONWEALTH OF MASSACHUSETTS

DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

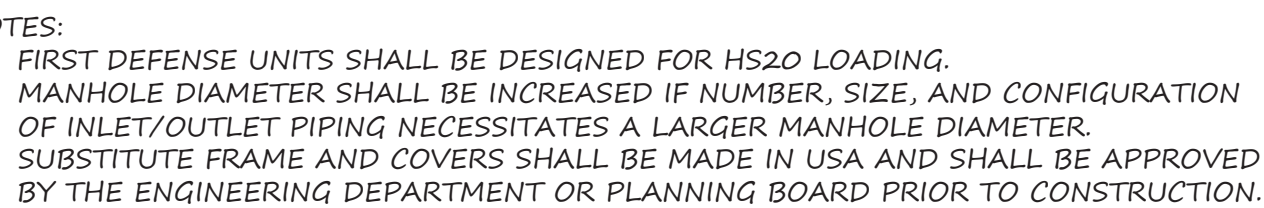
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-9



LEGACY
ENGINEERING

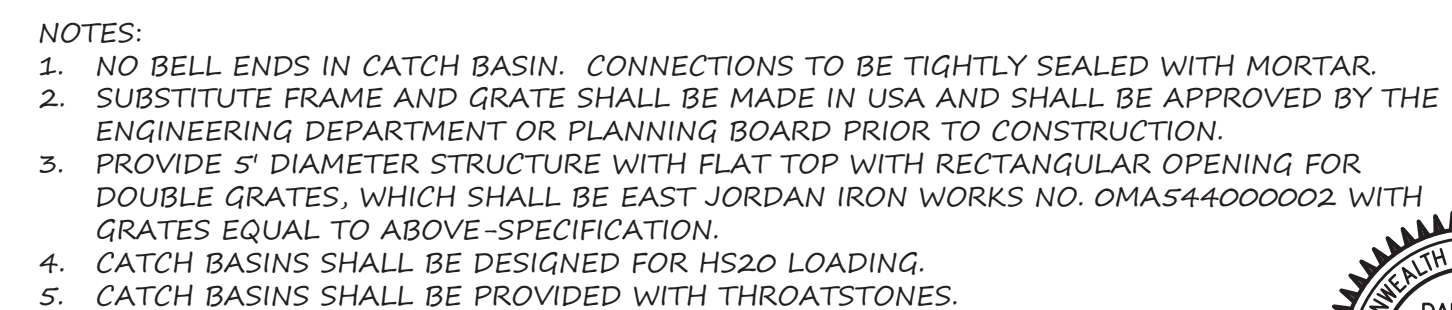


NOT TO SCALE



1. COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
2. 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

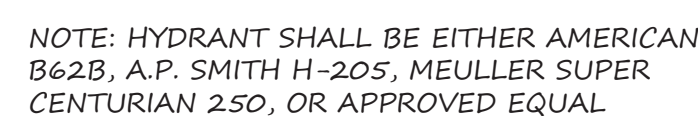
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NOT TO SCALE



MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2024.11.21 12:12:02
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PLAN SCALE: NOT TO SCALE

REVISION	PLAN DATE: OCTOBER 7, 2024
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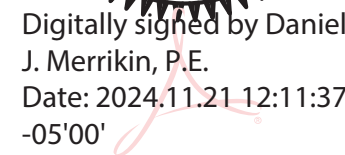
HENRY GARNSEY
CONDOMINIUMS
DETAIL
PLAN OF LAND
IN MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-10



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ENGINEERING



PLAN SCALE: NOT TO SCALE



NOTES:

1. INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. TRENCH TREATMENT UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
6. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
7. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 5 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

NOT TO SCALE



- NOTES:

1. SEE GRADING SHEETS AND PROFILE SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH FACILITY.
2. ALL SOIL AND ROCK BELOW THE BOTTOM OF THE FACILITY SHALL BE REMOVED PRIOR TO CONSTRUCTION. FILL MATERIALS UNDER THE FACILITY BOTTOM SHALL BE CLEAN GRAVEL. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SANDY LOAM. (TITLE V CLASSIFICATIONS).
3. BERM AREAS SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. THE COVER SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.

SOIL NOTES:

- THE PLANTING SOIL MIX IS TO BE APPROXIMATELY 40% SAND, 20-30% TOPSOIL, AND 30-40% COMPOST.
- SOILS ARE TO BE FREE FROM STONES, STUMPS, AND ROOTS.
- COVER PLANTING SOIL WITH 2-3 INCHES OF HARDWOOD MULCH.

PLANTING LIST:

SELECT 2 OR MORE VARIETIES:

- AGROSTIS ALBA
- ANDROPOGON GERARDII
- ARONIA ARBUTIFOLIA
- HAMAMELIS VIRGINIANA
- HYPERICUM DENSIFLORUM
- VIBURNUM DENTATUM

NOT TO SCALE



END SECTION VIEW

- NOTES:
1. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
 2. SHALL CONFORM TO H-20 LOADINGS.
 3. SHALL BE POWER DRAIN S300K BY ACO DRAIN OR EQUAL.

NOT TO SCALE



NOT TO SCALE



OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
OVERLAY DISTRICT (MHOD)
RABBIT HILL NATIONAL
REGISTER HISTORIC DISTRICT

ASSESSORS PARCEL
47-113

DEED REFERENCE
BOOK 41922, PAGE 504

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COMMONWEALTH OF MASSACHUSETTS

DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



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ENGINEERING

C-11

HENRY GARNSEY
CONDOMINIUMS
DETAIL
PLAN OF LAND
IN MEDWAY, MA



- Available *OPTIONS*:
- Shake style siding in Gables with horizontal trim band.
 - Returned Roof wrap around gables or continue across in lieu of trim band.



Provide gutters and downspouts to direct roof runoff away from the foundation.
Provide well drained window wells at cellar sashes below grade.

All NEW framing and construction to be in accordance with MA Code 780 CMR 9th Edition for 1 & 2 Family Residential Construction. While good faith effort has been made to incorporate as much of that information as practical in these documents, human error or omission is possible. It is the licensed builder's responsibility to review these documents prior to construction and to proceed in accordance with applicable codes.

REVISION TABLE	
NUMBER	DESCRIPTION

Duplex
Perspective

PROJECT DESIGNED FOR:
Henny Garnsey Condominiums
20 Milford Street
Medway MA

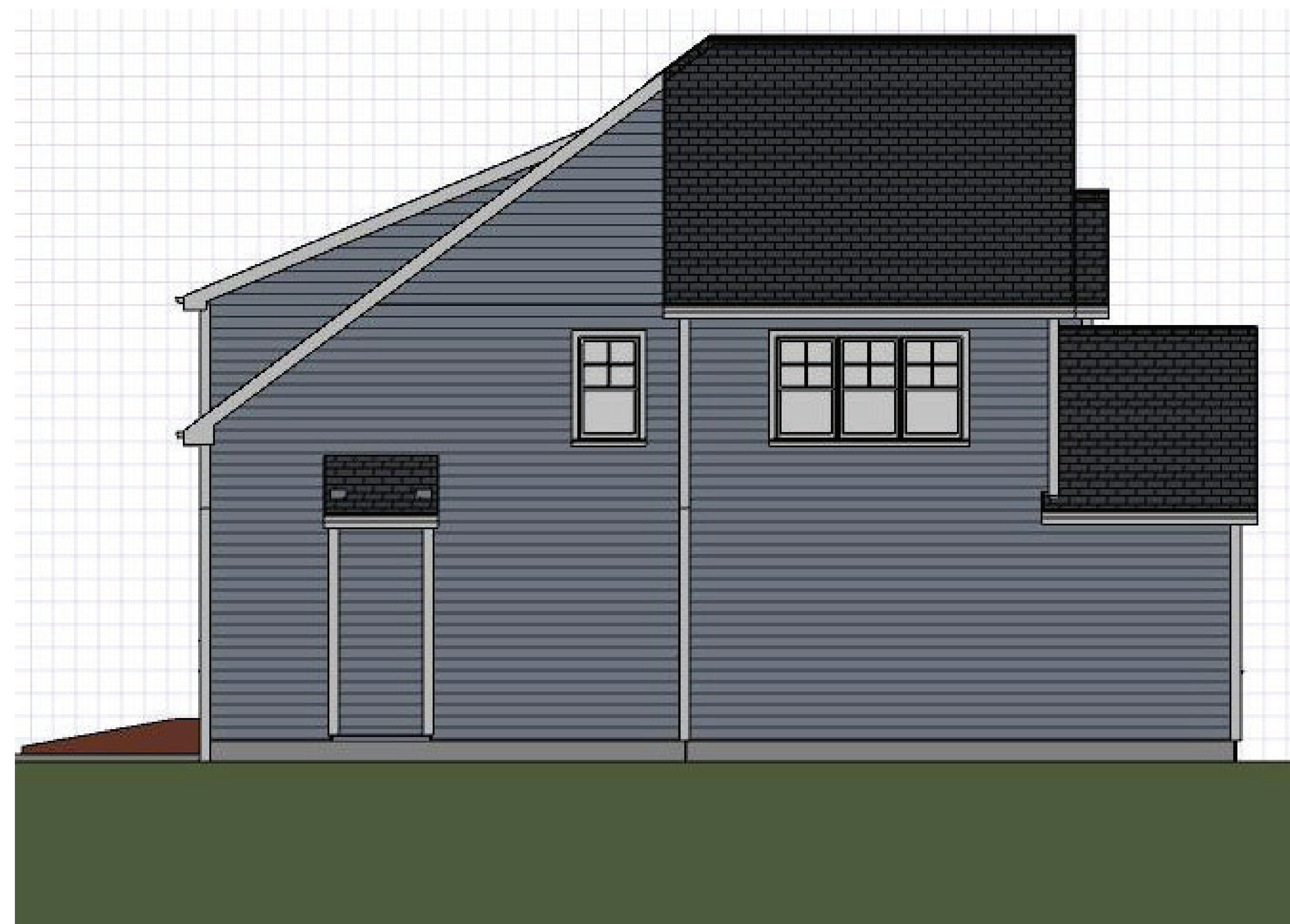
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SHEET:
A-1



Front Elevation 1/4 in = 1 ft



Left Elevation $1/4$ in = 1 ft

All NEEN framing and construction to be in accordance with MA Code 780 CMR 9th Edition for 1 & 2 Family Residential Construction. While good faith effort has been made to incorporate as much of that information as practical in these documents, human error or omission is possible. It is the licensed builder's responsibility to review these documents prior to construction and to proceed in accordance with applicable codes.

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Duplex Elevations - Front, Left

Henry Garnsey Condominiums
20 Millford Street
Medway MA

DATE:

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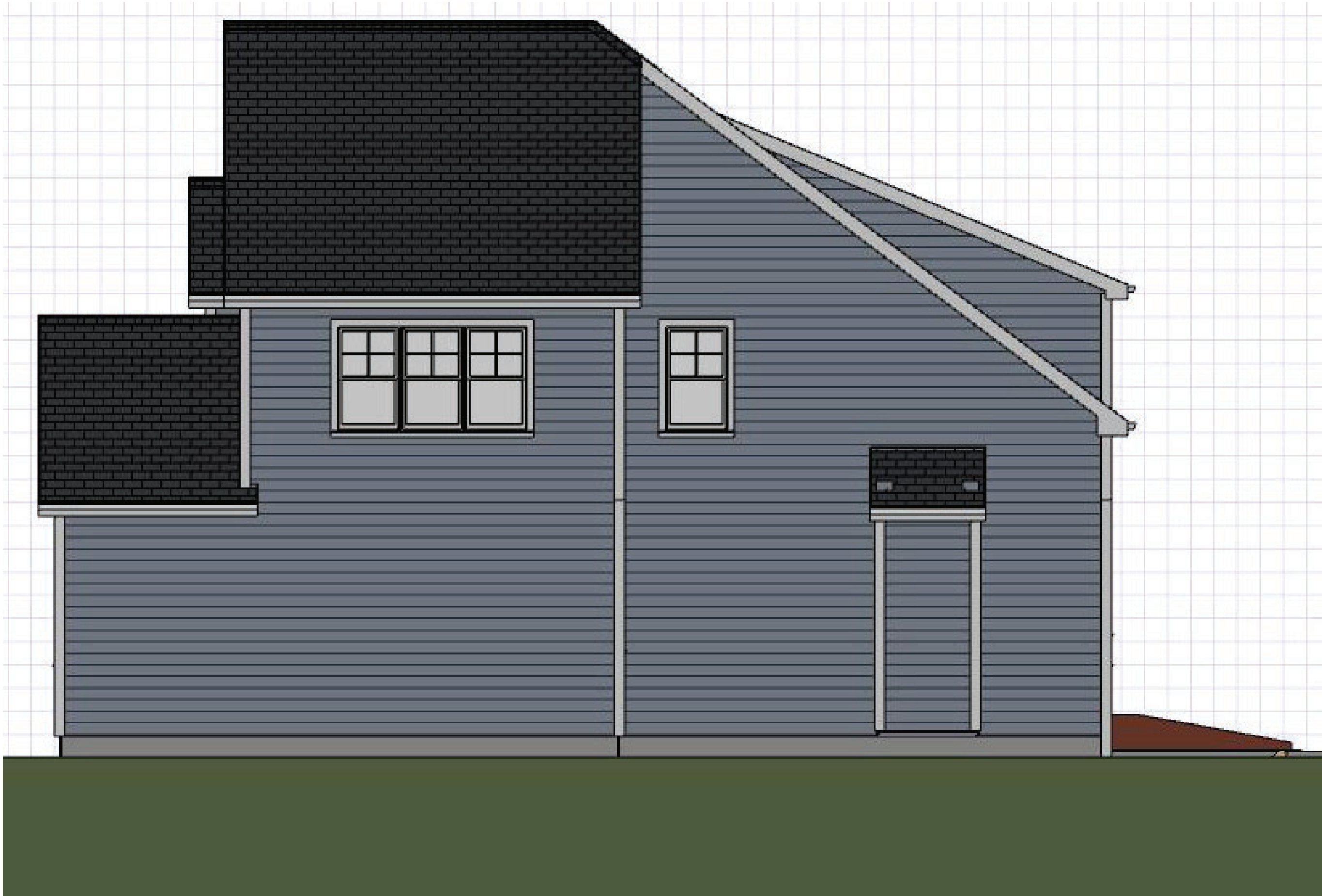
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A-2



Rear Elevation 1/4 in = 1 ft



Right Elevation 1/4 in = 1 ft

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REVISION TABLE		
NUMBER	DATE	REVISION DESCRIPTION

Duplex
Elevations - Rear, Right

PROJECT DESIGNED FOR:
Henry Garnsey Condominiums
20 Milford Street
Medway MA

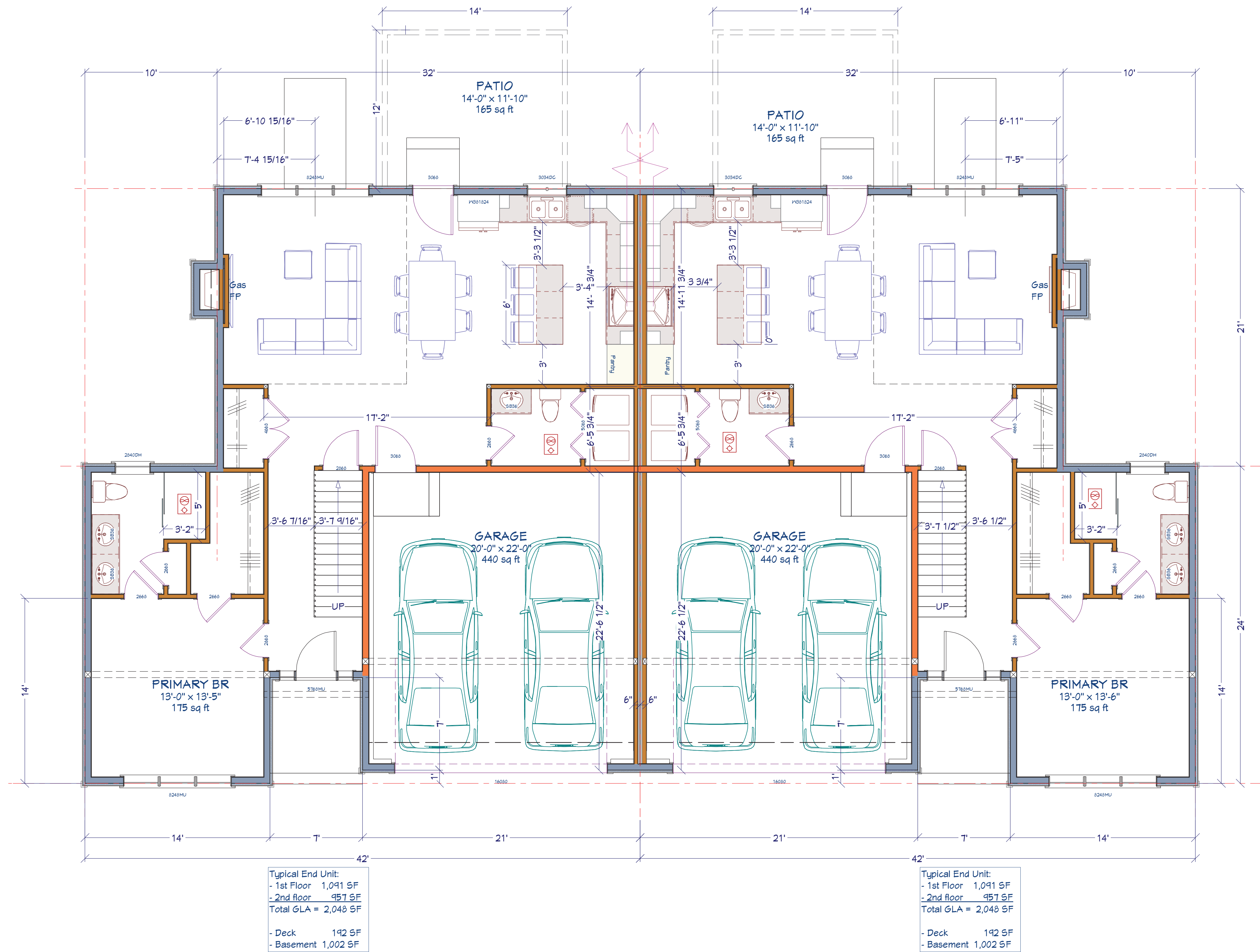
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Typical End Unit:
- 1st Floor 1,091 SF
- 2nd floor 957 SF
Total GLA = 2,048 SF

