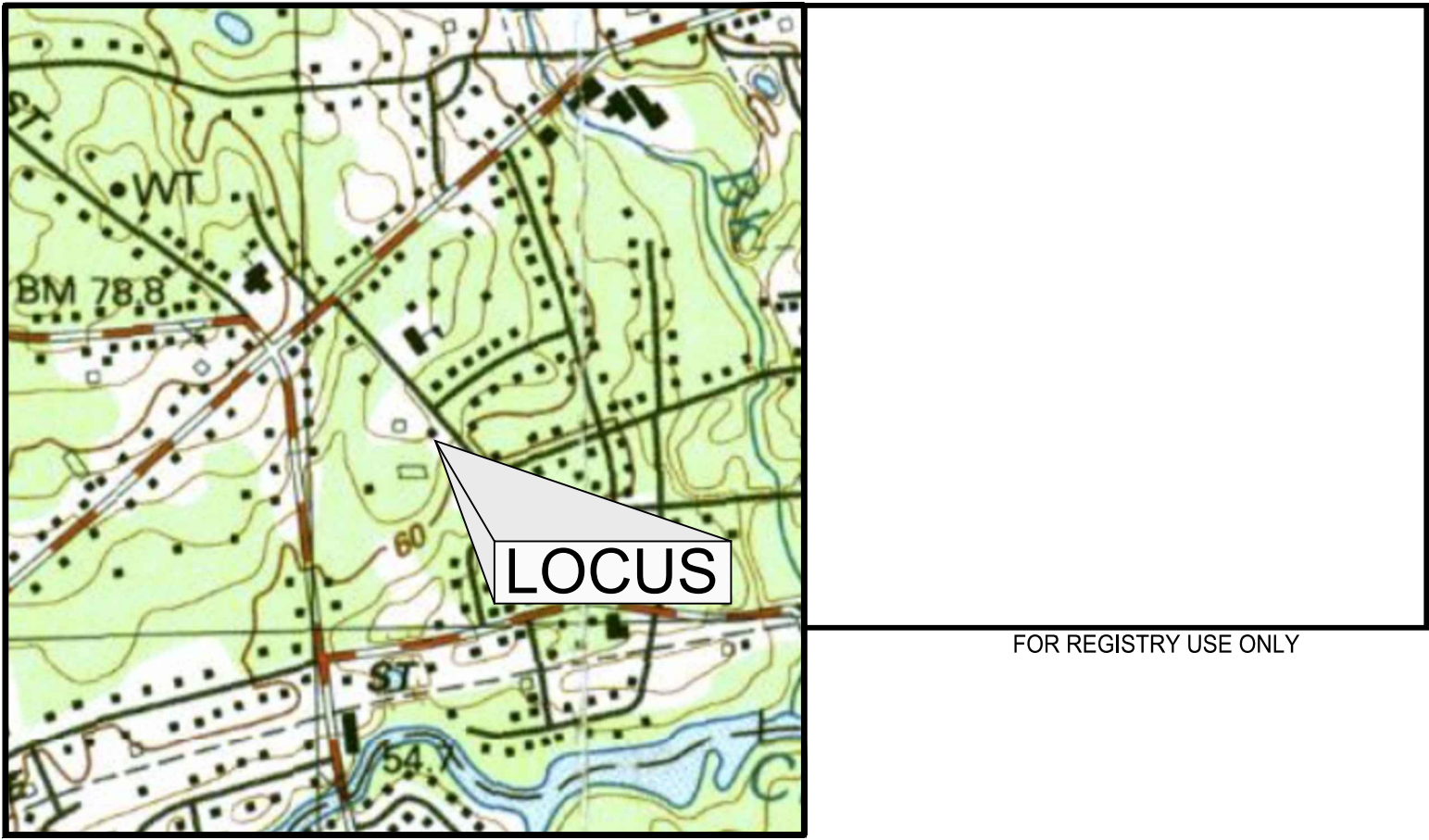


PROJECT:
HIGH STREET MEADOWS
21 HIGH STREET
MEDWAY, MA 02053

MEDWAY ASSESSORS MAP 57 LOT 62
NORFOLK REGISTRY BOOK 36435 PAGE 252

APPLICANT/OWNER:
MEDWAY DEVELOPMENT, LLC
383 MAIN STREET
MEDFIELD, MA 02052



LOCUS PLAN
SCALE: 1"=1,000'

APPLICANT/OWNER
MEDWAY DEVELOPMENT, LLC
383 MAIN STREET
MEDFIELD, MA 02052

RECORD OWNER:
MEDWAY DEVELOPMENT, LLC
383 MAIN STREET
MEDFIELD, MA 02052

CIVIL ENGINEER
PVI SITE DESIGN, LLC
18 GLENDALE ROAD
NORWOOD, MA 02062

LAND SURVEYOR
COLONIAL ENGINEERING
11 AWL STREET
MEDWAY, MA 02053

EXISTING PERMITS

- ZONING BOARD OF APPEALS DECISION - SPECIAL PERMIT, 21 HIGH STREET, DATED APRIL 5, 2023.
- ORDER OF RESOURCE AREA DELINEATION, MASSDEP FILE NO. 216-0926, RECORDED 10-29-2019 (EXPIRED)
- ENFORCEMENT ORDER ISSUED JUNE 3, 2019.

ZONING TABLE

AGRICULTURAL RESIDENTIAL II(ARIII)

	REQUIRED	PROPOSED	NOTES
MIN. LOT AREA	30,000 SF	164,173 SF	
MIN. LOT FRONTAGE	150 FT	290.9 FT	
SETBACKS:			
FRONT	35 FT	22.1 FT	EXISTING NON-CONFORMING
SIDE	15 FT	15 FT	
REAR	15 FT	275 FT	
MAX. HEIGHT	35 FT	35 FT	
MAX. LOT COVERAGE	30%	5.9%	
MAX. IMPERVIOUS COVERAGE	40%	12.4%	
MIN. OPEN SPACE	NA	NA	
PARKING:			
RESIDENTIAL	23	23	2 PER UNIT + 1 PER 2 UNITS
EV SPACES	1	1	PROVIDED IN GARAGE
EV READY	5	5	PROVIDED IN GARAGES

LIST OF WAIVERS

WAIVER NO.	SECTION	REQUIREMENT	REQUESTED CHANGE
1	ARTICLE IV s.204-5.D.18	PHOTOMETRIC PLAN	BUILDING ENTRY LIGHTING ONLY
2	ARTICLE IV s.204-5.D.12	PROVIDE ARCHITECTURAL ELEVATIONS	3D RENDERINGS OF ALL BUILDING SIDES PROVIDED
3	ARTICLE IV s.207-11.A.15	STORMWATER FLOW INTO R.O.W.	MINIMIZED, MS4 PERMIT WILL BE OBTAINED

DRAWING LIST:

SHEET #	TITLE
	EXISTING CONDITIONS PLAN
C100	SITE CONTEXT PLAN
C101	EROSION AND SEDIMENTATION CONTROL PLAN
C102	LAYOUT AND MATERIALS PLAN
C103	GRADING AND UTILITIES PLAN
C104	TREE MITIGATION PLAN
C201	CONSTRUCTION DETAILS
C202	CONSTRUCTION DETAILS
C203	CONSTRUCTION DETAILS
L1	LANDSCAPE PLAN

ISSUED FOR MAJOR SITE PLAN REVIEW:
FEBRUARY 25, 2025
REVISED SEPTEMBER 17, 2025

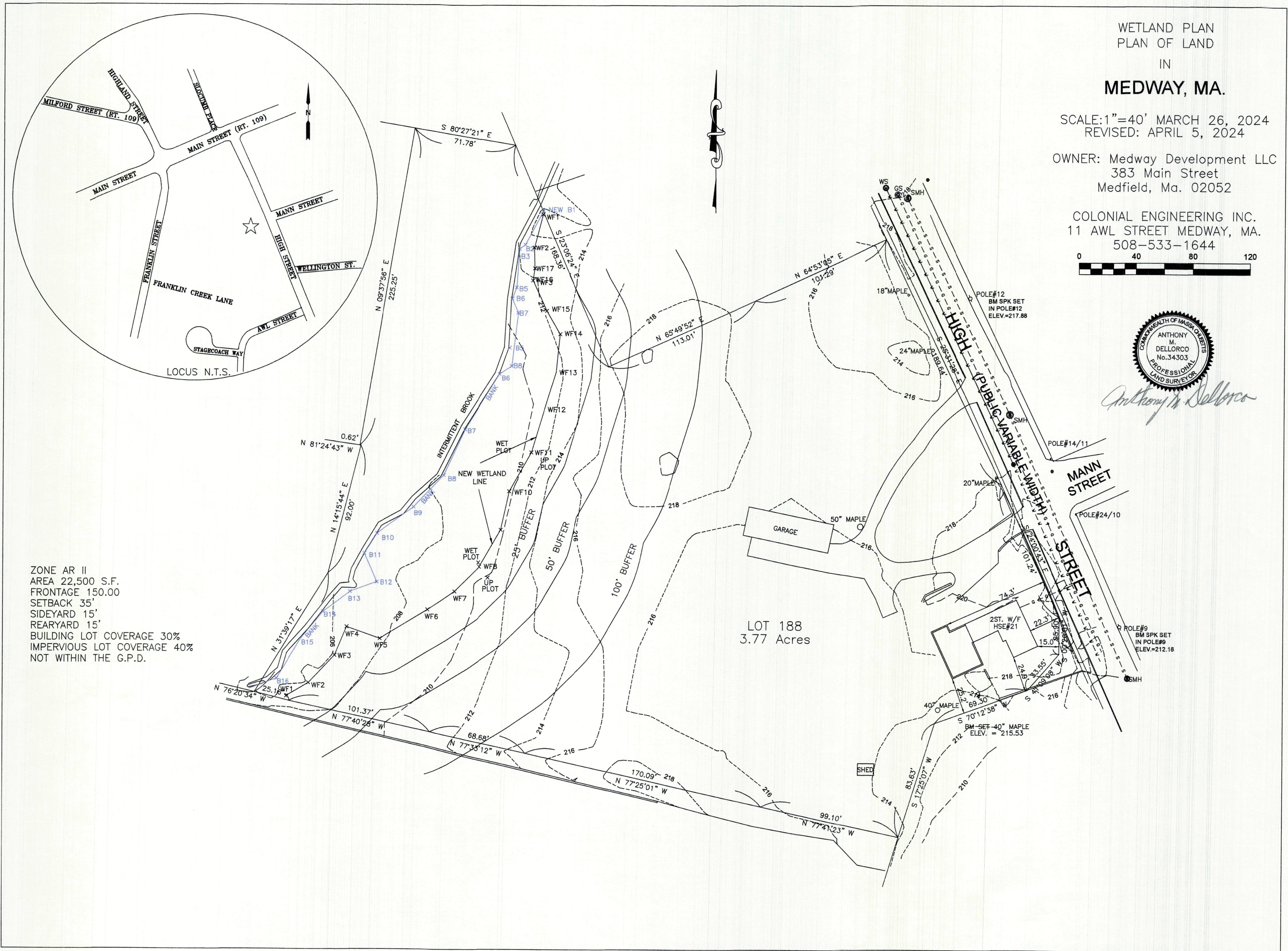
DATE APPROVED: _____

DATE SIGNED: _____

MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD
I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE
DATE _____

PLANNING AND ECONOMIC
DEVELOPMENT BOARD, MEDWAY, MA

PVI
SITE DESIGN
PVI Site Design, LLC
Civil Engineering - Land Entitlements
Master Planning - Project Management
339-206-1030



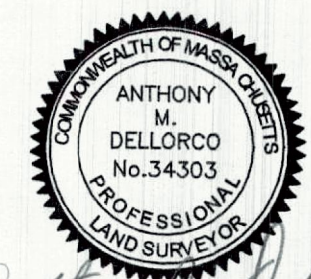
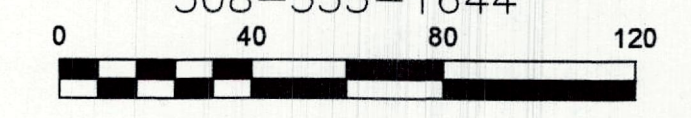
ZONE AR II
AREA 22,500 S.F.
FRONTAGE 150.00
SETBACK 35'
SIDEYARD 15'
REARYARD 15'
BUILDING LOT COVERAGE 30%
IMPERVIOUS LOT COVERAGE 40%
NOT WITHIN THE G.P.D.

WETLAND PLAN
PLAN OF LAND
IN
MEDWAY, MA.

SCALE: 1"=40' MARCH 26, 2024
REVISED: APRIL 5, 2024

OWNER: Medway Development LLC
383 Main Street
Medfield, Ma. 02052

COLONIAL ENGINEERING INC.
11 AWL STREET MEDWAY, MA.
508-533-1644

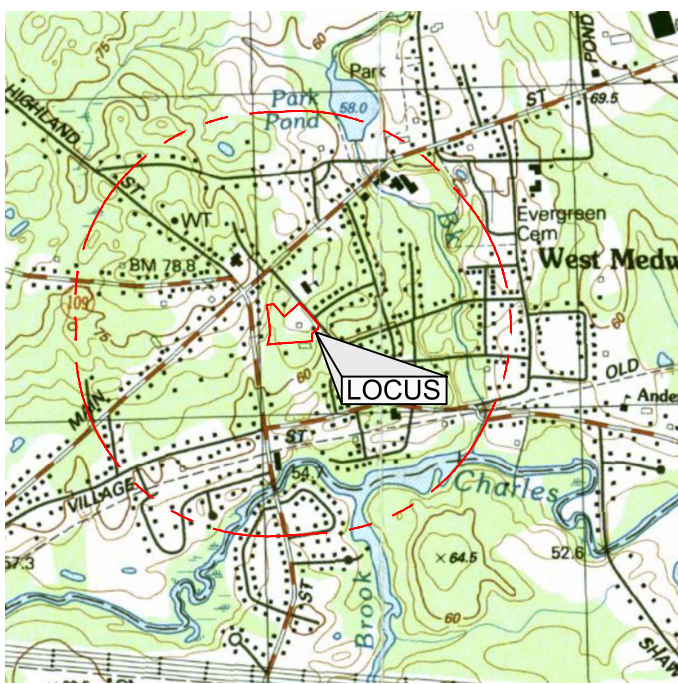
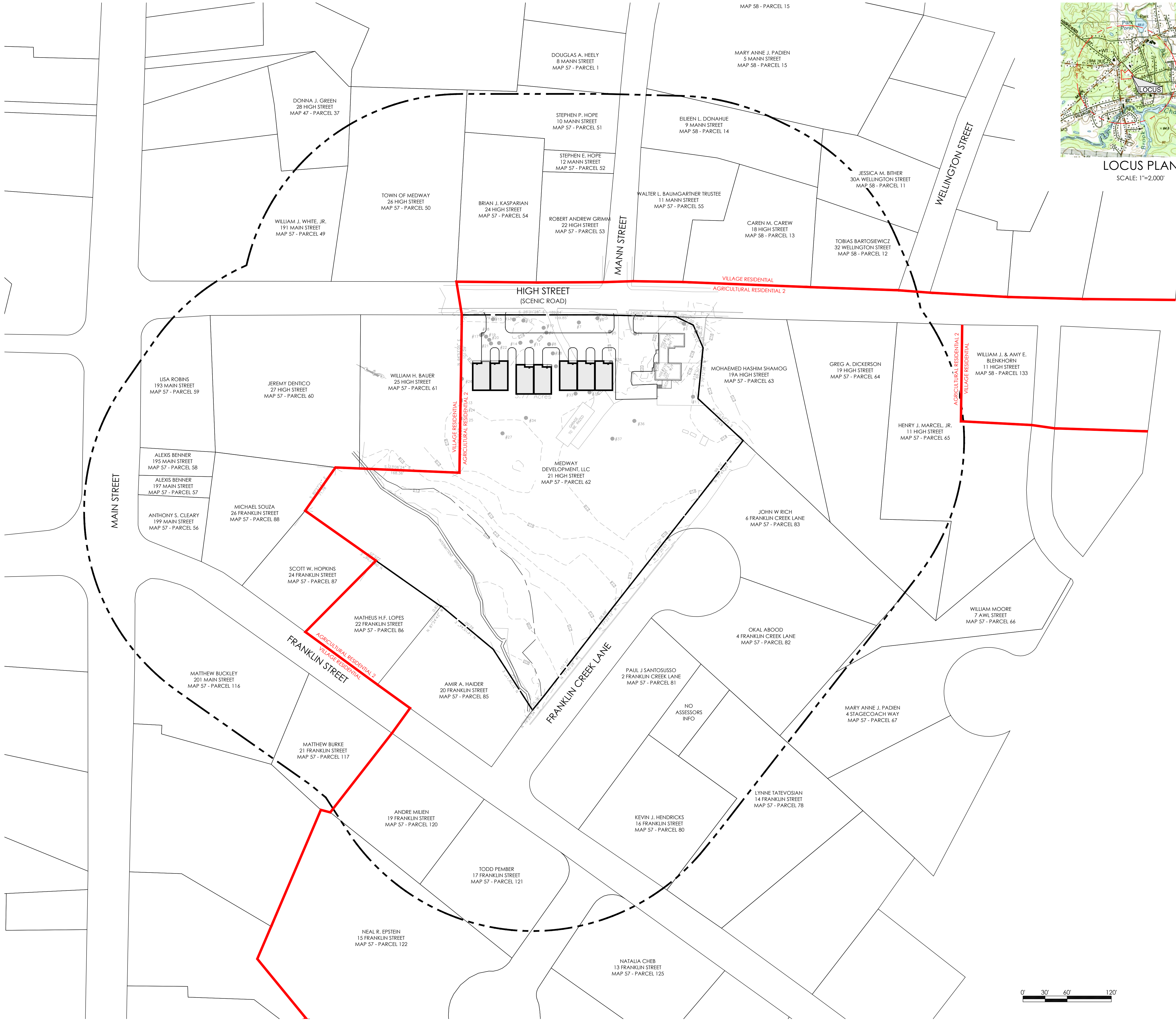


