

SHENKER
RESIDENCE

ARCHITECTURAL &
INTERIOR DESIGN

90 BIRCH LANE
WOODMERE, NY 11598

SHEET LIST	
#	SHEET NAME

00 - GENERAL INFORMATION	
A-000	COVERSHEET
A-001	PLOT PLAN & ZONING CALCULATIONS

01 - FLOOR PLANS	
A-010	DEMOLITION PLAN
A-111	CONSTRUCTION PLAN - 1ST FLOOR
A-112	CONSTRUCTION PLAN - 2ND FLOOR

02 - ELEVATIONS	
A-200	EXTERIOR ELEVATIONS - FRONT & REAR
A-201	EXTERIOR ELEVATIONS - SIDES

03 - SECTIONS	
A-300	BUILDING SECTIONS
A-301	BUILDING SECTIONS



11 CIRCLE AVE
CLIFTON, NJ 07011
Tel: 973.772.8110 Fax: 973.772.8175

ARCHITECT OF RECORD:
ISHAC DESIGN ARCHITECTS, PC
ONE HARMON PLAZA, SUITE 760
SECAUCUS, NJ 07094
TEL: 212.947.2878

STRUCTURAL ENGINEER:
EDWARD STANLEY ENGINEERS LLC
6 WATER STREET
GUILFORD, CT 06437
TEL: 203.458.0210

MEP ENGINEER:
M.A. RUBIANO, P.C. CONSULTING
225 ADAMS ST. SUITE B
BROOKLYN, NY 11201
TEL: 609.658.5218

CIVIL/ GEOTECHNICAL ENGINEER:
AHNEMAN KIRBY
1171 E PUTNAM AVE.
RIVERSIDE, CT 06878
TEL: 843.501.7964

PROJECT:

SHENKER
RESIDENCE

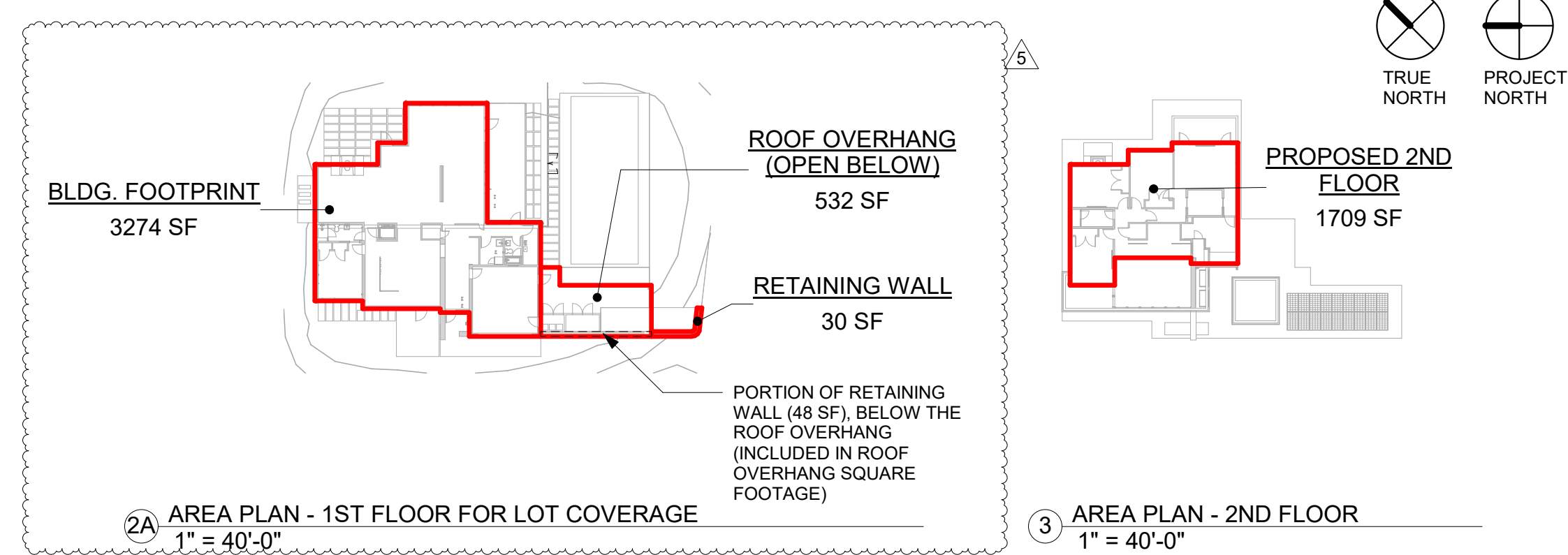
90 BIRCH LANE, WOODMERE, NY 11598

Drawing and specifications as instruments of service are and shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for his use and for occupying the project for which they were prepared, and not for the construction of any other projects. Any use or reproduction of this drawing in whole or part by any means whatsoever is strictly prohibited except with specific written consent of K2 Studios.

ISSUE #	DATE	DESCRIPTION
1	04.07.2021	PERMIT SET
2	04.29.2021	BLDG. DEPT. COMMENTS
3	05.04.2021	DESIGN DEVELOPMENT SET
4	05.28.2021	ZONING RESPONSE

DRAWING TITLE:
COVERSHEET

SCALE:	DATE: Issue Date
DESIGNED BY: Designer	PROJECT # 58
DRAWN BY: Author	CAD FILE:
CHECKED BY:Checker	DRAWING #:
PROFESSIONAL SEAL:	DRAWING #: A-000 SHEET #:

