



Village of Saranac Lake - Planning Department

39 Main St.
Saranac Lake, NY 12983
Phone (518) 891-4150
www.saranaclakeny.gov

Instructions:

- A complete minor project application must include a plot plan, a Site Plan application is required for major projects
- Special Use Permit application fee - \$300.00
- SEQR - Short Environmental assessment form, part 1 attached, (a full SEQR may be required)
- WAF - Waterfront Assessment Form, section B(attached)
- Incomplete applications will not be placed on the Development Board agenda
- Special Use Permit regulations can be found at: <https://ecode360.com/31626712>

SPECIAL USE PERMIT APPLICATION		Major Project	<input checked="" type="checkbox"/> Minor Project
Project Address: 211 Broadway, Saranac Lake NY		Tax Map #: 164 601 44 66 81 61 00	Zoning District F2
Property Owner Name: Ross Mann, Mind Full Mountain Properties, LLC		Applicant Name (if different):	
Address: 16 Wesvalley Rd		Address:	
City: Lake Placid	State: NY	City:	State:
Phone: 518-524-5011	Zip: 12946	Phone:	Zip:
Email: R.Mann002@gmail.com		Email:	

Please provide a written description of the project. The narrative should describe why a variance is requested.

Narrative
The property is currently a very large single family home, and we plan to change it to a multi family dwelling. We propose to modify the current building to contain 3 units.

Property Owner Signature(required): *Ross Mann* Date: 7/6/22

Applicant Signature(if different): _____ Date: _____

Criteria Narrative - Please provide a written description how the proposed use will satisfy the criteria set forth below

(1) Will comply with all provisions and requirements of this chapter and other local laws and regulations, and will be in harmony with the purposes of the zoning district in which it is located and with the general intent and purposes of this code;

This project complies with all provisions and requirements of this chapter and all local laws and regulations. It complies with the residential zoning district in which it resides.

(2) Will not be detrimental to adjacent uses;

This dwelling will not impede the daily use of any other adjacent properties.

(3) Will not adversely affect the characteristics of residential neighborhoods in the Village;

This dwelling is currently vacant. Fixing it up and bringing families into it will help the neighborhood.

(4) Multi-modal transportation: the degree to which the goals and objectives of the Village's 2012 Bicycle, Pedestrian and Trail Master Plan are met; furthermore, that the proposed major project will not cause undue traffic congestion, unduly impair pedestrian safety, or overload existing roads considering their current width, surfacing, and condition, will have appropriate parking, and will be accessible to fire, police, and other emergency vehicles;

This project will not affect traffic in any way. There are sidewalks for pedestrian use in front, and there are trail systems (and railroad tracks/rail trail) a short distance away. The close proximity to town makes bicycle and pedestrian commute to employment very sustainable.

(5) Will not overload any public water, drainage, or sewer system or any other municipal facility or degrade any natural resource or ecosystem;

There will be little added strain on public water and sewer, as the plan is only 2 additional units above existing. Any ecosystem changes for parking will only effect grass, and the area surrounding will be replanted with like.

Criteria Narrative, continued

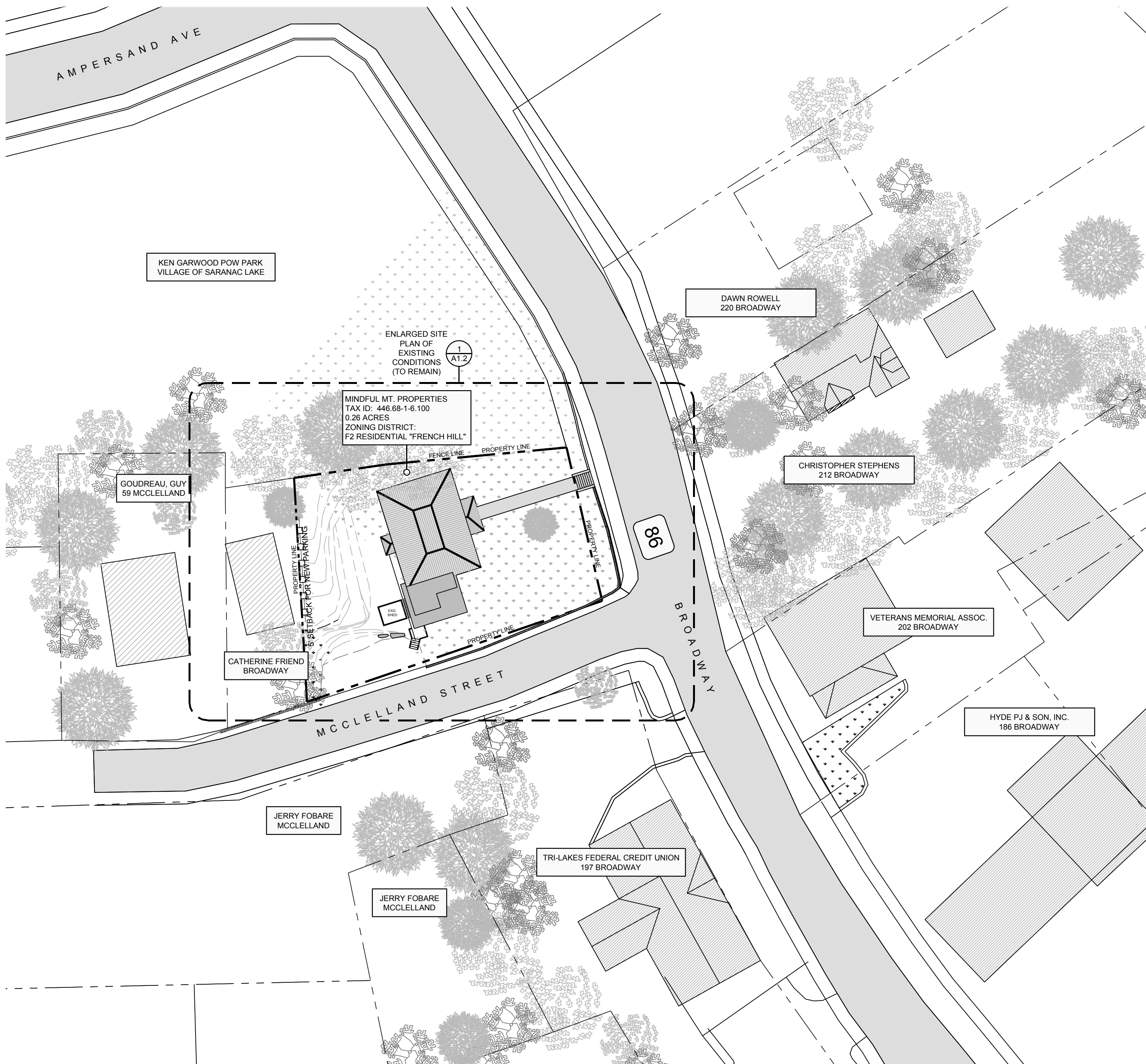
(6) Will be suitable for the property on which it is proposed, considering the property's size, location, topography, vegetation, soils, natural habitat, and hydrology, and, if appropriate, its ability to be buffered or screened from neighboring properties and public roads;
There will be no changes to the building's size, and as such, is suitable for the property size, location, topography, vegetation, soils, natural habitat, and hydrology.

(7) Will not result in excessive noise, dust, odors, solid waste, or glare, create any other nuisances, or result in the introduction of terrestrial or aquatic invasive species;
There will be no noise, dust, odors, waste, glare, or other nuisances escaping the building during construction, and as it will continue to be housing, will not create any such nuisances thereafter.

(8) Will be subject to such conditions on design and layout of structures, provision of buffer areas, and operation of the use as may be necessary to ensure compatibility with surrounding uses and to protect the natural, historic, and scenic resources of the Village;
Design and layout of structures will not change. There are sufficient buffer areas between this property and each adjacent.

(9) Will be consistent with the goal of concentrating retail uses in villages and hamlets, avoiding strip commercial development, and locating nonresidential uses that are incompatible with residential use on well-buffered properties; and
This will be a nonretail use building, and as such, will not effect concentration of retail uses in any manner.

(10) Will have no greater overall impact on the site and its surroundings than would full development of uses of the property permitted by right, considering environmental, social, and economic impacts of traffic, noise, dust, odors, release of harmful substances, solid waste disposal, or glare, or any other nuisances.
The site is currently a dwelling, and will remain as such. Changes made according to the plan will not impact the site and its surroundings considering environmental impacts. It may have a social impact and slightly increase traffic due to the increased number of people living on the property. It will not create any noise, dust, odor, harmful substances, waste, glare, or other nuisances.

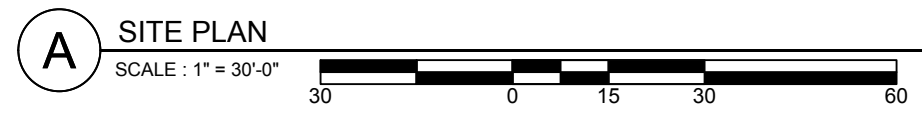


CantwellJackson
 DESIGN BUILD
 272 FOREST HILL AVENUE
 SARANAC LAKE, NY 12983
 203 . 903 . 3218
 518 . 354 . 9557
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MINDFUL MOUNTAIN PROPERTIES
 RESIDENTIAL REMODEL
 SINGLE FAMILY INTO
 MULTI-FAMILY THREE
 (3) UNIT APARTMENT
 BUILDING
 211 BROADWAY
 SARANAC LAKE, NY 12983

IN ACCORDANCE WITH NYS
 EDUCATION LAW, ARTICLE 145,
 SECTION 7209, IT IS A VIOLATION OF
 THE LAW FOR ANY PERSON, UNLESS
 HE IS ACTING UNDER THE DIRECTION
 OF THE LICENSED PROFESSIONAL
 ENGINEER, TO ALTER AN ITEM OF
 THIS DOCUMENT IN ANY WAY.
 THESE PLANS ARE IN COMPLIANCE
 WITH THE NYS RESIDENTIAL
 BUILDING CODE.

ISSUE DATE & SCALE:
 DATE: 6-29-22
 SCALE: AS SHOWN
 REVISED: 8-25-22



TITLE
 / DRAWING NUMBER

SITE PLAN

A1.1

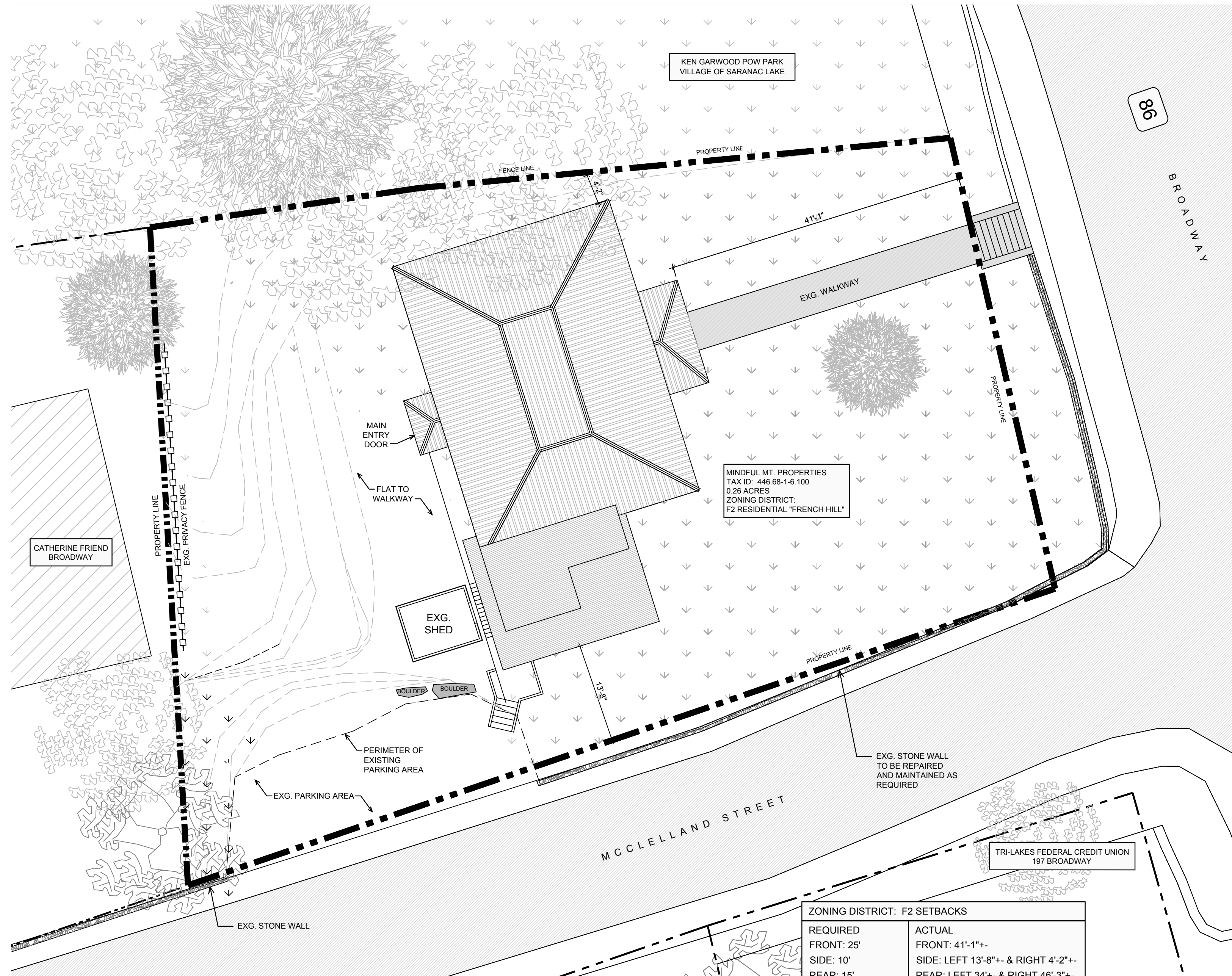


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MINDFUL MT. PROPERTIES
TAX ID: 446.68-1-6.100
0.26 ACRES
ZONING DISTRICT:
F2 RESIDENTIAL "FRENCH HILL"

ZONING DISTRICT: F2 SETBACKS	
REQUIRED FRONT: 25'	ACTUAL FRONT: 41'-1"±
SIDE: 10'	SIDE: LEFT 13'-8"± & RIGHT 4'-2"±
REAR: 15'	REAR: LEFT 34'± & RIGHT 46'-3"±
REAR PARKING: 5'	REAR PARKING AS SHOWN: 5'

A ENLARGED SITE PLAN (EXISTING CONDITIONS TO REMAIN)
SCALE: 1" = 10'-0"



TITLE / DRAWING NUMBER

ENLARGED SITE PLAN
(EXISTING CONDITIONS
TO REMAIN)

A1.2



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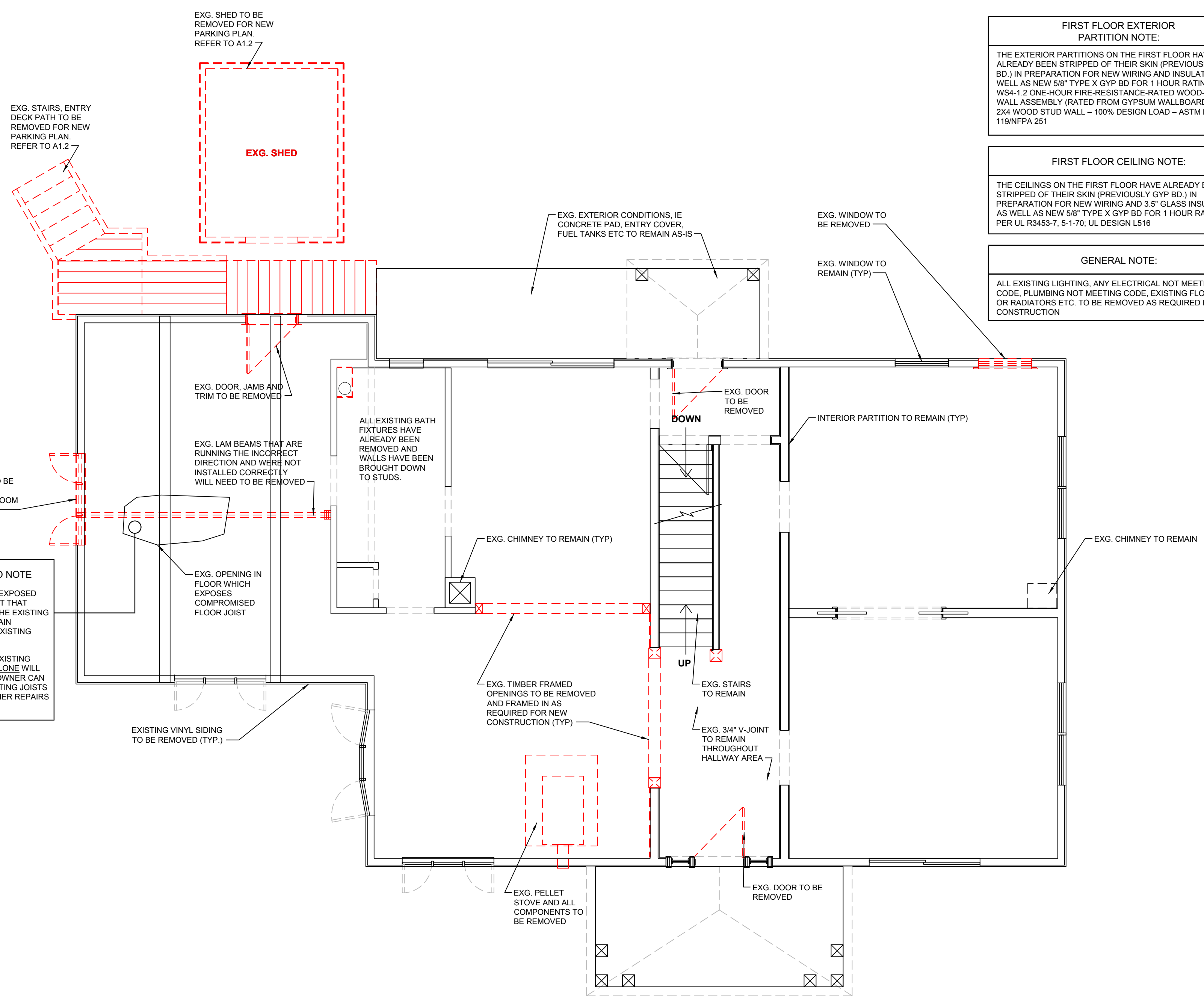
DEMOLITION PLAN
FIRST FLOOR