Anthony M. Dellorco

DATE APPROVED: _____
DATE SIGNED: _____

MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD
I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE
DATE _____

PLANNING AND ECONOMIC
DEVELOPMENT BOARD, MEDWAY, MA

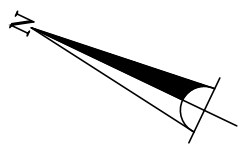


LOCUS PLAN
SCALE: 1"=2,000'

FOR REGISTRY USE ONLY

GENERAL NOTES:

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY COLONIAL ENGINEERING, INC.
- WETLAND DELINEATION BY APPLIED ECOLOGICAL SCIENCES.



DATE APPROVED: _____

DATE SIGNED: _____

MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE
DATE _____

PLANNING AND ECONOMIC
DEVELOPMENT BOARD, MEDWAY, MA

CONSULTANT:

PVI
SITE DESIGN
PVI Site Design, LLC
Civil Engineering - Land Entitlements
Master Planning - Project Management
339-206-1030

PROJECT:

HIGH STREET MEADOWS
21 HIGH STREET, MEDWAY, MA

CLIENT / APPLICANT:

MEDWAY DEVELOPMENT, LLC
383 MAIN STREET, MEDFIELD, MA 02052

REVISIONS:
1: REVIEW COMMENTS MAY 30, 2025
2: REVIEW COMMENTS SEPTEMBER 17, 2025

SEAL:

ISSUED FOR PERMIT
FEBRUARY 25, 2025

SITE CONTEXT PLAN

SCALE:	1"=20'
JOB NO:	23-023
FILE:	23-023-Site Context.dwg
DRAWN:	RLB
CHECKED:	TJP
SHEET NO:	C100

1. WITHIN THE LIMIT OF THE WORK LINE AS NOTED ON THE SITE PREPARATION PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
2. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL BE INITIATED ON ANY LOCATION.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
5. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

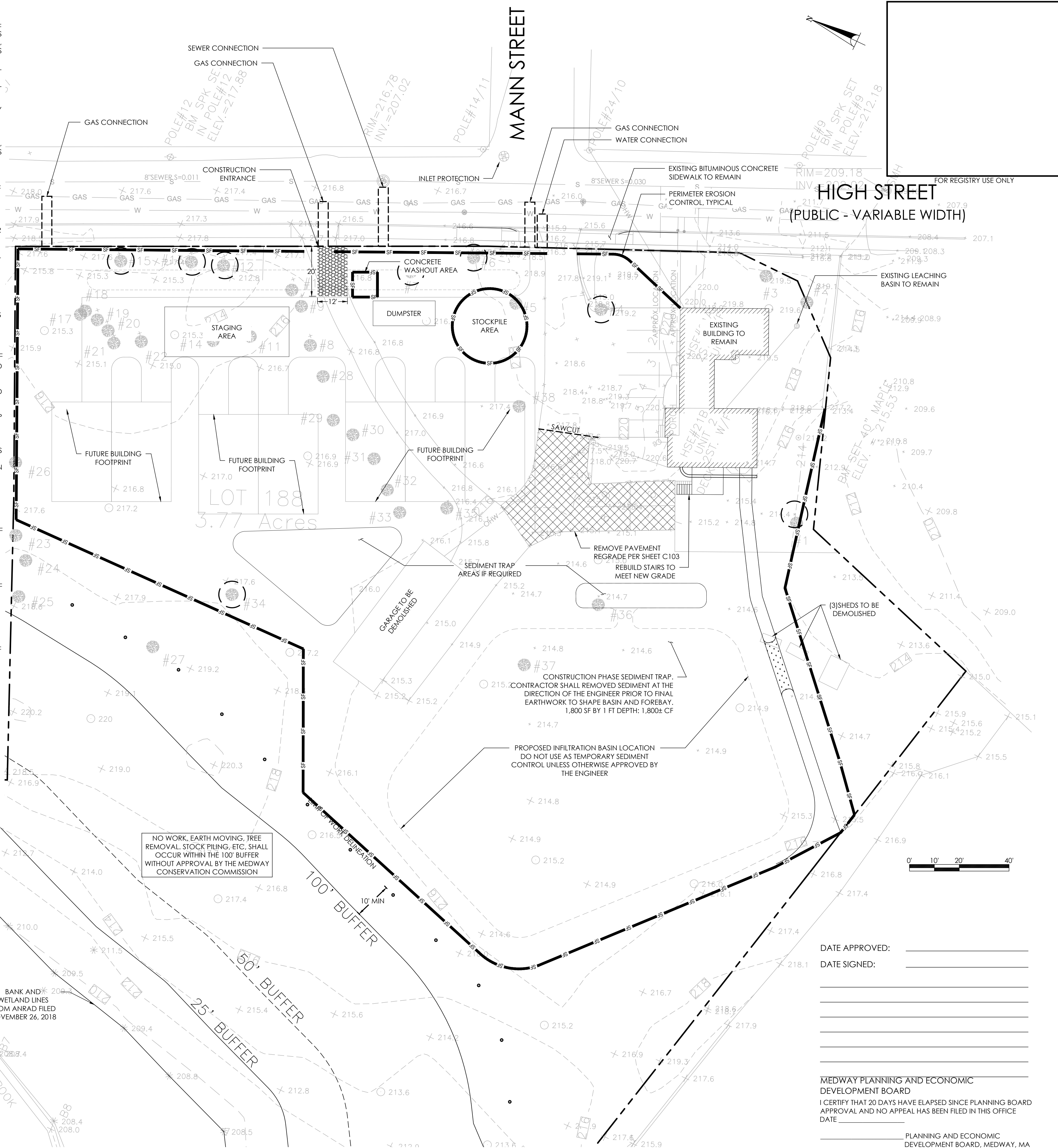
1. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. CLEAR CUT, DEMOLISH, AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
3. PERFORM EARTHWORK TO BRING THE SITE TO DESIGN SUB-GRADE ELEVATIONS. STABILIZE ALL CUT AND FILL SLOPES IMMEDIATELY AFTER THEIR CONSTRUCTION.
4. CONSTRUCT BUILDING FOUNDATIONS.
5. INSTALL UTILITIES. GRAVITY DEPENDANT UTILITIES (I.E. SEWER, DRAIN) SHALL BE INSTALLED FIRST. WATER LINES, ELECTRICAL CONDUIT AND GAS SHALL BE INSTALLED AROUND THE GRAVITY DEPENDANT UTILITIES.
6. FINISH GRADE AND STABILIZE ALL SURFACE DRAINAGE BMP'S (RAIN GARDENS, SWALES, ETC.).
7. GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER FINE GRADING.
8. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING.
9. FINISH PAVING ALL HARD SURFACE AREAS.
10. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
11. REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN LANDSCAPED AREAS ARE MULCHED OR HAVE AT LEAST A 70% COVERAGE OF GRASS PER THE LANDSCAPE DRAWINGS.

1. SEDIMENT TRAPS SHALL BE INSTALLED AT ALL DRAINAGE STRUCTURES. PERIMETER EROSION CONTROLS/COMPOST SOCKS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE BEEN STABILIZED.
2. SEDIMENT TRAPS SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OF RECORD BEFORE CONSTRUCTION CAN START.
3. COMPOST SOCKS AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE OF NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY WHEN INSTALLED.
4. THE UNDERSIDE OF COMPOST SOCK SHOULD BE KEPT IN CLOSE CONTACT WITH THE EARTH AND RESET AS NECESSARY.
5. STABILIZE SLOPES GREATER THAN 3:1 (HORIZONTAL:VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, SPRAYED COMPOST BLANKET, OR RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
6. CLEAN OUT CATCH BASINS, DRAIN MANHOLES, STORM DRAIN PIPES, AND DETENTION BASINS AFTER COMPLETION OF CONSTRUCTION.
7. IF USED, THE BOTTOM OF SEDIMENTATION BASINS SHALL BE PERIODICALLY CLEANED PER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
8. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, CONTRACTOR TO REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AT THE OWNER'S REPRESENTATIVE'S DIRECTION.
9. AFTER THE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES, CONTRACTOR TO GRADE AND SEED AREA OF TEMPORARY EROSION CONTROL MEASURE.
10. DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
11. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES.

REPORTS SHALL BE SUBMITTED BI-WEEKLY TO THE PERMITTING AUTHORITY AND AFTER ANY STORM EVENT RESULTING IN 0.25 INCHES OF PRECIPITATION OR MORE WITHIN TWENTY-FOUR HOURS.

SEDIMENT TRAPS, IF REQUIRED, SHALL BE LOCATED AS INDICATED ON THE PLAN AND SIZED FOR 1,800 CF OF STORAGE PER ACRE OF DISTURBED AREA. CONTRACTOR TO PROVIDE DIVERSION BERMS FOR CONVEYANCE AS NEEDED.

	PROPERTY LINE PERIMETER EROSION CONTROLS EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION CONSTRUCTION ENTRANCE
--	--



DATE SIGNED: _____

DEVELOPMENT BOARD

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE

DATE _____

PLANNING AND ECONOMIC
DEVELOPMENT BOARD, MEDWAY, MA

CONSULTANT:

PROJECT: **HIGH STREET MEADOWS**
21 HIGH STREET, MEDWAY, MA

CLIENT / APPLICANT:
MEDWAY DEVELOPMENT, LLC
383 MAIN STREET, MEDFIELD, MA 02052

PROJECT:

REVISIONS:
1: REVIEW COMMENTS MAY 30, 2025
2: REVIEW COMMENTS SEPTEMBER 17, 2025

SEAL:

ISSUED FOR PERMIT
FEBRUARY 25, 2025

SITE PREPARATION PLAN

SCALE:	1"=20'
JOB NO:	23-023
FILE:	23-023-EROS.dwg
DRAWN:	RLB
CHECKED:	TJP
SHEET NO:	

C101

GENERAL NOTES:

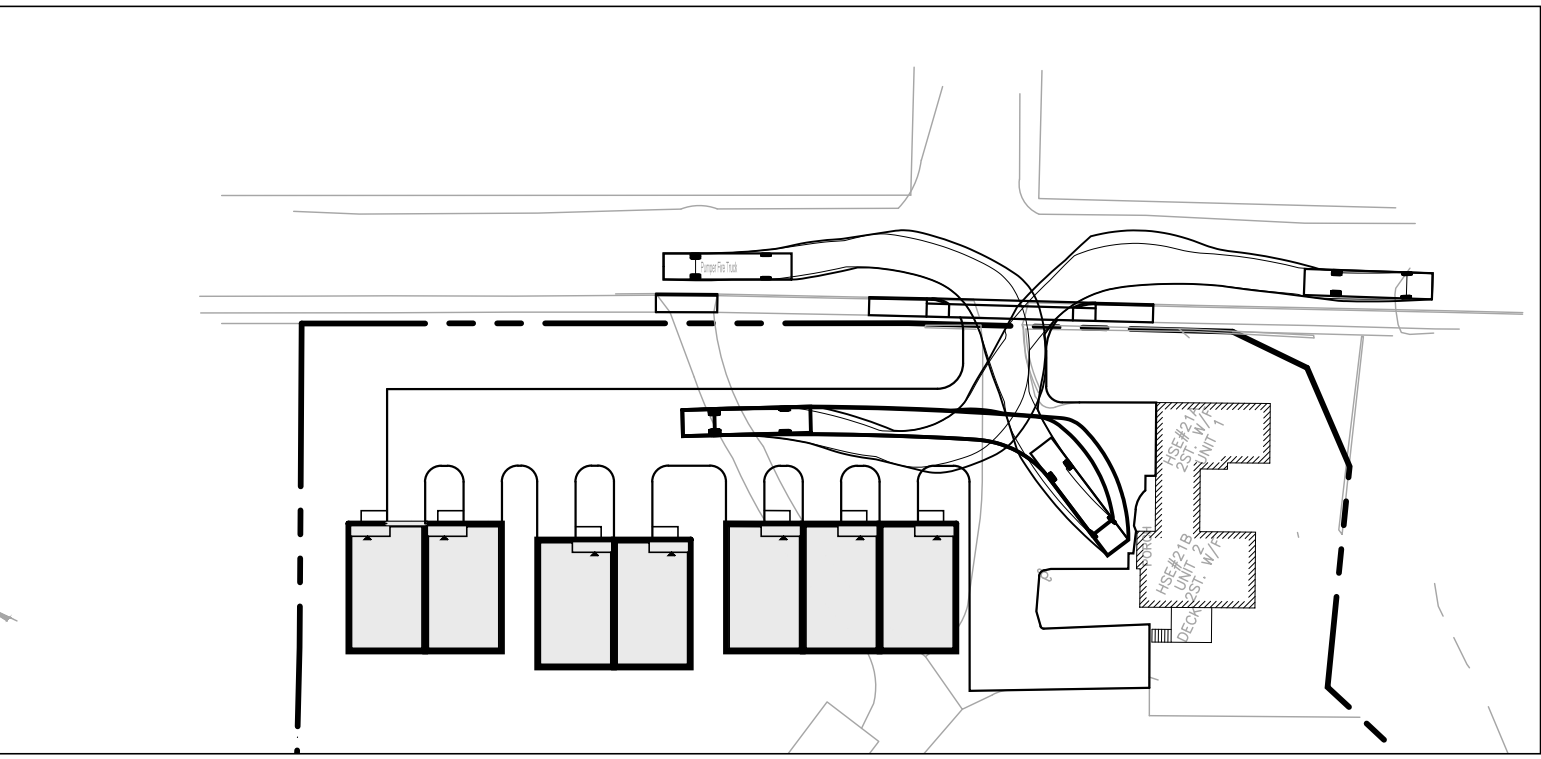
- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY COLONIAL ENGINEERING, INC.
- WETLAND DELINEATION BY APPLIED ECOLOGICAL SCIENCES.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. PRIOR TO THE START OF ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY DIG-SAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
- ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.