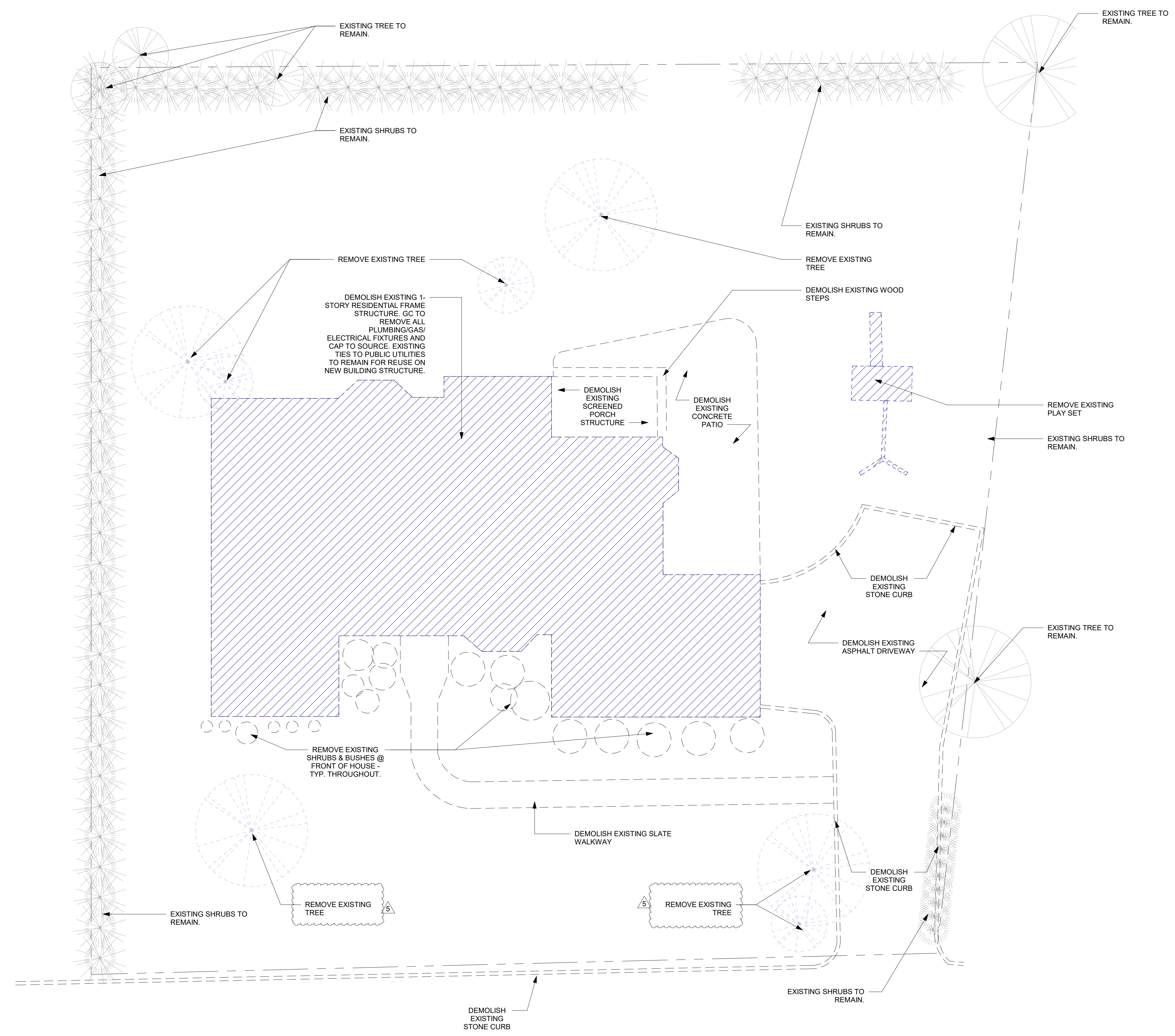


FLOOR AREA	
ZONE: RESIDENCE B	4,371 SF PERMITTED
LOT AREA	17,712 SF
PROPOSED 1ST FLOOR	3,274 SF
PROPOSED 2ND FLOOR	1,709 SF
TOTAL PROPOSED SF	4,983 SF

VARIANCE REQ'D. PER 150-39 (F)

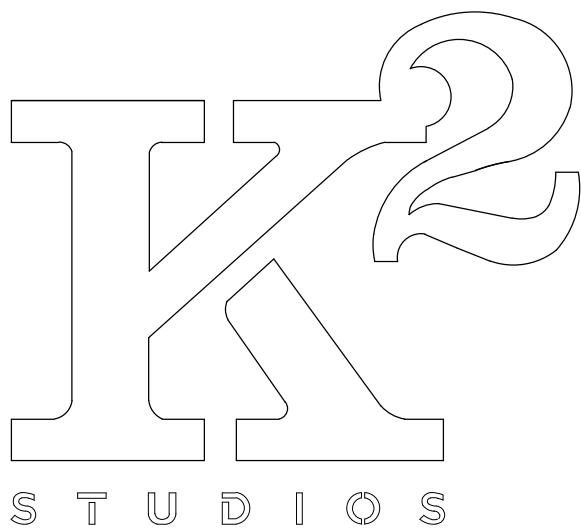
VARIANCE REQ'D. PER 150-39 (A)

SHEET #



GENERAL DEMOLITION NOTES:

- PRIOR TO ANY DEMOLITION COMMENCING, A LICENSED ELECTRICIAN AND PLUMBER MUST VERIFY THERE IS NO LIVE ELECTRICAL OR WATER LINES WITHIN AREAS OF DEMOLITION SCOPE. ALL EXISTING ELECTRICAL AND PLUMBING MUST BE CAPPED TO A POINT WHERE LINES DO NOT INTERFERE WITH DEMOLITION SCOPE. CONTRACTOR MUST BE FAMILIAR WITH LOCATION OF ALL SHUT OFFS PRIOR TO DEMOLITION COMMENCING.
1. THE SCOPE OF DEMOLITION SHALL INCLUDE WORK SHOWN ON DRAWINGS AND OTHERWISE REQUIRED TO EXECUTE THE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- A. REMOVE EXISTING PARTITIONS AND FINISHES THROUGHOUT AND AS SHOWN ON PLANS.
B. BATHROOM FINISHES AND FIXTURES AS SHOWN ON PLANS.
C. REMOVE/RELOCATE EXISTING LIGHTING AND HVAC DUCTWORK THROUGHOUT AS SHOWN ON PLANS
D. REMOVE EXISTING CEILING AND ROOF ASSEMBLY
2. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER. ALL LIGHTING FIXTURES TO BE REMOVED SHALL BE RETAINED FOR OWNER'S USE AS INSTRUCTED BY OWNER.
3. CONTRACTOR SHALL REMOVE OR RELOCATE WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
4. GENERAL CONTRACTOR SHALL EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF ALL EXISTING FINISHES TO REMAIN AND/OR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISH AND COORDINATE ALL TRADES TO ELIMINATE DAMAGE TO ALL FLOOR MATERIALS ONCE INSTALLED.
5. PROVIDE MASONITE AS REQUIRED TO PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND ALL NEW CONSTRUCTION AS REQUIRED.
6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR IS TO INSPECT AREAS AND ADJACENT CONSTRUCTION IN WHICH WORK IS TO BE PERFORMED. PHOTOGRAPHS AND DOCUMENTATION OF EXISTING CONDITIONS ARE TO BE SUBMITTED TO THE OWNER'S REPRESENTATIVE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT EACH SUBCONTRACTOR CLEANS UP AND REMOVES, DAILY, ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.
8. ALL MATERIALS SHALL BE REMOVED AND DISPOSED OF IN COMPLETE ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND CODES.
9. NO ASBESTOS REMOVAL IS PROPOSED AS PART OF THIS WORK. IF ANY ASBESTOS OR OTHER KNOWN OR SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED THEY SHALL BE LEFT UNDISTURBED AND ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
10. NO DEMOLITION OF ANY STRUCTURAL ELEMENT SHALL BE UNDERTAKEN WITHOUT NOTIFICATION AND REVIEW BY THE ARCHITECT.
11. REMOVE EXISTING WOOD FLOORING DOWN TO PLYWOOD. REPLACE PLYWOOD IF THERE IS ANY DAMAGE, (TO BE REMOVED FOR TILE AND WATERPROOFING)



