



(2) PROPOSED GROUND SIGNAGE  
 -16' T.O. LETTERING  
 -CUSTOM CUT WHITE LETTERING  
 -10' X 4' X 1/2" (40 SF)  
 -INTERNAL LED LIGHTING



(1) PROPOSED WALL SIGNAGE: WEST WALL  
 -CUSTOM CUT WHITE LETTERING  
 -12' X 6'-6" X 1/2" (78 SF)  
 -LIGHT WITH LED DARK SKY COMPLIANT GOOSENECK



(1) PROPOSED WALL SIGNAGE: NORTH WALL  
 -CUSTOM CUT WHITE LETTERING  
 -12' X 8' X 1/2" (96 SF)  
 -LIGHT WITH LED DARK SKY COMPLIANT GOOSENECK

# RIVERTRAIL BEERWORKS

## 79 WOODRUFF STREET, SARANAC LAKE, NY 12983

### SHEET INDEX

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IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DRAWINGS  
NOT FOR  
CONSTRUCTION

REVISIONS	DESCRIPTION	DATE	REVISIONS PER VILLAGE COMMENTS	NEW BUILDING
			10/19/21	
		04/20/22		

PREPARED FOR  
SARANAC LAKE BREWING  
COMPANY, LLC  
PO BOX 948  
LAKE PLACID, NY 12946

PROJECT  
RIVERTRAIL BEERWORKS  
DRAWING TITLE  
COVER SHEET

DATE: 10/19/2021

PROJECT NO.  
2101

DRAWING NO.  
**C-000**

DWG 1 OF 9

### PREPARED FOR

SARANAC BREWING COMPANY, LLC  
PO BOX 948  
LAKE PLACID, NY 12946

### PROJECT TEAM

LANDSCAPE ARCHITECT/CIVIL ENGINEER:  
STUDIO A | LANDSCAPE ARCHITECTURE AND ENGINEERING, D.P.C.  
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PHONE: 518.450.4030

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142 GRAND AVENUE  
SARATOGA SPRINGS, NY 12866  
CONTACT: MICHAEL PHINNEY  
PHONE: 518.587.7120



### GENERAL NOTES

1. PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL CONTACT U.F.P.O. AND THE PROPER LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR FOR FAILURE TO CONTACT THE PROPER AUTHORITIES SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND REPORT ANY DISCREPANCY BETWEEN THE PLANS AND THE FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE.
3. CONTRACTOR SHALL VERIFY AND COORDINATE LOCATION OF ALL UTILITIES, INCLUDING BY NOT LIMITED TO LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC., WITH LOCATIONS OF PROPOSED SITE ELEMENTS. EXCAVATION REQUIRED PROXIMATE TO UTILITY LINES SHALL BE DONE BY HAND. ANY DAMAGE AND INCURRED COSTS DUE TO FAILURE OF THE CONTRACTOR TO ADHERE TO THESE GUIDELINES SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
4. CONTRACTOR SHALL ESTABLISH PERMANENT BENCHMARKS PRIOR TO THE START OF CONSTRUCTION. ALL SECONDARY BENCHMARKS SHALL BE LOCATED SO THAT THEY WILL NOT BE DISTURBED DURING CONSTRUCTION.
5. LIMITS OF DISTURBANCE IS NOTED ON DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE THE LIMITS OF DISTURBANCE. ANY AREAS OUTSIDE THE LIMITS OF DISTURBANCE THAT ARE DISTURBED SHALL BE RESTORED TO THE ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. IF NO LIMITS OF DISTURBANCE IS SHOWN, PROPERTY LINE SHALL BE THE LIMITS OF DISTURBANCE.
6. CONTRACTOR SHALL EMPLOY CARE IN SCHEDULING CONSTRUCTION SO AS TO MAINTAIN EXISTING VEHICULAR TRAFFIC PATTERNS AND MINIMIZE DISRUPTION TO SURROUNDING PEDESTRIAN TRAFFIC. CONTRACTOR SHALL EMPLOY SPECIAL CARE TO PROTECT SAFETY OF PEDESTRIANS INSIDE AND OUTSIDE OF THE LIMITS OF DISTURBANCE.
7. VARIOUS PERMITS ARE REQUIRED FOR THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED PERMITS FROM ALL JURISDICTIONS AFFECTED BY THIS WORK ARE IN PLACE PRIOR TO CONSTRUCTION.
8. ALL ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON "AS-BUILT DRAWINGS," AS SPECIFIED.
9. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXISTING INFRASTRUCTURE FOR THE DURATION OF CONSTRUCTION.

### ZONING STATISTICS

TAX MAP ID:	447.69-4-II.1 (0.62 AC) - TO BE COMBINED TO 0.99 ACRE PARCEL	ZONE:	E-2		
	447.69-4-9 (.17 AC) - TO BE COMBINED TO 0.99 ACRE PARCEL	LOT SIZE:	0.99 ACRES		
	447.69-4-6.1 (0.54 AC) - TO BE SUBDIVIDED, NEW PARCEL 0.36 ACRES	APPROX. LIMITS OF DISTURBANCE:	0.875 AC		
REQUIRED	EXISTING WAREHOUSE	PROPOSED BREWERY	EXISTING HOUSE (BLOOMING DALE)	PROPOSED REDUCED LOT (BLOOMINGDALE AVE)	
			447.69-4-61	447.69-4-61	
FRONT YARD SETBACK	0'	11.81'	8.5'	32.99'	32.99'
SIDE YARD SETBACK	0'	5.6'	31.75	7.84	7.84'
REAR YARD SETBACK	0'	14.78'	15.75'	102.76	29.5'
MAX. LOT COVERAGE					
PRINCIPAL BUILDING	SPR	32.2%	37.7%	8.1%	12.2%
IMPERVIOUS SURFACE	SPR	66.6%	67.4% TOTAL	23.3%	35% TOTAL
MIN. LOT SIZE	SPR	0.62 ACRES	0.99 ACRES	0.54 ACRES	.36 ACRES
MIN. BUILDING HEIGHT		24'	±20'	±33'	±30'
BUILDING STORIES	2 STORY MIN.	1 STORY	2 STORIES	2 STORIES	2 STORY
BUILDING USE	SPR	COMMERCIAL BREW PUB	COMMERCIAL BREW PUB	RESIDENTIAL	RESIDENTIAL

**APPROVAL SET DOCUMENTS**  
**04/20/2022**

DRAWINGS  
NOT FOR  
CONSTRUCTION

REVISIONS	DATE	DESCRIPTION
	10/19/21	REVISIONS PER VILLAGE COMMENTS
	04/28/22	NEW BUILDINGS

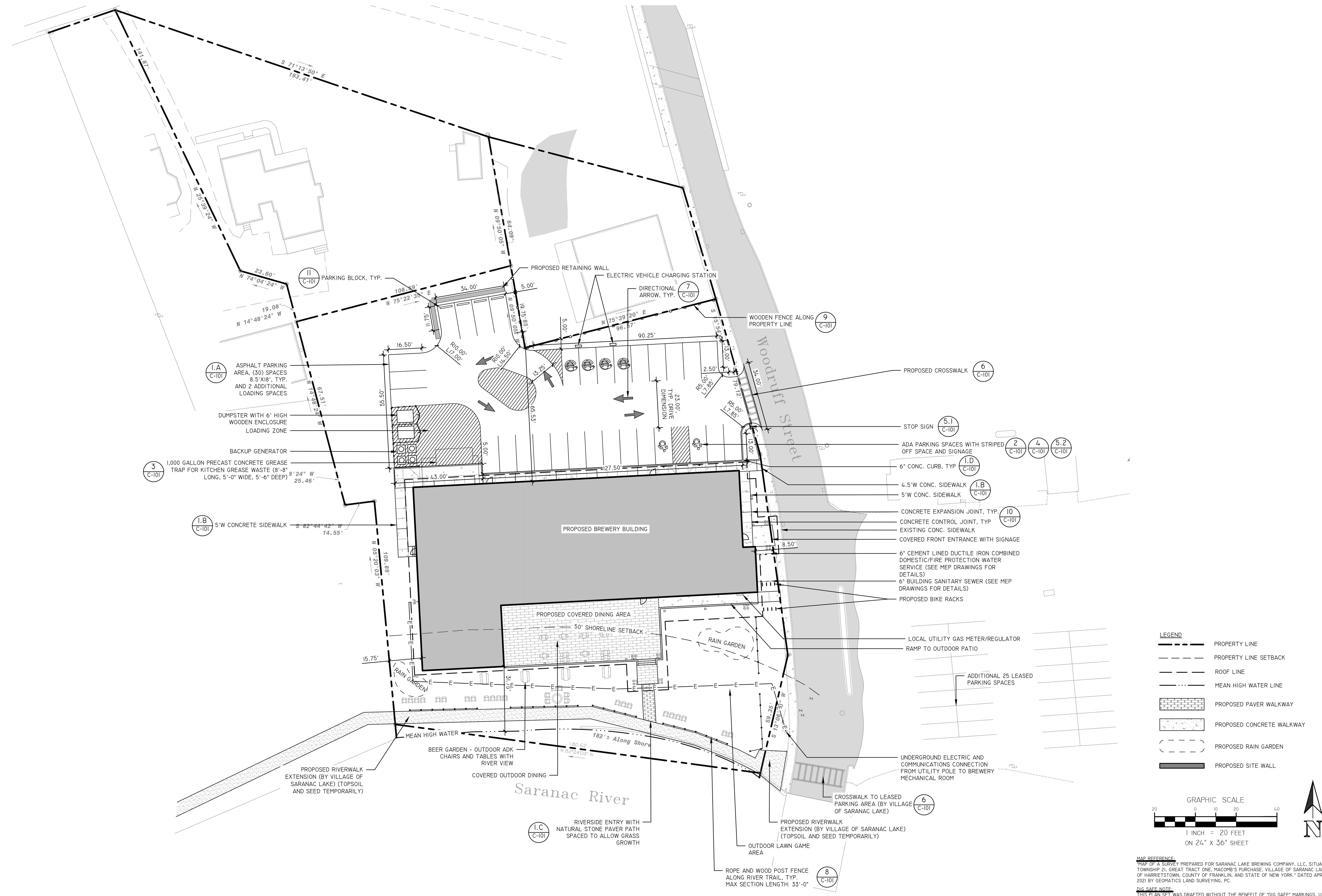
PREPARED FOR  
**SARANAC LAKE BREWING  
COMPANY, LLC**  
PO BOX 948  
LAKE PLACID, NY 12946

PROJECT  
**RIVERTRAIL BEERWORKS**  
DRAWING TITLE  
**LAYOUT PLAN**

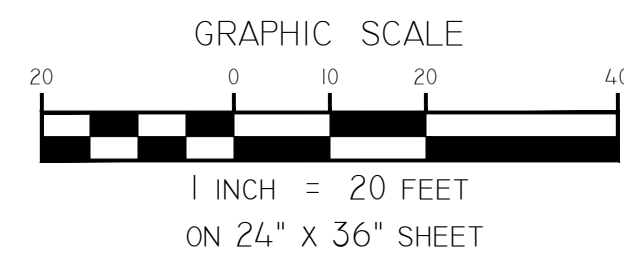
DATE: 10/19/2021

PROJECT NO.  
2101

DRAWING NO.  
**C-100**

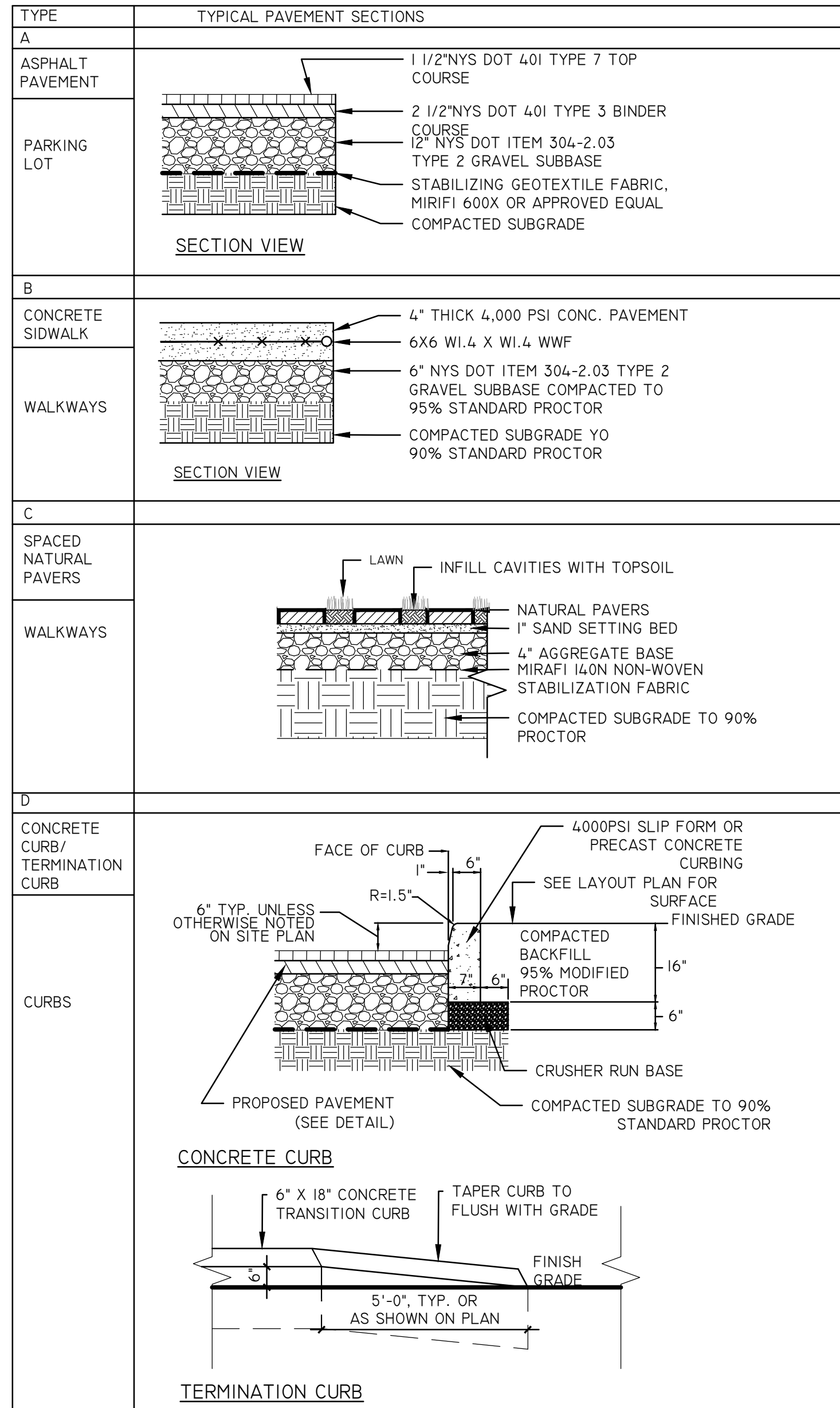


- LEGEND**
- PROPERTY LINE
  - PROPERTY LINE SETBACK
  - ROOF LINE
  - MEAN HIGH WATER LINE
  - PROPOSED PAVER WALKWAY
  - PROPOSED CONCRETE WALKWAY
  - PROPOSED RAIN GARDEN
  - PROPOSED SITE WALL



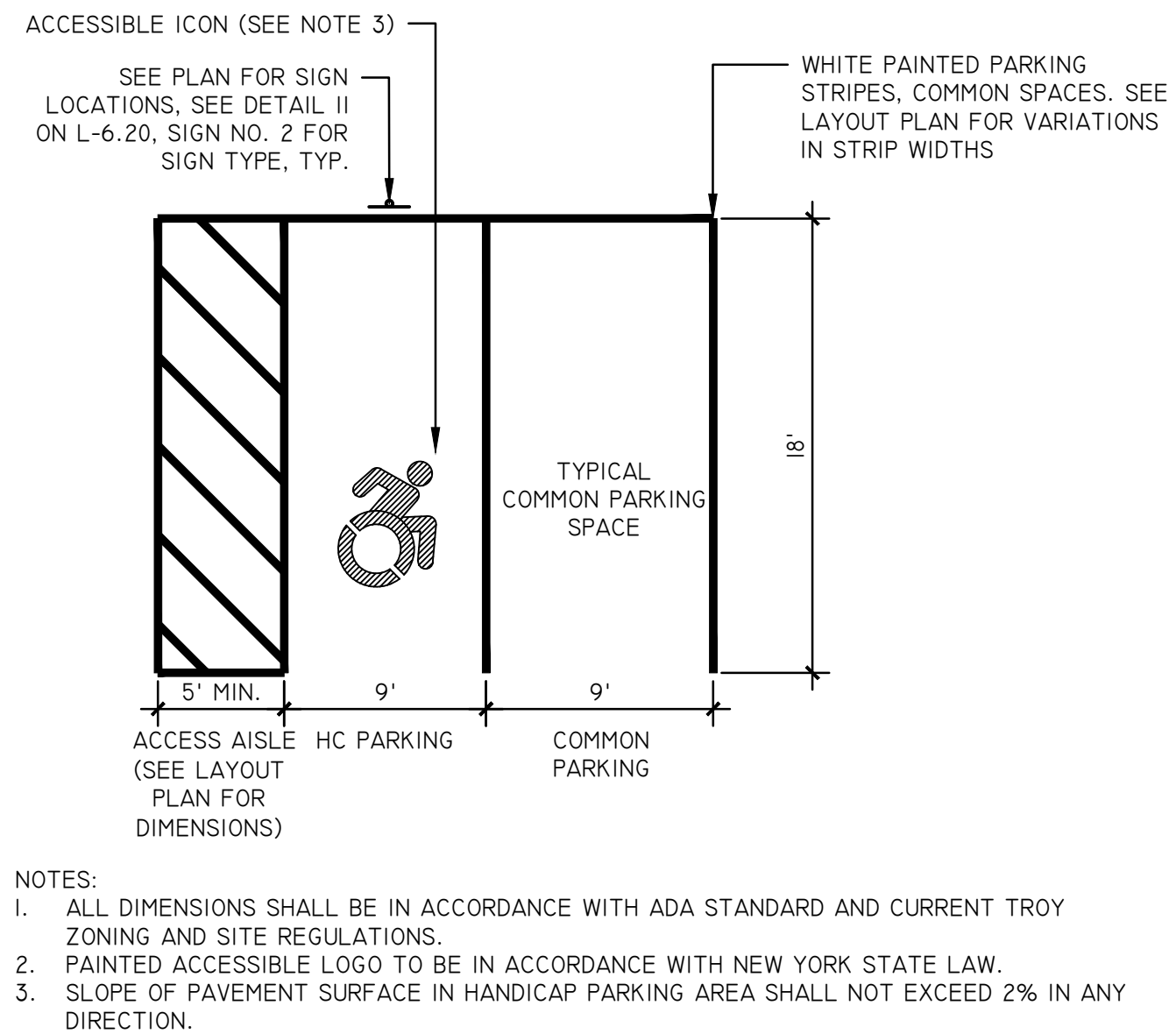
MAP REFERENCE:  
"MAP OF A SURVEY PREPARED FOR SARANAC LAKE BREWING COMPANY, LLC, SITUATE IN TOWNSHIP 21, GREAT TRACT ONE, MACOMB'S PURCHASE, VILLAGE OF SARANAC LAKE, TOWN OF HARRIETSTOWN, COUNTY OF FRANKLIN, AND STATE OF NEW YORK," DATED APRIL 30, 2021 BY GEOMATICS LAND SURVEYING, PC.