LAYOUT AND MATERIALS NOTES:

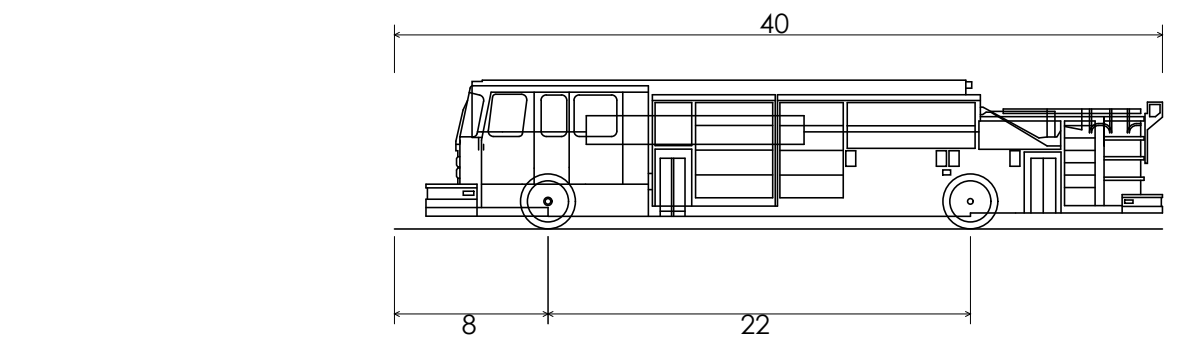
- ALL WORK CONDUCTED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
- ALL WALKWAYS AND HANDICAP PARKING SPACES SHALL COMPLY WITH THE MAAB AND ADA ACCESSIBILITY GUIDELINES. IF FIELD CONDITIONS MAKE IT IMPOSSIBLE TO COMPLY WITH THESE GUIDELINES AND REGULATIONS, A WAIVER FROM THE MAAB WILL BE SOUGHT.
- THE FOLLOWING CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB AT GUTTER LINE.
 - ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
 - ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

LAYOUT AND MATERIALS LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- EXISTING BUILDING
- PROPOSED BUILDING
- EOP
- EDGE OF PAVEMENT
- BCC
- BITUMINOUS CONCRETE CURB
- ICC
- PRECAST CONCRETE CURB
- PARKING COUNT
- PROPOSED BUILDING ENTRY POINT
- PERMEABLE PAVEMENT

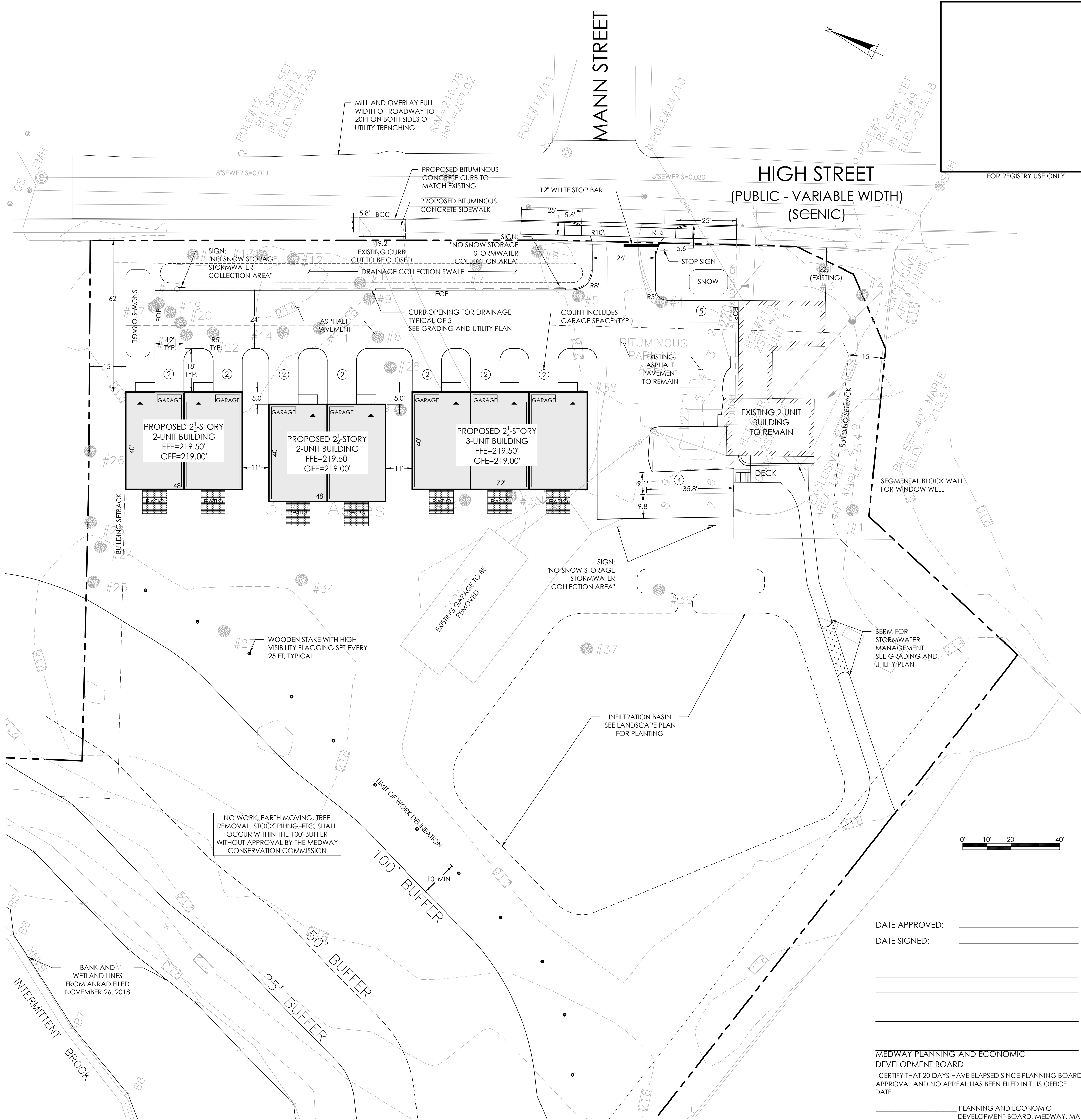


FIRE TRUCK MOVEMENT
NOT TO SCALE



Pumper Fire Truck	40.000ft
Overall Length	8.167ft
Overall Width	7.745ft
Overall Body Height	0.656ft
Min Body Ground Clearance	8.167ft
Track Width	5.00s
Lock-to-lock time	45.00°
Max Wheel Angle	

FIRE TRUCK SPECIFICATIONS
NOT TO SCALE



DATE APPROVED: _____
DATE SIGNED: _____

MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE
DATE _____

PLANNING AND ECONOMIC
DEVELOPMENT BOARD, MEDWAY, MA

CONSULTANT:

PVI
SITE DESIGN
PVI Site Design, LLC
Civil Engineering - Land Enhancements
Master Planning - Project Management
339-206-1030

PROJECT:

HIGH STREET MEADOWS
21 HIGH STREET, MEDWAY, MA

CLIENT / APPLICANT:

MEDWAY DEVELOPMENT, LLC
383 MAIN STREET, MEDFIELD, MA 02052

REVISIONS:	1: REVIEW COMMENTS MAY 30, 2025
2: REVIEW COMMENTS SEPTEMBER 17, 2025	

SEAL:

ISSUED FOR PERMIT
FEBRUARY 25, 2025

**LAYOUT AND
MATERIALS PLAN**

SCALE: 1"=20'

JOB NO: 23-023

FILE: 23-023-LM.dwg

DRAWN: RLB

CHECKED: TJP

SHEET NO:

C102

GRADING AND UTILITY LEGEND

---	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	EXISTING BUILDING
---	EXISTING WATER SERVICE
---	EXISTING SEWER SERVICE
---	EXISTING CONTOUR LINE
---	PROPOSED BUILDING
---	PROPOSED CONTOUR MAJOR LINE
---	PROPOSED CONTOUR MINOR LINE
---	PROPOSED SPOT GRADE
---	PROPOSED DOMESTIC WATER
---	PROPOSED FIRE PROTECTION
---	PROPOSED VALVE
---	PROPOSED SEWER
---	PROPOSED SEWER MANHOLE
---	PROPOSED ELECTRIC DISTRIBUTION
---	PROPOSED GAS
---	PROPOSED DETENTION SYSTEM LIMITS
---	PROPOSED DRAIN LINE

GRADING AND UTILITY NOTES

- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- ALL CEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 52) VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER CITY REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.0 FEET OF GROUND COVER AND A MINIMUM OF 10 FOOT SEPARATION FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
- CONTRACTOR SHALL PROVIDE ALL FITTINGS, BENDS, RESTRAINTS, THRUST BLOCKS, AND OTHER APPURTENANCES NECESSARY FOR INSTALLATION OF WATER SERVICE WHETHER SPECIFICALLY NOTED OR NOT.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4 INCH ABOVE RIM ELEVATION SHOWN FOR BASIN.

STORMWATER NOTES

STANDARD 3:
TOTAL IMPERVIOUS AREA: 18,147 SF
IMPERVIOUS AREA TO INFILTRATION: 16,671 SF
% IMPERVIOUS AREA TO INFILTRATION: 92%

STANDARD 10:
THE STORM WATER MANAGEMENT SYSTEM PROPOSED SHALL NOT BE CONNECTED TO THE WASTEWATER MANAGEMENT SYSTEM AND SHALL NOT BE CONTAMINATED BY CONTACT WITH PROCESS WASTES, RAW MATERIALS, TOXIC POLLUTANTS, HAZARDOUS SUBSTANCES, OIL, OR GREASE PER MASSACHUSETTS DEP STORM WATER STANDARD 10.

TEST PIT #8	TEST PIT #11
HORIZ. A	HORIZ. A
HORIZ. B	HORIZ. B
HORIZ. C	HORIZ. C
ESHGW: 212.3'	ESHGW: 213'
ESHGW: -32" (MOTTLES) WATER: -70"	ESHGW: -25" (MOTTLES) WATER: NOT REPORTED
TEST PIT PERFORMED ON NOVEMBER 30, 2018	TEST PIT PERFORMED ON NOVEMBER 30, 2018
TEST PIT #9	TEST PIT #12
HORIZ. A	HORIZ. A
HORIZ. B	HORIZ. B
HORIZ. C	HORIZ. C
ESHGW: 212.9'	ESHGW: 213'
ESHGW: -27" (MOTTLES) WATER: -73"	ESHGW: -27" (MOTTLES) WATER: -72"
TEST PIT PERFORMED ON NOVEMBER 30, 2018	TEST PIT PERFORMED ON NOVEMBER 30, 2018
TEST PIT #16	
HORIZ. A	
HORIZ. B	
HORIZ. C	
ESHGW: NOT REPORTED WATER: NOT REPORTED	
TEST PIT PERFORMED ON NOVEMBER 30, 2018	

1 TEST PIT DATA WITHIN STORMWATER BASIN
NOT TO SCALE

PROPERTY OWNERSHIP

DEED: BOOK 36435 / PAGE 252

OWNER: MEDWAY DEVELOPMENT, LLC
383 MAIN STREET
MEDFIELD, MA 02052

LAND DISTURBANCE

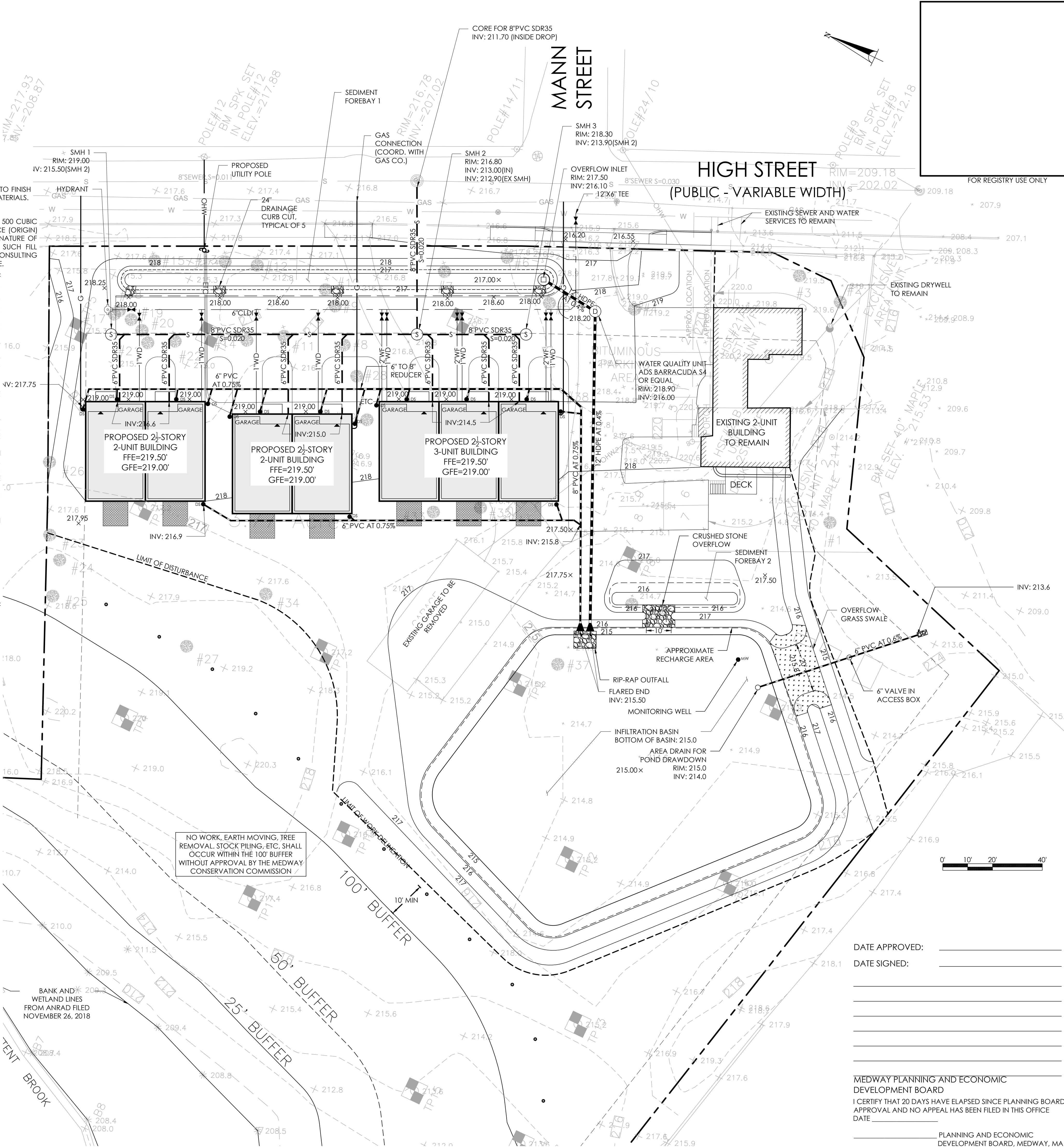
64,700± SQUARE FEET

EARTHWORK CALCS

CUT: 445 CUBIC YARDS±
FILL: 2,329 CUBIC YARDS±
NET: 1,884 CUBIC YARDS FILL

CALCULATION NOTE:
EARTHWORK QUANTITIES COMPARE EXISTING GRADE TO FINISH GRADE AND DOES NOT ACCOUNT FOR SUBGRADE MATERIALS.