- Deck 192 SF
- Basement 1,002 SF

Typical End Unit:
- 1st Floor 1,091 SF
- 2nd floor 957 SF
Total GLA = 2,048 SF

- Deck 192 SF
- Basement 1,002 SF

1st Floor

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REVISION TABLE		REVISION	DESCRIPTION
NUMBER	DATE	REVISOR	DESCRIPTION

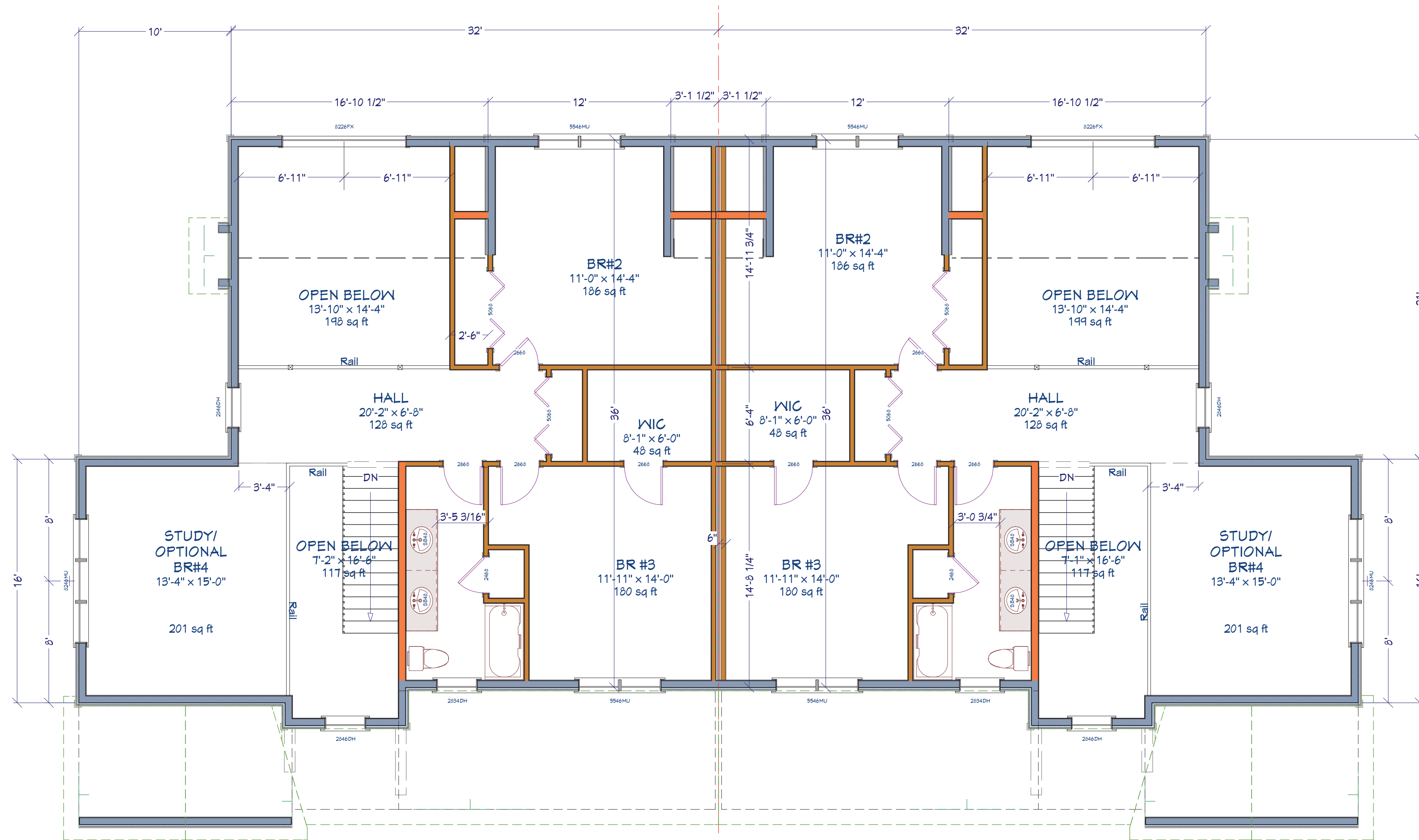
Duplex
1st Floor Plan

PROJECT DESIGNED FOR:
Henry Garnsey Condominiums
20 Milford Street
Medway MA

DATE:
9/22/2024

SCALE:

SHEET:



2nd Floor

All NEW framing and construction to be in accordance with MA Code 780 CMR 9th Edition for 1 & 2 Family Residential Construction. While good faith effort has been made to incorporate as much of that information as practical in these documents, human error or omission is possible. It is the licensed builder's responsibility to review these documents prior to construction and to proceed in accordance with applicable codes.

REVISION TABLE	
NUMBER	DATE

Duplex
2nd Floor Plan

PROJECT DESIGNED FOR:
Henny Garnsey Condominiums
20 Milford Street
Medway MA

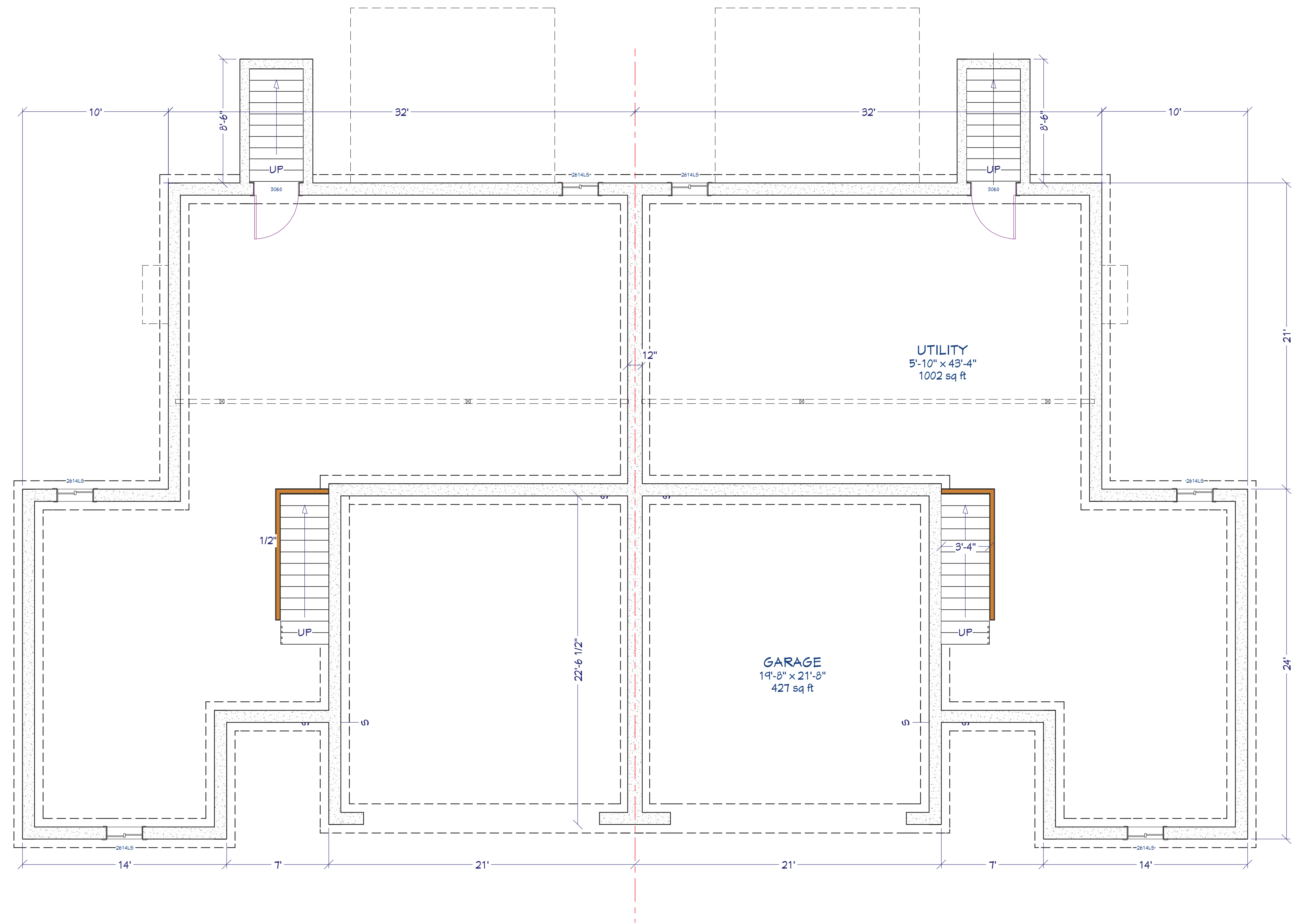
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Foundation

All NEW framing and construction to be in accordance with MA Code 780 CMR 9th Edition for 1 & 2 Family Residential Construction. While good faith effort has been made to incorporate as much of that information as practical in these documents, human error or omission is possible. It is the licensed builder's responsibility to review these documents prior to construction and to proceed in accordance with applicable codes.

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

PROJECT DESIGNED FOR:
Henry Garnsey Condominiums
20 Milford Street
Medway MA

DATE:

9/22/2024

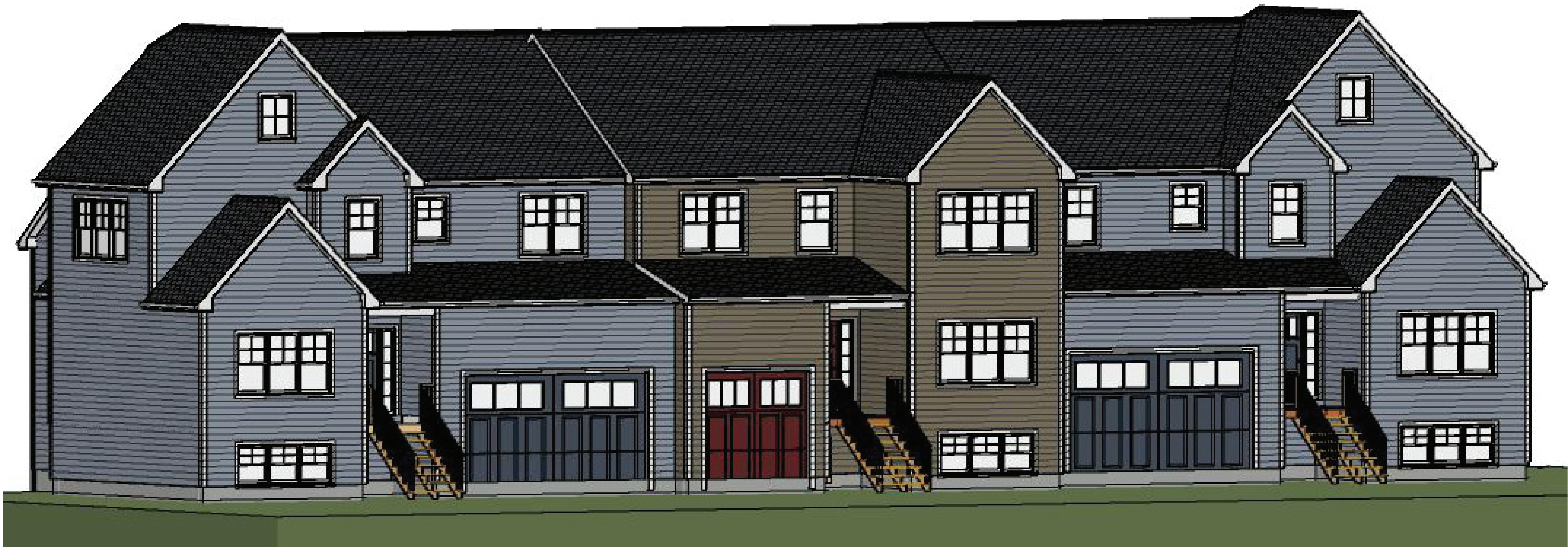
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- Available *OPTIONS*:
- Shake style siding in Gables with horizontal trim band.
 - *Returned* roofs wrap around Gables or continue across in lieu of trim band.



Provide Gutters and down spouts to direct roof runoff away from the foundation.
Provide well drained window wells at cellar sashes below grade.



All *NEW* framing and construction to be in accordance with MA Code 780 CMR 9th Edition for 1 & 2 Family Residential Construction. While good faith effort has been made to incorporate as much of that information as practical in these documents, human error or omission is possible. It is the licensed builder's responsibility to review these documents prior to construction and to proceed in accordance with applicable codes.

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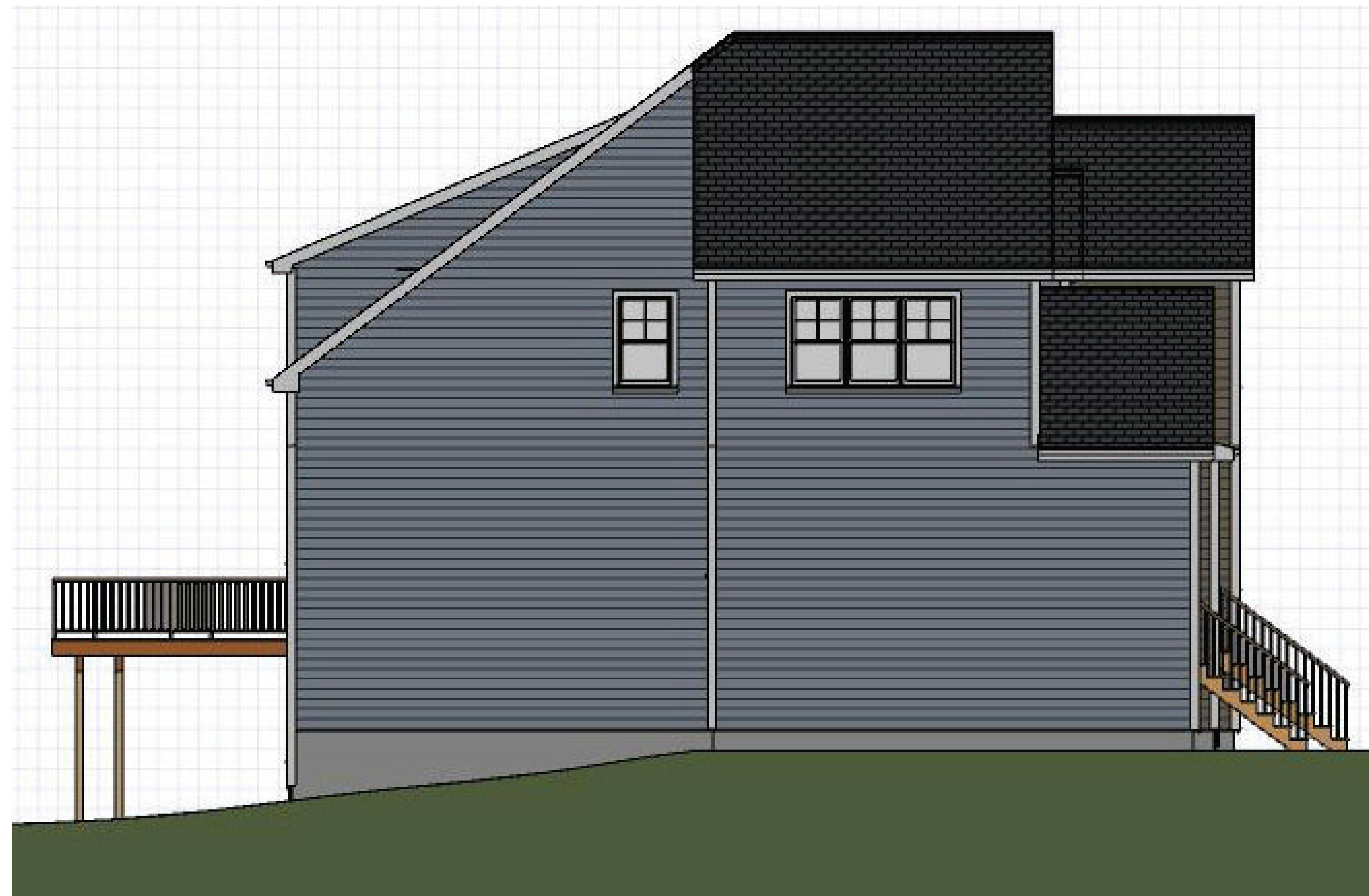
Triplex
Perspective

PROJECT DESIGNED FOR:
Henry Garnsey Condominiums
20 Milford Street
Medway, MA

DATE:
9/22/2024

SCALE:

SHEET:
A-1



All NEFN framing and construction to be in accordance with MA Code 780 CMR 9th Edition for 1 & 2 Family Residential Construction. While good faith effort has been made to incorporate as much of that information as practical in these documents, human error or omission is possible. It is the licensed builder's responsibility to review these documents prior to construction and to proceed in accordance with applicable codes.

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Triplex
Elevations - Front, Left

Henry Garnsey Condominiums
20 Milford Street
Medway MA

DATE:

/22/2024

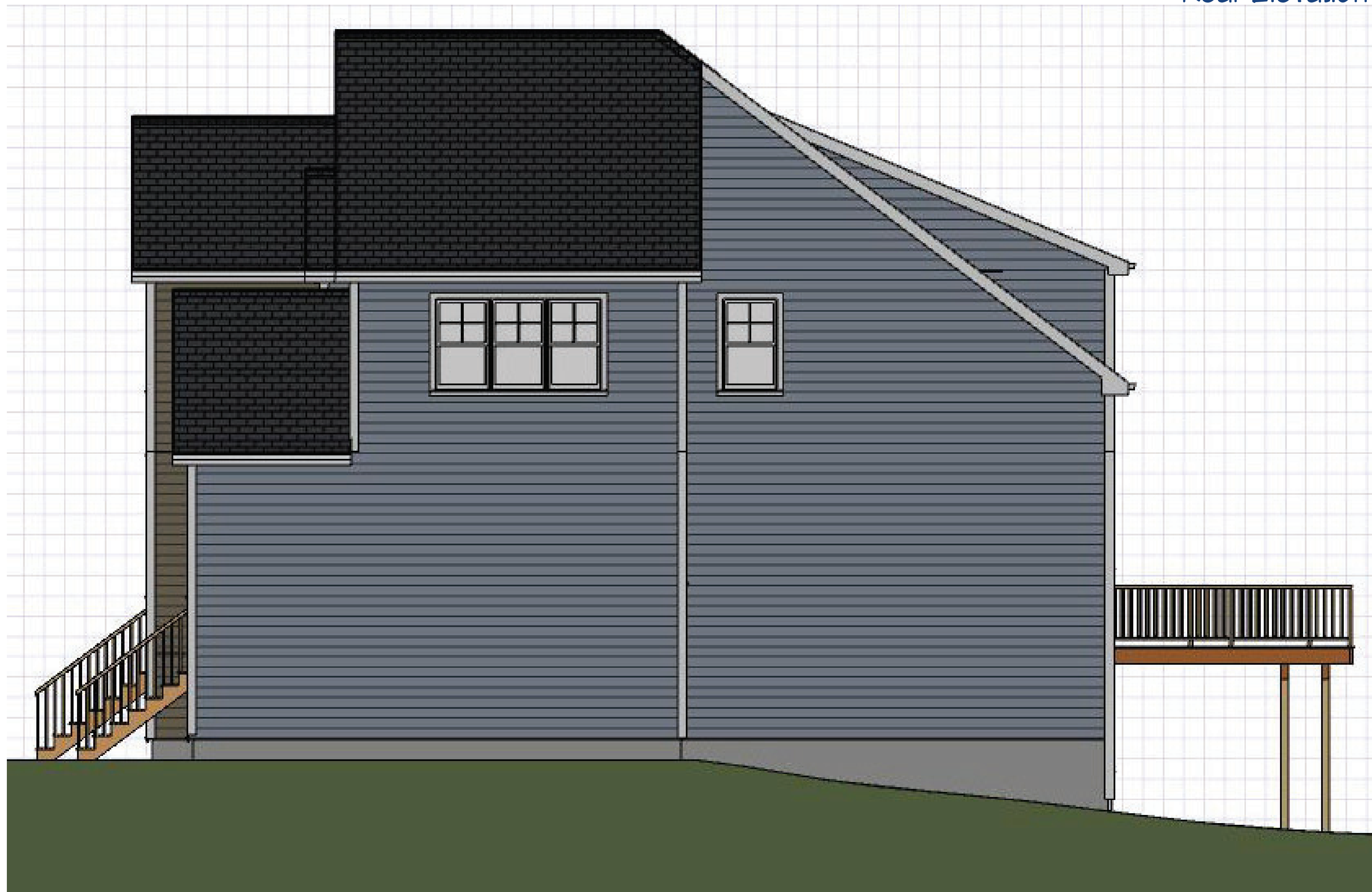
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Rear Elevation 1/4 in = 1 ft



Right Elevation 1/4 in = 1 ft

All NEW framing and construction to be in accordance with MA Code 780 CMR 9th Edition for 1 & 2 Family Residential Construction. While good faith effort has been made to incorporate as much of that information as practical in these documents, human error or omission is possible. It is the licensed builder's responsibility to review these documents prior to construction and to proceed in accordance with applicable codes.

REVISION TABLE	
NUMBER	DATE

REVISION TABLE	
NUMBER	DATE

Triplex
Elevations - Rear, Right

PROJECT DESIGNED FOR:
Henry Garnsey Condominiums
20 Milford Street
Medway MA

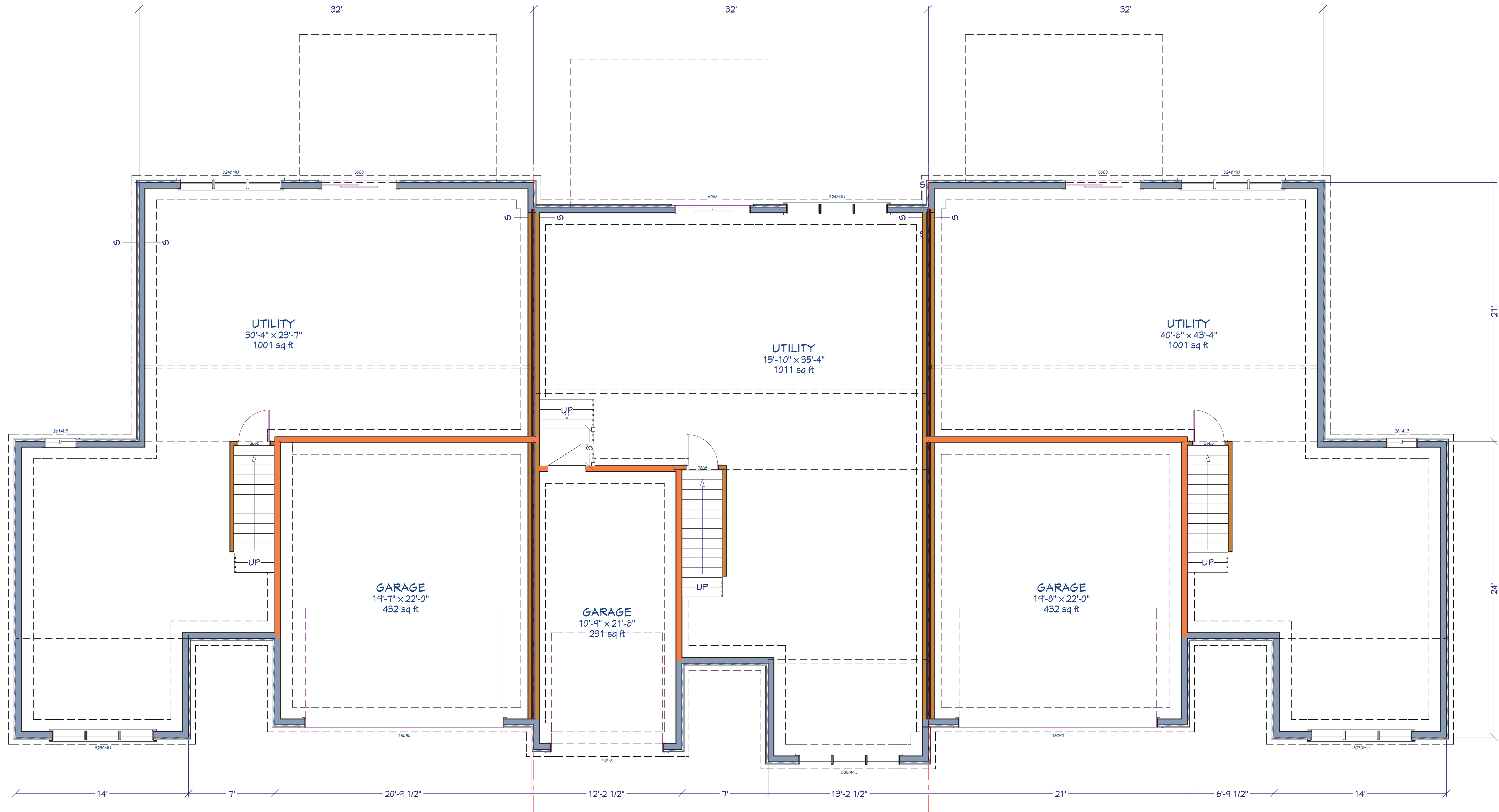
DATE:

9/22/2024

SCALE:

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A-3



Foundation

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REVISION TABLE		REVISION	DESCRIPTION
NUMBER	DATE	REVISOR	DESCRIPTION

Triplex
Basement Floor Plan

PROJECT DESIGNED FOR:
Henry Garnsey Condominiums
20 Milford Street
Medway, MA

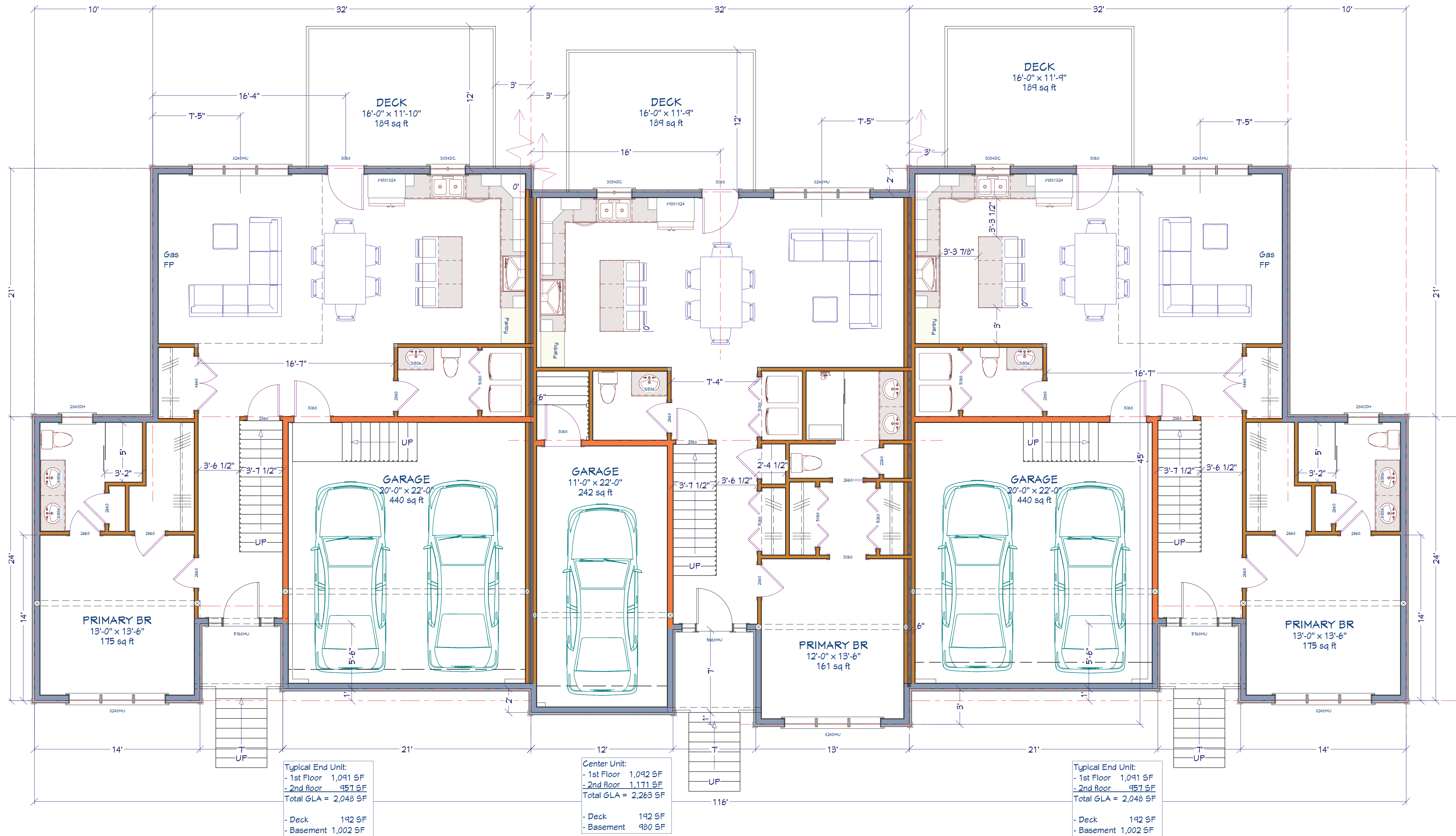
DATE:

9/22/2024

SCALE:

SHEET:

A-4



1st Floor

All NEW framing and construction to be in accordance with MA Code 780 CMR 9th Edition for 1 & 2 Family Residential Construction. While good faith effort has been made to incorporate as much of that information as practical in these documents, human error or omission is possible. It is the licensed builder's responsibility to review these documents prior to construction and to proceed in accordance with applicable codes.

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

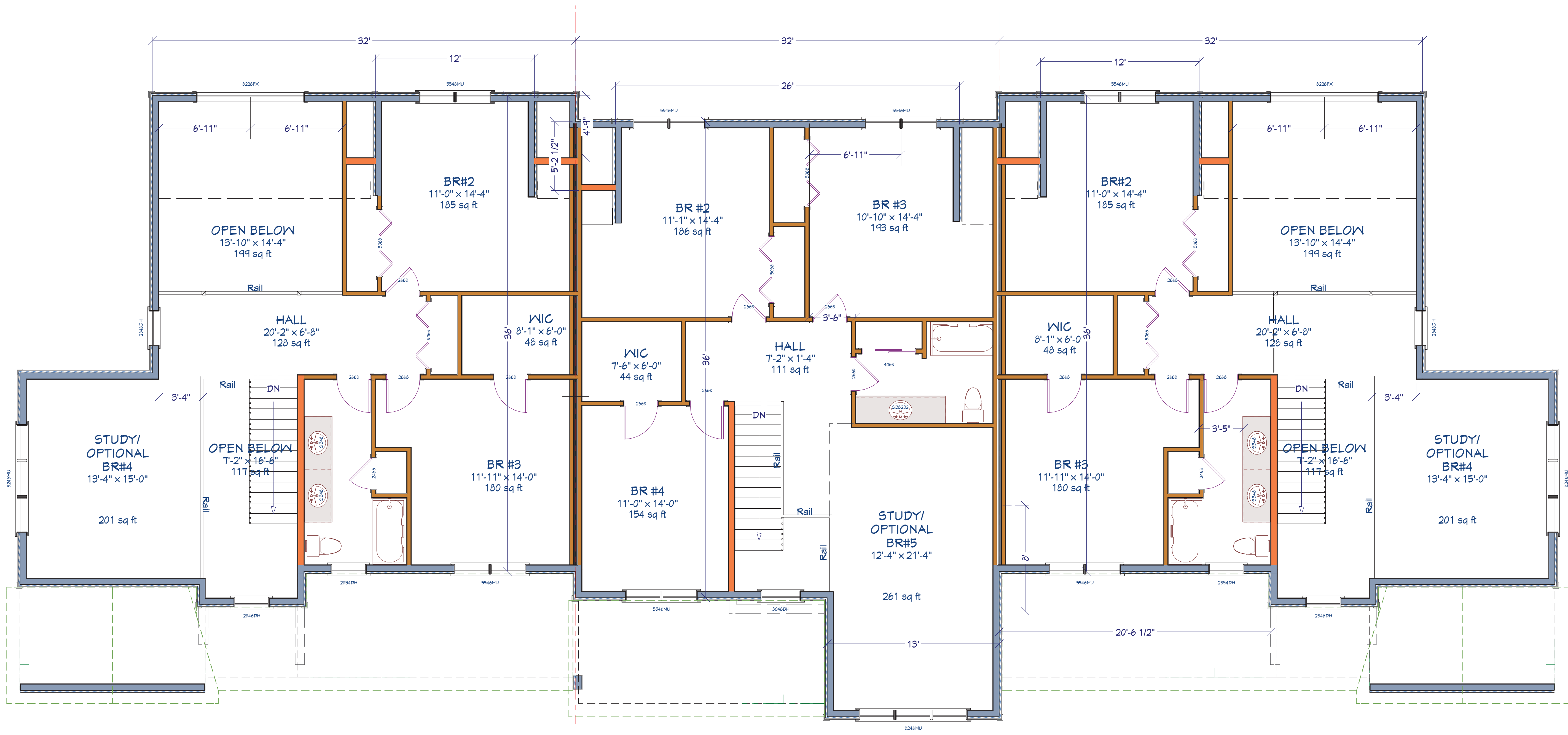
Triplex
1st Floor Plan

PROJECT DESIGNED FOR:
Henry Gamsey Condominiums
20 Milford Street
Medway MA

DATE:
9/22/2024

SCALE:

SHEET:
A-5



2nd Floor

All NEW framing and construction to be in accordance with MA Code 780 CMR 9th Edition for 1 & 2 Family Residential Construction. While good faith effort has been made to incorporate as much of that information as practical in these documents, human error or omission is possible. It is the licensed builder's responsibility to review these documents prior to construction and to proceed in accordance with applicable codes.