DIG SAFE NOTE:  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.



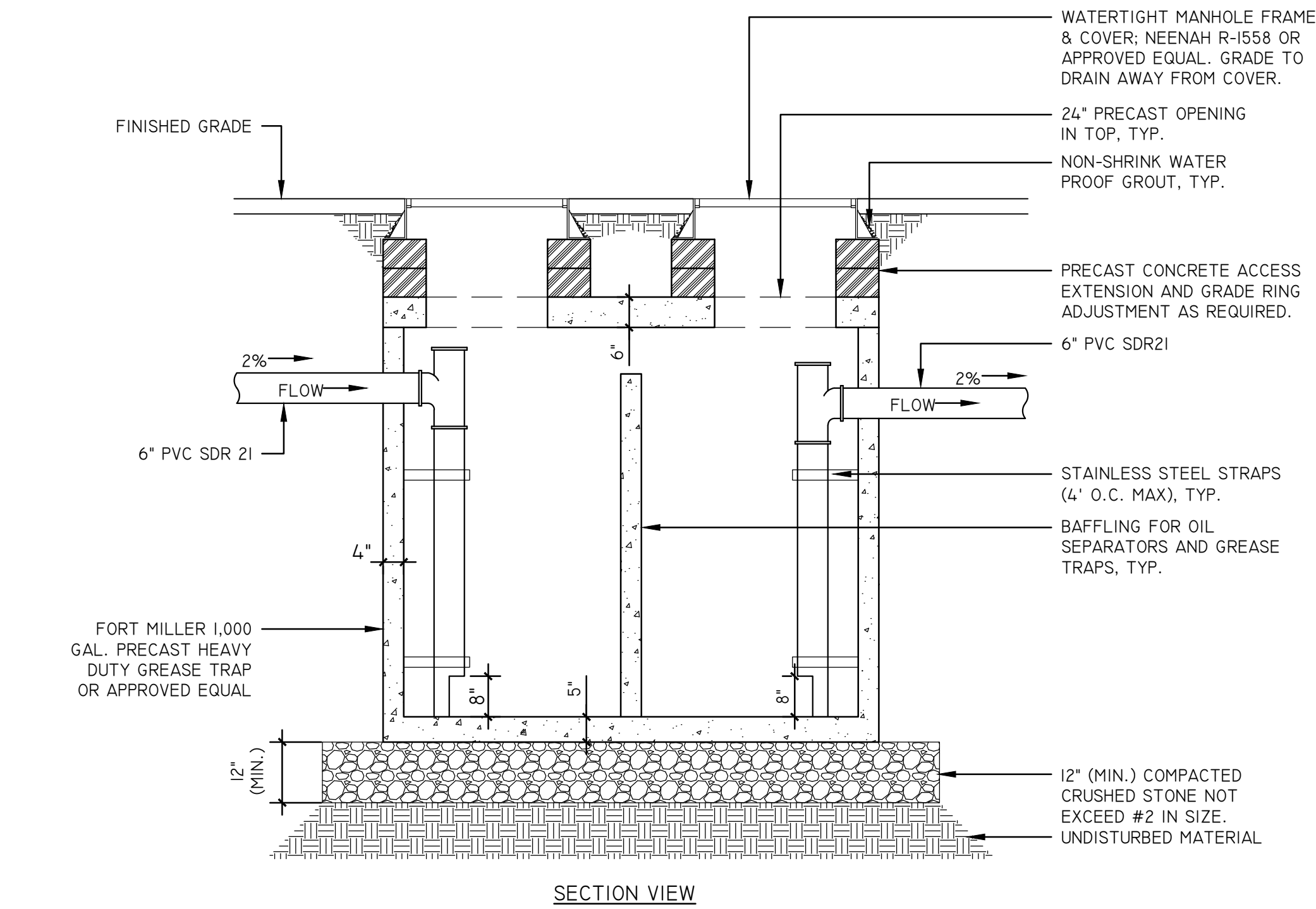
1 PAVEMENT SCHEDULE

SCALE: N.T.S.



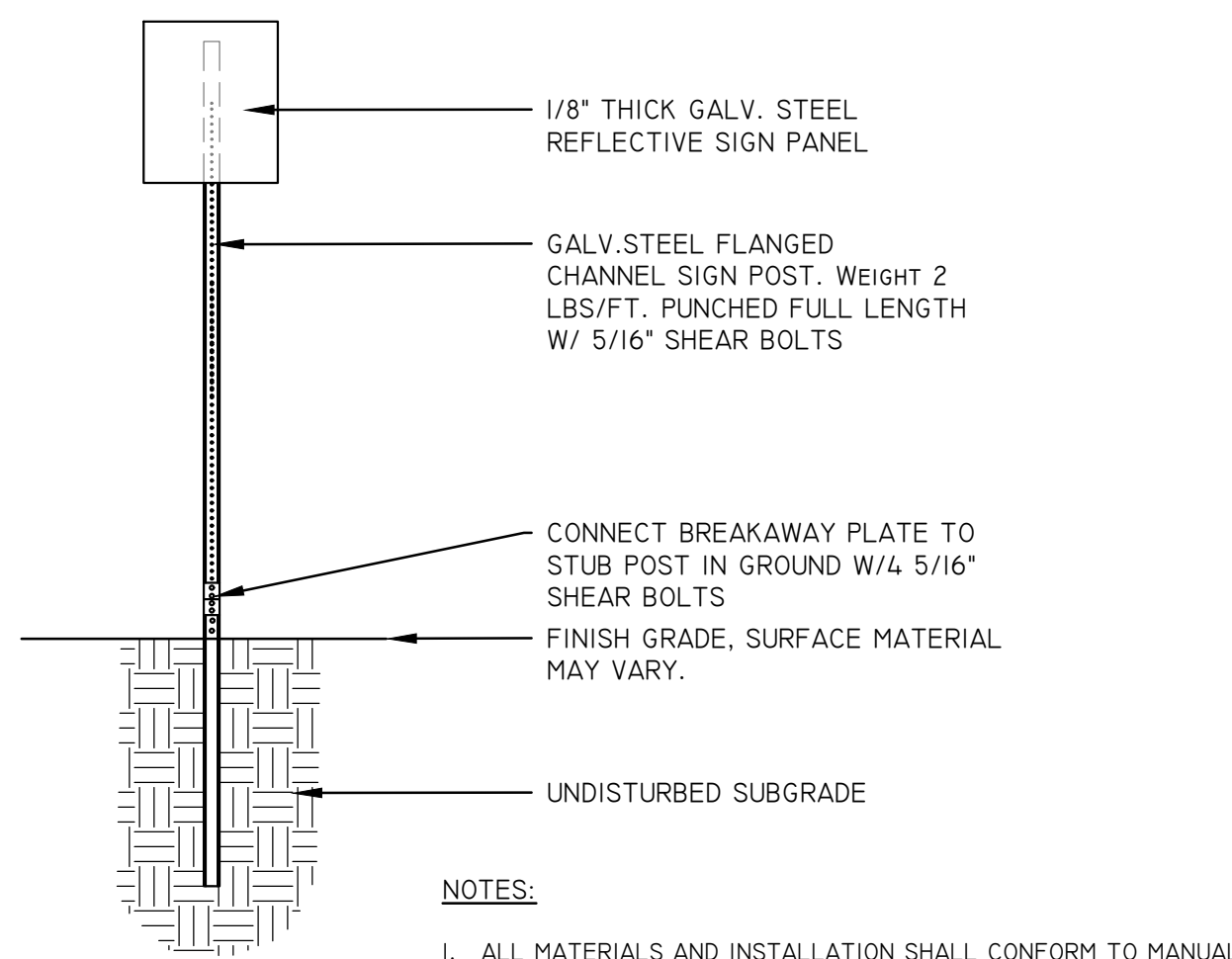
2 HANDICAP PARKING SPACE STRIPING DETAIL

SCALE: N.T.S.



3 1,000 GALLON GREASE TRAP

SCALE: N.T.S.



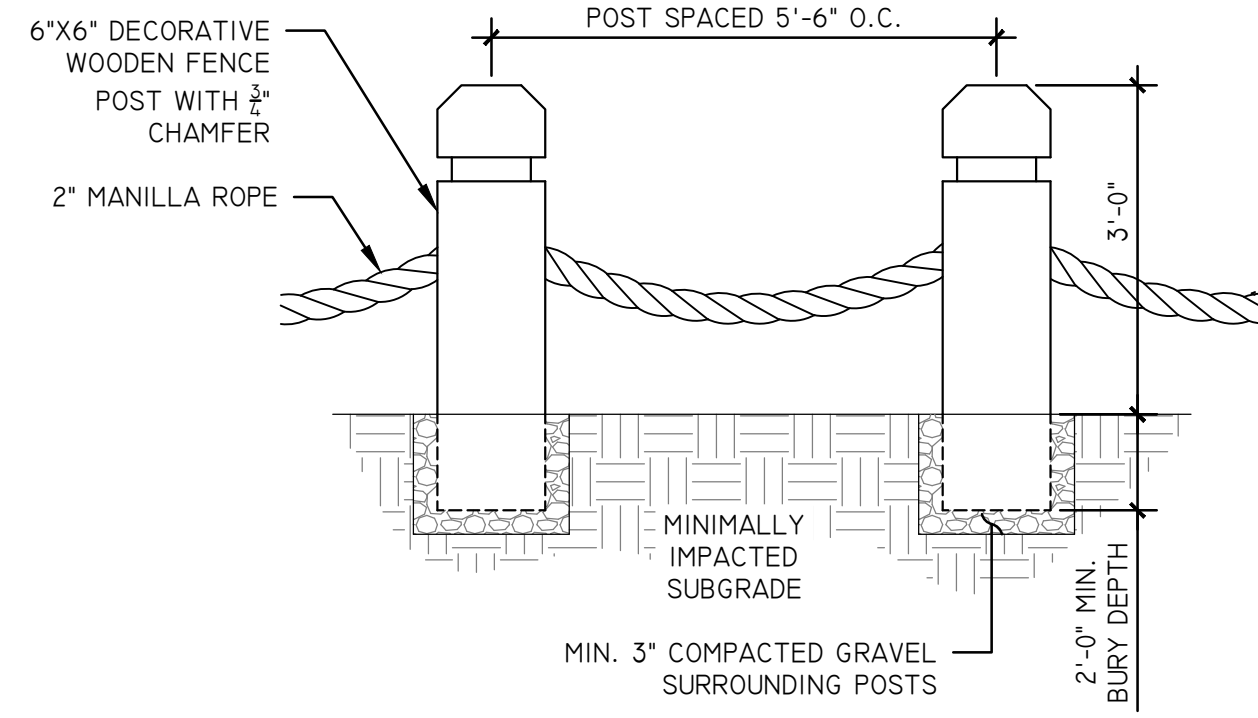
4 SIGN POLE INSTALLATION DETAIL

SCALE: N.T.S.

SITE SIGN TABLE				
SIGN NO.	DESCRIPTION	M.U.T.C.D. NO./SIZE	QUANTITY	COLORS
1		R1-1 30"x30"	2	WHITE LEGEND/BORDER, RED BKGD
2		R7-1 12"x18"	4	GREEN LEGEND/BORDER, WHITE BKGD

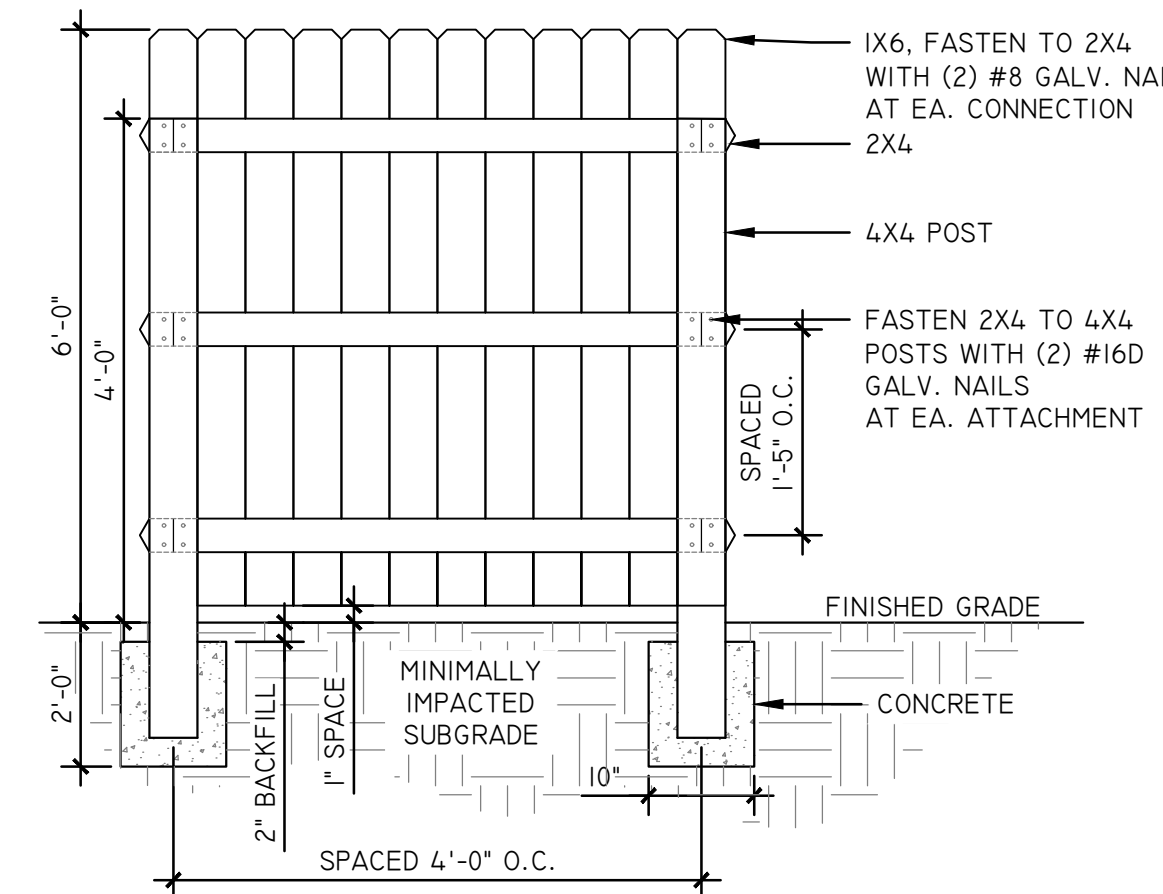
5 SIGN TABLE DETAIL

SCALE: N.T.S.



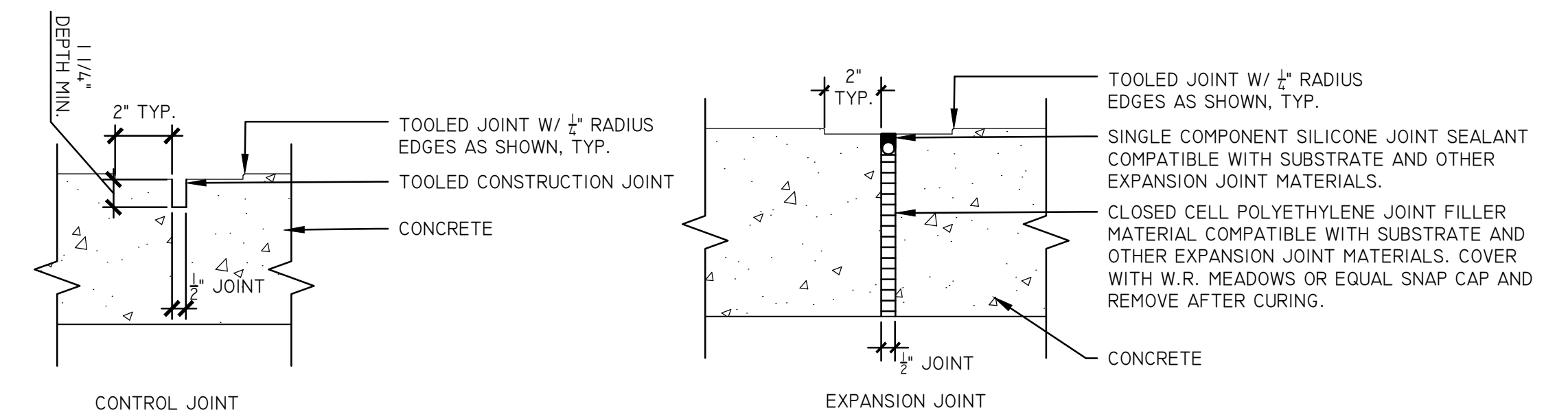
8 ROPE AND POST FENCE DETAIL

SCALE: N.T.S.



9 WOODEN FENCE DETAIL

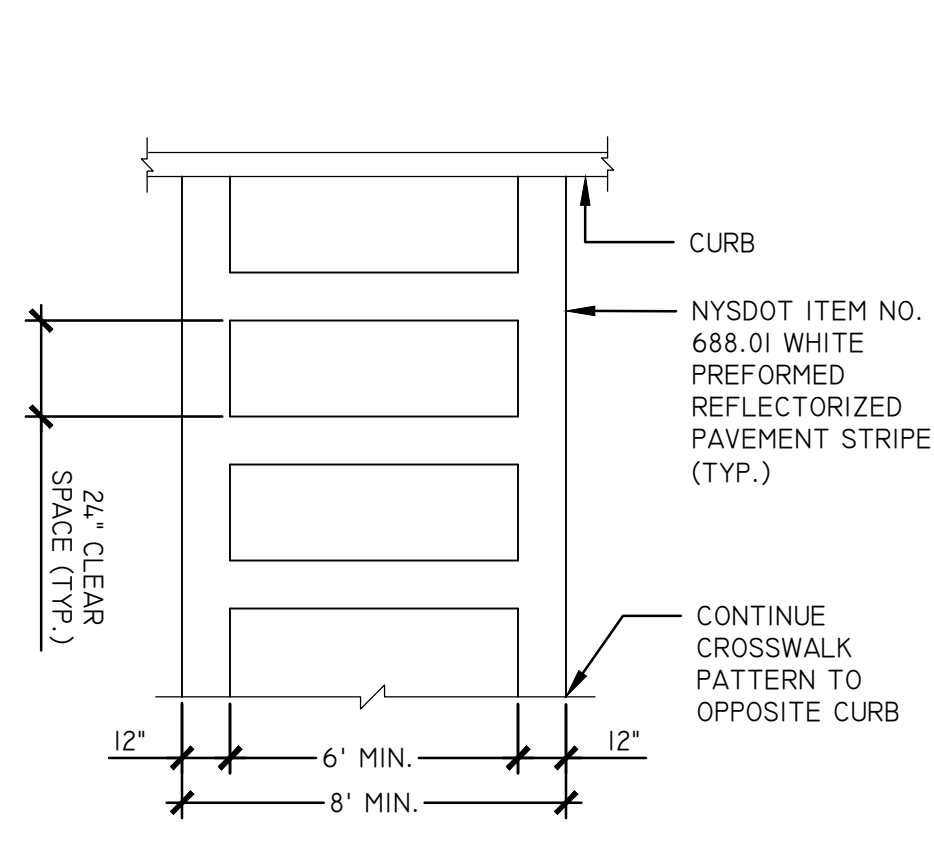
SCALE: N.T.S.



- NOTES:  
1. LOCATE CONTROL JOINTS AS SPECIFIED ON LAYOUT & MATERIALS PLANS.  
2. TOOLED JOINTS SHALL ALSO BE LOCATED AROUND ENTIRE PERIMETER OF CONCRETE PAVEMENT.  
3. EXPANSION JOINTS TO OCCUR 20' O.C. MAX AND AT ALL CURBS, WALLS AND WHERE SHOWN ON PLANS OR OTHER DETAILS

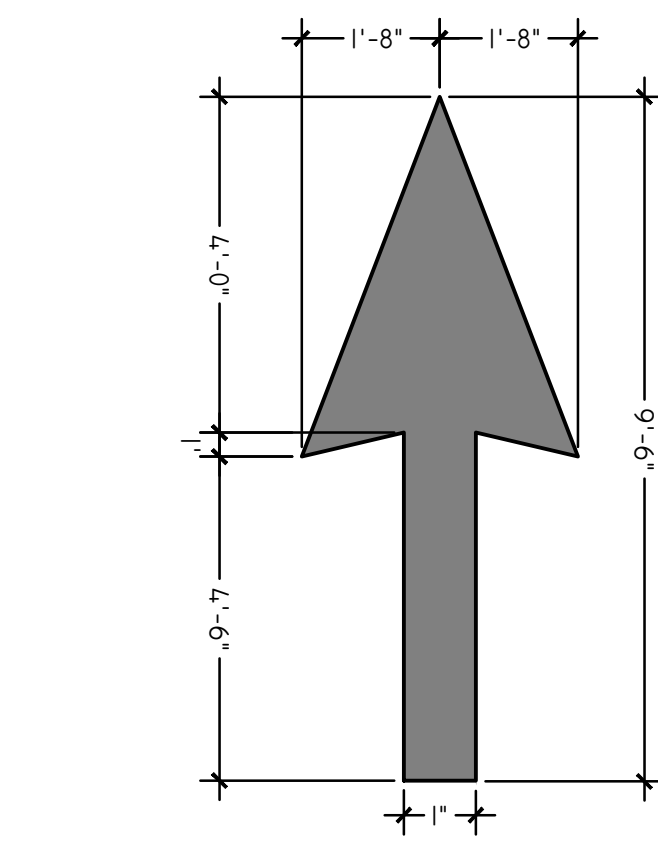
10 CONCRETE JOINT DETAILS

SCALE: N.T.S.



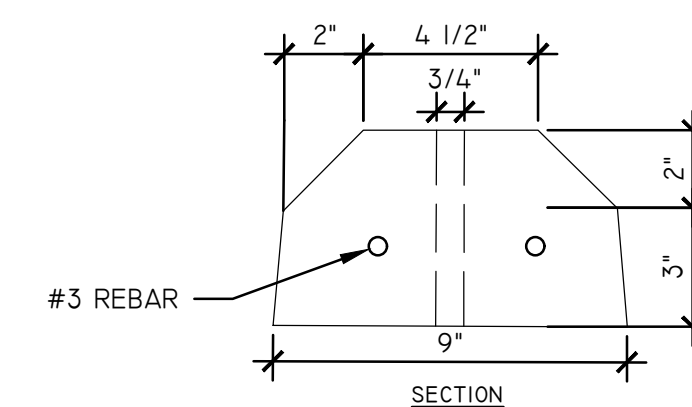
6 CROSSWALK STRIPING DETAIL

SCALE: N.T.S.



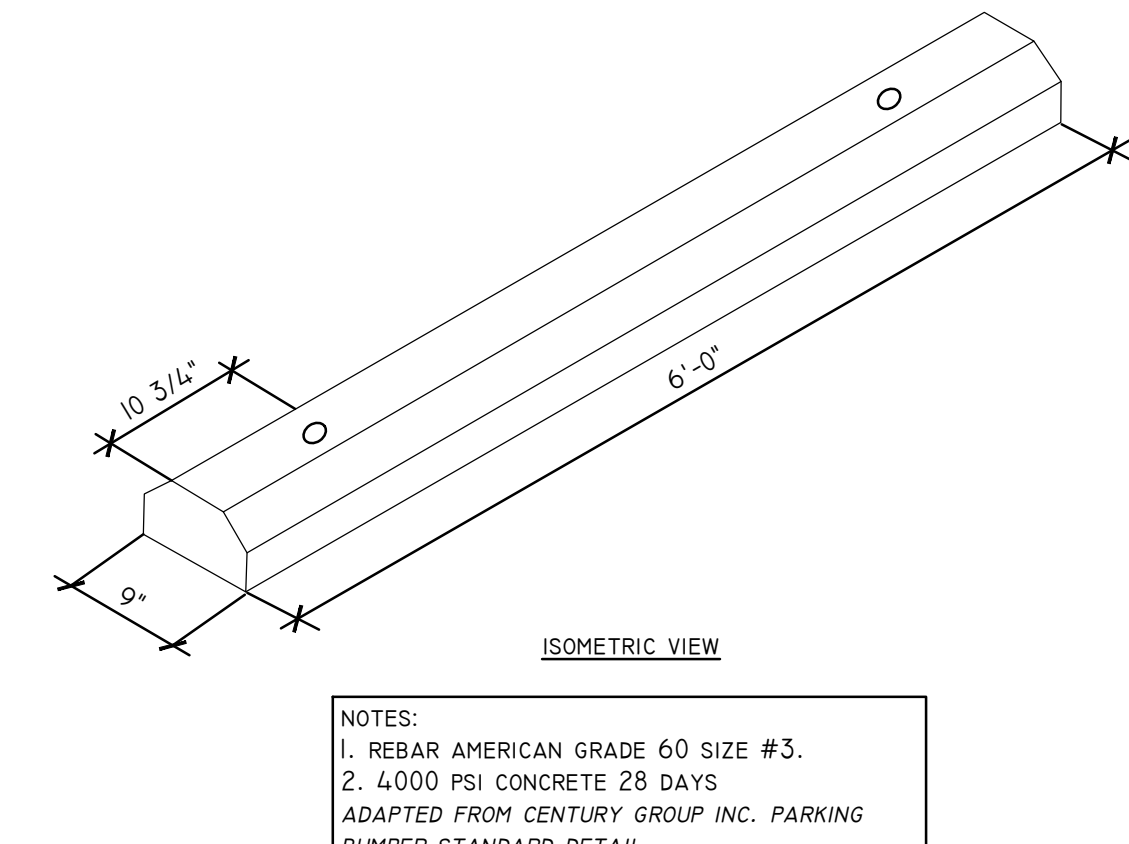
7 DIRECTIONAL ARROW DETAIL

SCALE: N.T.S.



11 PARKING BLOCK

SCALE: N.T.S.



REVISIONS	DESCRIPTION	DATE
1	REVISIONS PER VILLAGE COMMENTS	10/19/21
2	NEW BUILDINGS	04/29/22

PREPARED FOR  
SARANAC LAKE BREWING COMPANY, LLC  
PO BOX 948  
LAKE PLACID, NY 12946

PROJECT  
RIVERTRAIL BEERWORKS  
DRAWING TITLE  
LAYOUT DETAILS

DATE: 10/19/2021  
PROJECT NO. 2101

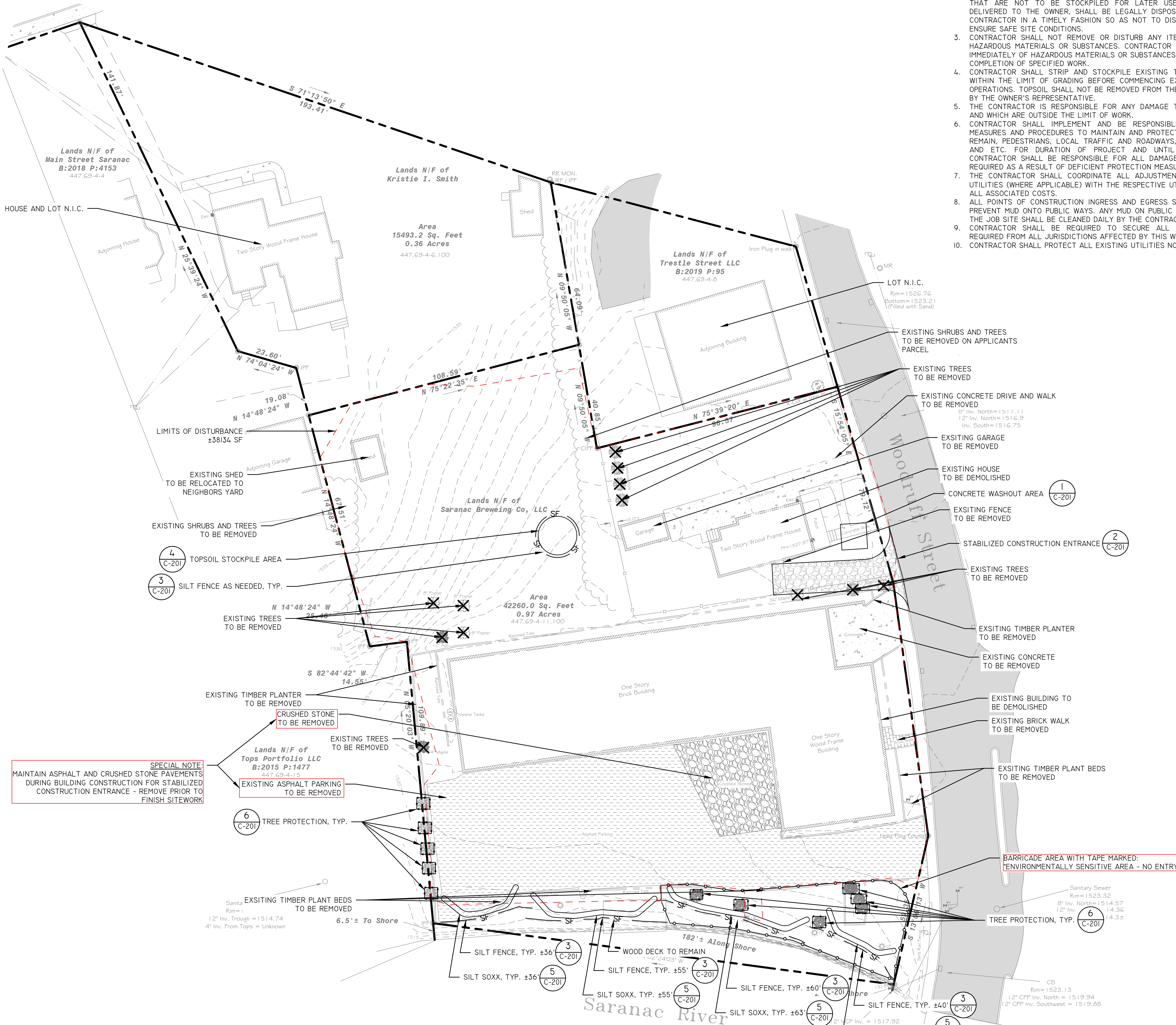
DRAWING NO. C-101

**SITE PREPARATION AND DEMOLITION NOTES:**

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND SUBSURFACE CONDITIONS PRIOR TO THE START OF WORK. COORDINATE ALL UTILITY REQUIREMENTS AND WORK WITH THE APPROPRIATE UTILITY PROVIDER. NOTIFY OWNER'S REPRESENTATIVE OF ANY AND ALL DISCREPANCIES.
2. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED. MATERIALS THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR IN A TIMELY FASHION SO AS NOT TO DISRUPT PROGRESS AND TO ENSURE SAFE SITE CONDITIONS.
3. CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY ITEMS KNOWN TO CONTAIN HAZARDOUS MATERIALS OR SUBSTANCES. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF HAZARDOUS MATERIALS OR SUBSTANCES DISCOVERED DURING THE COMPLETION OF SPECIFIED WORK.
4. CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL TO FULL DEPTH WITHIN THE LIMIT OF GRADING BEFORE COMMENCING EXCAVATION AND GRADING OPERATIONS. TOPSOIL SHALL NOT BE REMOVED FROM THE SITE UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
6. CONTRACTOR SHALL IMPLEMENT AND BE RESPONSIBLE FOR ALL NECESSARY MEASURES AND PROCEDURES TO MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN, PEDESTRIANS, LOCAL TRAFFIC AND ROADWAYS, ADJACENT PROPERTIES, AND ETC. FOR DURATION OF PROJECT AND UNTIL PROJECT COMPLETION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES AND/OR RESTORATION REQUIRED AS A RESULT OF DEFICIENT PROTECTION MEASURES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES (WHERE APPLICABLE) WITH THE RESPECTIVE UTILITY COMPANY AND PAY ALL ASSOCIATED COSTS.
8. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED DAILY BY THE CONTRACTOR ONLY.
9. CONTRACTOR SHALL BE REQUIRED TO SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
10. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT TO BE REMOVED.