SOIL IMPORT NOTE:
AT LEAST SEVEN DAYS BEFORE ANY FILL IN EXCESS OF 500 CUBIC YARDS IS BROUGHT ONTO THE PROPERTY, THE SOURCE (ORIGIN) OF THE FILL INCLUDING THE ADDRESS, OWNER AND NATURE OF THE SITE AND ASSOCIATED CHEMICAL TESTING OF SUCH FILL SHALL BE PROVIDED TO THE TOWN FOR THE TOWN'S CONSULTING ENGINEER TO REVIEW PRIOR TO PLACEMENT AT THE SITE.



DATE APPROVED: _____
DATE SIGNED: _____

MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD
I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE
DATE _____
PLANNING AND ECONOMIC
DEVELOPMENT BOARD, MEDWAY, MA

CONSULTANT:

PVI
SITE DESIGN
PVI Site Design, LLC
Civil Engineering - Land Enhancements
Master Planning - Project Management
339-206-1030

PROJECT:

HIGH STREET MEADOWS
21 HIGH STREET, MEDWAY, MA

CLIENT / APPLICANT:

MEDWAY DEVELOPMENT, LLC
383 MAIN STREET, MEDFIELD, MA 02052

REVISIONS:

1: REVIEW COMMENTS MAY 30, 2025
2: REVIEW COMMENTS SEPTEMBER 17, 2025

SEAL:

TIMOTHY J. POWER
CIVIL
No. 46908
PROFESSIONAL ENGINEER
COMMONWEALTH OF MASSACHUSETTS

ISSUED FOR PERMIT
FEBRUARY 25, 2025

**GRADING AND
UTILITIES PLAN**

SCALE:	1"=20'
JOB NO:	23-023
FILE:	23-023-UT.dwg
DRAWN:	RLB
CHECKED:	TJP
SHEET NO:	C103

TREE INVENTORY

Subject to Tree Preservation Bylaw						
Number	Common Name	Latin Name	DBH	CRZ	Health	Notes
1	Sugar Maple	Acer saccharum	42"	63'	Fair	Protected tree
2	Eastern Red Cedar	Juniperus virginiana	10"	15'	Good	Protected tree
3	Flowering Dogwood	Cornus florida	<6"	-	Good	<6"
4	European Horse Chestnut	Aesculus hippocastanum	10"	15'	Poor	hazardous
5	Norway Maple	Acer platanoides	16"	10'	Poor	Invasive
6	Norway Maple	Acer platanoides	21"	31'	Poor	Invasive
7	European Horse Chestnut	Aesculus hippocastanum	13"	9"	Fair	Protected tree
8	Canadian Hemlock	Tsuga canadensis	19"/11"	15'	Poor	2 trunks
9	Canadian Hemlock	Tsuga canadensis	30"	13'	Poor	hazardous
10	Eastern White Pine	Pinus strobus	38"	57'	Fair	Protected tree of be removed
12	Norway Maple	Acer platanoides	24"	22'	Poor	Invasive
13	Norway Maple	Acer platanoides	10"	15'	Poor	Invasive
15	Norway Maple	Acer platanoides	20"	30'	Good	Invasive
16	Dead Tree	-	8"	-	-	on ground
17	Eastern White Pine	Pinus strobus	15"	22'	Poor	hazardous
18	Sugar Maple	Acer saccharum	8"	12'	Poor	hazardous
19	Red Oak	Quercus rubra	11"	16'	Good	Protected tree to be removed
20	Red Oak	Quercus rubra	10"	15'	Good	Protected tree to be removed
23	Sugar Maple	Acer saccharum	7"	10'	Good	Protected tree
24	Red Oak	Quercus rubra	10"	15'	Good	Protected tree
25	Red Oak	Quercus rubra	6"	9'	Good	Protected tree
26	Sugar Maple	Acer saccharum	7"	10'	Good	Protected tree
27	Red Oak	Quercus rubra	16"	24'	Good	Protected tree

Subject to Site Plan Rules & Regs Section 207-19						
Number	Common Name	Latin Name	DBH	CRZ	Health	Notes
11	Sugar Maple	Acer saccharum	9"	10'	Good	<15"
14	Red Oak	Quercus rubra	13"	19'	Good	<15"
21	Red Oak	Quercus rubra	13"	19'	Good	<15"
22	Red Oak	Quercus rubra	6"	9'	Good	<15"
28	Canadian Hemlock	Tsuga canadensis	16"	45'	Poor	not hardwood
29	Canadian Hemlock	Tsuga canadensis	22"/21"	15'	Poor	not hardwood
30	Canadian Hemlock	Tsuga canadensis	24"	36'	Poor	not hardwood
31	Canadian Hemlock	Tsuga canadensis	26"	39'	Poor	not hardwood
32	Eastern White Pine	Pinus strobus	37"	55'	Fair	not hardwood
33	Canadian Hemlock	Tsuga canadensis	25"	37'	Poor	not hardwood
34	Red Oak	Quercus rubra	16"	24'	Good	Protected tree
35	Sugar Maple	Acer saccharum	44"	66'	Poor	hazardous
36	Red Oak	Quercus rubra	34"	51'	Good	Protected tree to be removed
37	Red Oak	Quercus rubra	38"	57'	Dead	dead tree
38	European Horse Chestnut	Aesculus hippocastanum	22"	33'	Fair	Protected tree to be removed

TREE MITIGATION REQUIREMENTS

Tree Preservation Bylaw (Article 31)

Mitigation Requirements:		
DBH (in)	*Replacement Trees Required	
6-8	1	
8-20	2	
>20	3	
*1" caliper minimum		

Protected trees to be removed:

Tree #	DBH (in)	Replacement Trees Required
10	38	3
19	11	1
20	10	1

Site Plan Rules & Regulations (Section 207-19.G)

Mitigation Requirements:	
Applies to healthy hardwood trees 15"+	
For each DBH inch of tree(s) removed, at least 1/2" caliper of new tree(s) must be planted.	

Protected trees to be removed:

Tree #	DBH (in)
36	34
38	22
Total	56
DBH replacement required: 56/2 = 28"	

PROPOSED TREE MITIGATION

Located in Tree Mitigation Area

Common Name	Latin Name	Size	Number
Balsam Fir	Abies Blasemea	8'-10' Height	8
October Glory Red Maple	Acer Rubrum October Glory		2
Total			8 (5 required)

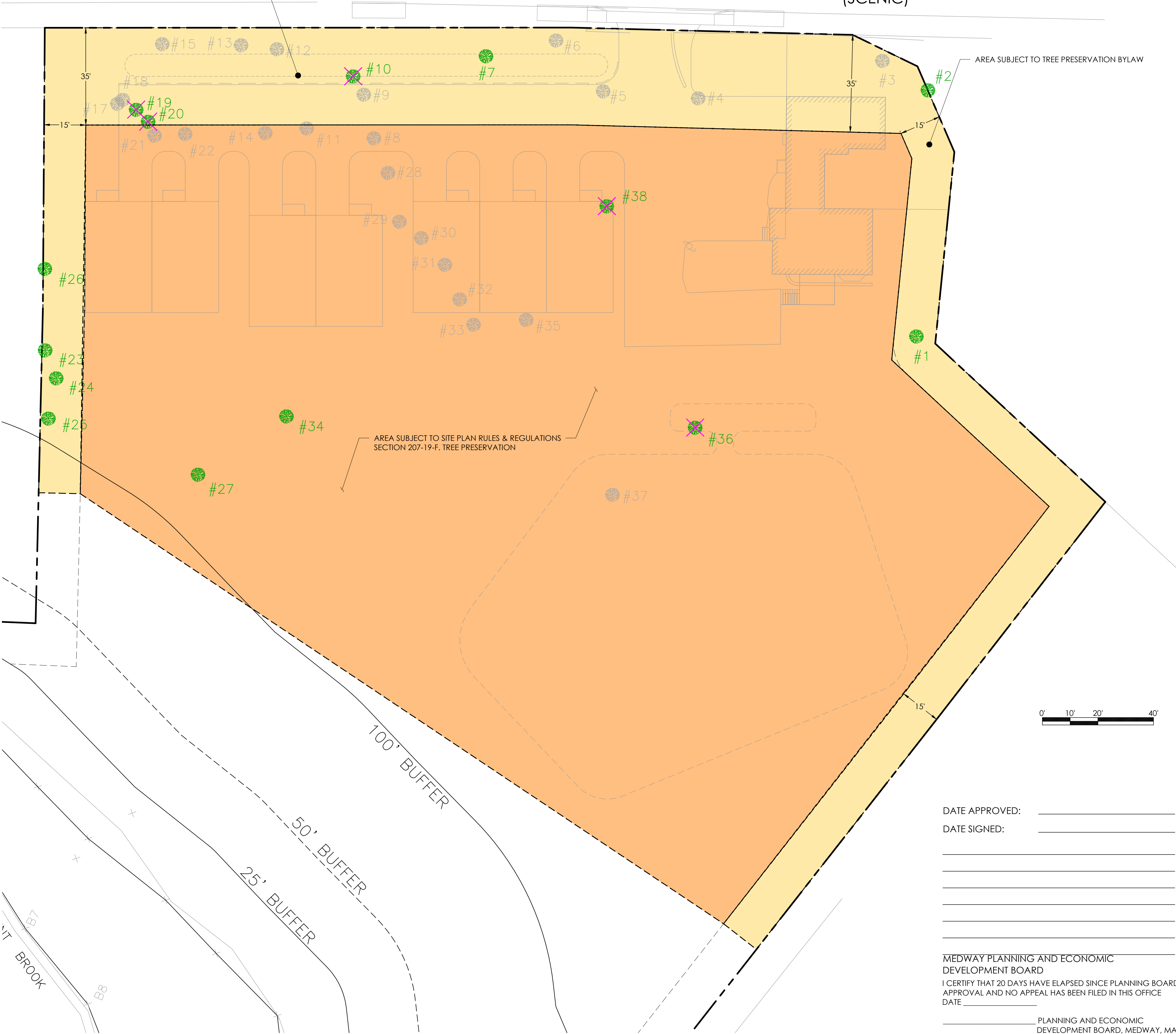
Located in site interior (subject to Site Plan Rules & Regulations)

Common Name	Latin Name	Size	Number
Red Cedar	Juinperus Virginiana	8'-10' Height	6
American Holly	Ilex Opaca	7'-8' Height	4
Sweetgum	Liquidambar Stryaciflua	2.5"-3" Caliper	3
Yellowwood	Cladrastis Lutea	2.5"-3" Caliper	3
River Birch	Betula Nigra	12'-14' Multi-stem	2
Total			45* (28" required)

*All proposed trees to be 2.5" caliper minimum
SEE LANDSCAPE PLAN, SHEET L1 FOR PLACEMENT OF TREES.

TREE MITIGATION LEGEND

- PROTECTED TREE TO REMAIN
- PROTECTED TREE TO BE REMOVED
- UNPROTECTED TREE
- AREA SUBJECT TO TREE PRESERVATION BYLAW
- AREA SUBJECT TO SITE PLAN RULES AND REGULATIONS
- AREA SUBJECT TO TREE PRESERVATION BYLAW



CONSULTANT:

PVI
SITE DESIGN
PVI Site Design, LLC
Civil Engineering - Land Enhancements
Master Planning - Project Management
339-206-1030

PROJECT:

HIGH STREET MEADOWS
21 HIGH STREET, MEDWAY, MA

CLIENT / APPLICANT:

MEDWAY DEVELOPMENT, LLC
383 MAIN STREET, MEDFIELD, MA 02052

REVISIONS:
1: REVIEW COMMENTS MAY 30, 2025
2: REVIEW COMMENTS SEPTEMBER 17, 2025

SEAL:

TIMOTHY J. POWER
CIVIL
No. 46908
REGISTERED PROFESSIONAL ENGINEER

ISSUED FOR PERMIT
FEBRUARY 25, 2025

TREE MITIGATION PLAN

SCALE: 1"=20'

