



CONDITIONAL USE PERMIT

Permit info: CUPFY2025-0011

Application Date: 5/20/2025

Rec'd by: _____

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: JEFF LIKES	Name: TODD DEBOER
Company: ALC ARCHITECTURE	Company:
Address: 1119 E. STATE STREET. UNIT 120	Address: 411 46TH STREET
City: EAGLE	City: GARDEN CITY
State: ID Zip: 83616	State: ID Zip: 83714
Tel.: 208-514-2713	Tel.: 208-602-5535
E-mail: JEFF@ALCARCHITECTURE.COM	E-mail: TODDSNCI@GMAIL.COM

PROPERTY AND DESIGN INFORMATION: [VISIT ADA COUNTY ASSESSOR'S SITE](#)

Site Address: 411 46TH STREET

Subdivision Name: FAIRVIEW ACRES	Lot: 32	Block: 20
Tax Parcel Number: R273452261	Zoning: R-3	Total Acres: 0.68
Proposed Use: STORAGE	Floodplain: YES NO	

Describe the proposed use: STORAGE SHED

Will you be making changes to the structure(s)? YES NO	
If no, will you be changing the occupancies as defined by the IBC? YES NO	
Check any that are applicable to this application: <i>*If any of the first three boxes are checked, a Design Review Application is required*</i>	I will build a new structure YES
	I will add 25% or more to the floor area of an existing building
	I will alter, replace rehabilitate or restore 25% or more of a store façade.

How is the use appropriate to the location, the lot, and the neighborhood, and is compatible with the uses permitted in the applicable zoning district?

RESIDENTIAL ACCESSORY STORAGE

Is the use supported by adequate public facilities or services such as water/sewer, schools, roads, parks, transit, fire protection and police protection?

NOT APPLICABLEW

How does the use affect the health, safety or welfare of the community?

NOT APPLICABLE

How does the use support the goals of the Comprehensive Plan?

NOT APPLICABLE

How far is the proposed use from a pedestrian/bicycle pathway?

122'

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

	04.30.25	<i>Todd deBoer</i>	04/30/2025
Signature of the Applicant	(date)	Signature of the Owner	(date)

APPLICATION INFORMATION REQUIRED

NOTE: AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- ☐ Compliance Statement and Statement of Intent
- ☐ Neighborhood Map
- ☐ - Fire Flow / Ability to Serve
- ☐ 11"x17" Site Plan
- ☐ Irrigation/Ditch Company Authorization Letter
- ☐ Landscape Plan
- ☐ Photos of Site
- ☐ Neighborhood Meeting Verification
- ☐ Affidavit of Legal Interest
- ☒ Waiver Request of Application Materials
- ☐ Structural Documentation

(if previous Certificate of Occupancy has been issued and no change to BC occupancy is anticipated)

**Additional information may be required by staff such as a traffic/parking analysis, a use analysis or documents related specifically to a business.*

WAIVER REQUEST OF FIRE FLOW
AND ABILITY TO SERVE BASED ON
SHED NEEDING NO WATER OR
ELECTRICAL



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☐ Statement explaining how the proposed use(s) is compliant with the standards of review for the proposed application. Cite the ordinances the proposed use(s) is compliant with
- ☐ Should include purpose, scope, and intent of project
- ☐ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☐ 8 ½" x 11" size minimum
- ☐ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☐ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- ☐ Scale not less than 1" = 20', legend, and north arrow.
- ☐ Property boundary, dimensions, setbacks and parcel size.
- ☐ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☐ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☐ Adjacent public and private street right of way lines
- ☐ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations

- ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.

INFORMATION REQUIRED FOR IRRIGATION/DITCH AUTHORIZATION LETTER:

- ☐ Required if irrigation canal/irrigation ditch runs through property or along property lines

INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION:

- ☐ Copy of notice sent to property owners within 300' of an applicable property
- ☐ List of notice recipients with names and addresses
- ☐ Sign-up sheet from meeting

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☐ Statement must include a list of the application materials to be waived and an explanation for the request

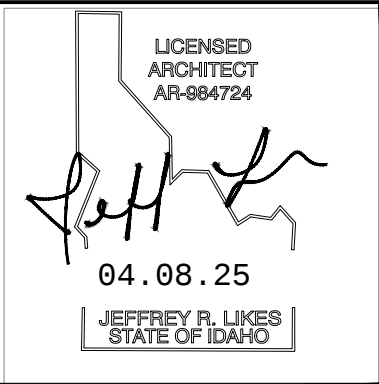
STRUCTURAL DOCUMENTATION (IF NO CHANGE TO STRUCTURE OR IBC OCCUPANCY):