D1.0

FIRST FLOOR EXTERIOR PARTITION NOTE:
THE EXTERIOR PARTITIONS ON THE FIRST FLOOR HAVE ALREADY BEEN STRIPPED OF THEIR SKIN (PREVIOUSLY GYP BD.) IN PREPARATION FOR NEW WIRING AND INSULATION AS WELL AS NEW 5/8" TYPE X GYP BD FOR 1 HOUR RATING, PER WS4-1.2 ONE-HOUR FIRE-RESISTANCE-RATED WOOD-FRAME WALL ASSEMBLY (RATED FROM GYPSUM WALLBOARD SIDE) 2X4 WOOD STUD WALL - 100% DESIGN LOAD - ASTM E 119/NFPA 251

FIRST FLOOR CEILING NOTE:
THE CEILINGS ON THE FIRST FLOOR HAVE ALREADY BEEN STRIPPED OF THEIR SKIN (PREVIOUSLY GYP BD.) IN PREPARATION FOR NEW WIRING AND 3.5" GLASS INSULATION AS WELL AS NEW 5/8" TYPE X GYP BD FOR 1 HOUR RATING PER UL R3453-7, 5-1-70; UL DESIGN L516

GENERAL NOTE:
ALL EXISTING LIGHTING, ANY ELECTRICAL NOT MEETING CODE, PLUMBING NOT MEETING CODE, EXISTING FLOORING, OR RADIATORS ETC. TO BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION



EXISTING FLOOR DEMO NOTE

- CURRENTLY THERE IS ONE EXPOSED COMPROMISED FLOOR JOIST THAT NEEDS TO BE REPLACED. THE EXISTING FLOOR JOISTS ARE TO REMAIN IN-PLACE, INCLUDING ANY EXISTING SETTLEMENTS.
- FOR BEST PRACTICE, THE EXISTING SUBFLOOR IN THIS ROOM ALONE WILL NEED TO BE REMOVED SO OWNER CAN GAIN FULL ACCESS TO EXISTING JOISTS AND TO ASSESS ANY FURTHER REPAIRS NEEDED TO FLOOR JOISTS.

A DEMOLITION PLAN - FIRST FLOOR
SCALE : 1/4" = 1'-0"
0 1' 2' 4' 8'





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**DEMOLITION PLAN
SECOND FLOOR**

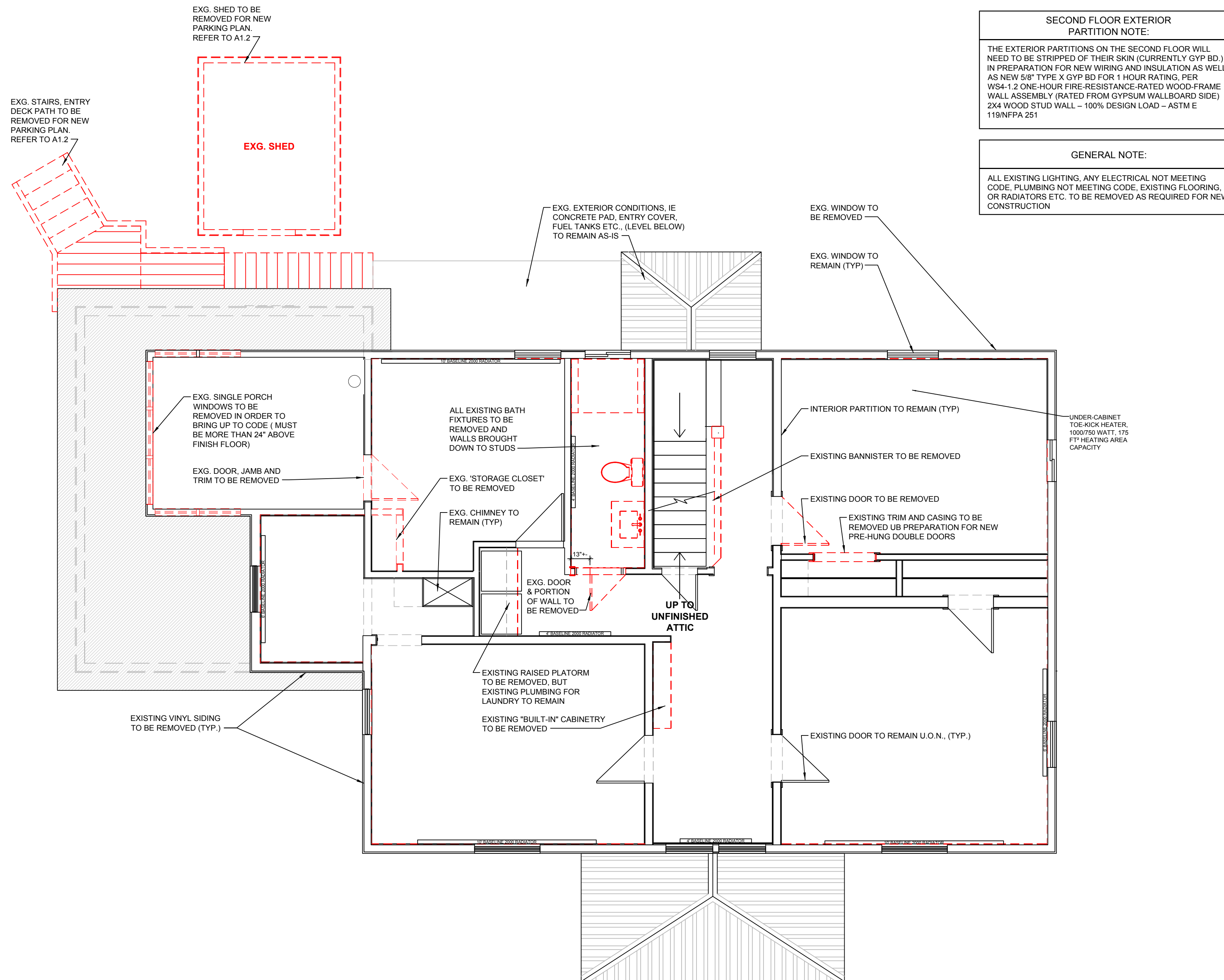
D1.1

**SECOND FLOOR EXTERIOR
PARTITION NOTE:**

THE EXTERIOR PARTITIONS ON THE SECOND FLOOR WILL NEED TO BE STRIPPED OF THEIR SKIN (CURRENTLY GYP BD.) IN PREPARATION FOR NEW WIRING AND INSULATION AS WELL AS NEW 5/8" TYPE X GYP BD FOR 1 HOUR RATING, PER WS4-1.2 ONE-HOUR FIRE-RESISTANCE-RATED WOOD-FRAME WALL ASSEMBLY (RATED FROM GYPSUM WALLBOARD SIDE) 2X4 WOOD STUD WALL - 100% DESIGN LOAD - ASTM E 119/NFPA 251

GENERAL NOTE:

ALL EXISTING LIGHTING, ANY ELECTRICAL NOT MEETING CODE, PLUMBING NOT MEETING CODE, EXISTING FLOORING, OR RADIATORS ETC. TO BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION



A DEMOLITION PLAN - SECOND FLOOR
SCALE : 1/4" = 1'-0"
0 1' 2' 4' 8'





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TITLE
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DEMOLITION PLAN
ATTIC LEVEL

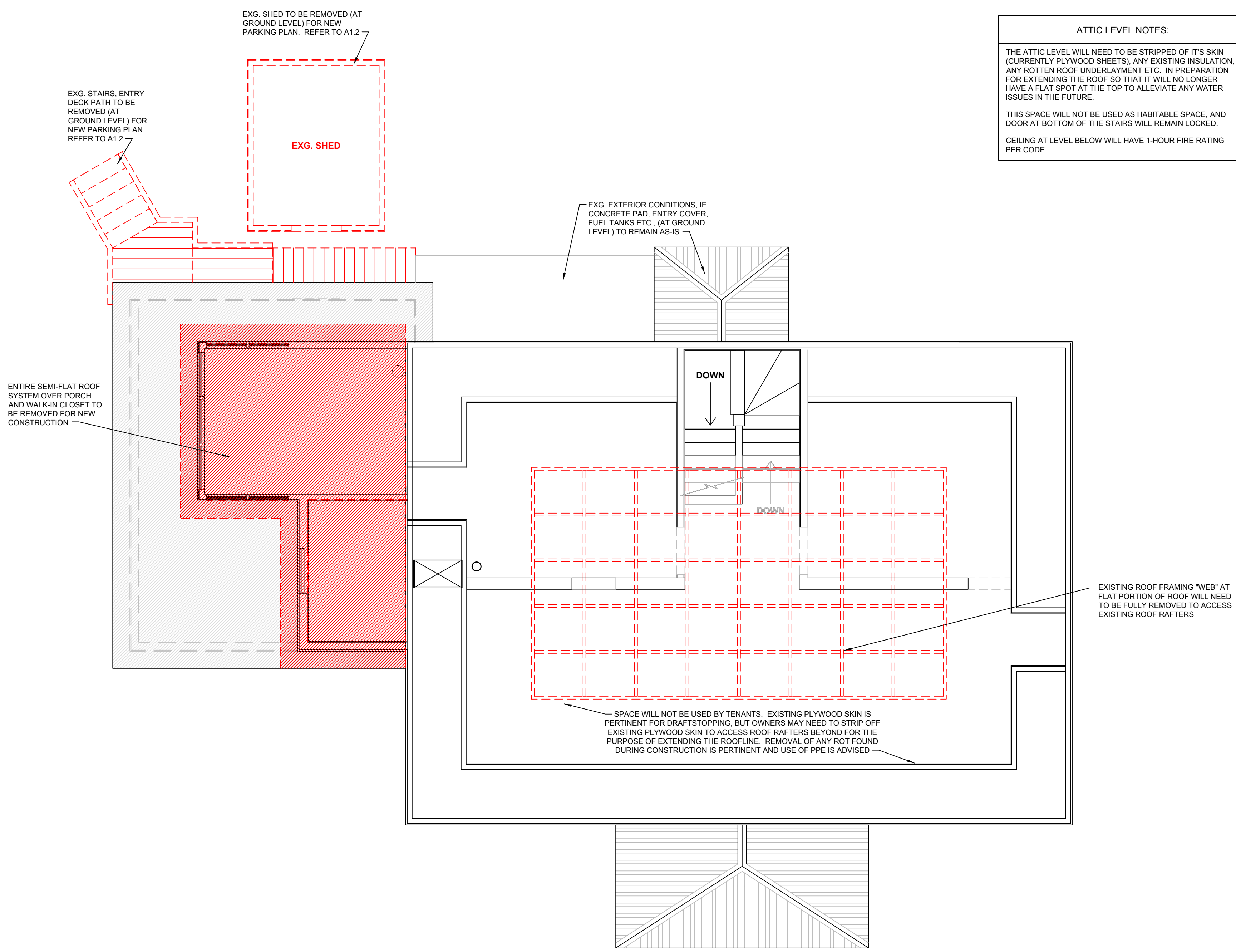
D1.2

ATTIC LEVEL NOTES:

THE ATTIC LEVEL WILL NEED TO BE STRIPPED OF ITS SKIN (CURRENTLY PLYWOOD SHEETS), ANY EXISTING INSULATION, ANY ROTTEN ROOF UNDERLAYMENT ETC. IN PREPARATION FOR EXTENDING THE ROOF SO THAT IT WILL NO LONGER HAVE A FLAT SPOT AT THE TOP TO ALLEVIATE ANY WATER ISSUES IN THE FUTURE.

THIS SPACE WILL NOT BE USED AS HABITABLE SPACE, AND DOOR AT BOTTOM OF THE STAIRS WILL REMAIN LOCKED.

CEILING AT LEVEL BELOW WILL HAVE 1-HOUR FIRE RATING PER CODE.



A DEMOLITION PLAN - ATTIC LEVEL
SCALE: 1/4" = 1'-0"





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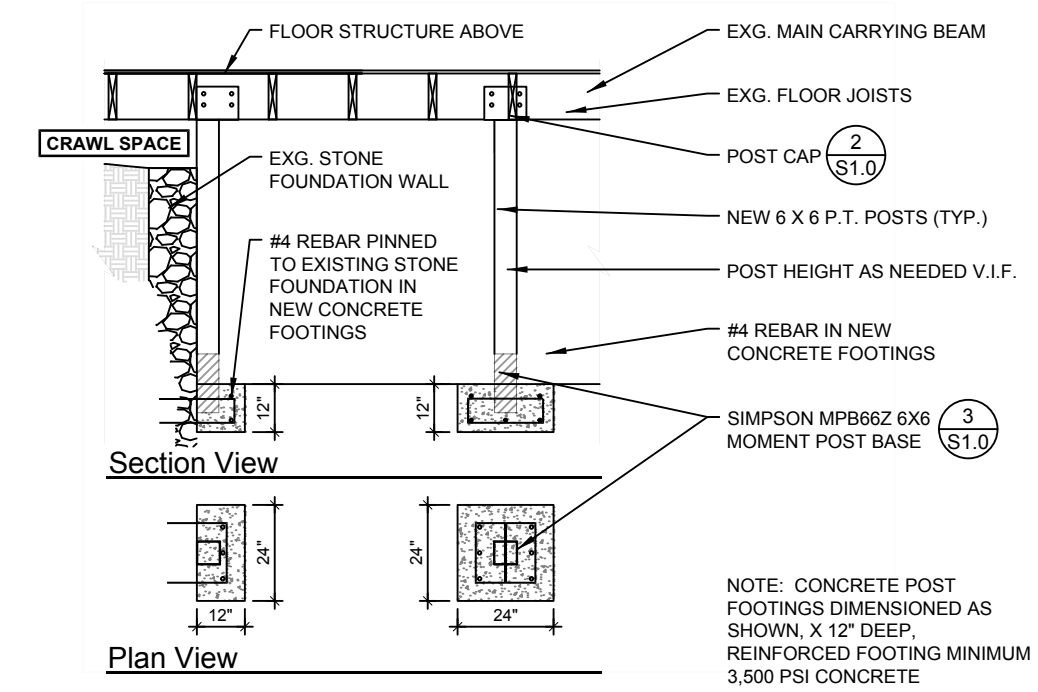
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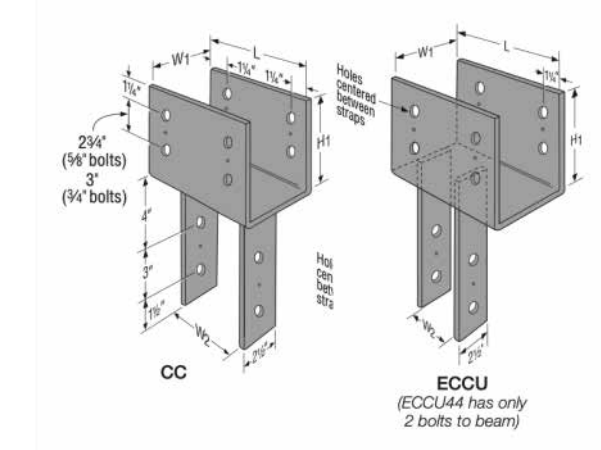
TITLE / DRAWING NUMBER

