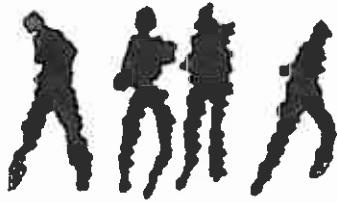


The Saranac River Walk

A Conceptual Plan for River Access





THE SARANAC RIVER WALK

CREDITS

A Conceptual Plan for River Access

Prepared for:

The Village of Saranac Lake, N.Y.
and the River Corridor Commission
October, 1992

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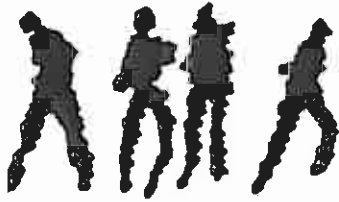
Thanks also to James W. Tinney, Regional Landscape Architect, NYSDOT for design coordination with the Lapan Highway Landscape Plan.

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INTRODUCTION

This study was initiated in May of 1992 by the Village of Saranac Lake and the River Corridor Commission to reexamine the Saranac River's "place" in the landscape of this Adirondack village. Using the master plan developed in 1909 by **Edward Clark Whiting**, Landscape Architect then connected with the firm of **Olmsted Brothers**, the project set out to reevaluate the role of the river in the redevelopment of the village and to update as necessary the changing attitudes about municipal rivers that have occurred over the past eighty years. To be sure, attitudes have changed toward the river. In the original plan, the river (and river bank) was seen primarily as a service area, a place behind the buildings of Main Street where storage and "unsightly" materials would be stock-piled. Although the 1909 Plan encourages river bank acquisition for engineering purposes and future parkway development, it on the whole relegates the river to the "back yard" of the village and out of sight to the public.

Today, however, the river is viewed with a much wider vision and our study identified a number of new opportunities for river corridor development. The overall theme for the design provides for a mixed-use redevelopment of the river corridor that includes both recreation and restored commercial development. The central organizing feature will be a 1.5 mile linear park that aligns north and south through the village linking existing commercial, residential and recreational areas. The system will connect a number of small pocket parks maintained by the VIS (Village Improvement Society) in a manner similar to the *Emerald Necklace* of the Boston Park System. Linking the VIS parks broadens the spatial character of an otherwise linear system and creates a richer and more interesting landscape experience.

Commercial redevelopment will focus on the "back side" of existing main street businesses that now "front" on the River Walk. It is anticipated that improved facilities such as more efficient parking, improved pedestrian access between the river and Main Street and a horticulturally rich setting will increase pedestrian traffic and thereby encourage new commercial activity. Specific design recommendations will focus on improved facade design for existing buildings, public access, parking and auto circulation.

In addition to restorative efforts to existing structures, the plan also identifies opportunities for new development and specifically identifies an opportunity for a small theater/performing arts pro-



gram. Such a program would provide an important complimentary use within the commercial fabric of the village and boost commercial traffic.

This plan offers a new vision for the river and embraces it as a valuable asset for commercial and recreation redevelopment. But the plan goes further. It suggests a new definition for the river itself. It is no longer "at the service" of the village but has an important identity of its own as natural water course and should rightfully take its place as a significant entity in the landscape of Saranac Lake.

-Dudley C. Breed Jr., Project Landscape Architect
October, 1992



CONCEPT

The River Walk Conceptual Plan establishes a pedestrian path along a 1.5 mile segment of the Saranac River as it runs north through the heart of the Village of Saranac Lake. The River Walk begins, fittingly, at the beginning of the river - the Lake Flower impoundment dam at Main and State Route 3. From there the path moves downstream, traversing the river bed as necessary to connect available parcels of public land and private easements through the Village to Woodruff Street. Here the path takes a small detour to connect to the abandoned railroad ROW and follows the rail bed north, over the trestle to East Main Street, Pine Street, and terminates at Denny Park, the elegant VIS park.

The alignment suggested in this concept plan causes the path to traverse a wide variety of riverine habitats, cultural landscapes, historic sites and private parks. What results is a linear park that embraces not only recreation assets but also incorporates commercial development, historic interpretation and cultural assets. It is a system rich in landscape settings, visual imagery and seasonal interest.

In addition to establishing a fully integrated (and accessible) path system through the Village, the concept also employs a number of landscape themes that help broaden the linear park experience. Landscape design themes include:



Access to Village Improvement Society Parks

As mentioned in the introduction, the River Walk would connect and provide access to a number of small parks owned and maintained by the Village Improvement Society (VIS). These parks, which currently exist as small, enclosed gardens throughout the Village, would, by virtue of location, provide an interesting counterpoint to the otherwise linear flow of the walkway. They would serve much like eddies in the river stream - providing a pleasant sitting area adjacent to but out of the general flow of passersby. Here, walkers could find a bench, shady lawn area and a garden to admire while moving along the river.

The parks would certainly stay under the control of the VIS and would require no changes to design or maintenance other than that desired by the park caretakers. The parks would be the "emeralds on the necklace," to borrow a phrase describing the Boston Park System.



Adirondack Arboretum

Building on the variety of habitats found along the river, there exists a unique opportunity to establish an arboretum of Adirondack plants as a planting theme for the River Walk. An arboretum by definition is a botanic collection of plant materials that naturally associate with a particular climate, microclimate or landscape setting. The collection would represent species and varieties of plants that are well adapted to the Adirondack climate in general and to the myriad of micro climates associated with the River Walk. Their cultivation would not only serve the general interest of landscape planting, offering flower, form, texture and fall color displays, but would also serve various horticultural and scientific interests such as hardiness, culture requirements and landscape usefulness.

This theme would also tie in nicely with the objectives established by the VIS for their parks and their incorporation into the river walk system.



Commercial and Cultural Connections

The River Walk, by virtue of location, opens up an exciting but otherwise unused landscape within the Village - the backyard, the land behind the commercial row of Main and Broadway - and in so doing, creates an opportunity for new and rehabilitated commercial and cultural development. The concept plan acknowledges this opportunity by suggesting that the backsides of existing Main Street businesses could become important public access sites for business and that a new enterprises might be established in a public/private partnership of riverfront lands. Suggested is the potential for a new theater/cafe/restaurant adjacent to the municipal parking lot (see Esplanade plan).

Other plan provisions include enhanced walk connections with identifying signs to Main Street and Broadway from the walk and parking area (see also Esplanade plan); and the incorporation of Berkeley Square into the River Walk system (see Berkeley Link).



Anchor Points

Rather than allow the River Walk to arbitrarily begin or end, we felt that the River Walk, as a new landscape entity, would be better established within the fabric of the village and along the course of the river if well defined terminus points were developed. This theme would include a more formal entry structure such as an ornamental gateway or pergola (arbor or trellis-like structure with

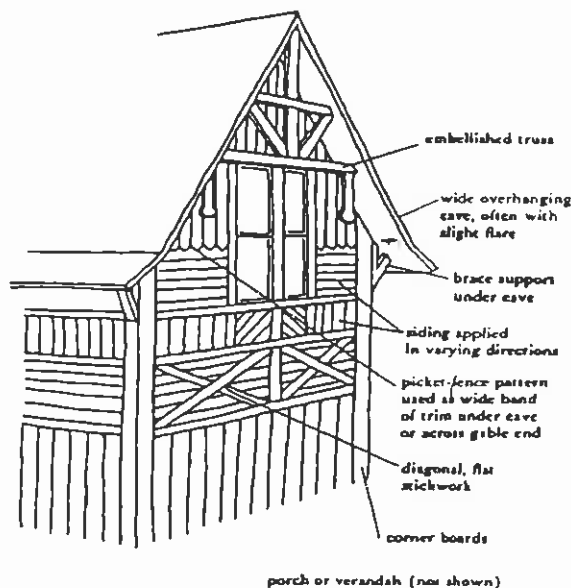
open, overhead structure) to mark the entrance into the river corridor system. Other special site amenities such as an orientation map, information kiosk and parking area for out-of-town visitors would be developed. Anchor points for the River Walk are located at the Paul Smith's Power and Light Building at the south and the Denny Park at the north.



Structures in the "Stick" Style

The concept plan calls for a number of landscape structures to help facilitate walkway layout and to establish a distinctive landscape character for the River Walk. Structures include pedestrian bridges, boardwalks, shelters, gateways and fences. In an effort to establish a unified style for these landscape architectural elements and to help coordinate these new elements with the historic architectural themes represented in Saranac Lake, we selected a structural form and ornamentation pattern based primarily on a Victorian design style known as "Stick".

Stick Style was a popular residential and camp design style in the northeast in the period between 1860 - 1890. Features include, among others, a steeply pitched gabled roof with decorative trusses in the gables; exposed structural members such as rafters, beams and cross bracing; bracketed rafters and beams; and the use of shingles for siding and roofing. Structures in this style would present an image of strength and permanence but still be light enough so as not to overpower the relatively delicate nature of the pathway and plantings. We have also combined wood-stick with stone materials in a manner following the constructions of WPA projects which were prevalent throughout Saranac lake in the early 1930's.



Elements of the Stick Style
 Illustration from, *A Field Guide To American Houses*, by Virginia & Lee McAlester, page 257.



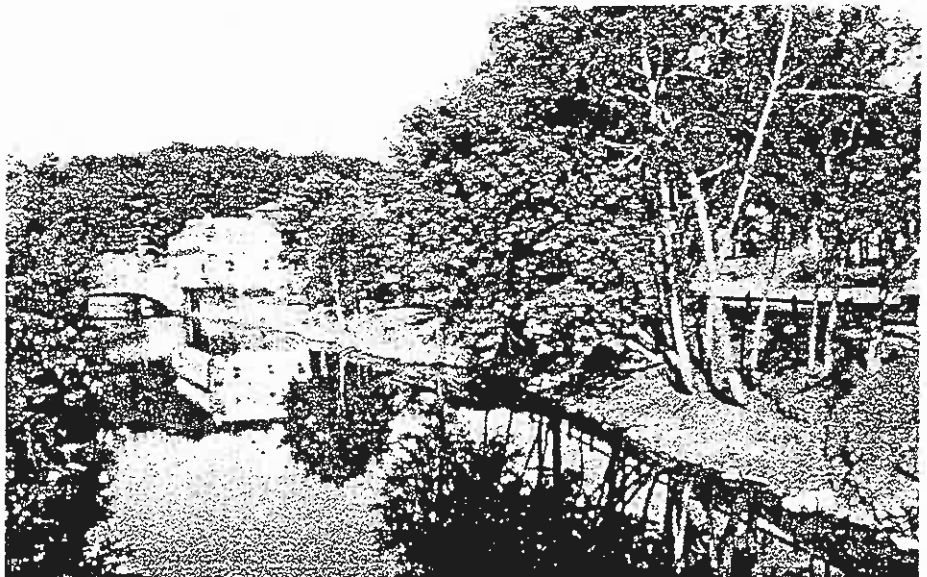
NARRATIVE

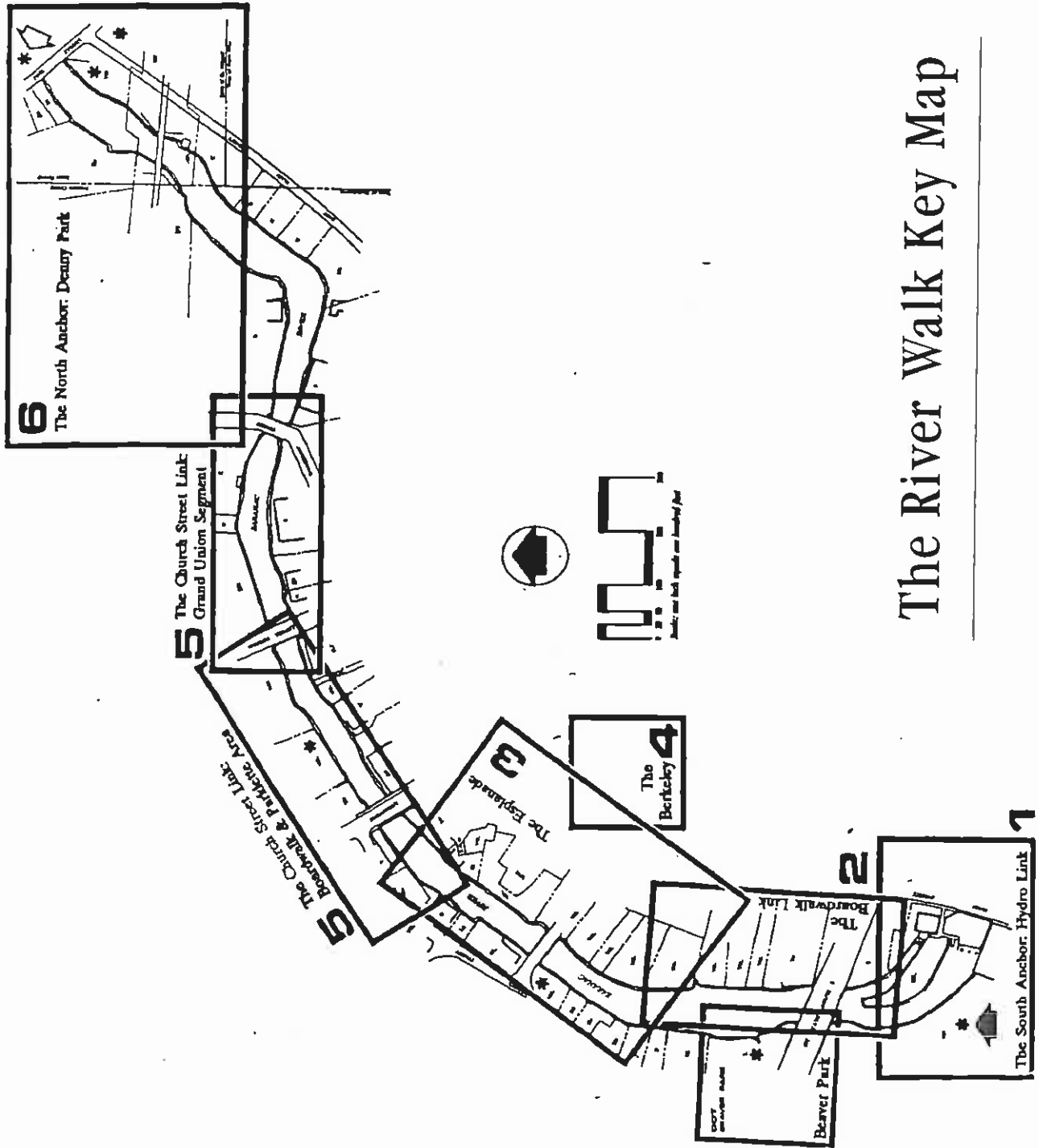
The River Walk Conceptual Plan is organized as a series of eight linkage plans illustrating designs for landscape improvements to facilitate a river walk system. The plan is presented as a narrative of the River Walk landscape beginning with the South Anchor at the Paul Smith's Power and Light Building and proceeding downstream along the river to Denny Park, the North Anchor. Sketch designs, placement details and photographs are also included to illustrate particular landscape elements.