JOB NO: 23-023

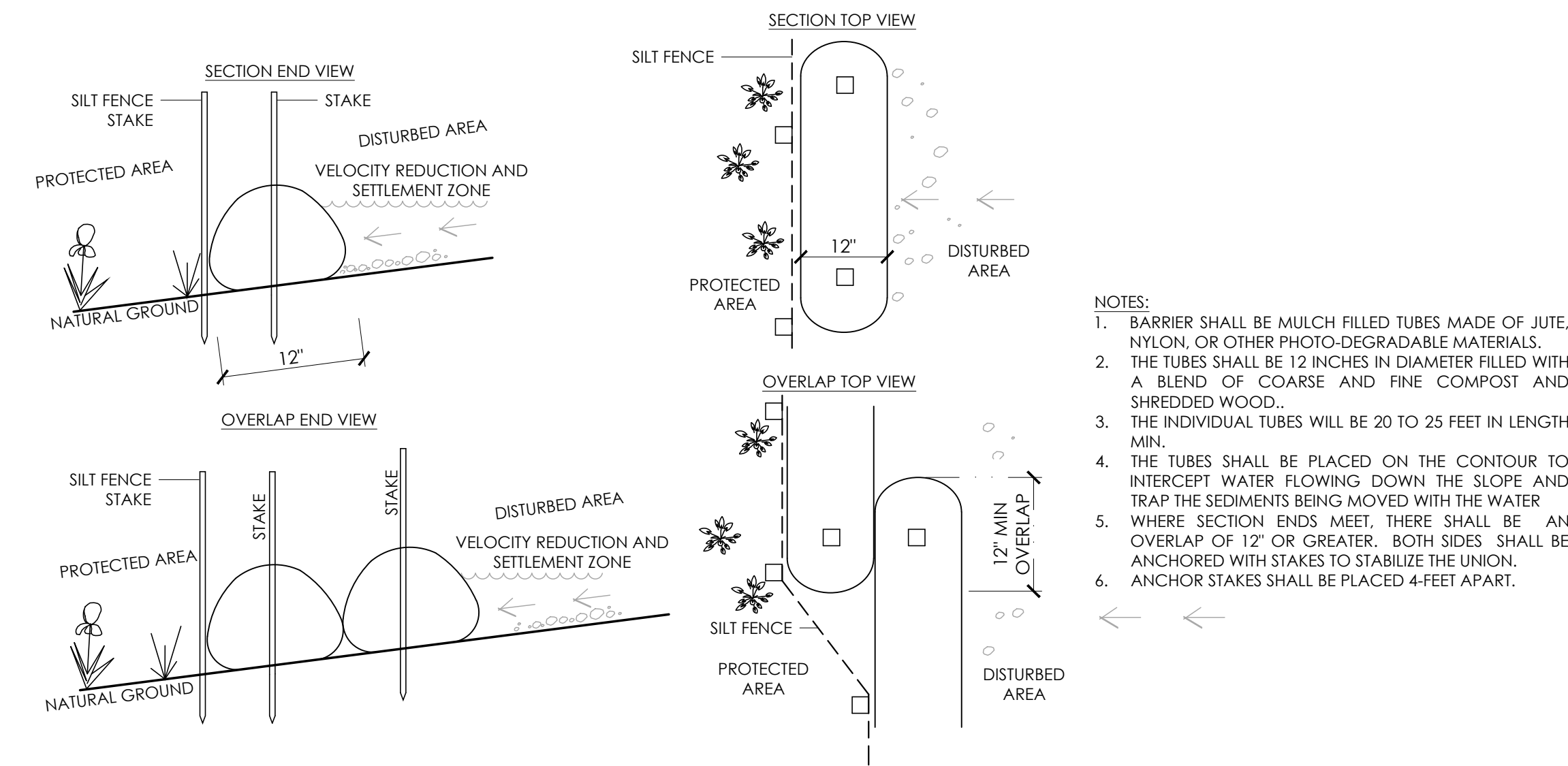
FILE: 23-023-TREE MITIGATION.dwg

DRAWN: RLB

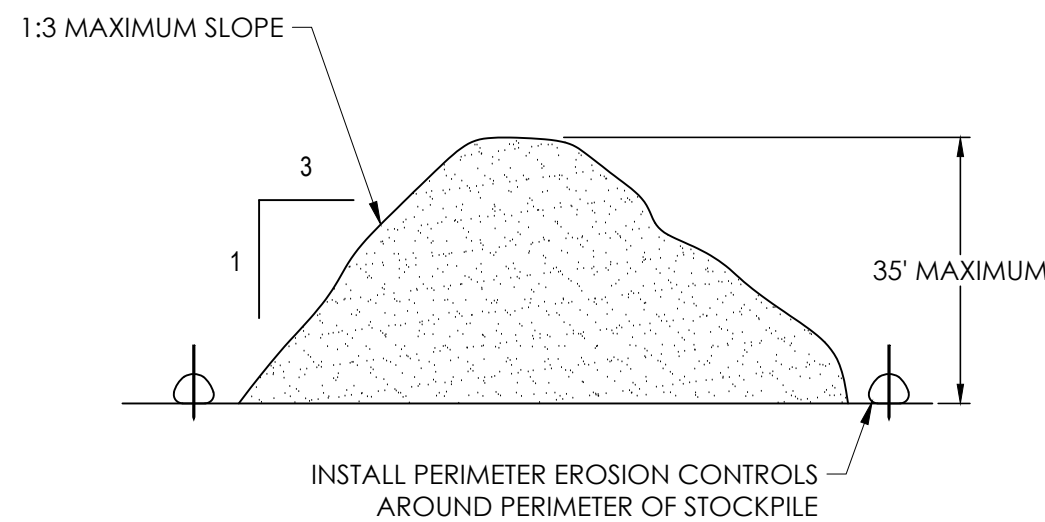
CHECKED: TJP

SHEET NO:

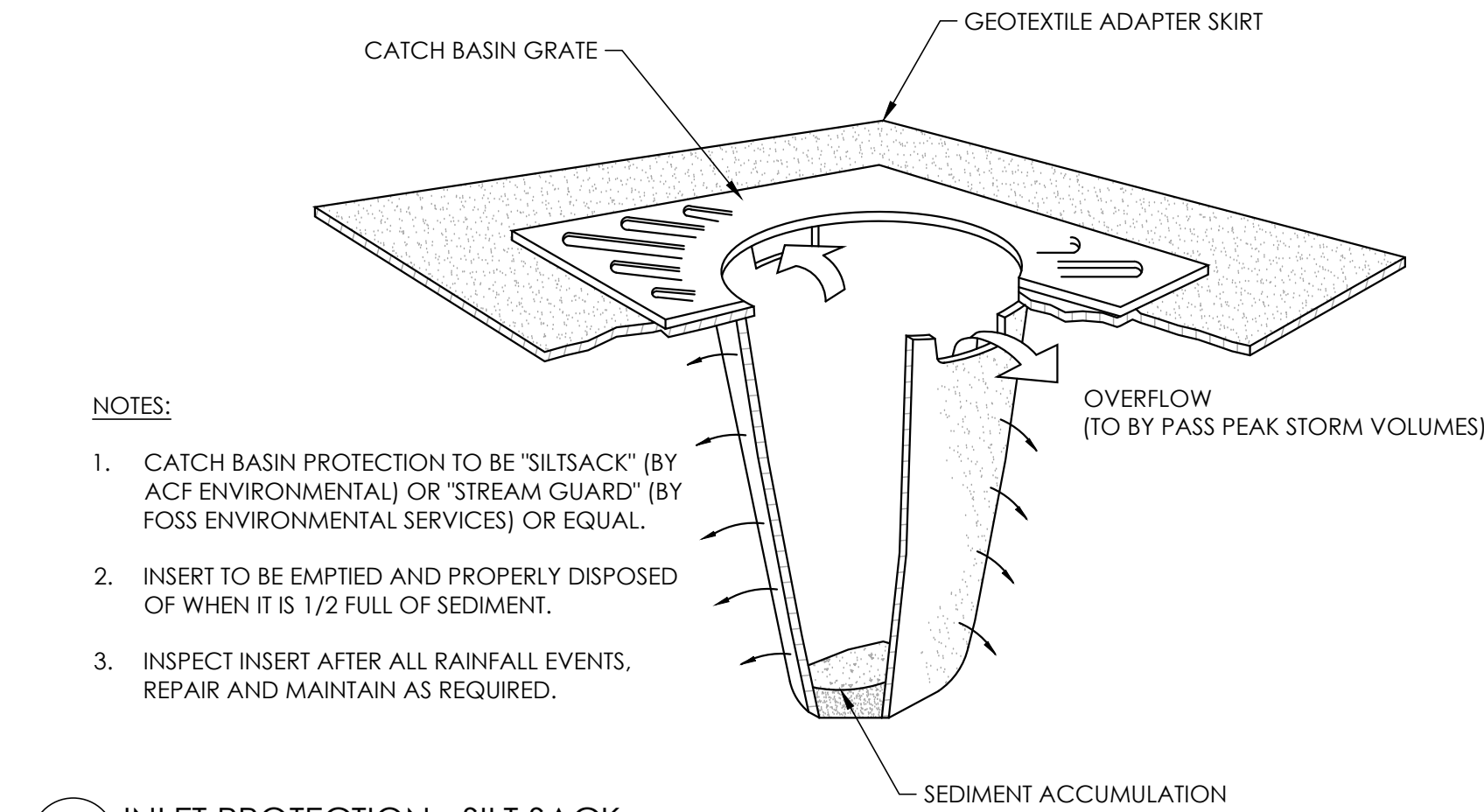
C104



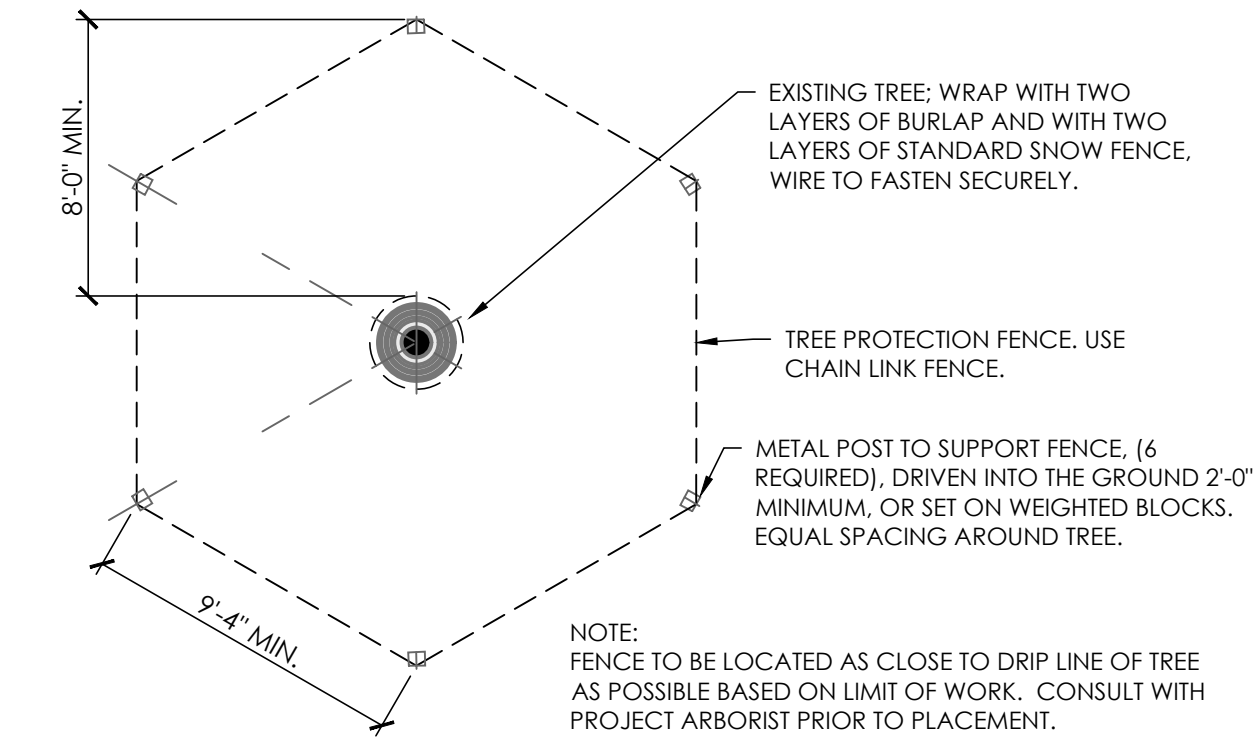
1 PERIMETER EROSION CONTROLS - 12" COMPOST SOCK WITH SILT FENCE
NOT TO SCALE



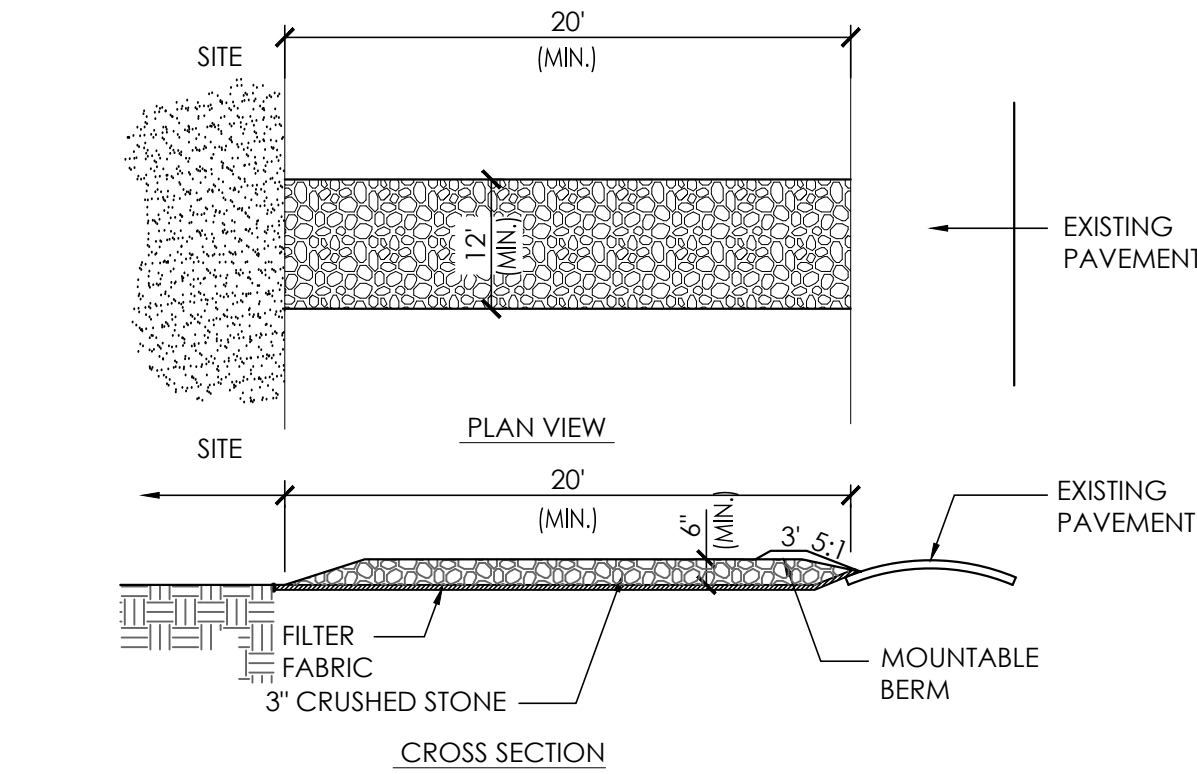
2 TEMPORARY STOCKPILE DETAIL
NOT TO SCALE



3 INLET PROTECTION - SILT SACK
NOT TO SCALE

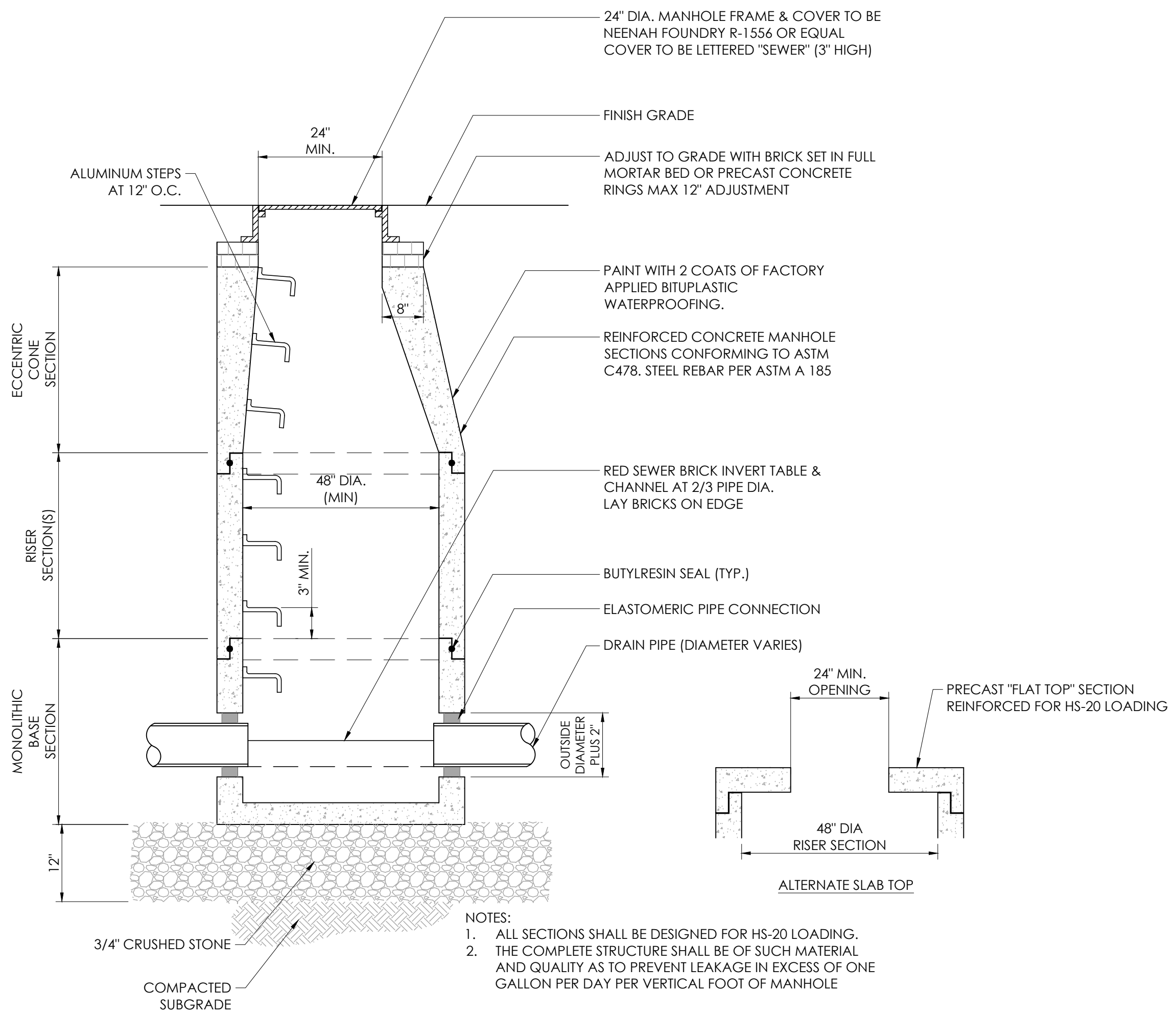


4 TREE PROTECTION
NOT TO SCALE



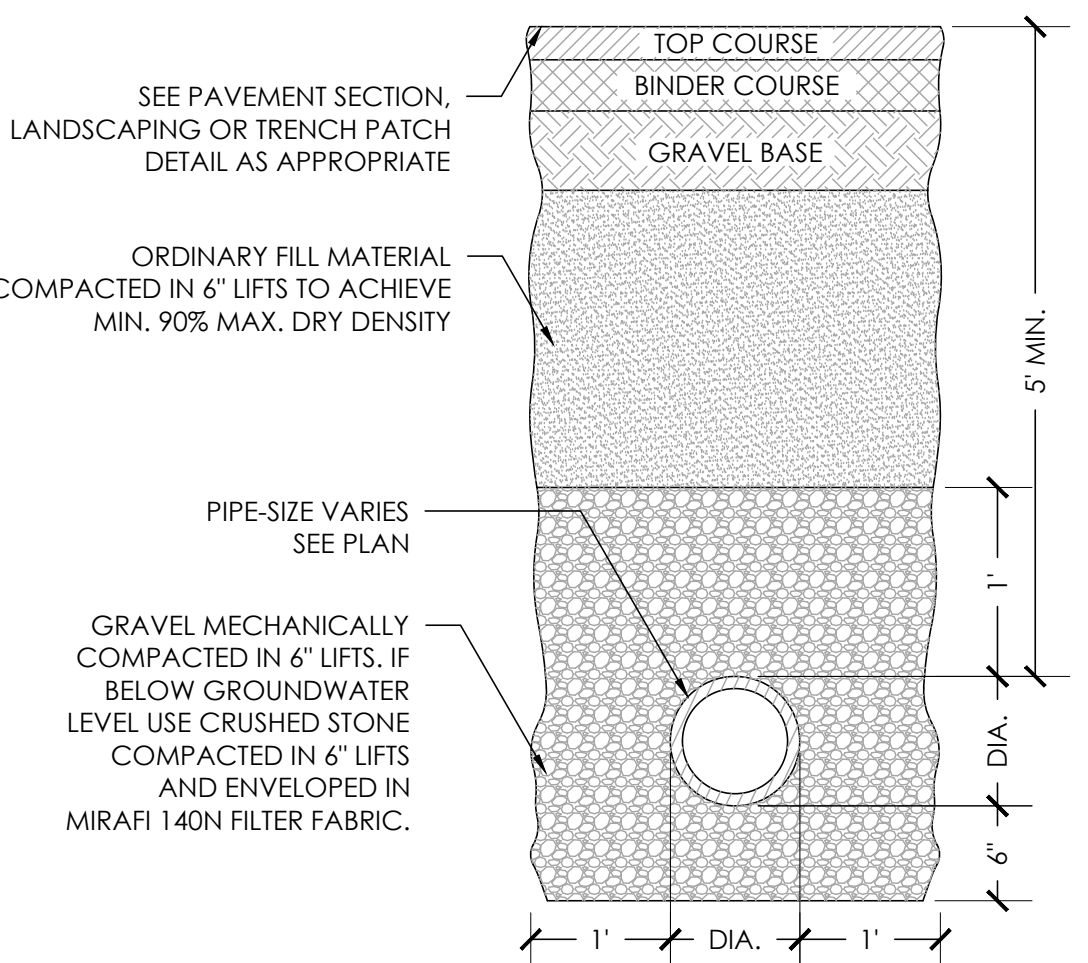
NOTES:
1. ENTRANCE WIDTH SHALL BE A TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

5 CONSTRUCTION ENTRANCE
NOT TO SCALE

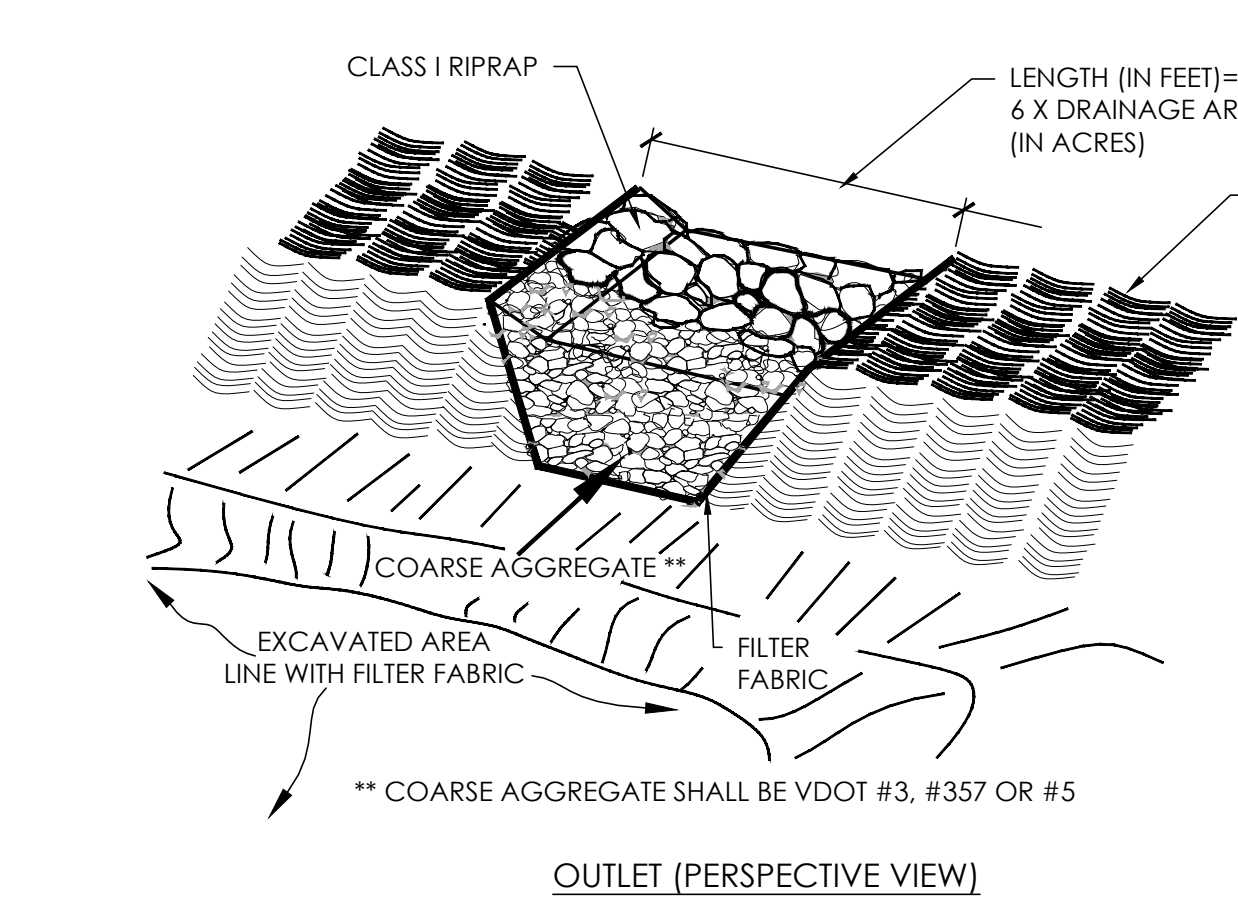
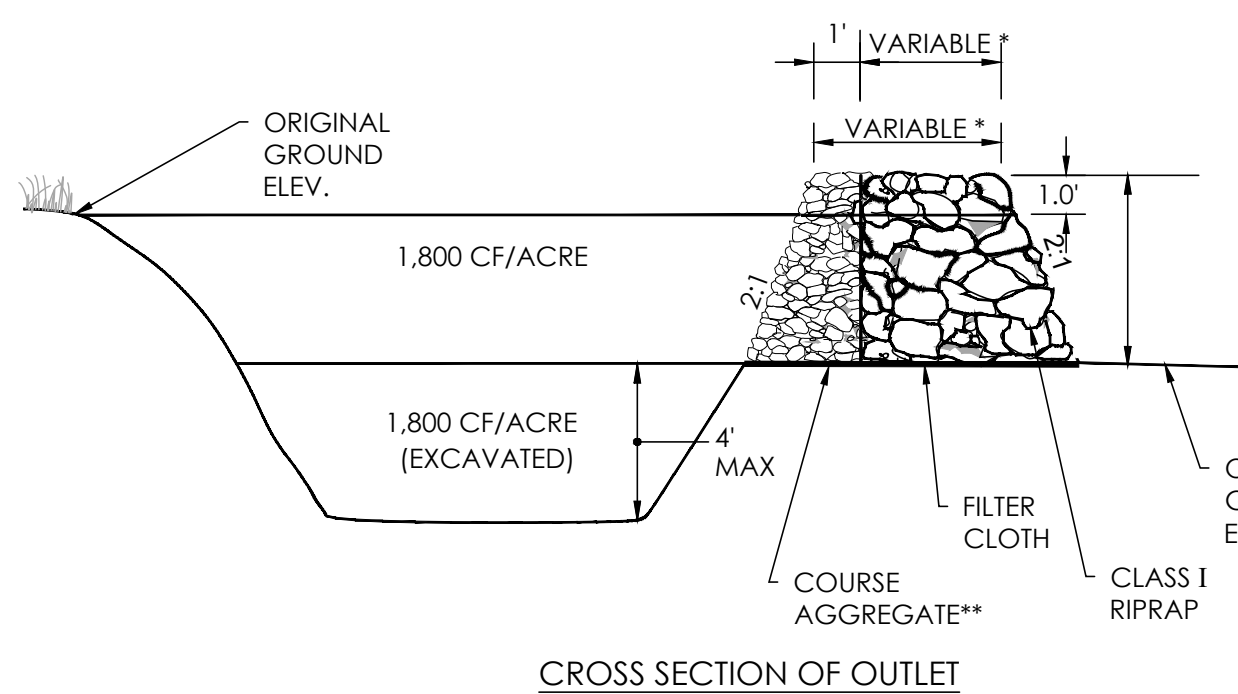


6 TYPICAL SEWER MANHOLE
NOT TO SCALE

NOTE:
CONTRACTOR SHALL SEPARATE, REMOVE, AND DISPOSE OF UNSUITABLE MATERIAL DISCOVERED DURING THE EXCAVATION. EXISTING MATERIAL TO BE USED AS ORDINARY FILL SHALL BE DRY, FREE OF UNSUITABLE MATERIAL AND STONES OVER 6\"/>



7 SEWER PIPE TRENCH
NOT TO SCALE



NOTES:
1. U.S. ENVIRONMENTAL PROTECTION AGENCY, STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, EPA-832-R-92-005, WASHINGTON, DC, SEPTEMBER, 1992.