BASEMENT LEVEL
STRUCTURAL ADDITIONS

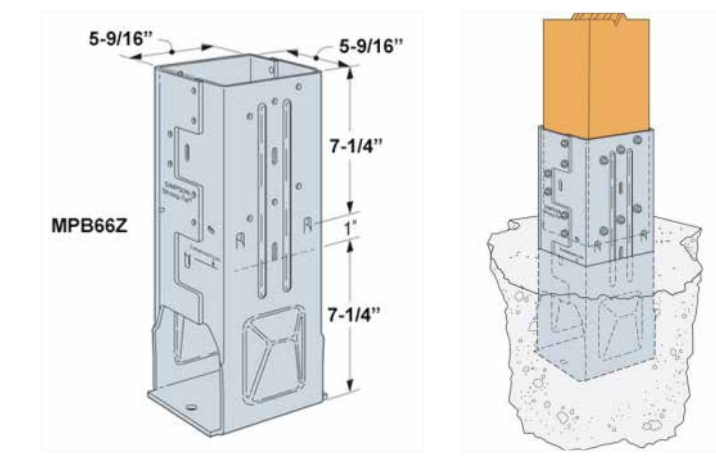
B1.0



1 FIRST FLOOR STRUCTURE REINFORCEMENT DETAILS
SCALE: 1/4" = 1'-0"



2 SIMPSON ECC5 1/4-6 END COLUMN CAPS



3 SIMPSON MPB66Z 6X6 MOMENT POST BASE



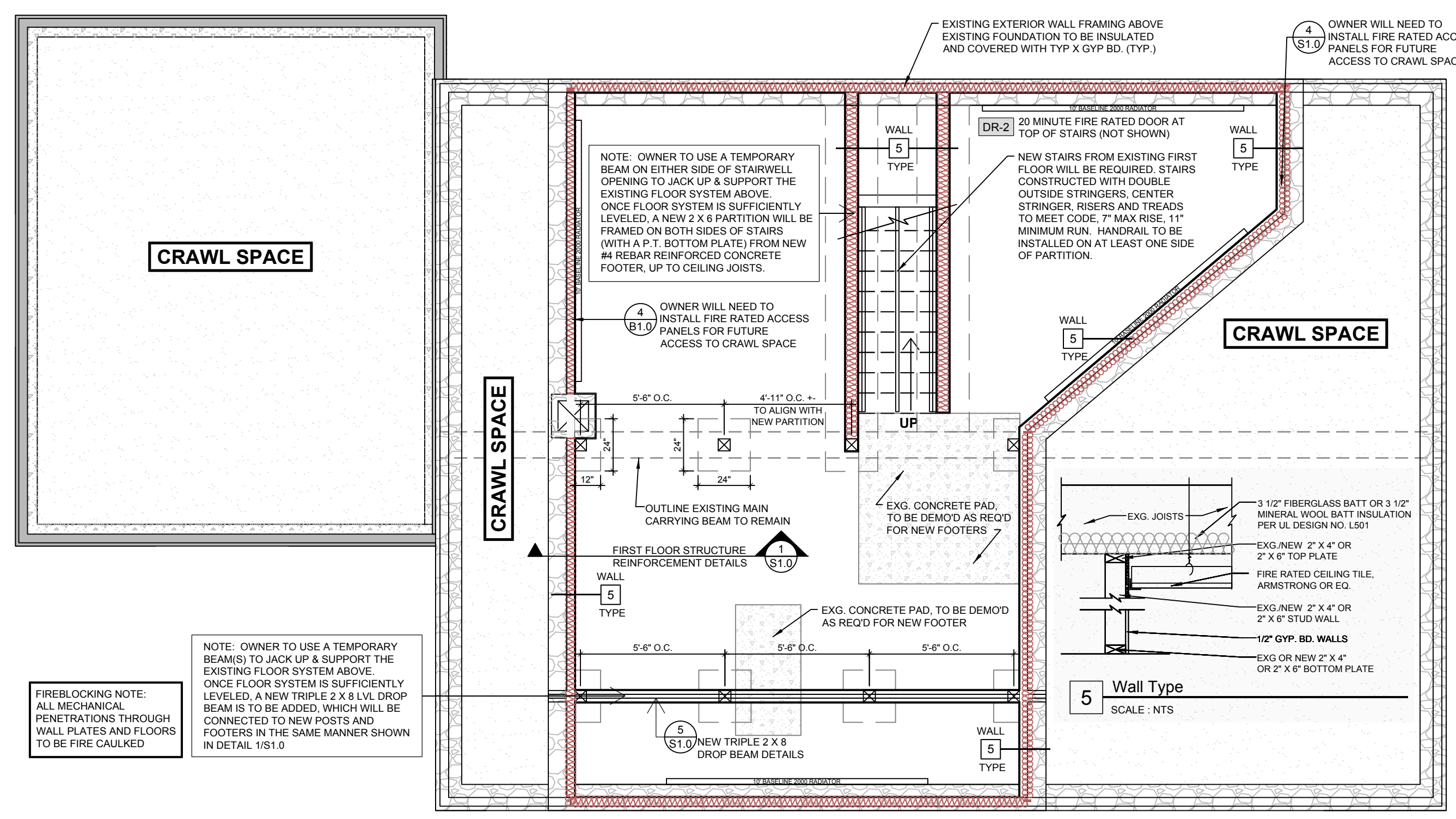
4 FIRE RATE ACCESS PANEL EXAMPLE (OR EQ.)

FORTE WEB SOLUTIONS REPORT PASSED

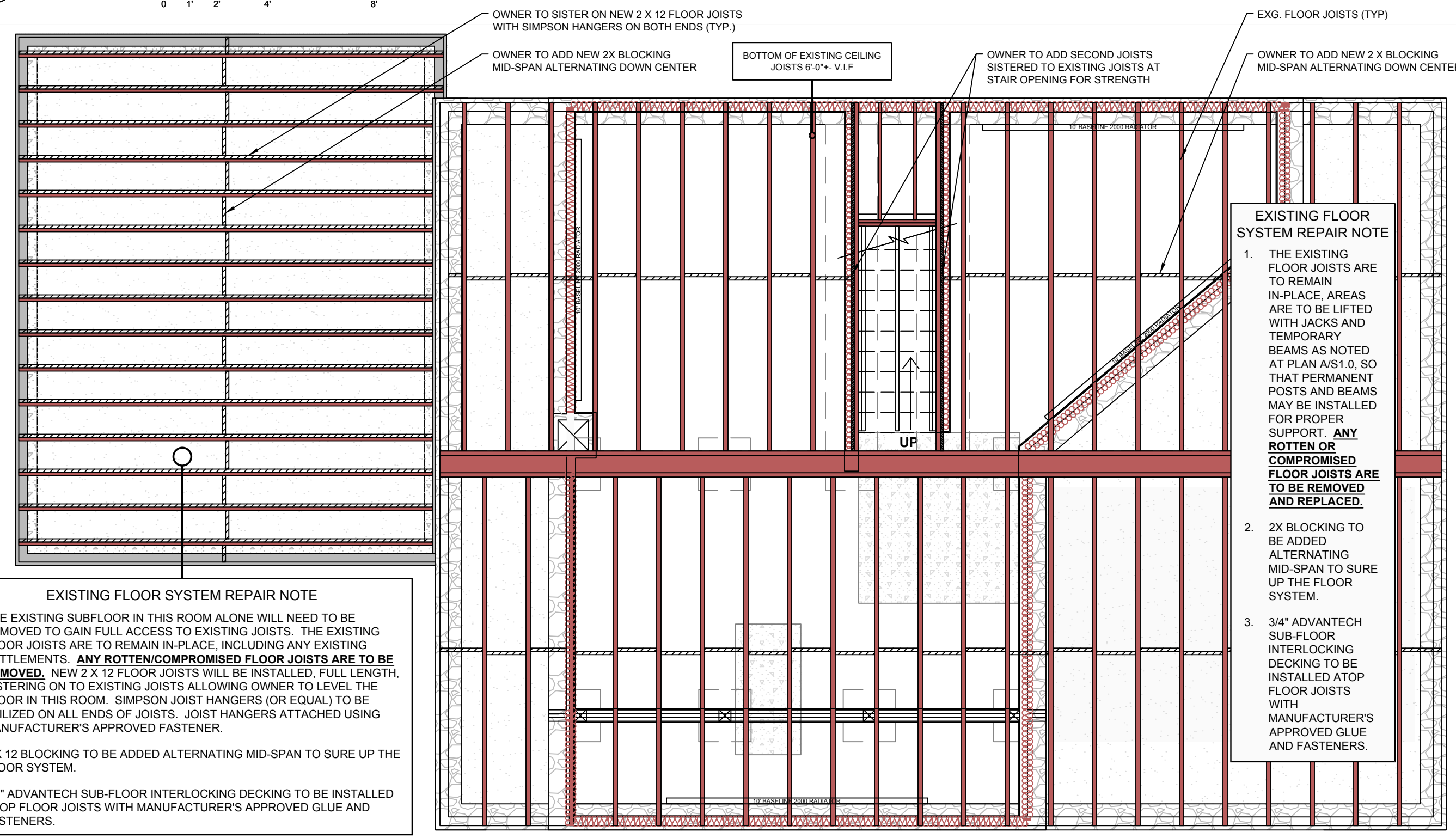
Level, Floor: Joist
Current Solution: 1 piece(s) 2 x 12 DF No.1 @ 16" OC
Overall Length: 15' 9"

Design Results	Actual @ Location	Allowed	Result	Load Factor	Load Combination (Pattern)
Member Reaction (lbs)	539 @ 4' 1/2"	2709 (4,25')	Passed (20%)	1.00	1.0 D + 1.0 L (All Spans)
Shear (lbs)	449 @ 1' 4' 3/4"	2025	Passed (22%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	1950 @ 7' 10 1/2"	1916	Passed (102%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.201 @ 7' 10 1/2"	0.375	Passed (L/896)	1.00	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.261 @ 7' 10 1/2"	0.750	Passed (L/999)	1.00	1.0 D + 1.0 L (All Spans)
Tripping Rating	N/A	N/A	N/A	N/A	N/A

5 SISTERED FLOOR JOIST SPEC'S



A FLOOR PLAN - BASEMENT LEVEL - STRUCTURAL ADDITIONS FOR FIRST FLOOR JOIST SYSTEM SUPPORT
SCALE: 1/4" = 1'-0"



B FIRST FLOOR JOIST PLAN - ILLUSTRATING STRUCTURAL ADDITIONS FOR FIRST FLOOR JOIST SYSTEM SUPPORT
SCALE: 1/4" = 1'-0"

EXISTING FLOOR SYSTEM REPAIR NOTE

1. THE EXISTING SUBFLOOR IN THIS ROOM ALONE WILL NEED TO BE REMOVED TO GAIN FULL ACCESS TO EXISTING JOISTS. THE EXISTING FLOOR JOISTS ARE TO REMAIN IN-PLACE, INCLUDING ANY EXISTING SETTLEMENTS. **ANY ROTTEN/COMPROMISED FLOOR JOISTS ARE TO BE REMOVED.** NEW 2 X 12 FLOOR JOISTS WILL BE INSTALLED, FULL LENGTH, SISTERING ON TO EXISTING JOISTS ALLOWING OWNER TO LEVEL THE FLOOR IN THIS ROOM. SIMPSON JOIST HANGERS (OR EQUAL) TO BE UTILIZED ON ALL ENDS OF JOISTS. JOIST HANGERS ATTACHED USING MANUFACTURER'S APPROVED FASTENER.
2. 2 X 12 BLOCKING TO BE ADDED ALTERNATING MID-SPAN TO SURE UP THE FLOOR SYSTEM.
3. 3/4" ADVANTECH SUB-FLOOR INTERLOCKING DECKING TO BE INSTALLED ATOP FLOOR JOISTS WITH MANUFACTURER'S APPROVED GLUE AND FASTENERS.

EXISTING FLOOR SYSTEM REPAIR NOTE

1. THE EXISTING FLOOR JOISTS ARE TO REMAIN IN-PLACE. AREAS ARE TO BE LIFTED WITH JACKS AND TEMPORARY BEAMS AS NOTED AT PLAN A/S1.0, SO THAT PERMANENT POSTS AND BEAMS MAY BE INSTALLED FOR PROPER SUPPORT. **ANY ROTTEN OR COMPROMISED FLOOR JOISTS ARE TO BE REMOVED AND REPLACED.**
2. 2X BLOCKING TO BE ADDED ALTERNATING MID-SPAN TO SURE UP THE FLOOR SYSTEM.
3. 3/4" ADVANTECH SUB-FLOOR INTERLOCKING DECKING TO BE INSTALLED ATOP FLOOR JOISTS WITH MANUFACTURER'S APPROVED GLUE AND FASTENERS.

FIREBLOCKING NOTE:
ALL MECHANICAL PENETRATIONS THROUGH WALL PLATES AND FLOORS TO BE FIRE CAULKED

NOTE: OWNER TO USE A TEMPORARY BEAM(S) TO JACK UP & SUPPORT THE EXISTING FLOOR SYSTEM ABOVE. ONCE FLOOR SYSTEM IS SUFFICIENTLY LEveled, A NEW TRIPLE 2 X 8 LVL DROP BEAM IS TO BE ADDED, WHICH WILL BE CONNECTED TO NEW POSTS AND FOOTERS IN THE SAME MANNER SHOWN IN DETAIL 1/S1.0

NOTE: OWNER TO USE A TEMPORARY BEAM ON EITHER SIDE OF STAIRWELL OPENING TO JACK UP & SUPPORT THE EXISTING FLOOR SYSTEM ABOVE. ONCE FLOOR SYSTEM IS SUFFICIENTLY LEveled, A NEW 2 X 6 PARTITION WILL BE FRAMED ON BOTH SIDES OF STAIRS (WITH A P.T. BOTTOM PLATE) FROM NEW #4 REBAR REINFORCED CONCRETE FOOTER, UP TO CEILING JOISTS.

NEW STAIRS FROM EXISTING FIRST FLOOR WILL BE REQUIRED. STAIRS CONSTRUCTED WITH DOUBLE OUTSIDE STRINGERS, CENTER STRINGER, RISERS AND TREADS TO MEET CODE. 7" MAX RISE, 11" MINIMUM RUN. HANDRAIL TO BE INSTALLED ON AT LEAST ONE SIDE OF PARTITION.

OWNER WILL NEED TO INSTALL FIRE RATED ACCESS PANELS FOR FUTURE ACCESS TO CRAWL SPACE

OWNER WILL NEED TO INSTALL FIRE RATED ACCESS PANELS FOR FUTURE ACCESS TO CRAWL SPACE

OUTLINE EXISTING MAIN CARRYING BEAM TO REMAIN

EXG. CONCRETE PAD, TO BE DEMO'D AS REQ'D FOR NEW FOOTERS

EXG. CONCRETE PAD, TO BE DEMO'D AS REQ'D FOR NEW FOOTERS

NEW TRIPLE 2 X 8 DROP BEAM DETAILS

3 1/2" FIBERGLASS BATT OR 3 1/2" MINERAL WOOL BATT INSULATION PER UL DESIGN NO. L501
EXG. NEW 2" X 4" OR 2" X 6" TOP PLATE
FIRE RATED CEILING TILE, ARMSTRONG OR EQ.
EXG./NEW 2" X 4" OR 2" X 6" STUD WALL
1/2" GYP. BD. WALLS
EXG. OR NEW 2" X 4" OR 2" X 6" BOTTOM PLATE

5 Wall Type
SCALE: NTS



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NOTE:
GFCI ARC FAULT COMBINATION
BREAKERS ON ALL 110 AMP
CIRCUITS

NOTE:
ALL WALL MOUNTED
RECEPTACLES TO BE MOUNTED
AT 18" A.F.F. TYP. U.O.N.

**LIGHTING & ELECTRICAL
SCHEDULE**

SYMBOL	DESCRIPTION
⊕	DUPLEX RECEPTACLE
⊖	DEDICATED OUTLET
⊕⊖	OUTDOOR RECEPTACLE IN WEATHERPROOF BOX
BL	BASIC LED LIGHT FIXTURE (BY OWNER) DESIGNER SUGGESTS MOTION ACTIVATED FIXTURE FOR CLOSETS TO SAVE ON ELECTRICITY CONSUMPTION
▽	DATA
SD	SMOKE DETECTOR
S/CO	SMOKE & CARBON MONOXIDE DETECTOR COMBO
S1-⊕	EXTERIOR WALL SCONCE (BY OWNER)
S2-⊕	INTERIOR WALL SCONCE (BY OWNER)
\$	SWITCH (WHITE)
\$3	3 WAY SWITCH (WHITE)
\$D	LED DIMMER SWITCH (WHITE)
\$F	FAN SWITCH (WHITE)
O R1	4" THIN RECESSED LED LIGHT
O R2	4" RECESSED LED (MOISTURE RATED)
O R3	4" RECESSED LED (GIMBAL LIGHT)
T	THERMOSTAT
F	BATHROOM FAN
P1	PENDANT LIGHT BY OWNER
M-FL	MOTION SENSOR FLOOD LIGHT
EXIT	ILLUMINATED EXIT SIGN, BACKUP BATTERY POWERED
EM	BACKUP BATTERY POWERED EMERGENCY EGRESS LIGHTING
DB	DOOR BELL
L1	2 X 2 LED CEILING LIGHT PANEL

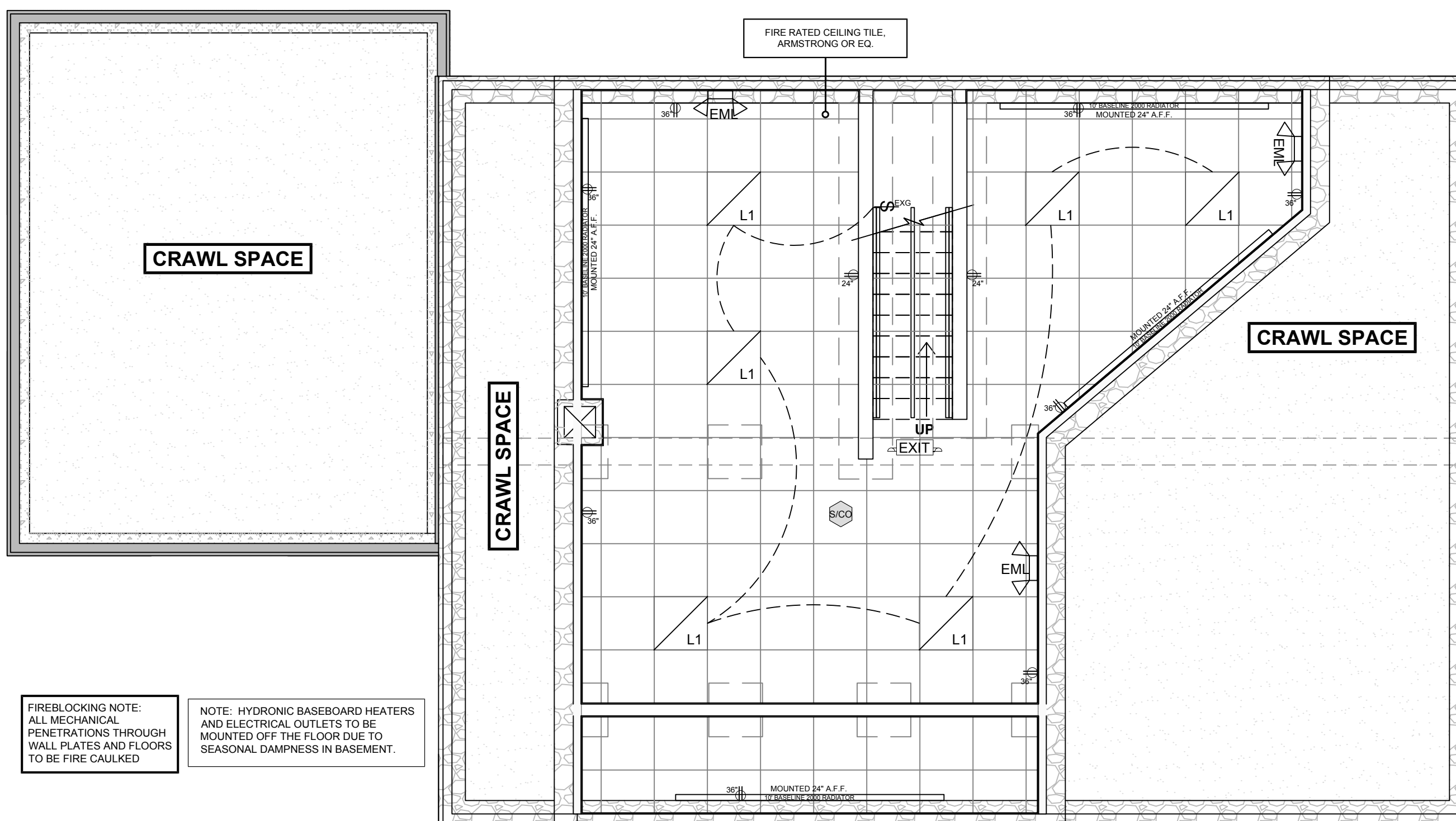
(*ELECTRICAL CONTRACTOR TO VERIFY COUNTS *)

EXIT SIGN ILLUMINATION & EMERGENCY LIGHTING :

PER CHAPTER 11 CONSTRUCTION REQUIREMENTS FOR EXISTING BUILDINGS OF NYS BUILDING CODE (1104.3 EXIT SIGN ILLUMINATION/1104.5.1 EMERGENCY POWER DURATION AND INSTALLATION)

EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT-CANDLES (54 LUX). INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE AND BE LISTED FOR THE PURPOSE.

EMERGENCY POWER FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1203. IN OTHER THAN GROUP I-2, EMERGENCY POWER SHALL BE PROVIDED FOR NOT LESS THAN 60 MINUTES FOR SYSTEMS REQUIRING EMERGENCY POWER.



FIREBLOCKING NOTE:
ALL MECHANICAL
PENETRATIONS THROUGH
WALL PLATES AND FLOORS
TO BE FIRE CAULKED

NOTE: HYDRONIC BASEBOARD HEATERS
AND ELECTRICAL OUTLETS TO BE
MOUNTED OFF THE FLOOR DUE TO
SEASONAL DAMPNESS IN BASEMENT.

A BASEMENT LEVEL REFLECTED CEILING, ELECTRICAL & HEATING PLAN
SCALE : 1/4" = 1'-0"



TITLE
/ DRAWING NUMBER

BASEMENT LEVEL
REFLECTED CEILING,
ELECTRICAL
& HEATING PLAN

B2.0

FIRST FLOOR

ALL EXISTING EXTERIOR WALLS TO RECEIVE:

(FOR 2-HOUR RATING PER IBC 705.5 TWO HOUR FIRE RESISTANCE-RATED WOOD FRAMED WALL ASSEMBLY)

- 3 1/2" BATT MINERAL WOOL INSULATION (2.5 PCF, NOMINAL)
- TWO (2) LAYERS OF 5/8" TYPE X SHEETROCK, ATTACHED WITH 6D CEMENT COATED BOX NAILS OR SCREWS, FASTENER HEADSCOVERED WITH JOINT COMPOUND, AND WALLBOARD JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND

EXISTING CEILINGS (HORIZONTAL ASSEMBLIES) TO RECEIVE:

(FOR 1-HOUR RATING PER UL DESIGN NO. L501 ON HOUR FIRE RESISTANCE-RATED WOOD FRAMED FLOOR ASSEMBLY)

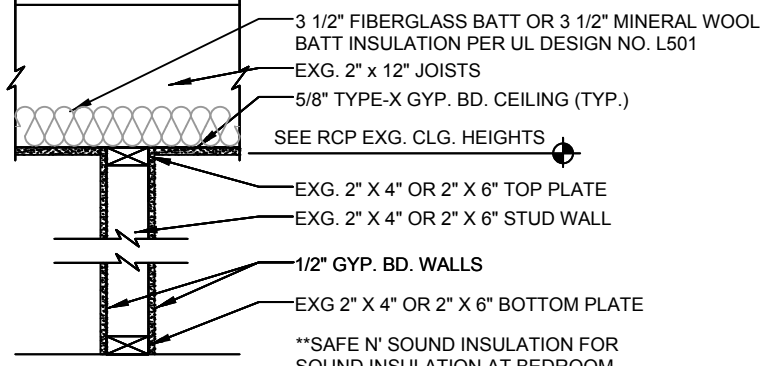
- 3 1/2" BATT MINERAL WOOL INSULATION (2.5 PCF, NOMINAL)
- ONE (1) LAYER OF 5/8" TYPE X SHEETROCK, ATTACHED WITH 6D CEMENT COATED BOX NAILS OR SCREWS, FASTENER HEADSCOVERED WITH JOINT COMPOUND, AND WALLBOARD JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND

INTERIOR PARTITIONS AT COMMON HALLWAYS, EGRESS HALLWAYS, ON WALLS OF EXISTING STAIRCASE TO RECEIVE:

- 5/8" TYPE X SHEETROCK ON BOTH SIDES, WITH 3 1/2" FIBERGLASS BATT INSULATION BETWEEN, PER UL U305

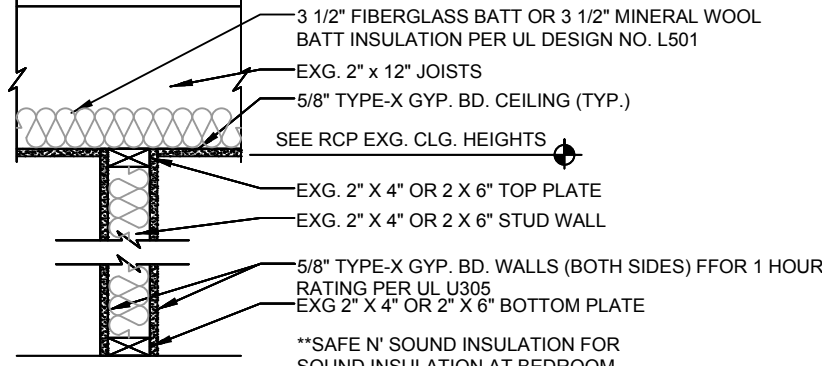
ALL APARTMENT UNITS ARE TO RECEIVE AT MINIMUM, 20-MINUTE FIRE RATED ENTRY DOORS WITH SMOKE GASKETING.

FIREBLOCKING NOTE:
ALL MECHANICAL PENETRATIONS THROUGH WALL PLATES AND FLOORS TO BE FIRE CAULKED



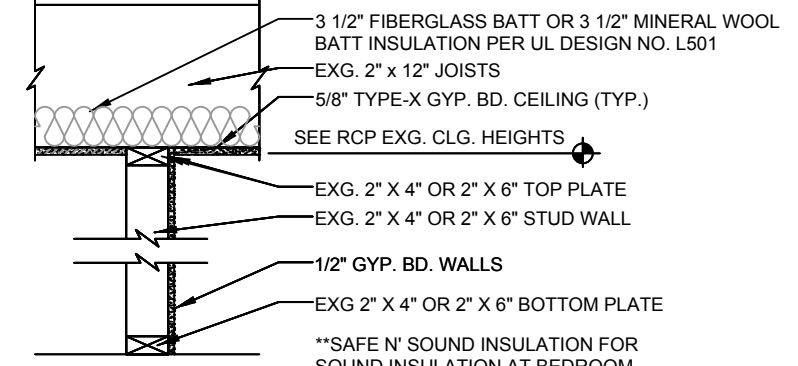
2 Wall Type
SCALE: 3/4" = 1'-0"

FIREBLOCKING NOTE:
ALL MECHANICAL PENETRATIONS THROUGH WALL PLATES AND FLOORS TO BE FIRE CAULKED



3 Wall Type
SCALE: 3/4" = 1'-0"

FIREBLOCKING NOTE:
ALL MECHANICAL PENETRATIONS THROUGH WALL PLATES AND FLOORS TO BE FIRE CAULKED



4 Wall Type
SCALE: 3/4" = 1'-0"

- UNIT #1 BATHROOM**
- 32" X 60" FIBERGLASS TUB/SHOWER (ONE PIECE IF POSSIBLE FOR EASE OF CLEANING)
 - TOWEL HOOKS
 - NEW 'RIGHT HEIGHT' ELONGATED TOILET
 - SHELVES ABOVE TOILET FOR TOWELS TOILETRIES ETC.
 - WALL MOUNTED MIRROR ABOVE A 36" VANITY

- DR-1 EXIT DOOR:**
DOOR LEAVES ARE REQUIRED TO SWING IN THE DIRECTION OF EGRESS TRAVEL ONLY IF THE DOOR SERVES A ROOM OR AREA WITH AN OCCUPANT LOAD OF 50 OR MORE. ALTHOUGH NOT REQUIRED, IT IS STILL ADVISABLE TO REPLACE ENTRY/EXIT DOOR WITH AN OUTSWINGING EXIT DOOR. OWNER'S MAY CHOOSE TO NOT REVERSE DIRECTION OF EXISTING DOORS.

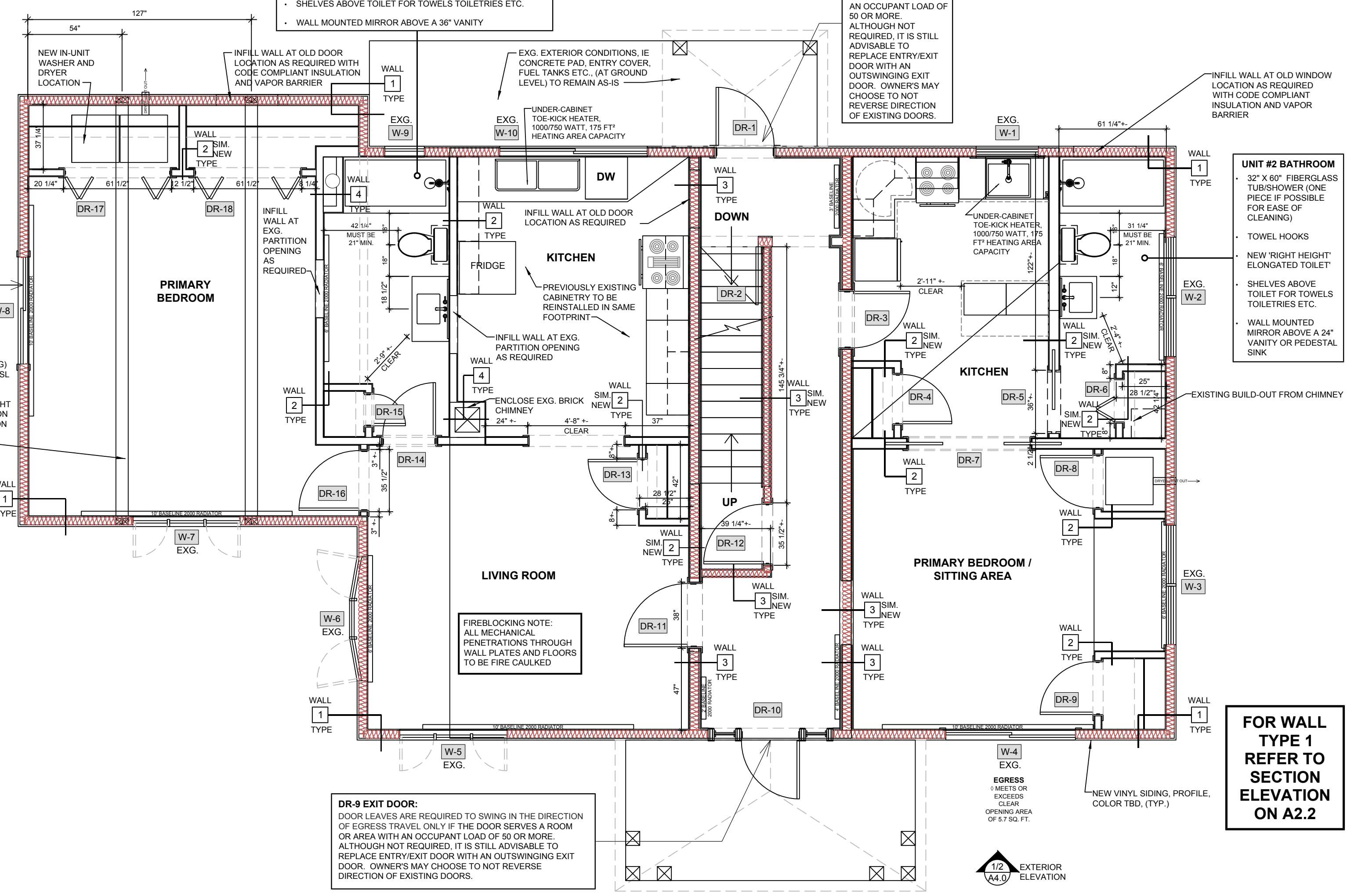
- UNIT #2 BATHROOM**
- 32" X 60" FIBERGLASS TUB/SHOWER (ONE PIECE IF POSSIBLE FOR EASE OF CLEANING)
 - TOWEL HOOKS
 - NEW 'RIGHT HEIGHT' ELONGATED TOILET
 - SHELVES ABOVE TOILET FOR TOWELS TOILETRIES ETC.
 - WALL MOUNTED MIRROR ABOVE A 24" VANITY OR PEDESTAL SINK

- FOR REFERENCE:**
WINDOW SHOWN COMPARABLE TO ANDERSEN 200 SERIES 244GW5030, SMARTSUN 4'-11 1/2" X 2'-11 1/2" R.O. 5'-0" X 3'-0" (OR EQUAL)
- EGRESS**
◊ MEETS OR EXCEEDS CLEAR OPENING AREA OF 5.7 SQ. FT.

NEW 20' LONG DROP BEAM (AT CEILING) 1 PIECE 7" X 7" 1 BE PARALLAM PLUS PSL SL1 RUNNING OPPOSITE OF ROOF RAFTER/FLOOR JOISTS ABOVE TO CATCH WEIGHT, TYP OF TWO (2) WEIGHT DISPURSED TO DOUBLE 4 X 4 POSTS ON EACH END OF BEAM TO SILL PLATES ON FOUNDATION WALLS BELOW SKIN WITH TYPE X GYP. BD.

PSL BEAM DETAIL 1/A3.0

EXTERIOR ELEVATION 1/2/A4.1



- DR-9 EXIT DOOR:**
DOOR LEAVES ARE REQUIRED TO SWING IN THE DIRECTION OF EGRESS TRAVEL ONLY IF THE DOOR SERVES A ROOM OR AREA WITH AN OCCUPANT LOAD OF 50 OR MORE. ALTHOUGH NOT REQUIRED, IT IS STILL ADVISABLE TO REPLACE ENTRY/EXIT DOOR WITH AN OUTSWINGING EXIT DOOR. OWNER'S MAY CHOOSE TO NOT REVERSE DIRECTION OF EXISTING DOORS.

EXTERIOR ELEVATION 1/2/A4.0

FOR WALL TYPE 1 REFER TO SECTION ELEVATION ON A2.2

COMMON PATH OF EGRESS TRAVEL DISTANCES ON A2.2

IN ACCORDANCE WITH NYS EDUCATION LAW, ARTICLE 145, SECTION 7209, IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF THE LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM OF THIS DOCUMENT IN ANY WAY. THESE PLANS ARE IN COMPLIANCE WITH THE NYS RESIDENTIAL BUILDING CODE.

ISSUE DATE & SCALE:
DATE: 6-29-22
SCALE: AS SHOWN



A FLOOR PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"



TITLE / DRAWING NUMBER

FLOOR PLAN FIRST FLOOR

A2.0

CantwellJackson
DESIGN BUILD
272 FOREST HILL AVENUE
SARANAC LAKE, NY 12983
203.903.3218
518.354.9557
info@cantwelljackson.com
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MINDFUL MOUNTAIN PROPERTIES
RESIDENTIAL REMODEL
SINGLE FAMILY INTO
MULTI-FAMILY THREE
(3) UNIT APARTMENT
BUILDING
211 BROADWAY
SARANAC LAKE, NY 12983

SECOND FLOOR

ALL EXISTING EXTERIOR WALLS TO RECEIVE:

(FOR 2-HOUR RATING PER IBC 705.5 TWO HOUR FIRE RESISTANCE-RATED WOOD FRAMED WALL ASSEMBLY)

- 3 1/2" BATT MINERAL WOOL INSULATION (2.5 PCF, NOMINAL)
- TWO (2) LAYERS OF 5/8" TYPE X SHEETROCK, ATTACHED WITH 6D CEMENT COATED BOX NAILS OR SCREWS, FASTENER HEADS COVERED WITH JOINT COMPOUND, AND WALLBOARD JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND

EXISTING CEILINGS (HORIZONTAL ASSEMBLIES) TO RECEIVE:

(FOR 1-HOUR RATING PER UL DESIGN NO. L501 ON HOUR FIRE RESISTANCE-RATED FLOOR ASSEMBLY)

- 3 1/2" BATT MINERAL WOOL INSULATION (2.5 PCF, NOMINAL)
- ONE (1) LAYER OF 5/8" TYPE X SHEETROCK, ATTACHED WITH 6D CEMENT COATED BOX NAILS OR SCREWS, FASTENER HEADS COVERED WITH JOINT COMPOUND, AND WALLBOARD JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND

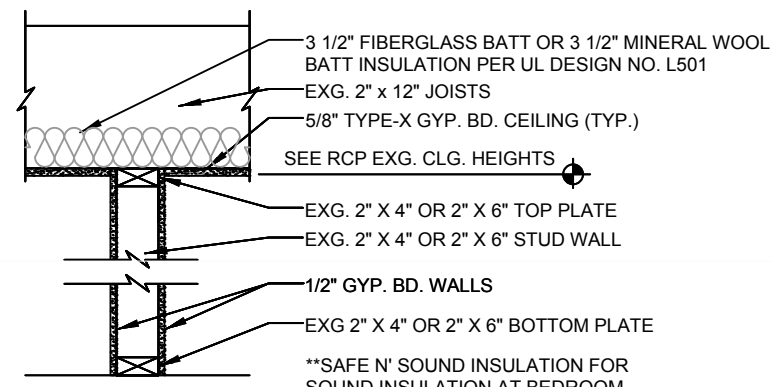
INTERIOR PARTITIONS AT COMMON HALLWAYS, EGRESS HALLWAYS, ON WALLS OF EXISTING STAIRCASE ETC. TO RECEIVE:

- 5/8" TYPE X SHEETROCK ON BOTH SIDES, WITH 3 1/2" FIBERGLASS BATT INSULATION BETWEEN, PER UL U305

ALL APARTMENT UNITS ARE TO RECEIVE AT MINIMUM, 20-MINUTE FIRE RATED ENTRY DOORS WITH SMOKE GASKETING.

FIREBLOCKING NOTE:

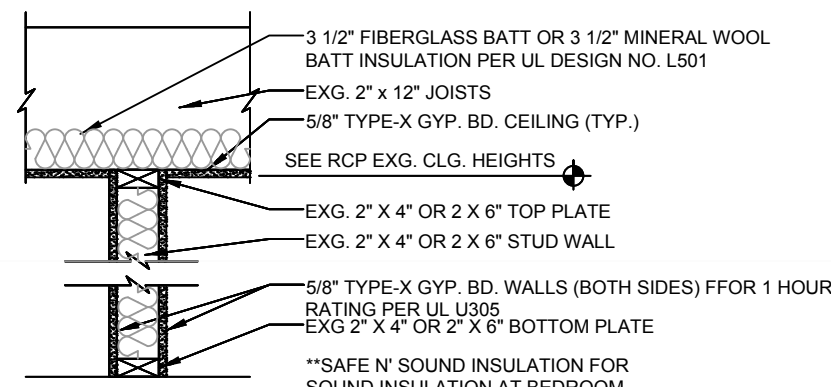
ALL MECHANICAL PENETRATIONS THROUGH WALL PLATES AND FLOORS TO BE FIRE CAULKED



2 Wall Type
SCALE: 3/4" = 1'-0"

FIREBLOCKING NOTE:

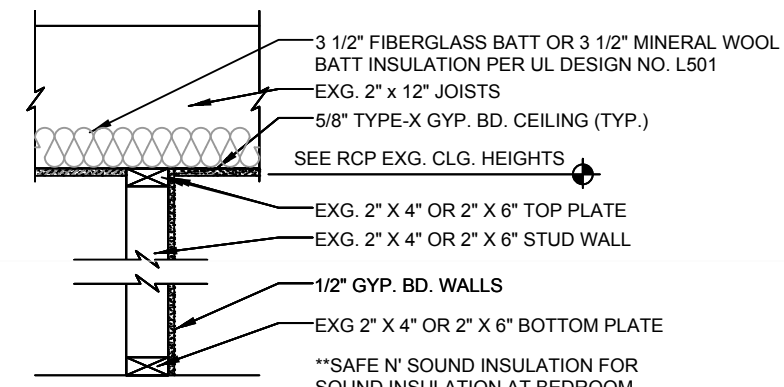
ALL MECHANICAL PENETRATIONS THROUGH WALL PLATES AND FLOORS TO BE FIRE CAULKED



3 Wall Type
SCALE: 3/4" = 1'-0"

FIREBLOCKING NOTE:

ALL MECHANICAL PENETRATIONS THROUGH WALL PLATES AND FLOORS TO BE FIRE CAULKED



4 Wall Type
SCALE: 3/4" = 1'-0"

ALT. USE AS LIVING ROOM NOTE:
IF THE OWNER(S) DECIDE TO USE THIS SPACE AS A T.V. / LIVING ROOM FOR TENANTS, IT IS ADVISED THAT THE NEW CLOSET AS SHOWN BELOW, WOULD NOT BE BUILT. MORE THAN LIKELY, THAT NICHE WOULD PROVIDE A NATURAL SPOT FOR A CONSOLE AND TV FOR TENANTS. POWER AND DATA SHOULD BE FACTORED IN UPON DECISION BY OWNER(S).

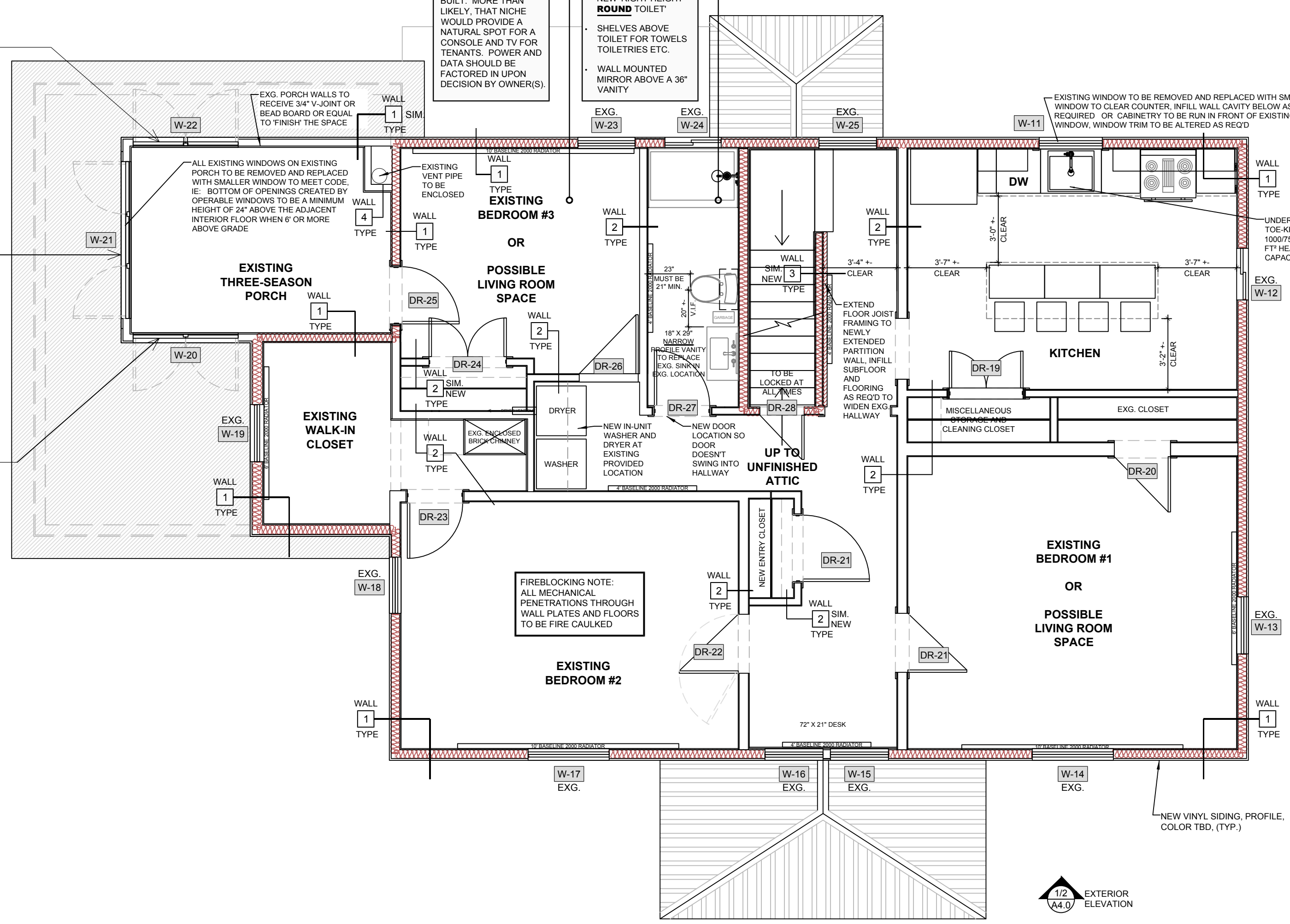
UNIT #3 BATHROOM

- 32" X 60" FIBERGLASS TUB/SHOWER (ONE PIECE IF POSSIBLE FOR EASE OF CLEANING)
- TOWEL HOOKS
- NEW 'RIGHT HEIGHT' ROUND TOILET
- SHELVES ABOVE TOILET FOR TOWELS TOILETRIES ETC.
- WALL MOUNTED MIRROR ABOVE A 36" VANITY

FOR REFERENCE: WINDOW SHOWN COMPARABLE TO ANDERSEN 400 SERIES CW25, SMARTSUN 4'-8 1/2" X 4'-11 1/8" R.O. 4'-9" X 5'-0 3/8" (OR EQUAL)

FOR REFERENCE: WINDOW SHOWN COMPARABLE TO ANDERSEN 400 SERIES CW35, SMARTSUN 7'-0 5/8" X 4'-11 1/8" R.O. 7'-1 1/8" X 5'-0 3/8" (OR EQUAL)

FOR REFERENCE: WINDOW SHOWN COMPARABLE TO ANDERSEN 400 SERIES CW25, SMARTSUN 4'-8 1/2" X 4'-11 1/8" R.O. 4'-9" X 5'-0 3/8" (OR EQUAL)



FOR WALL TYPE 1 REFER TO SECTION ELEVATION ON A2.2

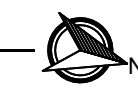
COMMON PATH OF EGRESS TRAVEL DISTANCES ON A2.2

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ISSUE DATE & SCALE:
DATE: 6-29-22
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A FLOOR PLAN - SECOND FLOOR
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SECOND FLOOR

A2.1



CantwellJackson
DESIGN BUILD
272 FOREST HILL AVENUE
SARANAC LAKE, NY 12983
203 . 903 . 3218
518 . 354 . 9557
info@cantwelljackson.com
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MINDFUL MOUNTAIN PROPERTIES
RESIDENTIAL REMODEL
SINGLE FAMILY INTO
MULTI-FAMILY THREE
(3) UNIT APARTMENT BUILDING
211 BROADWAY
SARANAC LAKE, NY 12983

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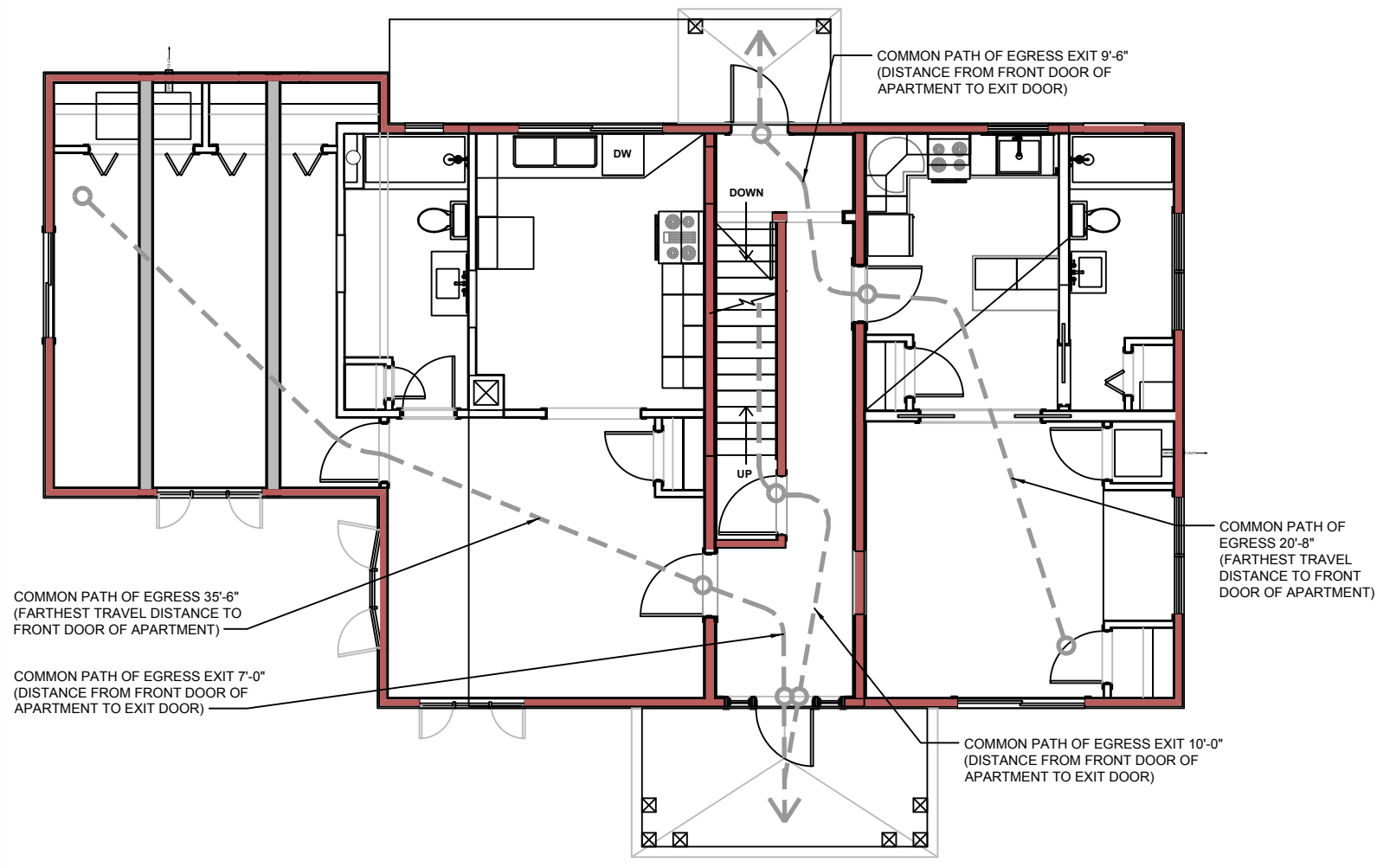
ISSUE DATE & SCALE:
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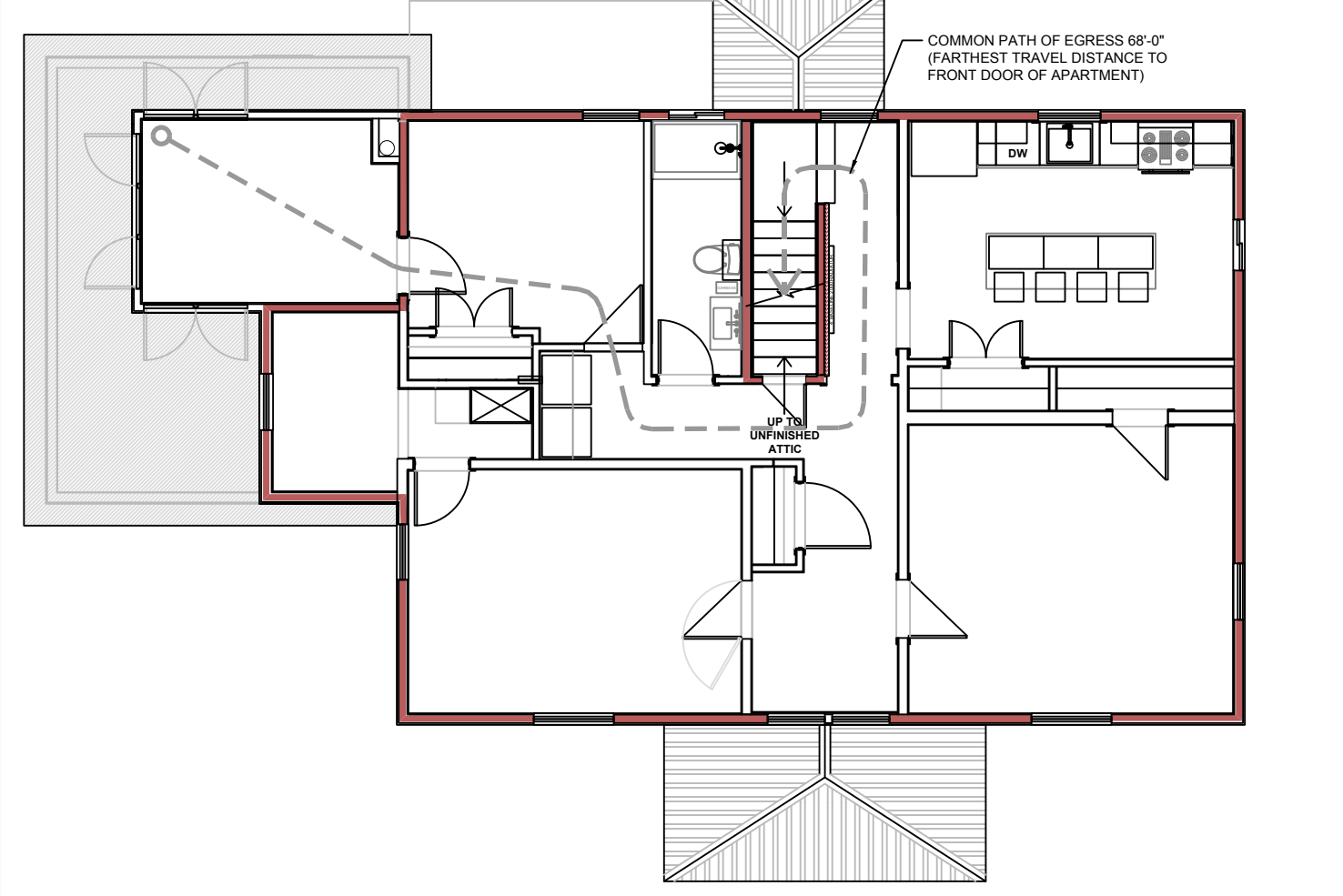
TITLE
/ DRAWING NUMBER