The linkage plans are collected together as a section of 11x17 fold-out drawings and are referenced in the narrative as required. The plans include:

- No. 1: The Hydro Link / South Anchor
- No. 2: The Boardwalk Link
- No. 3: The Esplanade
- No. 4: The Berkeley Square Link
- No. 5: The Church Street Link
- No. 6: The Denny Park Link / North Anchor
- No. 7: River Walk Structures
- No. 8: NYSDOT Lapan Highway Landscape Plan

Following the narrative is a summary of preliminary cost estimates which were developed for each link as an aid in development of future implementation budgets.





The River Walk Key Map

1.

SOUTH ANCHOR

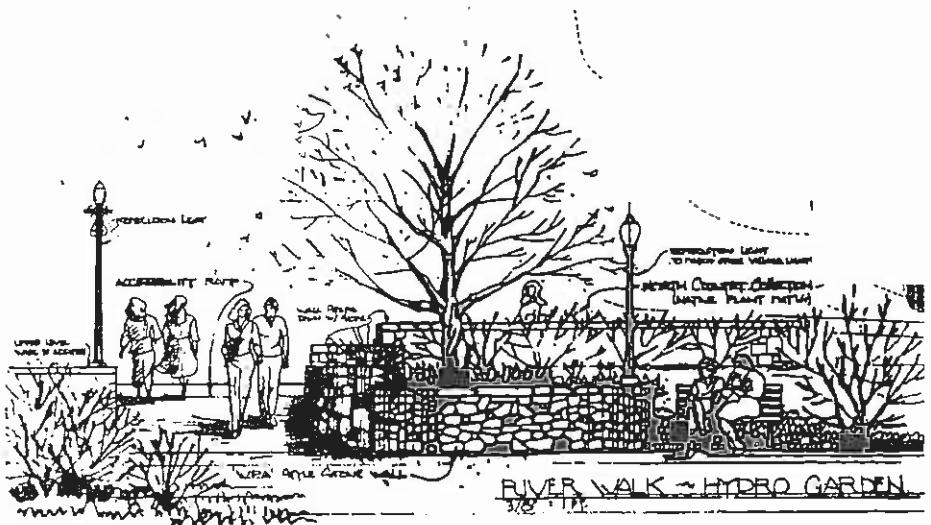
THE HYDRO LINK

The southern terminus of the River Walk is located adjacent to the Municipal Power Plant and the historic Paul Smith's Power and Light Building. Visitors can park in an expanded parking lot (34 cars) which presently serves the Village Offices and enter a plaza area along new concrete sidewalks. The plaza gently ramps down and around a garden area to the trail head - about 5 feet change in elevation. Landscape elements would include a spiral-form dry-laid stone wall (necessary for grade development); theme garden consistent with arboretum goals; specimen trees; seating wall and bench; and site lighting that includes bollard lights at the parking lot entry and standard lighting for general illumination. Lighting fixtures would continue the historic design pattern presently installed along the river at the municipal lot. See Plan No. 1.

This site is an excellent choice for the park entrance because of the variety of interests found there. The historic Paul Smith's Power and Light building greets visitors as they arrive and establishes an historical/industrial theme for the landscape. This also the place where the river begins - or at least begins once again below the Lake Flower Dam. The water here is very active as it flows over the dam and through the sluiceway from the turbine house offering motion and noise that is exciting to experience.

Once down at the trail head level, visitors have a choice to walk either along the west bank to *Beaver Park (VIS)* or cross the river via a pedestrian bridge to the main trail proposed along the east side of the river.

The Hydro Garden
View from the pedestrian bridge looking back toward the Plaza and entry ramp.





Beaver Park

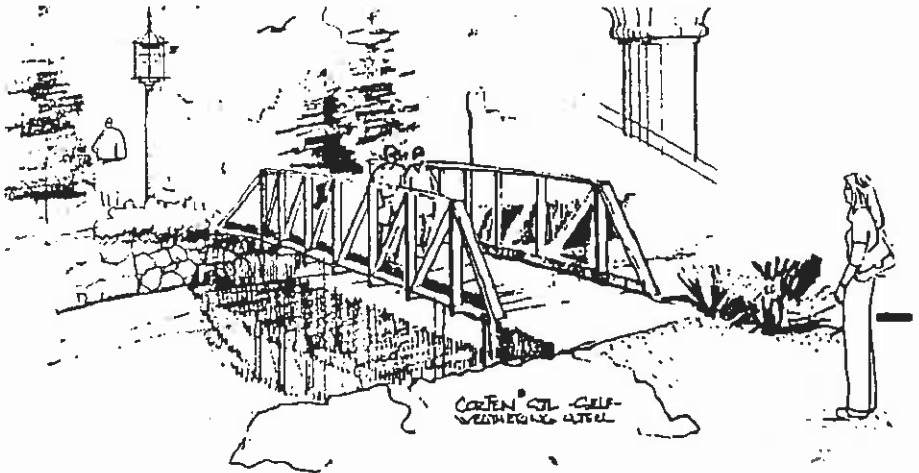
Beaver Park is the first of the VIS parks encountered along the walk. It is located just north of the State Route 3 (Lapan Highway) bridge, at the corner of NYS 3 and Dorsey Street. Although the main trail follows the east (opposite) bank, Beaver Park plays an important role as a low - bank water access point, picnic ground and a visual background space for east-bank, down stream sites. It can also serve as an important site for arboretum collections - especially for larger flowering trees and coniferous specimens.

At the time of our study, the NYSDOT was completing plans for Rt.3 drainage improvements. These plans would entail grading and drainage work through the park, and included, as part of the site restoration effort, improved pedestrian access from Dorsey Street as well as grading design to facilitate a future link between Beaver Park and the South Anchor. See NYSDOT, Lapan Highway Landscape Plan.

2.

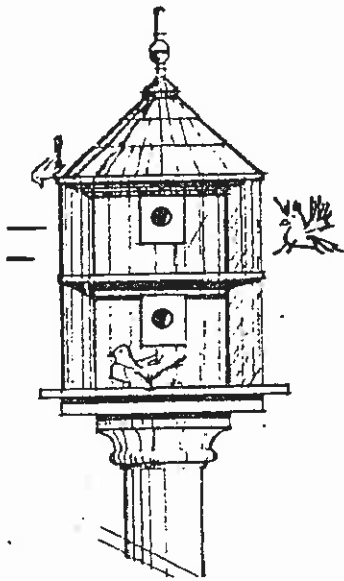
THE BOARDWALK LINK

From the plaza in the South Anchor the trail crosses the river on a new pedestrian bridge to the raceway peninsula labeled "Hydro-Point". While the bridge can take a number forms, we would suggest the bridge coordinate with the "industrial" image of the power plant and dam structures. Heavy timber "king post" truss or Corten steel truss bridge structures would be suitable.



*Pedestrian bridge. Detail
from Boardwalk Link Plan.*

The peninsula offers wonderful views up and down stream. Up stream, views take in the falls and the Power and Light building. Down stream views include Beaver Park, water rapids and the gentle curve of the river to the north with residential areas as background. In response to these view opportunities, we have located sitting areas with benches and lights at the ends of short stone-dust spurs paths. Railings would secure edges.



A Dovecote would provide a unique landscape feature as well as serve a useful function toward attracting swallows.

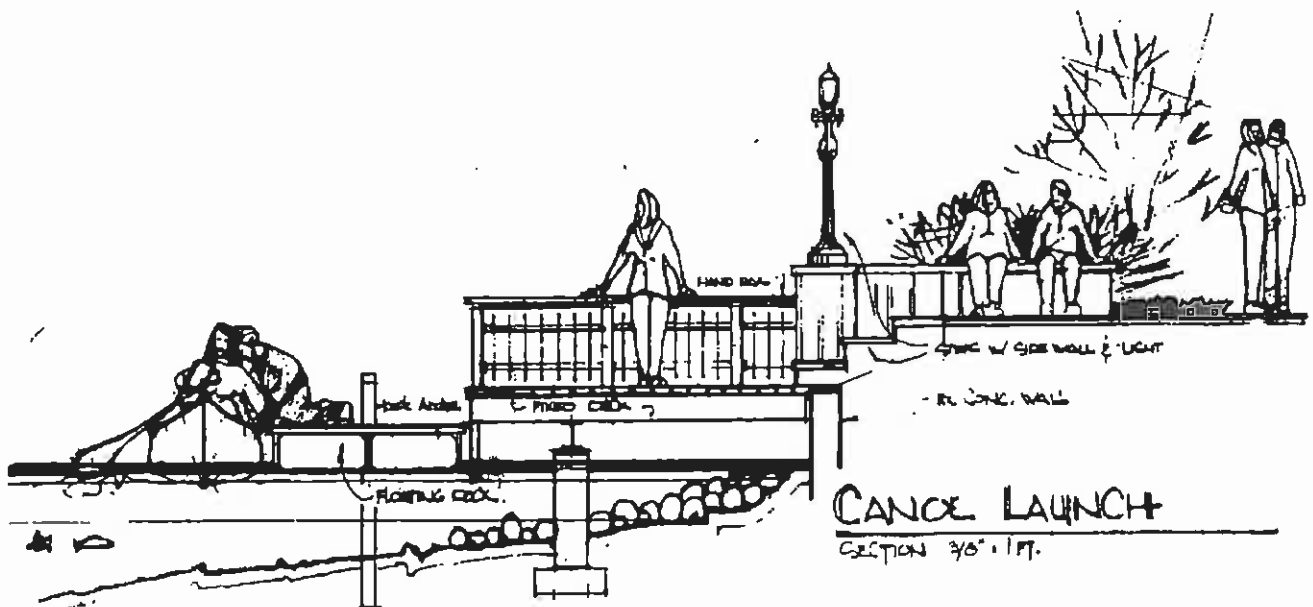
The landscape is filled out with theme plantings coordinated with the arboretum concept and completed with a central focal feature. We suggest a Victorian or Craftsman style element such as a *Dovecote* or swallow house. The landscape element would offer an interesting feature and would be in keeping with the aquatic habitat supporting swallows or other aquatic insect eating birds.

Continuing, the trail crosses a second bridge to the east bank of the stream and moves through screen plantings down and under the Rt.3 bridge to the river edge. At a point under the bridge and near the north supports, the trail becomes a boardwalk (6 ft.) fitted to the outside face of existing concrete retaining walls and supported by cantilever on concrete piers placed in the river bed. Railings secure the river side of the boardwalk while screen plantings and iron fence secure the private properties to the east (Town of Harrietstown).

At a point just past the Town of Harrietstown property the trail transitions back to the river bank and continues as a stone dust path to the Canoe Launch deck. Accessibility ramps are used at the boardwalk transition and to access the lower level of the canoe launch. Bank stabilization plantings are used along the river and small ornamental trees accentuate the transition points.

The Canoe Launch provides access to the river. (below)

The canoe launch area is located at the south end of the municipal parking lot to facilitate auto access and gear loading at the launch area. The launch would serve car-top craft only and consists of a fixed deck with bench and light and a seasonal floating dock. The launch area also serves as an overlook point for general trail use.



3.

ESPLANADE

Esplanade is a landscape term for an open, level area that supports public walks or drives - which is precisely the character of this next segment of river landscape. Located along the edge of the municipal parking lot, the esplanade landscape would take advantage of the open character of the land and provide a contrasting setting to the narrow, boardwalk landscapes that flank each end. See Esplanade Plan.

The primary feature would be an expanded green space at the river edge to accommodate lawns for picnicking and small community gatherings. To accommodate this expansion, we suggest incorporating a small strip (20-30 foot width) of parking lot edge into green space. Our preliminary studies indicate that a strip of parking area this size could be converted to green space without any loss to existing parking capacity. Orienting the parking layout to run north-south, parallel to the river, would improve efficiency of the layout and enable the village to gain additional parking area to replace that which would be taken for park use.

The expanded green space would then accommodate a curvilinear path that gently passes through a lawn area intermixed with plantings of shrubbery, ornamental trees and deciduous shade trees. Benches and lights would line the brick path.