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

Triplex
2nd Floor Plan

PROJECT DESIGNED FOR:
Henry Gamsey Condominiums
20 Milford Street
Medway MA

DATE:
9/22/2024

SCALE:

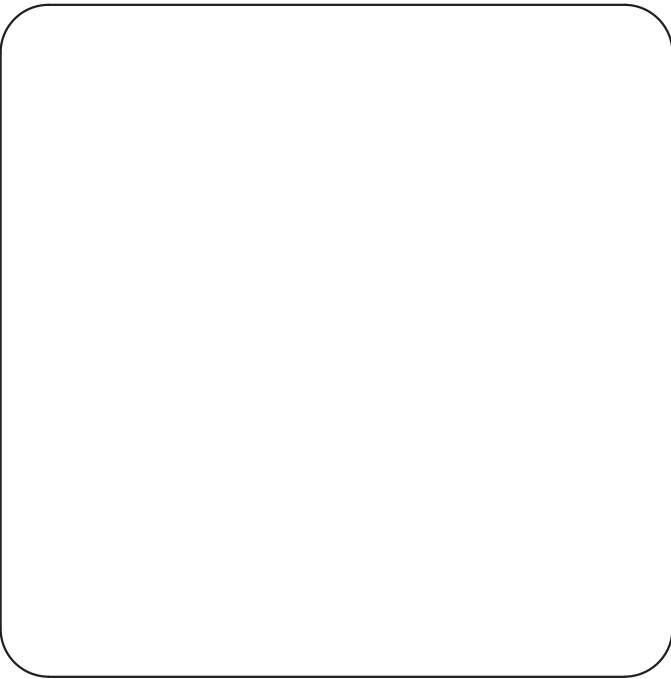
SHEET:

A-6

HENRY GARNSEY CONDOMINIUMS

20 MILFORD STREET
MEDWAY, MASSACHUSETTS

LANDSCAPE PERMIT SUBMISSION SET



FOR REGISTRY USE

OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
OVERLAY DISTRICT (MHOD)
RABBIT HILL NATIONAL
REGISTER HISTORIC DISTRICT

ASSESSORS PARCEL
47-113

DEED REFERENCE
BOOK 41922, PAGE 504

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: _____

REGISTERED LAND SURVEYOR

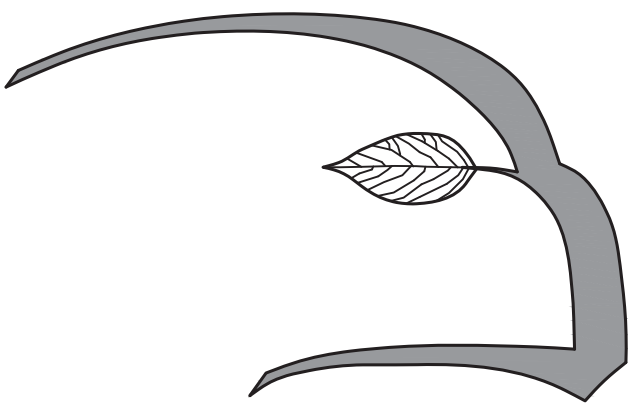
DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

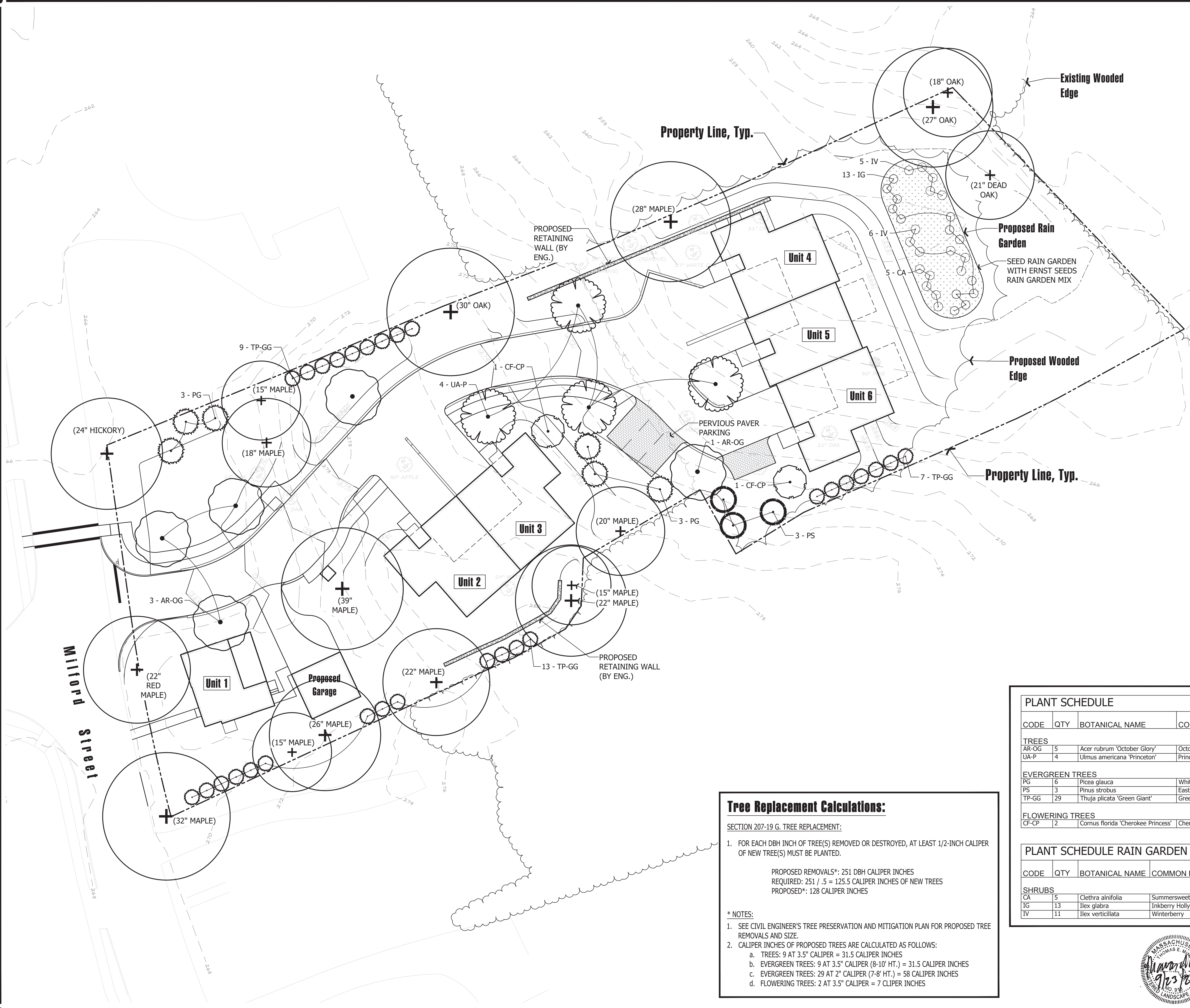
APPLICANT:
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MASSACHUSETTS 01756

PREPARED BY:



Hawk Design, Inc.
Landscape Architecture
Land Planning

Sagamore, MA
508-833-8800
info@hawkdesigninc.com



Tree Replacement Calculations:

SECTION 207-19 G. TREE REPLACEMENT:

1. FOR EACH DBH INCH OF TREE(S) REMOVED OR DESTROYED, AT LEAST 1/2-INCH CALIPER OF NEW TREE(S) MUST BE PLANTED.

PROPOSED REMOVALS*: 251 DBH CALIPER INCHES
REQUIRED: 251 / .5 = 125.5 CALIPER INCHES OF NEW TREES
PROPOSED*: 128 CALIPER INCHES

*** NOTES:**

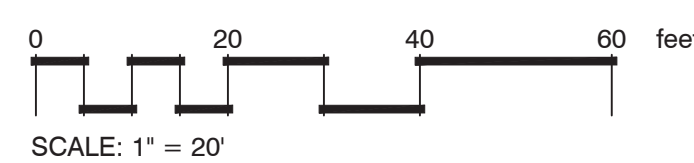
1. SEE CIVIL ENGINEER'S TREE PRESERVATION AND MITIGATION PLAN FOR PROPOSED TREE REMOVALS AND SIZE.
2. CALIPER INCHES OF PROPOSED TREES ARE CALCULATED AS FOLLOWS:
a. TREES: 9 AT 3.5" CALIPER = 31.5 CALIPER INCHES
b. EVERGREEN TREES: 9 AT 3.5" CALIPER (8-10' HT.) = 31.5 CALIPER INCHES
c. EVERGREEN TREES: 29 AT 2" CALIPER (7-8' HT.) = 58 CALIPER INCHES
d. FLOWERING TREES: 2 AT 3.5" CALIPER = 7 CLIPER INCHES

PLANT SCHEDULE

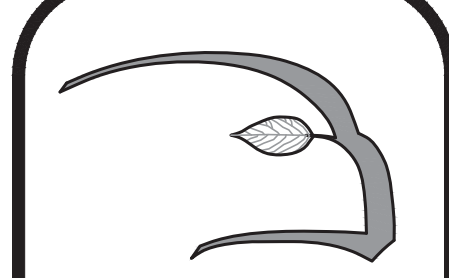
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANT SIZE
TREES						
AR-OG	5	Acer rubrum 'October Glory'	October Glory Red Maple	B & B	3-3.5" CAL.	
UA-P	4	Ulmus americana 'Princeton'	Princeton American Elm	B & B	3-3.5" CAL.	
EVERGREEN TREES						
PG	6	Picea glauca	White Spruce	B & B		8-10' HT.
PS	3	Pinus strobus	Eastern White Pine	B & B		8-10' HT.
TP-GG	29	Thuja plicata 'Green Giant'	Green Giant Western Arborvitae	B & B		7-8' HT.
FLOWERING TREES						
CF-CP	2	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	B & B	3-3.5" CAL.	

PLANT SCHEDULE RAIN GARDEN

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
SHRUBS				
CA	5	Clethra alnifolia	Summersweet	5 GAL
IG	13	Ilex glabra	Inkberry Holly	5 GAL
IV	11	Ilex verticillata	Winterberry	5 GAL

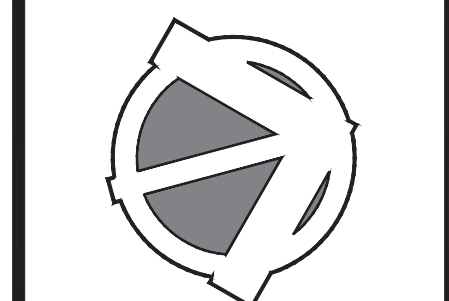


Base information provided electronically by: Legacy Engineering of Millis, MA



Hawk Design, Inc.
Landscape Architecture
Land Planning
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508-833-8800
info@hawkdesigninc.com

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Date: 9/23/24

Revisions:

Num. Date Description

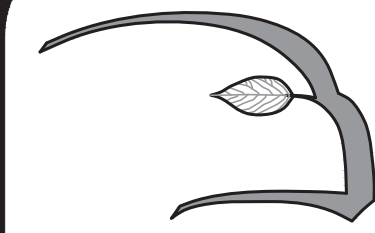
Henry Garnsey Condominiums
20 Milford Street Medway, Massachusetts
Applicant: Cape View Development, LLC., Medway, MA

Drawn By: BNL Checked By: BNL

Site Planting Plan

Scale: 1" = 20'-0"

Sheet: **L1**



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Landscape Architecture
Land Planning

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Revisions:
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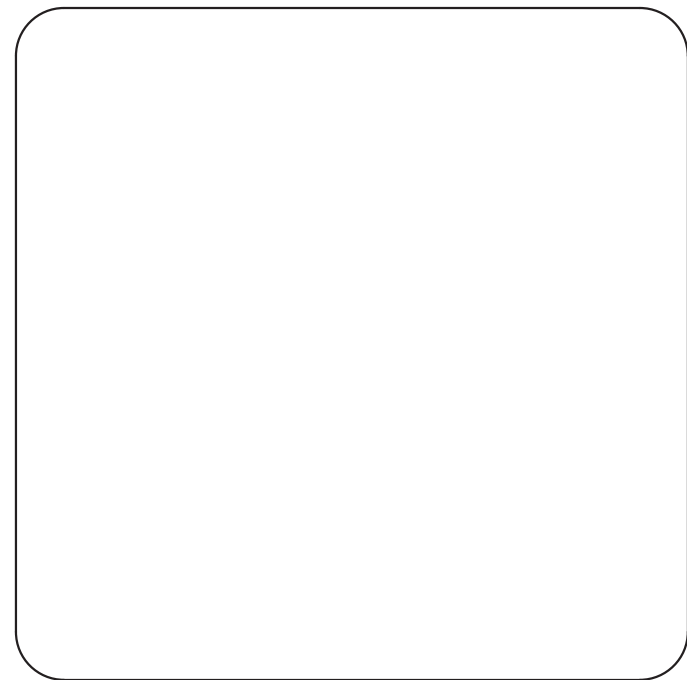
Henry Garnsey Condominiums
20 Milford Street Medway, Massachusetts
Applicant: Cape View Development, LLC., Medway, MA

Drawn By: BNL Checked By: BNL

Unit 1, 2 & 3
Planting Plan

Scale: As Noted

Sheet:
L2



FOR REGISTRY USE

OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
OVERLAY DISTRICT (MHOD)
RABBIT HILL NATIONAL
REGISTER HISTORIC DISTRICT

ASSESSORS PARCEL
47-113

DEED REFERENCE
BOOK 41922, PAGE 504

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DATE: _____

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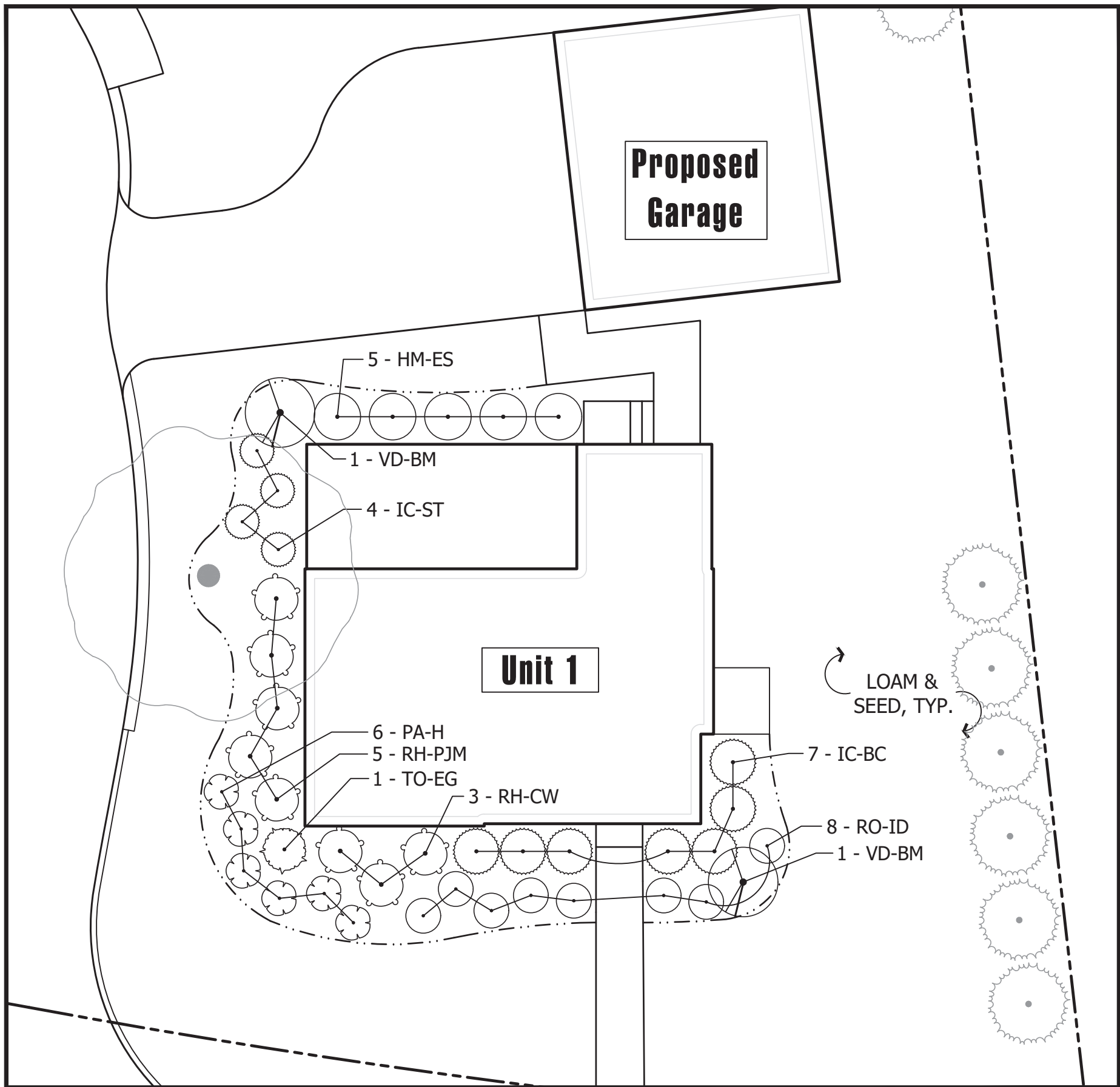
DATE APPROVED: _____

