



CONDITIONAL USE PERMIT

Permit info: CUPFY2024-0006
Application Date: 3/18/2024 Rec'd by: CW
FOR OFFICE USE ONLY
6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921
▪ www.gardencityidaho.org • building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Darcy Blazek	Name: Sylvia Hample
Company: Blazek Diagnostic & Automotive Repair	Company: Toucan Development LLC
Address: 10870 West Fairview Ave.	Address: 3317 West Crescent Rim
City: Boise	City: Boise
State: ID Zip: 83713	State: ID Zip: 83706
Tel.: 208- 830- 8178	Tel.: 208- 602- 8861
E- mail: darcyblazek@gmail.com	E- mail: sylviar.idaho@gmail.com

PROPERTY AND DESIGN INFORMATION: [VISIT ADA COUNTY ASSESSOR'S SITE](#)

Site Address: 3660 West Chinden Blvd.

Subdivision Name: Fairview Acres Sub. No 1	Lot: 33/34	Block: 10
Tax Parcel Number: R2734502880	Zoning: C- 1	Total Acres: .69
Proposed Use: Automotive Repair	Floodplain: YES	NO

Describe the proposed use:

Advanced Diagnostic & Electrical repair along with minor automotive repair.

Will you be making changes to the structure(s)? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
If no, will you be changing the occupancies as defined by the IBC? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
Check any that are applicable to this application:	I will build a new structure
If any of the first three boxes are checked, a Design Review Application is required	
I will add 25% or more to the floor area of an existing building	
I will alter, replace rehabilitate or restore 25% or more of a store façade.	

How is the use appropriate to the location, the lot, and the neighborhood, and is compatible with the uses permitted in the applicable zoning district?

This property is a large multi bay space in a business district and has Conditional zoning for automotive repair under Allowed Uses in all base zoning districts Table 8- 2B- 1 and has been used for this purpose in the past.

Is the use supported by adequate public facilities or services such as water/sewer, schools, roads, parks, transit, fire protection and police protection?

All services are in place for this building.

How does the use affect the health, safety or welfare of the community?

The health, safety and welfare of the community is not affected by our business. We pay to have our chemicals (coolants & oils) disposed of by a professional company (Thermofluids). Noise will be compliant with city code.

How does the use support the goals of the Comprehensive Plan?

We will provide value and services to the residents and businesses while supporting the Garden City Chamber of Commerce and other business associations within Garden City.

How far is the proposed use from a pedestrian/bicycle pathway?

The Greenbelt is located .43 miles from the property.

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

Darcy L Blazek
Darcy L Blazek (Mar 13, 2024 15:35 MDT)

03/13/2024
(date)

Sylvia Jampel
Sylvia Jampel (Mar 13, 2024 12:45 MDT)

03/13/2024
(date)

APPLICATION INFORMATION REQUIRED

NOTE: AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- Compliance Statement and Statement of Intent**
- Neighborhood Map**
- Fire Flow / Ability to Serve**
- 11"x17" Site Plan**
- Irrigation/Ditch Company Authorization Letter**
- Landscape Plan**
- Photos of Site**
- Neighborhood Meeting Verification**
- Affidavit of Legal Interest**
- Waiver Request of Application Materials**
- Structural Documentation**
(if previous Certificate of Occupancy has been issued and no change to IBC occupancy is anticipated)

**Additional information may be required by staff such as a traffic/parking analysis, a use analysis or documents related specifically to a business.*

PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed use(s) is compliant with the standards of review for the proposed application. Cite the ordinances the proposed use(s) is compliant with
- Should include purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations

- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.

INFORMATION REQUIRED FOR IRRIGATION/DITCH AUTHORIZATION LETTER:

- Required if irrigation canal/irrigation ditch runs through property or along property lines

INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION:

- Copy of notice sent to property owners within 300' of an applicable property
- List of notice recipients with names and addresses
- Sign-up sheet from meeting

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request

STRUCTURAL DOCUMENTATION (IF NO CHANGE TO STRUCTURE OR IBC OCCUPANCY):

- Industrial treatment compliance: a statement answering the following questions:**
 - Do you or will you discharge wastewater other than domestic water from bathrooms to the City Sewer System? If yes, please describe.
 - Are floor drains present in your facility? If yes, are any chemicals stored on site in containers exceeding 1 gallon?
 - Do you or will you use fats, oils or greases in your business? If yes, do you have a grease trap/interceptor present
- One set of detailed current floor plans legibly drawn on minimum 8 1/2 X 11 plan sheet drawn to $\frac{1}{4}$ " = 1' scale (with scale noted on plans) identifying:**
 - Use and square footage per room (i.e. office, storage, restroom, etc.)
 - Primary Occupancy Classification (2018 IBC sec 303-312)
 - Occupancy Load (2018 IBC Sec 1004, table 1004.5)
 - Interior and exterior wall and opening dimensions, windows, doors, roll-up doors
 - Electrical panels interior and exterior
 - Gas meter location
 - Fire extinguisher locations and size
 - Emergency lighting locations
 - Illuminated exit sign locations
 - Fire sprinkler riser location
 - Fire alarm panel location
 - Commercial cooking operation location, including size and type of hoods and grease traps
 - Spray finishing operation location
 - Flammable or combustible product locations
 - Welding operation locations
 - Rack storage locations

Disclaimer Clause: X Denotes application information that may be waived depending on the nature of the request" found under table 8-6a-2 "required application information."

Compliance Statement and Statement of Intent

RE: 3660 West Chinden Blvd. Garden City ID

Owner: Toucan Development LLC

Tenant: Darcy Blazek

To whom it may concern,

Blazek Diagnostic and Automotive is submitting our application for review in an effort to obtain a Conditional Use permit for the above property. We will be leasing the location with the intent of moving our Vehicle Service business from Fairview Avenue in Boise to this location in Garden City. Per the Development code under Table 8-2B-1 Vehicle service is an allowed use with a Conditional Use Permit since the subject property is zoned C-1 by the Ada County Assessor's office.

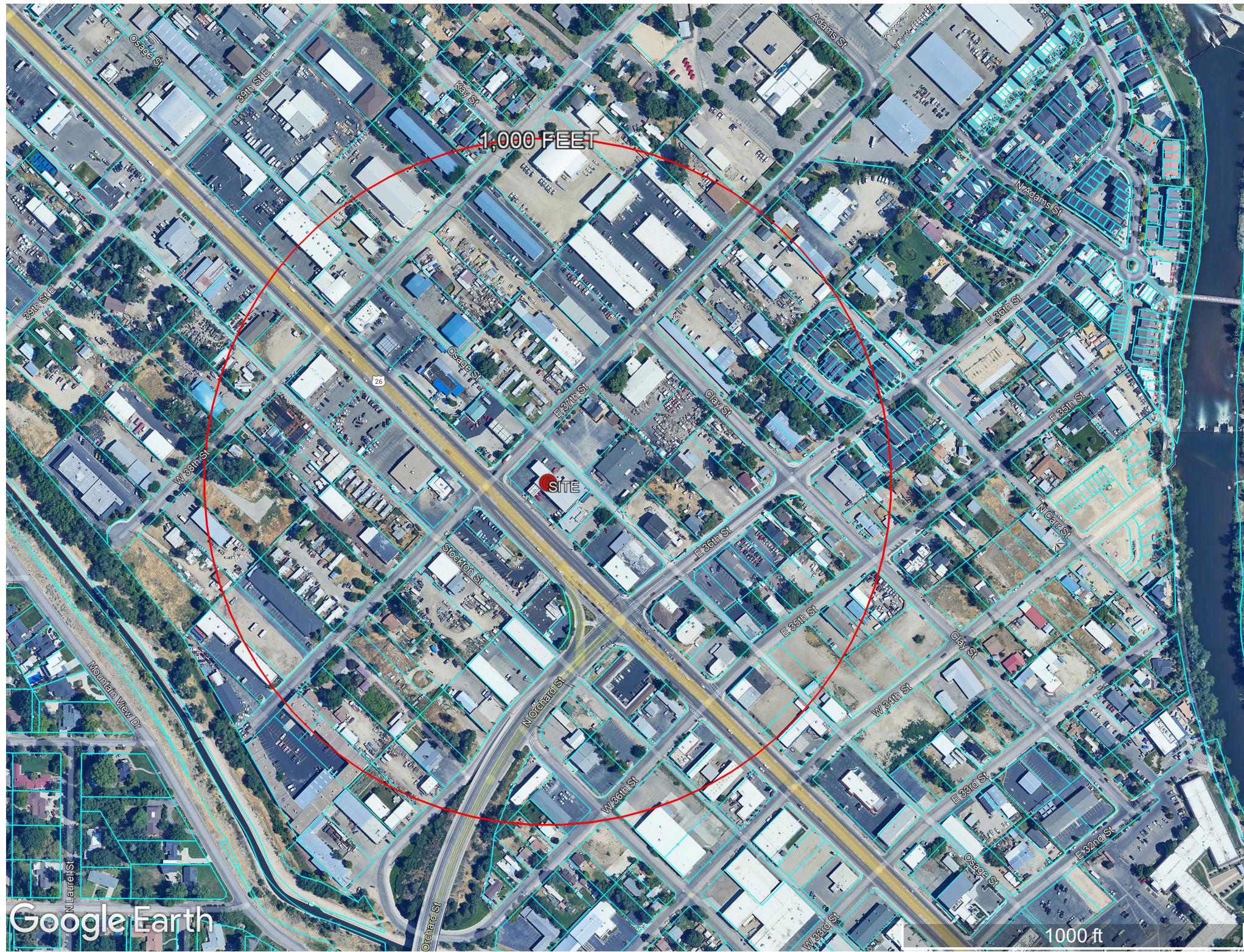
We are leasing the building as is and will not be making any changes to the current structure of the building. The building will remain the same as the architectural plans provided with this application that were submitted by the owner.

