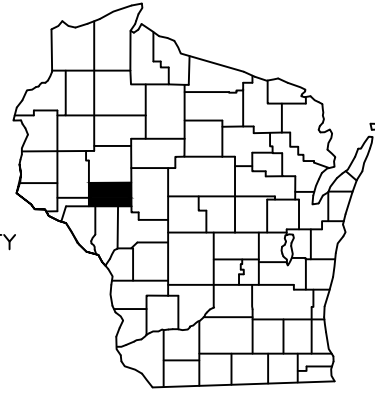


EAU CLAIRE COUNTY



Know what's below.  
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VICINITY MAP

## PROJECT LOCATION

### CONTACTS

CONTACTS	
DEPUTY CITY ENGINEER	CITY OF EAU CLAIRE ATTN: LEAH NESS (715) 839-4934
ELECTRIC	XCEL ENERGY: DESIGN SECTION ATTN: DAVID MELSNESS (715) 737-1495
GAS	XCEL ENERGY: DESIGN SECTION ATTN: MELISSA EWINGS (715) 271-6883
TELEPHONE	AT&T ATTN: KEN SCHICK (715) 839-5820
CABLE	CHARTER COMMUNICATIONS ATTN: CURT MOORE (715) 214-1172
SANITARY	CITY OF EAU CLAIRE BEN SPANEL (715) 839-4950
WATER	CITY OF EAU CLAIRE DAVID ROBERTS (715) 839-1877
FIRE DEPT.	CITY OF EAU CLAIRE ALLYN BERTRANG (715) 839-2911

# GENERAL DEVELOPMENT PLAN HIGHWAY T PROPERTY, LLC EAU CLAIRE, WI

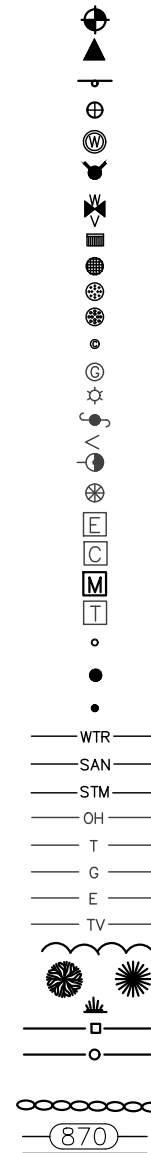


LOCATION MAP

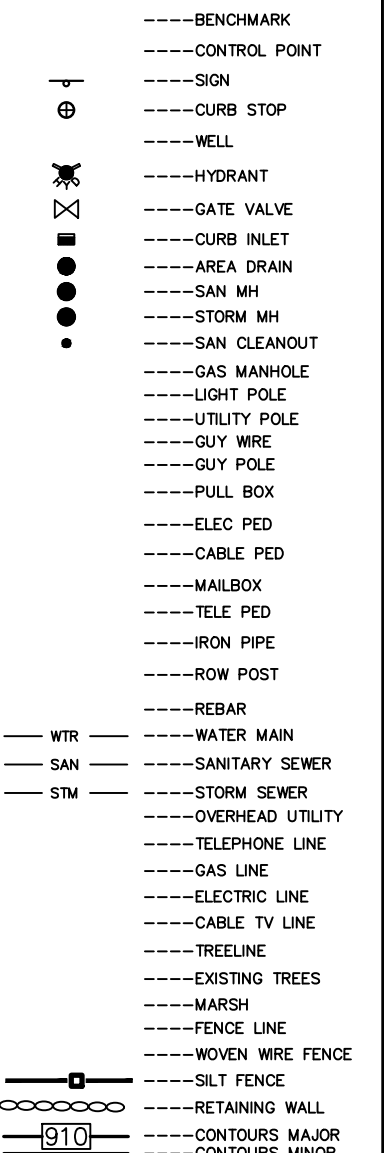
**ABBREVIATIONS:**  
BC=BACK OF CURB  
BLK=BLOCK NUMBER  
BOT=BOTTOM (ELEV)  
CL=CENTERLINE  
CS=CURB STOP  
ELEV=ELEVATION  
EOP=EDGE OF PAVEMENT  
EX=EXISTING  
FES=FLARED END SECTION  
FF=FINISHED FLOOR (ELEV)  
FL=FLOWLINE  
GF=GARAGE FLOOR (ELEV)  
GLG=GROUND LINE GROOVE  
HWL=HIGH WATER LEVEL  
INV=INVERT  
LF=LINEAR FEET  
LO=LOOKOUT STYLE HOME  
LT=LEFT  
MIN=MINIMUM  
NWL=NORMAL WATER LEVEL  
PC=POINT OF CURVE  
PRC=CURVE REVERSAL POINT  
PT=POINT OF TANGENCY  
RAD=RADIUS  
RT=RIGHT  
R/W=RIGHT OF WAY  
SAN=SANITARY SEWER  
SP=SPOT ELEVATION  
STA=STATION  
STM=STORM SEWER  
TC=TOP OF CURB  
TYP=TYPICAL  
W=WATER FITTINGS  
WAT=WATER  
WM=WATERMAIN  
WO=WALKOUT STYLE HOME

## LEGEND

### EXISTING



### PROPOSED



### SHEET SCHEDULE

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SITE PLAN OVERVIEW
3	SITE PLAN NORTH DETAIL
4	SITE PLAN SOUTH DETAIL
5	UTILITY OVERVIEW
6	GRADING PLAN OVERVIEW
7	GRADING PLAN NORTH DETAIL
8	GRADING PLAN SOUTH DETAIL

AEC PROJECT #: 21129

PLANS DATED: JUNE 2022



ADVANCED ENGINEERING CONCEPTS  
1360 INTERNATIONAL DR.  
EAU CLAIRE, WI 54701  
PH 715-552-0330  
INFO@AEC.ENGINEERING  
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**PROJECT DEVELOPER/CLIENT:**  
HIGHWAY T PROPERTY, LLC  
LARRY REIT  
1711 S HASTINGS WAY  
EAU CLAIRE, WI 54701  
PHONE: 715.839.7500  
EMAIL: LRIET@PLANTORDERS.COM

**PROJECT ENGINEER:**  
ADVANCED ENGINEERING CONCEPTS  
ATTN: SEAN BOHAN, P.E.  
1360 INTERNATIONAL DRIVE  
EAU CLAIRE, WI 54701  
PHONE: 715.552.0330  
EMAIL: SBOHAN@AEC.ENGINEERING

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
CITY OF EAU CLAIRE	JUNE 2022	
WIDNR - WRAPP PERMIT		
WIDNR - SANITARY EXTENSION PERMIT		
WIDNR - WATER MAIN EXTENSION PERMIT		



Know what's below.  
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#### SITE PLAN BUILDING LEGEND

- 1 PRODUCTION BUILDING  
FFE=907.20  
45 FT BY 110 FT  
4,950 S.F.
- 2 STAGE  
FFE=907.20  
120 FT BY 60 FT  
7,200 S.F.
- 3 SOUND STAGE  
FFE=907.20  
45 FT BY 37 FT  
1,665 S.F.
- 4 EVENT CENTER  
FFE=907.20  
38,252 S.F.
- 5 LOWER VENUE BUILDING  
FFE=907.20  
65 FT BY 20 FT  
1,300 S.F.
- 6 UPPER VENUE BUILDING  
FFE=925.00  
100 FT BY 160 FT  
16,000 S.F.
- 7 SHOWER BUILDING  
FFE=910.00
- 8 ENTRANCE BOOTHS  
FFE=915.00

#### GRADING PLAN LEGEND

- (1106)--- EXISTING CONTOURS-MNR
- (1105)--- EXISTING CONTOUR-MJR
- 851--- FINAL CONTOUR-MJR
- 849--- FINAL CONTOUR-MNR

#### GENERAL NOTES:

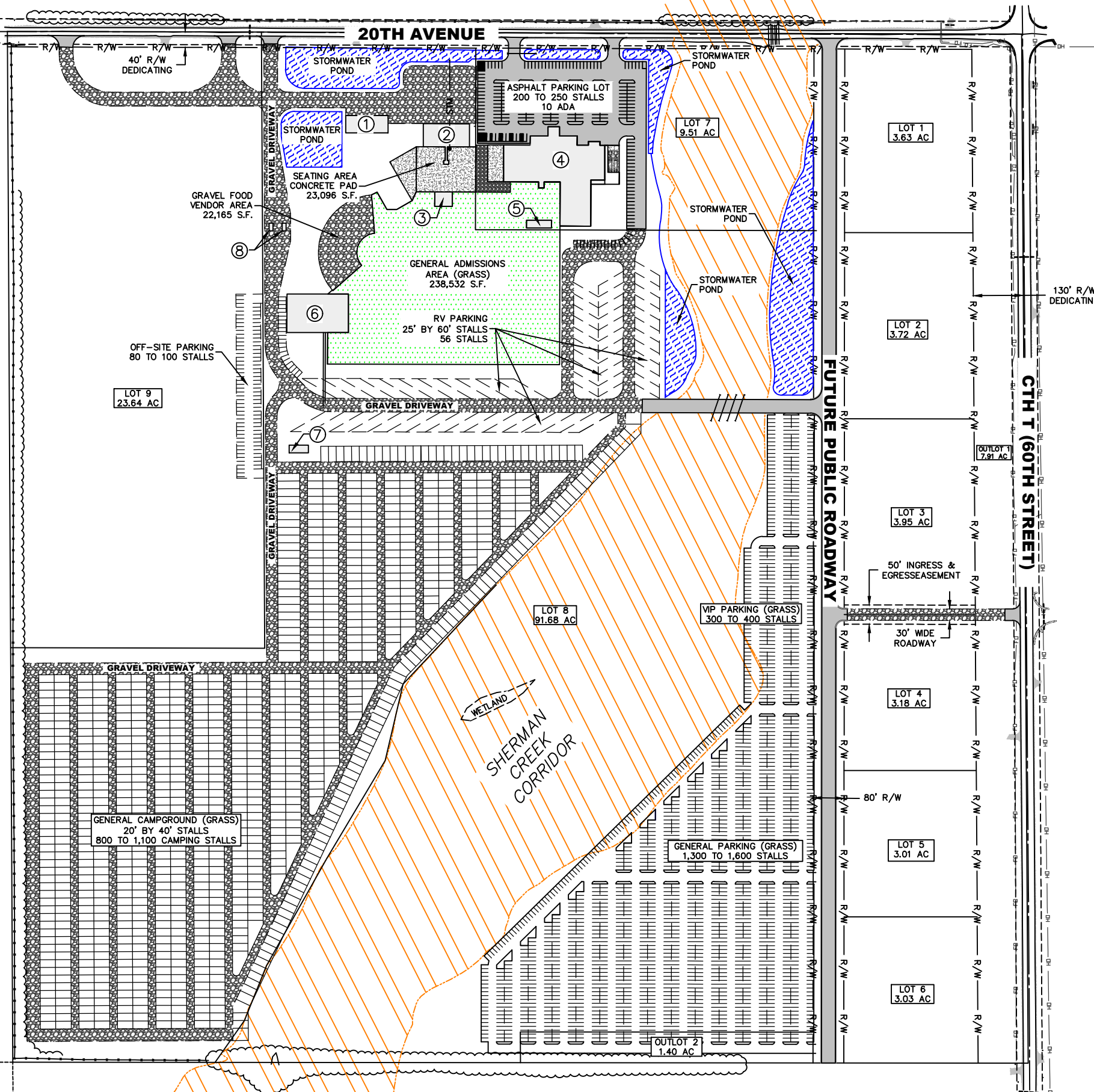
1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
2. CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
3. CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL NECESSARY THROUGHOUT THE PROJECT. COSTS FOR DUST CONTROL ARE INCIDENTAL TO PROJECT.
4. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
5. PAINT LINE WORK ON ASPHALTIC PAVING, CONCRETE CURBS, WALKS, AND RAMPS SHALL BE FACTORY MIXED, QUICK DRYING, NON-BLEEDING TRAFFIC MARKING PAINT COMPLYING WITH AASHTO M248, Type COLOR SHALL BE WHITE, EXCEPT WHERE ANOTHER COLOR IS REQUIRED BY CODE. CONTRACTOR SHALL CLEAN SURFACE IN THE AREAS RECEIVING PAINT AND SHALL PAINT ALL MARKINGS AND SYMBOLS WITH TRAFFIC MARKING PAINT. PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. CONTRACTOR SHALL APPLY TWO (2) COATS AT MANUFACTURER'S RECOMMENDED RATES.

#### HATCHING LEGEND

- PROPOSED BITUMINOUS PAVEMENT
  - PROPOSED BUILDING
  - PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)
  - PROPOSED GRAVEL PARKING LOT
  - FLOODPLAIN
- ALL NON-HATCHED AREAS INDICATE GRASS UNLESS OTHERWISE NOTED.

NOTE:  
CONTRACTOR TO FIELD VERIFY  
EXISTING UTILITY LOCATIONS

#### 20TH AVENUE



OFF-SITE PARKING  
80 TO 100 STALLS

LOT 9  
23.64 AC

VIP PARKING (GRASS)  
300 TO 400 STALLS

LOT 8  
91.68 AC

GENERAL CAMPGROUND (GRASS)  
20' BY 40' STALLS  
800 TO 1,100 CAMPING STALLS

GENERAL PARKING (GRASS)  
1,300 TO 1,600 STALLS

OUTLOT 2  
1.40 AC

CTH T (60TH STREET)

FUTURE PUBLIC ROADWAY

SHERMAN  
CREEK  
CORRIDOR

HIGHWAY T PROPERTY, LLC  
EAU CLAIRE, WI

**SITE AREAS**

TOTAL EVENT SITE AREA=4,407,836 S.F. (±101.2 ACRES)  
TOTAL EAST COMMERCIAL SITE AREAS=893,851 S.F. (±20.5 ACRES)  
TOTAL FUTURE INDUSTRIAL SITE AREA=1,028,016 (±23.6 ACRES)  
TOTAL SITE AREA : 6,329,268 S.F. (±145.3 ACRES)