- ☐ **Industrial treatment compliance: a statement answering the following questions:**
 - Do you or will you discharge wastewater other than domestic water from bathrooms to the City Sewer System? If yes, please describe.
 - Are floor drains present in your facility? If yes, are any chemicals stored on site in containers exceeding 1 gallon?
 - Do you or will you use fats, oils or greases in your business? If yes, do you have a grease trap/interceptor present
- ☐ **One set of detailed current floor plans legibly drawn on minimum 8 1/2 X 11 plan sheet drawn to 1/4"= 1' scale (with scale noted on plans) identifying:**
 - Use and square footage per room (i.e. office, storage, restroom, etc.)
 - Primary Occupancy Classification (2018 IBC sec 303-312)
 - Occupancy Load (2018 IBC Sec 1004, table 1004.5)
 - Interior and exterior wall and opening dimensions, windows, doors, roll-up doors
 - Electrical panels interior and exterior
 - Gas meter location
 - Fire extinguisher locations and size
 - Emergency lighting locations
 - Illuminated exit sign locations
 - Fire sprinkler riser location
 - Fire alarm panel location
 - Commercial cooking operation location, including size and type of hoods and grease traps
 - Spray finishing operation location
 - Flammable or combustible product locations
 - Welding operation locations
 - Rack storage locations

Disclaimer Clause: X Denotes application information that may be waived depending on the nature of the request" found under table 8-6a-2 "required application information."