Our operating hours are M-F 8:00AM-6:00PM and will not pose any negative impact on the adjacent properties or surrounding community.

We are happy to provide any additional information you deem necessary to grant the Conditional Use Permit.

Sincerely,

Darcy Blazek





Form Request to Obtain Fire Flow Test

Permit info: FF2024-0018

Application Date: 3/7/2024 Rec'd by: OD

FOR OFFICE USE ONLY

6015 Glenwood Street Garden City, Idaho 83714 Phone 208/472-2900 Fax 208/472-2996
Inspection Hotline Phone 208/472-2920 WWW.Gardencityidaho.org

Property Information:

(Circle One): RESIDENTIAL COMMERCIAL

Blazk Diagnostic
Project Name Automotive Repair Project Address: 3660 W Chinden Blvd.

Parcel # R2734502880 Lot: 33 Block: 34 Subdivision: Fairview Acres

APPLICANT:

Name: William or Darcy Blazk

E-mail: darcyblazk@gmail.com

Phone: 208-830-8178

Contact Cell: Same

Fax: 208-575-2860

Address: 2717 W. Wapiti Dr

City, State, Zip: Meridian ID 83646

Additional Information (CUP, DSR, SUB Tracking numbers, names etc.)

Future CUP

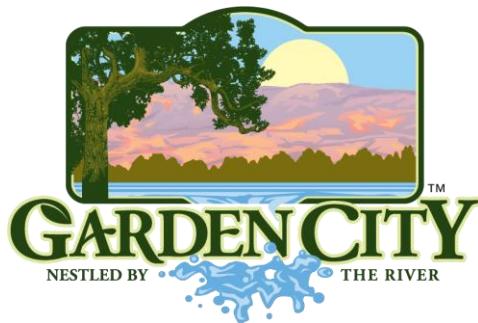
Fees to Obtain Fire Flow:

Water Observation

(See Fee Schedule)

APPLICANT'S SIGNATURE: Darcy Blazk DATE: 3/11/24

Note: per Public Works Water Division Policy and Procedure Fire Flow 12.15 - all fire flow requests will be processed within 14 business days.



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

March 15, 2024

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 3660 W Chinden Blvd

Fire hydrant serving this address: #2070

Fire flow Garden City is able to provide is 2000 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 2000 gpm

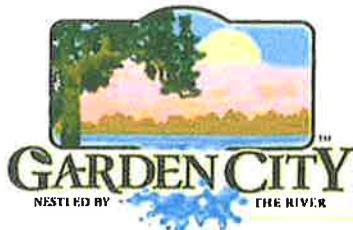
For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File



ABILITY TO SERVE REQUEST

Permit info: ATSFY2024-0009
Application Date: 3/4/2024 Rec'd by: CW
FOR OFFICE USE ONLY

6015 Glenwood Street Garden City, Idaho 83714 Phone 208/472-2921 Fax 208/472-2996

CONTACT INFORMATION:

Blazek Diagnostic & Automotive Repair Company: Blazek Name: Darcy E-mail: darcyblazek@gmail.com
Address: 2717 W. Wapiti City: Meridian State: ID Zip: 83644
Office Phone: 208 440 9292 Cell: 208 830 8178 Fax: 208 575 7160

SITE INFORMATION

Project Description: Car Applications for Automotive Repair

Project Street #: 3440 Street Name: Chinden Blvd.

Subdivision: Fairview Acres Lot: 33 Block: 34 Parcel #: R2734502880

Number of Units _____

Water Service Connection: 5/8" 1" 1.5" 2" 3" 4" 6" N/A

Sewer Connection Y N

Fire Suppression Service Connection to City Main: 4" Sprinkler 6" Sprinkler 8" Sprinkler
Hydrant

FOR NEW COMMERCIAL / TI COMMERCIAL PROJECTS ONLY

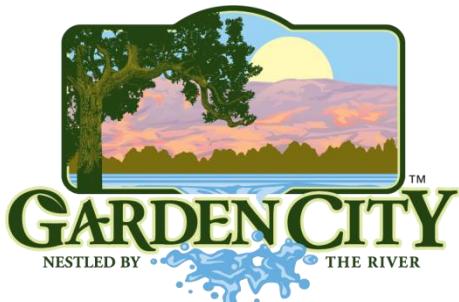
Fixtures:	Number of Existing	Number of New	Fixtures:	Number of Existing	Number of New	Restaurants
Bathtub or Combination Bath/Shower			Sinks/Bar			<i>Please provide square footage area for all seating:</i>
3/4" Bathtub Fill Valve			Sinks/Clinic Faucet			Indoor
Bidet			Sinks/Clinic Flushometer			
Clothes washer			Valve with or without faucet			Outdoor
Dental Unit, cuspidor			Sinks/Special Purpose 1-1/2"			Bar
Dishwasher, domestic			Sinks/Special Purpose 2"			Banquet
Drinking Fountain or Watercooler			Sinks/Special Purpose 3"			Other
Food-Waste-Grinder, commercial			Sinks/Kitchen, domestic			
Floor Drain			Sinks/Laundry			
Hose Bibb			Sinks/Service or Mop Basin			
Hose Bibb, each additional			Sinks/Washup, each set of faucets			
Shower, single-head trap			Sinks/Service, flushing rim 3"			
Multi-head, each additional			Washfountain			
Lavatory			Urinal, 1.0 GPF or greater than 1.0 GPF			
			Washfountain, circular spray			
Lavatory, in sets of two or three			Water Closet, 1.6 GPF Gravity Tank/Flushometer			
			Water Closet, greater than 1.6 GPF Gravity Tank/Flushometer Valve			
Lawn Sprinkler, each head						

The applicant is responsible to submit 2 copies and a digital copy of the following information for Ability To Serve Letter:

1. Fire system description & copy of approval from fire department.
2. Site plan
3. Sewer line connection or addition description-detail.
4. Fire Flow Letter

The submittal of the above information does not guarantee that an "Ability to Serve" letter will be issued. Public Works shall conduct a review of the submitted information. There may be a request for additional information as necessary. Please contact Garden City Public Works with further questions.

Applicants Signature: Darcy Blazek DATE: 3/1/2024



CITY OF GARDEN CITY

6015 Glenwood Street ▪ Garden City, Idaho 83714
Phone 208/472-2900 ▪ Fax 208/472-2996

18 March 2024

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **3660 Chinden Boulevard**
Water and Sanitary Sewer Ability to Serve
ATSFY2024-0009

I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 15 March 2024 (fire hydrant #2070) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. Any new sewer mainline extension, sewer service connections, changes to connections and discharges to Garden City sewer lines to serve the facility must be coordinated, reviewed and approved by Garden City Public Works. Verification of grade, design and installation to connect to the sewer system is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



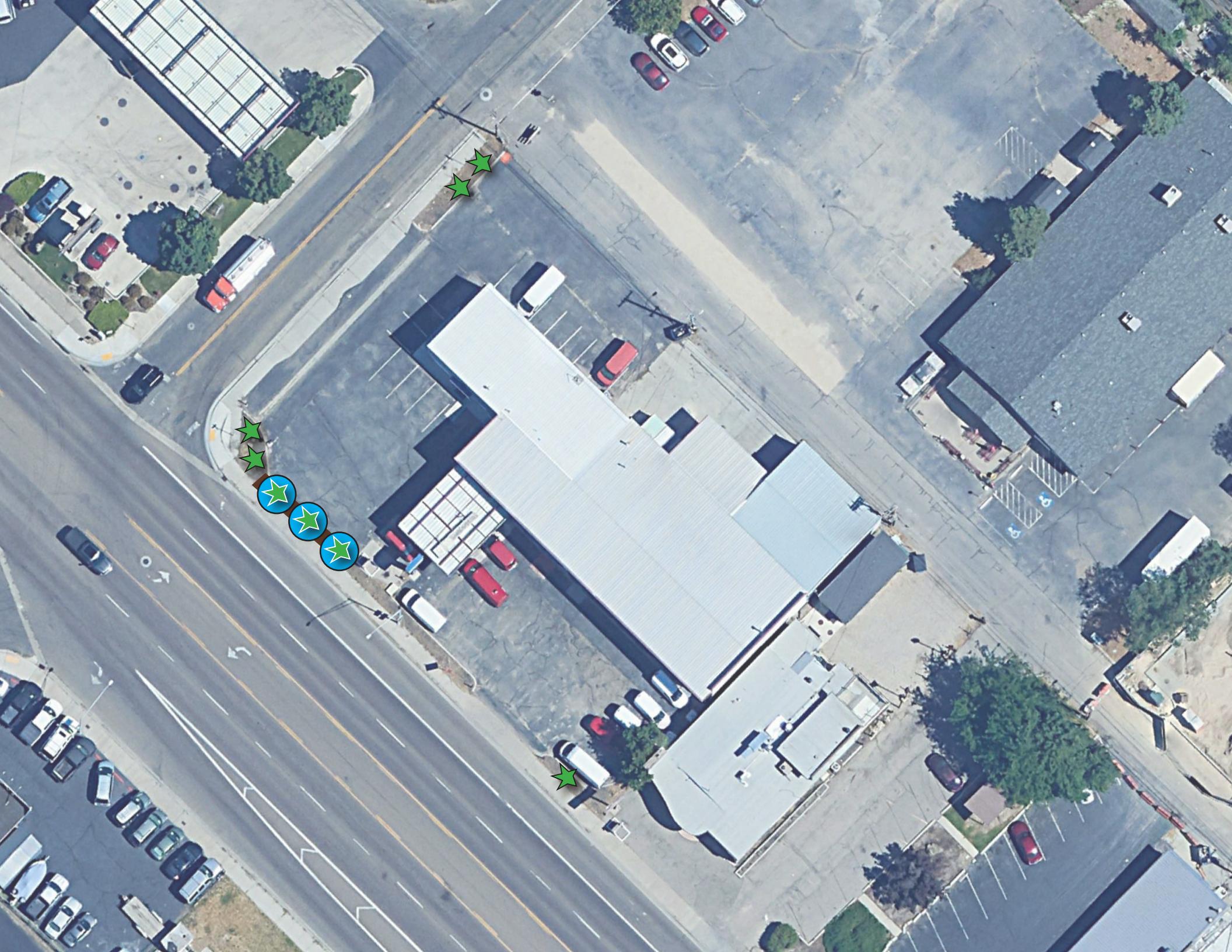
J. D. Canning, PE/PLS
Centurion Engineers, Inc.
Garden City Engineer

cc. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Chad Vaughn
Garden City Water Manager
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City





Landscape Plan

Green Star: Locations that are current small dirt areas will have bushes planted. We are planning to put in 5 bushes.