**EVENT SITE IMPERVIOUS AREA (AS % OF TOTAL SITE AREA)**

ROOFTOP: 70,367-S.F. (1.62-AC)(1.06%)  
GRAVEL SURFACE: 541,446-S.F. (12.43-AC)(8.19%)  
CONCRETE PAVEMENT: 261,628-S.F. (6.01-AC)(3.96%)  
BITUMINOUS PAVEMENT: 211,348-S.F. (4.85-AC)(3.20%)  
TOTAL IMPERVIOUS: 1,084,789-S.F. (24.9-AC)(16.41%)

**EVENT SITE PERVIOUS AREA (AS A % OF TOTAL SITE AREA)**

OPEN SPACE: 5,522,128-SF (126.8-AC)  
PERCENT PERVIOUS: 83.59%

**PROPOSED ZONING:**

LOTS 1-7: C-3  
SETBACKS:  
FRONT: 30'  
SIDE: 0'  
REAR: 0'

LOTS 8-9: I-1  
SETBACKS:  
FRONT: 30'  
SIDE: 0'  
REAR: 0'

**SITE NOTES:**

1. BUILDER MUST VERIFY BUILDINGS DIMENSIONS WITH ARCHITECTURAL PLANS.
2. THE ELEVATIONS OF THE PAVEMENT, INFILTRATION BASIN, GRASSED SWALES AND GRASSED FILTER STRIPS MUST BE BUILT PER PLAN IN ORDER TO MEET THE REQUIREMENTS AND DESIGN OF THE GENERAL PERMIT AND STORM WATER MANAGEMENT PLAN.
3. RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF 4" TOPSOIL, SEED AND MULCH.
4. ALL LENGTHS OF PIPE INCLUDE FLARED END SECTION (F.E.S.). CONTRACTOR WILL ONLY BE PAID FOR L.F. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.

PROJ. NO.  
21129



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SITE PLAN  
OVERVIEW

GENERAL DEVELOPMENT PLAN  
HIGHWAY T PROPERTY, LLC  
EAU CLAIRE, WI

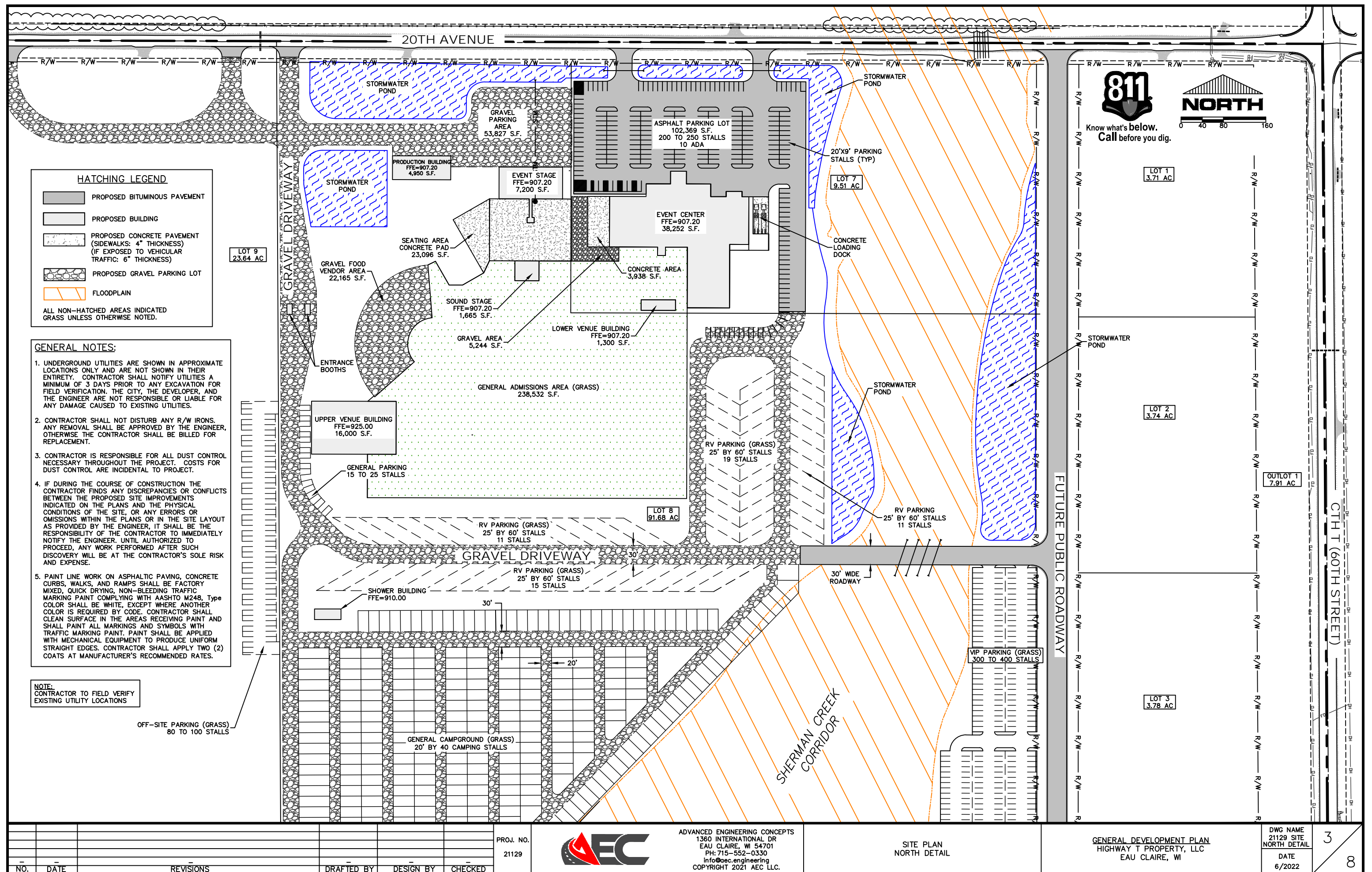
DWG NAME  
21129 SITE  
OVERVIEW  
DATE  
6/2022