Several special features are also recommended for the esplanade. These include:



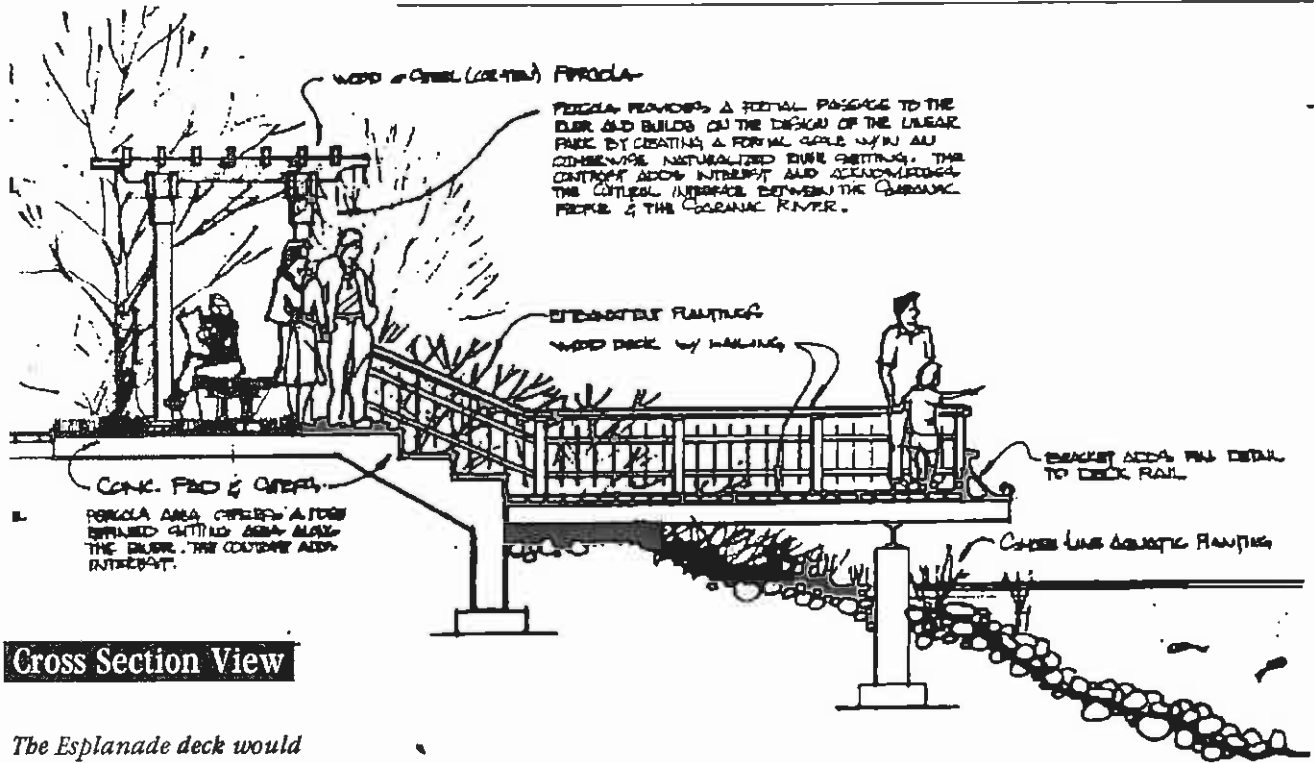
Deck sitting area with Pergola

About midway along the path would be located a deck/seating area, cantilevered over the water as a place for more formal activities such as small-group concerts or meetings. A pergola would mark the deck entrance and separate the deck seating from general path activities.



Dorsey Park (VIS)

The Village Improvement Society's Dorsey Park is located on the opposite bank from the Esplanade and would serve to extend the River Walk atmosphere across the river and also serve as a "green gateway" to the walkway from Dorsey Street. If approved by the VIS, the park would host a particular planting for the arboretum collection as well as continue to provide park seating.



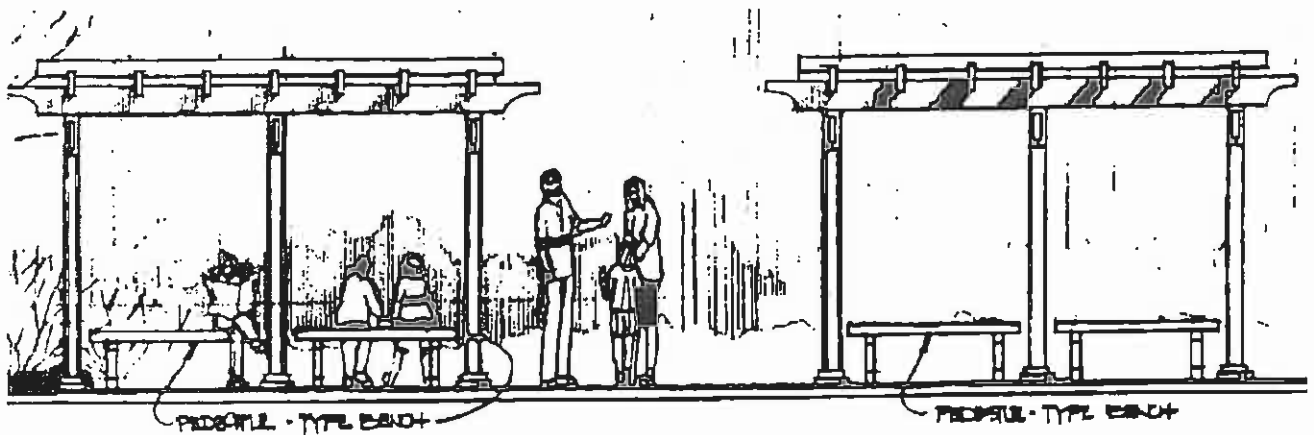
Cross Section View

The Esplanade deck would provide another, but more formal river access point.

Above: Illustration shows a cross section view. Note seating under pergola and on steps down to deck level. Below: Elevation view of Pergola looking to the west bank of the river.

See also Plan No. 3.

West Elevation





Public Art

The Esplanade landscape is also an ideal setting for display of sculpture and other forms of public art. The openness of the space, background plantings and curving path provide a number of locations for art display. We show a combination bench and sculpture as a focal point for the Esplanade.

The introduction of artwork and historical interpretation will broaden the scope and appeal of the River Walk.



PUBLIC SCULPTURE w/ BENCH
DEPICTED AS A MORE CLASSICAL FORM,
BUT OTHER EXPRESSIONS WOULD ALSO BE
QUITABLE.

LIMIT PAVERS ON GRAND
USE PRE-CAST CONC. 'BRICK' STYLE
PAVERS : COORDINATE w/ LOT
PAVERS ALONG DIFFERENT DRUG.

An example of a more classical approach to landscape art and ornament - sundial.

Illustration from: Decorating Eden, Ed. by Elizabeth Wilkinson and Marjorie Henderson, page 159.





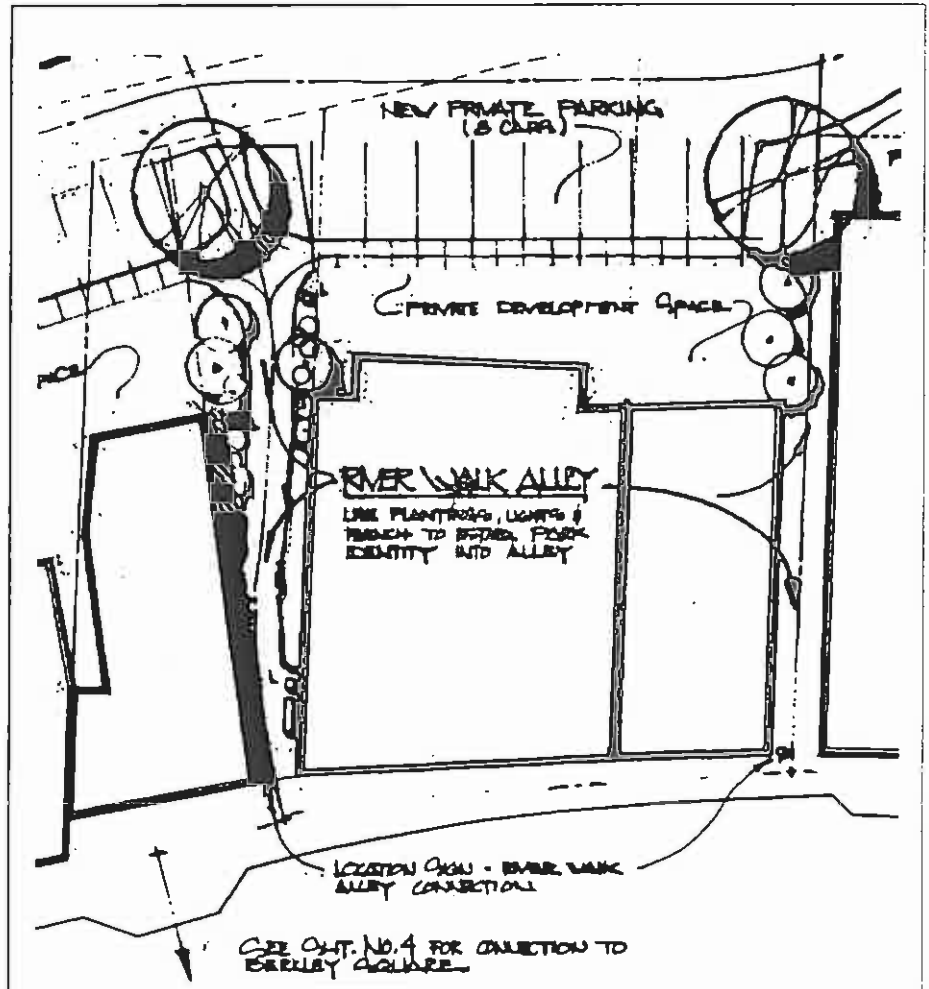
Access to Main Street

Alley connection to Main Street at Woodruff Street.



The plan also recognizes the importance of pedestrian traffic for business. The River Walk will, when completed, serve as an important recreation attraction for village residents and visitors and as such, will generate additional pedestrian traffic. Our plan illustrates a landscape treatment for improved connections from the river and parking areas to Main Street. As shown on Plan No. 3, connecting paths are established through the existing alleyways at Main Street to the river. The paths are well lighted, planted and laid out to pass through the parking lot along planted walks to the river.

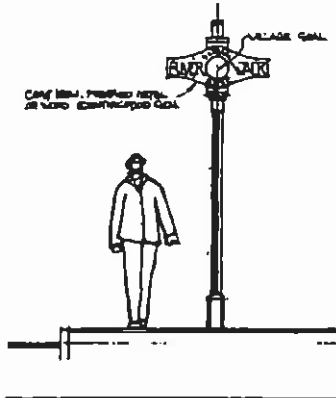
Existing alley ways will become important passages connecting the commercial core of Main Street with the River Walk





River Walk Sign

Signage is also suggested for Main Street at the alley openings and at all intersections where the river walk crosses village streets. The signs would not only help orient people to the river walk but would also establish an image and presence for the river walk within Main Street and the village as a whole.



River walk identification sign made of aluminum with relief lettering and three color paint scheme. Locate on posts and wall corners along the walk.



Commercial/Cultural Development

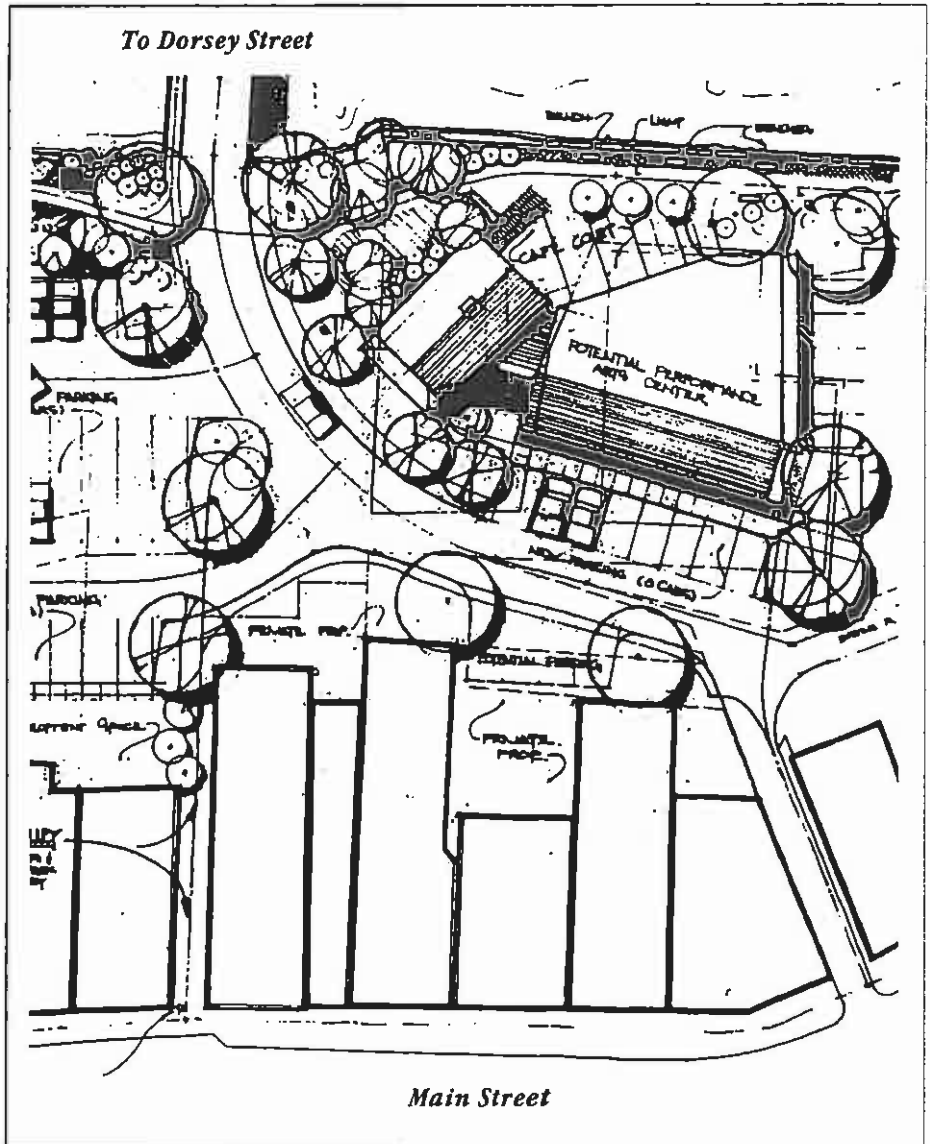
The development of the River Walk opens up opportunities for commercial and cultural ventures that would benefit from a river front location and pedestrian traffic. Two opportunities present themselves - encourage public access to the rear of existing Main Street businesses and develop new programs for lands open to access by the River Walk.