SECTION ELEVATION AND
COMMON PATHS OF
EGRESS TRAVEL

A2.2



A COMMON PATH OF EGRESS TRAVEL FLOOR PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"



B COMMON PATH OF EGRESS TRAVEL FLOOR PLAN - SECOND FLOOR
SCALE: 1/8" = 1'-0"

FORTE WEB SOLUTIONS REPORT PASSED
Level, Roof, Joist
Current Solution: 1 piece(s) 2 x 8 DF No.1 @ 24" OC

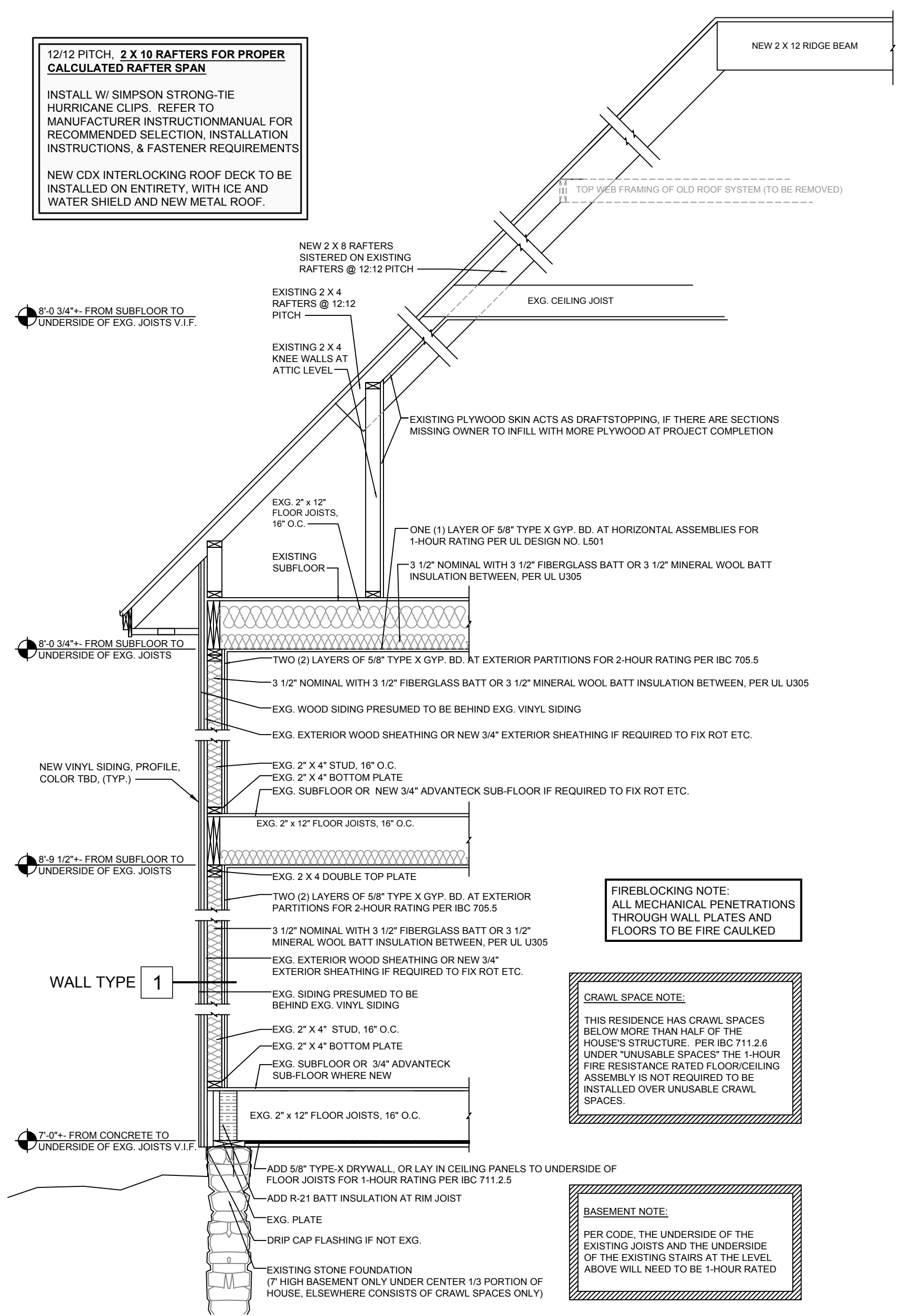
Sloped Length: 14' 3 1/8"

Design Results	Actual @ Location	Allowed	Result	LDF	Load Combination (Pattern)
Member Reaction (lbs)	395 @ 9' 9 1/2"	1406 (1,507)	Passed (28%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (lbs)	360 @ 9' 4 3/8"	1631	Passed (22%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (ft-lbs)	946 @ 5'	1889	Passed (50%)	1.25	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (in)	0.187 @ 5'	0.678	Passed (L/867)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (in)	0.386 @ 5'	0.904	Passed (L/421)	--	1.0 D + 1.0 Lr (All Spans)

RAFTER EXTENSION FROM EXISTING KNEE WALL TO NEW RIDGE BOARD & VERGE RAFTERS SISTERED NEXT TO EXISTING 2 X 4 RAFTERS

2 RAFTER EXTENSION DETAIL

12/12 PITCH. 2 X 10 RAFTERS FOR PROPER CALCULATED RAFTER SPAN
INSTALL W/ SIMPSON STRONG-TIE HURRICANE CLIPS. REFER TO MANUFACTURER INSTRUCTION MANUAL FOR RECOMMENDED SELECTION, INSTALLATION INSTRUCTIONS, & FASTENER REQUIREMENTS
NEW CDX INTERLOCKING ROOF DECK TO BE INSTALLED ON ENTIRETY, WITH ICE AND WATER SHIELD AND NEW METAL ROOF.



1 SECTION ELEVATION AT EXTERIOR WALL
SCALE: 1/2" = 1'-0"

FIREBLOCKING NOTE:
ALL MECHANICAL PENETRATIONS THROUGH WALL PLATES AND FLOORS TO BE FIRE CAULKED

CRAWL SPACE NOTE:
THIS RESIDENCE HAS CRAWL SPACES BELOW MORE THAN HALF OF THE HOUSE'S STRUCTURE. PER IBC 711.2.6 UNDER "UNUSABLE SPACES" THE 1-HOUR FIRE RESISTANCE RATED FLOOR/CEILING ASSEMBLY IS NOT REQUIRED TO BE INSTALLED OVER UNUSABLE CRAWL SPACES.

BASEMENT NOTE:
PER CODE, THE UNDERSIDE OF THE EXISTING JOISTS AND THE UNDERSIDE OF THE EXISTING STAIRS AT THE LEVEL ABOVE WILL NEED TO BE 1-HOUR RATED

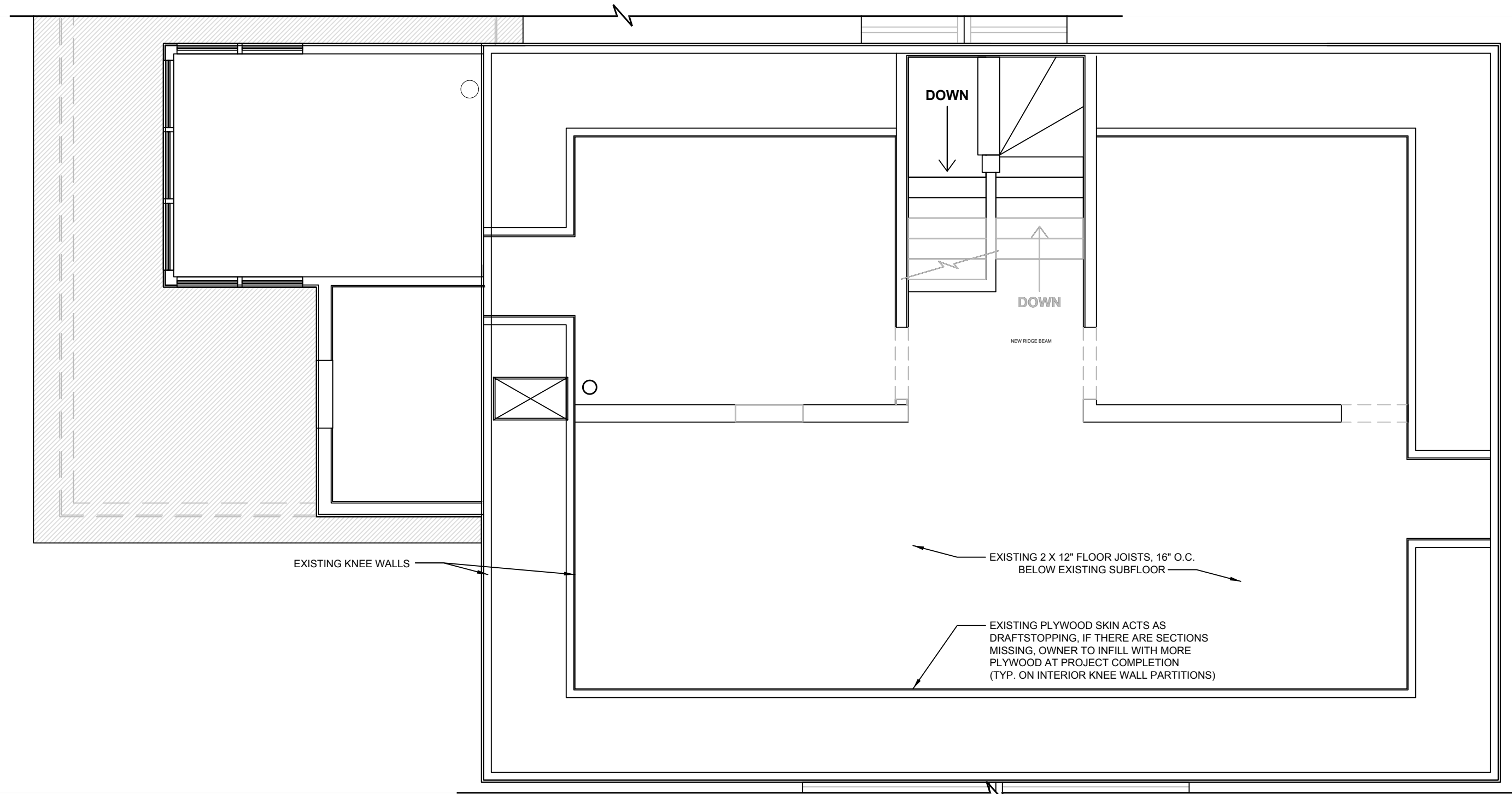


CantwellJackson
DESIGN BUILD
272 FOREST HILL AVENUE
SARANAC LAKE, NY 12983
203.903.3218
518.354.9557
info@cantwelljackson.com
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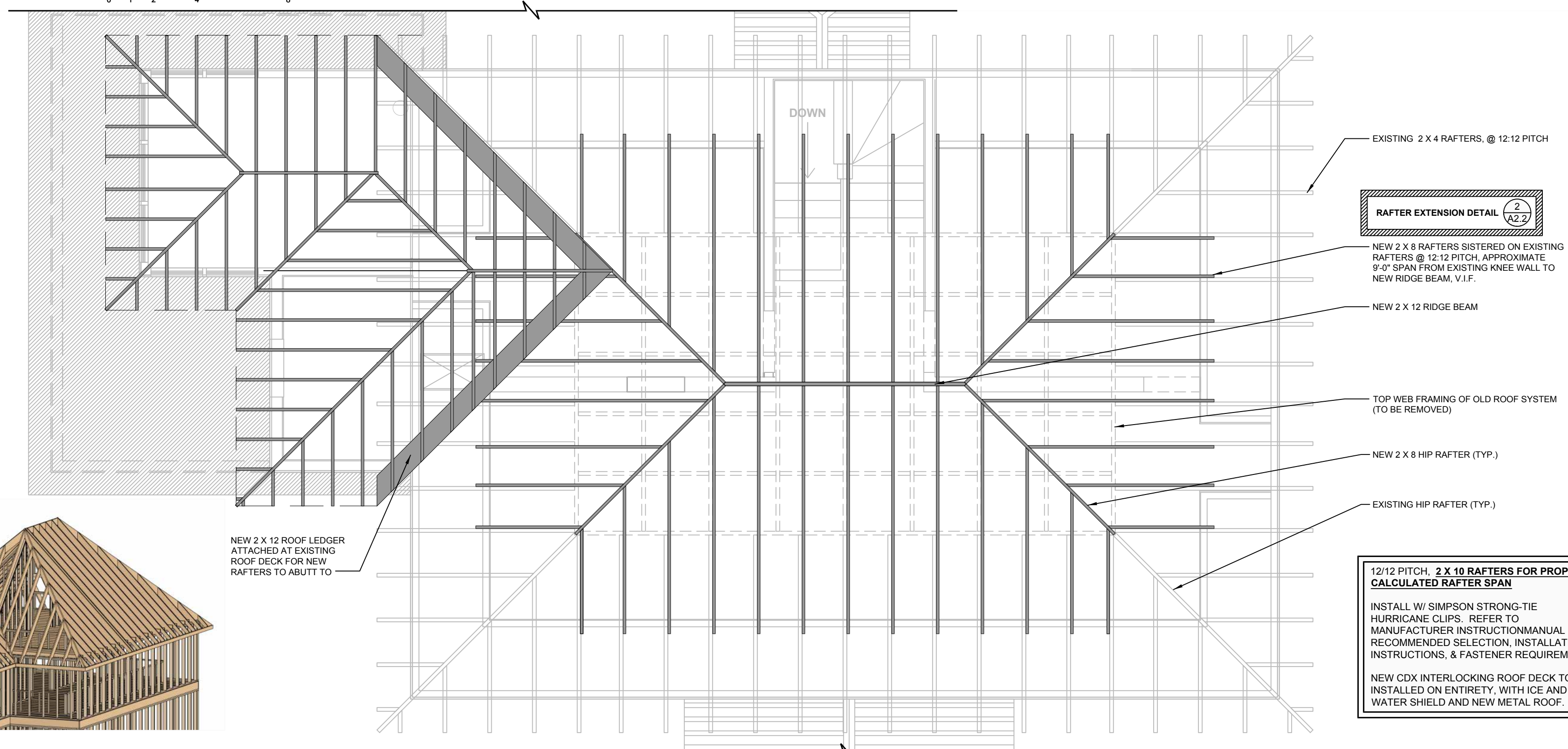
MINDFUL MOUNTAIN PROPERTIES
RESIDENTIAL REMODEL
SINGLE FAMILY INTO
MULTI-FAMILY THREE
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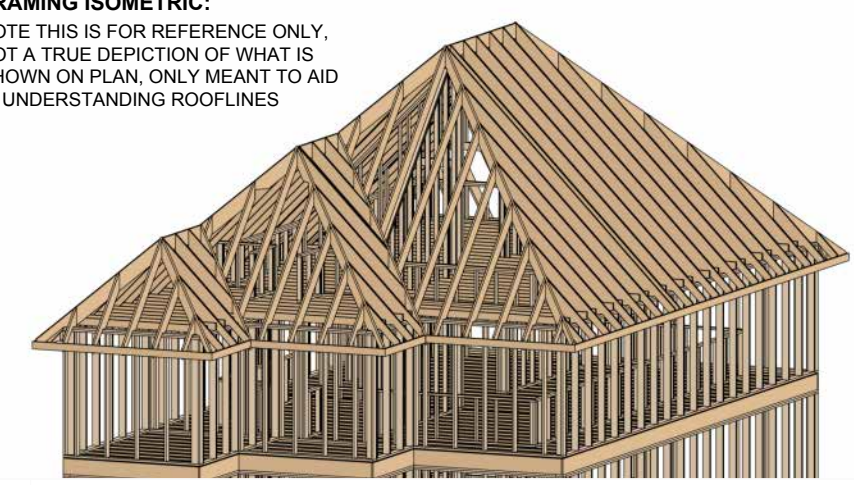
ISSUE DATE & SCALE:
DATE: 6-29-22
SCALE: AS SHOWN



A EXISTING UNUSABLE ATTIC SPACE FLOOR PLAN
SCALE: 1/4" = 1'-0"



FRAMING ISOMETRIC:
NOTE THIS IS FOR REFERENCE ONLY. NOT A TRUE DEPICTION OF WHAT IS SHOWN ON PLAN, ONLY MEANT TO AID IN UNDERSTANDING ROOFLINES



B ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

TITLE / DRAWING NUMBER

EXISTING UNUSABLE ATTIC SPACE & ROOF FRAMING PLAN

A2.3

NYS BUILDING CODE REGARDING SMOKE DETECTORS FOR R-2 OCCUPANCIES :

907.2.10.2 GROUPS R-2, R-3, R-4 AND I-1

SINGLE OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-3, R-4 AND I-1 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:

- ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA
- IN THE IMMEDIATE VICINITY OF BEDROOMS
- IN EACH ROOM USED FOR SLEEPING PURPOSES
- IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

907.2.10.3 INSTALLATION NEAR COOKING APPLIANCES

SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION 907.2.10.1 OR 907.2.10.2. IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET (6096 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FEET (1829 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

907.2.10.4 INSTALLATION NEAR BATHROOMS

SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION 907.2.10.1 OR 907.2.10.2.