**EROSION AND SEDIMENT CONTROL NOTES:**

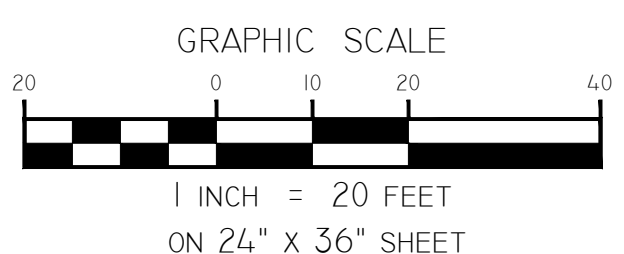
1. ALL EXPOSED SOIL DISTURBANCE SHALL BE IN ACCORDANCE WITH THE NYS DEC REQUIREMENTS. ANY EXPOSED SOIL SHALL BE PROPERLY STABILIZED WITH EITHER PERMANENT SEED AND MULCH IF SOIL DISTURBANCE IS COMPLETED OR TEMPORARILY SEEDED AND MULCHED IF IT WILL BE MORE THAN 10 DAYS BEFORE ADDITIONAL SOIL DISTURBANCE WILL OCCUR. EXPOSED SOIL SHALL RECEIVE TEMPORARY OR PERMANENT SEED AND MULCH WITHIN 10 DAYS OF SUBSTANTIAL COMPLETION OF CONSTRUCTION AREAS.
2. THE CONTRACTOR SHALL LIMIT THE AREA OF CLEARING AND GRUBBING, EXCAVATION, BORROW, AND EMBANKMENT OPERATIONS IN PROGRESS, COMMENSURATE WITH THEIR CAPABILITY AND PROGRESS IN KEEPING THE FINISH GRADING AND MULCHING, SEEDING AND OTHER TEMPORARY AND/OR PERMANENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS.
3. THE CONTRACTOR SHALL DESIGNATE TO THE OWNER'S REPRESENTATIVE A QUALIFIED EROSION AND SEDIMENT CONTROL SUPERVISOR WITH ADEQUATE TRAINING, EXPERIENCE, AND AUTHORITY TO IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AS PER THE NYS DEC REQUIREMENTS.
4. CONSTRUCTION IS TO PROCEED IN ACCORDANCE WITH THE CONSTRUCTION PHASING SCHEDULE SUPPLIED BY THE CONTRACTOR OR SHOWN ON THE PLANS. GRASSES SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS POSSIBLE. FOR TIME FRAMES OUTSIDE THE GROWING SEASON, OTHER METHODS OF SOIL STABILIZATION (SUCH AS THE USE OF JUTE MESH EXCELSIOR MATTING) WILL BE USED UNTIL SUCH A TIME AS GRASS CAN BE ESTABLISHED.
5. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY SITE DISTURBANCE. THIS INCLUDES GRADING OPERATIONS, UTILITY OR STRUCTURE INSTALL.
6. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH NYS DEC REQUIREMENTS.
7. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA SERVED IS STABILIZED.
8. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
9. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
10. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED AFTER EVERY STORM EVENT.
11. THE CONTRACTORS ATTENTION IS DIRECTED TO THE FACT THAT THROUGHOUT THE DURATION OF THE PROJECT IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL WATER COURSES FROM WATER BORNE SEDIMENT OR POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT.
12. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT CONTAMINATION OF WATERBODIES BY SILT, SEDIMENT, FUELS, SOLVENTS, LUBRICANTS, EPOXY COATINGS, CONCRETE LEACHATE, OR ANY OTHER POLLUTANT ASSOCIATED WITH CONSTRUCTION AND CONSTRUCTION PROCEDURES.



**SPECIAL NOTE:**  
 MAINTAIN ASPHALT AND CRUSHED STONE PAVEMENTS DURING BUILDING CONSTRUCTION FOR STABILIZED CONSTRUCTION ENTRANCE - REMOVE PRIOR TO FINISH SITework

**LEGEND**

	PROPERTY LINE
	SILT FENCE
	EXISTING TREE TO REMAIN
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	TREE PROTECTION FENCE
	BARRICADE
	ASPHALT SURFACE TO BE REMOVED
	CRUSHED STONE SURFACE TO BE REMOVED
	CONCRETE SURFACE TO BE REMOVED
	BRICK SURFACE TO BE REMOVED
	EXISTING TREE TO BE REMOVED



**MAP REFERENCE:**  
 MAP OF A SURVEY PREPARED FOR SARANAC LAKE BREWING COMPANY, LLC, SITUATE IN TOWNSHIP 21, GREAT TRACT ONE, HACHO'S PURCHASE, VILLAGE OF SARANAC LAKE, TOWN OF HARRIETSTOWN, COUNTY OF FRANKLIN, AND STATE OF NEW YORK, DATED APRIL 30, 2021 BY GEOMATICS LAND SURVEYING, PC.

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**studio A**  
 LANDSCAPE ARCHITECTURE + ENGINEERING, P.C.  
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**PHINNEY DESIGN GROUP**  
 PHINNEY DESIGN GROUP  
 MICHAEL R. PHINNEY, ARCHITECT, PLLC  
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 142 GRAND AVENUE  
 SARATOGA SPRINGS, NY 12866  
 TROY OFFICE LOCATION:  
 291 RIVER STREET  
 TROY, NY 12180  
 (518) 587-7200

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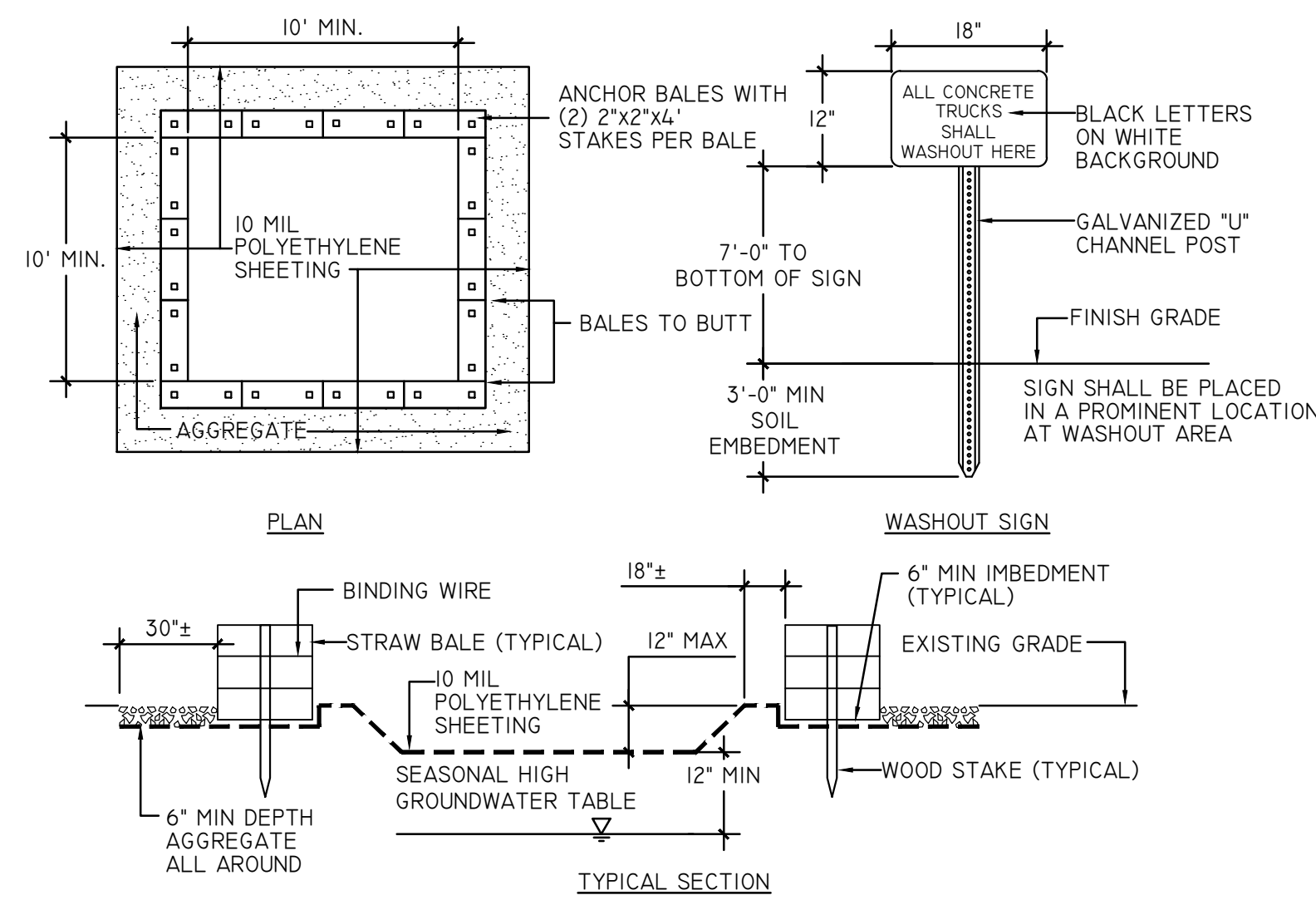
**DRAWINGS NOT FOR CONSTRUCTION**

REVISIONS	DESCRIPTION	DATE
1	REVISED PER VILLAGE COMMENTS	10/19/21
2	NEW BUILDINGS	04/28/22

PREPARED FOR  
**SARANAC LAKE BREWING COMPANY, LLC**  
 PO BOX 948  
 LAKE PLACID, NY 12946

PROJECT  
**RIVERTRAIL BEERWORKS**  
 DRAWING TITLE  
**DEMOLITION, EROSION, AND SEDIMENT CONTROL PLAN**

DATE: 10/19/2021  
 PROJECT NO. 2101  
 DRAWING NO. **C-200**  
 DWG 4 OF 9



3 SILT FENCE WITH HAY BALE DETAIL

SCALE: N.T.S.

CAPACITY:

THE WASHOUT FACILITY SHALL BE SIZED TO CONTAIN SOLIDS, WASH WATER, AND RAINFALL SIZED TO ALLOW FOR EVAPORATION OF WASH WATER AND RAINFALL. WASH WATER SHALL BE ESTIMATED AT 7 GALLONS PER CHUTE AND 50 GALLONS PER HOPPER OF CONCRETE PUMP TRUCK AND/OR DISCHARGING DRUM. THE MINIMUM SIZE SHALL BE 8 FEET BY 8 FEET AT THE BOTTOM AND 2 FEET DEEP. IF EXCAVATED, THE SIDE SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION:

LOCATE THE FACILITY A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS. PREVENT SURFACE WATER FROM ENTERING THE STRUCTURE EXCEPT FOR THE ACCESS ROAD. PROVIDE APPROPRIATE ACCESS WITH GRAVEL ACCESS ROAD SLOPED DOWN TO THE STRUCTURE. SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.

LINER:

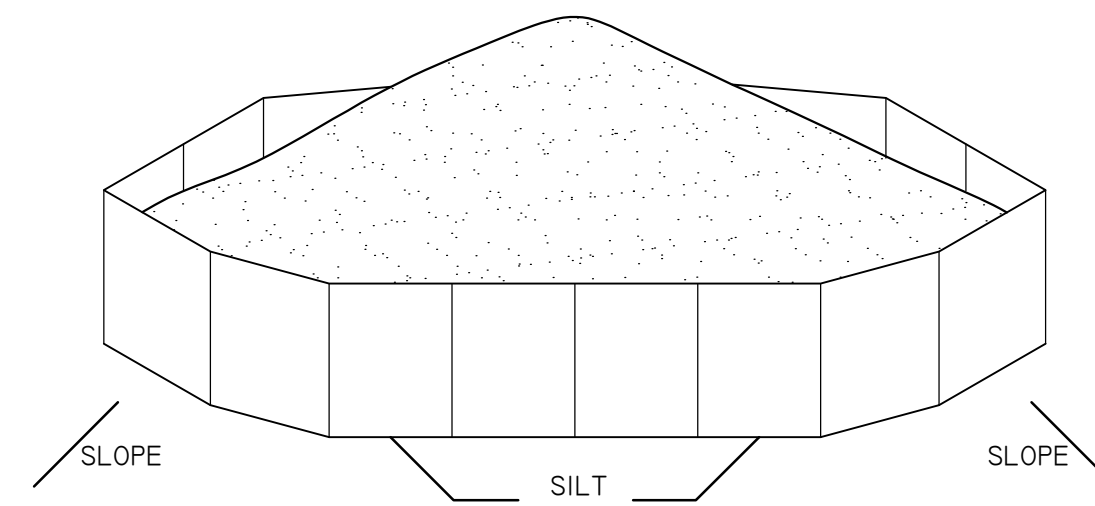
ALL WASHOUT FACILITIES SHALL BE LINED TO PREVENT LEACHING OF LIQUIDS IN THE GROUND. THE LINER SHALL BE PLASTIC SHEETING WITH A MINIMUM THICKNESS OF 10 MILS WITH NO HOLES OR TEAR, AND ANCHORED BEYOND THE TOP OF THE PIT WITH AN APPURTENANCE EXCEPT AT THE ACCESS POINT. IF PRE-FABRICATED WASHOUTS ARE USED THEY MUST ENSURE THE CAPTURE AND CONTAINMENT OF THE CONCRETE WASH AND BE SIZED BASED ON THE EXPECTED FREQUENCY OF CONCRETE POURS. THEY SHALL BE SITED AS NOTED IN THE LOCATION CRITERIA.

MAINTENANCE:

- ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHALL BE PUMPED TO A STABILIZED AREA SUCH AS GRASS FILTER STRIP.
- ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
- DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECT'S SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
- THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
- INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

1 CONCRETE WASHOUT AREA DETAIL

SCALE: N.T.S.

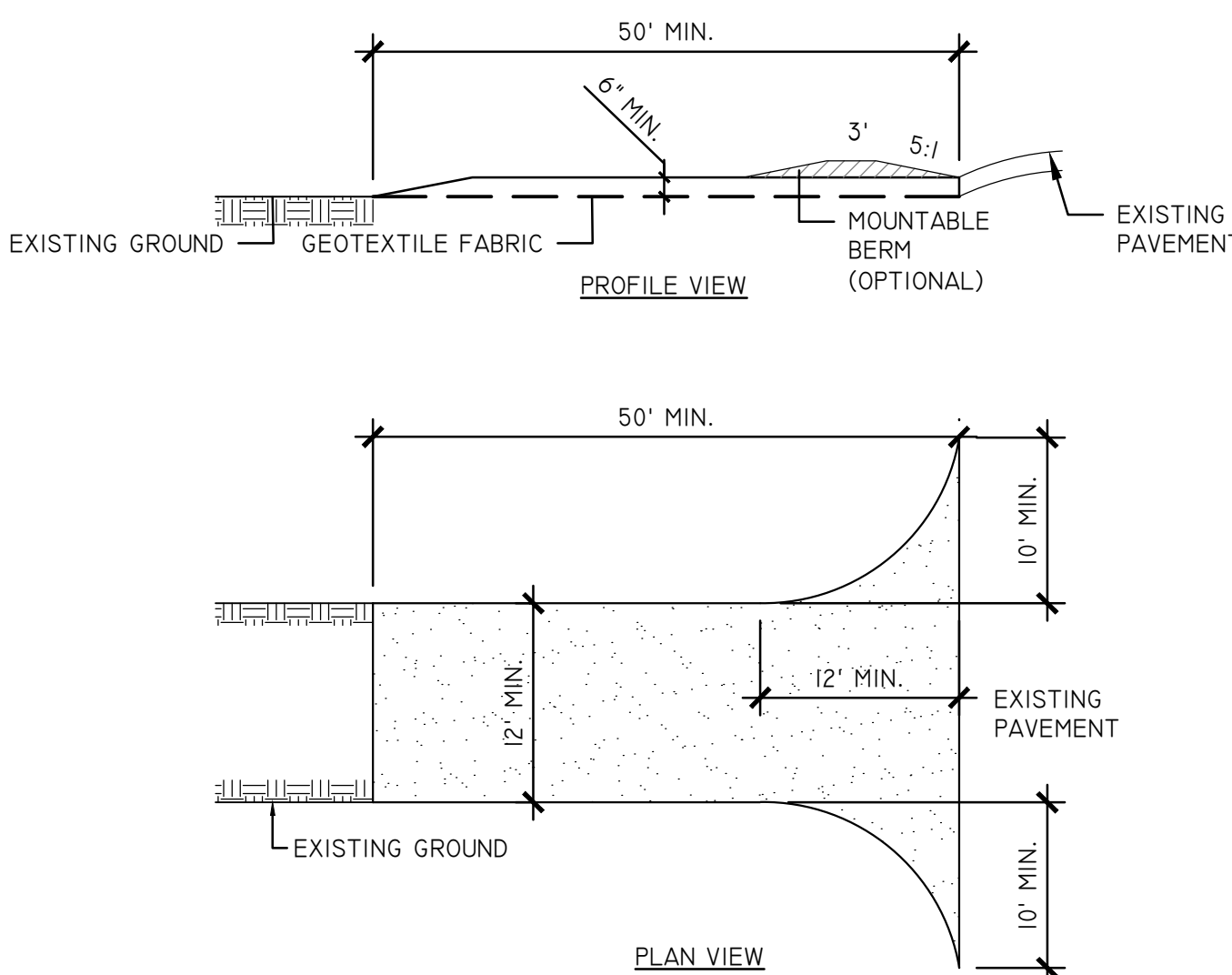


4 TOPSOIL STOCK PILE DETAIL

SCALE: N.T.S.