11 CIRCLE AVE
CLIFTON, NJ 07011
Tel: 973.772.8110 Fax: 973.772.8175

ARCHITECT OF RECORD:
ISHAC DESIGN ARCHITECTS, PC
ONE HARMON PLAZA, SUITE 760
SECAUCUS, NJ 07094
TEL: 212.947.2878

STRUCTURAL ENGINEER:
EDWARD STANLEY ENGINEERS LLC
6 WATER STREET
GUILFORD, CT 06437
TEL: 203.458.0210

MEP ENGINEER:
M.A. RUBIANO, P.C. CONSULTING
225 ADAMS ST. SUITE B
BROOKLYN, NY 11201
TEL: 609.658.5218

CIVIL/ GEOTECHNICAL ENGINEER:
AHNEMAN KIRBY
1171 E PUTNAM AVE.
RIVERSIDE, CT 06878
TEL: 843.501.7964

PROJECT:

**SHENKER
RESIDENCE**

90 BIRCH LANE, WOODMERE, NY 11598

Drawing and specifications as instruments of service are and shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for his use and for occupying the project for which they were prepared, and not for the construction of any other projects. Any use or reproduction of this drawing in whole or part by any means whatsoever is strictly prohibited except with specific written consent of K2 Studios.

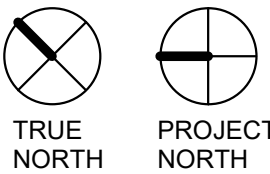
ISSUE #	DATE	DESCRIPTION
1	04.07.2021	PERMIT SET
2	04.29.2021	BLDG. DEPT. COMMENTS
3	05.04.2021	DESIGN DEVELOPMENT SET
4	05.28.2021	ZONING RESPONSE
5	07.21.2021	BOARD COMMENT UPDATES

DRAWING TITLE:

DEMOLITION PLAN

SCALE: As indicated	DATE: Issue Date
DESIGNED BY: Designer	PROJECT # 58
DRAWN BY: Author	CAD FILE:
CHECKED BY:Checker	DRAWING #:

PROFESSIONAL SEAL:	DRAWING #:
	A-010
	SHEET #:





11 CIRCLE AVE
CLIFTON, NJ 07011
Tel: 973.772.8110 Fax: 973.772.8175

ARCHITECT OF RECORD:
ISHAC DESIGN ARCHITECTS, PC
ONE HARMON PLAZA, SUITE 760
SECAUCUS, NJ 07094
TEL: 212.947.2878

STRUCTURAL ENGINEER:
EDWARD STANLEY ENGINEERS LLC
6 WATER STREET
GUILFORD, CT 06437
TEL: 203.458.0210

MEP ENGINEER:
M.A. RUBIANO, P.C. CONSULTING
225 ADAMS ST. SUITE B
BROOKLYN, NY 11201
TEL: 609.658.5218

CIVIL/ GEOTECHNICAL ENGINEER:
AHNEMAN KIRBY
1171 E PUTNAM AVE.
RIVERSIDE, CT 06878
TEL: 843.501.7964

PROJECT:

SHENKER RESIDENCE

90 BIRCH LANE, WOODMERE, NY 11598

Drawing and specifications are instruments of service and shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for his use and for occupying the project for which they were prepared, and not for the construction of any other projects. Any use or reproduction of this drawing in whole or part by any means whatsoever is strictly prohibited except with specific written consent of K2 Studio.

ISSUE #	DATE	DESCRIPTION
1	04.07.2021	PERMIT SET
2	04.29.2021	BLDG. DEPT. COMMENTS
3	05.04.2021	DESIGN DEVELOPMENT SET
4	05.28.2021	ZONING RESPONSE
5	07.21.2021	BOARD COMMENT UPDATES

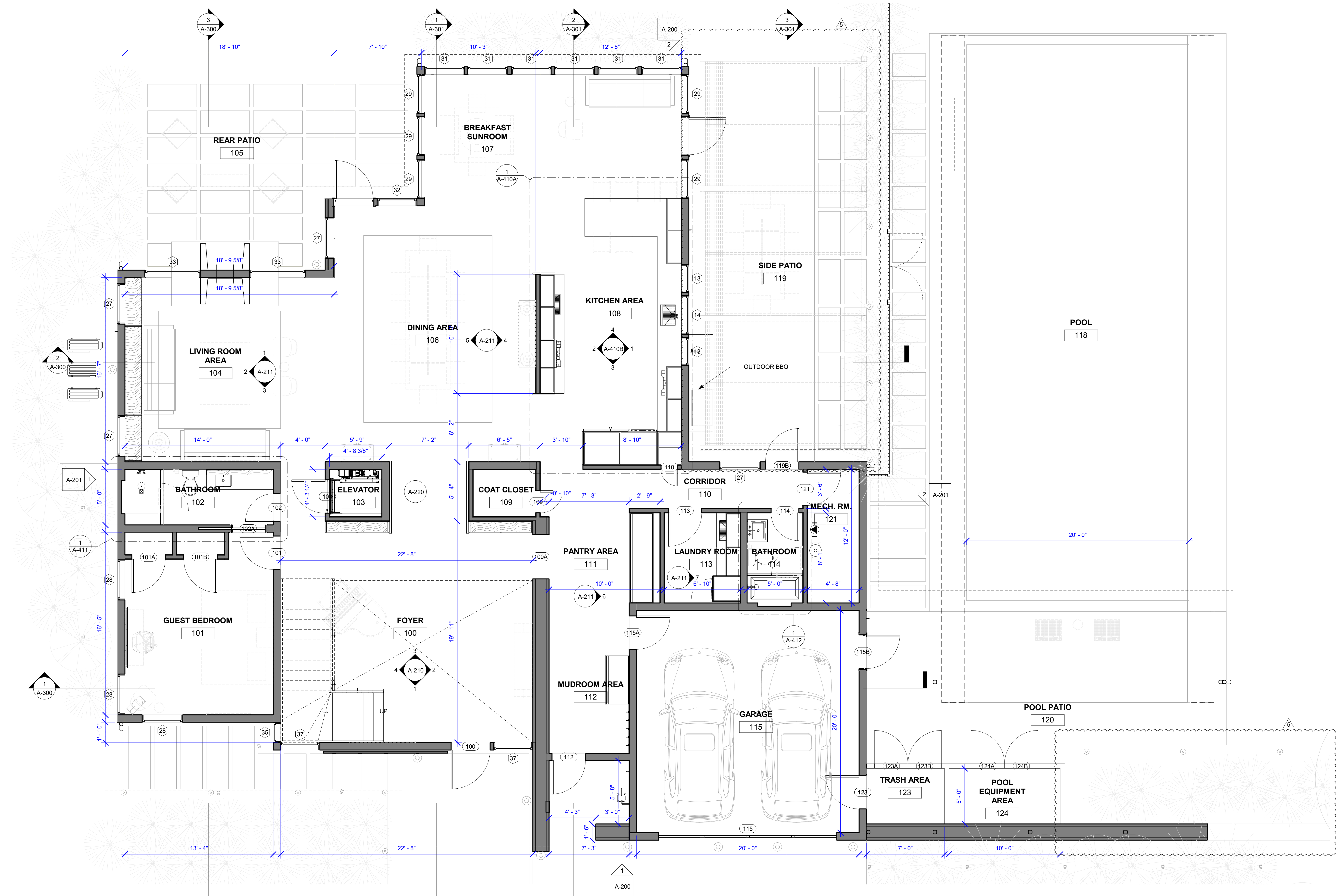
DRAWING TITLE:

CONSTRUCTION PLAN - 1ST FLOOR

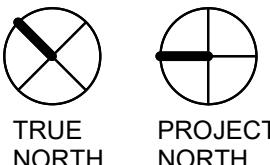
SCALE:	1/4" = 1'-0"	DATE:	Issue Date
DESIGNED BY:	K2	PROJECT #	58
DRAWN BY:	SJ	CAD FILE:	
CHECKED BY:	CK	DRAWING #:	
PROFESSIONAL SEAL:		DRAWING #:	

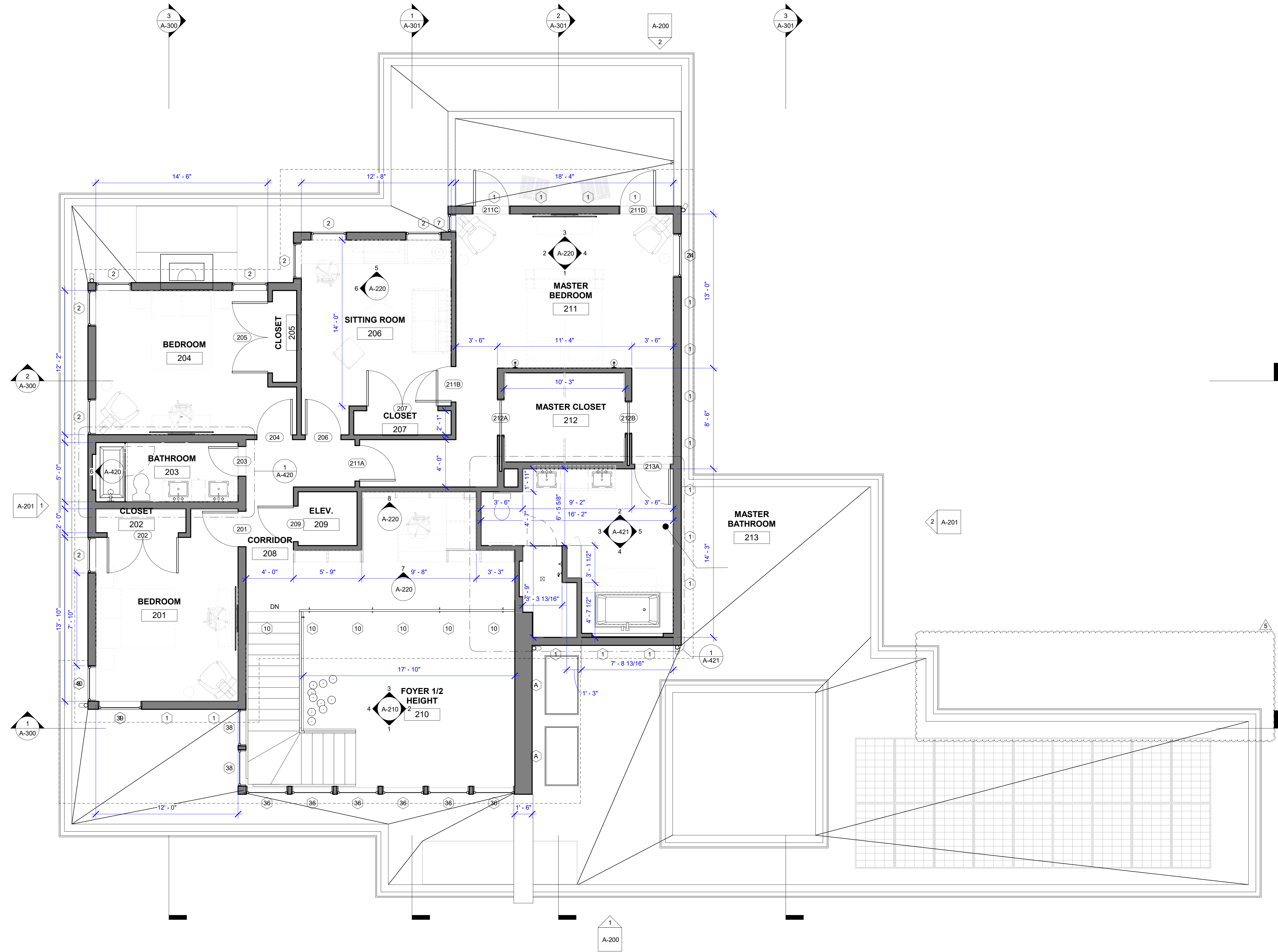
A-111

SHEET #:



1 CONSTRUCTION PLAN - 1ST FLOOR
1/4" = 1'-0"





1 CONSTRUCTION PLAN - 2ND FLOOR
1/4" = 1'-0"



11 CIRCLE AVE
CLIFTON, NJ 07011
Tel: 973.772.8110 Fax: 973.772.8175

ARCHITECT OF RECORD:
ISHAC DESIGN ARCHITECTS, PC
ONE HARMON PLAZA, SUITE 760
SECAUCUS, NJ 07094
TEL: 212.947.2878

STRUCTURAL ENGINEER:
EDWARD STANLEY ENGINEERS LLC
6 WATER STREET
GUILFORD, CT 06437
TEL: 203.458.0210

MEP ENGINEER:
M.A. RUBIANO, P.C. CONSULTING
225 ADAMS ST. SUITE B
BROOKLYN, NY 11201
TEL: 609.658.5218

CIVIL/ GEOTECHNICAL ENGINEER:
AHNEMAN KIRBY
1171 E PUTNAM AVE.
RIVERSIDE, CT 06878
TEL: 843.501.7964

PROJECT:

**SHENKER
RESIDENCE**

90 BIRCH LANE, WOODMERE, NY 11598

Drawing and specifications are instruments of service and shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for his use and for occupying the project for which they were prepared, and not for the construction of any other projects. Any use or reproduction of this drawing in whole or part by any means whatsoever is strictly prohibited except with specific written consent of K2 Studio.