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HATCHING LEGEND

PROPOSED BITUMINOUS PAVEMENT

PROPOSED BUILDING

PROPOSED CONCRETE PAVEMENT  
(SIDEWALKS: 4" THICKNESS)  
(IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)

PROPOSED GRAVEL PARKING LOT

FLOODPLAIN

ALL NON-HATCHED AREAS INDICATED  
GRASS UNLESS OTHERWISE NOTED.

- GENERAL NOTES:
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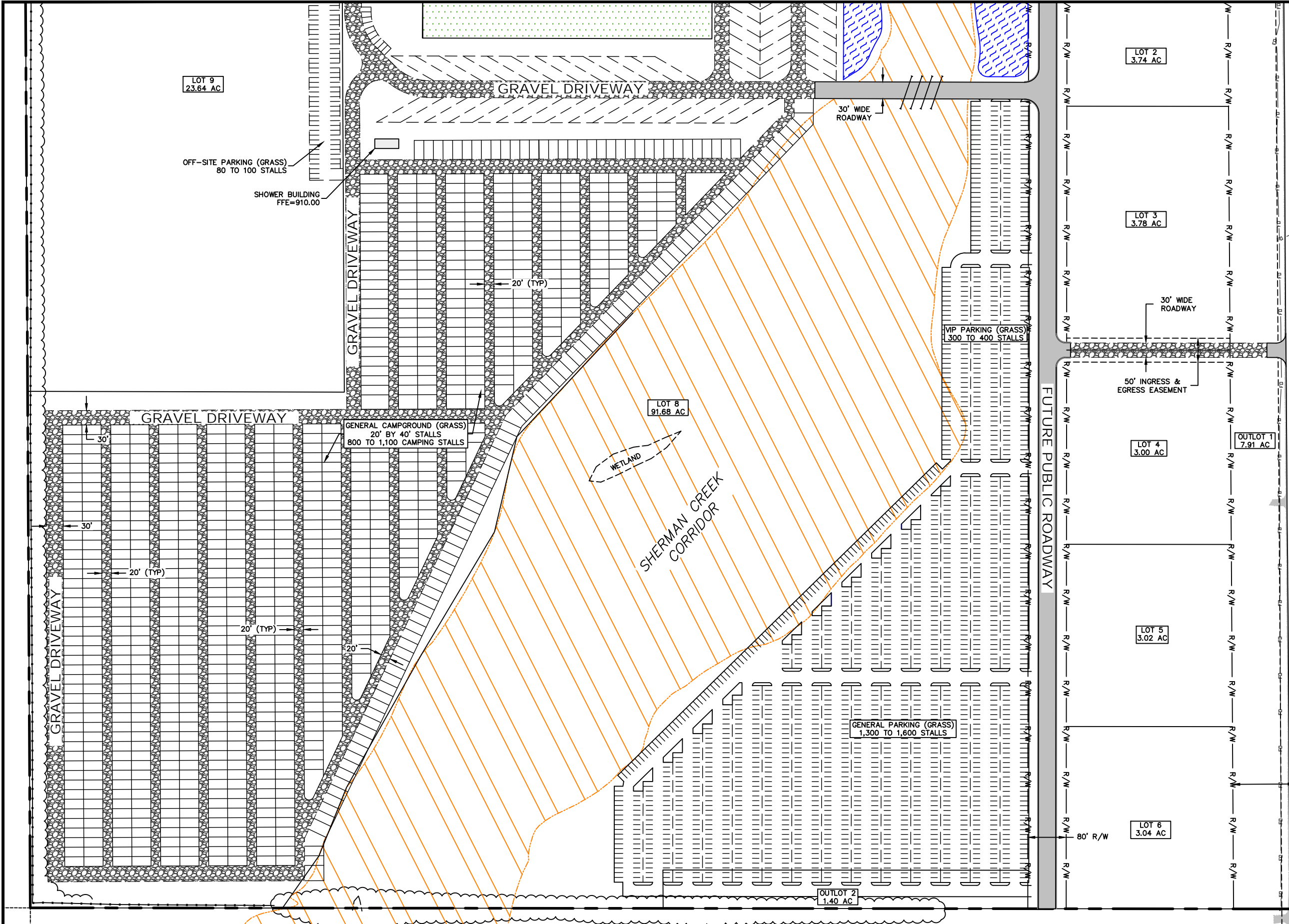
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SITE PLAN  
SOUTH DETAIL

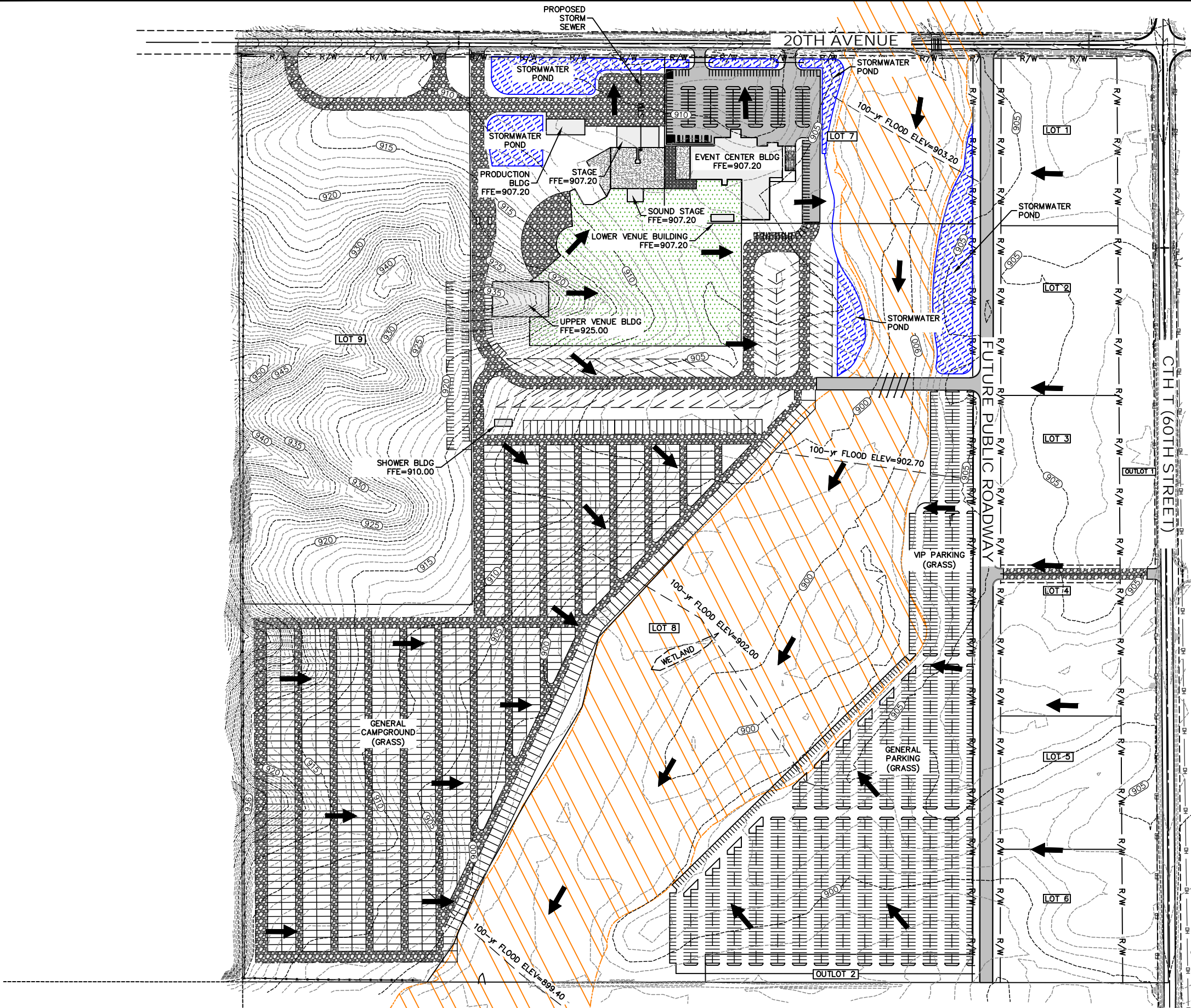
GENERAL DEVELOPMENT PLAN  
HIGHWAY T PROPERTY, LLC  
EAU CLAIRE, WI

DWG NAME  
21129 SITE  
SOUTH DETAIL  
DATE  
6/2022











Know what's below.  
Call before you dig.