NOTES:

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
- SILT FENCE SHALL BE PLACED 5-FEET DOWNSLOPE OF EACH PILE. UPON COMPLETION OF SOIL STOCKPILING, TOPSOIL SHALL BE STABILIZED WITH SEED AND MULCH IF NOT TO BE DISTURBED/UTILIZED WITHIN 14 DAYS.
- SEE ADDITIONAL DETAILS FOR INSTALLATION OF SILT FENCE.
- TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STOCKPILE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.

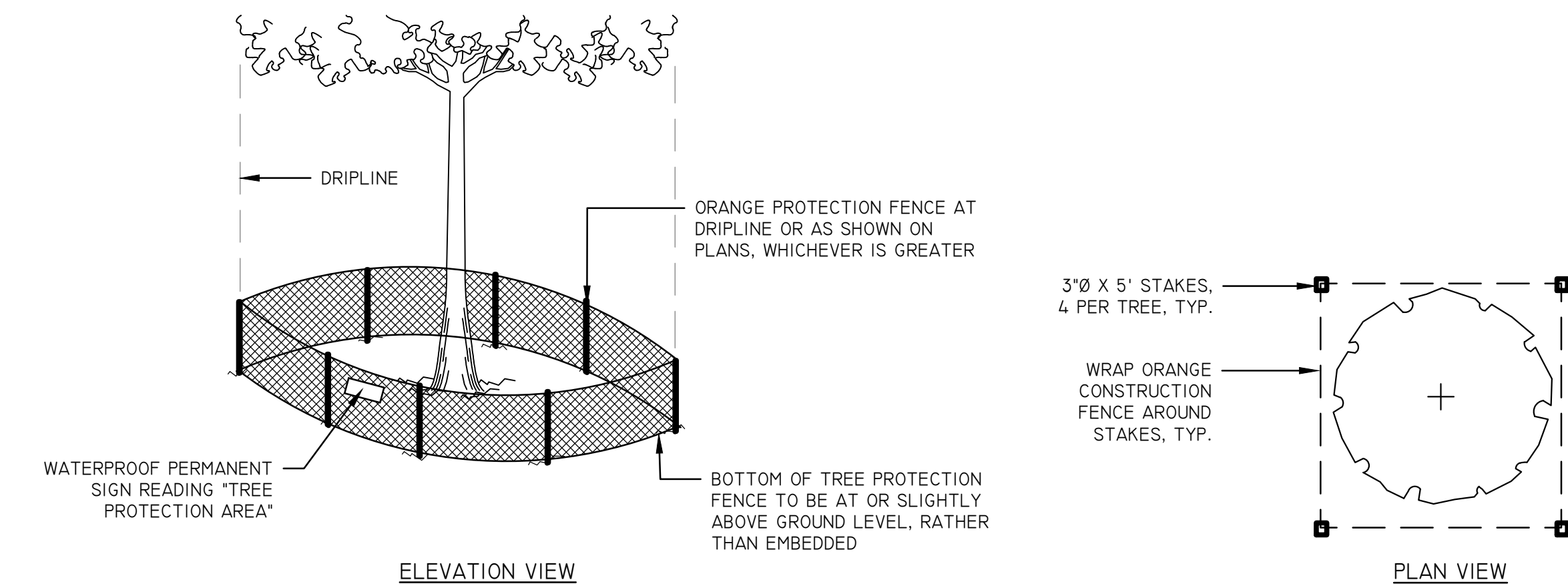


NOTE:

- STONE SIZE - USE 1" - 4" TYPE 3 STONE.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN 6".
- WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH WHERE INGRESS AND EGRESS OCCUR. 24 FEET IF SINGLE ENTRANCE TO THE SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH A 5:1 SLOPE WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SCALE: N.T.S.

2 STABILIZED CONSTRUCTION ENTRANCE DETAIL

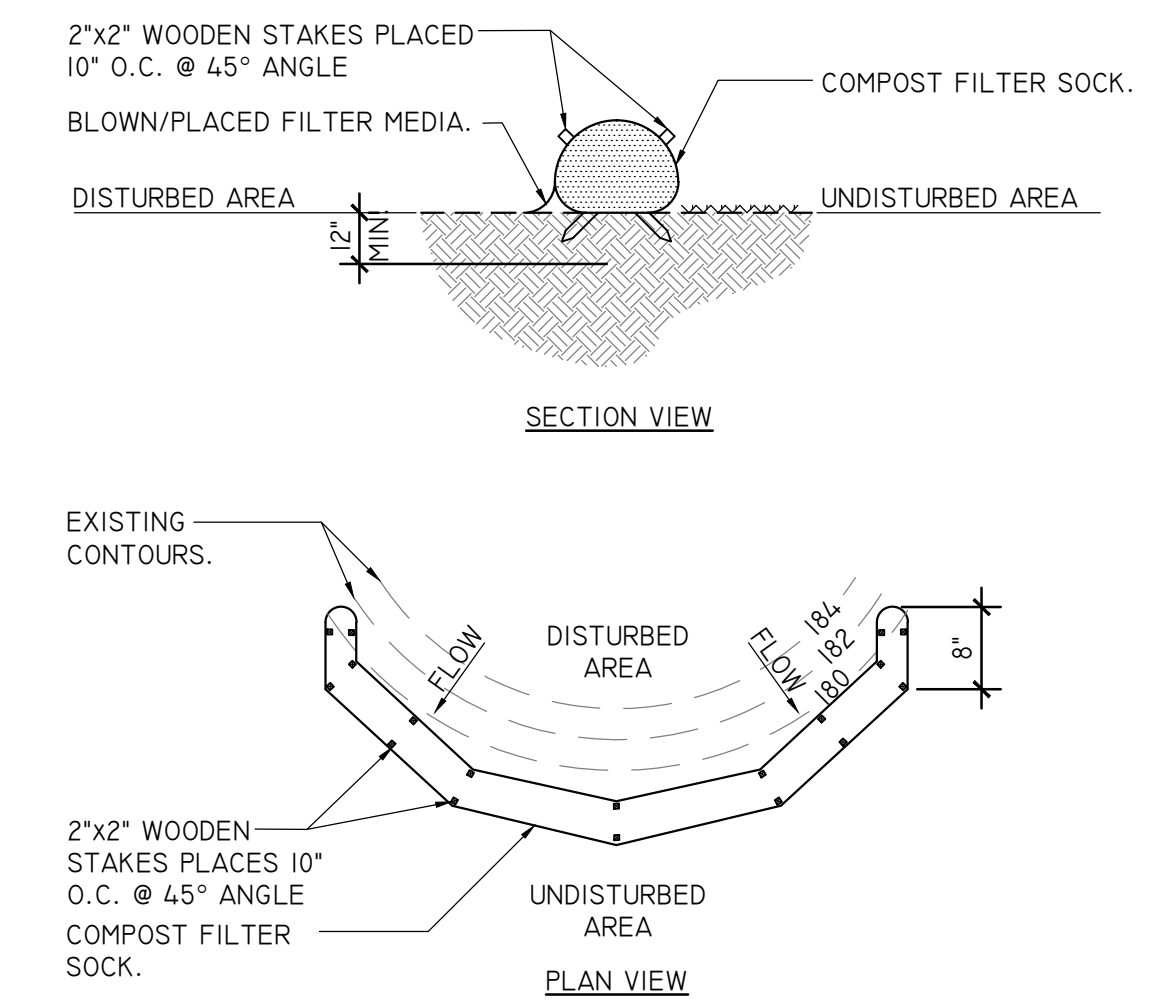


NOTES:

- NO SOIL PLACEMENT OVER EXISTING TREE AND SHRUB ROOTS. NO SOIL SHOULD BE ADDED WITHIN PROTECTED AREAS UNLESS ADDED TO ACHIEVE PROPOSED GRADES.
- NO TRENCHING IN PROTECTED AREAS. TRENCHING ACROSS THE ROOT SYSTEMS SHOULD START NO CLOSER THAN THE DRIPLINE OF THE TREE. TUNNEL UNDER ROOT SYSTEMS FOR UNDERGROUND UTILITIES SHOULD START 18 INCHES OR DEEPER BELOW THE NORMAL GROUND SURFACE. TREE ROOTS WHICH MUST BE SEVERED SHOULD BE CUT CLEAN. BACKFILL MATERIAL THAT WILL BE IN CONTACT WITH THE ROOTS SHOULD BE TOPSOIL OR A PREPARED PLANTING SOIL MIXTURE.
- CONSTRUCT STURDY FENCES, OR BARRIERS, OF WOOD, STEEL, OR OTHER PROTECTIVE MATERIAL AROUND VALUABLE VEGETATION FOR PROTECTION FROM CONSTRUCTION EQUIPMENT.
- PREVENT TALL EQUIPMENT, SUCH AS BACKHOES AND DUMP TRUCKS, FROM CONTACTING TREE BRANCHES.
- USE X-XXX FOR TREE PROTECTION LOCATIONS.

SCALE: N.T.S.

6 TREE PROTECTION DETAIL



5 SILT SOXX DETAIL

SCALE: N.T.S.

REVISIONS	DATE	DESCRIPTION
	10/19/21	REVISIONS PER VILLAGE COMMENTS
	04/29/22	NEW BUILDINGS

PREPARED FOR  
SARANAC LAKE BREWING  
COMPANY, LLC  
PO BOX 948  
LAKE PLACID, NY 12946

PROJECT  
RIVERTRAIL BEERWORKS  
DRAWING TITLE  
DEMOLITION, EROSION, AND SEDIMENT CONTROL  
DETAILS

DATE: 10/19/2021

PROJECT NO. 2101

DRAWING NO.

C-201

DWG 5 OF 9

**DRAWINGS NOT FOR CONSTRUCTION**

REVISIONS	DATE	DESCRIPTION
1	10/19/21	REVISIONS PER VILLAGE COMMENTS
2	04/28/22	NEW BUILDINGS

PREPARED FOR  
**SARANAC LAKE BREWING COMPANY, LLC**  
 PO BOX 948  
 LAKE PLACID, NY 12946

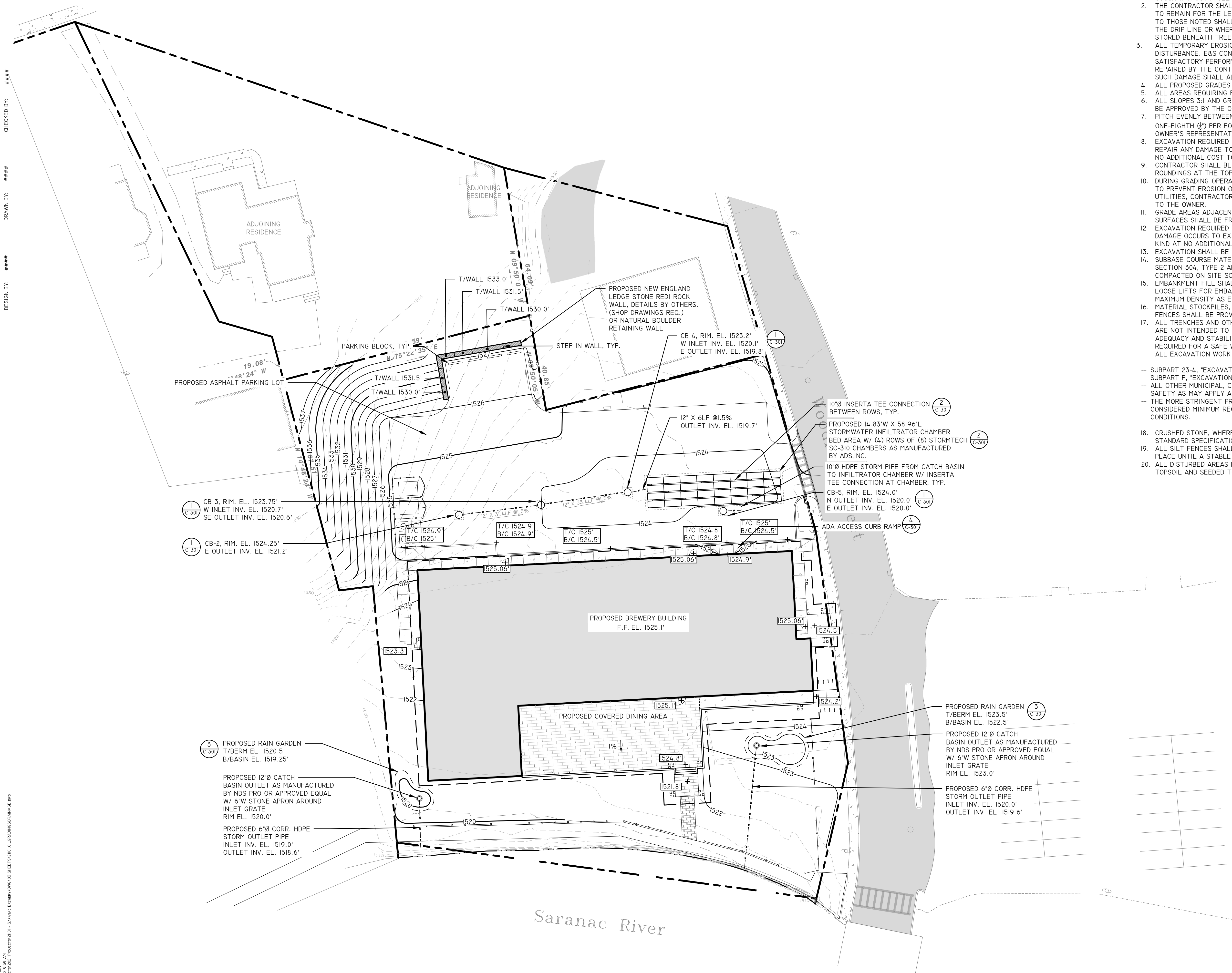
PROJECT  
**RIVERTRAIL BEERWORKS**  
 DRAWING TITLE  
**GRADING AND DRAINAGE PLAN**