Although the study of rear area access to Main Street businesses is beyond the scope of this work, it should be stated that the idea is being carefully considered by the village and merchants. There is no doubt that the development of the river walk will play a leading role in development in this area.

To illustrate the opportunity for new program, we have developed a conceptual design for a new performing arts building on the north end of the esplanade.

This use was selected based on discussions with the river commission and on the character of the site - adequate parking, non-competing use with area businesses, a public facility that maintains public access to the river and a river front atmosphere that supports associated uses such as outdoor cafe, outdoor arts and public gathering.

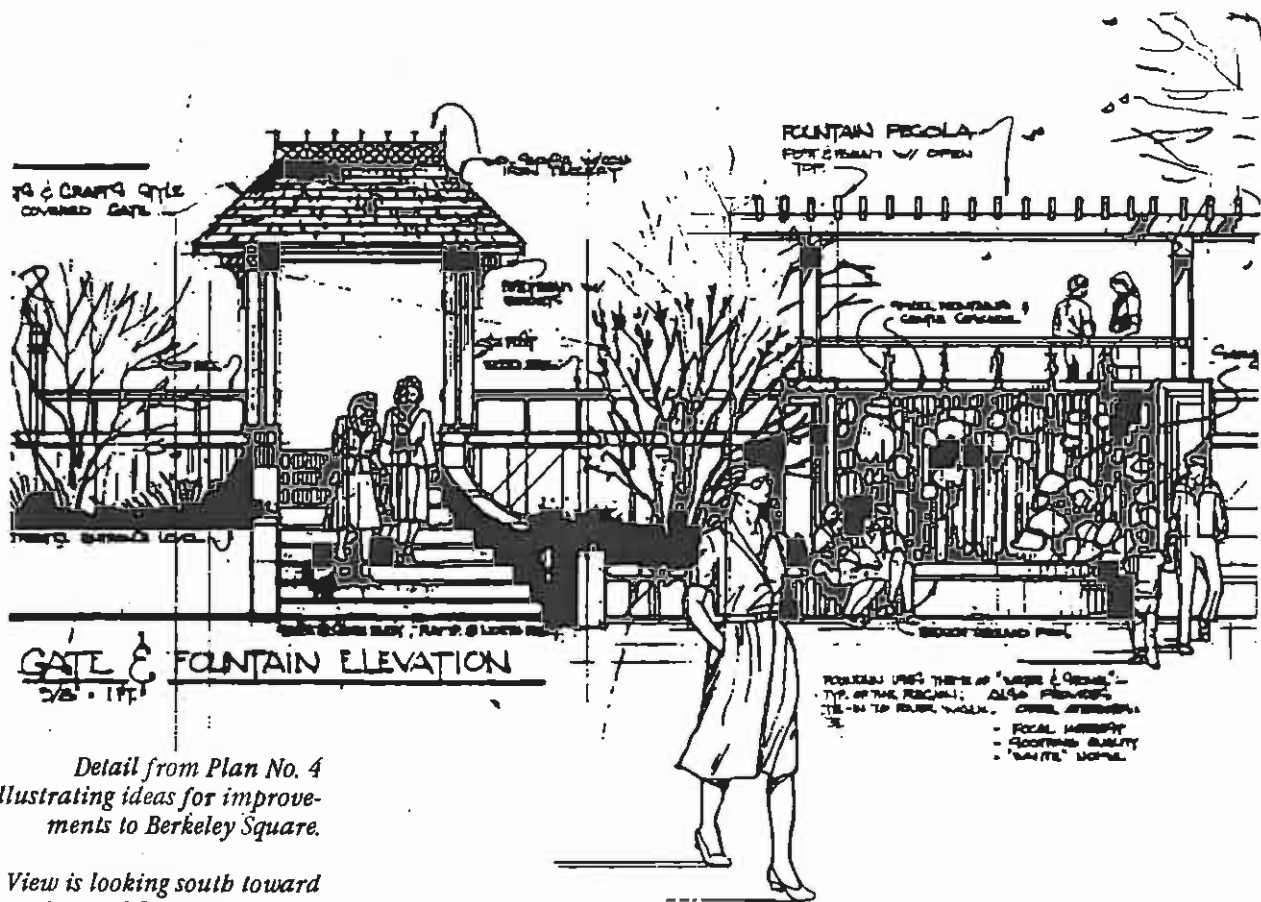
Detail from Plan No. 3, Esplanade, showing how new development might be located to take advantage of "back yard" opportunities within the village.



4.

THE BERKELEY LINK

During field work conducted for the river walk we came upon an opportunity to integrate the river walk theme into the mainstream of the village - adapt Berkeley Square as a possible "third anchor" on the river walk. The concept would maintain the square's current use as an open space for seating and public concerts. We would recommend improvements for better spatial definition (grade the hillside and level for a recessed plaza), introduce more durable materials, especially for pavements, and create new features that tie into the river theme. New features would include walk connections that align with alley connections to the river and a plaza focal point such as a water feature (illustrated below) or sculpture that incorporates images of the Saranac River.



Detail from Plan No. 4 illustrating ideas for improvements to Berkeley Square.

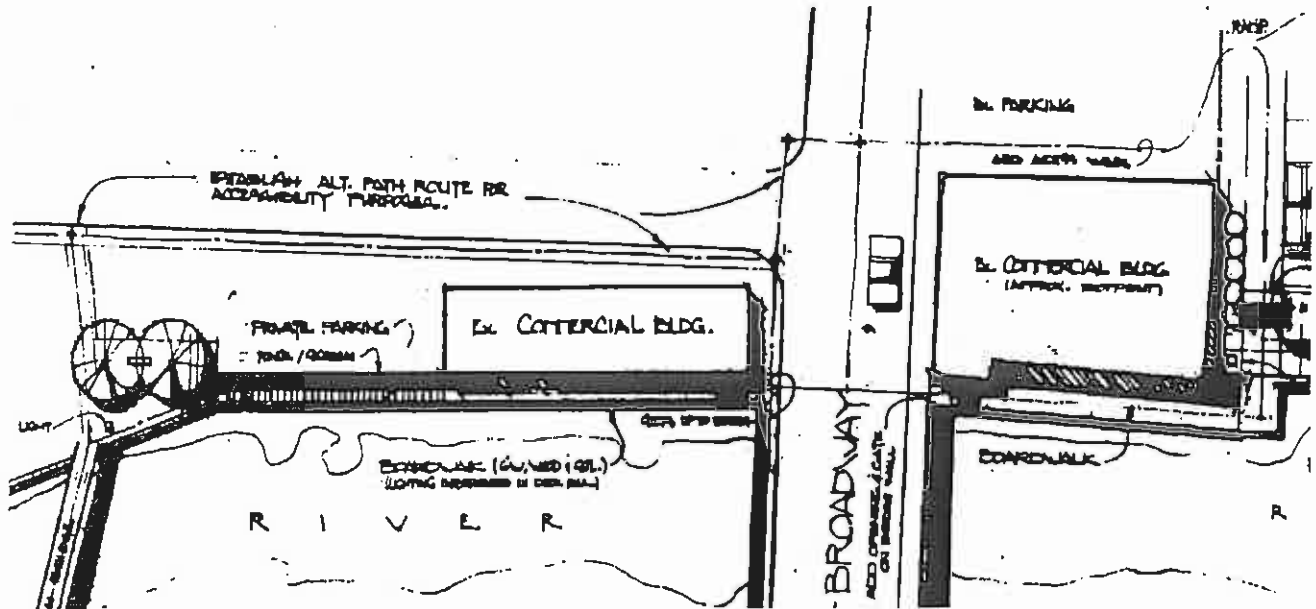
View is looking south toward the Hotel Saranac showing stair with shelter/gate, fountain with pergola overhead and seating along the lower pool area.

5.

CHURCH STREET LINK

This segment explores opportunities for the River Walk from the Esplanade to Church Street and from Church Street to Woodruff Street. See Plan No. 5.

From the performing arts building at the north end of the Esplanade, the walk continues north a short distance then crosses the river to a small parcel of village property with access to Dorsey Street. Here the path would split and take two routes to Broadway. One route would have the walkway follow a new boardwalk fastened to the existing retaining walls along the west bank of the river. The boardwalk would approach the bridge at Broadway, transition with steps and a gate through the bridge side wall to the road level. Crossing Broadway, a similar development would pass through the north side wall of the Broadway bridge and follow steps and board walk past the corner commercial building to the Village parking lot and VIS Parklette.



Detail from Plan No. 5,
Church Street Link.

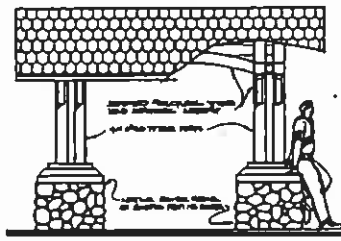
The other path would be developed to maintain accessibility requirements for the trail. From the pedestrian bridge head, the trail would connect with Dorsey Street, follow it north to Broadway, cross to the north side and loop up (west) to the municipal parking lot entry drive and reach the VIS Parklette via a new walk around the existing corner commercial building.



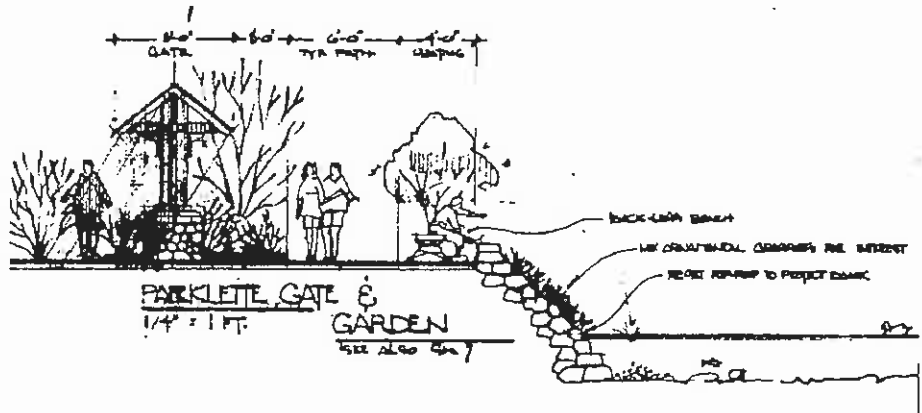
Parklette (VIS)

At the VIS Parklette, the River Walk would expand on-site activities which presently occur. Fishing access at the retaining wall located at the end of the parking would be maintained. New concrete pavement would be added along with two benches and small ornamental trees. Within the Parklette proper, the pavement would change to modular units (brick) to reflect the garden theme established by the VIS. Three new benches would be added along river edge along with bank stabilization stone and plantings.

Entry into the Parklette from the accessibility loop and from the municipal parking lot would be denoted by a covered gate, designed in the Stick Style with post and beam construction, roof brackets and cedar shake roof. See detail below.



Parklette Gate: Elevation View



Church Street

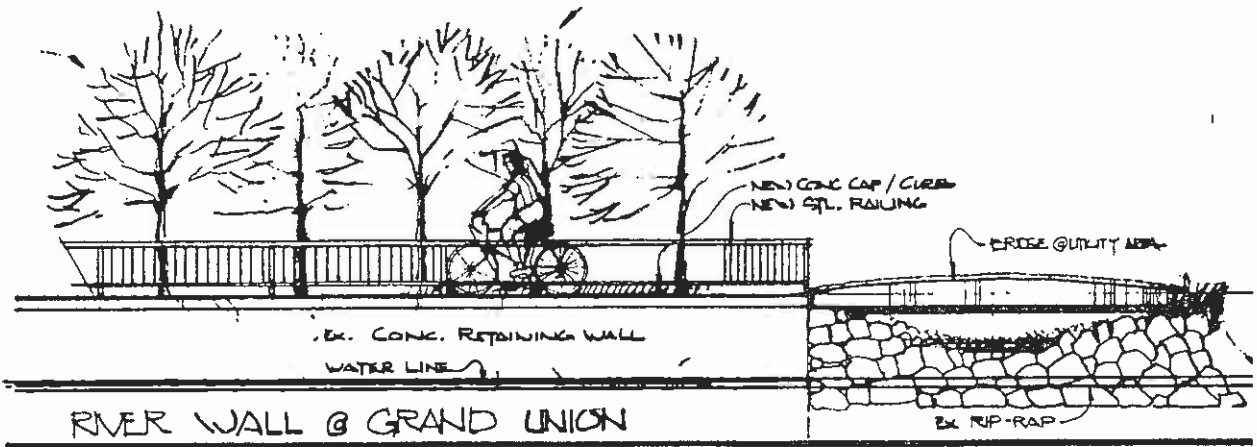
The link to Church Street is completed along a stone dust path adjacent to the Marine Midland Bank driveway. We show the path to be located along the top of the river bank and outside of the guardrail running along the Bank's driveway. To accomplish this, the river bank along this segment would be widened and restored. New rip-rap stone and stabilization plantings would be placed to protect the bank.



Grand Union Parking Lot

Crossing Church Street from the Marine Midland Bank the trail continues along the riverside edge of Grand Union parking lot. The trail would follow a new concrete walk directly adjacent to the existing retaining wall along the river. A new wall cap and railing would be provided for security along the river and a screen planting of small, densely-branched deciduous trees such as Hawthorn,

Amur Maple or Buckthorn would provide physical and visual separation from the supermarket parking lot. As with all plantings for the river walk, the screen planting here would serve multiple purposes - separation, horticultural interest and demonstration of species effectiveness (for arboretum purposes). See sketch below.

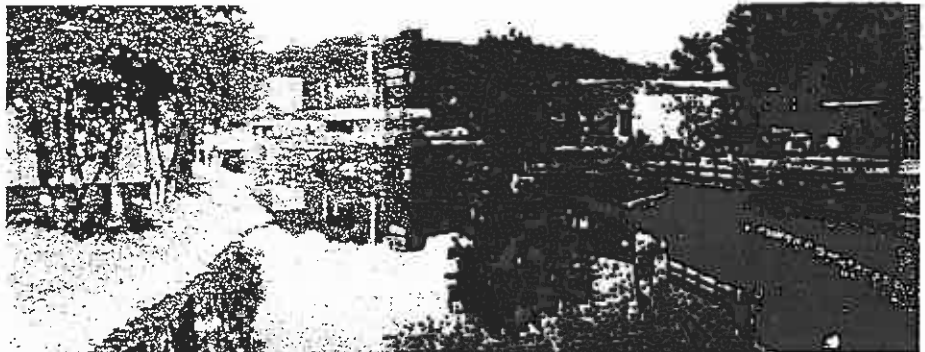


Woodruff Street

The connection to Woodruff Street takes the trail across several parcels of privately owned land. Passage here would be arranged by easement with the owners. In addition, the path alignment would cross a drainage and utility ROW. To facilitate this crossing, our design calls for a small wooden bridge with low side walls and railing to carry the trail over the depressed drainage swale. The bridge would be small enough to be moved as necessary for access to the utility area.

The passage over the private lands would be designed to meet the owner's needs for safety and maintenance.

West view of the river from the Woodruff St. bridge. With permission, the river walk would pass over private parcels to achieve a continuous corridor. (Grand Union in background, private lands in foreground)



6.

THE DENNY PARK LINK

Due in part to private land ownership and the unavailability of adequate riverbank land down stream from Woodruff Street, the river walk must depart from its long-held course along the river and turn north, along Woodruff St., to the NYSDOT railroad ROW. At a point just south of the old rail overpass, the trail would climb the embankment (new accessibility ramp required) and continue east along the old grade, cross over the existing trestle and meet the north end of East Main Street. See Plan No. 6.

Although some would lament the departure of the trail from the river at Woodruff Street, there are a number of design opportunities that arise from the change in course. First, the River Walk has the opportunity to connect to the abandoned rail ROW which has a strong possibility of becoming a regional recreation trail itself. The connection would allow travelers along the "rail" system to enter the River Walk and boost pedestrian traffic into Saranac Lake. Second, from a sequence-design point of view, the elevated rail bed and trestle offer vistas of the river not seen anywhere else along the route. This is especially important since the views up and down stream from the trestle are among the nicest along the river. The new course would also provide a break from the continual linear movement and views associated with walk. The change can be refreshing.



Triangle Park (VIS)

Another advantage to the rail segment is that it orients the trail to meet Triangle Park, another VIS garden on the edge of the village. Once past the trestle and connecting to East Main Street, river walkers may delight in the perennials and herbs that are maintained in a garden on a triangular piece of land formed by East Main Street (the Dugout) and Pine Street. Benches and night lighting would provide a comfortable place to sit and rest - or study plant specimens maintained here as part of the arboretum collections.



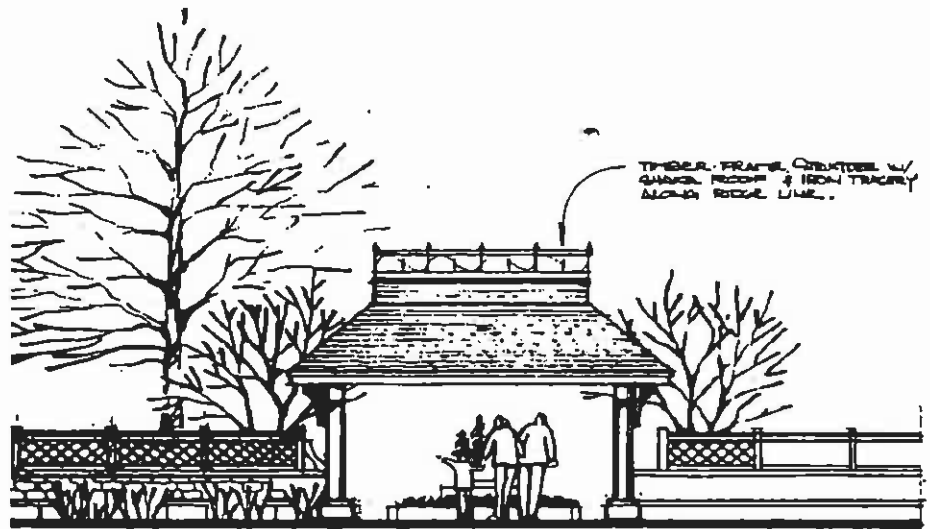
Riverbank Park (VIS)

From Triangle Park the River Walk again regains its course along the river following East Main Street down (north) to Pine Street. As it does, it passes riverbank lands owned and maintained by the VIS. Known as Riverbank Park, the site offers a secluded setting with very nice views up and down the river. We suggest, given the steep slope, that a small deck be constructed to provide a level place for visitors to take in the views and a bench for those who wish to linger.



Denny Park (VIS)

The River Walk trail system terminates at Denny Park, the North Anchor. The park is a fitting place for ending (or beginning) a walk along the river as it is one of the nicest open space parcels in the village. The open lawn area with high canopied trees, naturally terraced topography with low lands along the river and a long border with the water provide this site with a rich variety of habitat and settings for quiet recreation. It would be the ideal place for the main arboretum collection and is large enough to facilitate groups of visitors (10-15) as they visit the park or ready themselves to take the "walk".



Our suggestions for modifications at the park follow those described for the South Anchor; create a small parking lot for 8 cars, create a defined entry that both physically and symbolically marks the entry into or exit from the River Walk and establish the park as an orientation point for the walk. See plan No. 6.

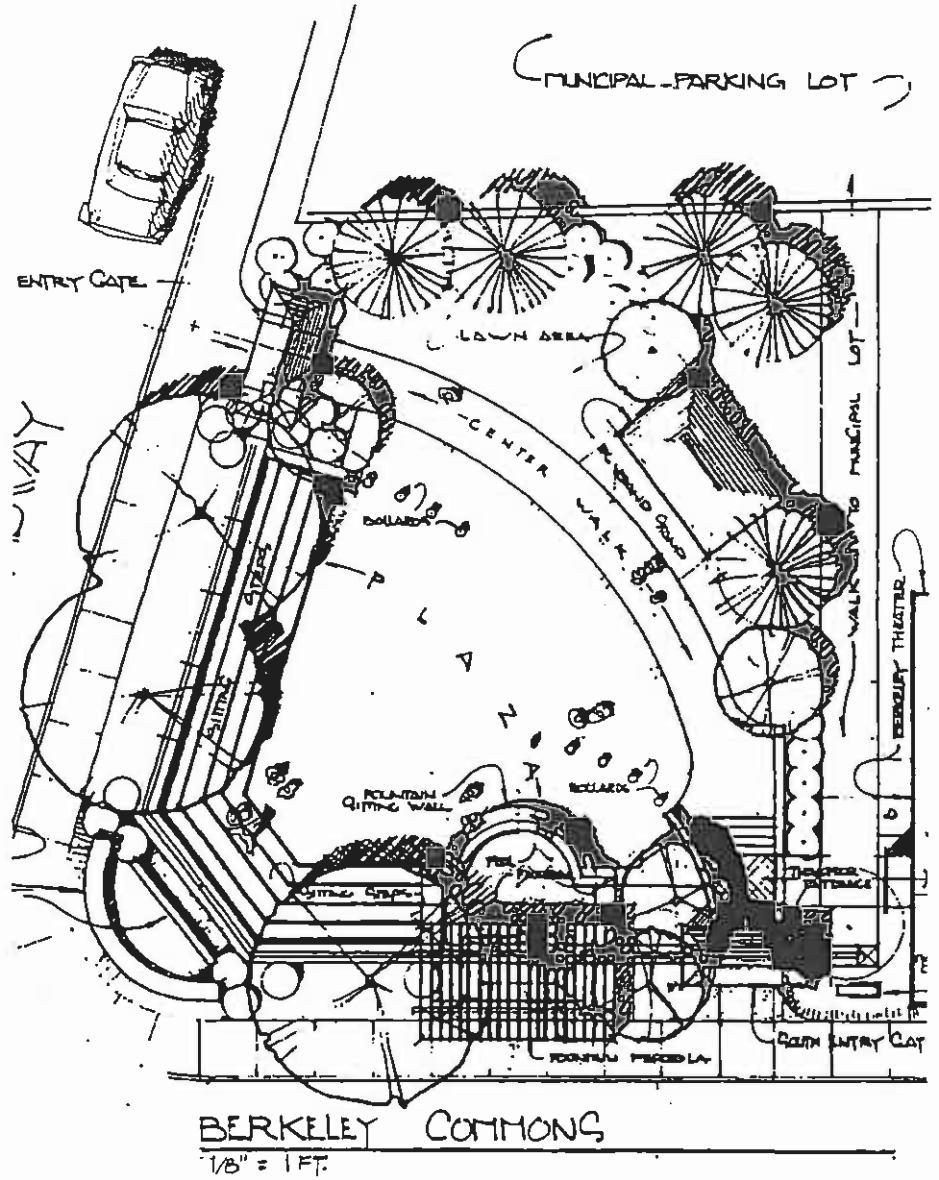
On the plan we show the parking area along Pine Street, but subsequent discussions with the VIS indicate that if required at all, the parking area would be better located along Bloomingdale Street. We also provide sketch concepts for a gateway entrance which continues the architectural theme of Stick Style - as established for all structures along the river walk. See above sketch.

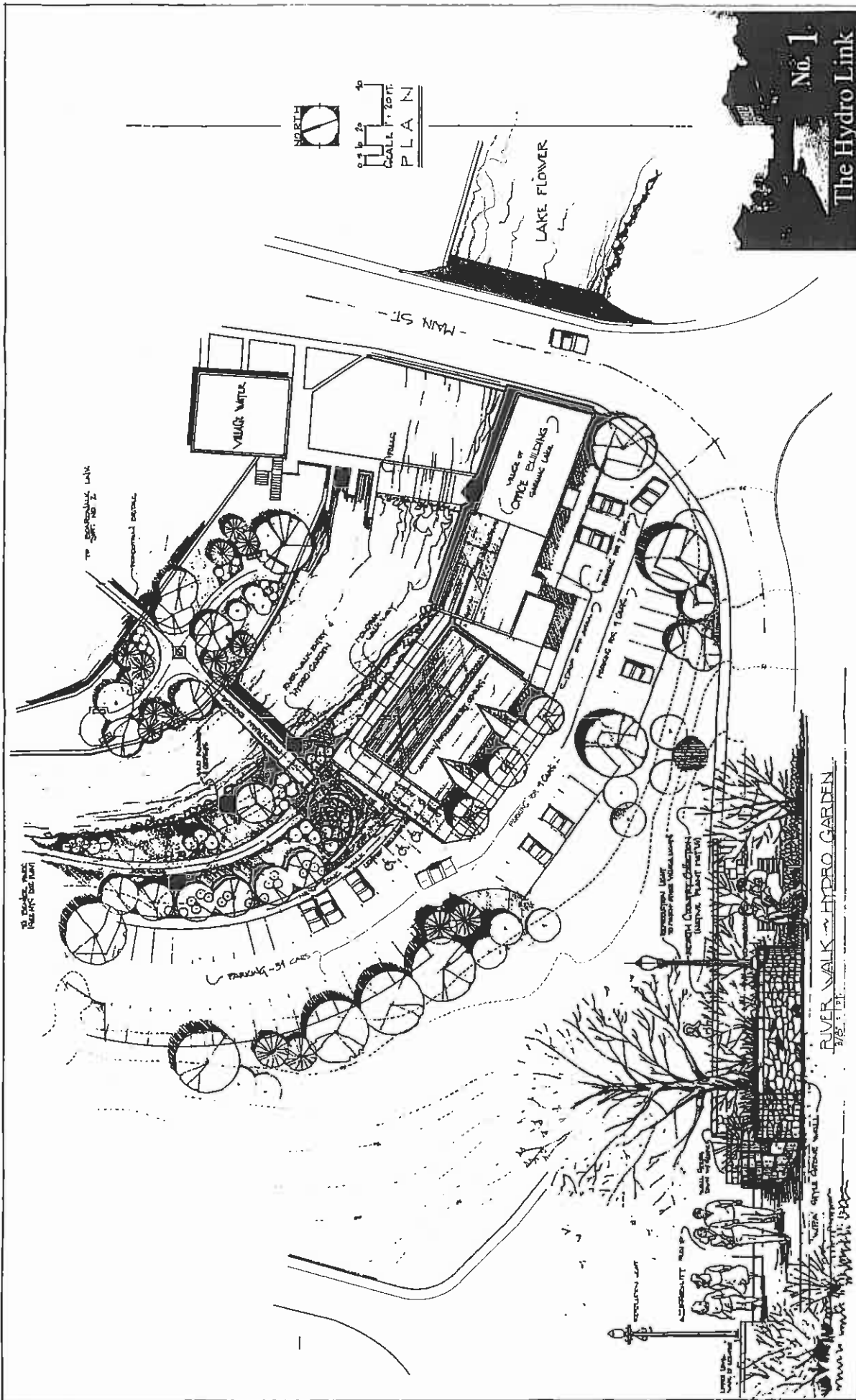
Other recommendations include various planting displays consistent with the Adirondack arboretum theme and the placement of public art as discussed earlier.





LINKAGE PLANS





No. 1

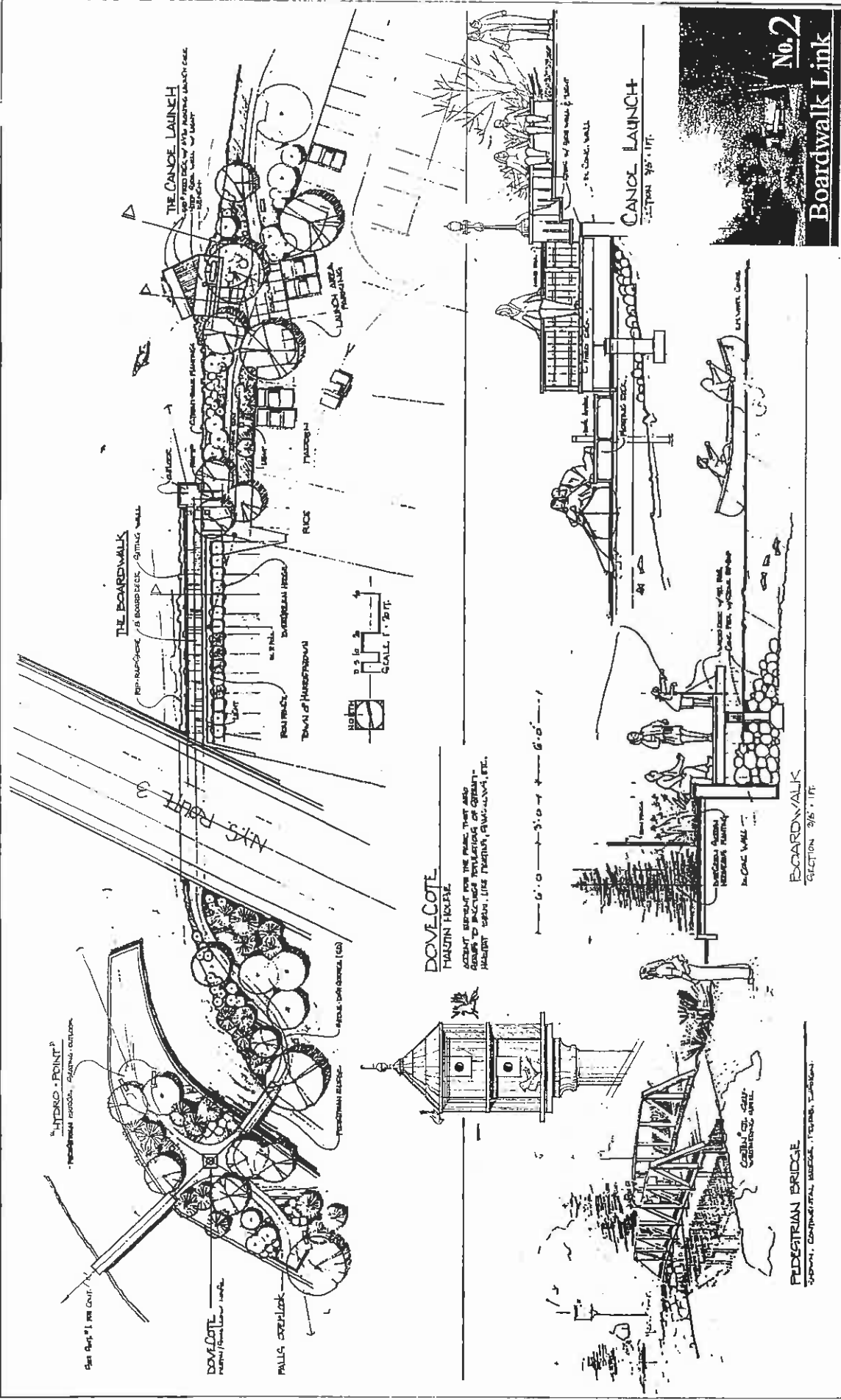
The Hydro Link

Landscape Architect
Landscape & Planning, 239 East Main Street, Syracuse, New York 13202

NYSCLA
New York State
Landscape Architect
Landscape & Planning Services

River Corridor Development Study
The River Corridor Commission Village of Saranac Lake, New York

The Saranac River Walk



No. 2
Boardwalk Link

The Saranac River Walk

River Corridor Development Study
The River Corridor Commission - Village of Saranac Lake, New York

NYSCA
New York State Council on the Arts
Funding for Design and Planning Services

Landscape Architect
Landscape & Prospect 239 East Water Street, Syracuse, New York 13202

THE DOVE-COTE POINT
RESTAURANT, BAR, GARDENS, OUTLOOK

THE BOARDWALK
RECREATION, BOARDWALK, JUMPING WALL

THE CANOE LAUNCH
WOODEN DOCK, RAMP, PAVING, LAUNCH CRANE
RAMP, DOCK, RAMP, PAVING, LAUNCH CRANE

DOVE-COTE HOUSE
MULLIN HOUSE

PEDESTRIAN BRIDGE
WOODEN BRIDGE, WALKWAY, RAMP

CANYON LAUNCH
WOODEN DOCK, RAMP, PAVING, LAUNCH CRANE

SCALE 1" = 20' FT.

SCALE 3/8" = 1' FT.

SCALE 3/8" = 1' FT.

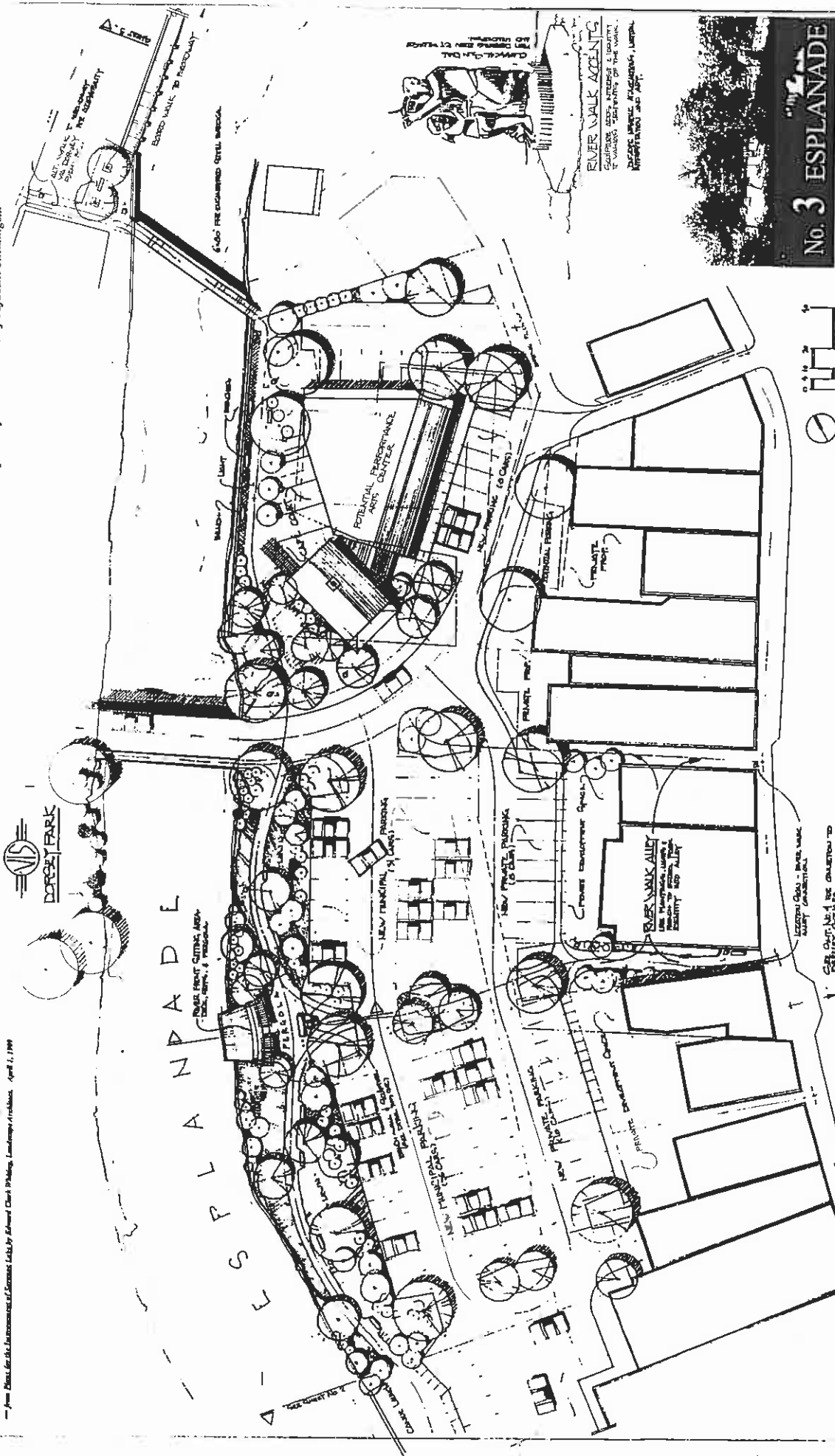
SECTION 3/8" = 1' FT.

SECTION 3/8" = 1' FT.

SECTION 3/8" = 1' FT.

...Then I should permanently establish the river banks, ... laid out, not on stiff engineering lines (long tangents and short arcs), but on flowing graceful curves that are pleasing and not objectionable to look upon. Between the top of this wall (bank) and the abutting private property will be always space enough for a walk, and in most places additional space for trees which will not only provide shade for the walkers, but will partially hide the rears of adjacent buildings...

— John Ruskin, *The Stones of Venice*, vol. 1, ed. by Edward Clark Whittier, Landscape Architecture, April 1, 1904



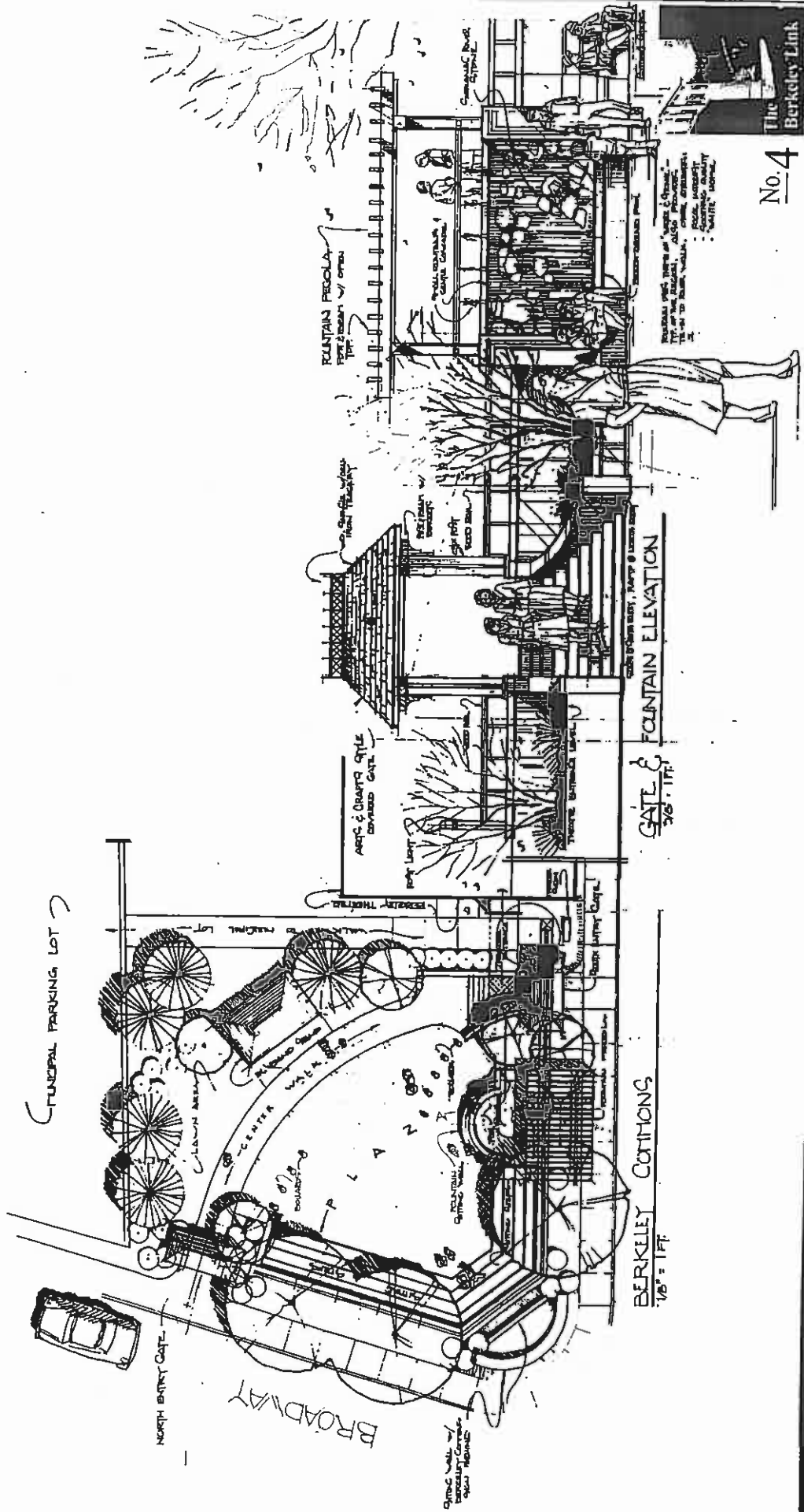
The Saranac River Walk

River Corridor Development Study
 The River Corridor Commission, Village of Saranac Lake, New York

NYSCLA New York State Landscape Architect
 Planning, Design, and Planning Services
 250 East Water Street, Saranac Lake, New York 12158

No. 3 ESPLANADE

EVER WALK AGENTS
 EQUIPMENT, ACCESS, AND MAINTENANCE
 TO MAINTAIN THE QUALITY OF THE WALK
 (CONSTRUCTION, MAINTENANCE, AND REPAIR)

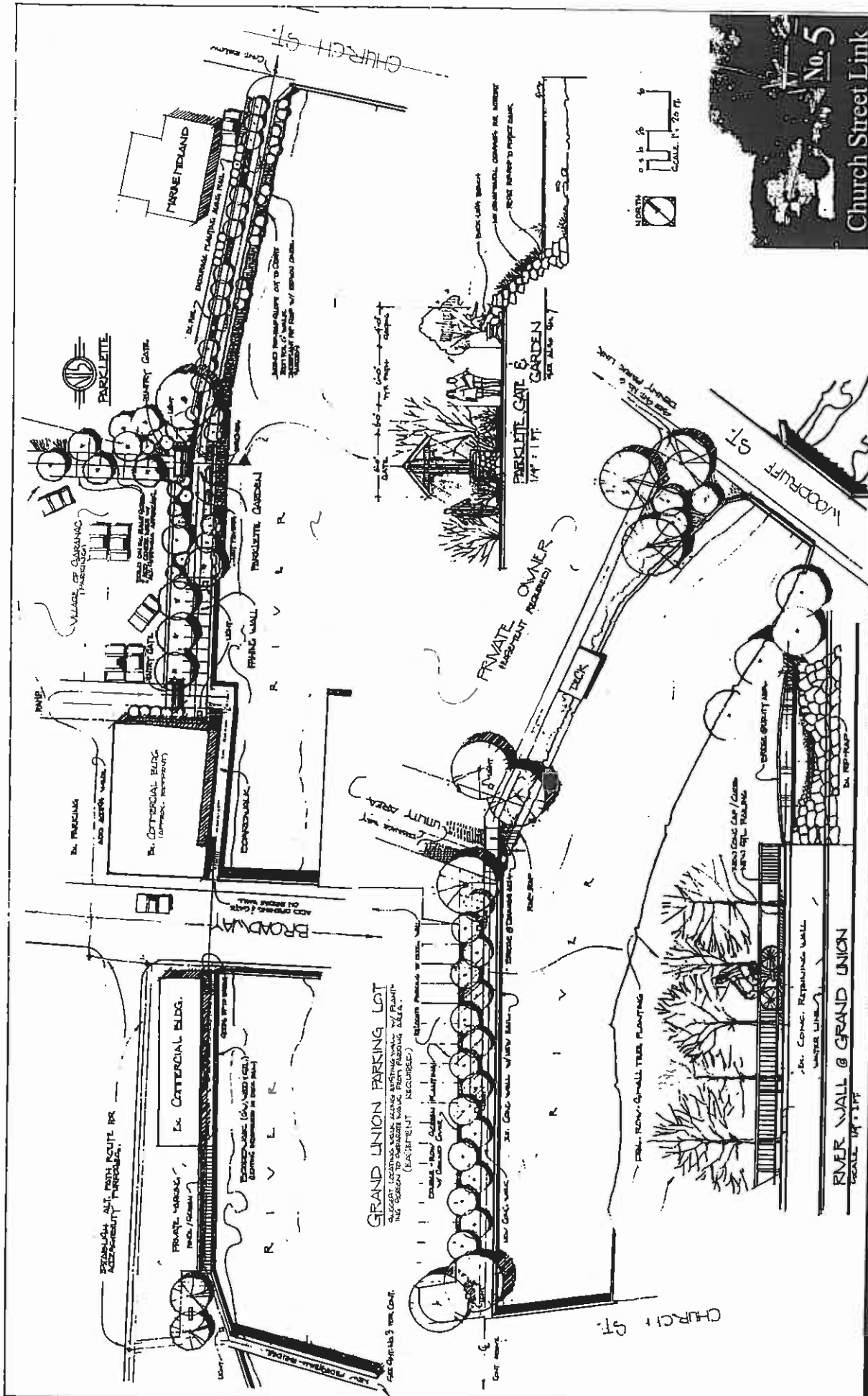


GATE & FOUNTAIN ELEVATION
3/8" = 1 FT

No. 4

REMARKS: THIS DRAWING IS PART OF THE BERKELEY CUTTINGS PROJECT. THE ARCHITECTURE, LANDSCAPE ARCHITECTURE, AND CIVIL ENGINEERING ARE BY THE BERKELEY CUTTINGS ARCHITECTS AND ENGINEERS. THE ARCHITECTURE AND LANDSCAPE ARCHITECTURE ARE BY THE BERKELEY CUTTINGS ARCHITECTS AND ENGINEERS. THE CIVIL ENGINEERING IS BY THE BERKELEY CUTTINGS ARCHITECTS AND ENGINEERS.

The Berkeley Link



The Saranac River Walk

River Corridor Development Study

The River Corridor Commission - Village of Saranac Lake, New York

NYSCA New York State

Geographic Information Systems

Landscaping - Planning - Surveying

Landscape Architects

Church Street Link

114th Street @ Prospect - 150th Street @ Prospect - Saranac Lake, New York 14202

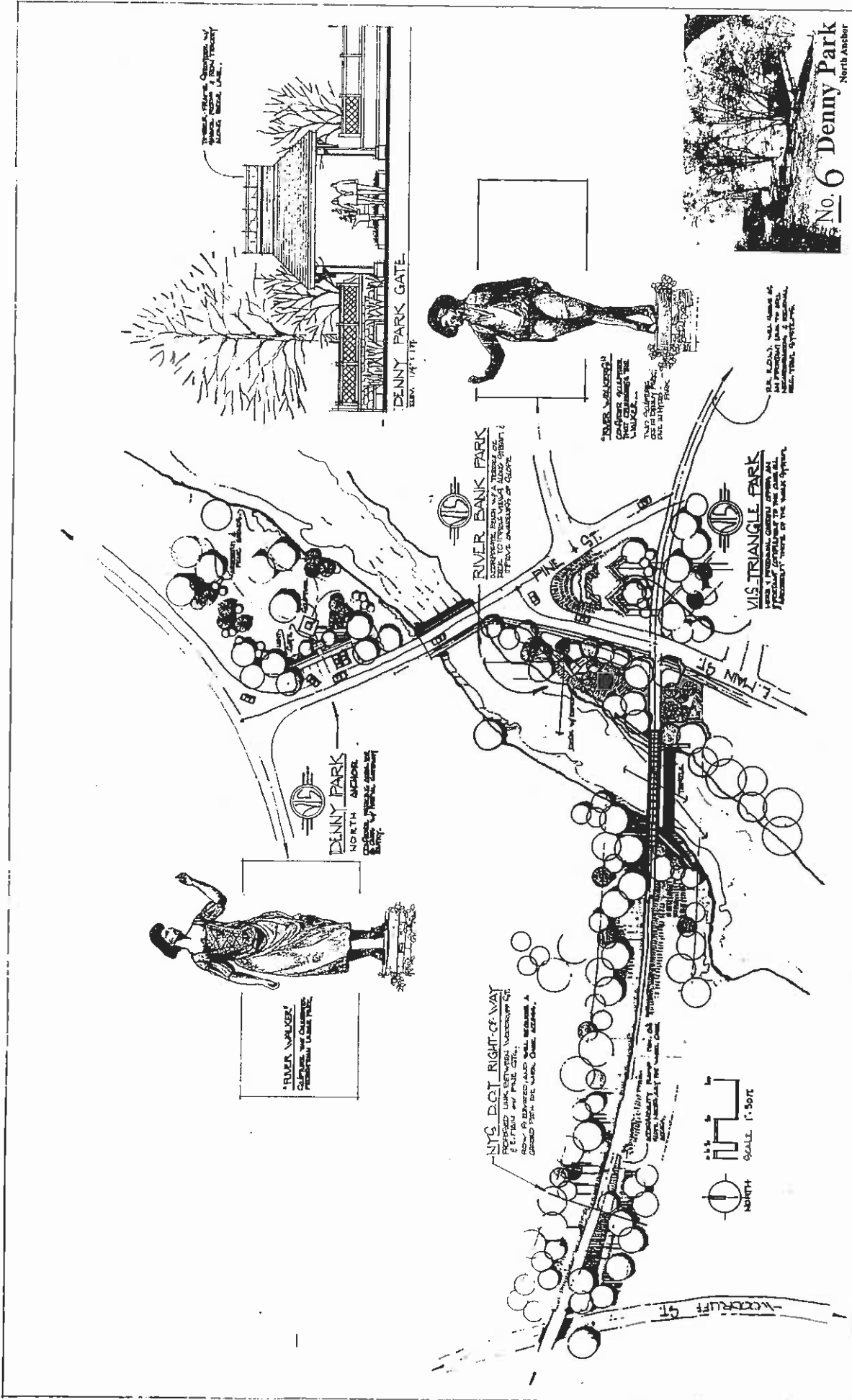
Scale: 1" = 20' ft.

Scale: 1/4" = 10' ft.

Scale: 1/2" = 20' ft.

Scale: 1/8" = 10' ft.

Scale: 1/16" = 5' ft.

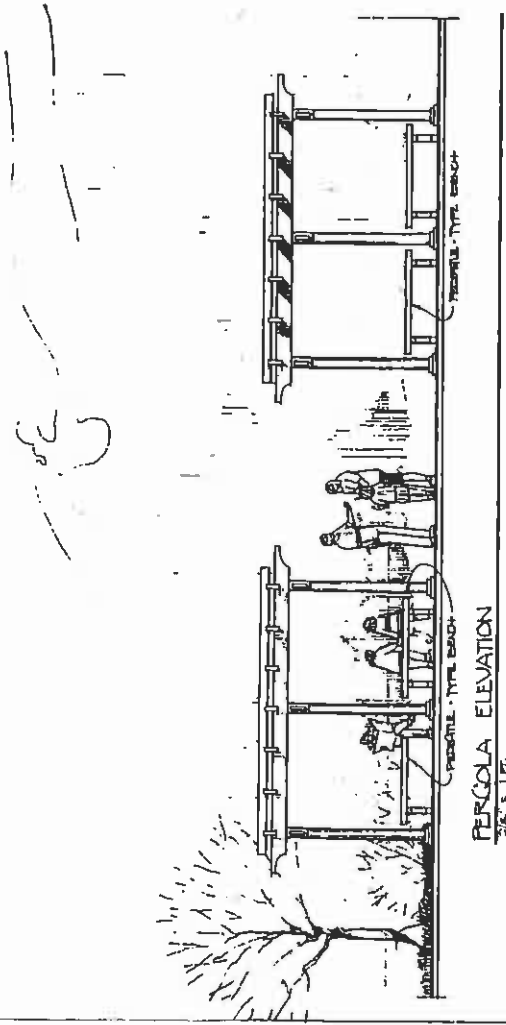


The Saranac River Walk

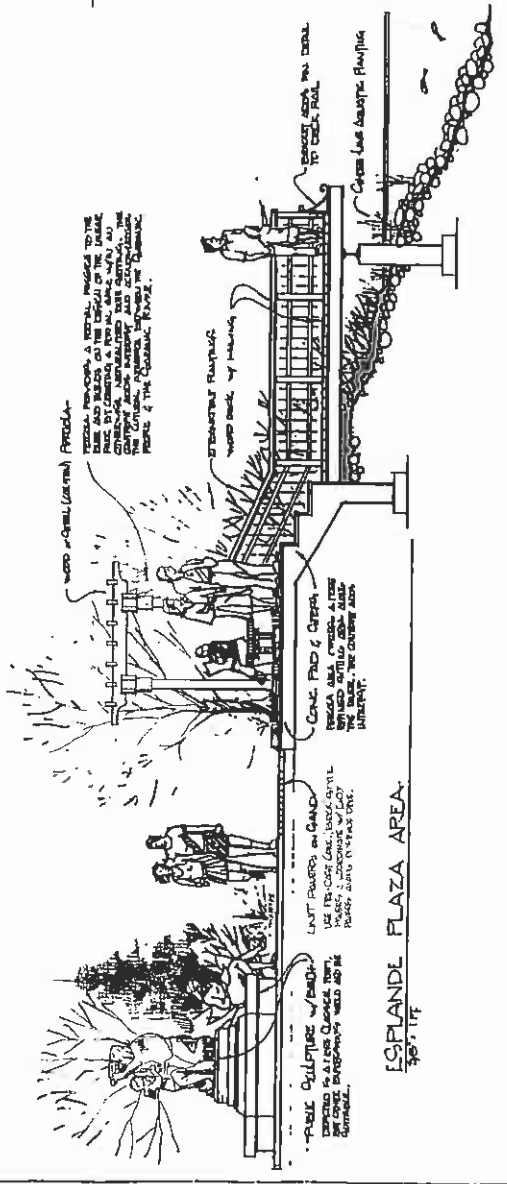
River Corridor Development Study
 The River Corridor Commission Village of Saranac Lake, New York

NYSCA New York State
 Capital Office, 315
 Building for Design and Planning Services

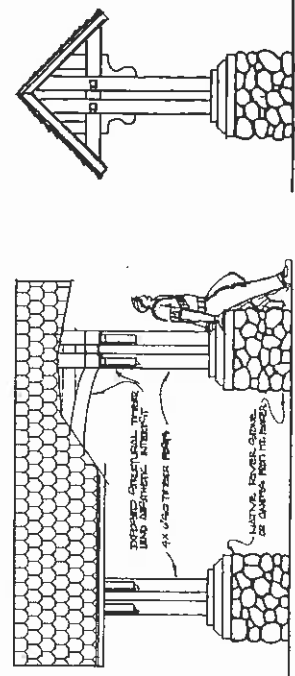
Landscape Architect
 Landscape & Project 310 East Water Street, Saranac Lake, New York 13922



PERGOLA ELEVATION
1/2" = 1'-0"

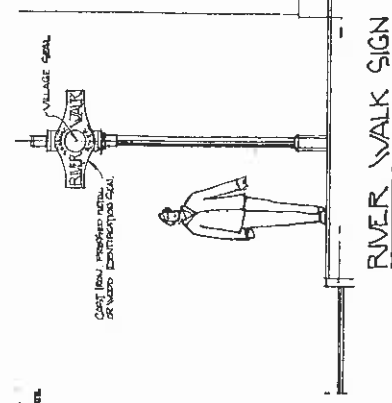


ESPLANADE PLAZA AREA
1/8" = 1'-0"



GATE/SHELTER
1/2" = 1'-0"

CONCRETE FOUNDATION, MASONRY OF THE GATE, AND WOOD FRAMEWORK SHALL BE USED FOR ALL STRUCTURES ALONG THE WALK.



RIVER WALK SIGN

No. 7 River Walk Structures



COST ESTIMATES

A preliminary cost estimate was developed to assist the River Corridor Commission with budget development and project phasing for implementation of the river walk. Costs are separated corresponding to each of the Linkage Plans.

The values provided are preliminary only and reflect project conditions as known at the concept stage of the design process. Actual costs will be dependent on subsequent detail design development, amount and nature of "in-kind" services available from the village and other agencies, and prevailing market conditions at the time of construction.

To help account for unknown conditions and costs, we have added a contingency factor of 15% to the budget. We have also included a factor of 8% as a general line item for professional services. Again, these values may change depending on the complexity of project conditions at the time of implementation.

The Saranac River Walk: Sheet 1, The Hydro Link

Improvement Item	Quantity	Unit	Unit Cost	Subtotal
<i>Site Preparation</i>	no estimate	LS		\$1,500.00
<i>Grading and Drainage</i>	no estimate	LS		\$5,000.00
<i>Pavements</i>				
asphalt	1200	SY	\$10.50	\$12,600.00
concrete walks	3250	SF	\$3.00	\$9,750.00
unit pavers	1100	SF	\$8.00	\$8,800.00
stone dust path	250	SY	\$10.50	\$2,625.00
curbing (cast-in-place)	170	LF	\$10.00	\$1,700.00
<i>Lighting</i>				
bollard lights	6	EA	\$350.00	\$2,100.00
pole lights, incl. installation	10	EA	\$2,500.00	\$25,000.00
<i>Landscape Amenities</i>				
pedestrian bridge: (6x60 ft.)	1	EA	\$14,000.00	\$14,000.00
pedestrian bridge: (6x30 ft.)	1	EA	\$8,000.00	\$8,000.00
stone wall (6ft. toe to top)	70	LF	\$180.00	\$12,600.00
bench	1	EA	\$750.00	\$750.00
entry sign	1	LS	\$500.00	\$500.00
<i>Planting</i>				
shade trees	5	EA	\$350.00	\$1,750.00
ornamental trees	8	EA	\$125.00	\$1,000.00
conifer trees	6	EA	\$200.00	\$1,200.00
shrubby	50	EA	\$35.00	\$1,750.00
ground covers (no estimate)	1	LS	\$1,000.00	\$1,000.00
lawns (no estimate)	1	LS	\$500.00	\$500.00
Subtotal				\$112,125.00
add 15% for Contingency				\$16,818.75
add 8% Professional Service				\$8,970.00
Total Preliminary Cost				\$138,000.00

The Saranac River Walk: Sheet 2, The Boardwalk Link

Improvement Item	Quantity	Unit	Unit Cost	Subtotal
<i>Site Preparation</i>	no estimate	LS		\$1,500.00
<i>Grading and Drainage</i>	no estimate	LS		\$3,500.00
<i>Pavements</i>				
concrete walks	1200	SF	\$3.00	\$3,600.00
stone dust path	60	SY	\$10.50	\$630.00
curbing (cast-in-place)	60	LF	\$10.00	\$600.00
<i>Lighting</i>				
pole lights, incl. installation	6	EA	\$2,500.00	\$15,000.00
<i>Landscape Amenities</i>				
wood deck board walk	2000	SF	\$15.00	\$30,000.00
canoe launch: deck	550	SF	\$15.00	\$8,250.00
canoe launch: float dock	1	EA	\$1,250.00	\$1,250.00
iron fence (avail. @ no cost)	100	LF	\$0.00	\$0.00
wall cap for seating	300	SF	\$3.00	\$900.00
shoreline imp. (rip-rap)	100	SY	\$50.00	\$5,000.00
<i>Planting</i>				
shade trees	3	EA	\$350.00	\$1,050.00
ornamental trees	8	EA	\$125.00	\$1,000.00
conifer trees	13	EA	\$200.00	\$2,600.00
shrubby	40	EA	\$35.00	\$1,400.00
ground covers (no estimate)	1	LS	\$1,250.00	\$1,250.00
lawns (no estimate)	1	LS	\$500.00	\$500.00
herbaceous plants (no est.)	1	LS	\$1,000.00	\$1,000.00
Subtotal				\$79,030.00
add 15% for Contingency				\$11,854.50
add 10% Professional Service				\$7,903.00
Total Preliminary Cost				\$99,000.00

The Saranac River Walk: Sheet 3, The Esplanade

Improvement Item	Quantity	Unit	Unit Cost	Subtotal
<i>Site Preparation</i>	no estimate	LS		\$2,500.00
<i>Grading and Drainage</i>	no estimate	LS		\$3,500.00
<i>Pavements</i>				
asphaltic pavement (no est.)	1	LS	\$5,000.00	\$5,000.00
unit pavers: esplanade	3700	SF	\$8.00	\$29,600.00
unit pavers: alleyway	1000	SF	\$8.00	\$8,000.00
unit pavers: Dorsey St. entry	1100	SF	\$8.00	\$8,800.00
curbing (cast-in-place)	400	LF	\$10.00	\$4,000.00
<i>Lighting</i>				
pole lights, incl. installation	12	EA	\$2,500.00	\$30,000.00
<i>Landscape Amenities</i>				
riverfront deck	600	SF	\$15.00	\$9,000.00
riverfront sitting stair	300	SF	\$5.00	\$1,500.00
riverfront pergola	1	LS	\$8,500.00	\$8,500.00
benches	10	EA	\$750.00	\$7,500.00
shoreline imp., gen., (rip-rap)	100	SY	\$50.00	\$5,000.00
sculpture/sitting bench	1	LS	\$4,500.00	\$4,500.00
pedestrian bridge (6x80)	1	EA	\$21,500.00	\$21,500.00
<i>Planting</i>				
shade trees	12	EA	\$350.00	\$4,200.00
ornamental trees	13	EA	\$125.00	\$1,625.00
conifer trees	12	EA	\$200.00	\$2,400.00
shrubby	80	EA	\$35.00	\$2,800.00
ground covers (no estimate)	1	LS	\$1,250.00	\$1,250.00
lawns	9000	SF	\$0.50	\$4,500.00
herbaceous plants (no est.)	1	LS	\$500.00	\$500.00
Subtotal				\$166,175.00
add 15% for Contingency				\$24,926.25
add 8% Professional Service				\$13,294.00
Total Preliminary Cost				\$204,000.00

The Saranac River Walk: Sheet 4, Berkeley Commons

Improvement Item	Quantity	Unit	Unit Cost	Subtotal
<i>Site Preparation</i>	no estimate	LS		\$2,500.00
<i>Demolition</i>	no estimate	LS		\$5,500.00
<i>Grading and Drainage</i>	no estimate	LS		\$7,500.00
<i>Pavements</i>				
unit pavers: plaza area	1500	SF	\$8.00	\$12,000.00
concrete walk	1100	SF	\$3.00	\$3,300.00
concrete steps	120	SF	\$5.00	\$600.00
<i>Lighting</i>				
pole lights, incl. installation	6	EA	\$2,500.00	\$15,000.00
<i>Landscape Amenities</i>				
pergola	1	LS	\$2,500.00	\$2,500.00
wood rail	125	LF	\$12.00	\$1,500.00
entry gate	2	LS	\$3,500.00	\$7,000.00
sitting steps (bleachers)	1	LS	\$7,500.00	\$7,500.00
fountain & pool	1	LS	\$25,000.00	\$25,000.00
sitting wall	1	LS	\$3,500.00	\$3,500.00
<i>Planting</i>				
shade trees	3	EA	\$350.00	\$1,050.00
ornamental trees	5	EA	\$125.00	\$625.00
conifer trees	5	EA	\$200.00	\$1,000.00
shrubby	30	EA	\$35.00	\$1,050.00
ground covers (no estimate)	1	LS	\$1,250.00	\$1,250.00
lawns	1800	SF	\$0.50	\$900.00
herbaceous plants (no est.)	0	LS	\$500.00	\$0.00
Subtotal				\$99,275.00
add 15% for Contingency				\$14,891.25
add 8% Professional Service				\$7,942.00
Total Preliminary Cost				\$122,000.00

The Saranac River Walk: Sheet 5, Church Street Link: Boardwalk Parklette Area

Improvement Item	Quantity	Unit	Unit Cost	Subtotal
<i>Site Preparation</i>	no estimate	LS		\$2,500.00
<i>Grading and Drainage</i>	no estimate	LS		\$7,500.00
<i>Pavements</i>				
unit pavers: Parklette Garden	600	SF	\$8.00	\$4,800.00
concrete walks	2500	SF	\$3.00	\$7,500.00
curbing (cast-in-place)	150	LF	\$10.00	\$1,500.00
<i>Lighting</i>				
pole lights, incl. installation	6	EA	\$2,500.00	\$15,000.00
hand rail lights @ boardwalk	18	EA	\$250.00	\$4,500.00
<i>Landscape Amenities</i>				
boardwalk decking	2100	SF	\$20.00	\$42,000.00
iron railing	200	LF	\$15.00	\$3,000.00
entry gate	2	LS	\$3,500.00	\$7,000.00
wood fence / screen	65	LF	\$20.00	\$1,300.00
benches	4	EA	\$750.00	\$3,000.00
shoreline imp., gen., (rip-rap)	200	SY	\$50.00	\$10,000.00
<i>Planting</i>				
shade trees	1	EA	\$350.00	\$350.00
ornamental trees	10	EA	\$125.00	\$1,250.00
conifer trees	3	EA	\$200.00	\$600.00
shrubbery	60	EA	\$35.00	\$2,100.00
ground covers (no estimate)	1	LS	\$1,500.00	\$1,500.00
lawns	0	SF	\$0.50	\$0.00
herbaceous plants (no est.)	1	LS	\$1,250.00	\$1,250.00
Subtotal				\$116,650.00
add 15% for Contingency				\$17,497.50
add 8% Professional Service				\$9,332.00
Total Preliminary Cost				\$143,000.00

The Saranac River Walk: Sheet 5A, Church Street Link: Grand Union Segment

Improvement Item	Quantity	Unit	Unit Cost	Subtotal
<i>Site Preparation</i>	no estimate	LS		\$1,250.00
<i>Grading and Drainage</i>	no estimate	LS		\$2,000.00
<i>Pavements</i>				
concrete walks	2750	SF	\$3.00	\$8,250.00
<i>Lighting</i>				
pole lights, incl. installation	6	EA	\$2,500.00	\$15,000.00
<i>Landscape Amenities</i>				
steel railing	220	LF	\$15.00	\$3,300.00
conc. wall cap	440	SF	\$3.00	\$1,320.00
wood bridge	1	LS	\$500.00	\$500.00
benches	2	EA	\$750.00	\$1,500.00
shoreline imp., gen., (rip-rap)	50	SY	\$50.00	\$2,500.00
<i>Planting</i>				
shade trees	8	EA	\$350.00	\$2,800.00
ornamental trees	18	EA	\$125.00	\$2,250.00
conifer trees	0	EA	\$200.00	\$0.00
shrubbery	12	EA	\$35.00	\$420.00
ground covers (no estimate)	1	LS	\$2,500.00	\$2,500.00
lawns	0	SF	\$0.50	\$0.00
herbaceous plants (no est.)	1	LS	\$750.00	\$750.00
Subtotal				\$44,340.00
add 15% for Contingency				\$6,651.00
add 12% Professional Service				\$5,320.80
Total Preliminary Cost				\$56,000.00

The Saranac River Walk: Sheet 6, The Denny Park Link

Improvement Item	Quantity	Unit	Unit Cost	Subtotal
<i>Site Preparation</i>	no estimate	LS		\$3,500.00
<i>Grading and Drainage</i>	no estimate	LS		\$10,500.00
<i>Pavements</i>				
unit pavers: Denny Park Entry	960	SF	\$8.00	\$7,680.00
concrete walks	1800	SF	\$3.00	\$5,400.00
asphaltic conc. walk	750	SY	\$10.50	\$7,875.00
curbing (cast-in-place)	80	LF	\$10.00	\$800.00
<i>Lighting</i>				
pole lights, incl. installation	5	EA	\$2,500.00	\$12,500.00
<i>Landscape Amenities</i>				
River Bank Park: decking	450	SF	\$12.00	\$5,400.00
trestle deck w/ rail	1200	SF	\$12.00	\$14,400.00
entry gate @ Denny Park	1	LS	\$6,000.00	\$6,000.00
stone wall @ Denny Park	80	LF	\$150.00	\$12,000.00
orn. wood fence	80	LF	\$10.00	\$800.00
sculpture	1	LS	\$2,500.00	\$2,500.00
benches	4	EA	\$750.00	\$3,000.00
<i>Planting</i>				
shade trees	5	EA	\$350.00	\$1,750.00
ornamental trees	5	EA	\$125.00	\$625.00
conifer trees	5	EA	\$200.00	\$1,000.00
shrubbery	50	EA	\$35.00	\$1,750.00
ground covers (no estimate)	1	LS	\$2,500.00	\$2,500.00
lawns	5000	SF	\$0.50	\$2,500.00
herbaceous plants (no est.)	1	LS	\$2,500.00	\$2,500.00
Subtotal				\$104,980.00
add 15% for Contingency				\$15,747.00
add 8% Professional Service				\$8,398.40
Total Preliminary Cost				\$129,000.00