**NORTH**






0 75 150 300

**GRADING PLAN LEGEND**

- 1106 --- EXISTING CONTOURS-MNR
- 1105 --- EXISTING CONTOUR-MJR
- 851 --- FINAL CONTOUR-MJR
- 849 --- FINAL CONTOUR-MNR
- ➔ PROPOSED DRAINAGE DIRECTION


- GRADING NOTES:**
- ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
  - RECTANGLES REPRESENT BUILDING PAD LOCATIONS, NOT STRUCTURE DIMENSIONS OR POSITION. STRUCTURE PLACEMENT SHALL COMPLY WITH ALL APPLICABLE SETBACKS PER CITY CODE AND FINAL PLAT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
  - ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
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**HATCHING LEGEND**

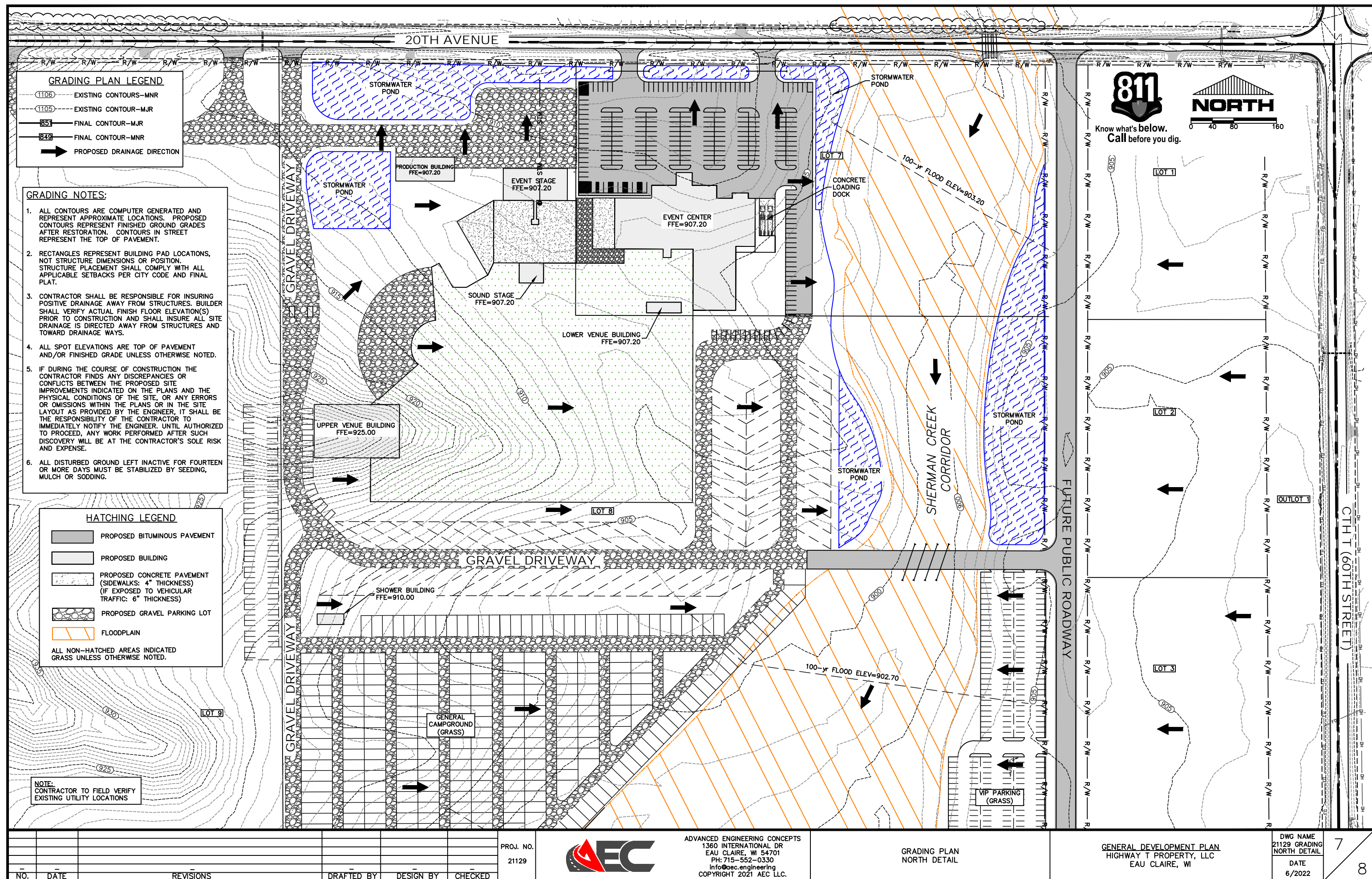
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-  FLOODPLAIN

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NOTE:  
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

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NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY						DATE	6/2022	









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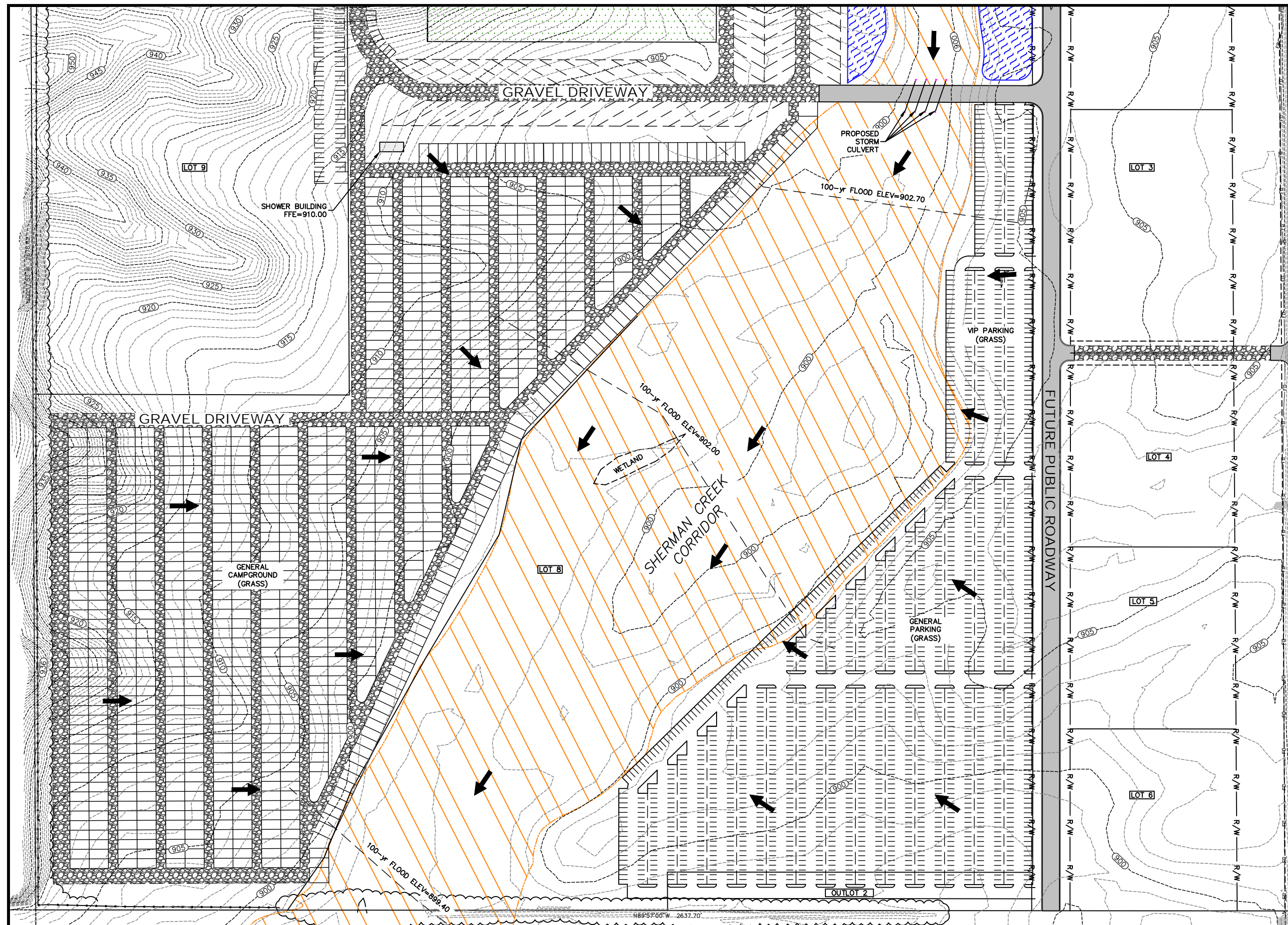
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#### GRADING PLAN LEGEND

- EXISTING CONTOURS-MNR
- EXISTING CONTOUR-MJR
- FINAL CONTOUR-MJR
- FINAL CONTOUR-MNR
- PROPOSED DRAINAGE DIRECTION

NOTE:  
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GRADING PLAN  
SOUTH DETAIL

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21129 GRADING  
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