PROJECT NO.  
**2101**  
 DATE: **10/19/2021**

DRAWING NO.  
**C-300**  
 DWG 6 OF 9

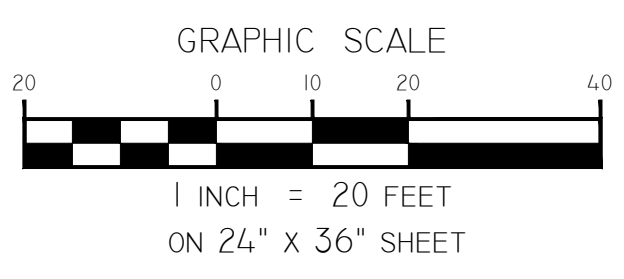
**EARTHWORK NOTES:**

- BEFORE ANY LAND CLEARING IS COMMENCED, THE CONTRACTOR SHALL ARRANGE A MEETING ON SITE WITH THE OWNER'S REPRESENTATIVE TO IDENTIFY WHICH TREES ARE TO BE PROTECTED OR REMOVED. NO CLEARING SHALL OCCUR WITHOUT A CLEAR UNDERSTANDING OF THE EXISTING CONDITIONS TO BE PRESERVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD. THE PLACEMENT OF PROTECTION DEVICES ADDITIONAL TO THOSE NOTED SHALL, HOWEVER, BE AT THE CONTRACTORS DISCRETION. VEHICLES SHALL NOT BE PARKED WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE KEPT. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE KEPT.
- ALL TEMPORARY EROSION AND SEDIMENT (E&S) CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE. E&S CONTROL DEVICES SHALL BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED TO ENSURE SATISFACTORY PERFORMANCE. ANY DAMAGE OCCURRING DURING THE COURSE OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. ASSOCIATED FINES RESULTING FROM SUCH DAMAGE SHALL ALSO BE PAID BY THE CONTRACTOR.
- ALL PROPOSED GRADES SET IN THE FIELD TO BE COMPLETED BY A NEW YORK STATE LICENSED SURVEYOR.
- ALL AREAS REQUIRING FILL SHALL BE BROUGHT TO REQUIRED GRADE IN A MAXIMUM OF 12" COMPACTED LIFTS.
- ALL SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH SLOPE STABILIZATION MATS. LOCATIONS AND METHODS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH (1/8") PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY BEFORE CONTINUING WORK.
- EXCAVATION REQUIRED WITHIN 3 FEET OF EXISTING UTILITY LINE SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING GRADE, PROVIDING VERTICAL CURVES OR ROUNDINGS AT THE TOP AND BOTTOM OF ALL SLOPES.
- DURING GRADING OPERATIONS, DRAINAGE OF THE SITE AND ADJACENT AREAS SHALL BE MAINTAINED CONTINUOUSLY TO PREVENT EROSION OR OTHER DAMAGE. WHEN IT IS NECESSARY TO INTERRUPT DRAINAGE OR OTHER EXISTING UTILITIES, CONTRACTOR IS TO PROVIDE TEMPORARY FACILITIES UNTIL PERMANENT WORK IS COMPLETED AT NO COST TO THE OWNER.
- GRADE AREAS ADJACENT TO BUILDING LINES TO DRAIN AWAY FROM STRUCTURE TO PREVENT PONDING. FINISHED SURFACES SHALL BE FREE FROM ANY ABRUPT OR IRREGULAR CHANGES.
- EXCAVATION REQUIRED WITHIN DRIP LINE OF TREES DESIGNATED TO REMAIN SHALL BE DONE BY HAND SO THAT NO DAMAGE OCCURS TO EXISTING ROOT SYSTEM. PLANT MATERIALS DAMAGED BY CONTRACTOR SHALL BE REPLACED IN KIND AT NO ADDITIONAL EXPENSE TO THE OWNER.
- EXCAVATION SHALL BE TO ELEVATIONS INDICATED WITH A TOLERANCE OF ± 1".
- SUBBASE COURSE MATERIAL SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 304, TYPE 2 AND SHALL CONFORM TO MIN 95% MODIFIED PROCTOR DENSITY. BACKFILL MATERIAL SHALL BE COMPACTED ON SITE SOIL MATERIAL.
- EMBANKMENT FILL SHALL CONFORM WITH ALL REQUIREMENTS OF NYS DOT SPEC. SECTION 203. MAXIMUM ALLOWABLE LOOSE LIFTS FOR EMBANKMENTS SHALL BE 12 INCH AND SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY AS ESTABLISHED THROUGH THE STANDARD PROCTOR COMPACTION TEST PER ASTM D698.
- MATERIAL STOCKPILES, IF REQUIRED, SHALL BE LOCATED WHOLLY WITHIN THE WORK AREA. ADDITIONAL SILT FENCES SHALL BE PROVIDED AT THE BASE OF ALL STOCKPILES AS DIRECTED IN THE FIELD BY THE ENGINEER.
- ALL TRENCHES AND OTHER EXCAVATION SIDE SLOPES INDICATED ON THE DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT INTENDED TO INDICATE A STABLE EXCAVATION SLOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY AND STABILITY OF ALL EXCAVATION SLOPES, SHEETING, SHORING, TRENCH BOXES, AND ANY OTHER MEANS REQUIRED FOR A SAFE WORK ENVIRONMENT AND FOR PROTECTION OF ADJACENT ROADWAYS AND OTHER STRUCTURES. ALL EXCAVATION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING REGULATORY AGENCIES:  
 -- SUBPART 23-4, "EXCAVATION OPERATIONS", OF NEW YORK DEPARTMENT OF LABOR INDUSTRIAL CODE RULE 23.  
 -- SUBPART P, "EXCAVATIONS" OF THE UNITED STATES DEPARTMENT OF LABOR OSHA REGULATIONS FOR CONSTRUCTION.  
 -- ALL OTHER MUNICIPAL, COUNTY, STATE OR FEDERAL AGENCIES, REGULATIONS OR LAWS PERTAINING TO EXCAVATION SAFETY AS MAY APPLY AT THE WORK SITE.  
 -- THE MORE STRINGENT PROVISION IN EACH OF THE ABOVE CODES SHALL APPLY. THESE PROVISIONS SHALL BE CONSIDERED MINIMUM REQUIREMENTS AND SHALL BE INCREASED IF NECESSARY TO PROVIDE SAFE WORKING CONDITIONS.
- CRUSHED STONE, WHERE CALLED FOR ON THE DRAWINGS, SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 703-02, SIZE DESIGNATION 2.
- ALL SILT FENCES SHALL BE INSTALLED PRIOR TO DISTURBANCE OF EXISTING SITE FINISHES AND SHALL REMAIN IN PLACE UNTIL A STABLE GROWTH OF TURF IS ESTABLISHED.
- ALL DISTURBED AREAS NOT COVERED WITH SITE IMPROVEMENTS OR LANDSCAPING SHALL BE COVERED WITH 3" OF TOPSOIL AND SEEDED TO ESTABLISH A DENSE GROWTH OF TURF.



**LEGEND**

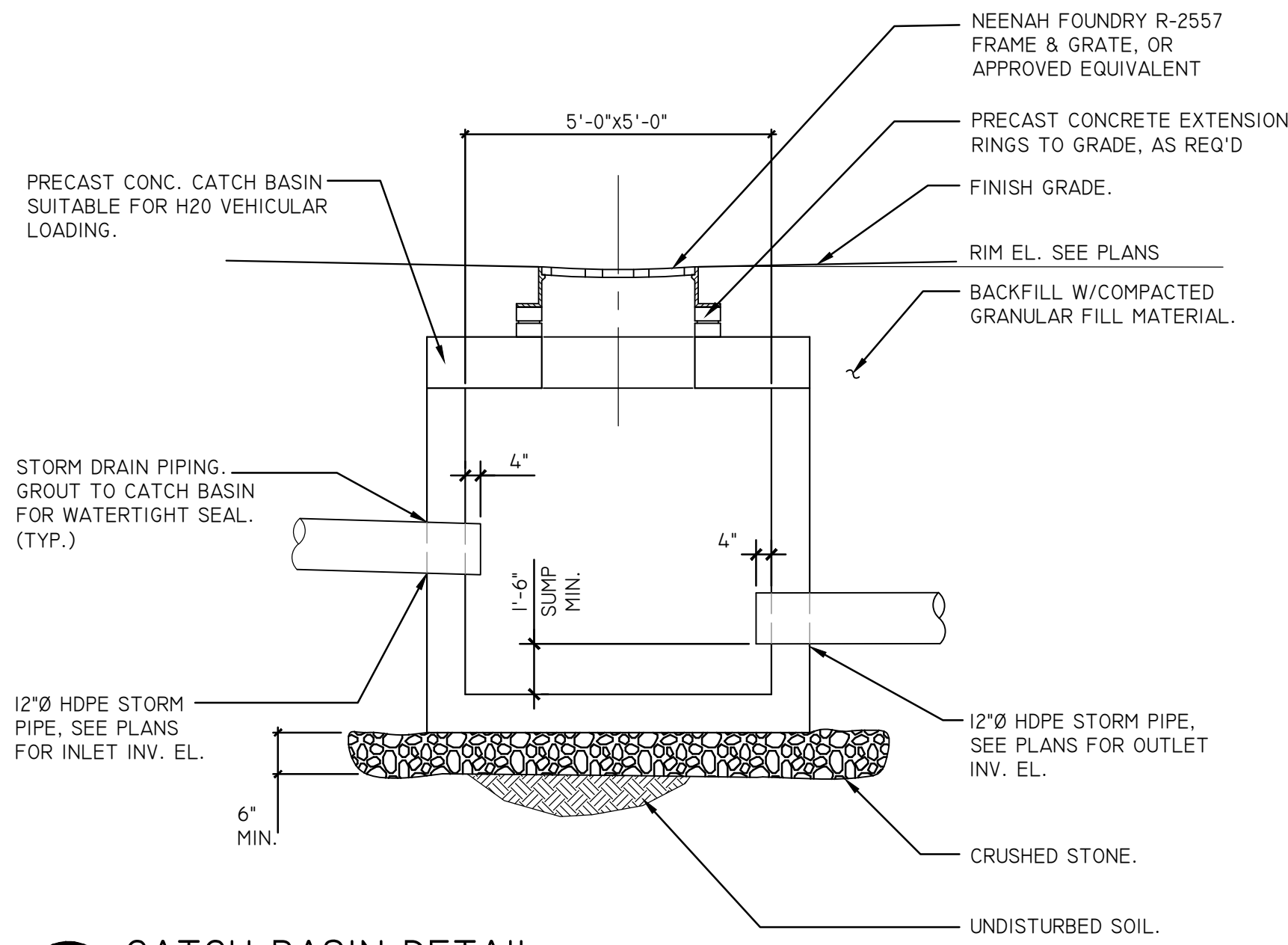
	PROPERTY LINE
	ROOF LINE
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	STORM PIPE
	PROPOSED SPOT GRADES
	PROPOSED RAIN GARDEN
	PROPOSED SITE WALL
	TOP OF CURB EL. BOTTOM OF CURB EL.



MAP REFERENCE:  
 "MAP OF A SURVEY PREPARED FOR SARANAC LAKE BREWERY COMPANY, LLC, SITUATE IN TOWNSHIP 21, GREAT TRACT ONE, MACHOP'S PURCHASE, VILLAGE OF SARANAC LAKE, TOWN OF HARRIETSTOWN, COUNTY OF FRANKLIN, AND STATE OF NEW YORK," DATED APRIL 30, 2021 BY GEOMATICS LAND SURVEYING, PC.

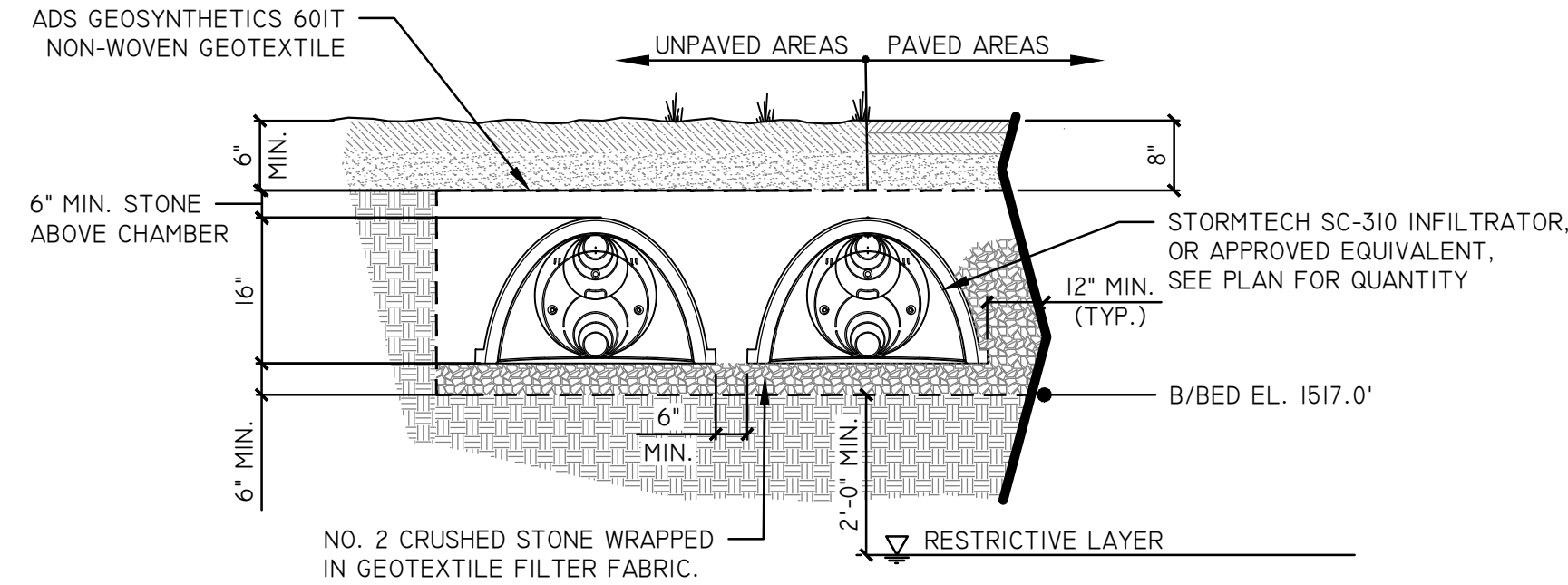
DIG SAFE NOTE:  
 THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

DESIGN BY: [Signature]  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PLOTTED BY: [Signature]  
 DATE: 10/19/2021  
 FILE NAME: 210100210001.dwg  
 PLOT DATE: 10/19/2021  
 PLOT SCALE: 1"=20'



1 CATCH BASIN DETAIL

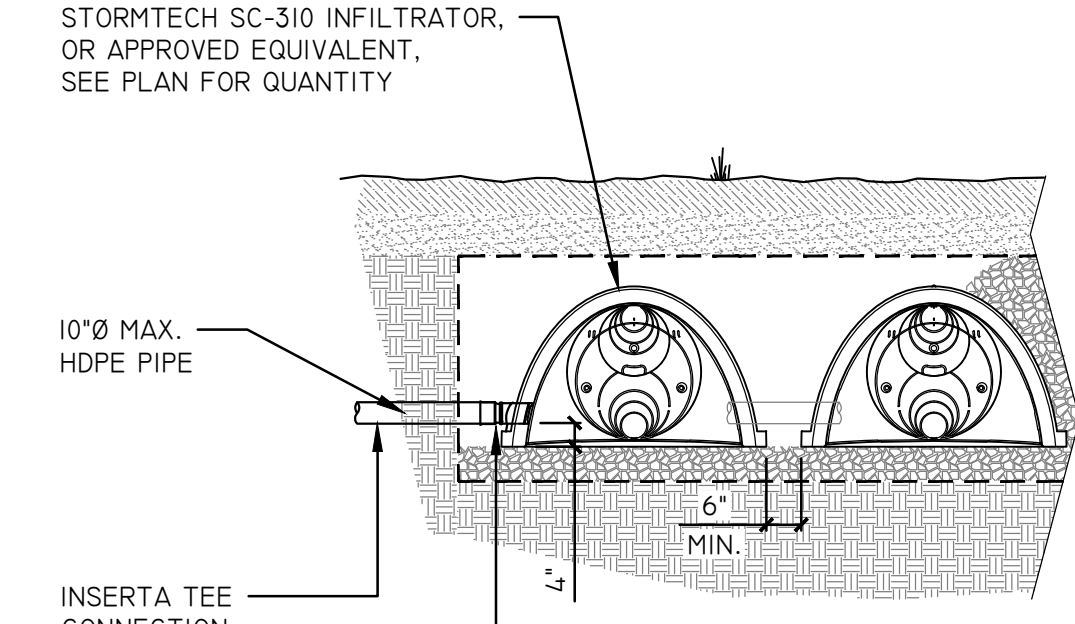
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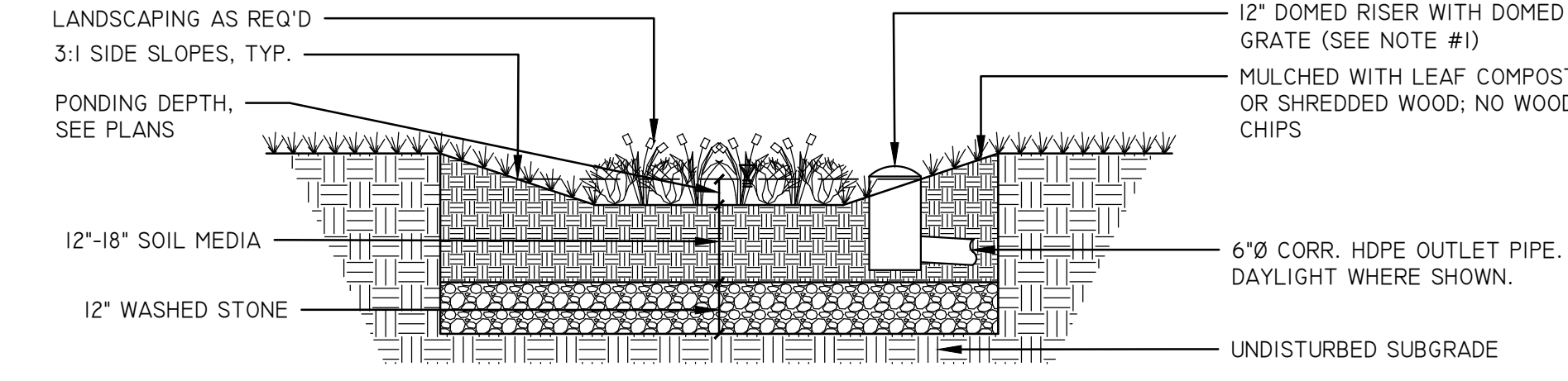
- NOTES:
1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16A, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  2. SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  3. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

2 INFILTRATOR DETAIL

SCALE: N.T.S.

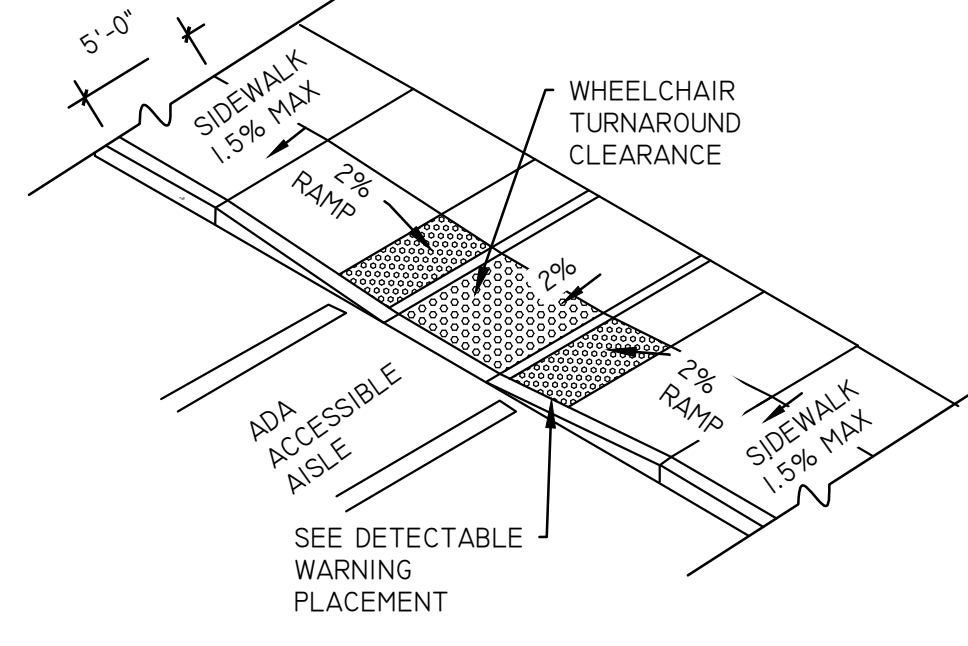


INSERTA TEE CONNECTION DETAIL



3 RAIN GARDEN DETAIL

SCALE: N.T.S.