907.2.10.5 INTERCONNECTION

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT IN GROUP R OR I-1 OCCUPANCIES, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

907.2.10.6 POWER SOURCE

IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACK-UP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM IN ACCORDANCE WITH SECTION 1203. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

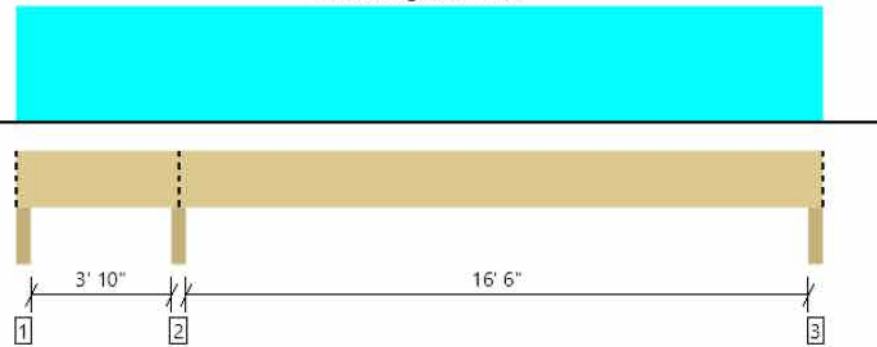
EXCEPTION: SMOKE ALARMS ARE NOT REQUIRED TO BE EQUIPPED WITH BATTERY BACKUP WHERE THEY ARE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM THAT COMPLIES WITH SECTION 1203.

907.2.10.7 SMOKE DETECTION SYSTEM

SMOKE DETECTORS LISTED IN ACCORDANCE WITH UL 268 AND PROVIDED AS PART OF THE BUILDING FIRE ALARM SYSTEM SHALL BE AN ACCEPTABLE ALTERNATIVE TO SINGLE- AND MULTIPLE-STATION SMOKE ALARMS AND SHALL COMPLY WITH THE FOLLOWING: THE FIRE ALARM SYSTEM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN SECTION 907. ACTIVATION OF A SMOKE DETECTOR IN A DWELLING UNIT OR SLEEPING UNIT SHALL INITIATE ALARM NOTIFICATION IN THE DWELLING UNIT OR SLEEPING UNIT IN ACCORDANCE WITH SECTION 907.5.2. ACTIVATION OF A SMOKE DETECTOR IN A DWELLING UNIT OR SLEEPING UNIT SHALL NOT ACTIVATE ALARM NOTIFICATION APPLIANCES OUTSIDE OF THE DWELLING UNIT OR SLEEPING UNIT, PROVIDED THAT A SUPERVISORY SIGNAL IS GENERATED AND MONITORED IN ACCORDANCE WITH SECTION 907.6.6.

FORTE SOLUTIONS REPORT PASSED

Level, Ceiling: Drop Beam
Current Solution: 1 piece(s) 7" x 7" 1.8E Parallam® Plus PSL SL1 - Dry Use (MC <= 16%)
Overall Length: 21' 2 1/2"



Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	1312 @ 4' 3 1/4"	9408 (3.50")	Passed (14%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	642 @ 5"	6236	Passed (10%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	-1965 @ 4' 3 1/4"	9230	Passed (21%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.130 @ 13' 6 13/16"	0.419	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.245 @ 13' 6 7/8"	0.839	Passed (L/822)	--	1.0 D + 1.0 L (Alt Spans)

1 PSL BEAM DETAIL

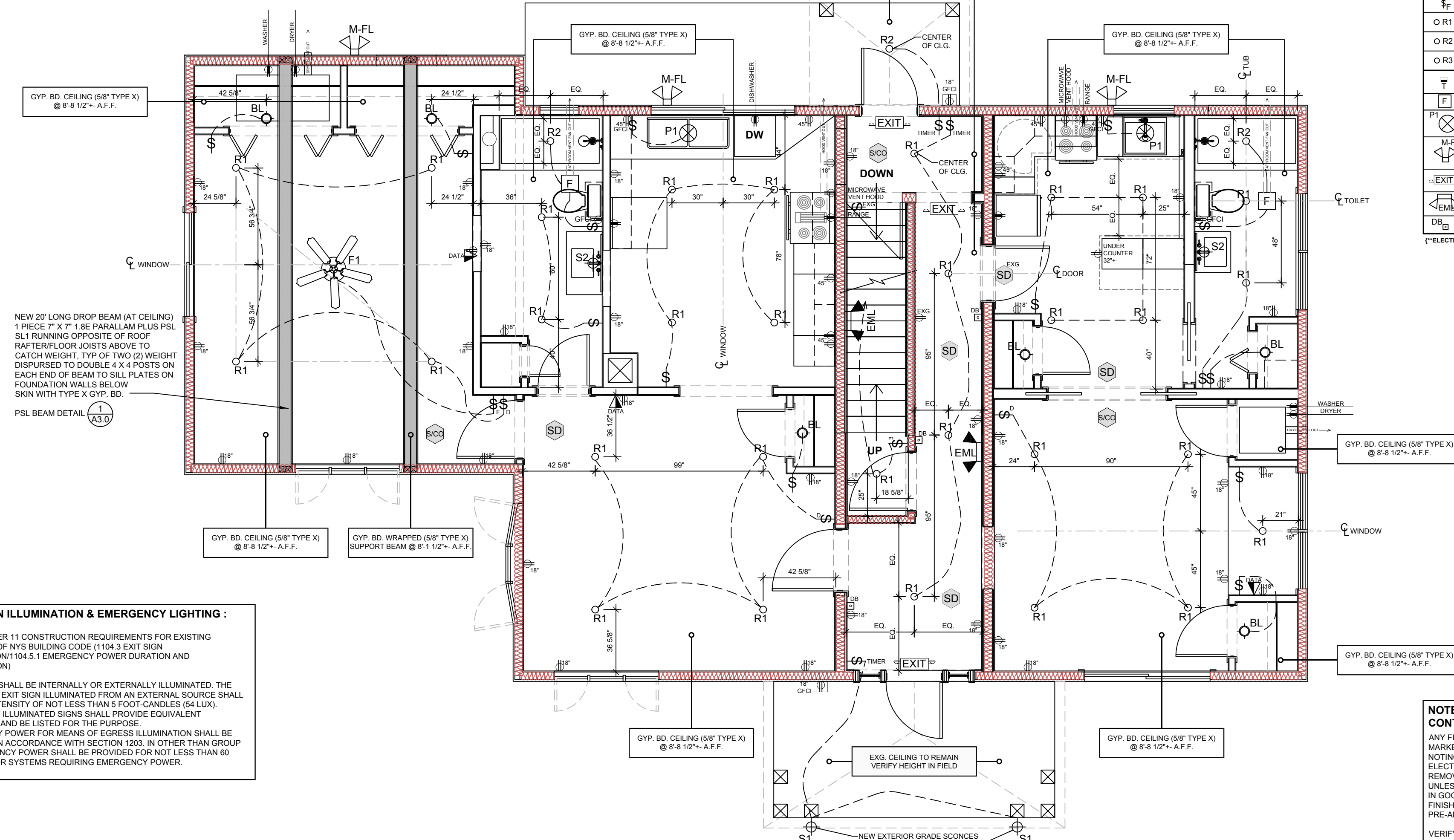
NOTE: GFCI ARC FAULT COMBINATION BREAKERS ON ALL 110 AMP CIRCUITS

NOTE: ALL WALL MOUNTED RECEPTACLES TO BE MOUNTED AT 18" A.F.F. TYP. U.O.N.

LIGHTING & ELECTRICAL SCHEDULE

SYMBOL	DESCRIPTION
⊕	DUPLEX RECEPTACLE
⊖	DEDICATED OUTLET
⊕	OUTDOOR RECEPTACLE IN WEATHERPROOF BOX
BL	BASIC LED LIGHT FIXTURE (BY OWNER) DESIGNER SUGGESTS MOTION ACTIVATED FIXTURE FOR CLOSETS TO SAVE ON ELECTRICITY CONSUMPTION
▽	DATA
SD	SMOKE DETECTOR
SCC	SMOKE & CARBON MONOXIDE DETECTOR COMBO
S1	EXTERIOR WALL SCONCE (BY OWNER)
S2	INTERIOR WALL SCONCE (BY OWNER)
⊕	SWITCH (WHITE)
⊕	3 WAY SWITCH (WHITE)
⊕	LED DIMMER SWITCH (WHITE)
⊕	FAN SWITCH (WHITE)
O R1	4" THIN RECESSED LED LIGHT
O R2	4" RECESSED LED (MOISTURE RATED)
O R3	4" RECESSED LED (GIMBAL LIGHT)
T	THERMOSTAT
F	BATHROOM FAN
P1	PENDANT LIGHT BY OWNER
M-FL	MOTION SENSOR FLOOD LIGHT
EXIT	ILLUMINATED EXIT SIGN, BACKUP BATTERY POWERED
EM	BACKUP BATTERY POWERED EMERGENCY EGRESS LIGHTING
DB	DOOR BELL

(*ELECTRICAL CONTRACTOR TO VERIFY COUNTS **)



NEW 20' LONG DROP BEAM (AT CEILING) 1 PIECE 7" X 7" 1.8E PARALLAM PLUS PSL SL1 RUNNING OPPOSITE OF ROOF RAFTER/FLOOR JOISTS ABOVE TO CATCH WEIGHT, TYP OF TWO (2) WEIGHT DISPURSED TO DOUBLE 4 X 4 POSTS ON EACH END OF BEAM TO SILL PLATES ON FOUNDATION WALLS BELOW SKIN WITH TYPE X GYP. BD.

PSL BEAM DETAIL 1 A3.0

EXIT SIGN ILLUMINATION & EMERGENCY LIGHTING :

PER CHAPTER 11 CONSTRUCTION REQUIREMENTS FOR EXISTING BUILDINGS OF NYS BUILDING CODE (104.3 EXIT SIGN ILLUMINATION/104.5.1 EMERGENCY POWER DURATION AND INSTALLATION)

EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT-CANDLES (54 LUX). INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT ILLUMINANCE AND BE LISTED FOR THE PURPOSE. EMERGENCY POWER FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1203. IN OTHER THAN GROUP I-2, EMERGENCY POWER SHALL BE PROVIDED FOR NOT LESS THAN 60 MINUTES FOR SYSTEMS REQUIRING EMERGENCY POWER.

NOTE TO ELECTRICAL CONTRACTOR

ANY FIXTURE / OUTLET / ETC. MARKED AS "EXG." IS SOLELY NOTING THE EXISTING LOCATION. ELECTRICAL CONTRACTOR TO REMOVE AND REPLACE FIXTURES UNLESS THEY ARE FOUND TO BE IN GOOD WORKING ORDER AND FINISH/COLOR ARE PRE-APPROVED BY OWNERS. VERIFY IN FIELD.

A REFLECTED CEILING & ELECTRICAL PLAN - FIRST FLOOR

SCALE: 1/4" = 1'-0"



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SARANAC LAKE, NY 12983
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518.354.9557
info@cantwelljackson.com

MINDFUL MOUNTAIN PROPERTIES
RESIDENTIAL REMODEL
SINGLE FAMILY INTO MULTI-FAMILY THREE (3) UNIT APARTMENT BUILDING
211 BROADWAY
SARANAC LAKE, NY 12983

IN ACCORDANCE WITH NYS EDUCATION LAW, ARTICLE 145, SECTION 7209, IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF THE LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM OF THIS DOCUMENT IN ANY WAY. THESE PLANS ARE IN COMPLIANCE WITH THE NYS RESIDENTIAL BUILDING CODE.

ISSUE DATE & SCALE:
DATE: 6-29-22
SCALE: AS SHOWN



TITLE / DRAWING NUMBER

REFLECTED CEILING & ELECTRICAL PLAN
FIRST FLOOR

A3.0

NYS BUILDING CODE REGARDING SMOKE DETECTORS FOR R-2 OCCUPANCIES :

907.2.10.2 GROUPS R-2, R-3, R-4 AND I-1

SINGLE OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-3, R-4 AND I-1 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:

- ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA
- IN THE IMMEDIATE VICINITY OF BEDROOMS
- IN EACH ROOM USED FOR SLEEPING PURPOSES
- IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

907.2.10.3 INSTALLATION NEAR COOKING APPLIANCES

SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION 907.2.10.1 OR 907.2.10.2:
 IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET (6096 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
 PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FEET (1829 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

907.2.10.4 INSTALLATION NEAR BATHROOMS

SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION 907.2.10.1 OR 907.2.10.2.

907.2.10.5 INTERCONNECTION

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT IN GROUP R OR I-1 OCCUPANCIES, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

907.2.10.6 POWER SOURCE

IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACK-UP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM IN ACCORDANCE WITH SECTION 1203. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

EXCEPTION: SMOKE ALARMS ARE NOT REQUIRED TO BE EQUIPPED WITH BATTERY BACKUP WHERE THEY ARE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM THAT COMPLIES WITH SECTION 1203.

907.2.10.7 SMOKE DETECTION SYSTEM

SMOKE DETECTORS LISTED IN ACCORDANCE WITH UL 268 AND PROVIDED AS PART OF THE BUILDING FIRE ALARM SYSTEM SHALL BE AN ACCEPTABLE ALTERNATIVE TO SINGLE- AND MULTIPLE-STATION SMOKE ALARMS AND SHALL COMPLY WITH THE FOLLOWING:
 THE FIRE ALARM SYSTEM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS IN SECTION 907.
 ACTIVATION OF A SMOKE DETECTOR IN A DWELLING UNIT OR SLEEPING UNIT SHALL INITIATE ALARM NOTIFICATION IN THE DWELLING UNIT OR SLEEPING UNIT IN ACCORDANCE WITH SECTION 907.5.2.
 ACTIVATION OF A SMOKE DETECTOR IN A DWELLING UNIT OR SLEEPING UNIT SHALL NOT ACTIVATE ALARM NOTIFICATION APPLIANCES OUTSIDE OF THE DWELLING UNIT OR SLEEPING UNIT, PROVIDED THAT A SUPERVISORY SIGNAL IS GENERATED AND MONITORED IN ACCORDANCE WITH SECTION 907.6.6.

EXIT SIGN ILLUMINATION & EMERGENCY LIGHTING :

PER CHAPTER 11 CONSTRUCTION REQUIREMENTS FOR EXISTING BUILDINGS OF NYS BUILDING CODE (1104.3 EXIT SIGN ILLUMINATION/1104.5.1 EMERGENCY POWER DURATION AND INSTALLATION)

EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT-CANDLES (54 LUX). INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE AND BE LISTED FOR THE PURPOSE.
 EMERGENCY POWER FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1203. IN OTHER THAN GROUP I-2, EMERGENCY POWER SHALL BE PROVIDED FOR NOT LESS THAN 60 MINUTES FOR SYSTEMS REQUIRING EMERGENCY POWER.

NOTE:
 GFCI ARC FAULT COMBINATION BREAKERS ON ALL 110 AMP CIRCUITS

NOTE:
 ALL WALL MOUNTED RECEPTACLES TO BE MOUNTED AT 18" A.F.F. TYP. U.O.N.

LIGHTING & ELECTRICAL SCHEDULE

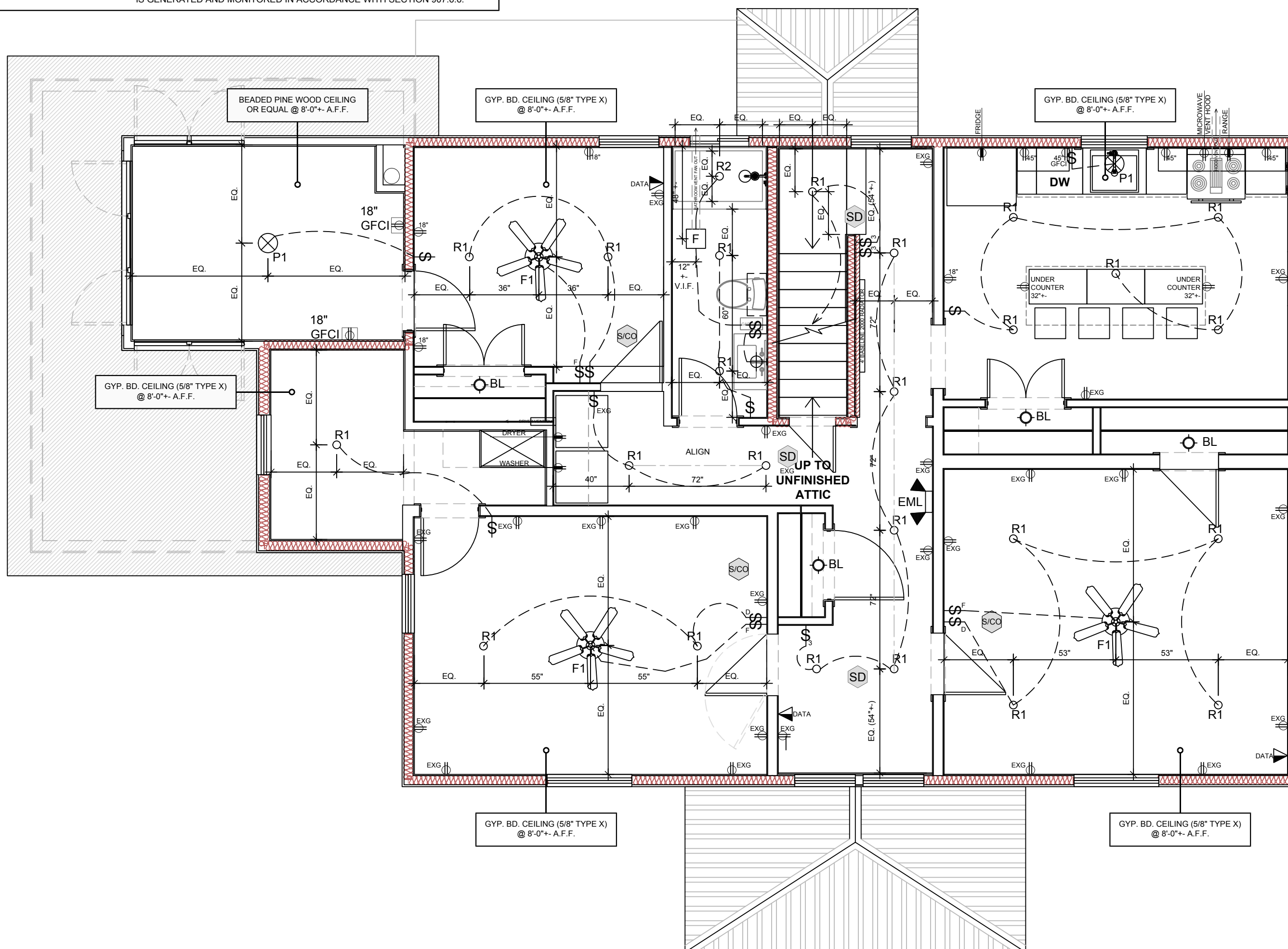
SYMBOL	DESCRIPTION
⌚	DUPLEX RECEPTACLE
⌚	DEDICATED OUTLET
⌚	OUTDOOR RECEPTACLE IN WEATHERPROOF BOX
BL	BASIC LED LIGHT FIXTURE (BY OWNER) DESIGNER SUGGESTS MOTION ACTIVATED FIXTURE FOR CLOSETS TO SAVE ON ELECTRICITY CONSUMPTION
▽	DATA
SD	SMOKE DETECTOR
SICC	SMOKE & CARBON MONOXIDE DETECTOR COMBO
S1	EXTERIOR WALL SCONCE (BY OWNER)
S2	INTERIOR WALL SCONCE (BY OWNER)
⚡	SWITCH (WHITE)
⚡	3 WAY SWITCH (WHITE)
⚡	LED DIMMER SWITCH (WHITE)
⚡	FAN SWITCH (WHITE)
O R1	4" THIN RECESSED LED LIGHT
O R2	4" RECESSED LED (MOISTURE RATED)
O R3	4" RECESSED LED (GIMBAL LIGHT)
⌚	THEMOSTAT
F	BATHROOM FAN
P1	PENDANT LIGHT BY OWNER
M-FL	MOTION SENSOR FLOOD LIGHT
EXIT	ILLUMINATED EXIT SIGN, BACKUP BATTERY POWERED
EM	BACKUP BATTERY POWERED EMERGENCY EGRESS LIGHTING
DB	DOOR BELL

ELECTRICAL CONTRACTOR TO VERIFY COUNTS

NOTE TO ELECTRICAL CONTRACTOR

ANY FIXTURE / OUTLET / ETC. MARKED AS "EXG" IS SOLELY NOTING THE EXISTING LOCATION. ELECTRICAL CONTRACTOR TO REMOVE AND REPLACE FIXTURES UNLESS THEY ARE FOUND TO BE IN GOOD WORKING ORDER AND FINISH/COLOR ARE PRE-APPROVED BY OWNERS.