Blue Circle: The access point will be chained off and large planters with flowers will be placed along Chinden Boulevard. We plan to put in 3 large planters.

Date: 3/15/24

RE: Neighborhood Meeting Notice for Project in your Neighborhood

To whom it may concern,

You are invited to a neighborhood meeting to discuss a project we are proposing near your property. The purpose of the meeting is to discuss the project, answer any questions, and listen to your feedback and suggestions.

File Number: TBD

Meeting Date: 3/15/24

Meeting Time: 6:30 pm

Meeting Location: 3640 W. Chinook Blvd, 83714

Project Summary: The application is for: remodel of existing site/structure, new construction, subdivision, sign. *Conditional Use*

The proposal is intended to be: residential, mixed-use, multi-family, commercial use, other.

The project includes residential units and/ or square feet of commercial.

If you would like to contact us ahead of the meeting, please feel free to reach us at (phone) 208 830 8178 or (email) darcyleblaze@gmail.com. We look forward to hearing from you.

If you provide written comments to the city seven days or more prior to the applicant's consultation with the design consultants, your comments will be reviewed as part of the application. This application's review with the City may take place as soon as 15 days after the neighborhood meeting.

Please note, that if you wish to be an interested party or have the ability to appeal you must notify the city in writing. The city will inform interested parties of any revised materials that are submitted. You cannot appeal the application unless you have standing as prescribed in Idaho Code and provide written comment to the city seven days prior to the application's formal review with the City.

Thank you,

Those who have standing may appeal the decision, provided that written comment is received by the city at least seven days prior to the consultation. Those who have not provided written comments seven days or more in advance of the consultation will not be permitted to appeal.

If you wish to be an interested party or may wish to appeal the city's decision please provide the city with the following information to the city via email planning@gardencityidaho.org or mail to Attn: Design Review 6015 Glenwood, Garden City, Idaho, 83714.

File:

I wish to be an interested party Yes No

I wish to have the ability to appeal Yes No

Name:

Email :

Physical Address:

Which design elements are of concern:

Massing

Architectural elements

Connectivity

Landscaping

Water features

Site layout

Other

Please elaborate:

Signature

Date

Neighborhood Meeting Sign-in Sheet Template

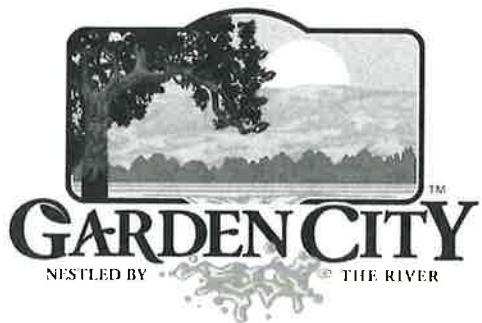
Day: Friday

Date: March 15th, 2024 Time: 6:30 PM

Project Synopsis: Blazek Diagnostics & Automotive is applying for a Conditional Use Permit for the building located at

Information must be written in block letters and in legible handwriting.

Example: Jane Doe, 6015 Glenwood St., Garden City, ID, 83714, planning@GARDENCITYIDAHO.ORG, YES



6015 Glenwood Street • Garden City, Idaho 83714
Phone 208 - 472-2921 • Fax 208 - 472-2926
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS
County of Ada)

I, Towerian Development LLC 3317 W. Crescent Rim
Name Darren Blazek Address of Owner
(must be primary owner as noted in Ada County Assessor's records.
If the primary owner is a business write the business name)

Boise
City

ID 83706
State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to Darren Blazek,

Name of Applicant

to submit the accompanying application pertaining to 3660 W. Chinden Blvd.
Garden City Idaho, 83714 property. Address of Property Subject to this Affidavit

2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 13th day of March, 2024

Signature Sylvia Hayal

Printed Name

(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written.



Notary Public for Idaho

Residing at: Boise

My Commission expires 10-14-26

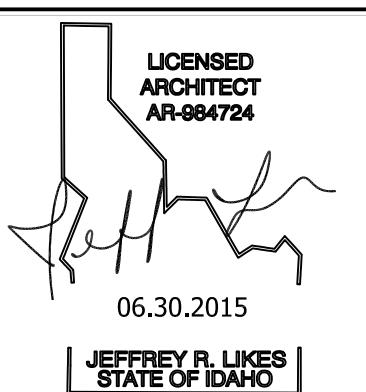
Waiver Request of Application Materials

Irrigation/Ditch Company Authorization Letter:

There is no irrigation canal/ditch running through or along the property lines.

CLEARVIEW CLEANING TENANT IMPROVEMENT

3660 WEST CHINDEN BOULEVARD, GARDEN CITY, IDAHO 83705



PROJECT NOTES

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS
- THE CONTRACTOR SHALL VERIFY ALL DIMENSION AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ALL WORK.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WHERE ANY CONFLICTS OCCUR WITH THE CONSTRUCTION DRAWINGS.
- IF HAZARDOUS MATERIALS ARE FOUND TO EXIST ON THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IN WRITING.
- THE DRAWINGS SHALL NOT BE SCALED
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES REQUIRED TO PERFORM THE WORK. WHERE INSTALLATION AND/OR CONNECTION OF EQUIPMENT IS NOT SPECIFIED AND WHERE SUCH INSTALLATION / CONNECTION IS REQUIRED FOR A COMPLETE AND OPERATIONAL FACILITY, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR SUCH INSTALLATION / CONNECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ERECTION BRACING AND SHORING DURING CONSTRUCTION.
- ALL MATERIALS STORED ON SITE SHALL BE PROTECTED FROM WEATHER TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING, PATCHING AND FITTING AS REQUIRED TO PERFORM THE WORK. ALL PATCHING, CUTTING AND FITTING SHALL BE DONE WITH APPROPRIATE MATERIALS AND TOOLS TO INSURE HIGHEST QUALITY OF WORK.
- DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL INSULATION MATERIAL INCLUDING FACINGS ARE REQUIRED TO HAVE A FLAME SPREAD OF 25 OR BETTER AND A MAXIMUM SMOKE DENSITY OF 450 PER THE 2012 IBC, SECTION 720.3.

PARTITION NOTES:

- ALL GYPSUM BOARD PARTITIONS SHALL BE FINISHED TO LEVEL 4, TAPED, SANDED SMOOTH, & PAINTED COLOR AS SPECIFIED BY TENANT. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHEREVER REQUIRED.
- ALL INTERIOR PARTITIONS ARE DIMENSIONED FACE OF STUD TO FACE OF STUD (U.O.N.). ALL VERTICAL DIMENSIONS ARE ABOVE FINISH FLOOR THICKNESS. ACCOUNT FOR 1/2" FLOOR MATERIAL THICKNESS. VERIFY MATERIAL WITH TENANT.
- DEMISING WALLS ARE FROM FINISH FLOOR SLAB TO UNDERSIDE OF ROOF DECK ABOVE.
- ALL DIMENSIONS TO EXTERIOR WINDOW WALL ARE TO INSIDE EDGE OF WINDOW FLOOR PLAN (U.O.N.)
- ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE AND TRUE. THE CONTRACTOR SHALL CORRECT LEVEL FLOORING VARIATIONS.
- DIMENSIONS NOTED 'CLR' ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCE MUST BE ACCURATELY MAINTAINED.
- THERE SHALL BE A MINIMUM OF 18" CLEAR TO THE NEAREST RETURNING PARTITION, PERMANENT FIXTURE OR MULLION AT THE LATCH SIDE, PULL SIDE OF ALL DOORS.
- ALL LATCH SETS AND LOCKSETS ON ALL DOORS SHALL COMPLY WITH ALL ACCESSIBILITY CODES.
- BRACING FOR DOOR FRAME IS NOT REQUIRED AT DOOR JAMS LOCATED 6" OR LESS FROM 90 DEGREE PARTITION INTERSECTION.

PROJECT TEAM

ARCHITECT
ALC ARCHITECTURE
1119 EAST STATE STREET, #120
EAGLE, IDAHO 83616
PH: (208) 514.2713
CONTACT: JEFF LIKES
EMAIL: JEFF@ALCARCHITECTURE.COM

CONTRACTOR
HC COMPANY
12650 WEST BRIDGER, SUITE 100
BOISE, IDAHO 83713
PH: (208) 321.4990

APPLICABLE BUILDING CODES

- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE
- 2009 UNIFORM PLUMBING CODE
- 2014 NATIONAL ELECTRICAL CODE
- 2012 IDAHO FIRE CODE

SHEET INDEX

GENERAL:
COVER ARCHITECTURAL COVER SHEET
G1 CODE ANALYSIS AND LIFE SAFETY EXITING
G2 IECC COMPLIANCE

ARCHITECTURAL:
AD1.1 DEMOLITION FLOOR PLAN
A1 EXISTING FLOOR PLAN
A1.1 ENLARGED FLOOR PLANS / INTERIOR ELEVATIONS
A2.0 DOOR SCHEDULES, TYPES AND FRAMES AND WINDOW TYPES
A3.0 REFLECTED CEILING PLAN

SITE / BUILDING INFORMATION

PROJECT DATA:

SITE ADDRESS:
3660 WEST CHINDEN BOULEVARD
GARDEN CITY, IDAHO 83705

JURISDICTION:
GARDEN CITY, IDAHO

PARCEL:
R2734502880
LOT 33, 34, BLOCK 10
FAIRVIEW ACRES SUBDIVISION NO. 1

ZONING:
C-1

SITE AREA:
ACRES = .69
SQUARE FOOTAGE = 30,057

BUILDING / LAND USE:
B (BUSINESS) / OFFICE

CONSTRUCTION TYPE:
V-B

FIRE SPRINKLERS:
YES - EXISTING, MODIFIED AS REQUIRED ; DEFERRED SUBMITTAL

FIRE ALARM:
YES - EXISTING, MODIFIED AS REQUIRED ; DEFERRED SUBMITTAL

VICINITY MAP

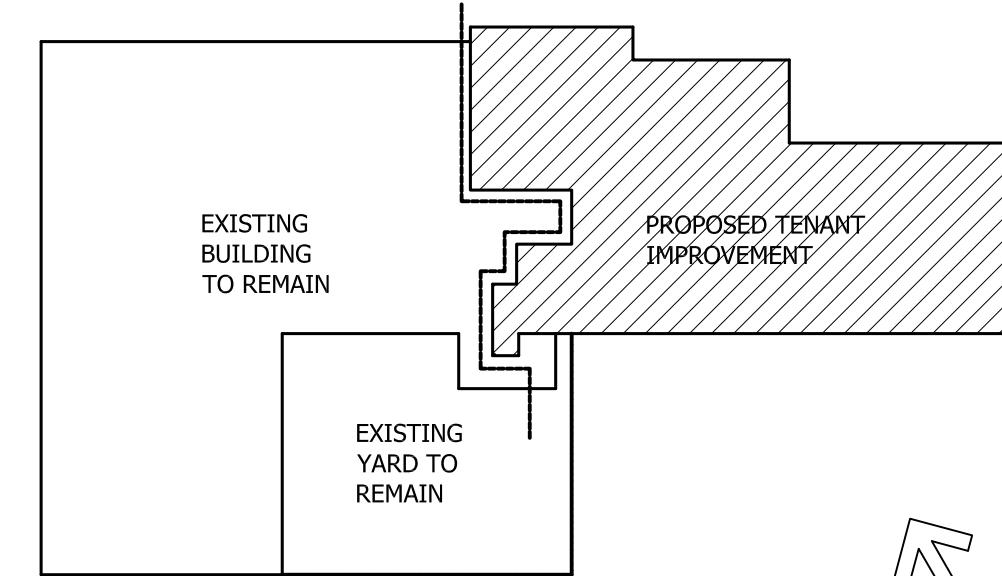


SITE

SYMBOL LEGEND

	BATT INSULATION		DOOR NUMBER
	CONCRETE		KEYNOTE (DIVISION.KEYNOTE NUMBER)
	EARTH		WINDOW NUMBER
	FINISH LUMBER		REVISION NUMBER
	GRAVEL		INTERIOR ELEVATION REFERENCE (SEE DETAIL 1A ON SHEET A1.1)
	GYPSUM BOARD		WALL SECTION REFERENCE (SEE WALL SECTION 1 ON SHEET A1.1)
	SAND		BUILDING SECTION REFERENCE (SEE BUILDING SECTION 1 ON SHEET A1.1)
	MASONRY UNIT		DETAIL REFERENCE (SEE DETAIL 1 ON A1.1)
	METAL (STRUCTURAL STEEL)		ROOM NAME
	PLYWOOD		ROOM NUMBER
	RIGID INSULATION		ELEVATION/DATUM MARK
	WOOD		FINISHES CALLOUT
			DETAIL BAND
			WALL TYPE TAG WALL HEIGHT : SEE WALL TYPES INSULATION TYPE : SEE WALL TYPES
			FURNITURE TYPE TAG

KEY PLAN

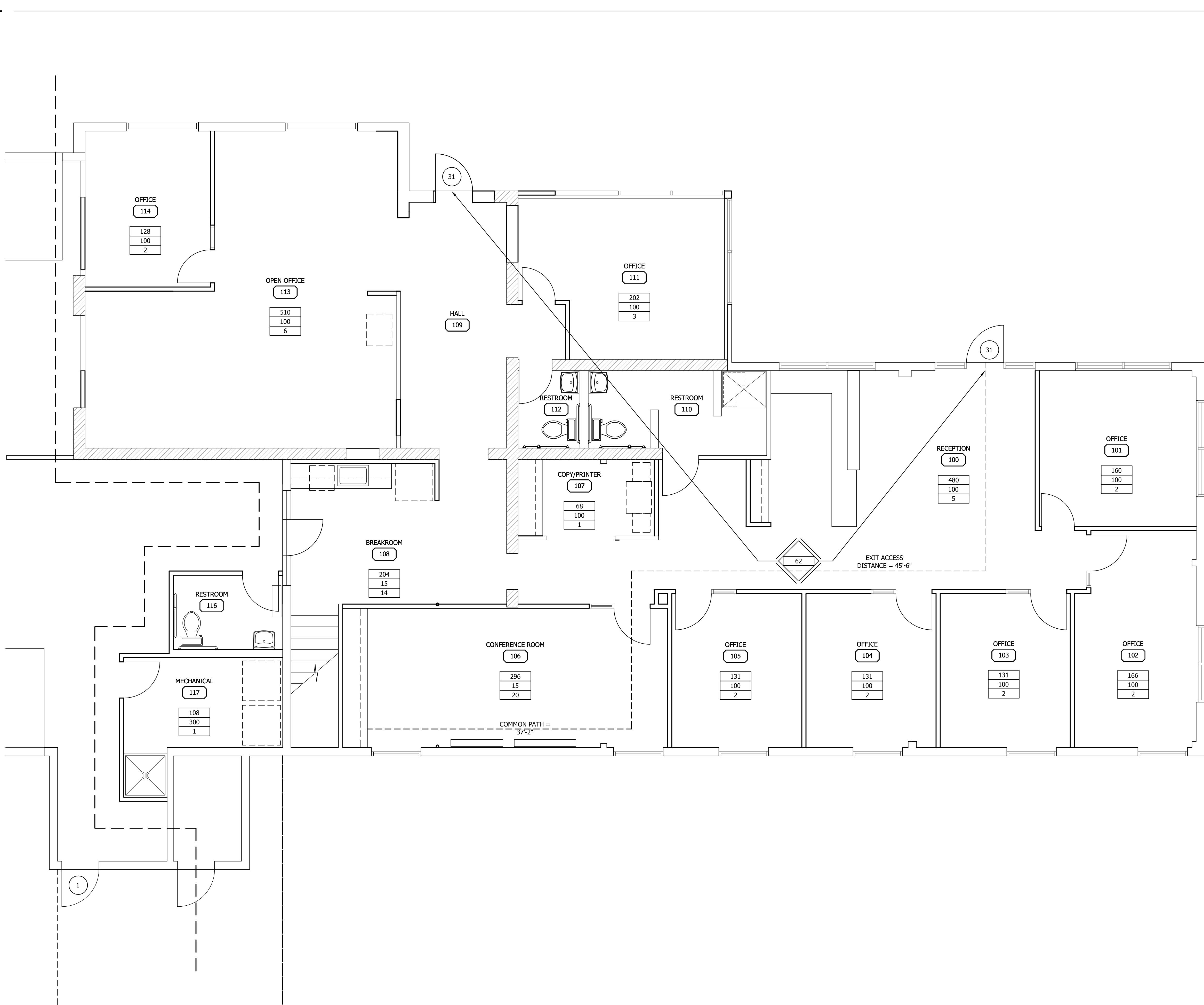


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CONSTRUCTION DRAWINGS

COVER



LIFE SAFETY & EXITING LEGEND

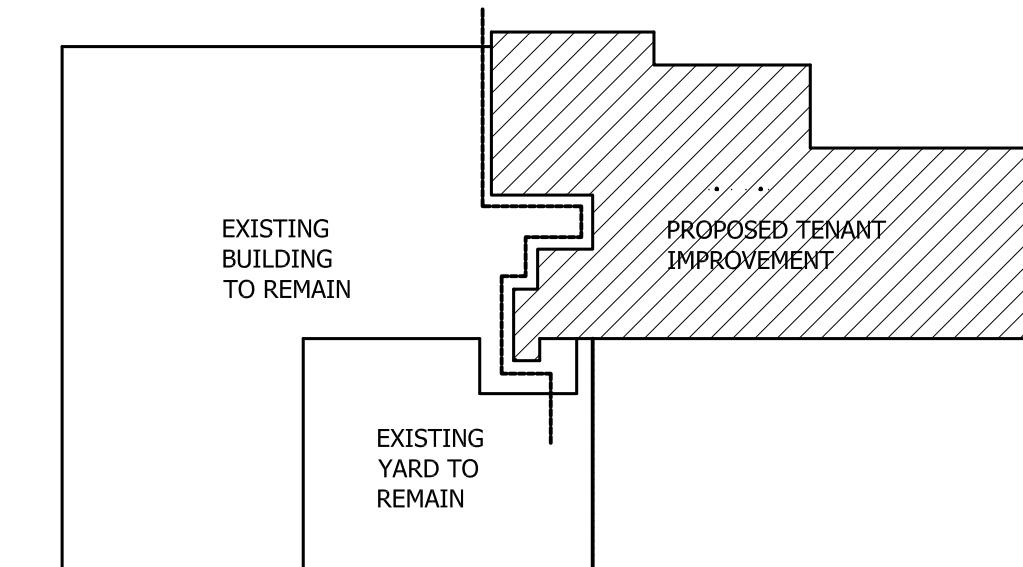
100	SQUARE FOOTAGE
100	LOAD FACTOR, PER OCCUPANT
2	OCCUPANT LOAD
62	ACCUMULATED OCCUPANT LOAD
62	OCCUPANT LOAD AT DOOR
-----	COMMON PATH OF TRAVEL
-----	EXIT ACCESS DISTANCE

LICENSED ARCHITECT
AR-964724
06.30.2015
JEFFREY R. LIKES
STATE OF IDAHO

DATE	
REVISIONS	
NO.	

CODE ANALYSIS

BUILDING SQUARE FOOTAGE (EXISTING)	8,970 SQ. FT.
OCCUPANCY ALLOWANCES (PER TABLE 1004.1.1)	SQ. FT. PER PERSON
BUSINESS AREAS	100 GROSS
WAREHOUSE	500 GROSS
OCCUPANCY TYPE:	TOTAL OCCUPANTS:
BUSINESS AREAS (3,452 SF)	35 OCCUPANTS
WAREHOUSE AREAS (5,518 SF)	12 OCCUPANTS
TOTAL:	47 OCCUPANTS
PLUMBING FIXTURE COUNT CALCULATIONS (PER TABLE 2902.1)	
47 OCCUPANTS / 2 = 24 OCCUPANTS PER GENDER	
CODE CALCULATIONS	
WATER CLOSETS 1 per 25 FIRST 50 1 per 50 FOR REMAINDER	URINALS 67% MAX
REQUIRED PROVIDED	ALLOWED PROVIDED
MEN 24/25 = .96	1 UNISEX
WOMEN 24/25 = .96	1 EXIST
	1 3
	0 1



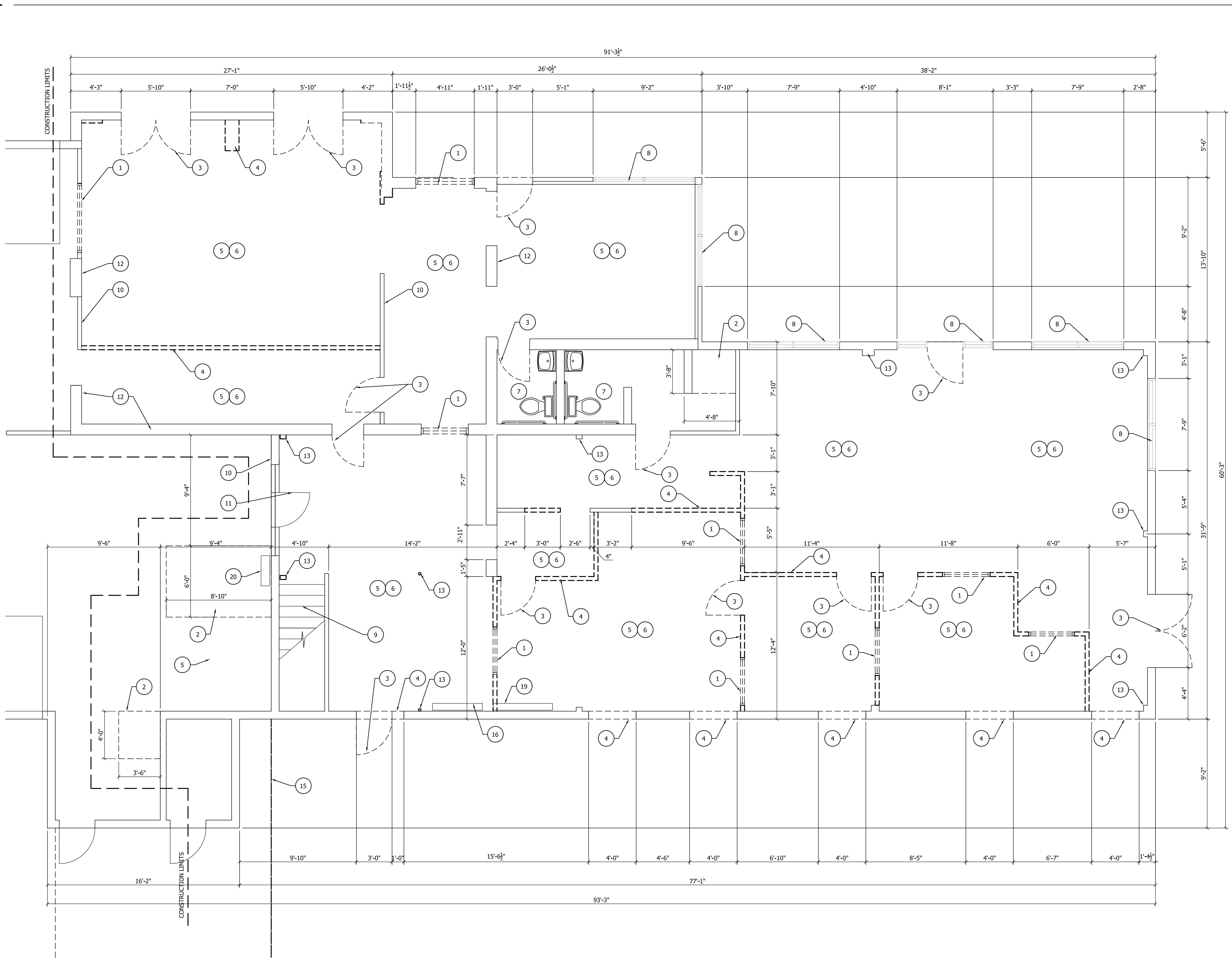
KEY PLAN
SCALE: NOT TO SCALE

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CONSTRUCTION DRAWINGS

G-1



DEMOLITION FLOOR PLAN - LEVEL 1

SCALE: 1/4"=1'-0"

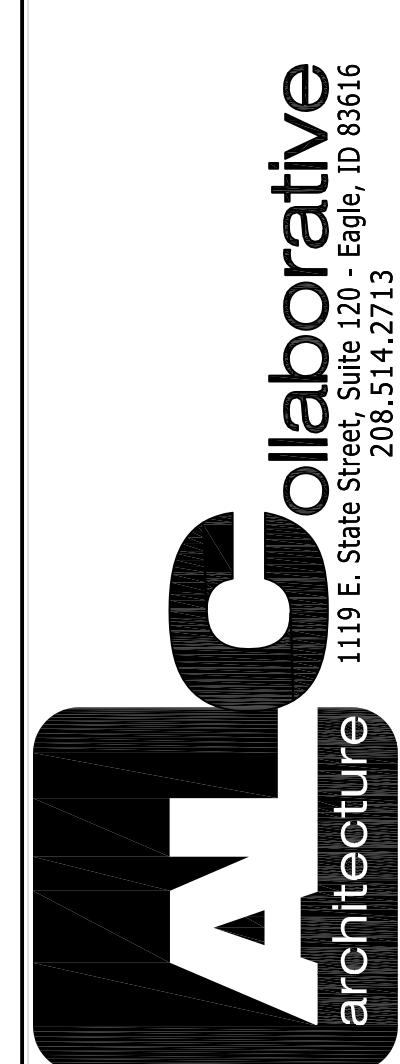
KEY PLAN
SCALE: NOT TO SCALE

KEYNOTES

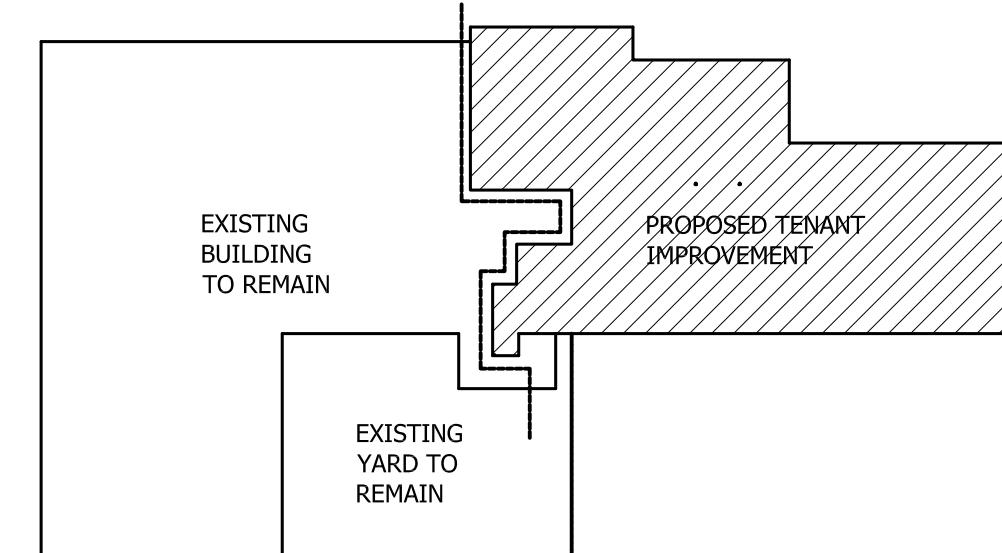
- 1 DEMOLISH EXISTING GLAZING AND FRAME
- 2 DEMOLISH EXISTING SLAB
- 3 DEMOLISH EXISTING DOOR, FRAME AND HARDWARE
- 4 DEMOLISH EXISTING WALL
- 5 DEMOLISH EXISTING FLOORING, AND PREPARE THE NEW SLAB TO RECEIVE THE NEW FINISHES
- 6 DEMOLISH EXISTING CEILING AND SUPPORTS, ATTACHMENTS, SUSPENSION CABLES AND FASTENERS
- 7 EXISTING PLUMBING FIXTURES TO REMAIN
- 8 EXISTING GLAZING AND FRAME TO REMAIN
- 9 EXISTING STAIRS TO REMAIN
- 10 EXISTING WALL TO REMAIN
- 11 EXISTING EXISTING DOOR, FRAME AND HARDWARE TO REMAIN
- 12 EXISTING BRICK WALL
- 13 EXISTING COLUMN
- 14 EXISTING ROOF CANOPY ABOVE TO REMAIN
- 15 EXISTING FENCE TO REMAIN
- 16 EXISTING TELEPHONE BACKBOARD / SYSTEM TO BE RELOCATED
- 17 DEMOLISH EXISTING MILLWORK
- 18 DEMOLISH EXISTING PLUMBING
- 19 EXISTING DATA CABINET TO BE RELOCATED
- 20 EXISTING ELECTRICAL PANEL

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06.30.2015
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STATE OF IDAHO

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CONSTRUCTION DRAWINGS

AD-1

KEYNOTES

RESTROOM KEY NOTES (2012 IBC ICC A117.1-2009)

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AR-984724

06.30.2015

JEFFREY R. LIKES

Collaborative
1119 E. State Street, Suite 120 - Eagle, ID 83616
208.514.2713

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A-1.1

Diagram A illustrates a bathroom layout with the following dimensions and fixture locations:

- Overall width: 36" MIN. to 39" MAX.
- Overall height: 24" x 36"
- Fixtures and dimensions:
 - Left wall: Sink (11), Medicine cabinet (17), and mirror (5).
 - Right wall: Toilet (7), bidet (12), and shower unit (9, 10, 18).
 - Center: 24" x 12" recessed area.
 - Bottom: 17" - 19" width and 15" MIN. height.

Diagram B shows a detailed view of the shower unit area:

- Width: 17" - 19"
- Height: 39" MIN. - 41" MAX.
- Dimensions: 33" MAX., 7"-9", and 1'-6".
- Fixtures: Shower unit (9, 10, 12, 7).

Diagram C shows a side view of the shower unit:

- Width: 17" - 19"
- Height: 34" MAX.
- Fixtures: Shower unit (11) and shower head (5).

INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 4

Architectural floor plan sections A and D. Section A shows a room with a height of 2'-0" and a width of 2'-10". It contains a double door on the left, a central entrance with a cross symbol, and a double door on the right. A sink is located in the center of the room. Section D shows a room with a height of 2'-4" and a width of 2'-10". It contains a double door on the left, a central entrance with a cross symbol, and a double door on the right. The dimensions are indicated on the left and right sides of each section.

INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

Diagram C illustrates two side-by-side bathroom fixtures, likely urinals or bidets. Each fixture has a height dimension of 3'-4". A vertical dimension line on the right indicates a total height of 3'-6" from the floor to the top of the fixture. A horizontal dimension line shows a distance of 1'-6" between the fixtures. Callouts point to the height of 3'-4" and the total height of 3'-6". A large letter 'C' is at the bottom center.

INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

This architectural floor plan diagram illustrates a room layout with various fixtures and dimensions. The room has a total width of 3'-0" and a depth of 10'-0". Key dimensions include a 6" wide entrance on the left, a 1'-6" wide doorway on the left, and a 1'-6" wide opening on the right. The room contains two urinals, one on the left and one on the right, with a 1'-6" gap between them. A toilet is located on the left side. A circular fixture, labeled 14, is positioned in the center. A circular callout 13 is located at the top center. A circular callout 14 is located in the center. A circular callout 6 is located at the bottom center. A circular callout 2 is located on the right side. A circular callout 1 is located at the top right. A circular callout 4 is located in the center. A circular callout A1.1 is located in the center. A circular callout B is located in the center. A circular callout C is located in the center. A circular callout D is located in the center.

ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-0"

1

The diagram shows a floor plan with a central rectangular opening. The width of the opening is indicated by a dimension line at the bottom with a total width of 3'-8". The height of the opening is indicated by a dimension line on the right with a total height of 3'-0". The opening is defined by a dashed line and features a diagonal cross-brace. Above the opening, there is a horizontal line with diagonal hatching, and to its right is a vertical line with horizontal hatching.

ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-0"

2

This architectural diagram illustrates a layout for two adjacent bathroom units. The top section shows a top-down view of the units, each featuring a toilet and a rectangular sink. The bottom section provides a side view of the units, separated by a central vertical wall. The distance between the centers of the two units is marked as 3'-4". The diagram also includes a legend in the bottom right corner, identifying symbols for a wall (W), a door (D), and a window (Wn). A dimension line at the bottom indicates a height of 9' from the floor to the top of the units.

ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-0"

3

60" MINIMUM DIAMETER TURNING SPACE PER ICC A117.1-2009 SECTION 304.3.1.

30" X 48" CLEAR FLOOR SPACE AT LAVATORY AS REQUIRED PER ICC A117.1-2009 SECTION 305.3

KNEE & TOE CLEARANCES SHALL COMPLY WITH ICC A117.1-2009 SECTION 306.2. & 306.3.

PRE-MANUFACTURED 60"x35" ADA ROLL-IN SHOWER w/ SEAT PER ICC A117.1-2009 SECTION 608.3.2 w/ SHOWER CURTAIN.

MIRROR: MIRRORS LOCATED ABOVE LAVATORIES, SINKS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX. ABOVE THE FLOOR PER ICC A117.1-2009 SECTION 603.3.

60" X 56" MINIMUM CLEAR FLOOR SPACE AT WATER CLOSET AS REQUIRED PER ICC A117.1-2009 SECTION 604.3.1.

TOP OF WATER CLOSET: THE HEIGHT OF WATER CLOSET SEATS SHALL BE 17" MIN. TO 19" MAX. ABOVE FINISHED FLOOR PER ICC A117.1-2009 SECTION 604.4.

SIDE WALL GRAB BAR: 36" X 1 1/4" MIN. - 2" MAX. OUTSIDE DIAMETER GRAB BAR PER ICC A117.1-2009 SECTION 604.5.1, 609.2. PROVIDE SOLID BLOCKING IN WALL.

VERTICAL SIDE WALL GRAB BAR: 18" MIN. X 1 1/4" MIN. - 2" MAX. OUTSIDE DIAMETER GRAB BAR PER ICC A117.1-2009 SECTION 604.5.1, 609.2. PROVIDE SOLID BLOCKING IN WALL.

REAR WALL GRAB BAR: 42" X 1 1/4" MIN.- 2" MAX. OUTSIDE DIAMETER GRAB BAR PER ICC A117.1-2009 SECTION 604.5.2, 609.2. PROVIDE SOLID BLOCKING IN WALL.

EXPOSED PIPES & SURFACES: WATER SUPPLY & DRAINPIPES UNDER LAVATORIES & SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT PER ICC A117.1-2009 SECTION 606.6.

TOILET PAPER DISPENSERS: INSTALL BETWEEN 7" MIN. & 9" MAX. IN FRONT OF THE WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER. THE OUTLET OF THE DISPENSER SHALL BE 15" MIN. & 48" MAX. ABOVE THE FLOOR, & SHALL NOT BE LOCATED BEHIND THE GRAB BARS PER ICC A117.1-2009 604.7, 309.4.

ACCESSIBILITY SIGNAGE PER ICC A117.1-2009 SECTION 703 SHALL BE MOUNTED 48" MIN. TO 60" MAX. FROM THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE CHARACTERS, & MOUNTED ON THE LATCH SIDE OF THE DOOR.

FLOOR SHALL BE A SLIP RESISTANT, HARD, NONABSORBENT SURFACE PER 2009 IBC SECTION 1210.1.

WALL BASE: THE BASE OF WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALL AT LEAST 6" PER 2009 IBC SECTION 1210.1.

WALLS & PARTITIONS WITHIN 2'-0" OF URINALS & WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF 4'-0" ABOVE THE FLOOR PER THE 2009 IBC SECTION 1210.2.

SOAP DISPENSER.

HAND DRYER.

3602GXL "INVACARE THERAPURE" SIDE ENTRY WHIRLPOOL TUB.

48"x40" SHOWER INSERT w/ SHOWER CURTAIN.

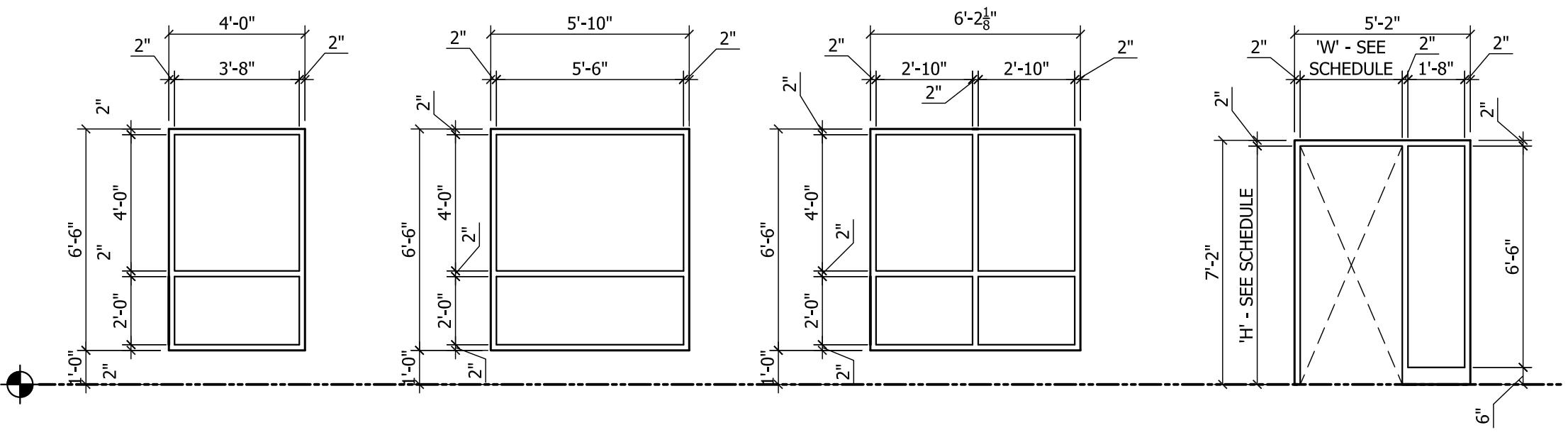
EXISTING RESTROOM FIXTURES TO REMAIN

***NOTE: NOT ALL KEYNOTES ARE USED IN THIS PROJECT.**

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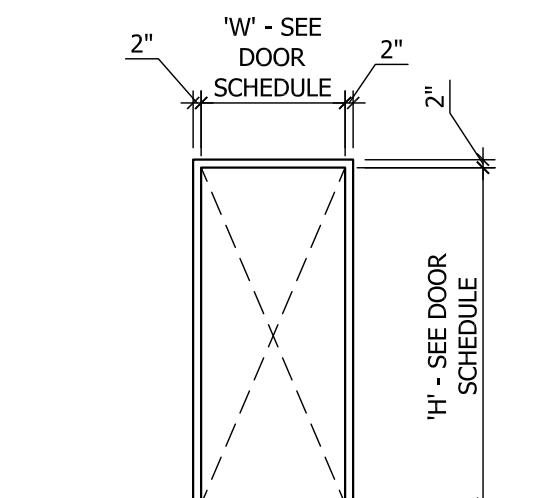
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DOOR/WINDOW TYPES

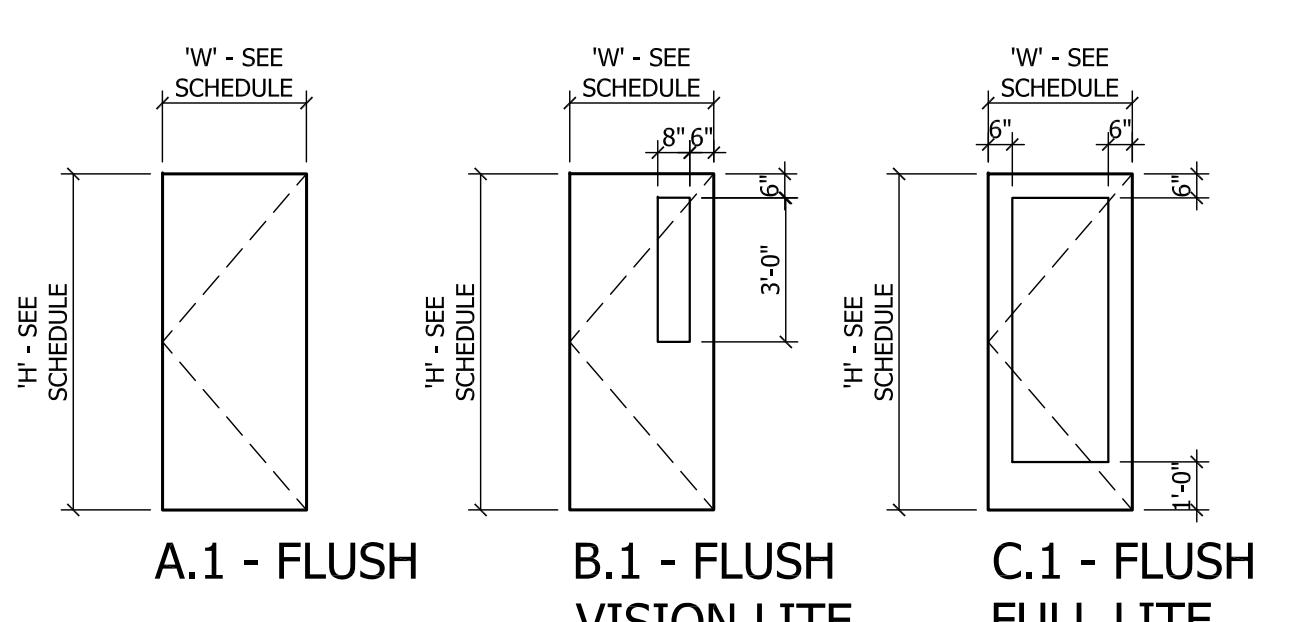
SCALE: 1/4" = 1'-0"



FT-1 : FRAME TYPE

FRAME TYPES

SCALE: NOT TO SCALE



DOOR PANEL TYPES

SCALE: NOT TO SCALE

DOOR SCHEDULE

DOOR MARK	DOOR				FRAME				REMARKS	
	SIZE		PANEL		TYPE		FRAME			
	WIDTH - W'	HEIGHT - H'	THICKNESS - T'	TYPE	MATERIAL	FINISH	HEAD	JAMB SIMILAR TO HEAD		
100A	3'-0"	7'-0"	1 3/4"	C.1	AL	CLR	Y	-	ALUM AL - - - 1 - - 3	
101A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	FT-1	ALUM AL - - - 2 - - 1	
102A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	-	ALUM AL - - - 2 - - 1	
103A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	-	ALUM AL - - - 2 - - 1	
104A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	-	ALUM AL - - - 2 - - 1	
105A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	-	ALUM AL - - - 2 - - 1	
106A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	-	ALUM AL - - - 2 - - 1	
109A	3'-0"	7'-0"	1 3/4"	C.1	AL	CLR	Y	-	FT-1 ALUM AL - - - 5 - -	
110A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	FT-1	ALUM AL - - - 3 - -	
111A	3'-0"	7'-0"	1 3/4"	B.1	WD	HPL	Y	FT-1	ALUM AL - - - 4 - -	
112A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	FT-1	ALUM AL - - - 3 - -	
114A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	FT-1	ALUM AL - - - 2 - -	
116A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	FT-1	HM P&P - - - 3 - -	
117A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	FT-1	HM P&P - - - 2 - -	

ABBREVIATIONS	REMARKS
T=1/4" TEMPERED CLEAR PLATE	1. SEE WINDOW TYPES FOR FRAME INFORMATION
GLASS= HOLLOW METAL	2. SIGNAGE TO READ: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS".
CLR = CLEAR	3. CONTRACTOR TO MEASURE AND VERIFY EXISTING OPENING.
P&P= PRIME AND PAINT	
AL= ALUMINUM	
PC= POLYMER CORE	
WD: SOLID CORE WOOD	
FF: FACTORY FINISH	
HPL: HIGH PRESSURE LAMINATE	

DOOR HARDWARE

SET #1	SET #2	SET #4	SET #5
1 - CONTINUOUS HINGE	3 - HINGES	1 - CONTINUOUS HINGE	1 - CONTINUOUS HINGE
1 - HANDLE	2 - HINGES	1 - HINGES	1 - HANDLE
1 - EXIT DEVICE	1 - OFFICE LOCK	1 - OFFICE LOCK	1 - EXIT DEVICE
1 - MORTISE LOCKSET	1 - STOP	1 - STOP	1 - MORTISE LOCKSET
1 - THRESHOLD	SILENCERS	1 - GLASS KIT	1 - THRESHOLD
1 - CLOSER		SILENCERS	1 - CLOSER
1 - GLASS KIT			1 - GLASS KIT
WEATHERSTRIP			WEATHERSTRIP
MODIFY AND PREP EXISTING	SET #3		
FRAME, REPLACE AS REQUIRED	3 - HINGES		
	2 - PRIVACY LOCK		
	1 - CLOSER		
	SILENCERS		

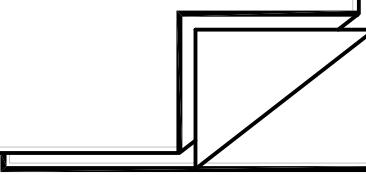
DOOR NOTES

- A. DOOR HANDLES, PULLS, LATCHES AND LOCKS AND OTHER OPERATING DEVICES SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE PER 2012 IBC SECTION 1008.1.9.1.
- B. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR PER 2012 IBC SECTION 1008.1.9.2.
- C. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED UNLESS STATED SPECIFICALLY BY THE EXCEPTIONS LISTED IN 2012 IBC SECTION 1008.1.9.
- D. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION PER 2012 IBC 1008.1.9.
- E. THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGGS DOOR, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS PER 2012 IBC SECTION 1008.13.
- F. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR, AND SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. PER 2012 IBC SECTION 1008.1.5.
- G. LOCKS AND LATCHES SHALL BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED, A SIGN POSTED ON THE EGGS SIDE OR ADJACENT TO THE DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". THE SIGN SHALL BE IN 1 INCH HIGH LETTERS AND ON A CONTRASTING BACKGROUND. PER 2012 IBC SECTION 1008.1.9.3.
- H. THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN TO 90 DEGREES. PER 2012 IBC SECTION 1008.1.1.
- I. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM. PER ICC/ANSI A117.1-2009.
- J. ALL GLAZING IN HAZARDOUS LOCATIONS ARE REQUIRED TO BE SAFETY GLAZING MATERIALS WHERE GLAZING IS LOCATED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION. GLAZING IN A INDIVIDUAL FIXED OR OPERABLE PANEL WHOSE EXPOSED AREA OF GLAZING IS GREATER THAN 9 SQUARE FEET AND THE EXPOSED BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR AND THE EXPOSED TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FINISHED FLOOR. PER 2012 IBC SECTION 2406.4.
- K. ALL METAL DOOR FRAMES TO BE PROVIDED WITH SILENCERS.
- L. ALL DOOR HARDWARE IS TO BE COMMERCIAL GRADE AND QUALITY.
- M. ALL GLAZING AND DOOR SYSTEMS ARE TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO ORDERING. SUBMIT SAMPLES FOR SELECTION AND APPROVAL.
- N. FIELD VERIFY ALL WINDOW / DOORS OPENING DIMENSIONS.
- O. MINIMUM GLASS THICKNESS TO BE 1/4".
- P. ALL DOORS SHALL COMPLY WITH 2012 IBC.
- Q. THE PROVIDED HARDWARE SCHEDULE IS INTENDED TO COVER ALL DOORS AND REQUIRED HARDWARE AND ESTABLISH A TYPE AND STANDARD OF QUALITY. IT SHALL BE THE SPECIFIC DUTY OF THE HARDWARE SUPPLIER / CONTRACTOR TO EXAMINE THE PLANS AND SPECIFICATIONS AND FURNISH AND INSTALL ALL REQUIRED HARDWARE AND DOORS TO COMPLY TO ALL CURRENT CODES FOR ALL OPENINGS LISTED OR NOT.
- R. PROVIDE ITEMS, ARTICLES, MATERIALS, OPERATIONS AND METHODS LISTED, MENTIONED OR SCHEDULED OR ON THE DRAWINGS, IN QUANTITIES AS REQUIRED TO COMPLETE PROJECT. PROVIDE HARDWARE THAT FUNCTIONS PROPERLY. PRIOR TO FURNISHING HARDWARE, ADVISE ARCHITECT OF ITEMS THAT WILL NOT OPERATE PROPERLY, ARE IMPROPER FOR CONDITIONS, OR WILL NOT REMAIN PERMANENTLY ANCHORED.

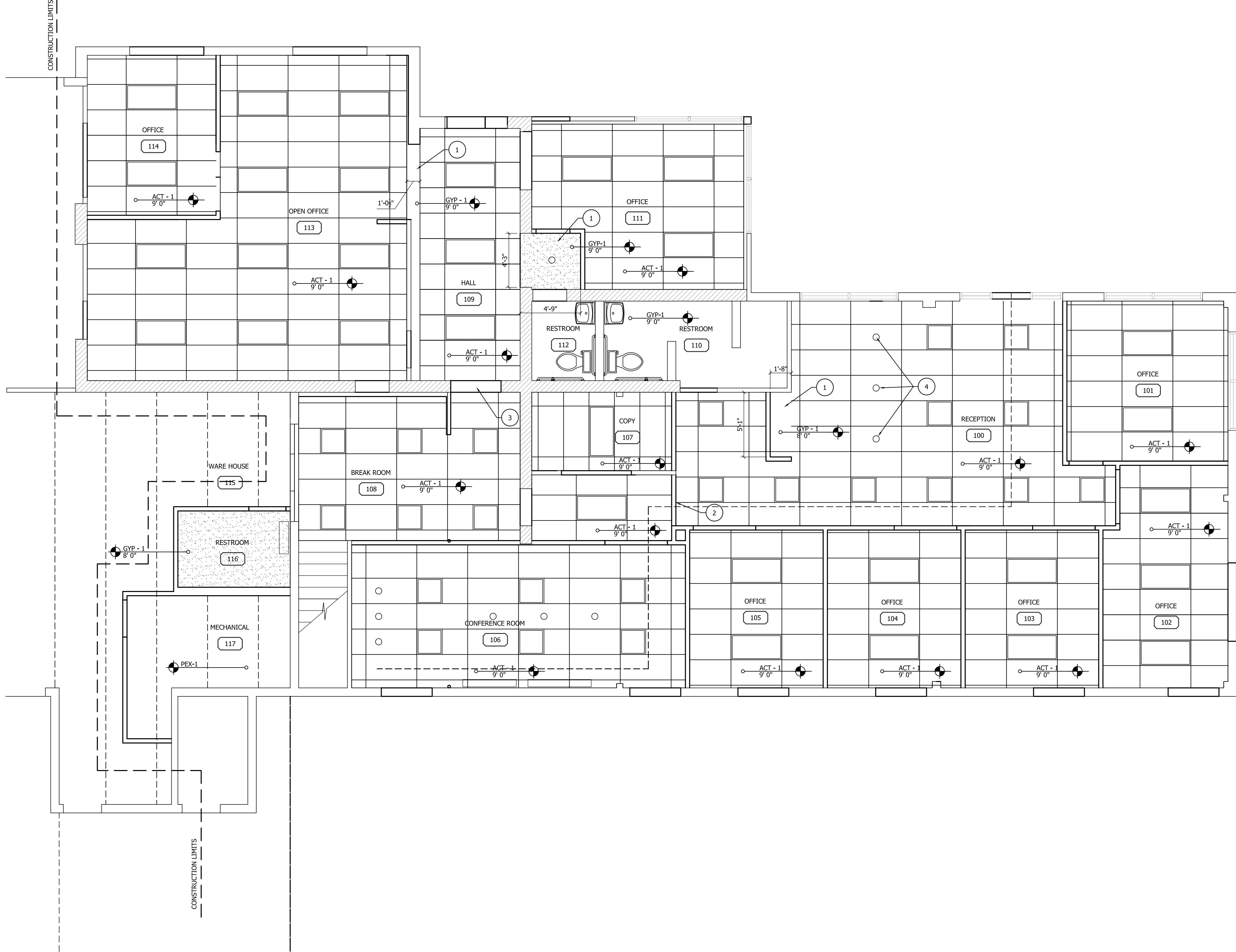
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A-2



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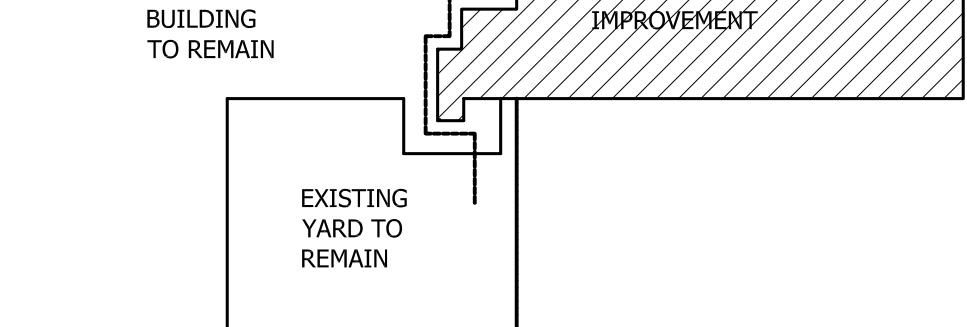


KEYNOTES

- 1 NEW FRAMED SOFFIT, PAINTED
- 2 NEW FRAMED HEADER, PAINTED
- 3 NEW HEADER, PAINT EXISTING BRICK ROUGH OPENING
- 4 SUSPENDED FIXTURES



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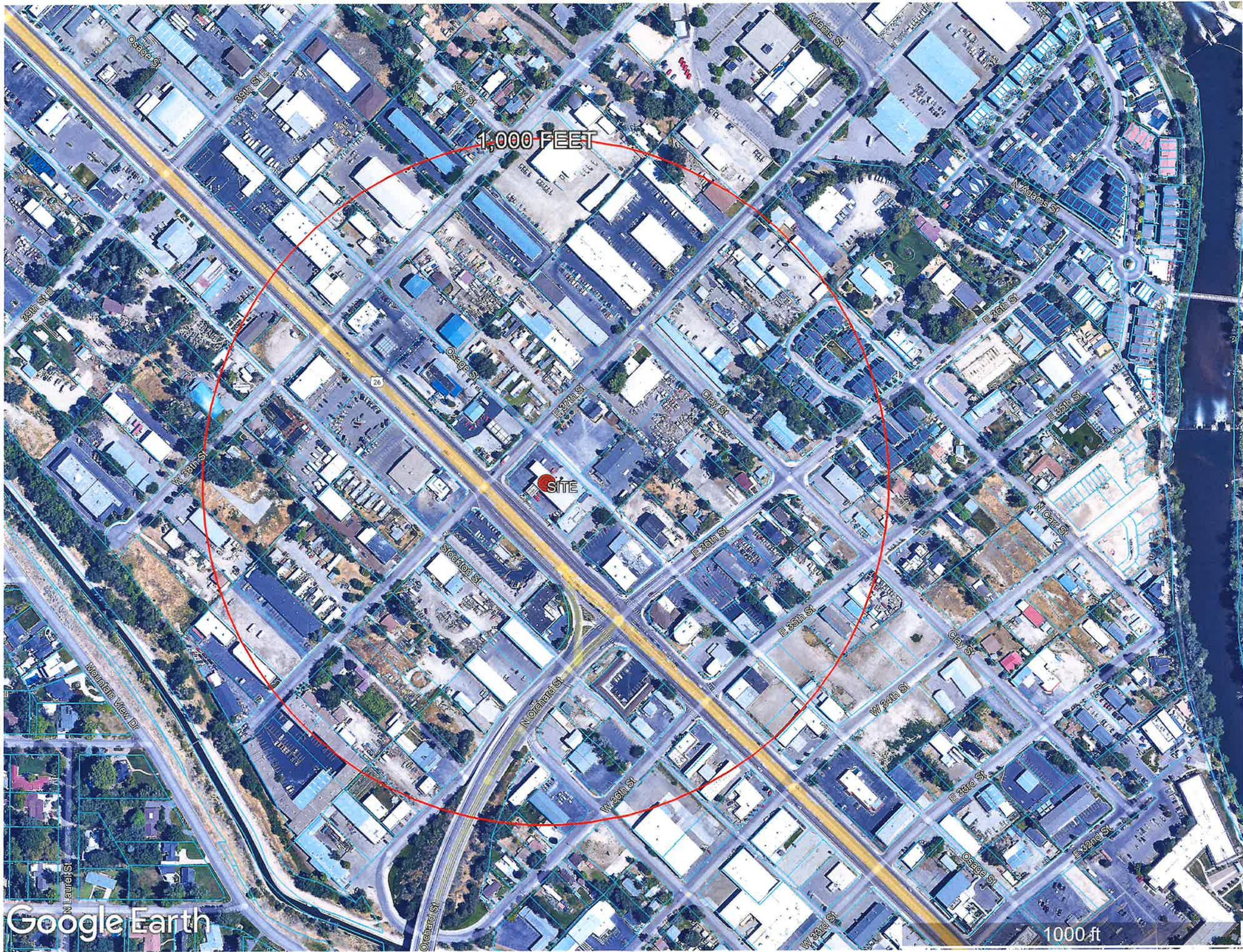


KEY PLAN
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CONSTRUCTION DRAWINGS

A-3







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