4 ADA CURB RAMP DETAIL

SCALE: N.T.S.

- NOTES:
1. DETECTABLE TEXTURE WARNING TO BE IN THE FORM OF DOMES AS SPECIFIED ON NYSDOT STANDARD SHEET 608-01.
  2. CROSSWALK MARKINGS SHALL BE WHITE AND SHALL BE IN ACCORDANCE WITH NYSDOT STANDARD SHEET 685-01.

REVISIONS	DATE	DESCRIPTION
1	10/19/21	REVISIONS PER VILLAGE COMMENTS
2	04/28/22	NEW BUILDINGS

PREPARED FOR  
SARANAC LAKE BREWING  
COMPANY, LLC  
PO BOX 948  
LAKE PLACID, NY 12946

PROJECT  
RIVERTRAIL BEERWORKS  
DRAWING TITLE  
GRADING AND DRAINAGE DETAILS

DATE: 10/19/2021

PROJECT NO.  
21101

DRAWING NO.  
C-301

DWG 7 OF 9



REVISIONS	DATE	DESCRIPTION
	10/19/21	REVISIONS PER VILLAGE COMMENTS
	04/28/22	NEW BUILDINGS

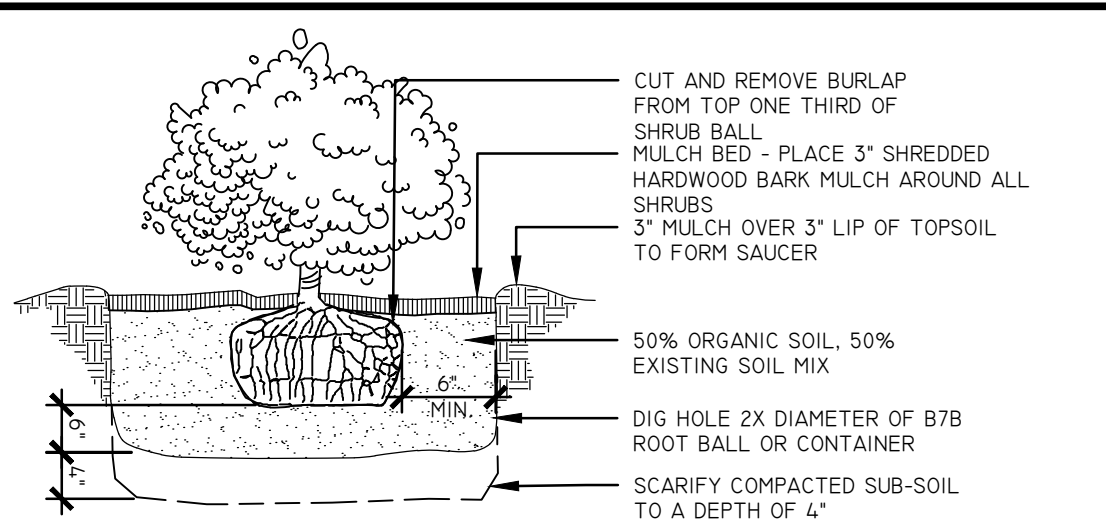
PREPARED FOR  
SARANAC LAKE BREWING COMPANY, LLC  
PO BOX 948  
LAKE PLACID, NY 12946

PROJECT  
RIVERTRAIL BEERWORKS  
DRAWING TITLE  
PLANTING PLAN AND DETAILS  
DATE: 10/19/2021  
PROJECT NO.  
2101  
DRAWING NO.  
C-400  
DWG 8 OF 9

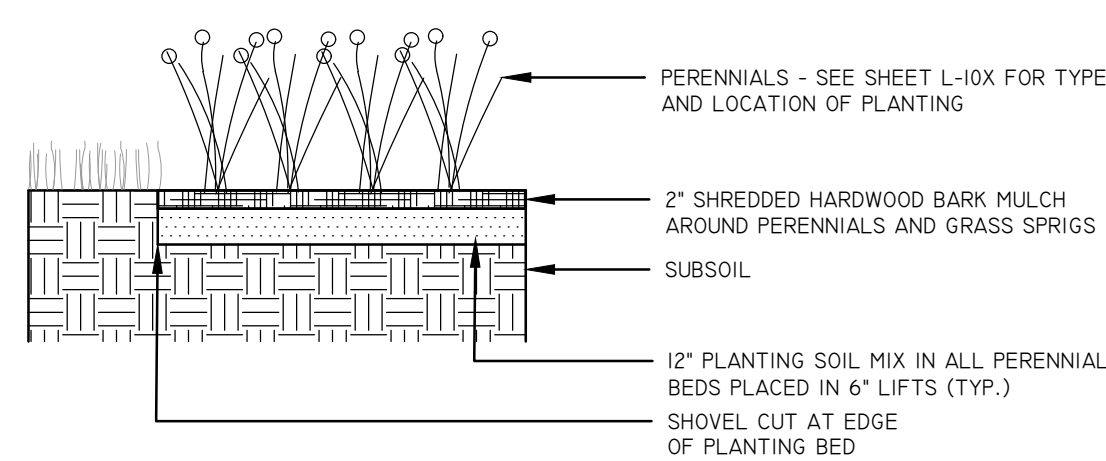
PLANTING NOTES:

- ALL PLANT BEDS TO BE MULCHED WITH 4" DEEP BROWN HARDWOOD MULCH, UNLESS OTHERWISE NOTED ON THE PLANS.
- PRIOR TO PLANTING, CONTRACTOR SHALL LOCATE, VERIFY, AND REPORT ANY CONFLICTS OF EXISTING UTILITY LINES TO THE LANDSCAPE ARCHITECT.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMAL GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL BE OF SPECIMEN QUALITY UNLESS APPROVED OTHERWISE BY DIRECTOR'S REPRESENTATIVE.
- WRITTEN APPROVAL IS REQUIRED FROM LANDSCAPE ARCHITECT OF ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL. CHANGED PLANTS SHALL BE EQUIVALENT FORM, HEIGHT, FLOWER, COLOR, LEAF, SIZE, BRANCHING, CULTURE AND FRUIT.
- A MINIMUM OF 6" OF SUITABLE TOPSOIL IS REQUIRED IN AREAS WITH PROPOSED LAWN SEEDING PRIOR TO SEEDING.
- PRIOR TO COMMENCEMENT OF PLANTING, STAKE LOCATION OF ALL PLANTINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
- SCHEDULE DELIVERY OF PLANTS ONLY IN REASONABLE TIME AS TO WHEN THEY CAN BE INSTALLED. PLANTS TO BE INSPECTED BY LANDSCAPE ARCHITECT AT DELIVERY.
- MAINTENANCE TO BEGIN IMMEDIATELY FOLLOWING INSTALLATION OF PLANT MATERIALS AND LAWN UNTIL FINAL ACCEPTANCE.
- TREES SHALL NOT BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BE PLANTED 3" HIGHER THAN PREVIOUS GRADE. SHRUBS AND GROUND COVER SHALL BE PLANTED AS THE SAME RELATIONSHIP TO GRADE AS PREVIOUS GRADE.
- PLANT MATERIAL QUANTITIES TO BE PROVIDED BY CONTRACTOR AS SHOWN ON DRAWINGS.
- UNLESS NOTED ON PLANT LIST, PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- FOR SEEDING OF DISTURBED AREAS USE SPECIFIED MIX FOR DESIGNATED AREA OR APPROVED EQUAL APPROVED BY LANDSCAPE ARCHITECT.

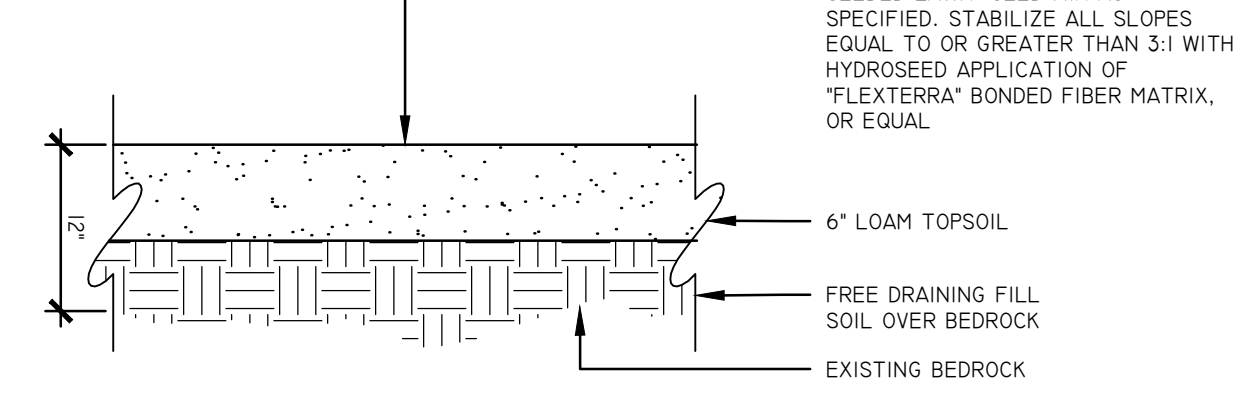
PLANTING SCHEDULE						
KEY	QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
<b>TREES</b>						
JV	14	+	JUNIPERUS VIRGINIANA 'CANAERTII'	'CANAERTII' RED CEDAR	8-10' HT	SINGLE STEMMED
<b>SHRUBS</b>						
CA	8	⊙	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERWEET	3 GAL. CONT.	36" O.C.
HP	26	⊙	HYDRANGEA PANICULATA 'ZINFIN DOLL'	'ZINFIN DOLL' PANICLE HYDRANGEA	3 GAL.	36" O.C.
<b>PERENNIALS / GRASSES / SEDGES</b>						
AM	39	⊙	ACHILLEA MILLIFOLIUM 'TERRACOTTA'	TERRACOTTA YARROW	1 GAL.	18" O.C.
AF	68	⊙	AGASTACHE FOENICULUM	ANISE HYSSOP	1 GAL.	14" O.C.
AC	196	⊙	ASTILBE CHINENSIS 'VISION IN WHITE'	VISION IN WHITE ASILBE	1 GAL.	18" O.C.
CP	66	⊙	COMPTONIA PEREGRINA	SWEET FERN	1 GAL.	48" O.C.
DP	9	⊙	DENNSTAEDTIA PUNCTILOBA	HAY SCENTED FERN	1 GAL.	
EPU	24	⊙	EUPATOREUM PURPUREUM 'GATEWAY'	'GATEWAY' JOE PYE WEED	1 GAL.	24" O.C.
LS	59	⊙	LIATRIS SPICATA 'FLORISTAN WHITE'	'FLORISTAN WHITE' BLAZING STAR	1 GAL.	14" O.C.
MG	53	⊙	MONARDA 'GARDENVIEW SCARLET'	'GARDENVIEW SCARLET' BEEBALM	1 GAL.	18" O.C.
NF	19	⊙	NEPETA X FAASSENII	WALKER'S LOW CATMINT	1 GAL.	30" O.C.
PV	49	⊙	PANICUM VIRGATUM 'SQUAW'	'SQUAW' SWITCHGRASS	2 GAL.	30" O.C.
RH	38	⊙	RUDIBECKIA HIRTA 'INDIAN SUMMER'	'INDIAN SUMMER' BLACK EYED SUSAN	1 GAL.	18" O.C.



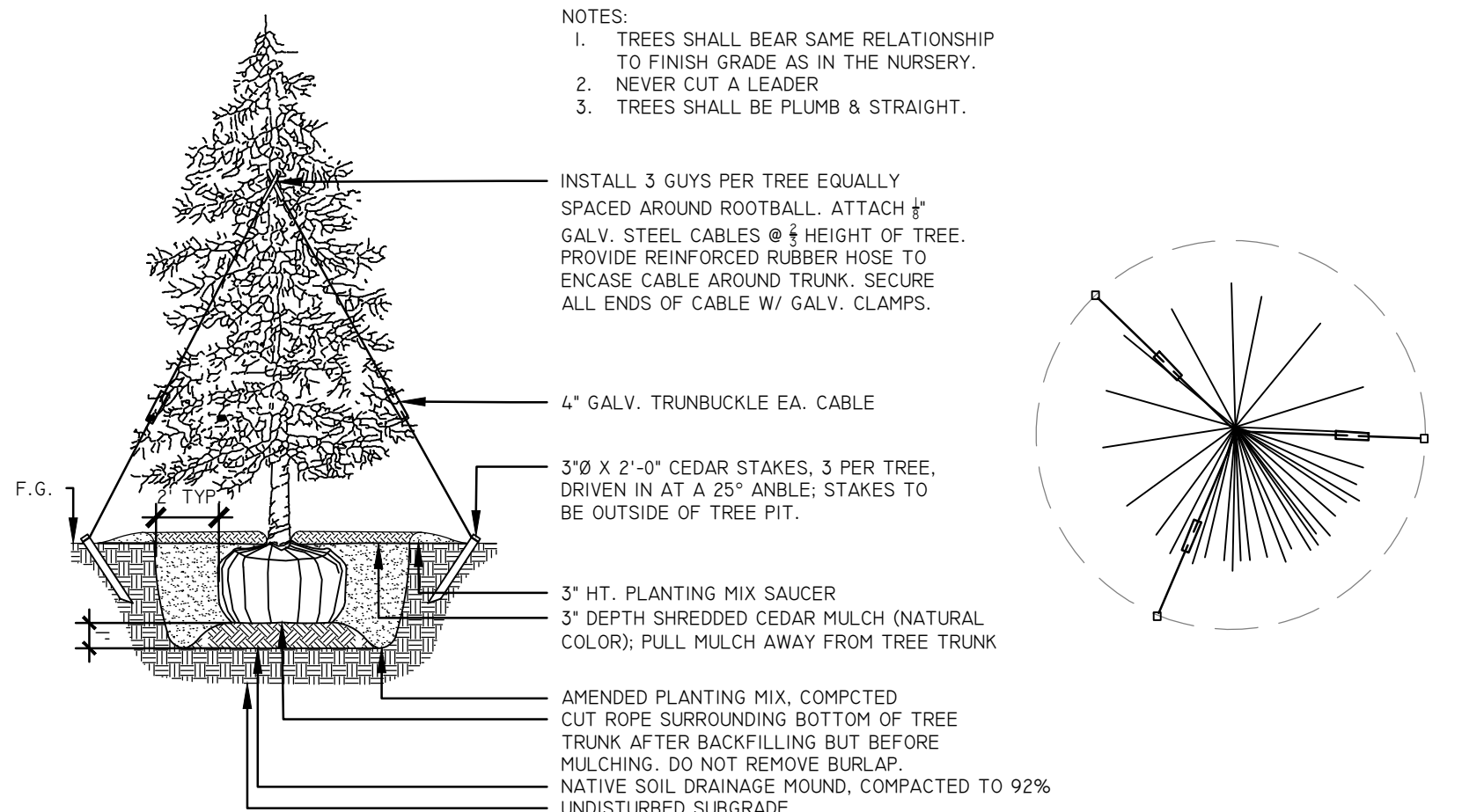
2 BALLED & BURLAPPED (B&B) DETAIL SCALE: N.T.S.



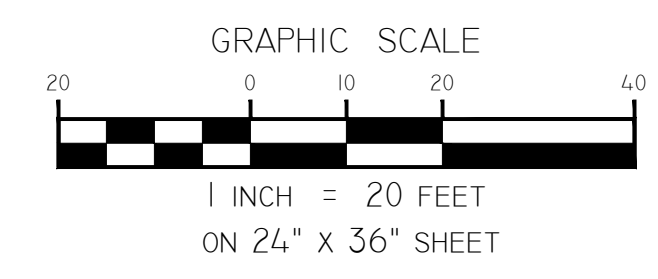
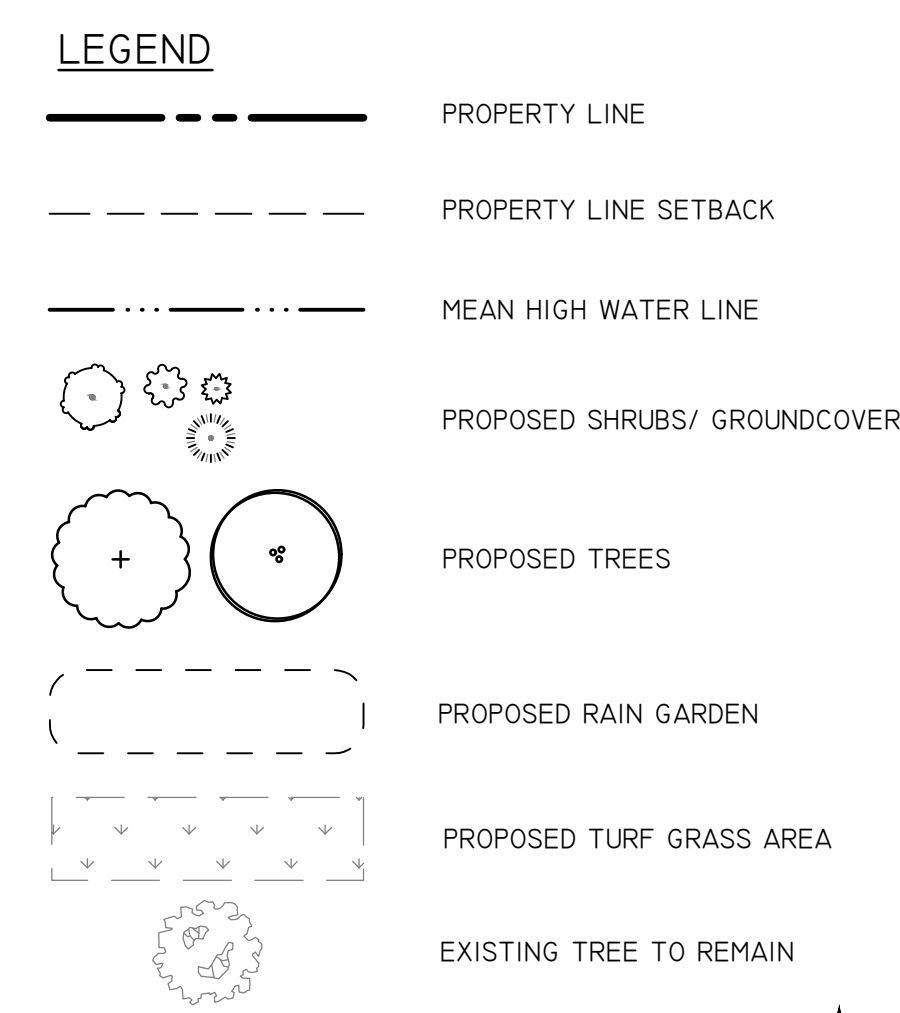
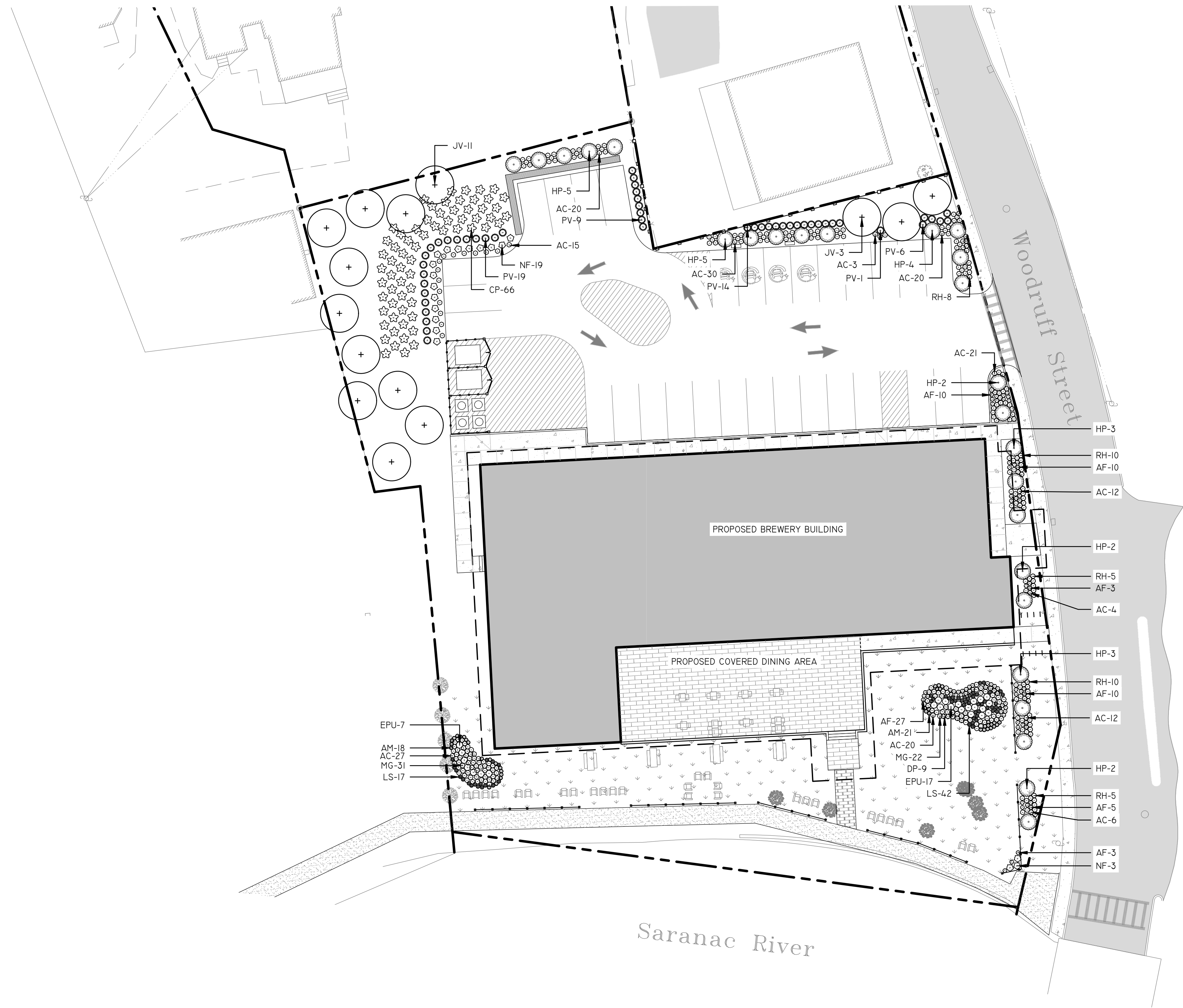
3 PERENNIAL & GRASS PLANTING DETAIL SCALE: N.T.S.



4 SEEDING AREA DETAIL SCALE: N.T.S.



1 EVERGREEN TREE PLANTING DETAIL SCALE: N.T.S.



MAP REFERENCE:  
MAP OF A SURVEY PREPARED FOR SARANAC LAKE BREWING COMPANY, LLC, SITUATE IN TOWNSHIP 21, GREAT TRACT ONE, MACOMB'S PURCHASE, VILLAGE OF SARANAC LAKE, TOWN OF HARRIETSTOWN, COUNTY OF FRANKLIN, AND STATE OF NEW YORK, DATED APRIL 30, 2021 BY GEOMATICS LAND SURVEYING, P.C.

DIG SAFE NOTE:  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

DESIGN BY: AC/AIN  
DRAWN BY: JLN  
CHECKED BY: AC/AIN

PLOTTED BY: CLOUGHMAN  
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PLOT NAME: 2:\Projects\2021\2101\2101-01\2101-01-01\2101-01-01-01.dwg  
PLOT SCALE: 1/8"=1'-0"

REVISIONS	DATE	DESCRIPTION
	10/19/21	REVISIONS PER VILLAGE COMMENTS
	04/28/22	NEW BUILDINGS

PREPARED FOR  
SARANAC LAKE BREWING  
COMPANY, LLC  
PO BOX 948  
LAKE PLACID, NY 12946

PROJECT  
RIVERTRAIL BEERWORKS  
DRAWING TITLE  
SITE LIGHTING AND PHOTOMETRIC PLAN

DATE: 10/19/2021

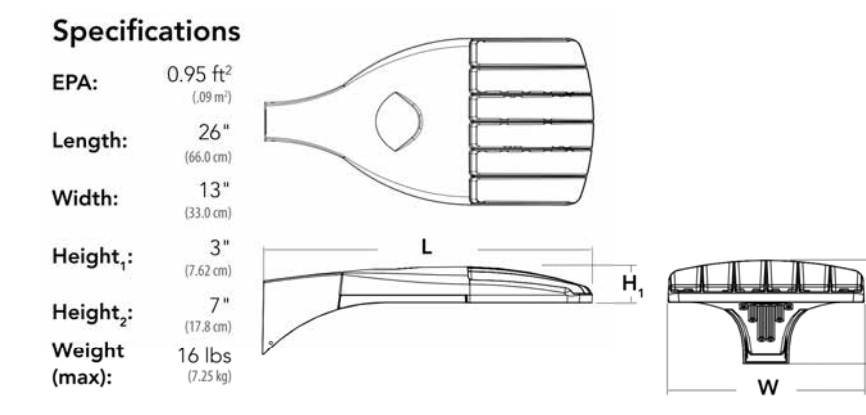
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2101

DRAWING NO.  
C-500

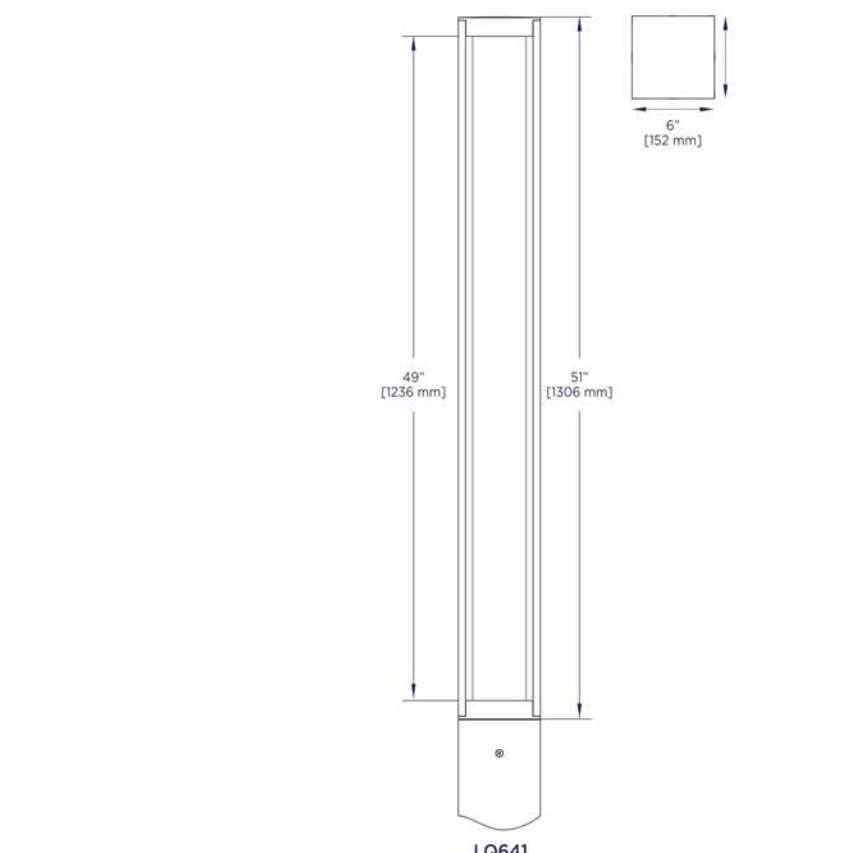
DWG 9 OF 9

SYMBOL	LABEL	QTY.	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	NUMBER LAMPS	LUMENS /LAMP	LIGHT LOSS FACTOR	WATTAGE
SI	SI	4	LITHONIA LIGHTING	DSX0 LED P2 30K BLC MVOLT	DSX0 LED P2 30K BLC MVOLT	1	4572	0.9	49
CLI	CLI	5	LUMINIS CANADA INC.	LQ641-LIL15-R5 MOD TO 3000K CCT	LUMIQUAD 6IN	1	1619	0.8	16.4
BLI	BLI	11	LUMINIS CANADA INC.	LQ627-LIL20-R5 MOD TO 3000K CCT	LUMIQUAD 6IN	1	2140	0.8	22.7
WLI-2	WLI-2	14	SPECTRUM LIGHTING	WS1210LW ISL 30K DSIOX TF2 CPI04 PA23	WAREHOUSE SHADE 12" NOM. DIAM X 11" H	1	1165	0.9	10

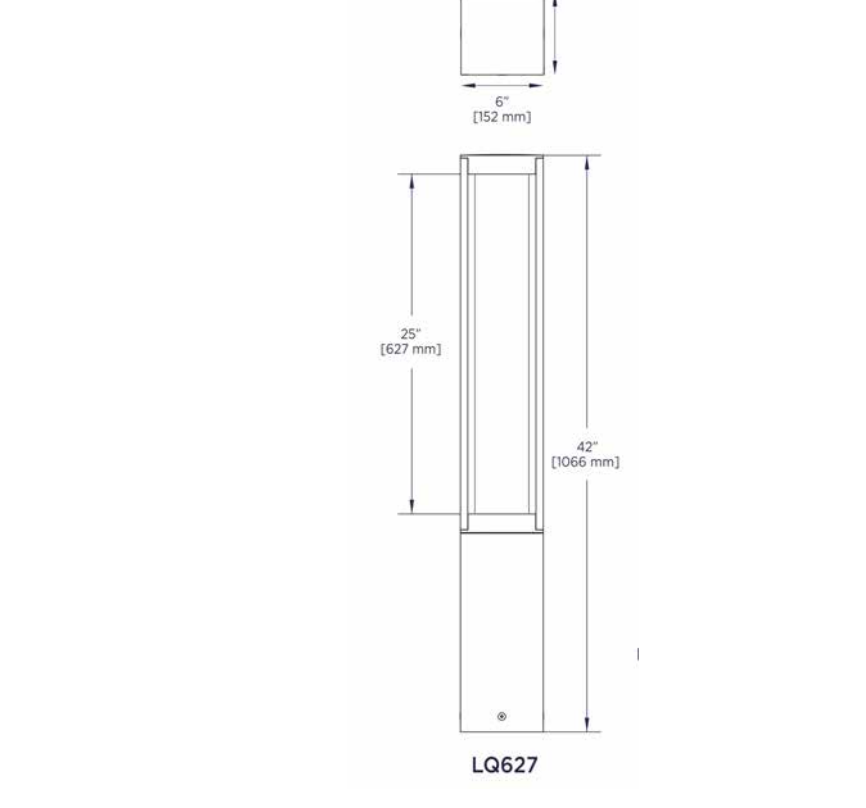
STATISTICS				
DESCRIPTION	SYMBOL	AVG	MAX	MIN
PARKING LOT	+	0.9 FC	5.6 FC	0.0 FC
WALKWAYS AND PATIO AREA	+	1.6 FC	20.3 FC	0.0 FC



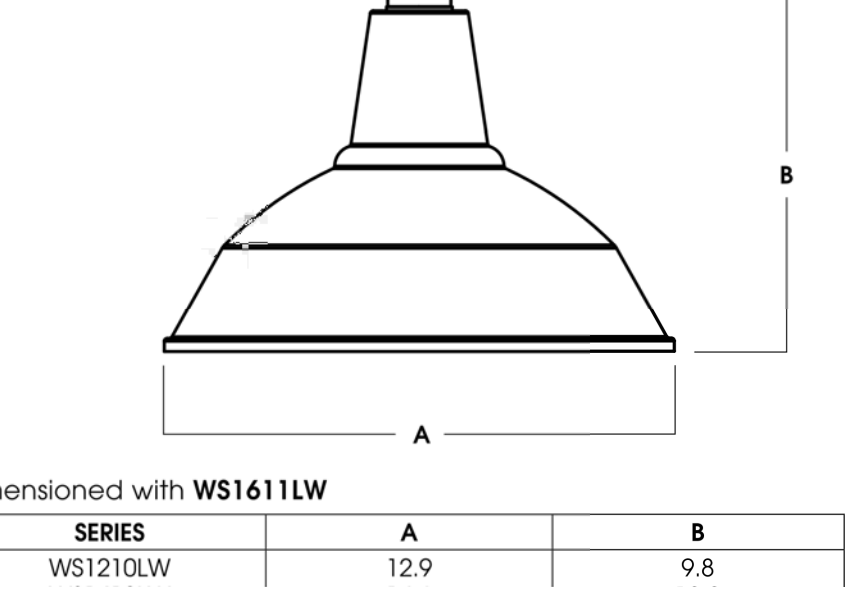
SI DSX0  
SEE ATTACHED PROJECT SHEETS | SCALE: N.T.S.



CLI LQ641  
SEE ATTACHED PROJECT SHEETS | SCALE: N.T.S.



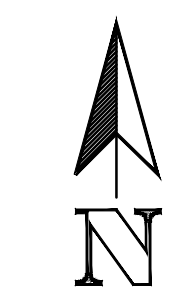
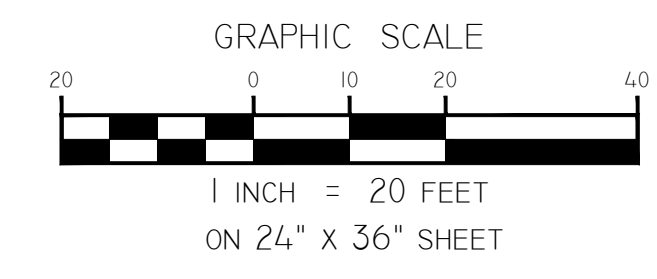
BLI LQ627  
SEE ATTACHED PROJECT SHEETS | SCALE: N.T.S.



WL WAREHOUSE SHADE  
SEE ATTACHED PROJECT SHEETS | SCALE: N.T.S.

Dimensioned with WS1611LW

SERIES	A	B
WS1210LW	12.9	9.8



MAP REFERENCE:  
MAP OF A SURVEY PREPARED FOR SARANAC LAKE BREWING COMPANY, LLC, SITUATE IN TOWNSHIP 21, GREAT TRACT ONE, HACHO'S PURCHASE, VILLAGE OF SARANAC LAKE, TOWN OF HARRIETSTOWN, COUNTY OF FRANKLIN, AND STATE OF NEW YORK, DATED APRIL 30, 2021 BY GEOMATICS LAND SURVEYING, PC.

DIG SAFE NOTE:  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