8 SEDIMENT TRAP
NOT TO SCALE

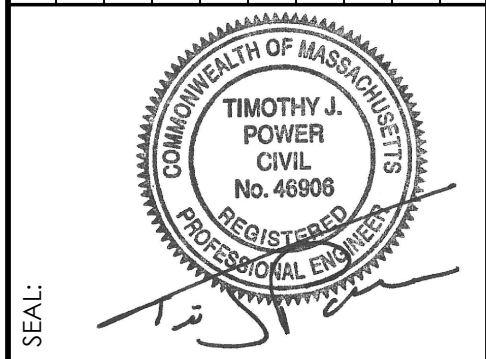
DATE APPROVED: _____
DATE SIGNED: _____

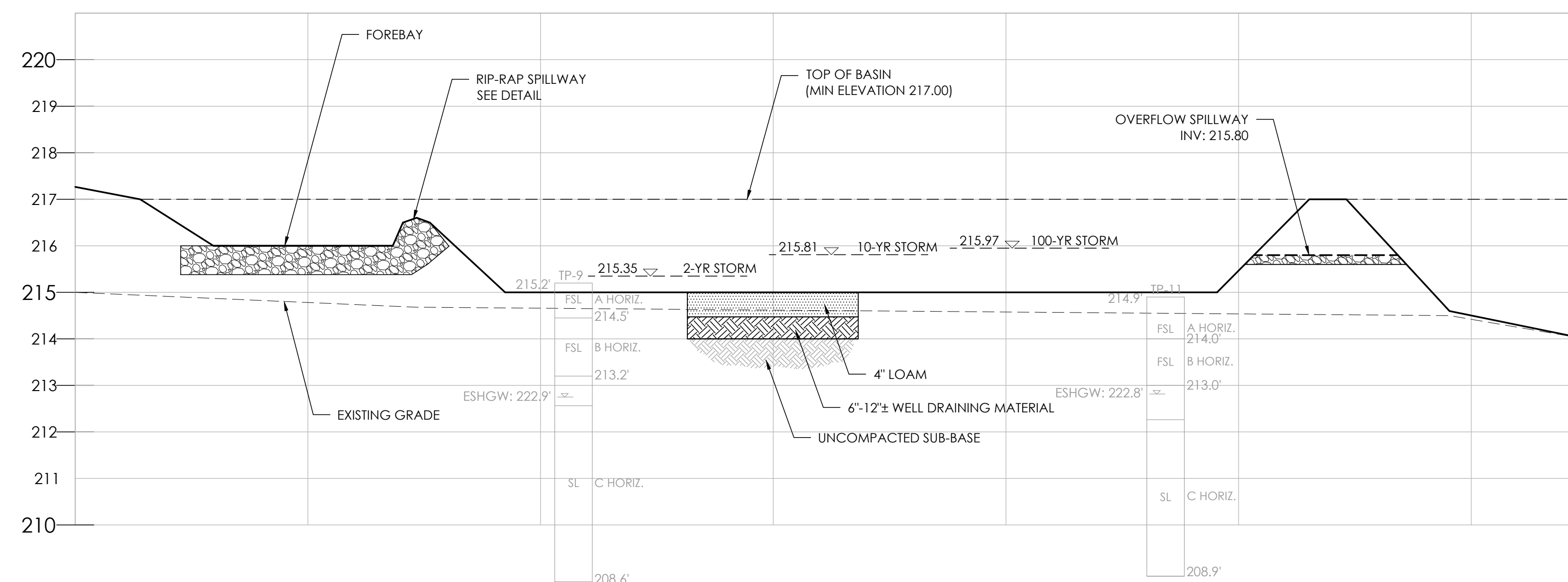
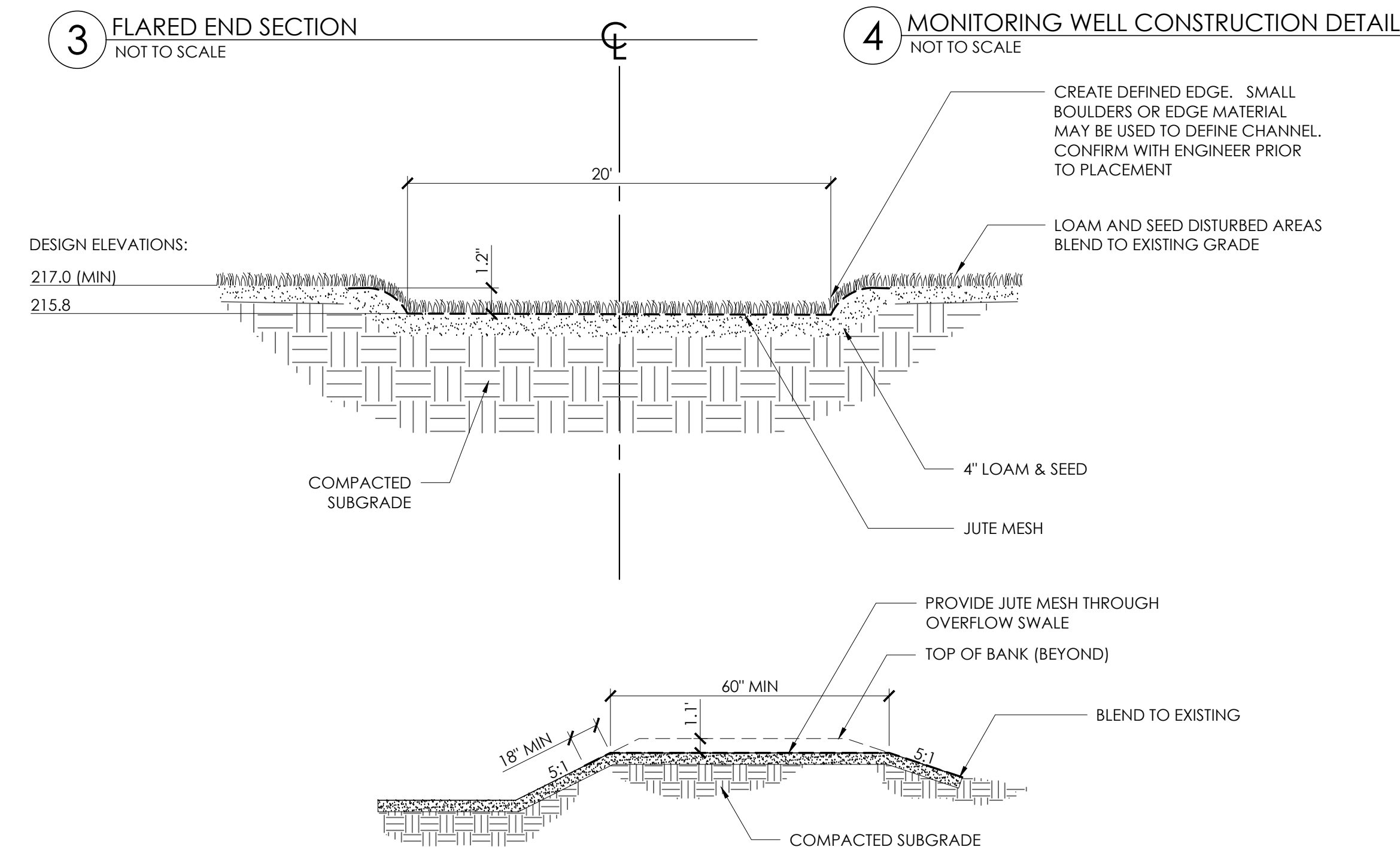
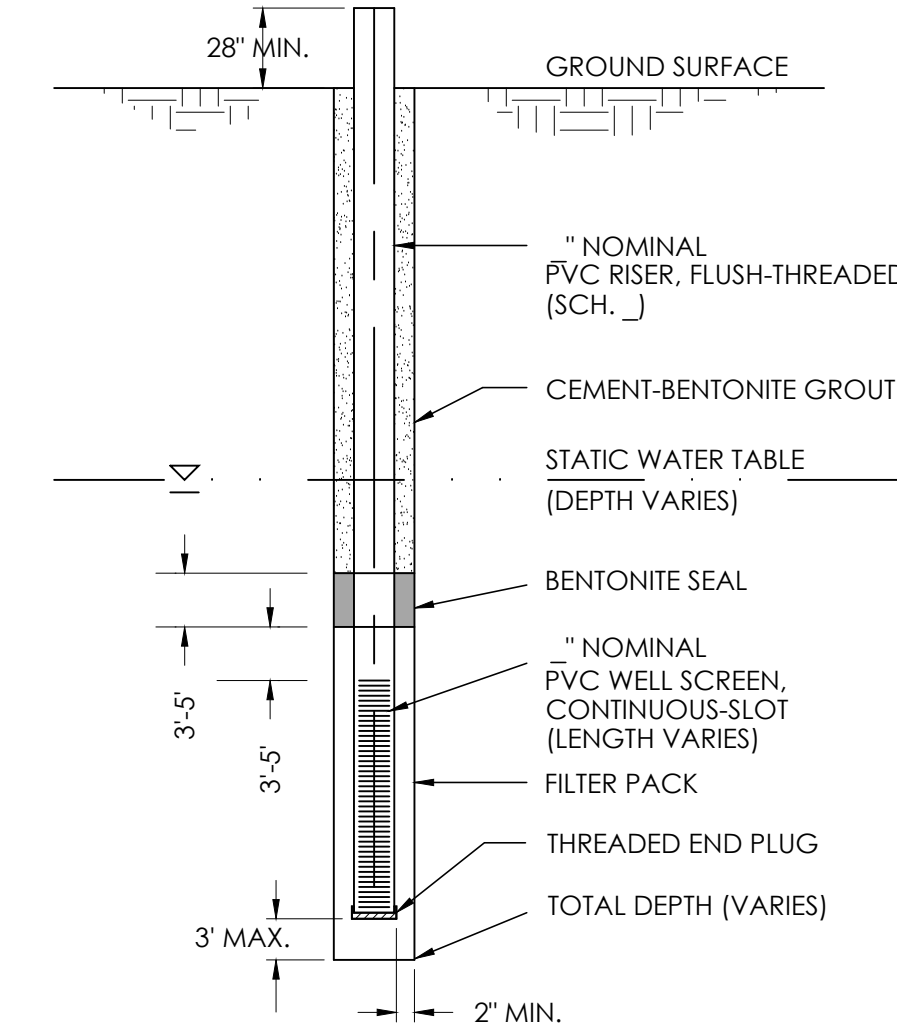
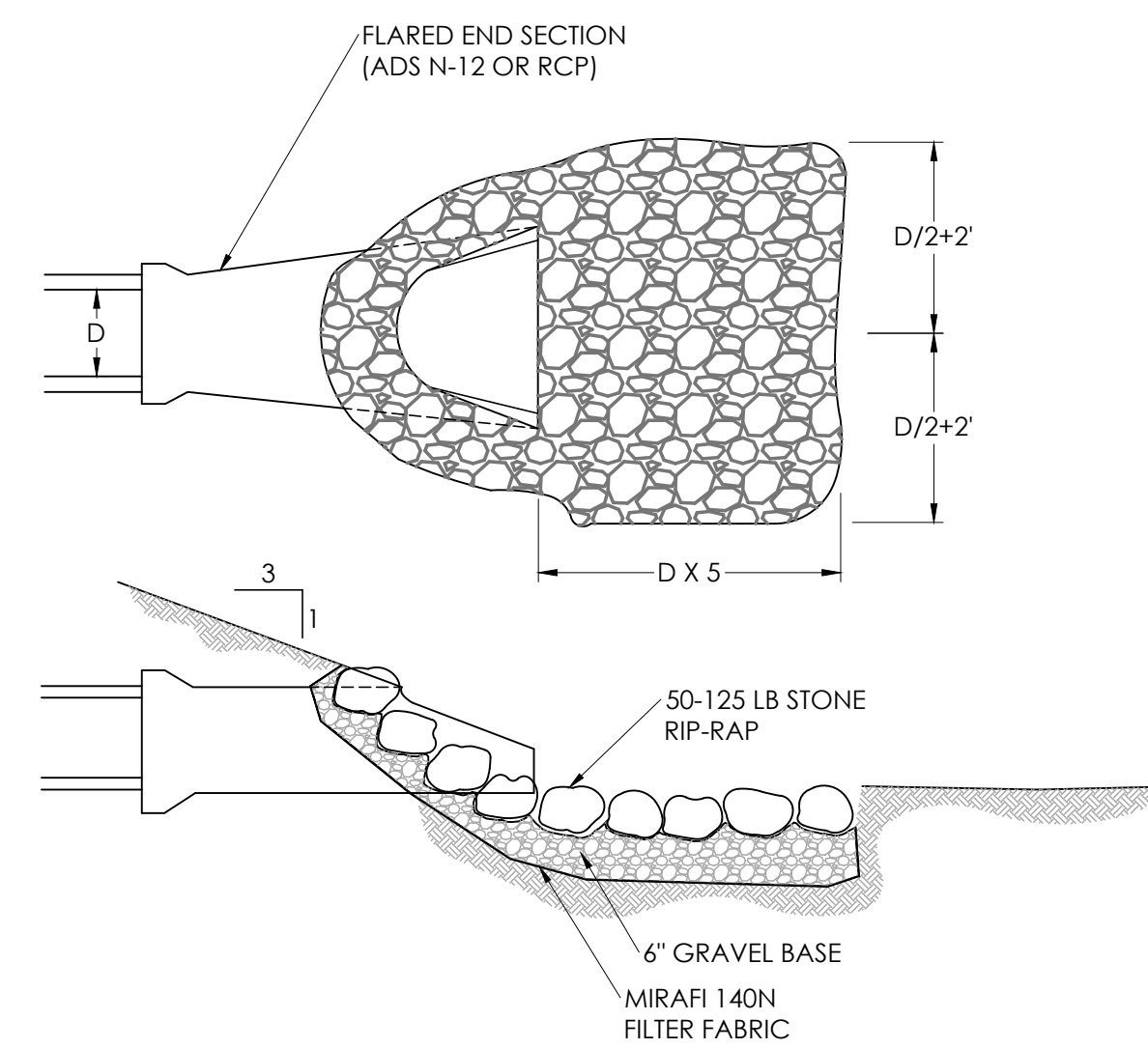
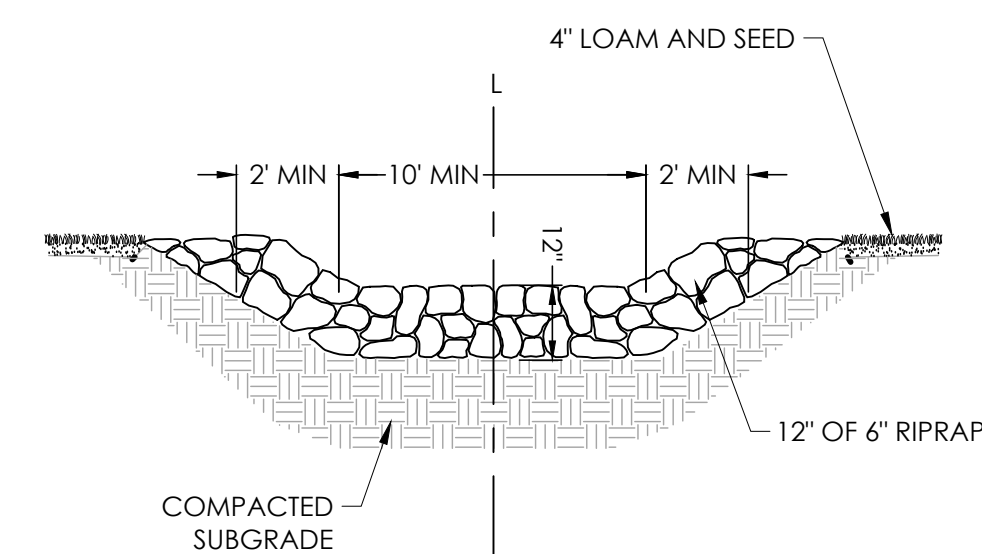
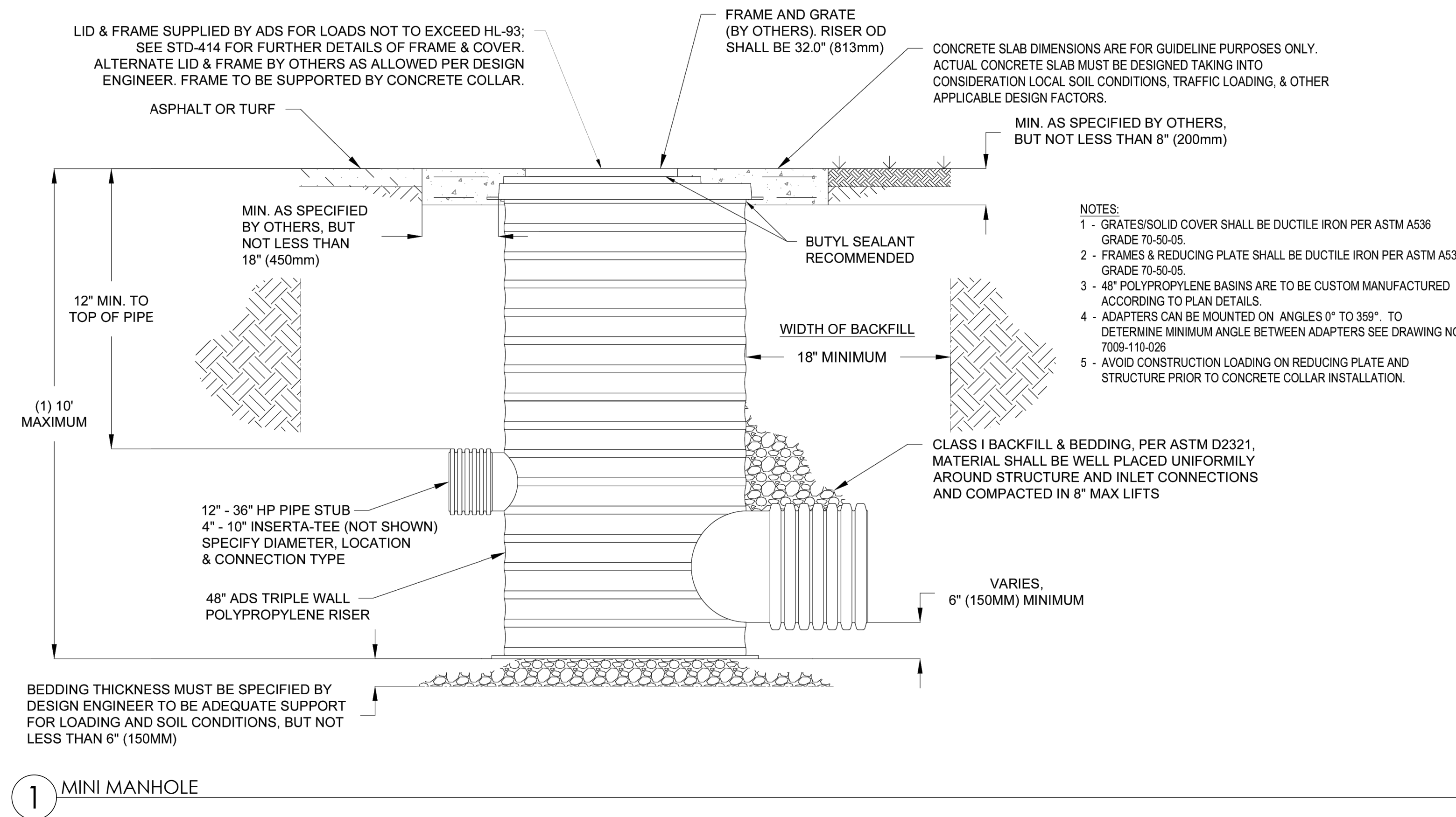
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE
DATE _____

PLANNING AND ECONOMIC
DEVELOPMENT BOARD, MEDWAY, MA

REVISIONS:	1: REVIEW COMMENTS MAY 30, 2025
	2: REVIEW COMMENTS SEPTEMBER 17, 2025





DATE APPROVED: _____

DATE SIGNED: _____

MIDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE
DATE _____

PLANNING AND ECONOMIC
DEVELOPMENT BOARD, MEDWAY, MA



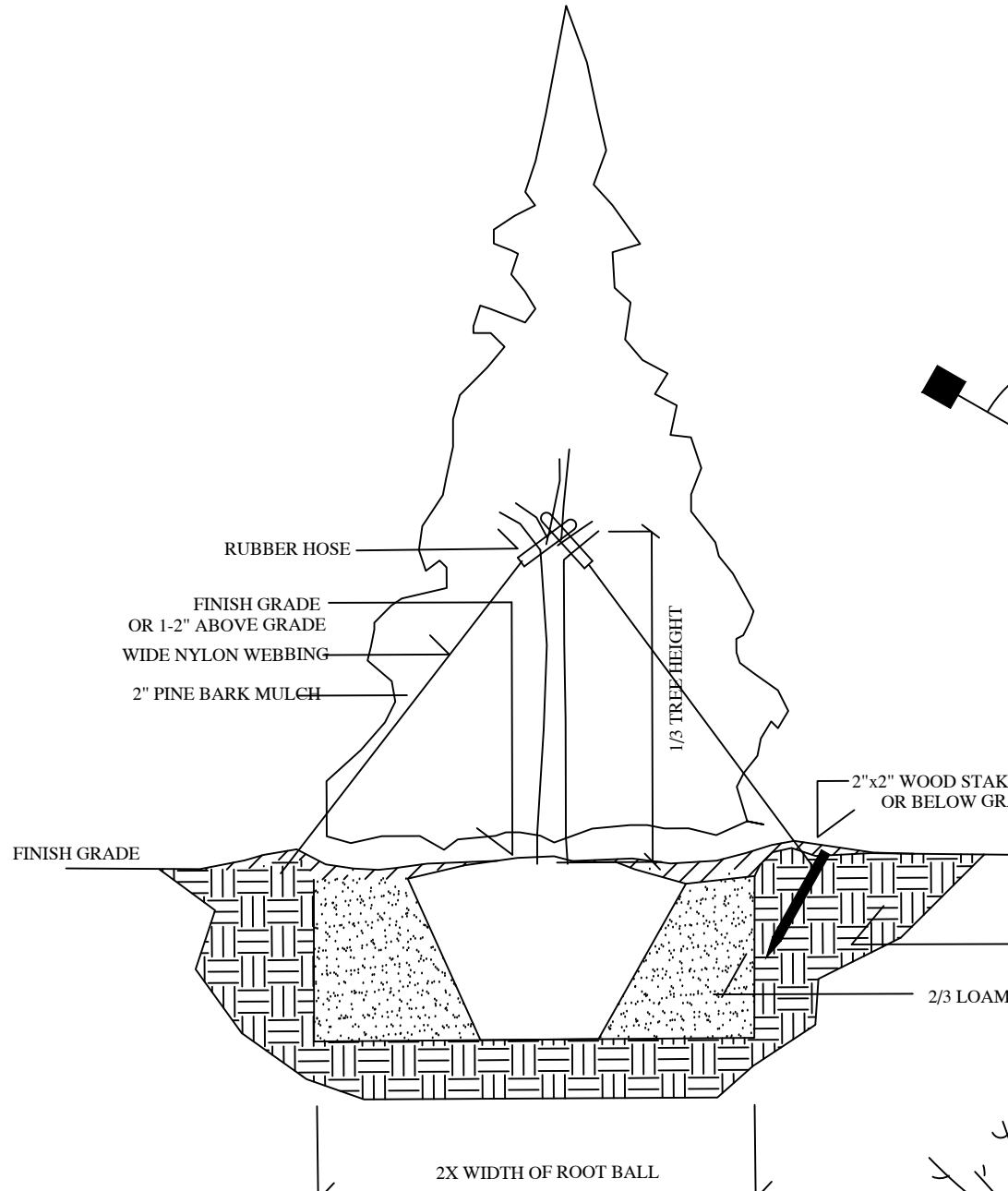
PLANNING AND ECONOMIC
DEVELOPMENT BOARD, MEDWAY, MA

PLANT SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS AND EVERGREEN TREES			
2	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY RED MAPLE	2-1/2" 3" CALIPER
3	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	2-1/2" 3" CALIPER
3	CLADRASTIS LUTEA	YELLOWWOOD	2-1/2" 3" CALIPER
8	ABIES BLASAMEA	BALSAM FIR	8'-10' HEIGHT
6	JUNIPERUS VIRGINIANA	RED CEDAR	8'-10' HEIGHT
4	ILEX OPACA	AMERICAN HOLLY	7'-8' HEIGHT
2	BETULA NIGRA	RIVER BIRCH	12'-14' MULTI STEM
DECIDUOUS AND EVERGREEN SHRUBS			
12	HYDRANGEA ARBORESCENS	SMOOTH HYDRANGEA	2'-2-1/2"
20	ILEX GLABRA	INKBERRY	2'-2-1/2"
30	PANICUM VIRGATUM	SWITCH GRASS	3 GALLON POT
20	ROSA VIRGINIANA	VIRGINIA ROSE	2 GALLON POT
9	KALMIA LATIFOLIA	MOUNTAIN LAUREL	2-1/2-3"

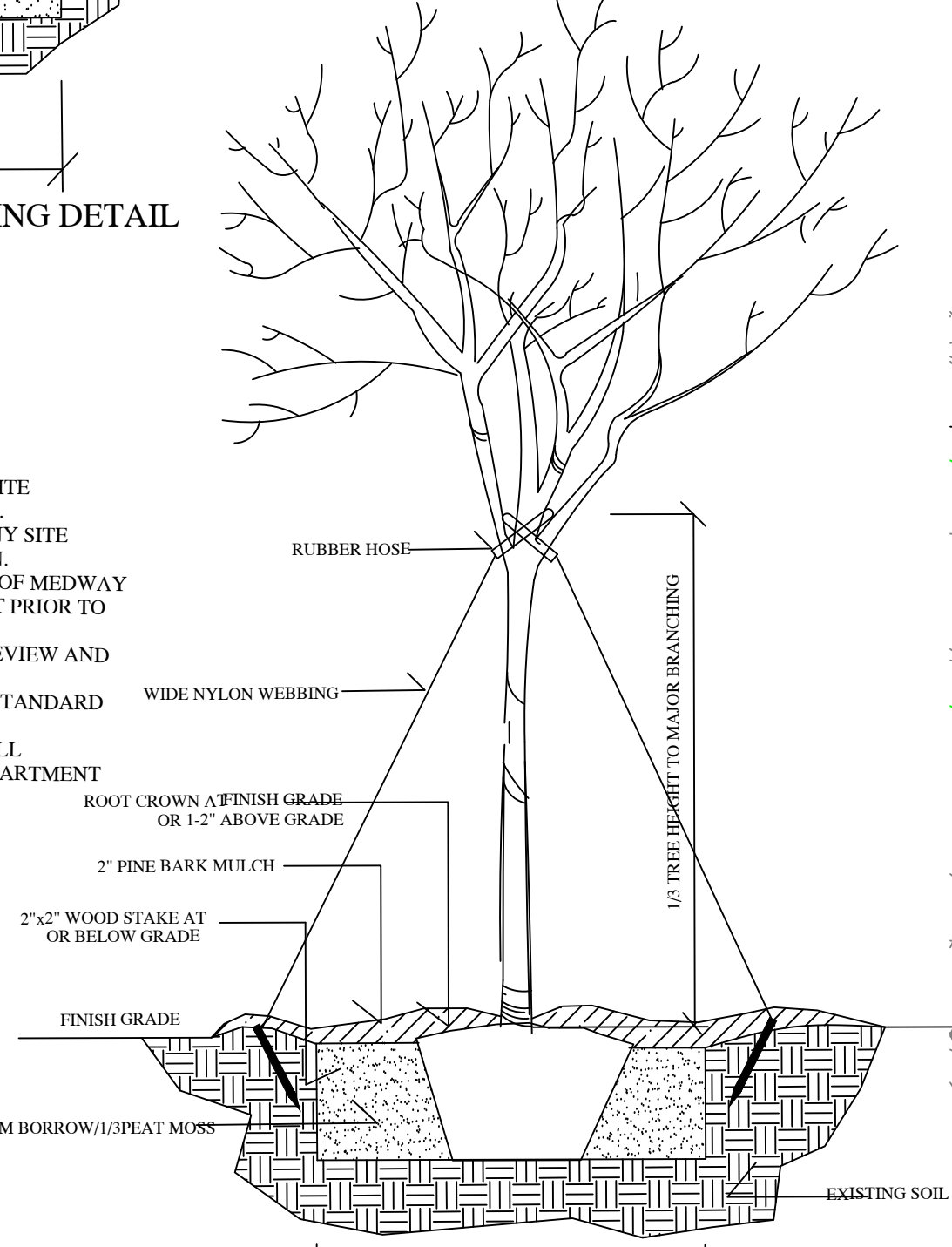


MATURE RED MAPLE

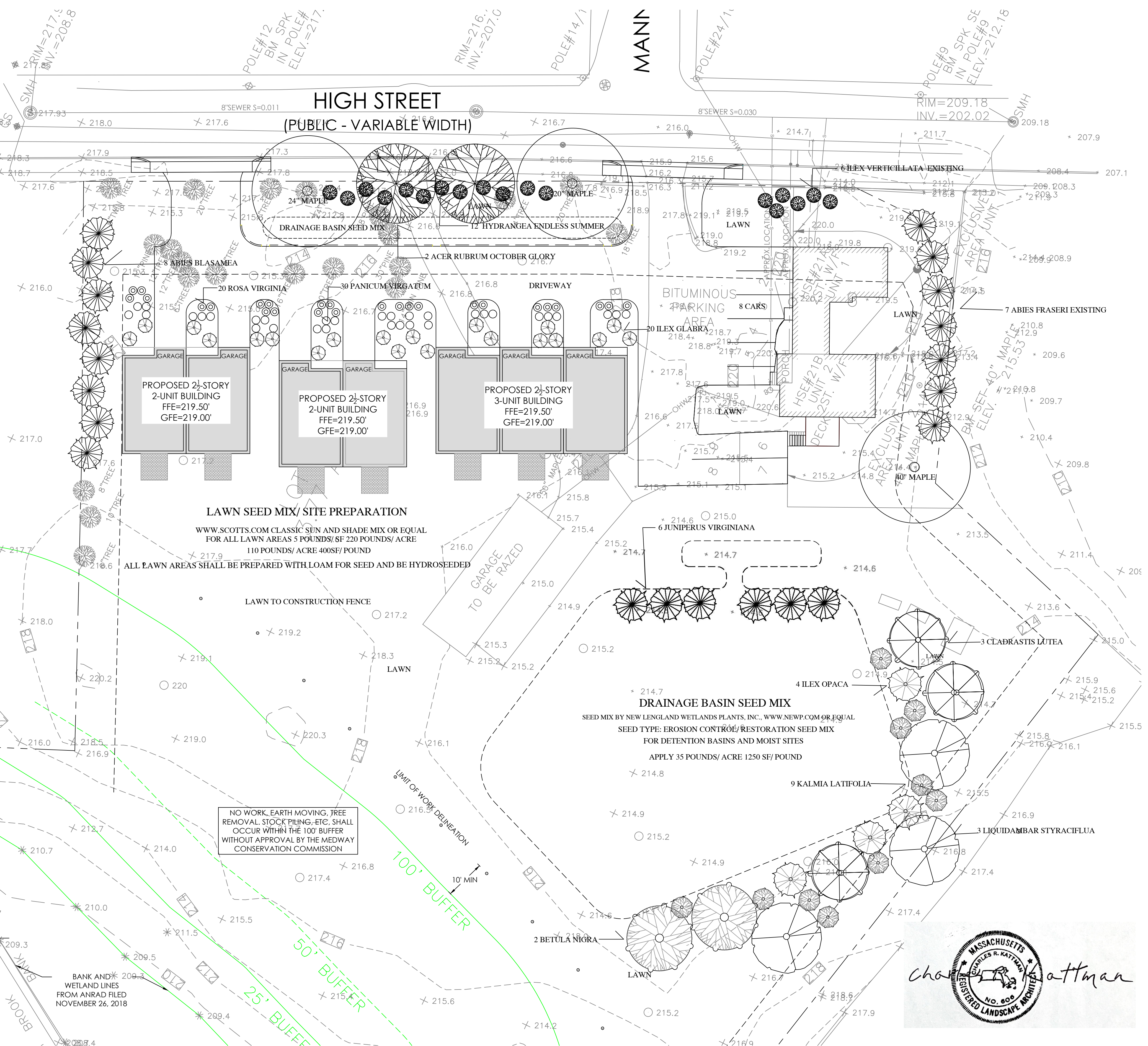


EVERGREEN TREE PLANTING DETAIL

- NOTES:
1. CONTRACTOR SHALL CONTACT DIG SAFE TO MARK ALL SITE UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR SHALL REPLACE TO AS NEW CONDITION ANY SITE UTILITIES/AMENITIES DAMAGED DURING CONSTRUCTION.
 3. CONTRACTOR SHALL OBTAIN ALL PERMITS AND TOWN OF MEDWAY APPROVALS REQUIRED FOR THE WORK OF THE CONTRACT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 4. CONTRACTOR SHALL SUBMIT SAMPLE MATERIALS FOR REVIEW AND APPROVAL BY THE OWNERS PRIOR TO CONSTRUCTION.
 5. ALL PLANT MATERIALS SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK.
 6. ALL METHODS AND MATERIALS FOR CONSTRUCTION SHALL CONFORM TO COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
 7. ALL LAWN AREAS SHALL BE PREPARED FOR SEED AND BE HYDROSEEDED.



DECIDUOUS TREE PLANTING DETAIL



Project

HIGH STREET
MEADOWS
21 HIGH STREET
MEDWAY
MA 02053

MEDWAY
DEVELOPMENT
LLC
383
MAIN STREET
MEDFIELD
MA 02052

KATTMAN
CORPORATION

Landscape Architects
Landscape Architecture
Planning

RICHARD KATTMAN
Mass. License # 606
24 WATER STREET
HOLLISTON, MASS. 01746
508-893-6232
richard.kattman@gmail.com
www.crichardkattman.com

Sheet Title
LANDSCAPE
PLAN

Scale: 1"=20'-0"

DATE: 09/17/2025

Revisions:

Sheet Number
L1