ISSUE #	DATE	DESCRIPTION
1	04.07.2021	PERMIT SET
2	04.29.2021	BLDG. DEPT. COMMENTS
3	05.04.2021	DESIGN DEVELOPMENT SET
4	05.28.2021	ZONING RESPONSE
5	07.21.2021	BOARD COMMENT UPDATES

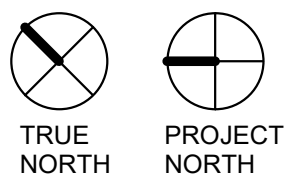
DRAWING TITLE:

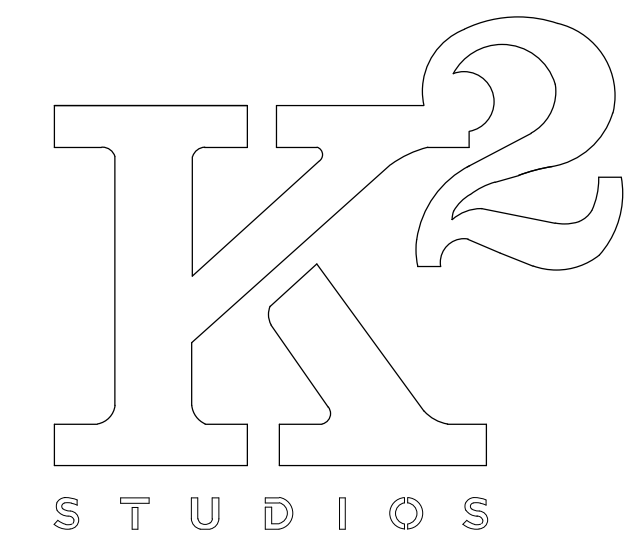
**CONSTRUCTION PLAN -
2ND FLOOR**

SCALE: 1/4" = 1'-0"	DATE: Issue Date
DESIGNED BY: Designer	PROJECT # 58
DRAWN BY: Author	CAD FILE:
CHECKED BY: Checker	DRAWING #:
PROFESSIONAL SEAL:	DRAWING #:

A-112

SHEET #:





11 CIRCLE AVE
CLIFTON, NJ 07011
Tel: 973.772.8110 Fax: 973.772.8175

ARCHITECT OF RECORD:
ISHAC DESIGN ARCHITECTS, PC
ONE HARMON PLAZA, SUITE 760
SECAUCUS, NJ 07094
TEL: 212.947.2878

STRUCTURAL ENGINEER:
EDWARD STANLEY ENGINEERS LLC
6 WATER STREET
GUILFORD, CT 06437
TEL: 203.458.0210

MEP ENGINEER:
M.A. RUBIANO, P.C. CONSULTING
225 ADAMS ST. SUITE B
BROOKLYN, NY 11201
TEL: 609.658.5218

CIVIL/ GEOTECHNICAL ENGINEER:
AHNEMAN KIRBY
1171 E PUTNAM AVE.
RIVERSIDE, CT 06878
TEL: 843.501.7964

PROJECT:

SHENKER RESIDENCE

90 BIRCH LANE, WOODMERE, NY 11598

Drawing and specifications as instruments of service are and shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for his use and for occupying the project for which they were prepared, and not for the construction of any other projects. Any use or reproduction of this drawing in whole or part by any means whatsoever is strictly prohibited except with specific written consent of K2 Studios.

ISSUE #	DATE	DESCRIPTION
1	04.07.2021	PERMIT SET
2	04.29.2021	BLDG. DEPT. COMMENTS
3	05.04.2021	DESIGN DEVELOPMENT SET
4	05.28.2021	ZONING RESPONSE
5	07.21.2021	BOARD COMMENT UPDATES

DRAWING TITLE:

EXTERIOR ELEVATIONS - FRONT & REAR

SCALE: 3/16" = 1'-0" DATE: Issue Date

DESIGNED BY: Designer PROJECT # 58

DRAWN BY: Author CAD FILE:

CHECKED BY: Checker DRAWING #:

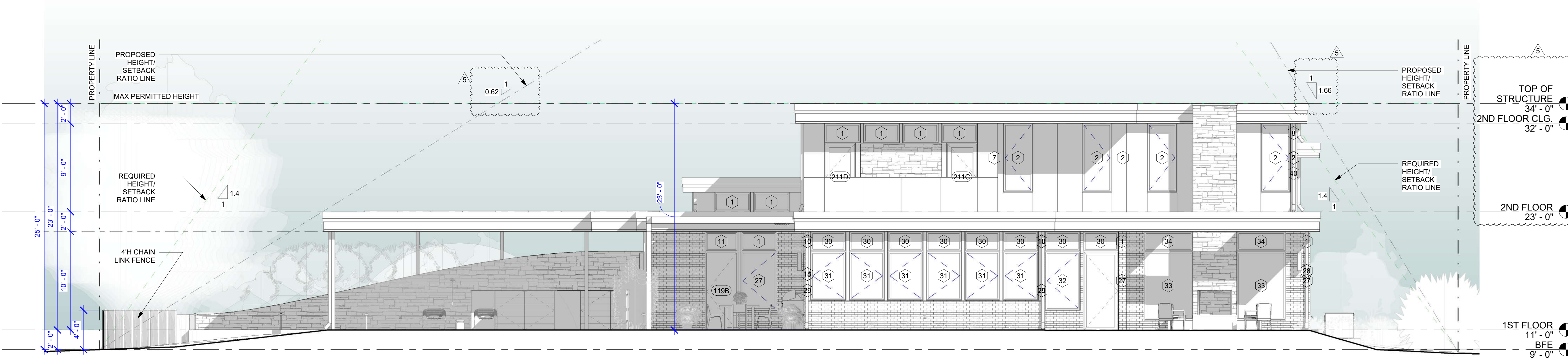
PROFESSIONAL SEAL: DRAWING #:

A-200

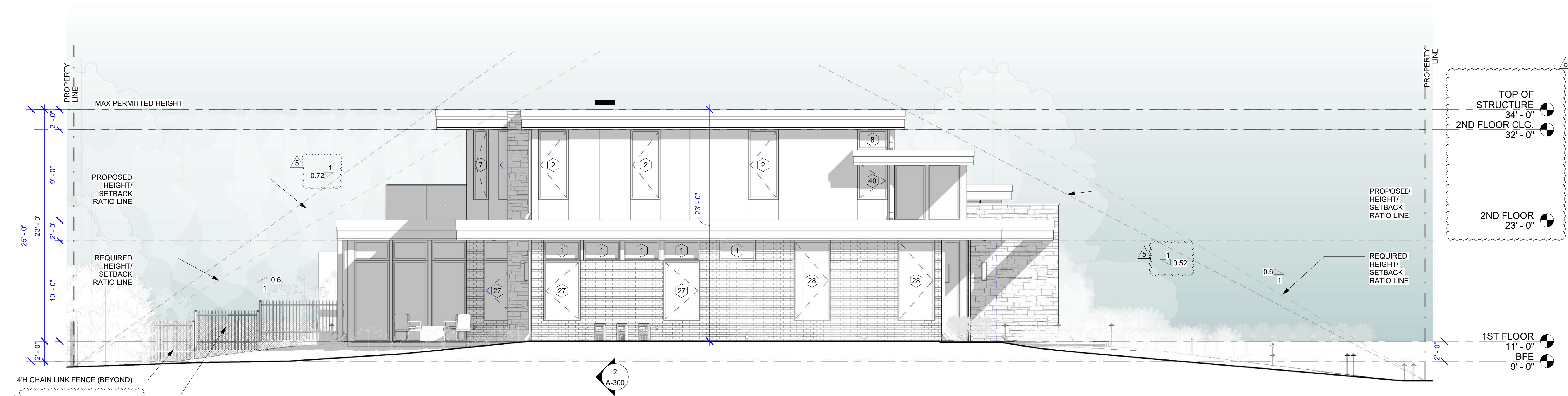
SHEET #:



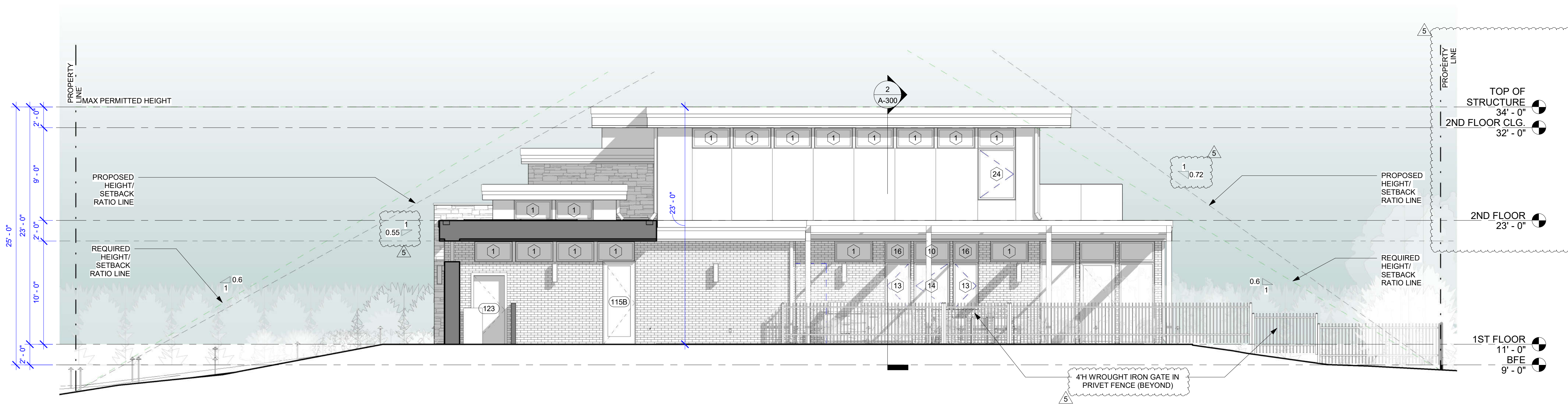
1 EXTERIOR ELEVATION - SE - FRONT
3/16" = 1'-0"



2 EXTERIOR ELEVATION - NW - REAR
3/16" = 1'-0"



1 EXTERIOR ELEVATION - NE - LIVING ROOM SIDE
3/16" = 1'-0"



2 EXTERIOR ELEVATION - SW - POOL SIDE
3/16" = 1'-0"



11 CIRCLE AVE
CLIFTON, NJ 07011
Tel: 973.772.8110 Fax: 973.772.8175

ARCHITECT OF RECORD:

ISHAC DESIGN ARCHITECTS, PC
ONE HARMON PLAZA, SUITE 760
SECAUCUS, NJ 07094
TEL: 212.947.2878

STRUCTURAL ENGINEER:

EDWARD STANLEY ENGINEERS LLC
6 WATER STREET
GUILFORD, CT 06437
TEL: 203.458.0210

MEP ENGINEER:

M.A. RUBIANO, P.C. CONSULTING
225 ADAMS ST. SUITE B
BROOKLYN, NY 11201
TEL: 609.658.5218

CIVIL/ GEOTECHNICAL ENGINEER:

AHNEMAN KIRBY
1171 E PUTNAM AVE.
RIVERSIDE, CT 06878
TEL: 843.501.7964

PROJECT:

**SHENKER
RESIDENCE**

90 BIRCH LANE, WOODMERE, NY 11598

Drawing and specifications as instruments of service are and shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for the use and for occupying the project for which they were prepared, and not for the construction of any other projects. Any use or reproduction of this drawing in whole or part by any means whatsoever is strictly prohibited except with specific written consent of K2 Studios.

ISSUE #	DATE	DESCRIPTION
1	04.07.2021	PERMIT SET
2	04.29.2021	BLDG. DEPT. COMMENTS
3	05.04.2021	DESIGN DEVELOPMENT SET
4	05.28.2021	ZONING RESPONSE
5	07.21.2021	BOARD COMMENT UPDATES

DRAWING TITLE:

**EXTERIOR ELEVATIONS -
SIDES**

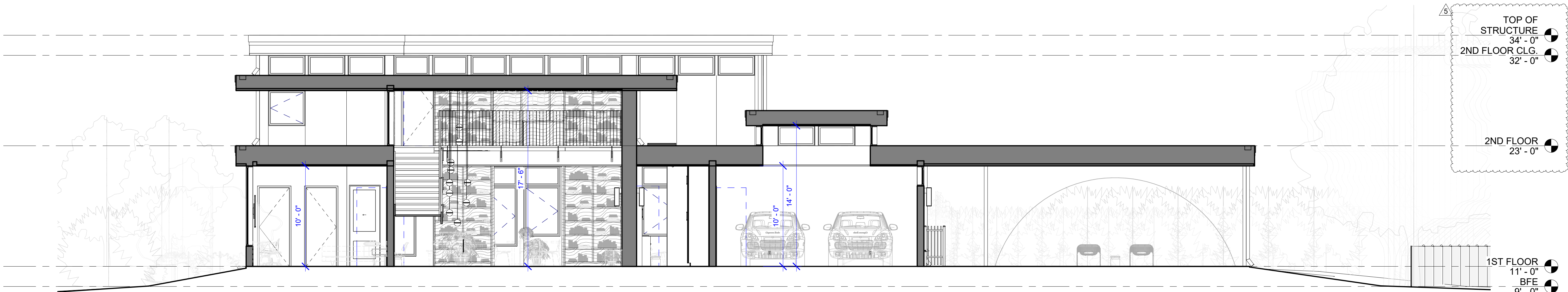
SCALE: 3/16" = 1'-0"	DATE: Issue Date
DESIGNED BY: Designer	PROJECT # 58
DRAWN BY: Author	CAD FILE:
CHECKED BY: Checker	DRAWING #:

PROFESSIONAL SEAL:

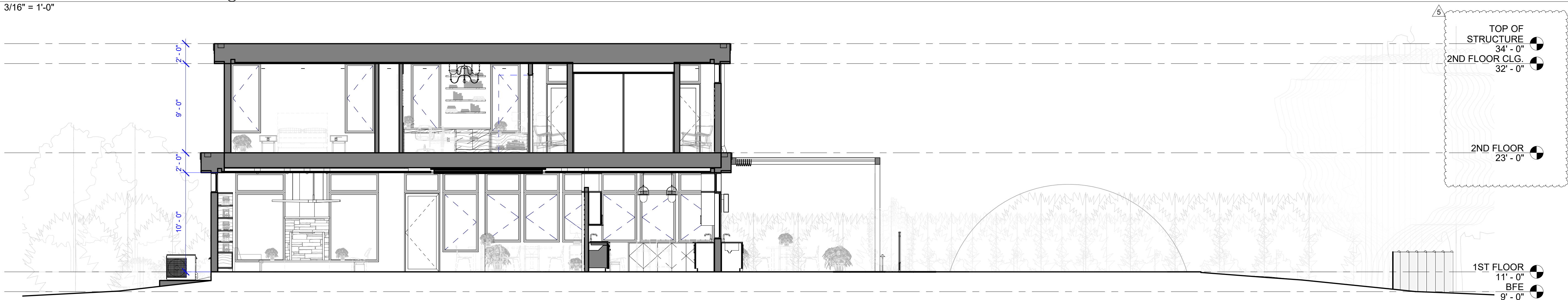
DRAWING #:

A-201

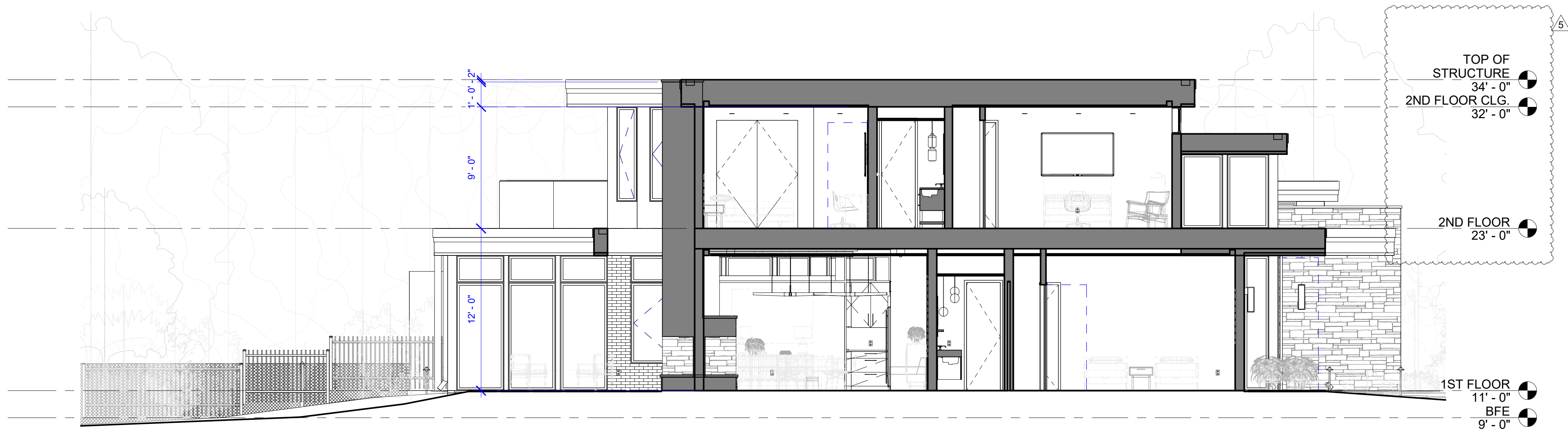
SHEET #:



1 BUILDING SECTION - NORTHEAST - SIDE TO SIDE @ FRONT
3/16" = 1'-0"



2 BUILDING SECTION - NORTHEAST - SIDE TO SIDE @ REAR
3/16" = 1'-0"



3 BUILDING SECTION - SOUTHEAST - FRONT TO BACK - 1
3/16" = 1'-0"



11 CIRCLE AVE
CLIFTON, NJ 07011
Tel: 973.772.8110 Fax: 973.772.8175

ARCHITECT OF RECORD:
ISHAC DESIGN ARCHITECTS, PC
ONE HARMON PLAZA, SUITE 760
SECAUCUS, NJ 07094
TEL: 212.947.2878

STRUCTURAL ENGINEER:
EDWARD STANLEY ENGINEERS LLC
6 WATER STREET
GUILFORD, CT 06437
TEL: 203.458.0210

MEP ENGINEER:
M.A. RUBIANO, P.C. CONSULTING
225 ADAMS ST. SUITE B
BROOKLYN, NY 11201
TEL: 609.658.5218

CIVIL/ GEOTECHNICAL ENGINEER:
AHNEMAN KIRBY
1171 E PUTNAM AVE.
RIVERSIDE, CT 06878
TEL: 843.501.7964

PROJECT:

SHENKER RESIDENCE

90 BIRCH LANE, WOODMERE, NY 11598

Drawing and specifications as instruments of service are and shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for his use and for occupying the project for which they were prepared, and not for the construction of any other projects. Any use or reproduction of this drawing in whole or part by any means whatsoever is strictly prohibited except with specific written consent of K2 Studio.

ISSUE #	DATE	DESCRIPTION
1	04.07.2021	PERMIT SET
2	04.29.2021	BLDG. DEPT. COMMENTS
3	05.04.2021	DESIGN DEVELOPMENT SET
4	05.28.2021	ZONING RESPONSE
5	07.21.2021	BOARD COMMENT UPDATES

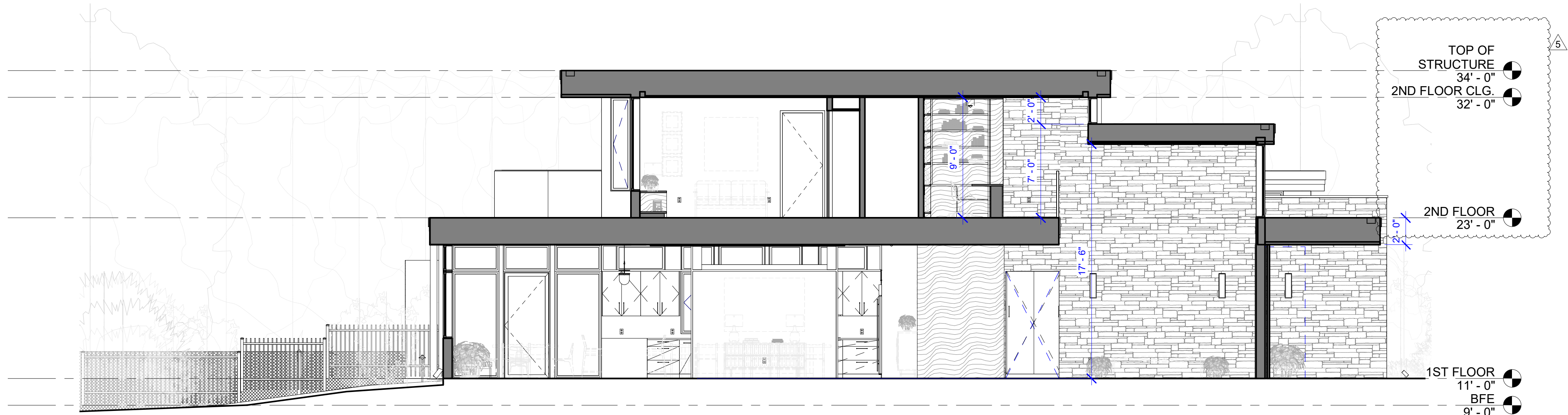
DRAWING TITLE:

BUILDING SECTIONS

SCALE: 3/16" = 1'-0"	DATE: Issue Date
DESIGNED BY: Designer	PROJECT # 58
DRAWN BY: Author	CAD FILE:
CHECKED BY: Checker	DRAWING #:
PROFESSIONAL SEAL:	DRAWING #:

A-300

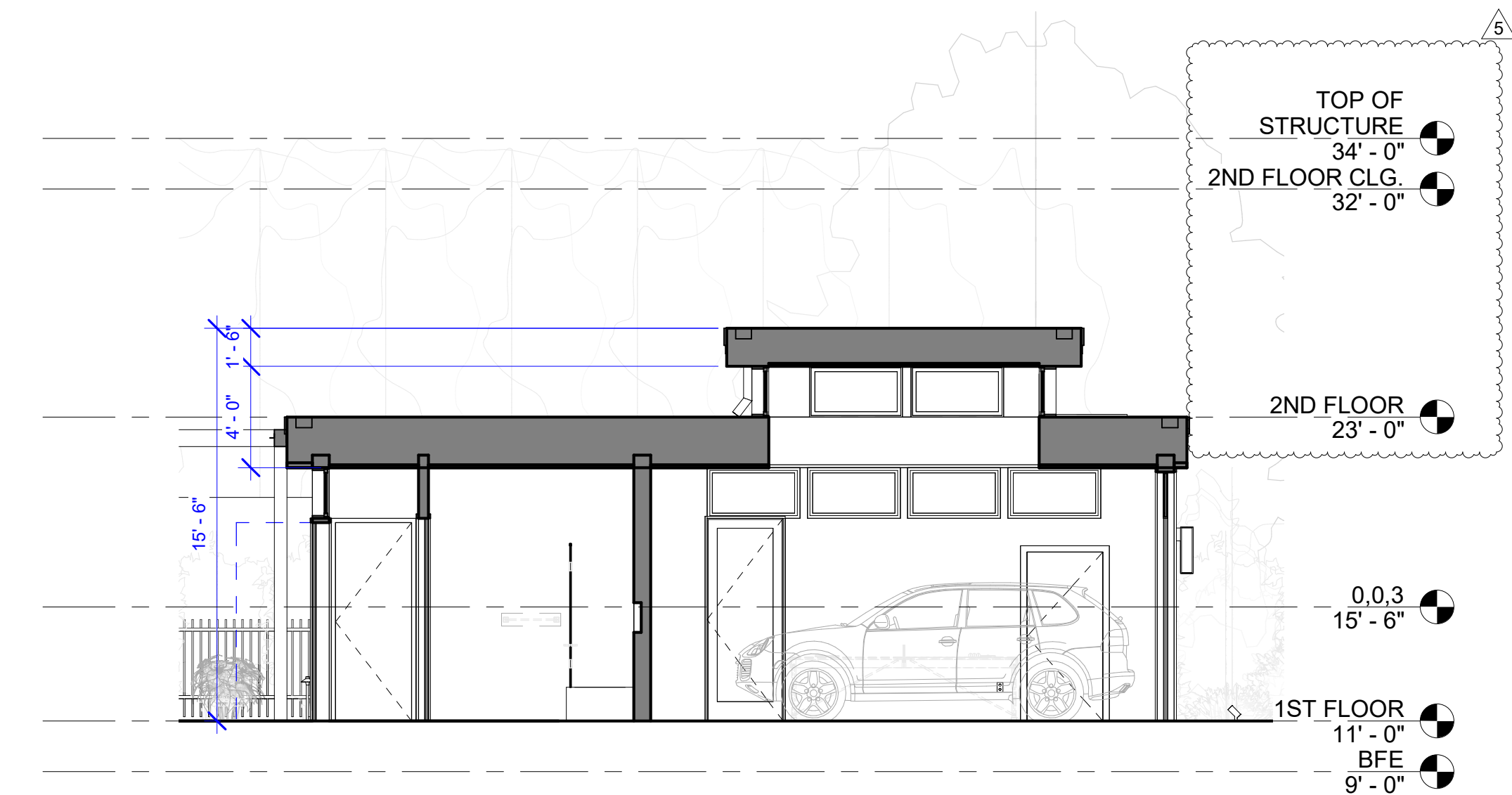
SHEET #:



① BUILDING SECTION - SOUTHEAST - FRONT TO BACK - 2
3/16" = 1'-0"



② BUILDING SECTION - SOUTHEAST - FRONT TO BACK - 3
3/16" = 1'-0"



③ BUILDING SECTION - SOUTHEAST - FRONT TO BACK - 4
3/16" = 1'-0"



11 CIRCLE AVE
CLIFTON, NJ 07011
Tel: 973.772.8110 Fax: 973.772.8175

ARCHITECT OF RECORD:
ISHAC DESIGN ARCHITECTS, PC
ONE HARMON PLAZA, SUITE 760
SECAUCUS, NJ 07094
TEL: 212.947.2878

STRUCTURAL ENGINEER:
EDWARD STANLEY ENGINEERS LLC
6 WATER STREET
GUILFORD, CT 06437
TEL: 203.458.0210

MEP ENGINEER:
M.A. RUBIANO, P.C. CONSULTING
225 ADAMS ST. SUITE B
BROOKLYN, NY 11201
TEL: 609.658.5218

CIVIL/ GEOTECHNICAL ENGINEER:
AHNEMAN KIRBY
1171 E PUTNAM AVE.
RIVERSIDE, CT 06878
TEL: 843.501.7964

PROJECT:

SHENKER RESIDENCE

90 BIRCH LANE, WOODMERE, NY 11598

Drawing and specifications as instruments of service are and shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for his use and for occupying the project for which they were prepared, and not for the construction of any other projects. Any use or reproduction of this drawing in whole or part by any means whatsoever is strictly prohibited except with specific written consent of K2 Studios.

ISSUE #	DATE	DESCRIPTION
1	04.07.2021	PERMIT SET
2	04.29.2021	BLDG. DEPT. COMMENTS
3	05.04.2021	DESIGN DEVELOPMENT SET
4	05.28.2021	ZONING RESPONSE
5	07.21.2021	BOARD COMMENT UPDATES

DRAWING TITLE:

BUILDING SECTIONS

SCALE:	3/16" = 1'-0"	DATE:	Issue Date
DESIGNED BY:	Designer	PROJECT #	58
DRAWN BY:	Author	CAD FILE:	
CHECKED BY:	Checker	DRAWING #:	

PROFESSIONAL SEAL:	DRAWING #:
	A-301
	SHEET #: