



CONDITIONAL USE PERMIT

Permit info: CUPFY2024-0006

Application Date: 3/18/2024 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Darcy Blazek	Name: Sylvia Hample
Company: Blazek Diagnostic & Automotive Repair	Company: Toucan Development LLC
Address: 10870 West Fairview Ave.	Address: 3317 West Crescent Rim
City: Boise	City: Boise
State: ID Zip: 83713	State: ID Zip: 83706
Tel.: 208- 830- 8178	Tel.: 208- 602- 8861
E- mail: darcyblazek@gmail.com	E- mail: sylvia.r.idaho@gmail.com

PROPERTY AND DESIGN INFORMATION: [VISIT ADA COUNTY ASSESSOR'S SITE](#)

Site Address: 3660 West Chinden Blvd.

Subdivision Name: Fairview Acres Sub. No 1	Lot: 33/34	Block: 10
Tax Parcel Number: R2734502880	Zoning: C- 1	Total Acres: .69
Proposed Use: Automotive Repair	Floodplain: YES	NO

Describe the proposed use:

Advanced Diagnostic & Electrical repair along with minor automotive repair.

Will you be making changes to the structure(s)?	YES	NO
If no, will you be changing the occupancies as defined by the IBC?	YES	NO
Check any that are applicable to this application:	<input type="checkbox"/>	I will build a new structure
<i>*If any of the first three boxes are checked, a Design Review Application is required*</i>	<input type="checkbox"/>	I will add 25% or more to the floor area of an existing building
	<input type="checkbox"/>	I will alter, replace rehabilitate or restore 25% or more of a store façade.

How is the use appropriate to the location, the lot, and the neighborhood, and is compatible with the uses permitted in the applicable zoning district?

This property is a large multi bay space in a business district and has Conditional zoning for automotive repair under Allowed Uses in all base zoning districts Table 8- 2B- 1 and has been used for this purpose in the past.

Is the use supported by adequate public facilities or services such as water/sewer, schools, roads, parks, transit, fire protection and police protection?

All services are in place for this building.

How does the use affect the health, safety or welfare of the community?

The health, safety and welfare of the community is not affected by our business. We pay to have our chemicals (coolants & oils) disposed of by a professional company (Thermofluids). Noise will be compliant with city code.

How does the use support the goals of the Comprehensive Plan?

We will provide value and services to the residents and businesses while supporting the Garden City Chamber of Commerce and other business associations within Garden City.

How far is the proposed use from a pedestrian/bicycle pathway?

The Greenbelt is located .43 miles from the property.

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

Darcy L Blazek
Darcy L Blazek (Mar 13, 2024 15:35 MDT)

03/13/2024

Signature of the Applicant

(date)

Sylvia Hampton
Sylvia Hampton (Mar 13, 2024 12:45 MDT)

03/13/2024

Signature of the Owner

(date)

APPLICATION INFORMATION REQUIRED

NOTE: AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- ☒ Compliance Statement and Statement of Intent
 - ☒ Neighborhood Map
 - ☒ Fire Flow / Ability to Serve
 - ☒ 11"x17" Site Plan
 - ☒ Irrigation/Ditch Company Authorization Letter
 - ☒ Landscape Plan
 - ☒ Photos of Site
 - ☒ Neighborhood Meeting Verification
 - ☒ Affidavit of Legal Interest
 - ☒ Waiver Request of Application Materials
 - ☒ Structural Documentation
(if previous Certificate of Occupancy has been issued and no change to IBC occupancy is anticipated)
- *Additional information may be required by staff such as a traffic/parking analysis, a use analysis or documents related specifically to a business.*

☒ **PLEASE CHECK THE FOLLOWING:**

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☒ Statement explaining how the proposed use(s) is compliant with the standards of review for the proposed application. Cite the ordinances the proposed use(s) is compliant with
- ☒ Should include purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☒ 8 1/2" x 11" size minimum
- ☒ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- ☐ Scale not less than 1" = 20'), legend, and north arrow.
- ☐ Property boundary, dimensions, setbacks and parcel size.
- ☐ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☐ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☒ Adjacent public and private street right of way lines
- ☐ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations

- ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.

INFORMATION REQUIRED FOR IRRIGATION/DITCH AUTHORIZATION LETTER:

- ☐ Required if irrigation canal/irrigation ditch runs through property or along property lines

INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION:

- ☒ Copy of notice sent to property owners within 300' of an applicable property
- ☒ List of notice recipients with names and addresses
- ☒ Sign-up sheet from meeting

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☒ Statement must include a list of the application materials to be waived and an explanation for the request

STRUCTURAL DOCUMENTATION (IF NO CHANGE TO STRUCTURE OR IBC OCCUPANCY):

- ☒ **Industrial treatment compliance: a statement answering the following questions:**
 - Do you or will you discharge wastewater other than domestic water from bathrooms to the City Sewer System? If yes, please describe.
 - Are floor drains present in your facility? If yes, are any chemicals stored on site in containers exceeding 1 gallon?
 - Do you or will you use fats, oils or greases in your business? If yes, do you have a grease trap/interceptor present
- ☐ **One set of detailed current floor plans legibly drawn on minimum 8 1/2 X 11 plan sheet drawn to 1/4" = 1' scale (with scale noted on plans) identifying:**
 - Use and square footage per room (i.e. office, storage, restroom, etc.)
 - Primary Occupancy Classification (2018 IBC sec 303-312)
 - Occupancy Load (2018 IBC Sec 1004, table 1004.5)
 - Interior and exterior wall and opening dimensions, windows, doors, roll-up doors
 - Electrical panels interior and exterior
 - Gas meter location
 - Fire extinguisher locations and size
 - Emergency lighting locations
 - Illuminated exit sign locations
 - Fire sprinkler riser location
 - Fire alarm panel location
 - Commercial cooking operation location, including size and type of hoods and grease traps
 - Spray finishing operation location
 - Flammable or combustible product locations
 - Welding operation locations
 - Rack storage locations

Disclaimer Clause: X Denotes application information that may be waived depending on the nature of the request" found under table 8-6a-2 "required application information."

Compliance Statement and Statement of Intent

RE: 3660 West Chinden Blvd. Garden City ID

Owner: Toucan Development LLC

Tenant: Darcy Blazek

To whom it may concern,

Blazek Diagnostic and Automotive is submitting our application for review in an effort to obtain a Conditional Use permit for the above property. We will be leasing the location with the intent of moving our Vehicle Service business from Fairview Avenue in Boise to this location in Garden City. Per the Development code under Table 8-2B-1 Vehicle service is an allowed use with a Conditional Use Permit since the subject property is zoned C-1 by the Ada County Assessor's office.

We are leasing the building as is and will not be making any changes to the current structure of the building. The building will remain the same as the architectural plans provided with this application that were submitted by the owner.

Our operating hours are M-F 8:00AM-6:00PM and will not pose any negative impact on the adjacent properties or surrounding community.

We are happy to provide any additional information you deem necessary to grant the Conditional Use Permit.

Sincerely,

Darcy Blazek





Form Request to Obtain Fire Flow Test

Permit info: FF2024-0018

Application Date: 3/7/2024

Rec'd by: OD

FOR OFFICE USE ONLY

6015 Glenwood Street Garden City, Idaho 83714 Phone 208/472-2900 Fax 208/472-2996
Inspection Hotline Phone 208/472-2920 WWW.Gardencityidaho.org

Property Information:

(Circle One): RESIDENTIAL / COMMERCIAL

Project Name Black Diagnostic & Automotive Repair Project Address: 3660 W. Chinden Blvd.

Parcel # 72734502880 Lot: 33 Block: 34 Subdivision: Fairview Acres

APPLICANT:

Name: William or Darcy Black

E-mail: darcyblack@gmail.com

Phone: 208-830-8178

Contact Cell: Same

Fax: 208-575-2860

Address: 2717 W. Wapoot Dr

City, State, Zip: Meridian ID 83646

Additional Information (CUP, DSR, SUB Tracking numbers, names etc.)

Future cup

Fees to Obtain Fire Flow:

Water Observation

(See Fee Schedule)

APPLICANT'S SIGNATURE: Darcy Black DATE: 3/11/24

Note: per Public Works Water Division Policy and Procedure Fire Flow 12.15 - all fire flow requests will be processed within 14 business days.



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

March 15, 2024

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 3660 W Chinden Blvd

Fire hydrant serving this address: #2070

Fire flow Garden City is able to provide is 2000 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 2000 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File



ABILITY TO SERVE REQUEST

Permit info: ATSFY2024-0009

Application Date: 3/4/2024 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street Garden City, Idaho 83714 Phone 208/472-2921 Fax 208/472-2996

CONTACT INFORMATION:

Company: Blazek Diagnostic + Automotive Repair Name: Darcy Blazek E-mail: darcyblazek@gmail.com
 Address: 2717 W. Wapato Dr. City: Meridian State: ID Zip: 83446
 Office Phone: 208 440 9292 Cell: 208 830 8178 Fax: 208 575 2860

SITE INFORMATION

Project Description: carp Applications for Automotive Repair
 Project Street #: 3460 Street Name: Chandler Blvd.
 Subdivision: Fairview Acres Lot: 33 Block: 34 Parcel #: R2734502880

Number of Units: _____
 Water Service Connection: ☐ 5/8" ☐ 1" ☐ 1.5" ☐ 2" ☐ 3" ☐ 4" ☐ 6" ☐ N/A ☐
 Sewer Connection Y___ N___
 Fire Suppression Service Connection to City Main: ___4" Sprinkler ___6" Sprinkler ___8" Sprinkler
 ___Hydrant

FOR NEW COMMERCIAL / TI COMMERCIAL PROJECTS ONLY

Fixtures:	Number of Existing	Number of New	Fixtures:	Number of Existing	Number of New	Restaurants
Bathtub or Combination Bath/Shower			Sinks/Bar			Please provide square footage area for all seating: Indoor Outdoor Bar Banquet Other
3/4" Bathtub Fill Valve			Sinks/Clinic Faucet			
Bidet			Sinks/Clinic Flushometer Valve with or without faucet			
Clothes washer			Sinks/Special Purpose 1-1/2"			
Dental Unit, cuspidor			Sinks/Special Purpose 2"			
Dishwasher, domestic			Sinks/Special Purpose 3"			
Drinking Fountain or Watercooler			Sinks/Kitchen, domestic			
Food-Waste-Grinder, commercial			Sinks/Laundry			
Floor Drain			Sinks/Service or Mop Basin			
Hose Bibb			Sinks/Washup, each set of faucets			
Hose Bibb, each additional			Sinks/Service, flushing rim 3"			
Shower, single-head trap			Washfountain			
Multi-head, each additional			Urinal, 1.0 GPF or greater than 1.0 GPF			
Lavatory			Washfountain, circular spray			
Lavatory, in sets of two or three			Water Closet, 1.6 GPF Gravity Tank/Flushometer Valve			
Lawn Sprinkler, each head			Water Closet, greater than 1.6 GPF Gravity Tank/Flushometer Valve			

The applicant is responsible to submit 2 copies and a digital copy of the following information for Ability To Serve Letter:

1. Fire system description & copy of approval from fire department.
2. Site plan
3. Sewer line connection or addition description-detail.
4. Fire Flow Letter

The submittal of the above information does not guarantee that an "Ability to Serve" letter will be issued. Public Works shall conduct a review of the submitted information. There may be a request for additional information as necessary. Please contact Garden City Public Works with further questions.

Applicants Signature: Darcy Blazek DATE: 3/1/2024



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

18 March 2024

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **3660 Chinden Boulevard
Water and Sanitary Sewer Ability to Serve
ATSFY2024-0009**

I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

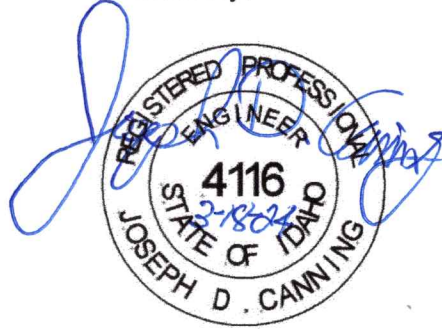
The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 15 March 2024 (fire hydrant #2070) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. Any new sewer mainline extension, sewer service connections, changes to connections and discharges to Garden City sewer lines to serve the facility must be coordinated, reviewed and approved by Garden City Public Works. Verification of grade, design and installation to connect to the sewer system is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



J. D. Canning, PE/PLS
Centurion Engineers, Inc.
Garden City Engineer

ec. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Chad Vaughn
Garden City Water Manager
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City





Landscape Plan

Green Star: Locations that are current small dirt areas will have bushes planted. We are planning to put in 5 bushes.

Blue Circle: The access point will be chained off and large planters with flowers will be placed along Chinden Boulevard. We plan to put in 3 large planters.

Date: 3/5/24

RE: Neighborhood Meeting Notice for Project in your Neighborhood

To whom it may concern,

You are invited to a neighborhood meeting to discuss a project we are proposing near your property. The purpose of the meeting is to discuss the project, answer any questions, and listen to your feedback and suggestions.

File Number: TBD

Meeting Date: 3/15/24

Meeting Time: 6:30 pm

Meeting Location: 3660 W. Chinden Blvd, 83714

Project Summary: The application is for: remodel of existing site/structure, new construction, subdivision), sign. Conditional Use

The proposal is intended to be: residential, mixed-use, multi-family, ☒ commercial use, other.

The project includes 0 residential units and/ or 9K square feet of commercial.

If you would like to contact us ahead of the meeting, please feel free to reach us at (phone) 208 830 8178 or (email) darcyblaze@gmail.com. We look forward to hearing from you.

If you provide written comments to the city seven days or more prior to the applicant's consultation with the design consultants, your comments will be reviewed as part of the application. This application's review with the City may take place as soon as 15 days after the neighborhood meeting.

Please note, that if you wish to be an interested party or have the ability to appeal you must notify the city in writing. The city will inform interested parties of any revised materials that are submitted. You cannot appeal the application unless you have standing as prescribed in Idaho Code and provide written comment to the city seven days prior to the application's formal review with the City.

Thank you,

Those who have standing may appeal the decision, **provided that written comment is received by the city at least seven days prior to the consultation.** Those who have not provided written comments seven days or more in advance of the consultation will not be permitted to appeal.

If you wish to be an interested party or may wish to appeal the city's decision please provide the city with the following information to the city via email planning@gardencityidaho.org or mail to Attn: Design Review 6015 Glenwood, Garden City, Idaho, 83714.

File:

I wish to be an interested party ____ Yes ____ No

I wish to have the ability to appeal ____ Yes ____ No

Name:

Email:

Physical Address:

Which design elements are of concern:

____ Massing

____ Architectural elements

____ Connectivity

____ Landscaping

____ Water features

____ Site layout

____ Other

Please elaborate:

Signature

Date

Neighborhood Meeting Sign-in Sheet Template

Day: Friday

Date: March 15th, 2024

Time: 6:30 PM

Project Synopsis: Blazek Diagnostics & Automotive is applying for a Conditional Use Permit for the building located at

3660 West Chinden Blvd. Garden City, ID

Information must be written in block letters and in legible handwriting.

Example: Jane Doe, 6015 Glenwood St., Garden City, ID, 83714, planning@GARDENCITYIDAHO.ORG, YES

[illegible]

Waiver Request of Application Materials

Irrigation/Ditch Company Authorization Letter:

There is no irrigation canal/ditch running through or along the property lines.

CLEARVIEW CLEANING TENANT IMPROVEMENT

3660 WEST CHINDEN BOULEVARD, GARDEN CITY, IDAHO 83705

PROJECT NOTES

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS
- THE CONTRACTOR SHALL VERIFY ALL DIMENSION AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ALL WORK.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WHERE ANY CONFLICTS OCCUR WITH THE CONSTRUCTION DRAWINGS.
- IF HAZARDOUS MATERIALS ARE FOUND TO EXIST ON THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IN WRITING.
- THE DRAWINGS SHALL NOT BE SCALED
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES REQUIRED TO PERFORM THE WORK. WHERE INSTALLATION AND/OR CONNECTION OF EQUIPMENT IS NOT SPECIFIED AND WHERE SUCH INSTALLATION / CONNECTION IS REQUIRED FOR A COMPLETE AND OPERATIONAL FACILITY, THE CONTRACTOR SHALL BE HELP RESPONSIBLE FOR SUCH INSTALLATION / CONNECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ERECTION BRACING AND SHORING DURING CONSTRUCTION.
- ALL MATERIALS STORED ON SITE SHALL BE PROTECTED FROM WEATHER TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING, PATCHING AND FITTING AS REQUIRED TO PERFORM THE WORK. ALL PATCHING, CUTTING AND FITTING SHALL BE DONE WITH APPROPRIATE MATERIALS AND TOOLS TO INSURE HIGHEST QUALITY OF WORK.
- DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL INSULATION MATERIAL INCLUDING FACINGS ARE REQUIRED TO HAVE A FLAME SPREAD OF 25 OR BETTER AND A MAXIMUM SMOKE DENSITY OF 450 PER THE 2012 IBC, SECTION 720.3.

PARTITION NOTES:

- ALL GYPSUM BOARD PARTITIONS SHALL BE FINISHED TO LEVEL 4, TAPED, SANDED SMOOTH, & PAINTED COLOR AS SPECIFIED BY TENANT. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHEREVER REQUIRED.
- ALL INTERIOR PARTITIONS ARE DIMENSIONED FACE OF STUD TO FACE OF STUD (U.O.N.). ALL VERTICAL DIMENSIONS ARE ABOVE FINISH FLOOR THICKNESS. ACCOUNT FOR 1/2" FLOOR MATERIAL THICKNESS. VERIFY MATERIAL WITH TENANT.
- DEMISING WALLS ARE FROM FINISH FLOOR SLAB TO UNDERSIDE OF ROOF DECK ABOVE.
- ALL DIMENSIONS TO EXTERIOR WINDOW WALL ARE TO INSIDE EDGE OF WINDOW FLOOR PLAN (U.O.N.)
- ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE AND TRUE. THE CONTRACTOR SHALL CORRECT LEVEL FLOORING VARIATIONS.
- DIMENSIONS NOTED 'CLR' ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCE MUST BE ACCURATELY MAINTAINED.
- THERE SHALL BE A MINIMUM OF 18" CLEAR TO THE NEAREST RETURNING PARTITION, PERMANENT FIXTURE OR MULLION AT THE LATCH SIDE, PULL SIDE OF ALL DOORS.
- ALL LATCH SETS AND LOCKSETS ON ALL DOORS SHALL COMPLY WITH ALL ACCESSIBLY CODES.
- BRACING FOR DOOR FRAME IS NOT REQUIRED AT DOOR JAMS LOCATED 6" OR LESS FROM 90 DEGREE PARTITION INTERSECTION.

PROJECT TEAM

ARCHITECT

ALC ARCHITECTURE
1119 EAST STATE STREET, #120
EAGLE, IDAHO 83616
PH: (208) 514.2713
CONTACT: JEFF LIKES
EMAIL: JEFF@ALCARCHITECTURE.COM

CONTRACTOR

HC COMPANY
12650 WEST BRIDGER, SUITE 100
BOISE, IDAHO 83713
PH: (208) 321.4990

APPLICABLE BUILDING CODES

2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2009 UNIFORM PLUMBING CODE
2014 NATIONAL ELECTRICAL CODE
2012 IDAHO FIRE CODE

SITE / BUILDING INFORMATION

PROJECT DATA:

SITE ADDRESS:
3660 WEST CHINDEN BOULEVARD
GARDEN CITY, IDAHO 83705

JURISDICTION:
GARDEN CITY, IDAHO

PARCEL:
R2734502880
LOT 33, 34, BLOCK 10
FAIRVIEW ACRES SUBDIVISION NO. 1

ZONING:

C-1

SITE AREA:
ACRES = .69
SQUARE FOOTAGE = 30,057

BUILDING / LAND USE:
B (BUSINESS) / OFFICE

CONSTRUCTION TYPE:
V-B

FIRE SPRINKLERS:
YES - EXISTING, MODIFIED AS REQUIRED ; DEFERRED SUBMITTAL

FIRE ALARM:
YES - EXISTING, MODIFIED AS REQUIRED ; DEFERRED SUBMITTAL

SHEET INDEX

GENERAL:

COVER ARCHITECTURAL COVER SHEET
G1 CODE ANALYSIS AND LIFE SAFETY EXITING
G2 IECC COMPLIANCE

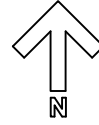
ARCHITECTURAL:

AD1.1 DEMOLITION FLOOR PLAN
A1 EXISTING FLOOR PLAN
A1.1 ENLARGED FLOOR PLANS / INTERIOR ELEVATIONS
A2.0 DOOR SCHEDULES, TYPES AND FRAMES AND WINDOW TYPES
A3.0 REFLECTED CEILING PLAN

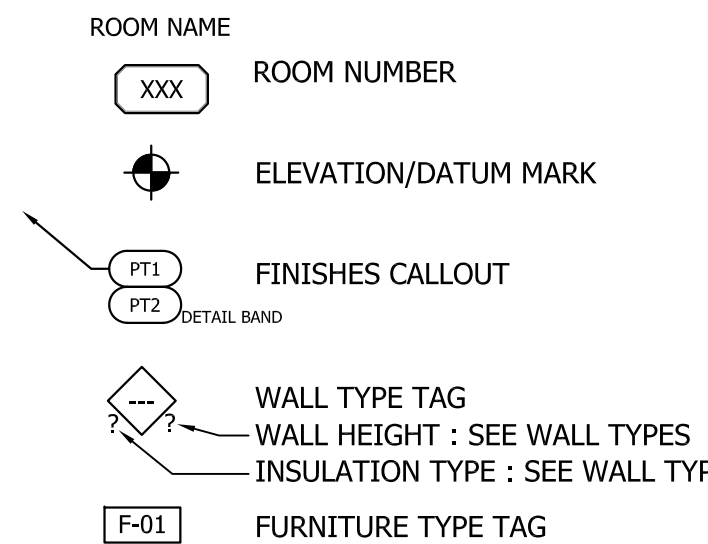
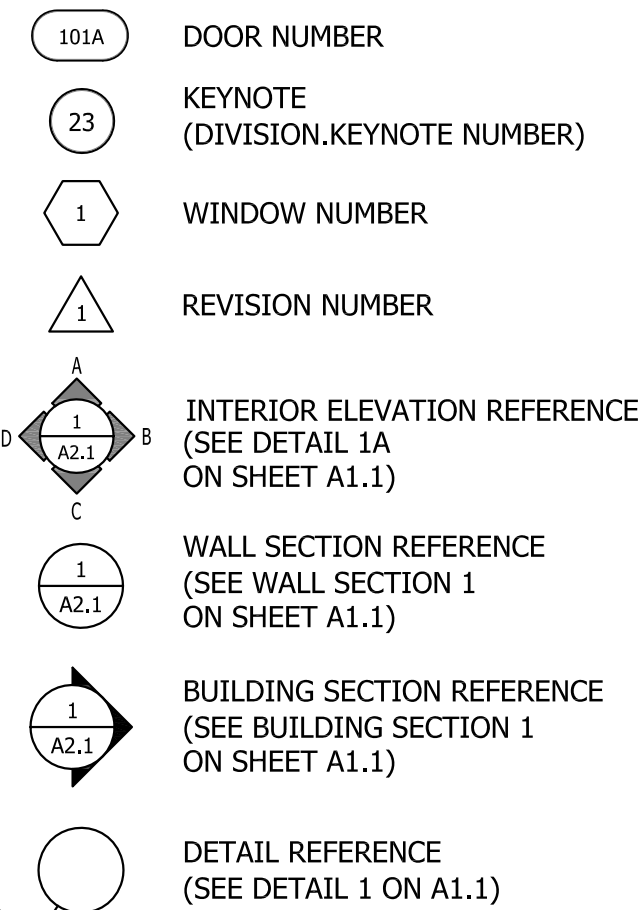
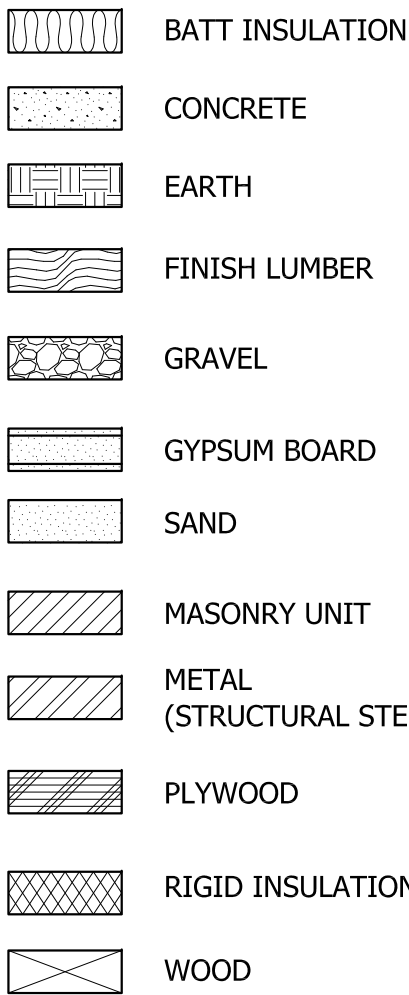
VICINITY MAP



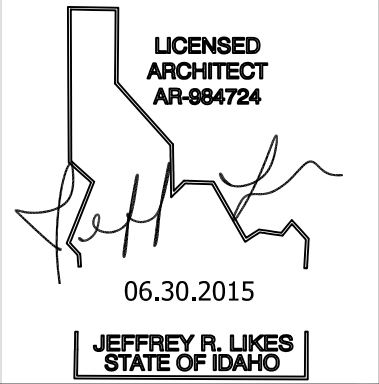
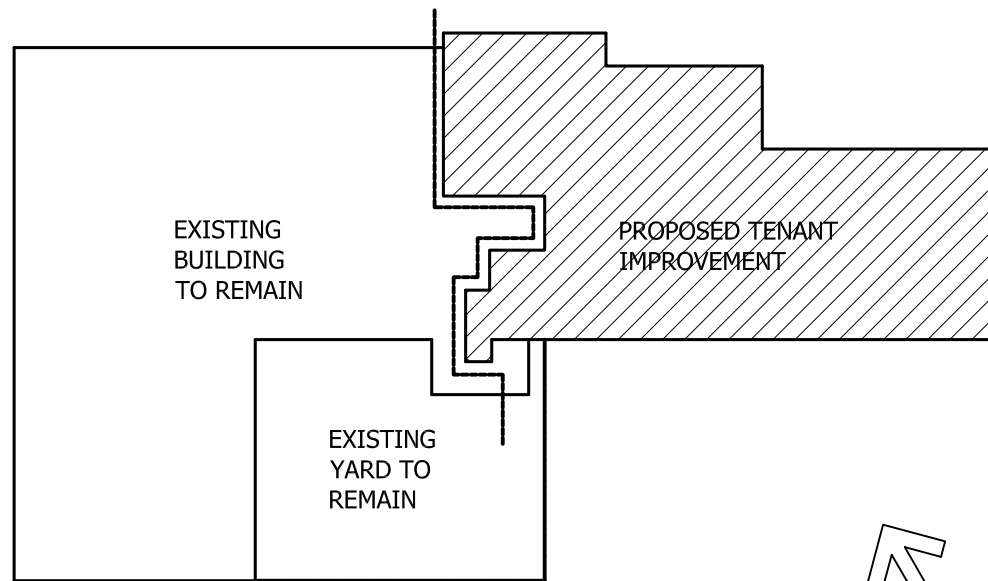
SITE



SYMBOL LEGEND



KEY PLAN



DATE				
REVISIONS				
NO.				

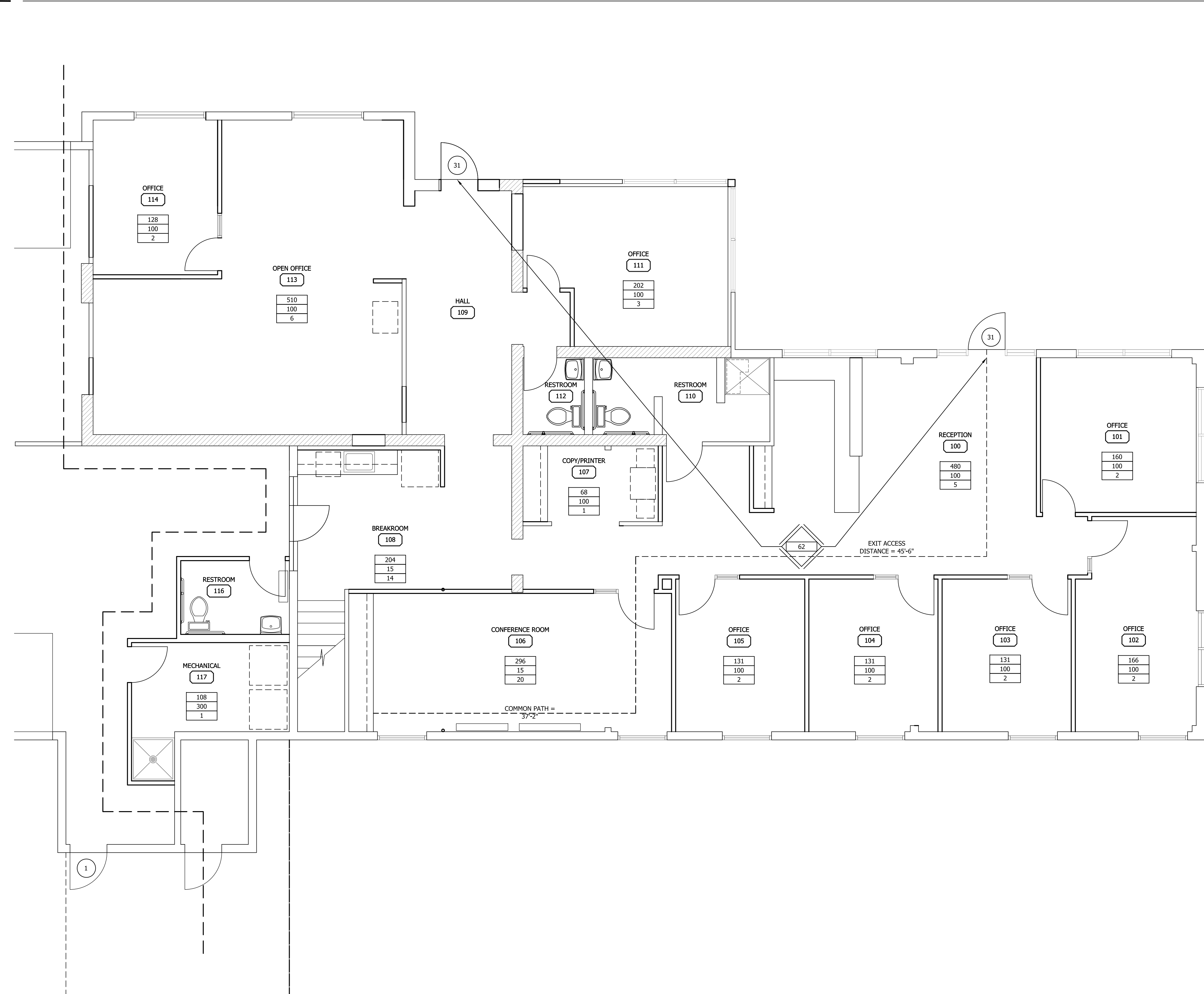


CLEARVIEW CLEANING TENANT IMPROVEMENT

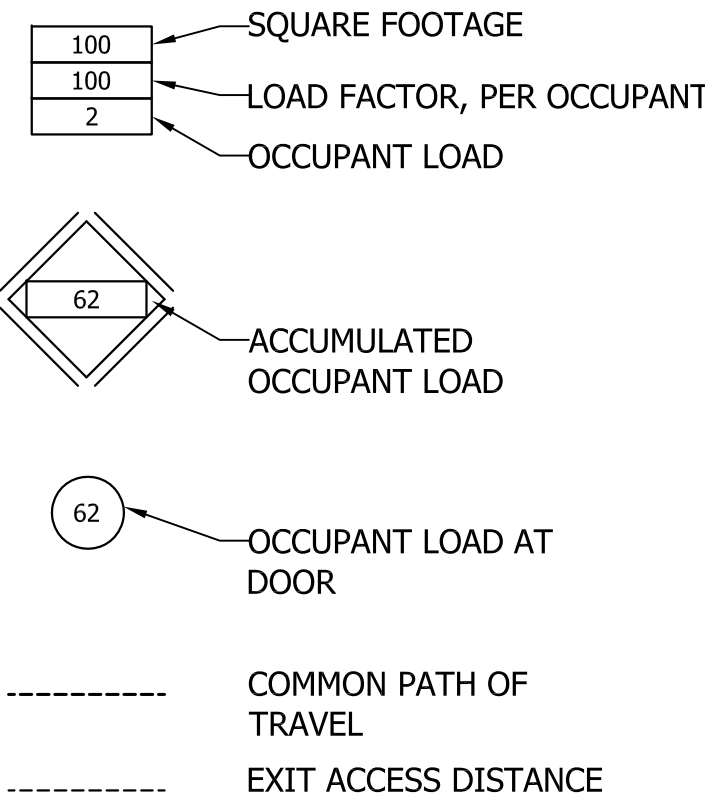
DRAWN BY: --
CHECKED BY: JRL
JOB # 15075
DATE: 06.29.15

CONSTRUCTION DRAWINGS

COVER



LIFE SAFETY & EXITING LEGEND



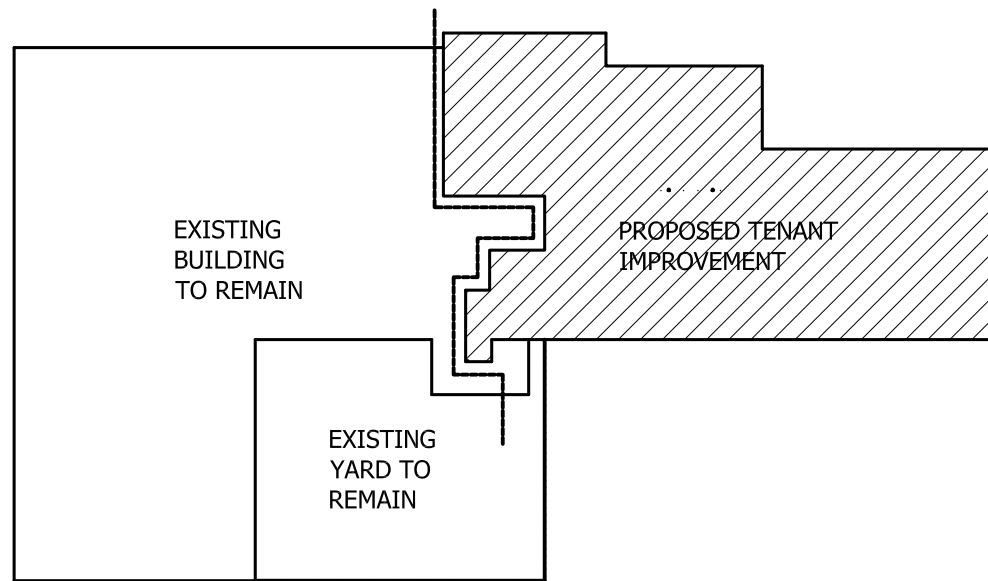
CODE ANALYSIS

BUILDING SQUARE FOOTAGE (EXISTING)	8,970 SQ. FT.
OCCUPANCY ALLOWANCES (PER TABLE 1004.1.1)	SQ. FT. PER PERSON
BUSINESS AREAS	100 GROSS
WAREHOUSE	500 GROSS

OCCUPANCY TYPE:	TOTAL OCCUPANTS:
BUSINESS AREAS (3,452 SF)	35 OCCUPANTS
WAREHOUSE AREAS (5,518 SF)	12 OCCUPANTS
TOTAL:	47 OCCUPANTS

PLUMBING FIXTURE COUNT CALCULATIONS (PER TABLE 2902.1)
47 OCCUPANTS / 2 = 24 OCCUPANTS PER GENDER

CODE CALCULATIONS		URINALS 67% MAX		LAVATORIES 1 per 50		DRINKING FOUNTAINS 1 per 100	SERVICE SINK 1 required
WATER CLOSETS 1 per 25 FIRST 50 1 per 50 FOR REMAINDER		ALLOWED	PROVIDED	REQUIRED	PROVIDED		
MEN 24/25 = .96	1 UNI SEX	1	1 EXIST	1	3	0	1
WOMEN 24/25 = .96		1	1 EXIST				

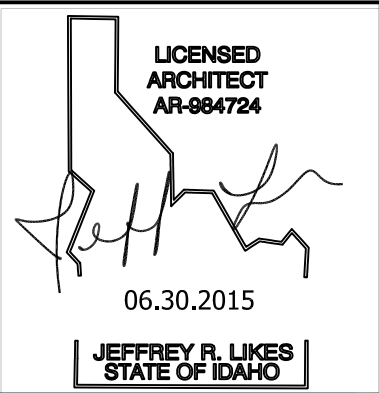


KEY PLAN

SCALE: NOT TO SCALE

LIFE SAFETY AND EGRESS PLAN - LEVEL 1

SCALE: 1/4"=1'-0"



DATE					
REVISIONS					
NO.					



CLEARVIEW CLEANING TENANT IMPROVEMENT

DRAWN BY: --
CHECKED BY: JRL
JOB # 15075
DATE: 06.29.15

CONSTRUCTION DRAWINGS

G-1

COMcheck Software Version 4.0.0
Interior Lighting Compliance Certificate

Project Information

Energy Code: Project Title: Project Type:	2012 IECC Clearview Cleaning Alteration	Owner/Agent: Sylvia Hampel Clearview Cleaning 4977 West Fairview Avenue Boise, ID 83706 208.384.9264	Designer/Contractor: Jeff Lives ALC Architecture 1119 East State Street, Suite 120 Eagle, ID 83616 208.514.2713
Construction Site: 3660 East Chinden Boulevard Garden City, ID 83705			

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B X C)
1-Common Space Types:Office - Enclosed	1049	1.10	1154
2-Common Space Types:Office - Open plan	516	1	510
3-Common Space Types:Conference / Meeting / Multipurpose	296	1.19	355
4-Common Space Types:Restroom	63	1	63
5-Common Space Types:Electrical/mechanical	108	1.10	119
6-Common Space Types:Lobby	481	1.10	529
7-Common Space Types:Lounge/recreation	204	0.80	163
8-Common Space Types:Storage	66	0.80	53
Total Allowed Watts =			2946

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Common Space Types:Office - Enclosed (1049 sq ft.) Linear Fluorescent 1' 48" T8 25W (Super T8) Electronic	2	16	50	800
Common Space Types:Office - Open plan (510 sq ft.) Linear Fluorescent 2' 48" T8 25W (Super T8) Electronic	2	10	50	500
Common Space Types:Conference / Meeting / Multipurpose (296 sq ft.) Linear Fluorescent 3' 24" T8 17W Electronic LED 1' LED A Lamp BW	2	6	34	204
Common Space Types:Restroom (63 sq ft.) Linear Fluorescent 4' 48" T8 25W (Super T8) Electronic	2	1	50	50
Common Space Types:Electrical/mechanical (108 sq ft.) Linear Fluorescent 5' 48" T8 25W (Super T8) Electronic	2	2	50	100
Common Space Types:Lobby (481 sq ft.) Linear Fluorescent 6' 24" T8 17W Electronic LED 2' LED A Lamp BW	2	12	34	408
Common Space Types:Lounge/recreation (204 sq ft.)	1	4	8	32

Project Title: Clearview Cleaning
Data filename: Untitled.cck
Report date: 06/29/15
Page 1 of 7

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Linear Fluorescent 7' 24" T8 17W Electronic	2	6	34	204
Common Space Types:Storage (66 sq ft.) Linear Fluorescent 8' 48" T8 25W (Super T8) Electronic	2	1	50	50
Total Proposed Watts =			2896	

Interior Lighting PASSES

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2012 IECC requirements in COMcheck Version 4.0.0 and to comply with the mandatory requirements listed in the Inspection Checklist.

Name - Title Signature Date

Project Title: Clearview Cleaning
Data filename: Untitled.cck
Report date: 06/29/15
Page 2 of 7

COMcheck Software Version 4.0.0
Inspection Checklist

Energy Code: 2012 IECC
Requirements: 0.0% were addressed directly in the COMcheck software
Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

2012 IECC	Plan Review	Complies?	Comments/Assumptions
C103.2 (PR4)	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: Clearview Cleaning
Data filename: Untitled.cck
Report date: 06/29/15
Page 3 of 7

2012 IECC	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.2 (EL22)	Automatic controls to shut off all building lighting installed in all buildings.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1 (EL23)	Independent lighting controls installed per approved lighting plans and all manual controls readily accessible and visible to occupants.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1 (EL15)	Lighting controls installed to uniformly reduce the lighting load by at least 50%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2 (EL16)	Daylight zones provided with individual controls that control the lights independent of general area lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.3 (EL17)	Sleeping units have at least one master switch at the main entry door that controls wired luminaires and switched receptacles.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2 (EL18)	Occupancy sensors installed in required spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2 (EL20)	Primary sidelighted areas are equipped with required lighting controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2 (EL21)	Enclosed spaces with daylight area under skylights and rooftop monitors are equipped with required lighting controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.3 (EL4)	Separate lighting control devices for specific uses installed per approved lighting plans.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.3 (EL19)	Fluorescent luminaires with odd numbered lamp configurations that are within 30 feet center to center (if recess mounted) or are within 1 foot edge to edge (if pendant or surface mounted) shall be tandem wired.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.4 (EL6)	Exit signs do not exceed 5 watts per face.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.3 (EL9)	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

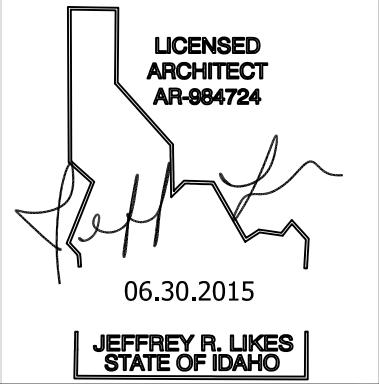
1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: Clearview Cleaning
Data filename: Untitled.cck
Report date: 06/29/15
Page 4 of 7

2012 IECC	Final Inspection	Complies?	Comments/Assumptions
C408.2.5 (F116)	Furnished as-built drawings for electric power systems within 30 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C309.3.C4 (F117)	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.3.2 (F118)	Interior installed lamp and fixture lighting power is consistent with what is shown on the approved lighting plans. Determining proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Interior Lighting fixture schedule for values.
C408.3 (F193)	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: Clearview Cleaning
Data filename: Untitled.cck
Report date: 06/29/15
Page 6 of 7

Project Title: Clearview Cleaning
Data filename: Untitled.cck
Report date: 06/29/15
Page 7 of 7



DATE				
REVISIONS				
NO.				

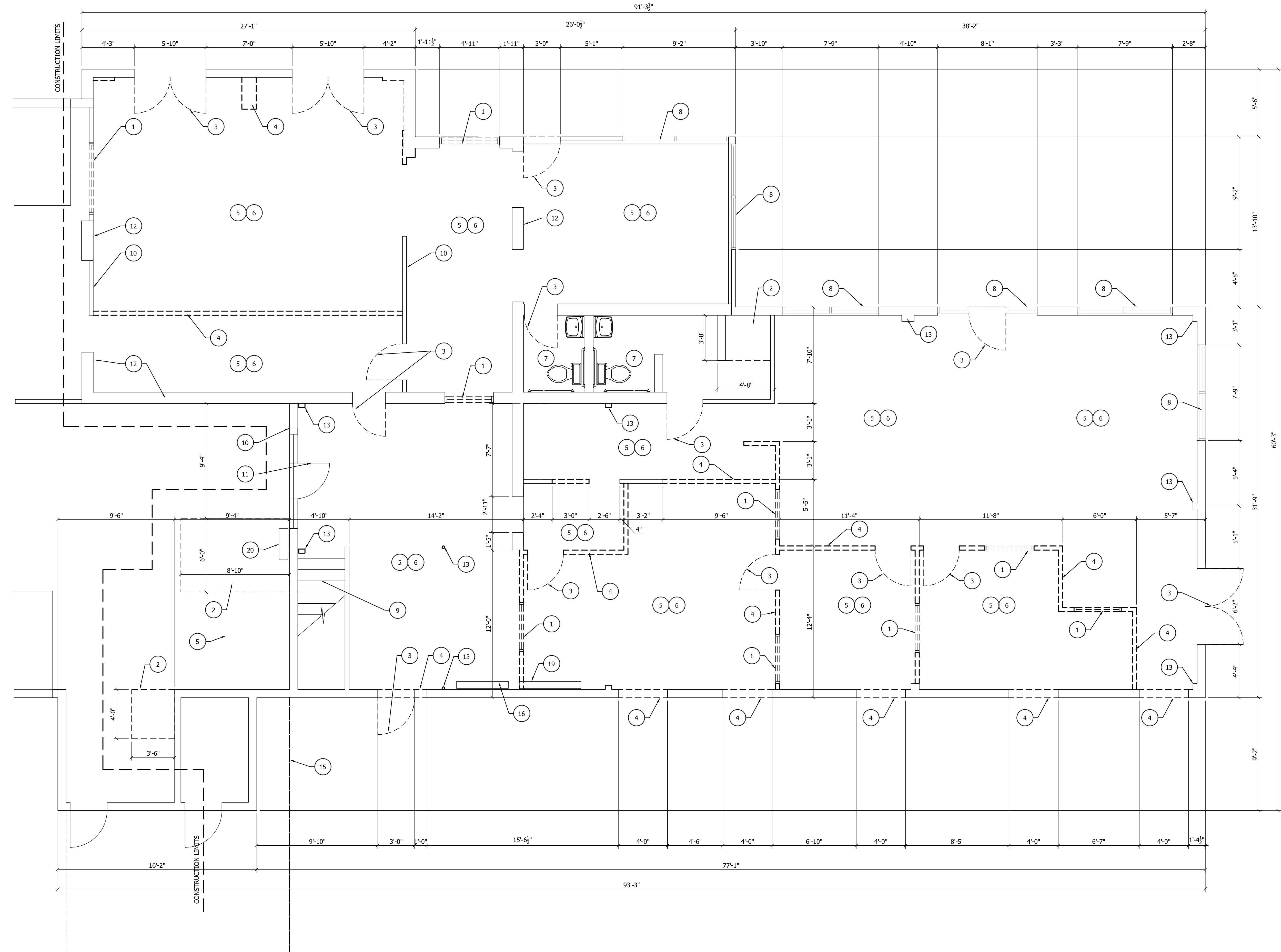


CLEARVIEW CLEANING
TENANT IMPROVEMENT

DRAWN BY: --
CHECKED BY: JRL
JOB # 15075
DATE: 06.29.15

CONSTRUCTION DRAWINGS

G-2

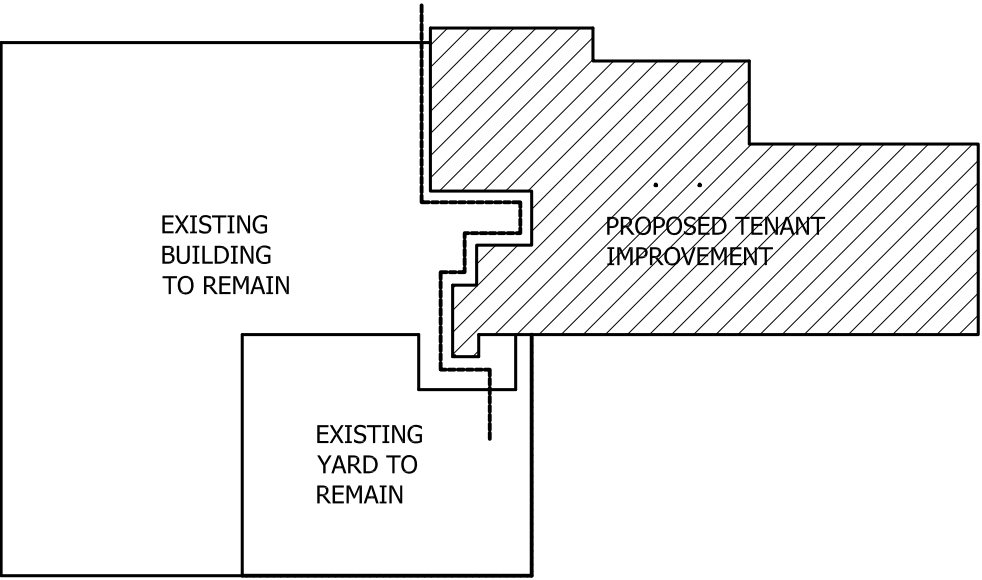


DEMOLITION FLOOR PLAN - LEVEL 1

SCALE: 1/4"=1'-0"

KEYNOTES

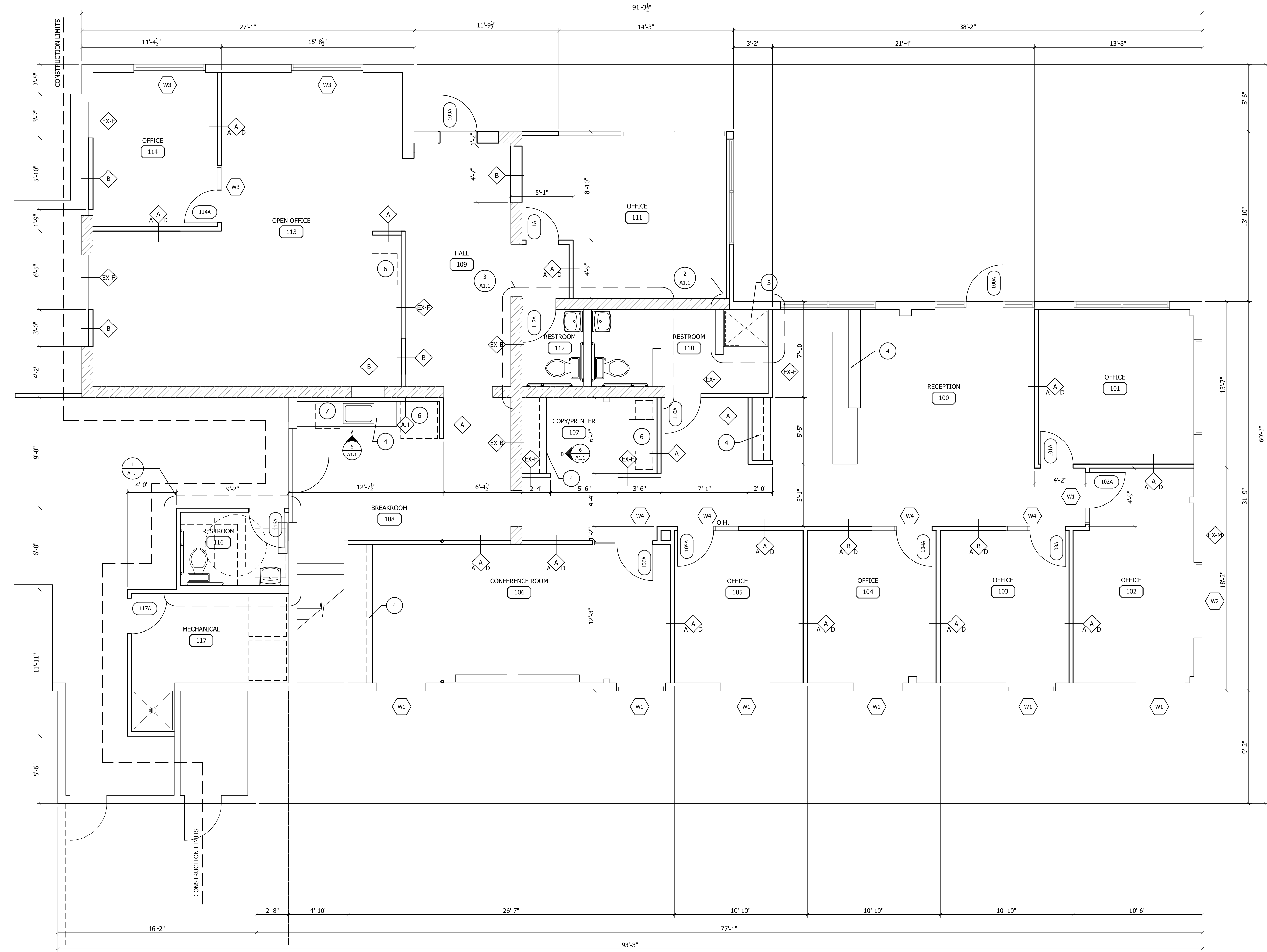
- 1 DEMOLISH EXISTING GLAZING AND FRAME
- 2 DEMOLISH EXISTING SLAB
- 3 DEMOLISH EXISTING DOOR, FRAME AND HARDWARE
- 4 DEMOLISH EXISTING WALL
- 5 DEMOLISH EXISTING FLOORING, AND PREPARE THE NEW SLAB TO RECEIVE THE NEW FINISHES
- 6 DEMOLISH EXISTING CEILING AND SUPPORTS, ATTACHMENTS, SUSPENSION CABLES AND FASTENERS
- 7 EXISTING PLUMBING FIXTURES TO REMAIN
- 8 EXISTING GLAZING AND FRAME TO REMAIN
- 9 EXISTING STAIRS TO REMAIN
- 10 EXISTING WALL TO REMAIN
- 11 EXISTING EXISTING DOOR, FRAME AND HARDWARE TO REMAIN
- 12 EXISTING BRICK WALL
- 13 EXISTING COLUMN
- 14 EXISTING ROOF CANOPY ABOVE TO REMAIN
- 15 EXISTING FENCE TO REMAIN
- 16 EXISTING TELEPHONE BACKBOARD / SYSTEM TO BE RELOCATED
- 17 DEMOLISH EXISTING MILLWORK
- 18 DEMOLISH EXISTING PLUMBING
- 19 EXISTING DATA CABINET TO BE RELOCATED
- 20 EXISTING ELECTRICAL PANEL



KEY PLAN

SCALE: NOT TO SCALE

DATE				
REVISIONS				
NO.				



FLOOR PLAN - LEVEL 1
SCALE: 1/4"=1'-0"

KEYNOTES

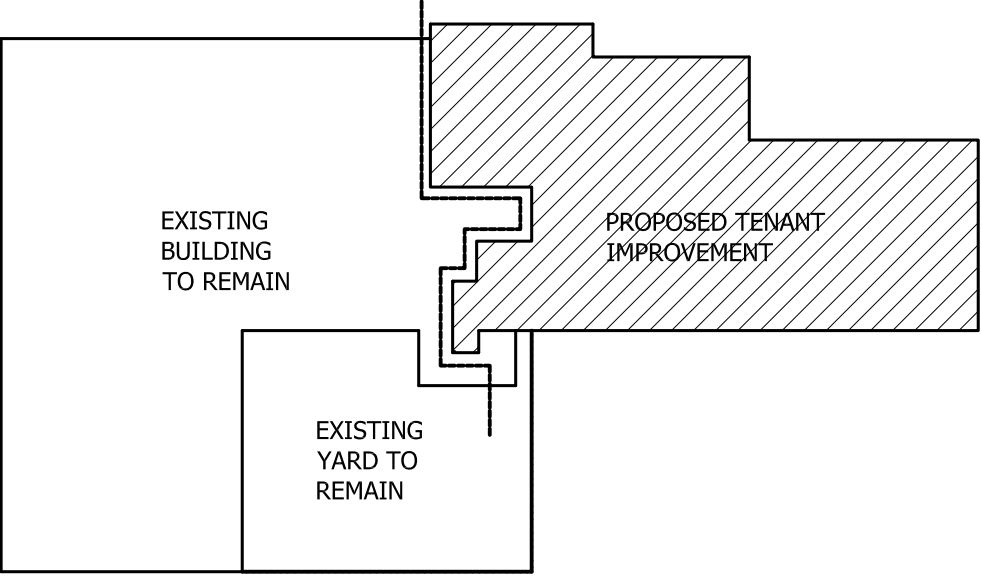
- 1 NEW MOP SINK
- 2 NEW MECHANICAL EQUIPMENT
- 3 NEW SHOWER
- 4 NEW MILLWORK
- 5 NEW SINK
- 6 NEW EQUIPMENT, OWNER FURNISHED OWNER INSTALLED
- 7 NEW DISHWASHER, OWNER FURNISHED OWNER INSTALLED

WALL TYPES

WALL HEIGHT :
UNLESS NOTED OTHERWISE ALL WALLS ARE TO BE
0'-6" ABOVE HIGHEST ADJACENT CEILING
D = WALL TO DECK, ABOVE

INSULATION TYPE :
A = ACOUSTICAL BATT INSULATION

- EX-B EXISTING BRICK WALL TO REMAIN
- EX-F EXISTING FRAMED WALL TO REMAIN
- EX-M EXISTING METAL BUILDING WALL TO REMAIN
- A NEW 3-5/8" x 20 GAUGE STUDS AT 1'-4" ON CENTER WITH 5/8" GYPSUM BOARD, BOTH SIDES
- A.1 NEW 3-5/8" x 20 GAUGE STUDS AT 1'-4" ON CENTER WITH 5/8" GYPSUM BOARD, ONE SIDE
- B NEW INFILL FRAMING 3-5/8" x 20 GAUGE STUDS AT 1'-4" ON CENTER, AS REQUIRED, WITH 5/8" GYPSUM BOARD, BOTH SIDES, MATCH EXISTING WALL HEIGHT, OPENING HEIGHT AND SILL HEIGHT



KEY PLAN

SCALE: NOT TO SCALE

LICENSED ARCHITECT
AR-884724
06.30.2015
JEFFREY R. LUKES
STATE OF IDAHO

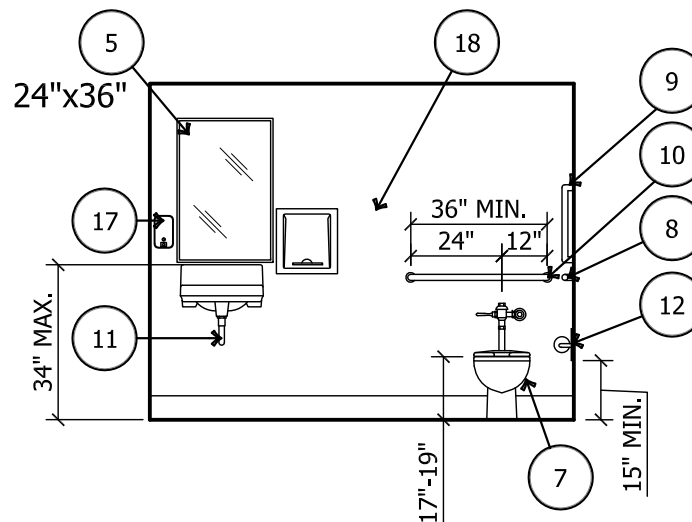
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collaborative
architecture
1119 E. State Street, Suite 120 • Eagle, ID 83616
208.514.2713

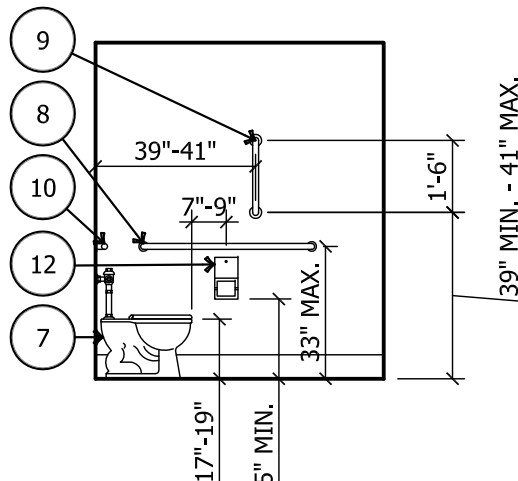
CLEARVIEW CLEANING
TENANT IMPROVEMENT

DRAWN BY: --
CHECKED BY: JRL
JOB # 15075
DATE: 06.29.15

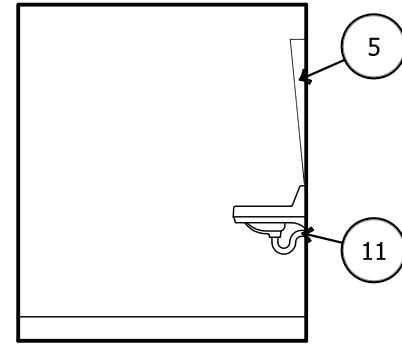
CONSTRUCTION DRAWINGS



C



D

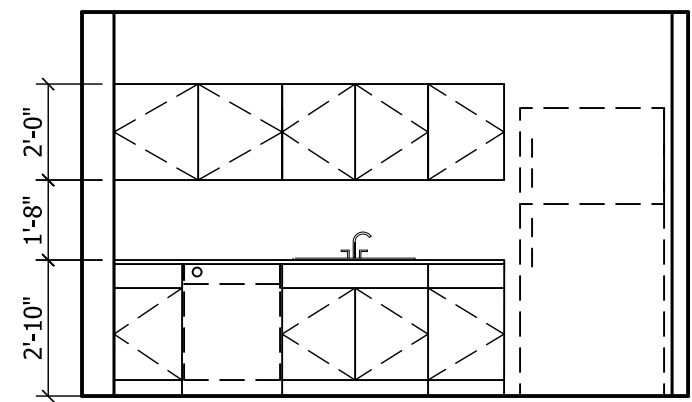


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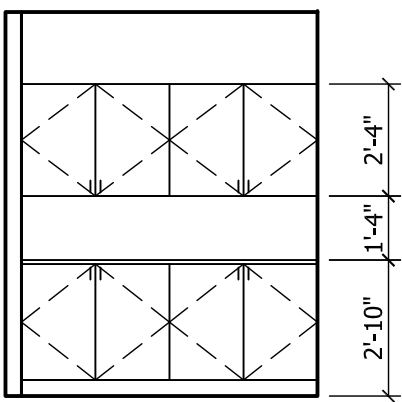
INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

4



A



D

INTERIOR ELEVATION

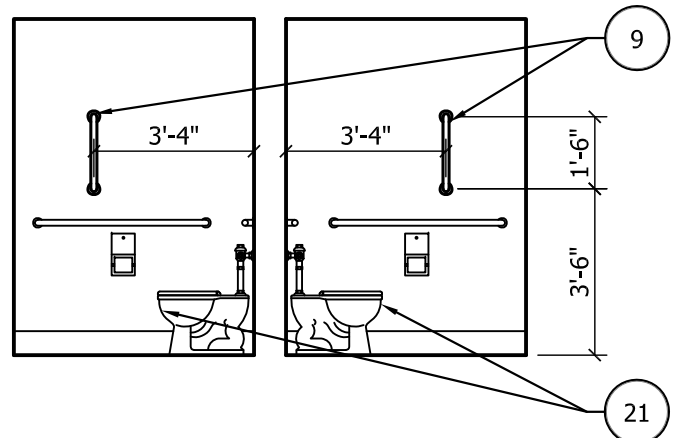
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INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

6

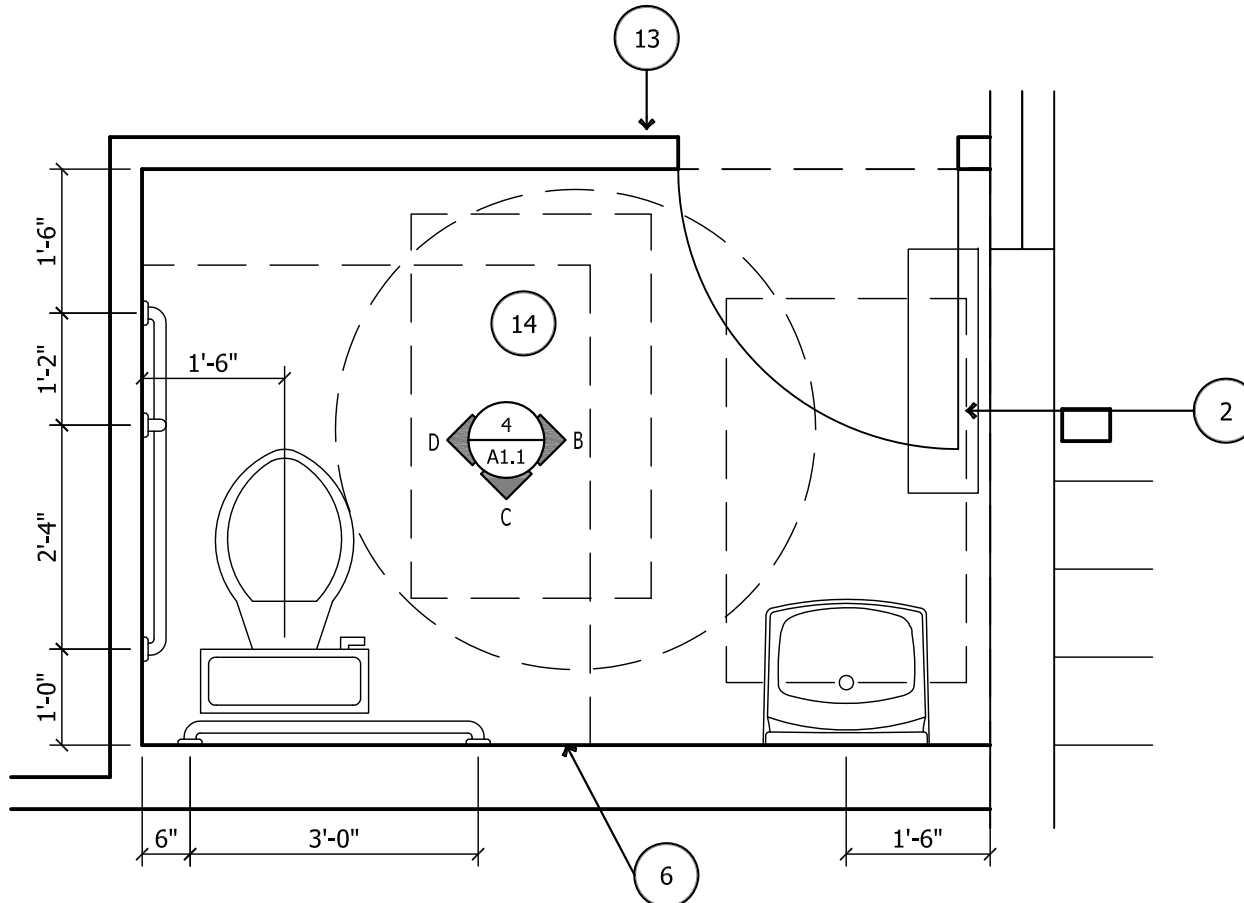


C

INTERIOR ELEVATION

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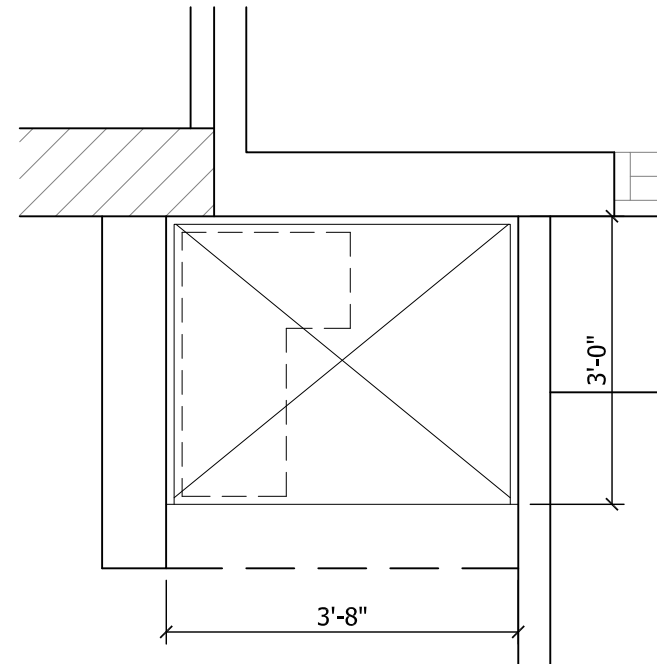
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ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-0"

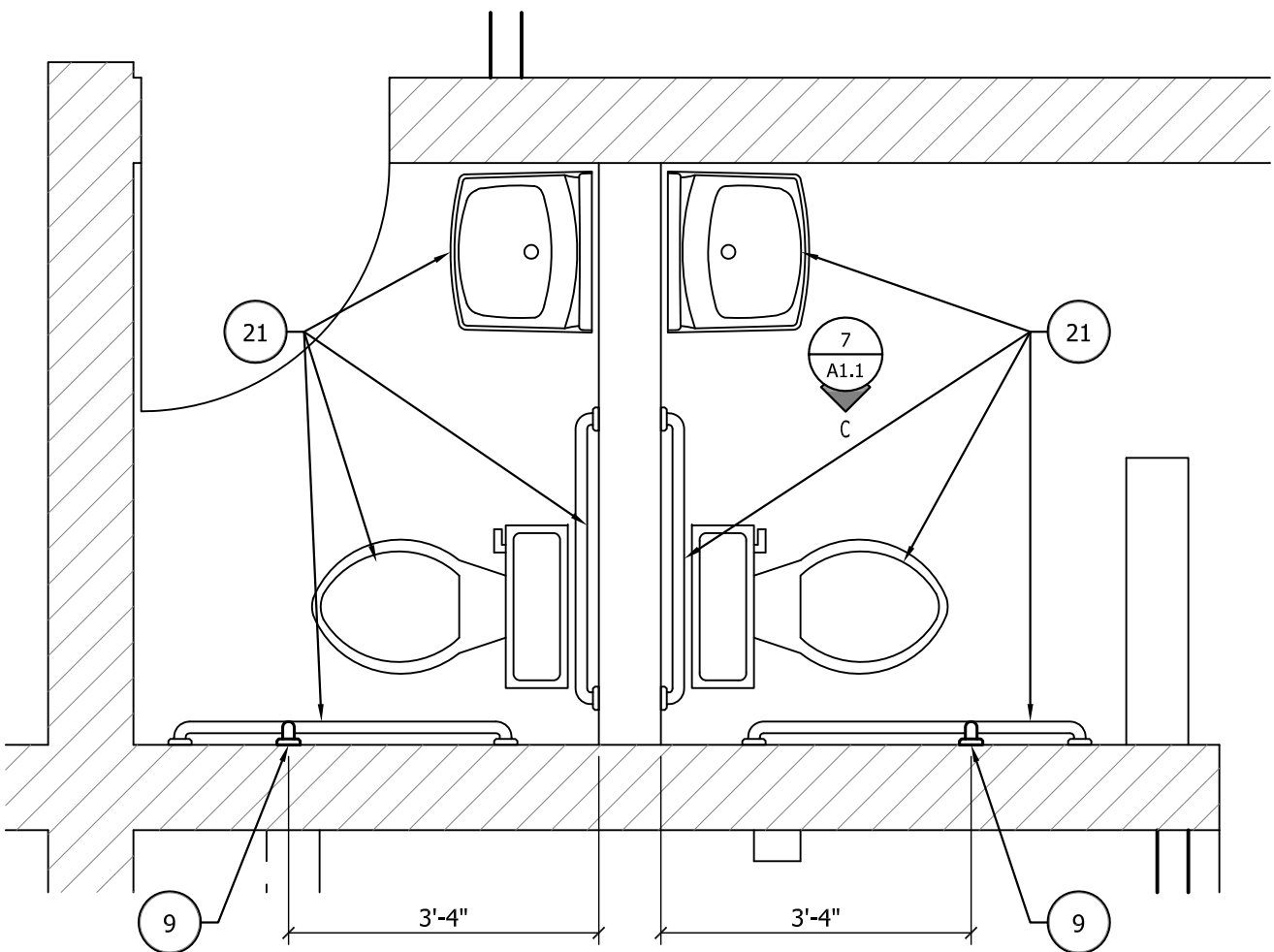
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ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-0"

2



ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-0"

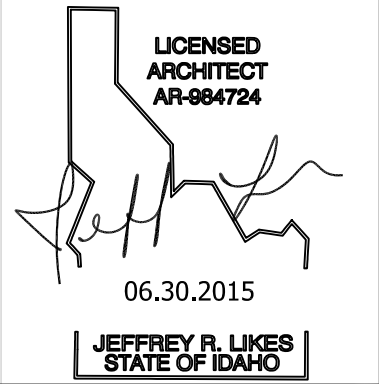
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KEYNOTES

RESTROOM KEY NOTES (2012 IBC ICC A117.1-2009)

- 60" MINIMUM DIAMETER TURNING SPACE PER ICC A117.1-2009 SECTION 304.3.1.
- 30" X 48" CLEAR FLOOR SPACE AT LAVATORY AS REQUIRED PER ICC A117.1-2009 SECTION 305.3
- KNEE & TOE CLEARANCES SHALL COMPLY WITH ICC A117.1-2009 SECTION 306.2. & 306.3.
- PRE-MANUFACTURED 60"x35" ADA ROLL-IN SHOWER w/ SEAT PER ICC A117.1-2009 SECTION 608.3.2 w/ SHOWER CURTAIN.
- MIRROR: MIRRORS LOCATED ABOVE LAVATORIES, SINKS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX. ABOVE THE FLOOR PER ICC A117.1-2009 SECTION 603.3.
- 60" X 56" MINIMUM CLEAR FLOOR SPACE AT WATER CLOSET AS REQUIRED PER ICC A117.1-2009 SECTION 604.3.1.
- TOP OF WATER CLOSET: THE HEIGHT OF WATER CLOSET SEATS SHALL BE 17" MIN. TO 19" MAX. ABOVE FINISHED FLOOR PER ICC A117.1-2009 SECTION 604.4.
- SIDE WALL GRAB BAR: 36" X 1 1/4" MIN. - 2" MAX. OUTSIDE DIAMETER GRAB BAR PER ICC A117.1-2009 SECTION 604.5.1, 609.2. PROVIDE SOLID BLOCKING IN WALL.
- VERTICAL SIDE WALL GRAB BAR: 18" MIN. X 1 1/4" MIN. - 2" MAX. OUTSIDE DIAMETER GRAB BAR PER ICC A117.1-2009 SECTION 604.5.1, 609.2. PROVIDE SOLID BLOCKING IN WALL.
- REAR WALL GRAB BAR: 42" X 1 1/4" MIN. - 2" MAX. OUTSIDE DIAMETER GRAB BAR PER ICC A117.1-2009 SECTION 604.5.2, 609.2. PROVIDE SOLID BLOCKING IN WALL.
- EXPOSED PIPES & SURFACES: WATER SUPPLY & DRAINPIPS UNDER LAVATORIES & SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT PER ICC A117.1-2009 SECTION 606.6.
- TOILET PAPER DISPENSERS: INSTALL BETWEEN 7" MIN. & 9" MAX. IN FRONT OF THE WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER. THE OUTLET OF THE DISPENSER SHALL BE 15" MIN. & 48" MAX. ABOVE THE FLOOR, & SHALL NOT BE LOCATED BEHIND THE GRAB BARS PER ICC A117.1-2009 604.7, 309.4.
- ACCESSIBILITY SIGNAGE PER ICC A117.1-2009 SECTION 703 SHALL BE MOUNTED 48" MIN. TO 60" MAX. FROM THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE CHARACTERS, & MOUNTED ON THE LATCH SIDE OF THE DOOR.
- FLOOR SHALL BE A SLIP RESISTANT, HARD, NONABSORBENT SURFACE PER 2009 IBC SECTION 1210.1.
- WALL BASE: THE BASE OF WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALL AT LEAST 6" PER 2009 IBC SECTION 1210.1.
- WALLS & PARTITIONS WITHIN 2'-0" OF URINALS & WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF 4'-0" ABOVE THE FLOOR PER THE 2009 IBC SECTION 1210.2.
- SOAP DISPENSER.
- HAND DRYER.
- 3602GXL "INVACARE THERAPURE" SIDE ENTRY WHIRLPOOL TUB.
- 48"x40" SHOWER INSERT w/ SHOWER CURTAIN.
- EXISTING RESTROOM FIXTURES TO REMAIN

*NOTE: NOT ALL KEYNOTES ARE USED IN THIS PROJECT.

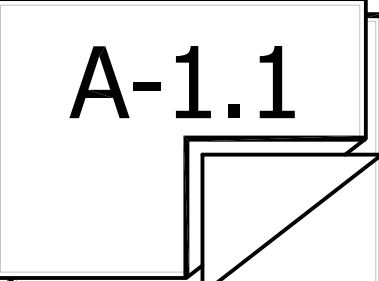


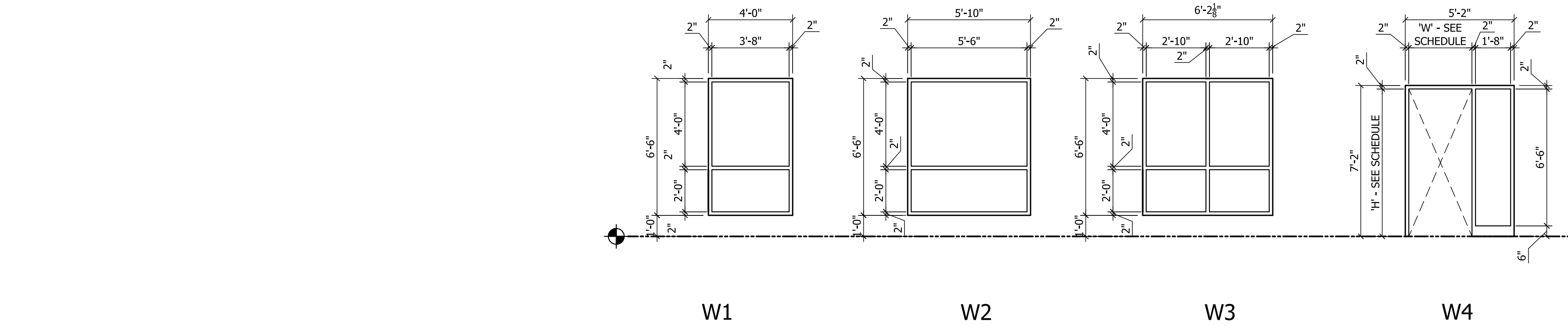
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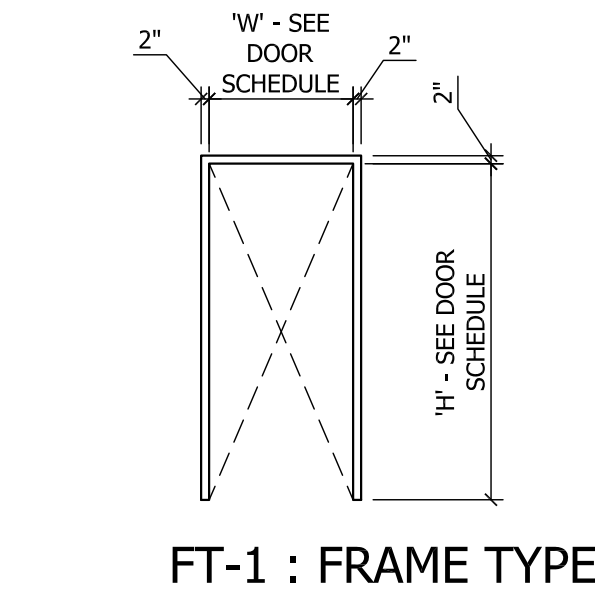
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JOB # 15075
DATE: 06.29.15

CONSTRUCTION DRAWINGS

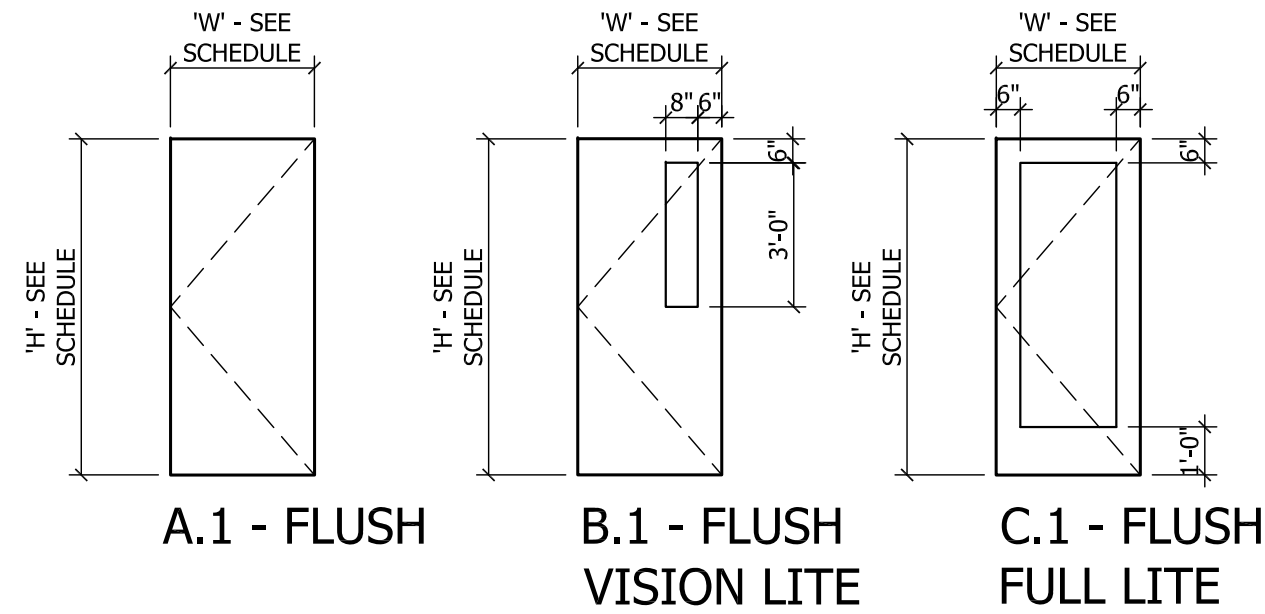




DOOR/WINDOW TYPES
SCALE: 1/4" = 1'-0"



FRAME TYPES
SCALE: NOT TO SCALE



DOOR PANEL TYPES
SCALE: NOT TO SCALE

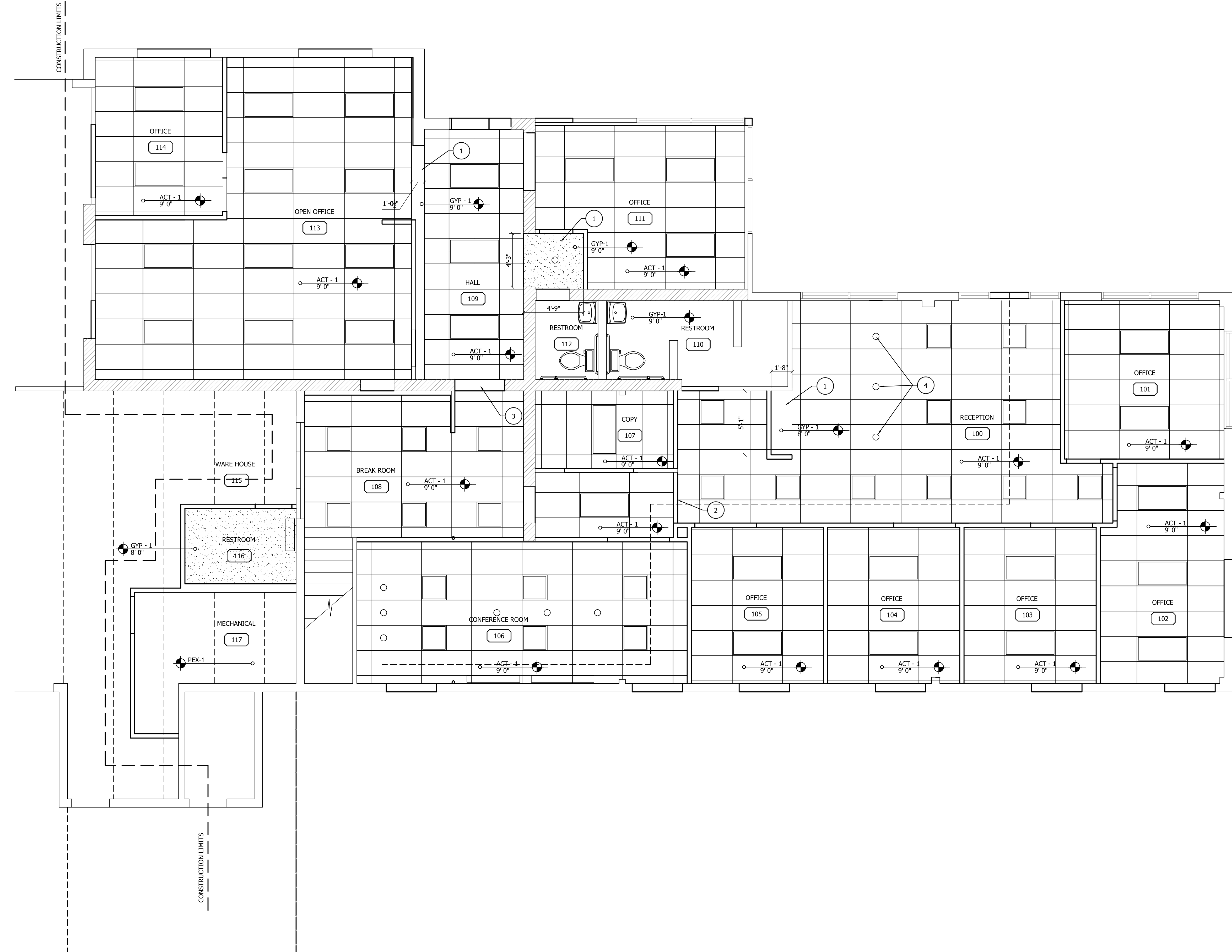
DOOR SCHEDULE																
DOOR MARK	DOOR							FRAME					DOOR & FRAME RATING & LABEL	HARDWARE GROUP	SIGNAGE	REMARKS
	SIZE			PANEL				TYPE	MATERIAL	FINISH	HEAD	JAMB SIMILAR TO HEAD				
	WIDTH - 'W'	HEIGHT - 'H'	THICKNESS - 'T'	TYPE	MATERIAL	FACING/FINISH	GLASS									
100A	3'-0"	7'-0"	1 3/4"	C.1	AL	CLR	Y	-	ALUM	AL	-	-	-	1	-	3
101A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	FT-1	ALUM	AL	-	-	-	2	-	
102A	3'-0"	7'-0"	1 3/4"	A.1	WD	HPL	-	-	ALUM	AL	-	-	-	2	-	1
103A	3'-0"	7'-0"	1-3/4"	A.1	WD	HPL	-	-	ALUM	AL	-	-	-	2	-	1
104A	3'-0"	7'-0"	1-3/4"	A.1	WD	HPL	-	-	ALUM	AL	-	-	-	2	-	1
105A	3'-0"	7'-0"	1-3/4"	A.1	WD	HPL	-	-	ALUM	AL	-	-	-	2	-	1
106A	3'-0"	7'-0"	1-3/4"	A.1	WD	HPL	-	-	ALUM	AL	-	-	-	2	-	1
109A	3'-0"	7'-0"	1-3/4"	C.1	AL	CLR	Y	FT-1	ALUM	AL	-	-	-	5	-	
110A	3'-0"	7'-0"	1-3/4"	A.1	WD	HPL	-	FT-1	ALUM	AL	-	-	-	3	-	
111A	3'-0"	7'-0"	1-3/4"	B.1	WD	HPL	Y	FT-1	ALUM	AL	-	-	-	4	-	
112A	3'-0"	7'-0"	1-3/4"	A.1	WD	HPL	-	FT-1	ALUM	AL	-	-	-	3	-	
114A	3'-0"	7'-0"	1-3/4"	A.1	WD	HPL	-	FT-1	ALUM	AL	-	-	-	2	-	
116A	3'-0"	7'-0"	1-3/4"	A.1	WD	HPL	-	FT-1	HM	P&P	-	-	-	3	-	
117A	3'-0"	7'-0"	1-3/4"	A.1	WD	HPL	-	FT-1	HM	P&P	-	-	-	2	-	

ABBREVIATIONS	REMARKS
T=1/4" TEMPERED CLEAR PLATE GLASS, HM= HOLLOW METAL CLR = CLEAR P&P= PRIME AND PAINT AL= ALUMINUM PC= POLYMER CORE WD: SOLID CORE WOOD FF: FACTORY FINISH HPL: HIGH PRESSURE LAMINATE	1. SEE WINDOW TYPES FOR FRAME INFORMATION 2. SIGNAGE TO READ: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS". 3. CONTRACTOR TO MEASURE AND VERIFY EXISTING OPENING.

DOOR HARDWARE			
SET #1 1 - CONTINUOUS HINGE 1 - HANDLE 1 - EXIT DEVICE 1 - MORTISE LOCKSET 1 - THRESHOLD 1 - CLOSER 1 - GLASS KIT WEATHERSTRIP MODIFY AND PREP EXISTING FRAME, REPLACE AS REQUIRED	SET #2 3 - HINGES 2 - HANDLES 1 - OFFICE LOCK 1 - STOP SILENCERS SET #3 3 - HINGES 2 - HANDLES 1 - PRIVACY LOCK 1 - CLOSER SILENCERS	SET #4 3 - HINGES 2 - HANDLES 1 - OFFICE LOCK 1 - STOP 1 - GLASS KIT SILENCERS	SET #5 1 - CONTINUOUS HINGE 1 - HANDLE 1 - EXIT DEVICE 1 - MORTISE LOCKSET 1 - THRESHOLD 1 - CLOSER 1 - GLASS KIT WEATHERSTRIP

DOOR NOTES	
A. DOOR HANDLES, PULLS, LATCHES AND LOCKS AND OTHER OPERATING DEVICES SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE PER 2012 IBC SECTION 1008.1.9.1.	J. ALL GLAZING IN HAZARDOUS LOCATIONS ARE REQUIRED TO BE SAFETY GLAZING MATERIALS WHERE GLAZING IS LOCATED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION. GLAZING IN A INDIVIDUAL FIXED OR OPERABLE PANEL WHOSE EXPOSED AREA OF INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET AND THE EXPOSED BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR AND THE EXPOSED TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FINISHED FLOOR. PER 2012 IBC SECTION 2406.4.
B. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR PER 2012 IBC SECTION 1008.1.9.2.	K. ALL METAL DOOR FRAMES TO BE PROVIDED WITH SILENCERS.
C. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED UNLESS STATED SPECIFICALLY BY THE EXCEPTIONS LISTED IN 2012 IBC SECTION 1008.1.9.4.	L. ALL DOOR HARDWARE IS TO BE COMMERCIAL GRADE AND QUALITY.
D. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION PER 2012 IBC 1008.1.9.5.	M. ALL GLAZING AND DOOR SYSTEMS ARE TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO ORDERING. SUBMIT SAMPLES FOR SELECTION AND APPROVAL.
E. THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOOR, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS PER 2012 IBC SECTION 1008.1.3.	N. FIELD VERIFY ALL WINDOW / DOORS OPENING DIMENSIONS.
F. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR, AND SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. PER 2012 IBC SECTION 1008.1.5.	O. MINIMUM GLASS THICKNESS TO BE 3/4".
G. LOCKS AND LATCHES SHALL BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED, A SIGN POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". THE SIGN SHALL BE IN 1 INCH HIGH LETTERS AND ON A CONTRASTING BACKGROUND. PER 2012 IBC SECTION 1008.1.9.3.	P. ALL DOORS SHALL COMPLY WITH 2012 IBC.
H. THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN TO 90 DEGREES. PER 2012 IBC SECTION 1008.1.1.	Q. THE PROVIDED HARDWARE SCHEDULE IS INTENDED TO COVER ALL DOORS AND REQUIRED HARDWARE AND ESTABLISH A TYPE AND STANDARD OF QUALITY. IT SHALL BE THE SPECIFIC DUTY OF THE HARDWARE SUPPLIER / CONTRACTOR TO EXAMINE THE PLANS AND SPECIFICATIONS AND FURNISH AND INSTALL ALL REQUIRED HARDWARE AND DOORS TO COMPLY TO ALL CURRENT CODES FOR ALL OPENINGS LISTED OR NOT.
I. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM. PER ICC/ANSI A117.1-2009.	R. PROVIDE ITEMS, ARTICLES, MATERIALS, OPERATIONS AND METHODS LISTED, MENTIONED OR SCHEDULED OR ON THE DRAWINGS. IN QUANTITIES AS REQUIRED TO COMPLETE PROJECT. PROVIDE HARDWARE THAT FUNCTIONS PROPERLY. PRIOR TO FURNISHING HARDWARE, ADVISE ARCHITECT OF ITEMS THAT WILL NOT OPERATE PROPERLY, ARE IMPROPER FOR CONDITIONS, OR WILL NOT REMAIN PERMANENTLY ANCHORED.

DATE				
REVISIONS				
NO.				



REFLECTED CEILING PLAN - LEVEL 1
SCALE: 1/4"=1'-0"

KEYNOTES

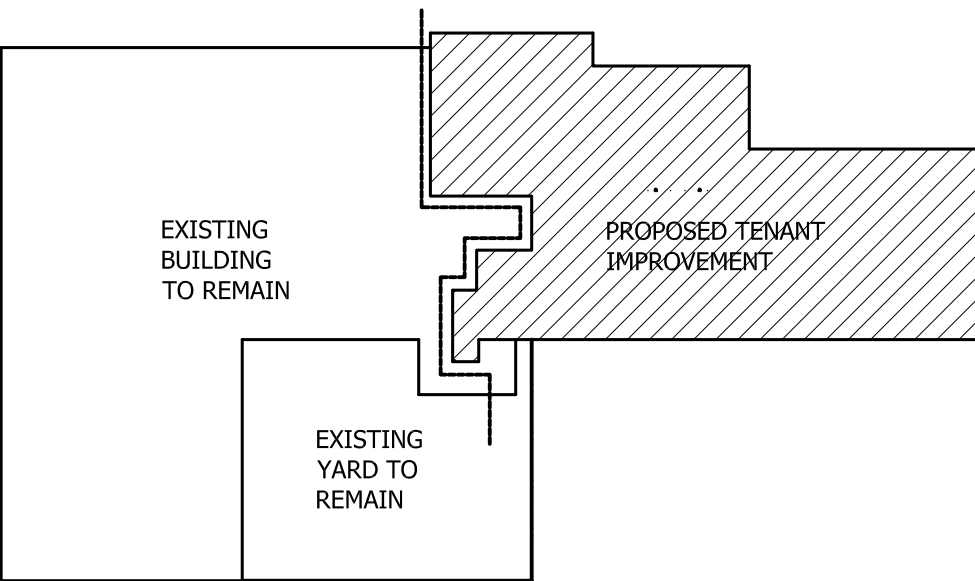
- 1 NEW FRAMED SOFFIT, PAINTED
- 2 NEW FRAMED HEADER, PAINTED
- 3 NEW HEADER, PAINT EXISTING BRICK ROUGH OPENING
- 4 SUSPENDED FIXTURES

CEILING TYPES

MARK	DESCRIPTION
ACT-1	ACOUSTICAL CEILING; 15/16" GRID WITH 2x4 ACOUSTICAL CEILING TILE
GYP-1	GYPSUM BOARD, PAINTED
PEX-1	PAINTED EXPOSED, ABOVE

CEILING LEGEND

- SUPPLY DIFFUSER
- RETURN VENT
- RETURN VENT
- LIGHTING



KEY PLAN

SCALE: NOT TO SCALE

LICENSED ARCHITECT
AR-884724
06.30.2015
JEFFREY R. LUKES
STATE OF IDAHO

DATE	REVISIONS	NO.

collaborative
architecture
1119 E. State Street, Suite 120 - Eagle, ID 83616
208.514.2713

CLEARVIEW CLEANING
TENANT IMPROVEMENT

DRAWN BY: --
CHECKED BY: JRL
JOB # 15075
DATE: 06.29.15
CONSTRUCTION DRAWINGS

A-3







CUSTOMER CARE CENTER





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PARKING
ONLY
ALL OTHERS WILL BE
TOWED AT OWNER'S
EXPENSE
NOT TOWING
2024-12-12