DATE ENDORSED: _____

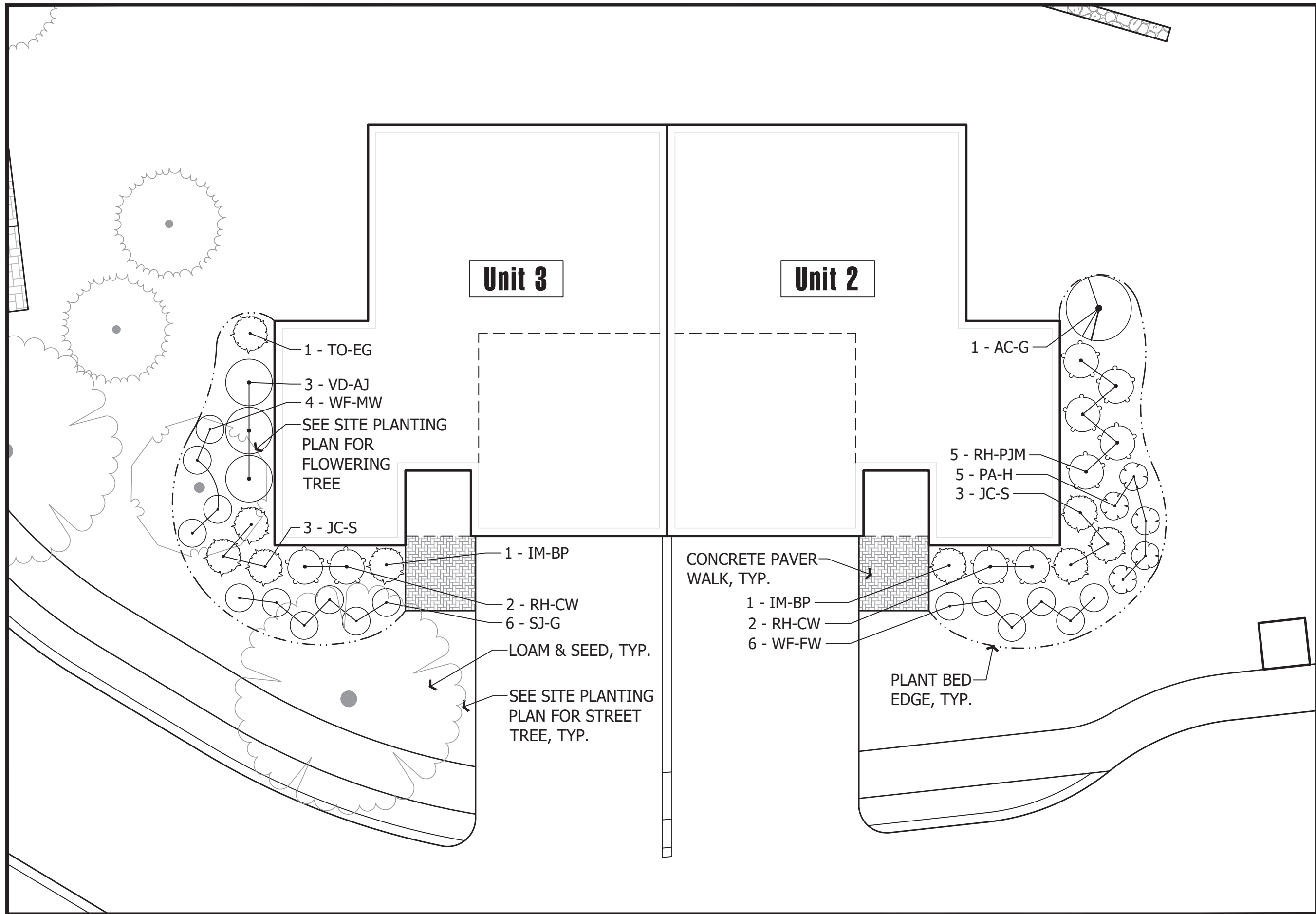
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



Base information provided electronically by: Legacy
Engineering of Millis, MA



1 Unit 1 Planting Plan
Scale: 1" = 10'-0"

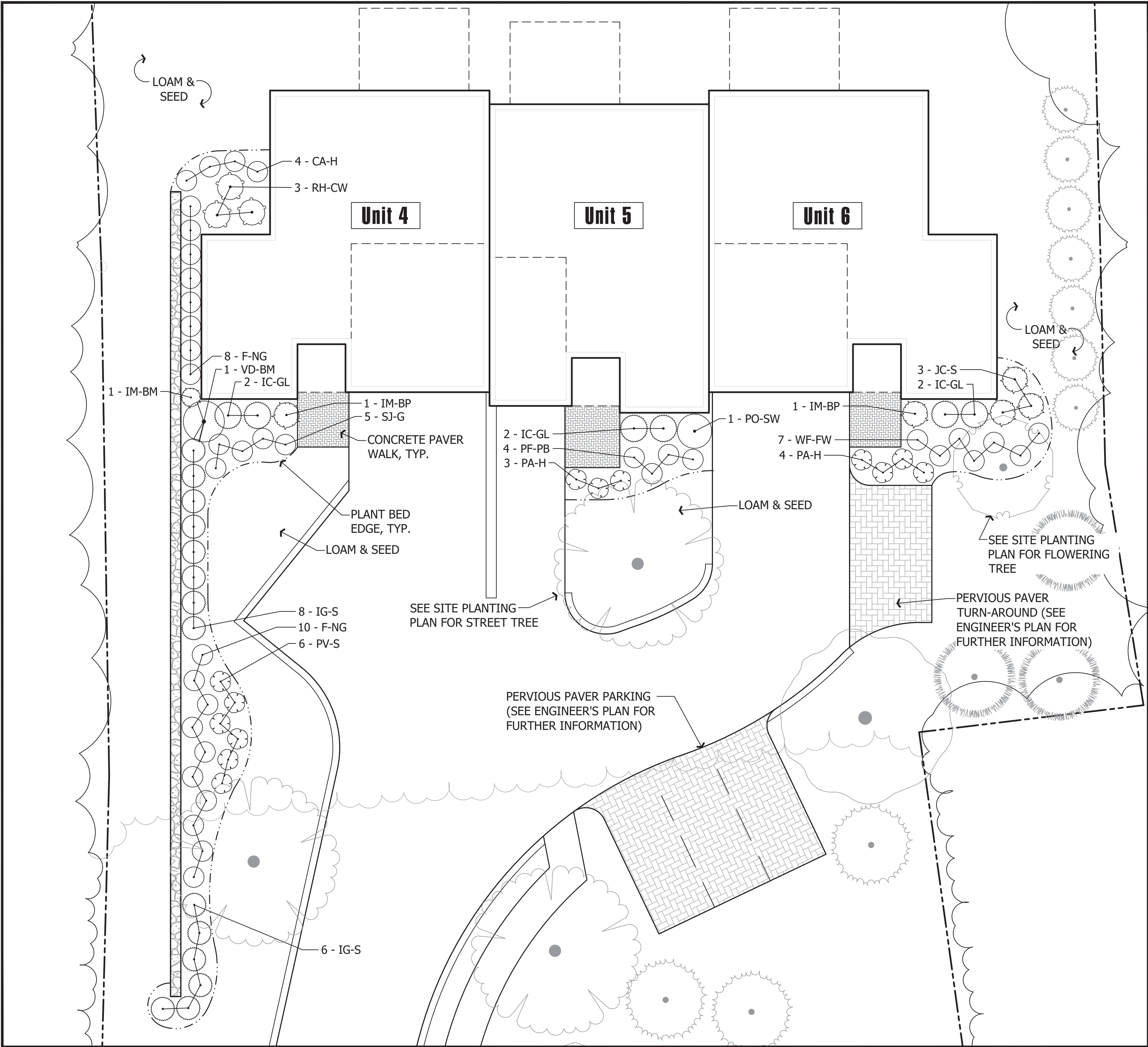


2 Unit 2 & 3 Planting Plan
Scale: 1" = 10'-0"



PLANT SCHEDULE UNIT 1					
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
SHRUBS					
HM-ES	5	Hydrangea macrophylla 'Bailmer'	Endless Summer Hydrangea	Cont.	2-2.5' HT.
IC-BC	7	Ilex crenata 'Bennett's Compacta'	Bennett's Compact Holly	Cont.	2-2.5' HT.
IC-ST	4	Ilex crenata 'Soft Touch'	Soft Touch Japanese Holly	Cont.	18-24" SPD.
PA-H	6	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	2 GAL	
RH-CW	3	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	Cont.	2-2.5' HT.
RH-PJM	5	Rhododendron x 'P.J.M.'	PJM Rhododendron	B & B	2-2.5' HT.
RO-ID	8	Rosa x 'Icy Drift'	Icy Drift Rose	Cont.	15-18" SPD.
TO-EG	1	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	B & B	6-7' HT.
VD-BM	2	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	B & B	4-4.5' HT

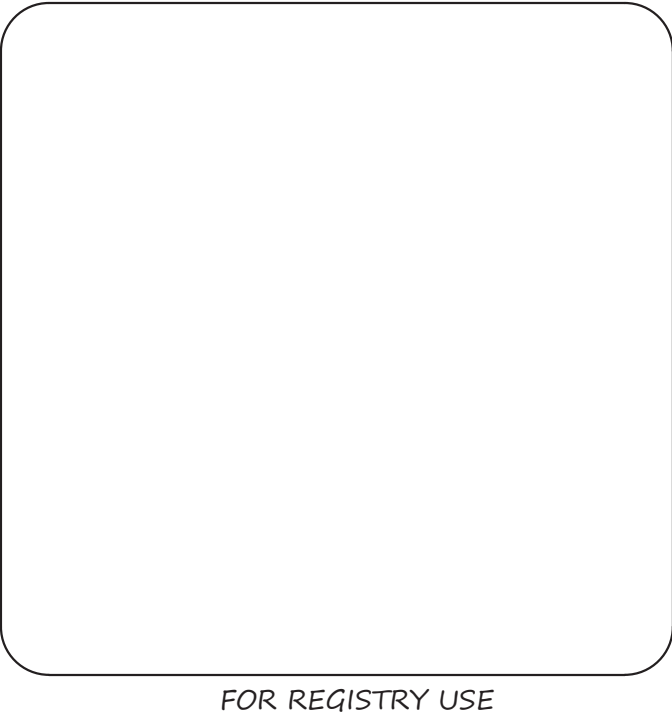
PLANT SCHEDULE UNIT 2 & 3					
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
SHRUBS					
AC-G	1	Amelanchier canadensis 'Glenform'	Rainbow Pillar Canadian Serviceberry	B & B	6-7' HT.
IM-BP	2	Ilex x meserveae 'Blue Princess'	Blue Princess Holly	Cont.	3-3.5' HT.
JC-S	6	Juniperus chinensis 'Spartan'	Spartan Juniper	B & B	4-5' HT.
PA-H	5	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	2 GAL	
RH-CW	4	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	Cont.	2-2.5' HT.
RH-PJM	5	Rhododendron x 'P.J.M.'	PJM Rhododendron	B & B	2-2.5' HT.
SJ-G	6	Spiraea japonica 'Goldflame'	Goldflame Japanese Spirea	Cont.	18-24" HT.
TO-EG	1	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	B & B	6-7' HT.
VD-AJ	3	Viburnum dentatum 'Ralph Senior'	Autumn Jazz Arrowwood Viburnum	B & B	3-4' HT
WF-FW	6	Weigela florida 'Fine Wine'	Fine Wine Weigela	Cont.	15-18" SPD.
WF-MW	4	Weigela florida 'Midnight Wine'	Midnight Wine Shine Weigela	Cont.	15-18" SPD.



1 Unit 4, 5 & 6 Planting Plan
Scale: 1" = 10'-0"



PLANT SCHEDULE UNIT 4, 5 & 6					
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
SHRUBS					
CA-H	4	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	Cont.	18-24" HT.
F-NG	18	Forsythia x 'Northern Gold'	Northern Gold Forsythia	Cont.	2-2.5' HT.
IC-GL	6	Ilex crenata 'Green Lustre'	Green Luster Japanese Holly	B & B	2-2.5' HT.
IG-S	14	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	Cont.	2-2.5' HT.
IM-BM	1	Ilex x meserveae 'Blue Prince'	Blue Prince Holly	Cont.	2-2.5' HT.
IM-BP	2	Ilex x meserveae 'Blue Princess'	Blue Princess Holly	Cont.	3-3.5' HT.
JC-S	3	Juniperus chinensis 'Spartan'	Spartan Juniper	B & B	4-5' HT.
PA-H	7	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	2 GAL	
PF-PB	4	Potentilla fruticosa 'Pink Beauty'	Pink Beauty Bush Cinquefoil	Cont.	15-18" HT.
PO-SW	1	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	Cont.	2-2.5' HT.
PV-S	6	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 GAL	
RH-CW	3	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	Cont.	2-2.5' HT.
SJ-G	5	Spiraea japonica 'Goldflame'	Goldflame Japanese Spirea	Cont.	18-24" HT.
VD-BM	1	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	B & B	4-4.5' HT
WF-FW	7	Weigela florida 'Fine Wine'	Fine Wine Weigela	Cont.	15-18" SPD.



FOR REGISTRY USE

OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
OVERLAY DISTRICT (MHOD)
RABBIT HILL NATIONAL
REGISTER HISTORIC DISTRICT

ASSESSORS PARCEL
47-113

DEED REFERENCE
BOOK 41922, PAGE 504

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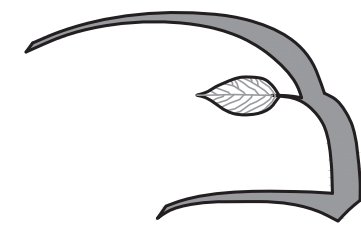
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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



Base information provided electronically by: Legacy
Engineering of Millis, MA



Hawk Design, Inc.
Landscape Architecture
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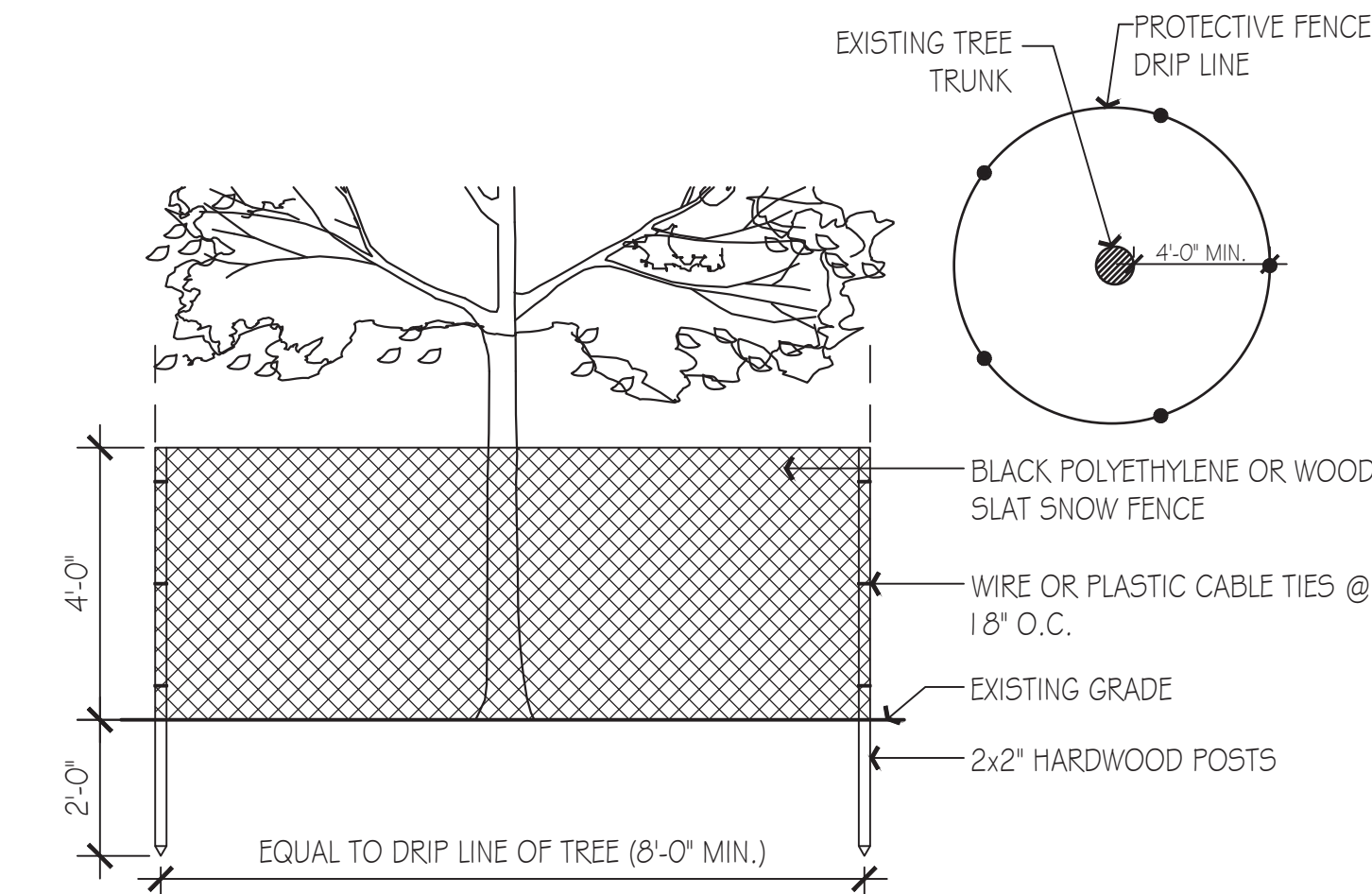
Henry Garnsey Condominiums
20 Milford Street Medway, Massachusetts
Applicant: Cape View Development, LLC., Medway, MA

Drawn By: BNL Checked By: BNL

Unit 4, 5 & 6
Planting Plan

Scale: As Noted

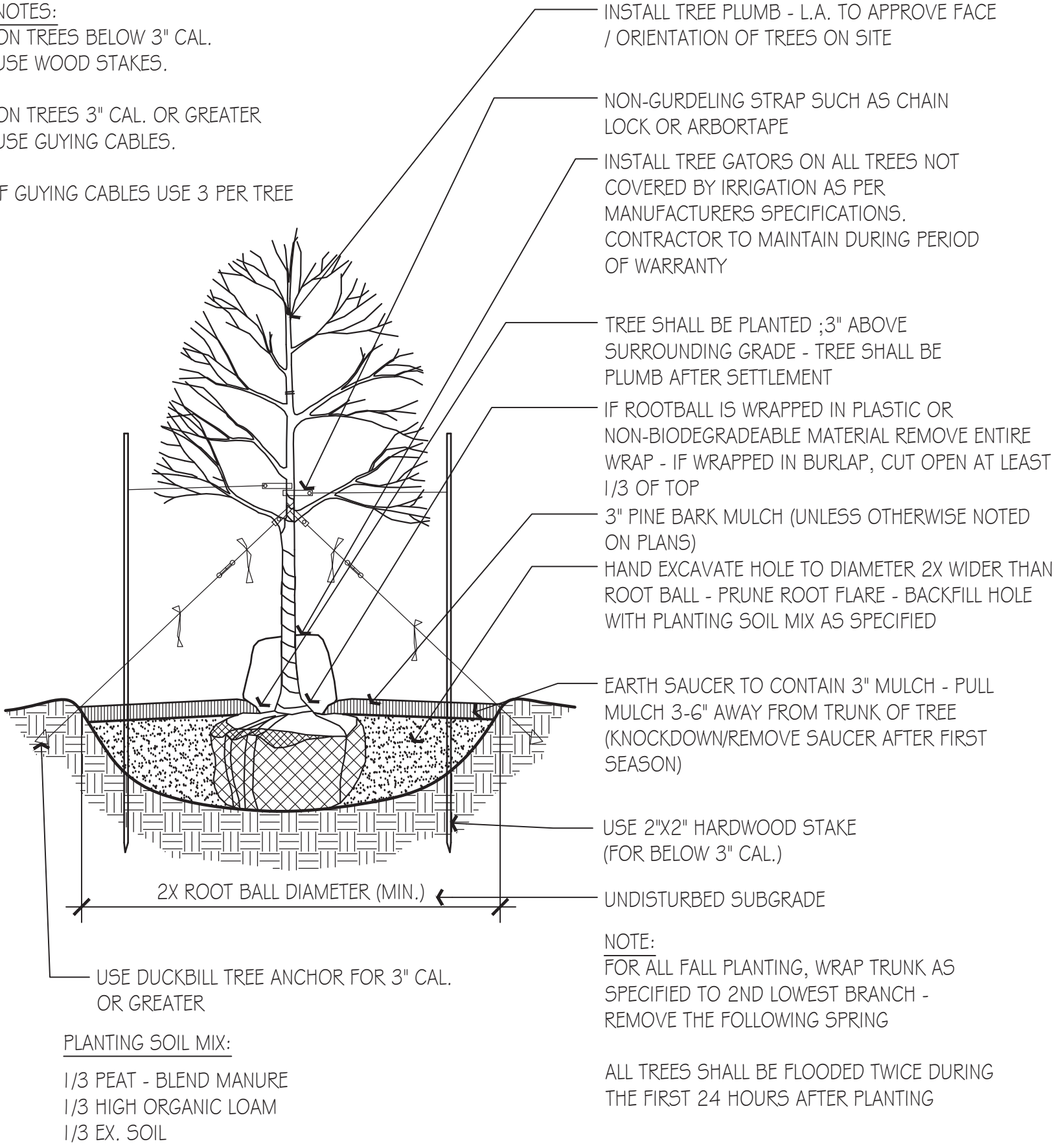
Sheet: L3



- NOTES:
1. PROTECTIVE FENCE TO REMAIN UNTIL CONSTRUCTION IS COMPLETE.
 2. NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT.
 3. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN.
 4. DO NOT NAIL BOARDS OR FENCING TO TREES DURING CONSTRUCTION.
 5. ANY EXCAVATING WITHIN DRIPLINE MUST BE APPROVED BY LANDSCAPE ARCHITECT AND MUST BE HAND-DUG. CONTRACTOR SHALL NOT CUT ANY ROOTS AND/OR BRANCHES UNLESS APPROVED BY LANDSCAPE ARCHITECT.
 6. ROOTS EXPOSED AND/OR DAMAGED DURING GRADING & CONSTRUCTION OPERATIONS SHALL BE CUT OFF CLEANLY INSIDE THE EXPOSED OR DAMAGED AREA AND TOPSOIL BE PLACED OVER THE ROOTS IMMEDIATELY. FEEDER ROOTS SHALL NOT BE CUT IN AN AREA INSIDE DRIP LINE OF THE TREE BRANCHES.
 7. ROOTS GREATER THAN 1" DIAMETER SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
 8. STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
 9. INSPECT FENCE ON WEEKLY BASIS AND REPAIR DAMAGE IMMEDIATELY.

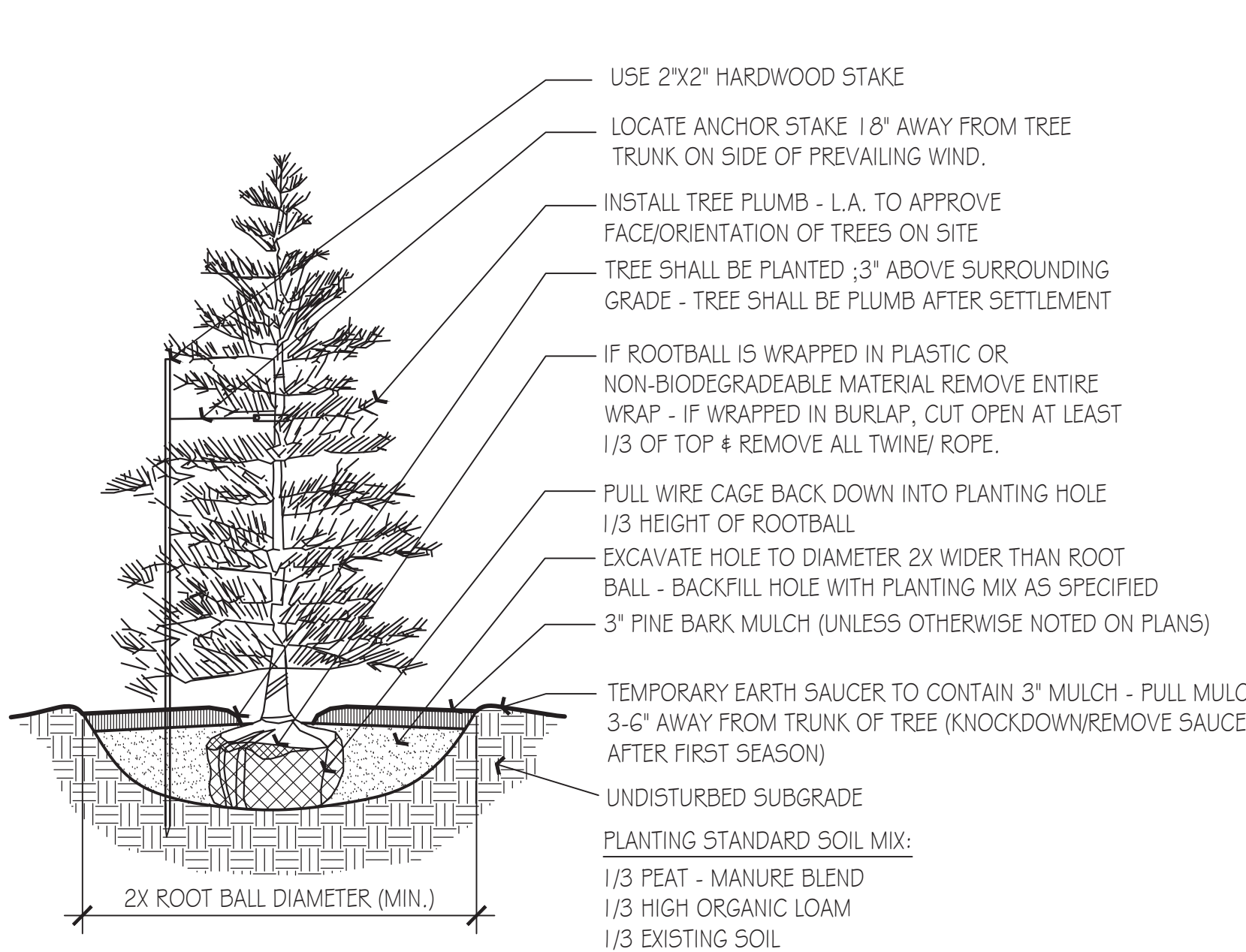
1 Tree Protection

Scale: N.T.S.



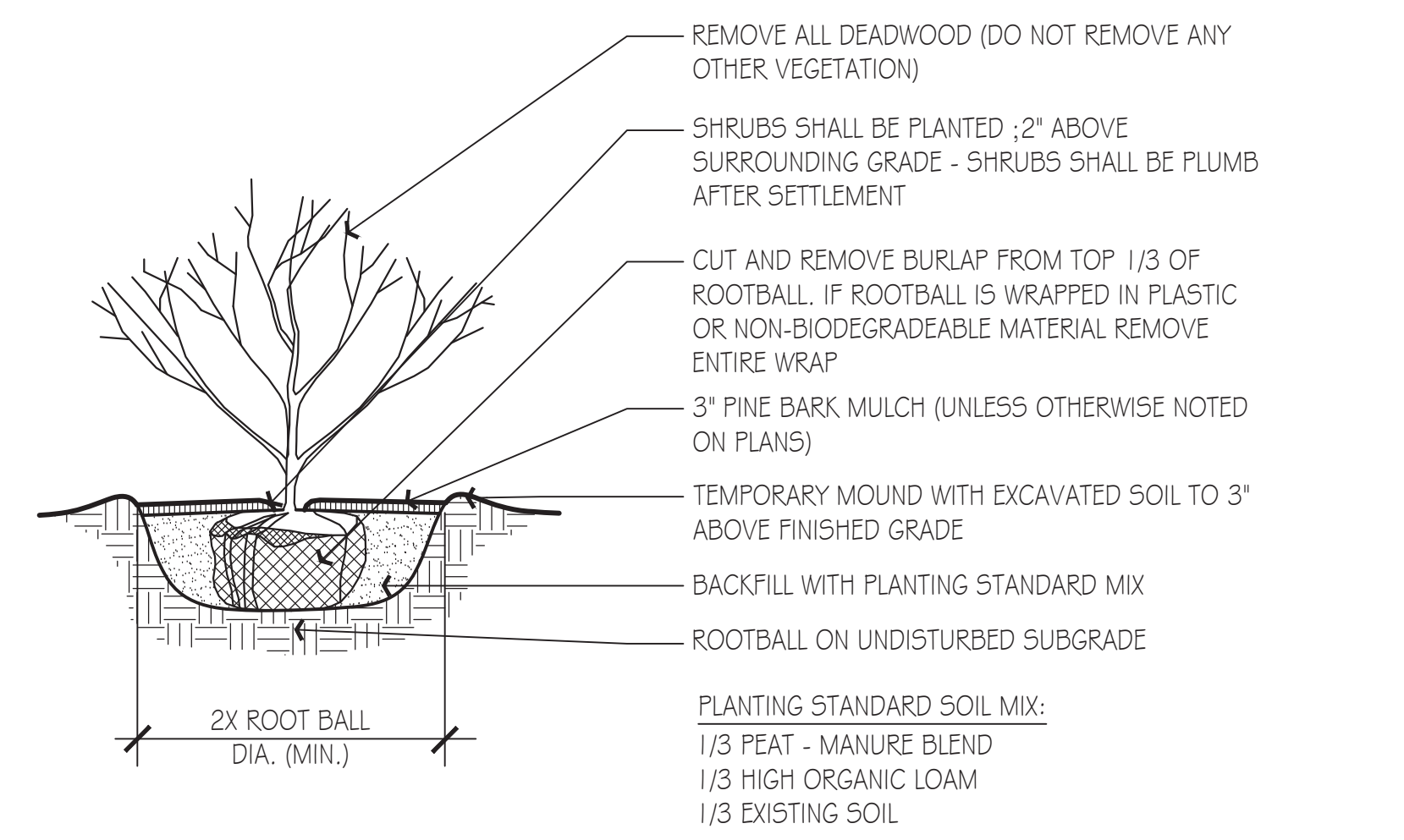
2 Deciduous Tree Planting

Scale: N.T.S.



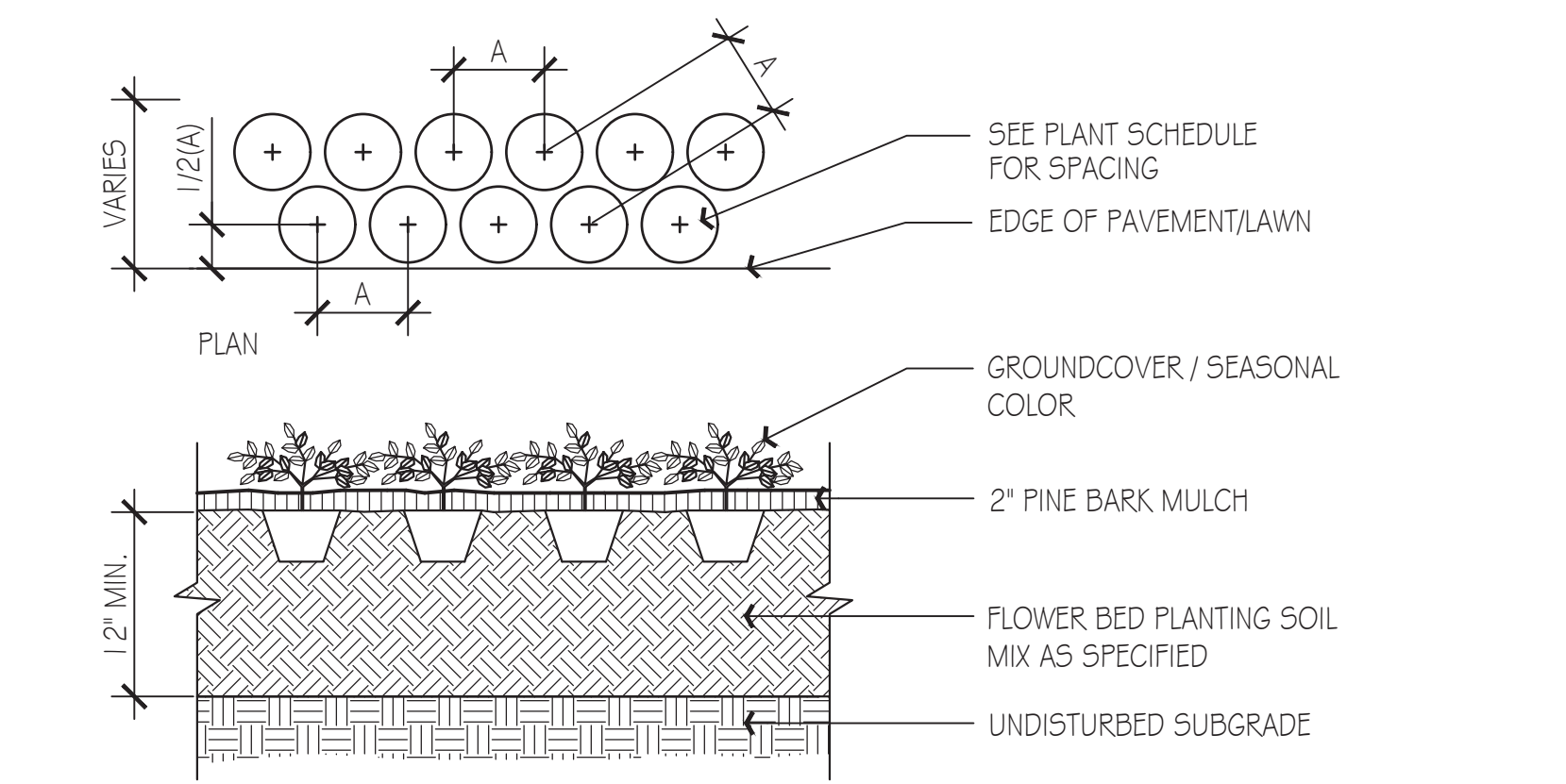
3 Conifer Tree Planting

Scale: N.T.S.



4 Shrub Planting

Scale: N.T.S.



5 Groundcover & Perennial Planting

Scale: N.T.S.