VERIFY IN FIELD.



A REFLECTED CEILING & ELECTRICAL PLAN - SECOND FLOOR
 SCALE : 1/4" = 1'-0"
 0 1' 2' 4' 8'



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 SARANAC LAKE, NY 12983
 203. 903. 3218
 518. 354. 9557
 info@cantwelljackson.com

MINDFUL MOUNTAIN PROPERTIES
 RESIDENTIAL REMODEL
 SINGLE FAMILY INTO
 MULTI-FAMILY THREE
 (3) UNIT APARTMENT
 BUILDING
 211 BROADWAY
 SARANAC LAKE, NY 12983

IN ACCORDANCE WITH NYS EDUCATION LAW, ARTICLE 145, SECTION 7209, IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF THE LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM OF THIS DOCUMENT IN ANY WAY. THESE PLANS ARE IN COMPLIANCE WITH THE NYS RESIDENTIAL BUILDING CODE.

ISSUE DATE & SCALE:
 DATE: 6-29-22
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TITLE / DRAWING NUMBER

REFLECTED CEILING & ELECTRICAL PLAN SECOND FLOOR

A3.1



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MINDFUL MOUNTAIN PROPERTIES
RESIDENTIAL REMODEL
SINGLE FAMILY INTO
MULTI-FAMILY THREE
(3) UNIT APARTMENT
BUILDING
211 BROADWAY
SARANAC LAKE, NY 12983

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ISSUE DATE & SCALE:
DATE: 6-29-22
SCALE: AS SHOWN



TITLE / DRAWING NUMBER
FRONT FACADE OF HOUSE
FACING BROADWAY

EXISTING CONDITIONS VS.
PROPOSED ROOFLINE
CHANGES

A4.0



1 FRONT FACADE OF HOUSE - FACING BROADWAY - EXISTING CONDITIONS

SCALE: 3/16" = 1'-0"



APPROXIMATE HEIGHT TO TOP OF PROPOSED ROOF ALTERNATION 37'-0"

SECOND STEPPED HEIGHT TO TOP OF NEW INTERSECTING GABLE ROOF APPROX 32'-4", VERIFY IN FIELD

HEIGHT TO TOP OF EXISTING ROOF APPROX 30'-8"

FIRST STEPPED HEIGHT TO TOP OF NEW INTERSECTING GABLE ROOF APPROX 28'-0", VERIFY IN FIELD

NEW SUN PORCH WINDOWS SHOWN APPROXIMATELY 2'-4" A.F.F. CODE REQUIRES BOTTOM OF OPENINGS CREATED BY OPERABLE WINDOWS TO BE A MINIMUM HEIGHT OF 24" ABOVE THE ADJACENT INTERIOR FLOOR WHEN 6" OR MORE ABOVE GRADE.

FOR REFERENCE, WINDOW SHOWN COMPARABLE TO ANDERSEN 400 SERIES CW2 SMARTSUN 4'-8 1/2" X 4'-11 1/8" R.O. 4" X 6" @ 3/8" (OR EQUAL)

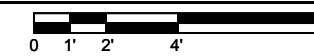
2 FRONT FACADE OF HOUSE - FACING BROADWAY - PROPOSED ROOFLINE CHANGES

SCALE: 3/16" = 1'-0"



2 FRONT FACADE OF HOUSE - FACING BROADWAY - EXISTING CONDITIONS

SCALE: 3/16" = 1'-0"



12/12 PITCH, 2 X 10 RAFTERS FOR PROPER CALCULATED RAFTER SPAN
INSTALL W/ SIMPSON STRONG-TIE HURRICANE CLIPS. REFER TO MANUFACTURER INSTRUCTION MANUAL FOR RECOMMENDED SELECTION, INSTALLATION INSTRUCTIONS, & FASTENER REQUIREMENTS
NEW CDX INTERLOCKING ROOF DECK TO BE INSTALLED ON ENTIRETY, WITH ICE AND WATER SHIELD AND NEW METAL ROOF.

NEW METAL ROOFING, PROFILE, COLOR TBD. (TYP.) OR 30 ARCHITECTURAL ASPHALT SHINGLE

NEW VINYL SIDING, PROFILE, COLOR TBD. (TYP.)

DR10



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MINDFUL MOUNTAIN PROPERTIES
RESIDENTIAL REMODEL
SINGLE FAMILY INTO
MULTI-FAMILY THREE
(3) UNIT APARTMENT
BUILDING

211 BROADWAY
SARANAC LAKE, NY 12983

IN ACCORDANCE WITH NYS EDUCATION LAW, ARTICLE 145, SECTION 7209, IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF THE LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM OF THIS DOCUMENT IN ANY WAY. THESE PLANS ARE IN COMPLIANCE WITH THE NYS RESIDENTIAL BUILDING CODE.

ISSUE DATE & SCALE:
DATE: 6-29-22
SCALE: AS SHOWN



TITLE
/ DRAWING NUMBER

SIDE OF HOUSE
FACING MC CLELLAND ST.

EXISTING CONDITIONS VS.
PROPOSED ROOFLINE
CHANGES

A4.1



2 SIDE OF HOUSE - FACING MC CLELLAND ST. - EXISTING CONDITIONS
SCALE: 3/16" = 1'-0"

1 SIDE OF HOUSE - FACING MC CLELLAND ST. - EXISTING CONDITIONS
SCALE: 3/16" = 1'-0"



2 SIDE OF HOUSE - FACING MC CLELLAND ST. - PROPOSED ROOFLINE CHANGES
SCALE: 3/16" = 1'-0"

2 SIDE OF HOUSE - FACING MC CLELLAND ST. - PROPOSED ROOFLINE CHANGES
SCALE: 3/16" = 1'-0"



Village of Saranac Lake

Community Development Department
 3 Main Street
 Saranac Lake, NY 12983
 Phone (518) 891-0490
 Fax (518) 891-5928
www.saranaclakeny.gov

VILLAGE OF SARANAC LAKE WATERFRONT ASSESSMENT FORM (WAF)

Section A. Instructions

Instructions: Applicants or, in the case of direct actions, Village agencies, shall complete this WAF for proposed actions which are subject to the LWRP consistency review law. This assessment is intended to supplement other information used by a Village agency in making a determination of consistency with the Village's Local Waterfront Revitalization Program.

Before answering the questions in Section C, the preparer of this form should review the policies and explanations of policy contained in the Local Waterfront Revitalization Program (LWRP), a copy of which is on file in the Village of Saranac Lake Offices, 3 Main Street, Saranac Lake, NY 12983 or online at www.saranaclakeny.gov. A proposed action should be evaluated as to its significant beneficial and adverse effects upon the waterfront area.

If any question in Section C on this form is answered "yes", then the proposed action may affect the achievement of the LWRP policy standards and conditions contained in the consistency review law. Thus, the actions should be analyzed in more detail and, if necessary, modified prior to making a determination that it is consistent to the maximum extent practicable with the LWRP policy standards and conditions. If an action cannot be certified as consistent with the LWRP policy standards and conditions, it shall not be undertaken.

SECTION B. Description of Site and Proposed Action

1. Name of applicant: <i>Ross Manny / Mindful Mountain Properties, LLC</i>		3. Telephone Number: <i>518-524-5011</i>	
2. Mailing address: <i>16 Wesley Valley Rd. Lake Placid, NY 12946</i>		5. Tax Map # (s): <i>1646014466816100</i>	
4. Location of action: <i>211 Broadway, Saranac Lake</i>		7. Present land use(s): <i>vacant, residential</i>	
6. Size of site: <i>.35 Acres</i>		9. Percentage of site which contains slopes of 15% or greater: <i>0%</i>	
8. Present zoning classification: <i>"French Hill" - residential F2</i>			
10. Type of action (check appropriate response) <input type="checkbox"/> Directly undertaken (e.g. capital construction, planning activity, agency regulation, land transaction) <input type="checkbox"/> Financial assistance (e.g. grant, loan, subsidy) <input checked="" type="checkbox"/> Permit, approval, license, certification <input type="checkbox"/> Agency undertaking action:			
11. Streams, lakes, ponds, or wetlands existing within or continuous to the project area? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, Waterbody Name: _____ Waterbody Size (in acres): _____			
12. Describe nature and extent of action: <i>interior remodel - gut to studs & remodel into multi-family housing</i>			
13. Describe any unique or unusual land forms on the project site (i.e. bluffs, ground depressions, other geological formations):			
14. Will the action be directly undertaken, require funding, or approval by a State or Federal Agency? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, which State or Federal Agency?			

SECTION C. Waterfront Assessment (To be completed by reviewing agency)

	<u>YES</u>	<u>NO</u>
1. Will the proposed action have a <u>significant effect</u> upon:		
(a) Commercial or recreational use of fish and wildlife resources	<input type="checkbox"/>	<input type="checkbox"/>
(b) Scenic quality of the waterfront environment?	<input type="checkbox"/>	<input type="checkbox"/>
(c) Development of future, or existing water dependent uses?	<input type="checkbox"/>	<input type="checkbox"/>
(d) Stability of the shoreline?	<input type="checkbox"/>	<input type="checkbox"/>
(e) Surface or groundwater quality?	<input type="checkbox"/>	<input type="checkbox"/>
(f) Existing or potential public recreation opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
(g) Structures, sites or districts of historic, archeological or cultural significance to the Village, State or nation?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action <u>involve</u> or <u>result in</u> any of the following:	<u>YES</u>	<u>NO</u>
(a) Physical alteration of land along the shoreline, land under water or coastal waters?	<input type="checkbox"/>	<input type="checkbox"/>
(b) Physical alteration of two (2) acres or more of land located elsewhere in the waterfront area?	<input type="checkbox"/>	<input type="checkbox"/>
(c) Expansion of existing public services or infrastructure in undeveloped or low density areas of the waterfront area?	<input type="checkbox"/>	<input type="checkbox"/>
(d) Energy facility not subject to Article VII or VIII of the Public Service Law?	<input type="checkbox"/>	<input type="checkbox"/>
(e) Mining, excavation, filling or dredging?	<input type="checkbox"/>	<input type="checkbox"/>
(f) Reduction of existing or potential public access to or along the shore?	<input type="checkbox"/>	<input type="checkbox"/>
(g) Sale or change in use of publicly-owned lands located on the shoreline or under water?	<input type="checkbox"/>	<input type="checkbox"/>
(h) Development within designated flood hazard area?	<input type="checkbox"/>	<input type="checkbox"/>
(i) Development on a natural feature that provides protection against flooding or erosion?	<input type="checkbox"/>	<input type="checkbox"/>
(j) Diminished surface or groundwater quality?	<input type="checkbox"/>	<input type="checkbox"/>
(k) Removal of ground cover from the site?	<input type="checkbox"/>	<input type="checkbox"/>
3. Project:	<u>YES</u>	<u>NO</u>
(a) If a project is to be located adjacent to shore:		
(1) Will water-related recreation be provided?	<input type="checkbox"/>	<input type="checkbox"/>
(2) Will public access to the shoreline be provided?	<input type="checkbox"/>	<input type="checkbox"/>
(3) Does the project require a waterfront site?	<input type="checkbox"/>	<input type="checkbox"/>
(4) Will it supplant a recreational or maritime use?	<input type="checkbox"/>	<input type="checkbox"/>
(5) Do essential public services and facilities presently exist at or near the site?	<input type="checkbox"/>	<input type="checkbox"/>
(6) Is it located in a flood prone area	<input type="checkbox"/>	<input type="checkbox"/>
(7) Is it located in an area of high erosion	<input type="checkbox"/>	<input type="checkbox"/>
(b) If the project site is publicly owned:		
(1) Will the project protect, maintain and/or increase the level and types of public access to water-related recreation resources and facilities?	<input type="checkbox"/>	<input type="checkbox"/>
(2) If located in the foreshore, will access to those and adjacent lands be provided?	<input type="checkbox"/>	<input type="checkbox"/>
(3) Will it involve the siting and construction of major energy facilities?	<input type="checkbox"/>	<input type="checkbox"/>
(4) Will it involve the discharge of effluents from major steam electric generating and industrial facilities into a waterway	<input type="checkbox"/>	<input type="checkbox"/>
(c) Is the project site presently used by the community as an open space or recreation area?	<input type="checkbox"/>	<input type="checkbox"/>
(d) Does the present site offer or include scenic views or vistas known to be important to the community?	<input type="checkbox"/>	<input type="checkbox"/>
(e) Will the surface area of any waterways or wetland areas be increased or decreased by the proposal?	<input type="checkbox"/>	<input type="checkbox"/>
(f) Will the project involve any waste discharges?	<input type="checkbox"/>	<input type="checkbox"/>
(g) Does the project involve surface or subsurface liquid waste disposal?	<input type="checkbox"/>	<input type="checkbox"/>
(h) Does the project involve transport, storage, treatment or disposal of solid waste or hazardous material?	<input type="checkbox"/>	<input type="checkbox"/>
(i) Does the project involve shipment or storage of petroleum products?	<input type="checkbox"/>	<input type="checkbox"/>
(j) Does the project involve discharge of toxics, hazardous substances or other pollutants?	<input type="checkbox"/>	<input type="checkbox"/>
(k) Will the project affect any area designated as a freshwater wetland?	<input type="checkbox"/>	<input type="checkbox"/>
(l) Will the project alter drainage flow, patterns or surface water runoff on or from the site	<input type="checkbox"/>	<input type="checkbox"/>
(m) Will best management practices be utilized to control storm water runoff into waterways?	<input type="checkbox"/>	<input type="checkbox"/>
(n) Will the project cause emissions which exceed Federal or State air quality standards or generate significant amounts of nitrates or sulfates?	<input type="checkbox"/>	<input type="checkbox"/>

SECTION D. Remarks or Additional Information

For questions answered "Yes" in Section C, explain methods you will undertake to reduce adverse effects. Review the LWRP to see if the project is consistent with each policy. List policies the project is not consistent with and explain all mitigating actions. Add any additional sheets necessary to complete this form.

SECTION E. Preparer Information

Preparer's Name (Please print):

Title:

Organization Name:

Phone Number:

Signature:

Date:

SECTION F. Determination of LWRP Consistency (To be completed by the Planning Board)

The Village of Saranac Lake Planning Board finds that the above referenced project is:

- consistent with LWRP policy standards and conditions.
- not consistent with LWRP policy standards and conditions and shall not be undertaken.

Print Name of Planning Board Chair

Signature of Planning Board Chair

Date

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <u>211 Broadway</u>			
Project Location (describe, and attach a location map): <u>211 Broadway, Saranac Lake NY</u>			
Brief Description of Proposed Action: <u>Modify single family dwelling to multi family 3 units w/ radiant in-floor heating & spray foam insulation. Long-term housing only. Updates to exterior to include new aluminum siding and paint (light blue/white trim). Repairs to metal roof as well. Very little structural changes: adding walls to create units and bathroom walls to one unit.</u>			
Name of Applicant or Sponsor: <u>Ross Manny / Mindful Mountain Properties, LLC</u>		Telephone: <u>518-514-5041</u>	
		E-Mail: <u>RMann002@gmail.com</u>	
Address: <u>16 Wesvalley Rd</u>			
City/PO: <u>Lake Placid</u>		State: <u>NY</u>	Zip Code: <u>12946</u>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<u>.35</u> acres	
b. Total acreage to be physically disturbed?		<u>0</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>.35</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5.	Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7.	Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8.	a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9.	Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10.	Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11.	Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12.	a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13.	a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14.	Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15.	Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16.	Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17.	Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Ross Manny</u> Date: <u>7/6/22</u></p> <p>Signature: <u><i>Ross Manny</i></u></p>		