SCHEDULE OF TOPSOILS & ADDITIVES

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	12"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LIME - PELATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOD & SEED	6"	6" SCREENED LOAM
PITS/TREE WELLS "STANDARD MIX" FOR BACKFILL	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL

Rain Garden Seed Mix:

Ernst Conservation Seeds		
8884 Mercer Pike Meadville, PA 16335 (800) 873-3321 Fax (814) 336-5191 www.ernstseed.com		
Date: September 11, 2024		
Rain Garden Mix - ERNMX-180		
Botanical Name	Common Name	Price/Lb
29.50 % Schizachyrium scoparium, Fort Indiantown Gap-PA Ecotype	Little Bluestem, Fort Indiantown Gap-PA Ecotype	12.98
20.00 % Elymus virginicus, Madison-NY Ecotype	Virginia Wildrye, Madison-NY Ecotype	10.43
9.00 % Carex vulpinoidea, PA Ecotype	Fox Sedge, PA Ecotype	28.80
8.00 % Echinacea purpurea	Purple Coneflower	43.20
5.80 % Panicum rigidulum, PA Ecotype	Redtop Panicgrass, PA Ecotype	57.60
5.30 % Chasmanthium latifolium, WV Ecotype	River Oats, WV Ecotype	96.00
3.00 % Coreopsis lanceolata	Lanceleaf Coreopsis	28.80
3.00 % Rudbeckia hirta	Blackeyed Susan	31.20
2.50 % Verbena hastata, PA Ecotype	Blue Vervain, PA Ecotype	38.40
2.00 % Panicum clandestinum, Tioga	Deertongue, Tioga	22.21
1.80 % Helopsis helianthoides, PA Ecotype	Oxeye Sunflower, PA Ecotype	33.60
1.50 % Asclepias incarnata, PA Ecotype	Swamp Milkweed, PA Ecotype	177.60
1.30 % Penstemon digitalis, PA Ecotype	Tall White Beardtongue, PA Ecotype	168.00
1.00 % Carex scoparia, PA Ecotype	Blunt Broom Sedge, PA Ecotype	81.60
1.00 % Senna hebecarpa, VA & WV Ecotype	Wild Senna, VA & WV Ecotype	28.80
1.00 % Zizia aurea, PA Ecotype	Golden Alexanders, PA Ecotype	72.00
0.50 % Baptisia australis, Southern WV Ecotype	Blue False Indigo, Southern WV Ecotype	96.00
0.50 % Juncus effusus	Soft Rush	48.00
0.50 % Juncus tenuis, PA Ecotype	Path Rush, PA Ecotype	48.00
0.50 % Pycnanthemum tenuifolium	Narrowleaf Mountainmint	240.00
0.50 % Vernonia noveboracensis, PA Ecotype	New York Ironweed, PA Ecotype	264.00
0.40 % Aster novae-angliae, PA Ecotype	New England Aster, PA Ecotype	336.00
0.40 % Monarda fistulosa, Fort Indiantown Gap-PA Ecotype	Wild Bergamot, Fort Indiantown Gap-PA Ecotype	96.00
0.20 % Aster prenanthoides, PA Ecotype	Zigzag Aster, PA Ecotype	432.00
0.10 % Aster lanceolatus	Lance Leaved Aster	432.00
0.10 % Aster lateriflorus	Calico Aster	336.00
0.10 % Aster pilosus, PA Ecotype	Heath Aster, PA Ecotype	264.00
0.10 % Eupatorium perfoliatum, PA Ecotype	Boneset, PA Ecotype	192.00
0.10 % Mimulus ringens, PA Ecotype	Square Stemmed Monkeyflower, PA Ecotype	216.00
0.10 % Solidago juncea, PA Ecotype	Early Goldenrod, PA Ecotype	336.00
0.10 % Solidago nemoralis, PA Ecotype	Gray Goldenrod, PA Ecotype	264.00
0.10 % Solidago rugosa, PA Ecotype	Winkleaf Goldenrod, PA Ecotype	264.00
100.00 %	Mix Price/Lb Bulk:	\$39.25
Seeding Rate: 20 lb per acre with a cover crop. For sites that drain within 24 hours of a rain event use one of the following cover crops: Oats (1 Jan to 31 Jul; 30 lbs/acre), Japanese Millet (1 May to 31 Aug; 10 lbs/acre), or grain rye (1 Aug to 31 Dec; 30 lbs/acre).		
Grasses & Grass-like Species - Herbaceous Perennial; Herbaceous Flowering Species - Herbaceous Perennial; Stormwater Management; Uplands & Meadows		
The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.		
Price quotes guaranteed for 30 days. All prices are FOB Meadville, PA. Please check our web site at www.ernstseed.com for current pricing when placing orders.		

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DEED REFERENCE
BOOK 41922, PAGE 504

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

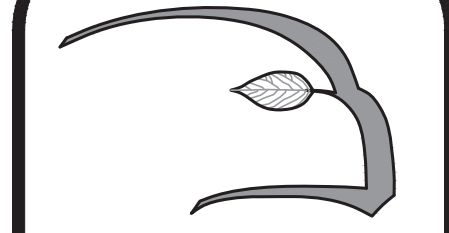
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DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



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Date: 9/23/24

Revisions:
Num. Date Description

Henry Garnsey Condominiums
20 Milford Street Medway, Massachusetts
Applicant: Cape View Development, LLC., Medway, MA

Drawn By: BNL Checked By: BNL

Planting Details

Scale: As Noted

Sheet: **D1**

General Landscape Notes:

- 1.1) CONTRACTOR REQUIREMENTS:
A) ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, FROM ALL FEDERAL, STATE AND LOCAL AUTHORITIES.
- B) THE CONTRACTOR SHALL ARRANGE FOR AND OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR THE COMPLETE WORK SPECIFIED HEREIN AND SHOWN ON ALL THE DRAWINGS. THE CONTRACTOR SHALL PAY FOR ANY FEES NOT WAIVED.
- 1.2) UTILITIES:
A) LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE RELEVANT UTILITY COMPANIES PRIOR TO DOING ANY EXCAVATION ON THE SITE. IF ANY WORK IS TO BE DONE AROUND UNDERGROUND UTILITIES, THE APPROPRIATE AUTHORITY OF THAT UTILITY MUST BE NOTIFIED OF THE IMPENDING WORK.
- B) UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY INSTALLATION. ADJUSTMENTS MAY BE NECESSARY IN THE FIELD TO ACCOMMODATE UTILITY LOCATIONS. REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- C) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES DONE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.
- 1.3) PROTECTION OF EXISTING WORK: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS WORK COMPLETED BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.
- 1.4) QUANTITIES: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES, AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANT IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLAN SHALL GOVERN. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF UNLABELED PLANTS IN PLAN FOR CLARIFICATION. THE LANDSCAPE ARCHITECT SHALL BE ALERTED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION.
- 1.5) APPLICABLE PLANT MATERIALS STANDARDS: ALL PLANT MATERIALS ARE TO COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANTING METHODS WILL BE IN ACCORDANCE WITH SITE-SPECIFIC REQUIREMENTS.
- 1.6) PLANT HARDINESS: ALL TREES AND SHRUBS SHALL BE NURSERY GROWN WITHIN A USDA PLANT HARDINESS ZONE, WHICH IS THE SAME AS, OR COLDER THAN, THE ZONE IN WHICH THE PROJECT IS LOCATED.
- 1.7) PLANTING SEASONS: PLANTING SHALL ONLY OCCUR DURING SPECIFIED SEASONS. SPRING SEASON SHALL BE FROM MARCH 1 TO JUNE 15. FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 THROUGH NOVEMBER 15. NO PLANTING SHALL OCCUR WHEN THE GROUND IS FROZEN.
- 1.8) PLANT SUBSTITUTIONS: NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASON FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIALS SHALL STATE THE NAMES OF NURSERIES THAT HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.
- 1.9) THE LANDSCAPE ARCHITECT SHALL RESERVE THE RIGHT TO INSPECT ALL PLANT MATERIALS AT THE NURSERY, UPON SITE DELIVERY AND DURING INSTALLATION TO INSURE SPECIFICATIONS AND PROCEDURES ARE ADHERED TO.
- 1.10) MINIMUM SIZES: ALL PLANTS 3' OR GREATER IN HEIGHT OR SPREAD SHALL BE BALLED AND BURLAPPED. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUMS ON WHICH THE PLANTS ARE TO BE JUDGED.
- 1.11) DEAD PLANTS: DEAD PLANTS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY, AND REPLACED WITH THE SAME PLANT & SIZE REGARDLESS OF SEASON, WEEKLY FROM THE JOB BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN AN UPDATED COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AND LANDSCAPE ARCHITECT AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- 1.12) PLANT MATERIAL REMOVAL: NO EXISTING TREES SHALL BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT EXCEPT WHERE NOTED ON THE PLANS. CONTRACTORS WHO REMOVE EXISTING TREES WITHOUT WRITTEN APPROVAL WILL BE REQUIRED TO MAKE REMEDIES DETERMINED BY THE GOVERNING URBAN FORESTER OR EQUIVALENT AUTHORITY. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS UNLESS SPECIFICALLY NOTED ON THE PLANS.
- 1.13) ALL DISTURBED AREAS NOT TO RECEIVE PLANT MATERIALS ARE TO BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS. SEE SECTION 4.0.
- 1.14) LEDGE BOULDERS: IF DURING SITE EXCAVATION, LEDGE BOULDERS ARE AVAILABLE, THESE ARE TO BE STOCKPILED FOR USE IN EARTH BERMS IF APPLICABLE. WITH HAWK DESIGN, INC. PRIOR TO INSTALLATION. THIS ITEM WILL ONLY APPLY IF SO SPECIFIED ON DRAWINGS. BOULDERS SIZES TO BE STOCKPILED WILL RANGE FROM TWO TO FIVE FEET IN DIAMETER. SEE APPROPRIATE DETAIL FOR INSTALLATION COORDINATION.
- 1.15) SLEEVES: LANDSCAPE OR SITE CONTRACTOR SHALL PLACE INDIVIDUAL SLEEVES FOR LIGHTING AND IRRIGATION UNDER ANY PROPOSED WALKWAY OR VEHICULAR ROADWAY PRIOR TO INSTALLATION. COORDINATE SLEEVE LOCATIONS WITH IRRIGATION AND LIGHTING CONTRACTORS PRIOR TO INSTALLATION.
- 1.16) DO NOT CLOSE OR OBSTRUCT ANY STREET, SIDEWALK, ALLEY OR PASSAGEWAY WITHOUT PRIOR NOTIFICATION AND PERMISSION. CONDUCT OPERATIONS AS TO INTERFERE AS LITTLE AS POSSIBLE WITH THE USE ORDINARILY MADE OF ROADS, DRIVEWAYS, ALLEYS, SIDEWALKS OR OTHER FACILITIES NEAR ENOUGH TO THE WORK TO BE EFFECTED THEREBY.

Planting Materials:

- 2.1) PLANTING MATERIAL ITEMS IN SECTION 2.0 ARE TO BE INCORPORATED DURING PLANT INSTALLATION UNLESS OTHERWISE DEEMED UNNECESSARY IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS. SEE SECTION 3.1.
- MULCH - MULCH WILL BE DOUBLE-SHREDDED PINE BARK MULCH.
- TREES AND SHRUBS SHALL RECEIVE AN EVEN 3" MULCH LAYER.
- GROUNDCOVERS, PERENNIALS AND ANNUALS SHALL RECEIVE AN EVEN 2" MULCH LAYER.
- MANURE - TO BE WELL ROTTED, ODORLESS, UNLEACHED COW MANURE, CONTAINING NOT MORE THAN 15% BEDDED MATERIALS SUCH AS STRAW, WOOD CHIPS OR SHAVINGS, AGED NOT LESS THAN TWO YEARS OLD.
- HERBICIDE- A PRE-EMERGENCE WEED KILLER IS TO BE USED ON ALL LAWN AND PLANTING AREAS PRIOR TO INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS. *HERBICIDES ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.
- FERTILIZER- ALL TREES AND SHRUBS TO HAVE SLOW RELEASE PACKET OR PELLET PLACED INTO THE PLANT PIT WITH A MINIMUM ANALYSIS OF 10-10-10. ALL GROUNDCOVERS, PERENNIALS AND ANNUALS ARE TO RECEIVE A BROADCAST APPLICATION OF A 14-14-14 FERTILIZER AT 3 LB PR. 100 SQ. FT. APPLY AS PER MANUFACTURERS INSTRUCTIONS. *FERTILIZERS ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.
- TOPSOIL- ACCEPTABLE TOPSOIL SHALL BE FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, LIMBS, PLANTS AND THEIR ROOTS, DEBRIS AND OTHER EXTRANEOUS MATTER OVER ONE INCH IN DIAMETER. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC CONTENT. IN SITUATIONS WHICH REQUIRE A CUSTOM TOPSOIL OR STRUCTURAL SOIL, THE SOIL MIXTURE SPECIFICATION WILL BE PROVIDED BY THE LANDSCAPE ARCHITECT.
- SOIL AMENDMENTS: APPLY AS NECESSARY ACCORDING TO SOIL TEST RESULTS, AS PER MANUFACTURES SPECIFICATIONS.
- ANTI-DESICCANT- "WILT FRUP" NCF OR EQUAL APPLY AS PER MANUFACTURERS' SPECIFICATIONS.

Plant Installation:

- 3.1) SOIL TESTING: LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS PRIOR TO ANY PLANT INSTALLATION TO DETERMINE ANY NECESSARY AMENDMENTS TO THE EXISTING SOIL CONDITIONS FOR SEEDING AND PLANTING. THE ANALYSIS WILL ALSO BE REQUIRED FOR ESTABLISHING THE FERTILIZER PROGRAM REQUIRED. COORDINATE RESULTS AND PROVIDE WRITTEN RECOMMENDATIONS TO HAWK DESIGN, INC. 15 DAYS PRIOR TO INSTALLATION.
- 3.2) ALL PLANTS SHALL BE TRANSPORTED TO THE SITE IN COVERED TRUCKS, TARPULIN COVERS SHALL BE UTILIZED TO PREVENT WIND DAMAGE OF LOAD.
- 3.3) DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS MOIST. DO NOT STORE PLANT MATERIAL ON PAVED AREAS. ROOTS OR BALLS SHALL BE PROTECTED FROM THE SUN OR DRYING WINDS. AS REQUIRED BY TEMPERATURE OR WIND CONDITIONS, APPLY ANTI-DESICCANT EMULSION TO PREVENT DRYING OUT OF PLANT MATERIALS.
- 3.4) CONDITIONS FOR PLANT REJECTION:
A) REJECT PLANTS WHEN BALL OF EARTH SURROUNDING ROOTS HAS BEEN CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING.
- B) WHEN BURLAP, STAVES AND ROPES REQUIRED IN CONNECTION WITH TRANSPLANTING HAVE BEEN DISPLACED PRIOR TO ACCEPTANCE.
- C) WIND DAMAGED PLANT MATERIAL FROM POOR TARPULIN COVER PROCEDURES ARE SUBJECT TO REJECTION.
- 3.5) ALL PLANT MATERIAL, WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY, SHALL BE SET ON THE GROUND IN A SHADED LOCATION AND SHALL BE TEMPORARILY PROTECTED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. TEMPORARY WATERING OR IRRIGATION SHALL BE INCORPORATED AND REGULARLY CONDUCTED ON PLANTINGS IN HOLD AREAS.
- 3.6) IN CASE OF CONFLICTS DURING CONSTRUCTION WITH UTILITIES, ROCK MATERIALS, TREE ROOTS OR OTHER OBSTRUCTIONS FOR THE EXCAVATION OF SHRUB BEDS AND TREE PITS. CONTACT LANDSCAPE ARCHITECT FOR APPROVED ALTERNATE LOCATIONS.
- 3.7) SOIL PERMEABILITY: TEST DRAINAGE OF PLANTING BEDS AND PITS BY FILLING WITH WATER TWICE IN SUCCESSION. CONDITIONS PERMITTING THE RETENTION OF WATER FOR MORE THAN 24 HOURS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- 3.8) SOIL EXCAVATIONS:
A) EXCAVATE TREE PITS AND SHRUB BEDS TO DEPTHS REQUIRED BY PLANTING DETAILS. ALL PITS SHALL BE CIRCULAR IN OUTLINE, EXCEPT FOR WHOLE BEDS. SEE APPROPRIATE PLANTING DETAILS.
- B) SOIL EXCAVATIONS FOR BALLED & BURLAP AND CONTAINER PLANTINGS MUST BE NO LESS THAN 2X ROOT BALL DIAMETER. SEE PLANTING DETAILS. IF QUESTIONABLE SUBSURFACE SOIL CONDITIONS EXIST SUCH AS POOR DRAINAGE CONDITIONS, RUBBLE OR OBSTRUCTIONS, REPORT TO THE LANDSCAPE ARCHITECT AND CONSTRUCTION MANAGER BEFORE PLANTING.
- 3.9) GRADING:
A) VERIFY GRADES PRIOR TO PLANTING. THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS INDICATED ON PLANS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF ADJUSTMENTS TO PLANT PLACEMENT MAY BE REQUIRED DUE TO FIELD CONDITIONS AND FINAL GRADING.
- B) POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM AND AROUND BUILDINGS (REFER TO ENGINEERS GRADING PLANS). REPORT ANY CONFLICTS TO HAWK DESIGN, INC. PRIOR TO INSTALLATION.
- C) FINISH GRADE OF PLANTINGS SHALL BE EQUIVALENT TO FORMER EXISTING GRADE OF PLANT IN THE NURSERY.
- 3.10) BALLED AND BURLAPED (B&B) MATERIALS:
A) CUT WIRE BASKETS ONCE IN THE PLANT PIT AND PEEL WIRE BACK.
- B) TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM ANY PLANT MATERIAL

Plant Installation Cont'd

- 3.11) CONTAINER GROWN STOCK: SHALL BE REMOVED FROM CONTAINER BY CUTTING CONTAINER AWAY TO AVOID ROOT DAMAGE TO PLANT ROOT SYSTEM. IF PLANT ROOT IS BOUND, SLICE ROOT BALLS APPROXIMATELY 2" DEEP WITH KNIFE OR SHARP SPADE.
- 3.12) DO NOT USE MUDDY OR FROZEN SOIL TO BACKFILL PLANTINGS.
- 3.13) WATERING: THOROUGHLY WATER UNTIL SOIL IS SATURATED AROUND ALL TREES AND SHRUBS AFTER PLANTING AND THROUGHOUT THE TIME PERIOD UNTIL FINAL ACCEPTANCE FROM CLIENT. DURING DRY CONDITIONS, WATER AS REQUIRED TO MAINTAIN PLANTS IN A WILT-FREE CONDITION.
- 3.14) PRUNING: TREES SHALL BE PRUNED TO BALANCE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR NATURAL CHARACTER AND TYPICAL GROWTH HABIT. PRUNING SHALL BE RESTRICTED IN GENERAL TO THE SECONDARY BRANCHES AND SUCKER GROWTH. ALL CUTS TO BE FLUSH WITH TRUNK. DO NOT CUT A LEADER. THE LANDSCAPE ARCHITECT WILL REJECT ALL PLANTS DISFIGURED BY POOR PRUNING PRACTICES. ALL PRUNING CUTS SHALL REMAIN UNPAINTED.
- 3.15) STAKING AND GUYING: ALL TREES TO BE STAKED AND GUYED WITHIN 48 HOURS OF PLANTING. METHODS AND MATERIALS FOR STAKING AND GUYING ARE ILLUSTRATED IN INDIVIDUAL PLANTING DETAILS. NEATLY FLAG ALL GUY WIRES WITH ROT RESISTANCE YELLOW TREE MARKING RIBBON.
- 3.16) STAKE OUT PLANT LOCATIONS: PRIOR TO PLANTING THE CONTRACTOR SHALL LAYOUT THE EXTENT OF THE PLANT BEDS AND PROPOSED LOCATIONS FOR B&B PLANTS FOR REVIEW BY THE OWNER AND LANDSCAPE ARCHITECT.
- 3.17) PLANTING FIELD ADJUSTMENTS:
A) THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES.
- B) LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS OR UNDER BUILDING OVERHANGS. NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES IN PLANTING PLAN VS. FIELD CONDITIONS.
- C) SHRUBS PLANTED NEAR HVAC UNITS ARE TO BE LOCATED SO THAT SHRUBS AT MATURITY WILL MAINTAIN ONE FOOT (1') AIRSPACE BETWEEN THE UNIT AND THE PLANT. ANY PLANTING SHOWN ADJACENT TO CONDENSER UNITS SHALL BE PLANTED TO SCREEN THE UNITS. SHOULD THE CONDENSER UNITS BE INSTALLED IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE PLAN, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL THE MATERIAL AROUND THE CONDENSERS AND ADJUST THE OTHER PLANTING ACCORDINGLY.
- 3.18) PLANT BED EDGES/LINES: GROUPS OF SHRUBS, PERENNIALS AND GROUNDCOVERS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE, FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN 4 FEET OF PLANT BEDS SHALL SHARE THE SAME MULCH BEDS.
- 3.19) A.D.A. - THE AMERICAN WITH DISABILITIES ACT STANDARDS REQUIRE THAT A 7 FOOT VERTICAL CLEARANCE BE MAINTAINED FROM TREE BRANCHES TO FINISHED GRADE WHERE PEDESTRIANS SIDEWALKS AND/OR TRAILS ARE LOCATED. THE CONTRACTOR IS TO ADJUST TREE PLANTINGS IN FIELD TO SLIGHTLY MINIMIZE BRANCH OVERHANG AND COMPLY WITH THE A.D.A. ACT.
- 3.20) TREE SPACING MINIMUMS: TREES SHALL BE LOCATED A MINIMUM OF 4 FEET FROM RETAINING WALLS AND WALKS WITHIN THE PROJECT. IF A CONFLICT ARISES BETWEEN ACTUAL SIZE OF AREA AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.

Seeding and Sodding:

- 4.1) SEEDING OF LAWN AREAS: GRASS SEED APPLICATION SHALL BE SPREAD AT THE RATE OF 5 LBS. PER 1,000 SQUARE FEET. SEEDING SHALL BE ACCOMPLISHED BY MEANS OF A HYDRO-SEEDING PROCESS.
- 4.2) WATERING OF SEEDED AREAS: 24 HOURS AFTER HYDRO SEEDING, THE CONTRACTOR SHALL WATER THE SEEDED AREA LIGHTLY AND SUFFICIENTLY TO A DEPTH OF TWO INCHES (2") 2 TIMES A DAY (BETWEEN THE HOURS OF 7 PM AND 7 AM), UNTIL THE SEEDS ARE ESTABLISHED.

- 4.3) SEEDED AREA PROTECTION: THE CONTRACTOR SHALL ERECT SUITABLE SIGNS AND BARRICADES NOTIFYING THE PUBLIC TO KEEP OFF THE SEEDED AREAS UNTIL WELL ESTABLISHED. ANY TRAFFIC DAMAGE AND VANDALISM THAT MAY OCCUR PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE REPAIRED AND RESEEDED AT THE OWNERS EXPENSE. ANY DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS AT THE CONTRACTORS EXPENSE.
- 4.4) LAYING OF SOD: A KENTUCKY BLUEGRASS SOD MIX - BY LOCAL SOURCE AS SELECTED BY CONTRACTOR, SHALL BE FRESHLY CUT FROM THE SAME FIELD WITH 1/2 - 3/4 INCHES OF SOIL. SOD SHALL BE LAID IMMEDIATELY WITH ANY STORED SOD BEING UNROLLED GRASS SIDE UP AND KEPT WATERED. LAY COURSES TIGHTLY TOGETHER WITHOUT OVERLAPPING WITH THE JOINTS STAGGERED. AFTER SODDING IS COMPLETE, ROLL LIGHTLY. THE CONTRACTOR SHALL WATER THE SODDED AREAS TO A DEPTH OF AT LEAST SIX INCHES AFTER THE SODDING PROCESS. OWNER SHALL THEN BE RESPONSIBLE FOR WATERING. THE FREQUENCY SHALL BE DETERMINED BY RAIN FALL AND WINDS WITH THE UPPER TWO OR THREE INCHES OF SOIL NOT DRYING OUT MARKEDLY.
- 4.5) SODDED AREA: INSPECTION AND ACCEPTANCE: FOUR WEEKS AFTER CONTRACTOR COMPLETES INSTALLATION, LANDSCAPE ARCHITECT SHALL INSPECT THE LAWN TO DETERMINE THE ACCEPTABILITY OF THE INSTALLATION. SODDED AREAS FAILING TO SHOW ADEQUATE ROOTING INTO THE SUBSOIL, OVERLAPPING, COURSE SEPARATION, UNEVENNESS OF THE SURFACE, UNEVEN COURSE COLOR AND EXCESSIVE BROADLEAF WEED CONTENT SHALL BE REPLACED. THE COST SHALL BE BORNE BY THE CONTRACTOR EXCEPT WHERE VANDALISM OR NEGLECT ON THE PART OF OTHERS NOT UNDER THE CONTRACTORS CONTROL HAS RESULTED IN DAMAGE.
- 4.6) FINAL APPROVAL: SEEDED AND SODDED AREAS WILL RECEIVE FINAL APPROVAL IF COVERAGE IS FULL AND CONSISTENT, FREE OF BARE SPOTS AND WEED FREE. WHEN GRASS IS CUT AT 2" HEIGHT NO SOIL SHOULD BE VISIBLE. SOD AREAS MUST HAVE RECEIVED A MINIMUM OF TWO MOWINGS. AREAS SODDED AFTER NOVEMBER 1ST WILL BE ACCEPTED THE FOLLOWING SPRING - ONE MONTH AFTER THE START OF THE GROWING SEASON, IF THE ABOVE CRITERIA HAS BEEN MET.

Maintenance:

- 5.1) MAINTENANCE DURING INSTALLATION: MAINTENANCE OPERATIONS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE AS REQUIRED UNTIL FINAL ACCEPTANCE AND THEN FOR THE GUARANTEE PERIOD. PLANTS SHALL BE KEPT IN A HEALTHY, GROWING CONDITION BY WATERING, PRUNING, SPRAYING, WEEDING AND ANY OTHER NECESSARY OPERATIONS OF MAINTENANCE. PLANT SAUCERS AND BEDS SHALL BE KEPT FREE OF WEEDS, GRASS AND OTHER UNDESIED VEGETATION. PLANTS SHALL BE INSPECTED AT LEAST ONCE PER WEEK BY THE CONTRACTOR DURING THE INSTALLATION PERIOD AND ANY NEEDED MAINTENANCE IS TO BE PERFORMED PROMPTLY.
- 5.2) GRASS AND WEED CONTROL: THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOWING ALL GRASS AROUND LANDSCAPE BEDS AND INDIVIDUAL TREES AND SHRUBS UNTIL FINAL ACCEPTANCE. WEED CONTROL AREAS SHALL INCLUDE ALL LANDSCAPE BEDS AND THE AREA WITHIN 2 FEET OF THE OUTER EDGE OF THE MULCH AREA OR INDIVIDUAL TREE/SHRUBS.
- 5.3) THE CONTRACTOR SHALL WATER, FERTILIZE, WEED, CULTIVATE, REMULCH, SPRAY TO CONTROL INSECT INFESTATION AND DISEASE AND PERFORM ANY OTHER GOOD HORTICULTURAL PRACTICE NECESSARY TO MAINTAIN THE PLANTS IN A LIVING HEALTHY CONDITION UPON THE TIME FOR TERMINATION OF HIS RESPONSIBILITY FOR CARE AS SET OUT HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTS THROUGHOUT LIFE OF THE CONTRACT.
- 5.4) ALL PLANTS STOLEN, DAMAGED OR DESTROYED BY FIRE, AUTOMOBILES, VANDALISM OR ANY OTHER CAUSE, WITH THE EXCEPTION OF PLANTS DAMAGED OR DESTROYED BY THE OWNERS MAINTENANCE OPERATIONS, SHALL BE REPLACED BY THE OWNER PRIOR TO THE DATE OF FINAL ACCEPTANCE.
- 5.5) LANDSCAPE CONTRACTOR SHALL PREPARE MAINTENANCE SPECIFICATIONS AND SCHEDULE ANNUAL CARE OF ALL PLANTED AND LAWN AREAS INCLUDING FERTILIZING, WEEDING, MULCHING, BED EDGING, PRUNING AND PEST PREVENTION AND TREATMENT.

Plant Material Guarantee:

- *CONTRACTOR SHALL GUARANTEE IN WRITING ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS FOR A PERIOD OF ONE YEAR. THE GUARANTEE IS TO INCLUDE THE FOLLOWING:
- 6.1) INSPECTIONS: PERFORM PERIODIC INSPECTIONS DURING GUARANTEE PERIOD WITH RESULTING WRITTEN REPORTS TO OWNER, PROJECT ADMINISTRATOR AND LANDSCAPE ARCHITECT STATING CONDITIONS AND RECOMMEND MAINTENANCE MODIFICATIONS. THE CONTRACTOR MUST CONTACT THE OWNER AND LANDSCAPE ARCHITECT AT LEAST 10 DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE (INSPECTIONS).
- 6.2) REMOVAL AND REPLACEMENT OF PLANTS PROVIDED BY CONTRACTOR TO BE DONE WITHIN THIRTY DAYS OF NOTIFICATION BY OWNER OF THEIR UNSATISFACTORY CONDITION DURING GROWING SEASONS. REPLACEMENT MATERIALS MUST BE EQUAL IN TYPE AND SIZE PER THE PROJECT'S PLANT LIST.
- 6.3) WHEN REPLACEMENT PLANT SPECIES IS EITHER NOT READILY AVAILABLE OR NO LONGER SUITABLE TO EXISTING SITE CONDITIONS WRITTEN NOTICE RECOMMENDATION OF SUBSTITUTION TO BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT WITHIN FIFTEEN DAYS FOR APPROVAL.
- 6.4) REMOVAL OF TREES SUPPORTS AND DEAD LIMBS PRIOR TO END OF GUARANTEE INSPECTION PERIOD.
- 6.5) CONTINUE WITH MAINTENANCE, SEE SECTION 5.0
- 6.6) GUARANTEE SHALL BEGIN UPON DATE OF FINAL ACCEPTANCE FROM OWNER AND WILL CONTINUE FOR ONE YEAR.

Site Cleanup:

- 7.1) SITE WORK CONDITIONS: EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY WHEN PLANTING IN AN AREA HAS BEEN COMPLETED. THE AREA SHALL BE CLEARED OF ALL DEBRIS, SOIL PILES AND CONTAINERS DAILY. WHERE EXISTING GRASS AREAS HAVE BEEN DAMAGED OR SCARED DURING PLANTING OPERATIONS, THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS AT HIS EXPENSE.
- 7.2) CLEAN PAVED AREAS UTILIZED FOR HAULING OR EQUIPMENT STORAGE AT END OF EACH WORKDAY.
- 7.3) MAINTAIN VEHICLES AND EQUIPMENT IN CLEAN CONDITION TO PREVENT SOILING OF ROADS, WALKS OR OTHER PAVED OR SURFACED AREAS.
- 7.4) REMOVE PROTECTIVE BARRIERS AND WARNING SIGNS AT TERMINATION OF LAWN ESTABLISHMENT.

Irrigation Notes:

- 8.1) ALL IRRIGATION SYSTEM COMPONENTS SHALL BE SUPPLIED BY REGIONALLY AUTHORIZED DISTRIBUTORS TO PROVIDE SINGLE SOURCE RESPONSIBILITY FOR WARRANTY SERVICE AND OPERATIONS TO CONFORM TO SPECIFICATIONS IN ALL RESPECTS.
- 8.2) THE CONTRACTOR IS TO SUBMIT PLANS PREPARED BY A IRRIGATION SPECIALIST TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- 8.3) ALL LINE VOLTAGE TO CONTROLLER AND ASSOCIATED BREAKER, CONDUIT ETC TO BE PERFORMED BY A LICENSED ELECTRICIAN.
- 8.4) ALL WIRES FOR RAIN SENSOR TO BE RUN IN SCHEDULE 40 PVC CONDUIT FOR APPLICATIONS IN EXPOSED AREAS UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- 8.5) SLEEVES TO BE COORDINATED, LOCATED AND INSTALLED UNDER ALL HARDSCAPE FEATURES SUCH AS WALKS, WALLS AND DRIVEWAYS. THE CONTRACTOR IS TO IMMEDIAETLY NOTIFY THE LANDSCAPE ARCHITECT OF ALL CONFLICT AND DISCREPANCIES.
- 8.6) CONTRACTOR WILL REVIEW WITH CLIENT ALL IRRIGATION PROCEDURES AND PROCESSES (i.e. TIMERS, ZONES AND ALL OTHER ITEMS INVOLVED W/ THE IRRIGATION SYSTEM) AND PROVIDE NECESSARY DOCUMENTATION FOR OPERATION OF IRRIGATION SYSTEM.
- 8.7) THE CONTRACOR IS TO PROVIDE WIRES FOR FUTURE EXPANSION IN 1/2" DIAMETER VALVE BOX AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CLIENT.
- 8.8) UNLESS INDICATED OTHERWISE, ALL PLANT BEDS ARE TO BE IRRIGATED WITH DRIP IRRIGATION, ALL LAWN AREAS TO BE IRRIGATED WITH SPRAY HEADS, MODEL/STYPES T.B.D. AND VERIFIED BY LANDSCAPE ARCHITECT AND IRRIGATION CONTRACTOR

FOR REGISTRY USE

OWNER/APPLICANT
METAL BEARD, INC.
16 MOWRY STREET
MENDON, MA 01756

ZONING DISTRICT
VILLAGE-RESIDENTIAL (VR)
MULTI-FAMILY HOUSING
OVERLAY DISTRICT (MHOD)
RABBIT HILL NATIONAL
REGISTER HISTORIC DISTRICT

ASSESSORS PARCEL
47-113

DEED REFERENCE
BOOK 41922, PAGE 504

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

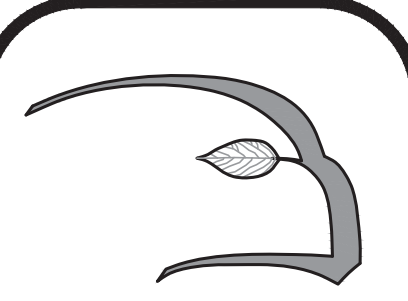
DATE: _____

REGISTERED LAND SURVEYOR

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



Hawk Design, Inc.
Landscape Architecture
Land Planning
Sagamore, MA
508-833-8800
info@hawkdesigninc.com

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Date: 9/23/24

Revisions:
Num. Date Description

Henry Garnsey Condominiums
20 Milford Street Medway, Massachusetts
Applicant: Cape View Development, LLC., Medway, MA

Drawn By:BNL Checked By:BNL

Planting
Specifications

Scale: As Noted

Sheet: D2