411 46th STREET SHED

411 46TH STREET. GARDEN CITY, IDAHO. 83714



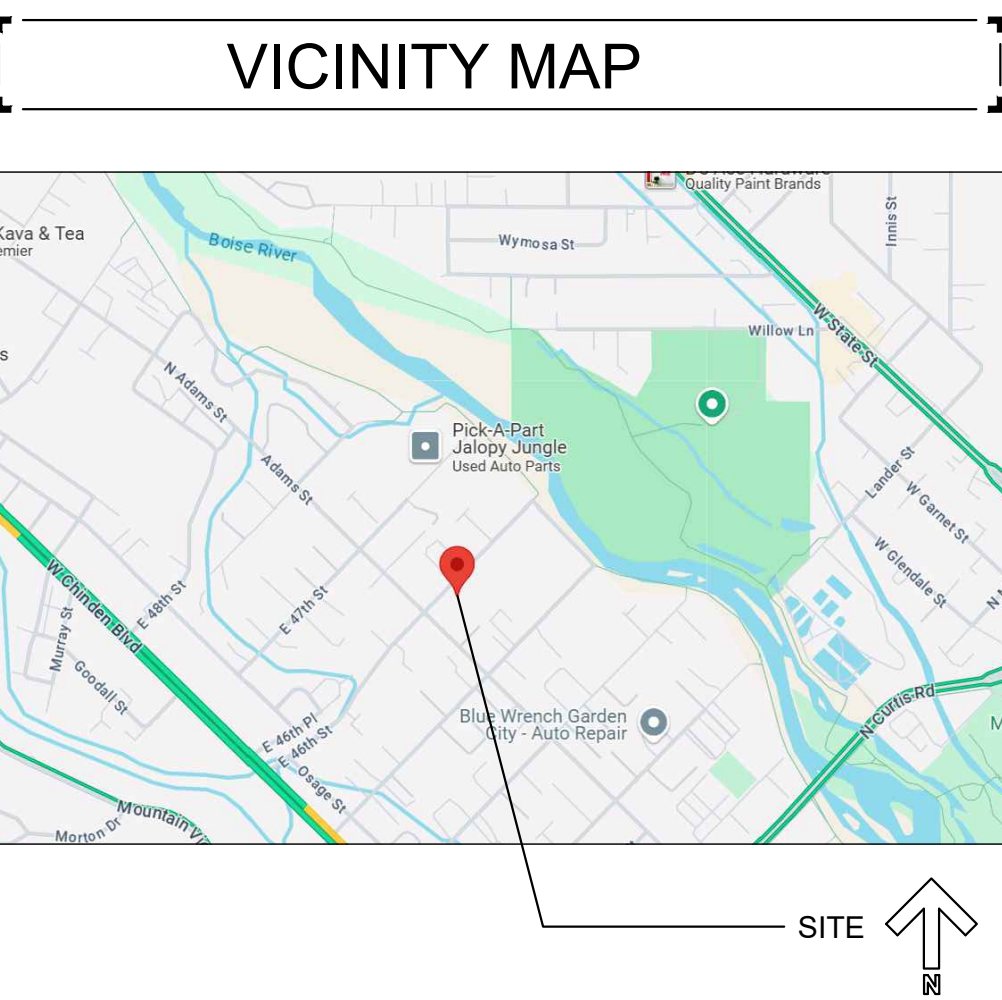
KEYNOTES	
3.	CONCRETE
3.1.	REINFORCED CONCRETE FLOOR SLAB OVER BLOTTER COURSE OVER OVER CHOKER COURSE, GRANULAR BASE AND COMPACTED SUBGRADE. SEE STRUCTURAL FOR MORE CONCRETE FLOOR SLAB INFORMATON. CONTROL JOINTS AT 6'-0" O.C. AND EXPANSION JOINTS AT 20'-0" O.C. MAX. WITH LIGHT BROOM FINISH, SLOPE FOR POSITIVE DRAINAGE AWAY FROM BUILDING
3.2.	FOOTING/ FOUNDATION, SIZE AND REINFORCING PER STRUCTURAL PLANS AND DETAILS.
5.	METALS
5.1.	METAL ROOF FLASHING
5.2.	DRIP FLASHING AT METAL SIDING TERMINATION.
5.3.	J MOLD PROFILE AT METAL SIDING TERMINATION.
5.4.	SHEET METAL FINISH WRAP AT OVERHEAD DOOR FRAME OPENING
5.5.	SHEET METAL FINISH FASCIA WRAP AT ROOF PERIMETER FRAMING.
5.6.	METAL ROOF FRAMING STUDS PER STRUCTURAL
5.7.	6" COLD FORMED STEEL STUD WALL FRAMING PER STRUCTURAL
5.8.	METAL STUD CHANNEL TRACK
5.9.	ANCHOR BOLTING PER STRUCTURAL PLANS
5.10.	CONTINUOUS METAL CHANNEL AT ROOFING ATTACHEMENT LOCATIONS PER STRUCTURAL.
6.	WOOD, PLASTICS AND COMPOSITES
6.1.	ZIP SYSTEM WALL SHEATHING (SEE STRUCTURAL).
7.	THERMAL AND MOISTURE PROTECTION
7.1.	DOWNSPOUT LOCATION. DOWNSPOUTS SHALL BE MIN. .032" THICKNESS FORMED AND COATED ALUMINUM.
7.2.	RAIN RUNOFF GUTTER
8.	OPENINGS
8.1.	HEAD/SILL FLASHING TO MATCH FRAME FINISH.
8.2.	EXTERIOR OVERHEAD SECTIONAL DOOR. 12' WIDE X 14' H. DOOR MANUFACTURER AND STYLE TO BE SELECTED BY OWNER. SEE DOOR SCHEDULE.
9.	FINISHES
9.1.	METAL SIDING. INSTALL PER MFR. RECOMMENDATIONS AND REQUIREMENTS. STYLE AND COLOR TO BE SELECTED BY OWNER
9.2.	METAL ROOFING. INSTALL PER MFR. RECOMMENDATIONS AND REQUIREMENTS. STYLE AND COLOR TO BE SELECTED BY OWNER.
9.3.	CLEAR ACRYLIS CORRUGATED ROOFING PANEL. INSTALL PER MFR. RECOMMENDATIONS AND REQUIREMENT.
32.	SITE WORK
32.1.	PROPERTY LINE
32.2.	GRADE ADCACENT TO NEW STRUCTURE TO SLOPE AWAY FROM STRUCTURE.

APPLICABLE BUILDING CODES	
2018	INTERNATIONAL BUILDING CODE
2018	INTERNATIONAL EXISTING BUILDING CODE
2018	INTERNATIONAL MECHANICAL CODE
2018	INTERNATIONAL ENERGY CONSERVATION CODE
2017	IDAHO STATE PLUMBING CODE
2023	NATIONAL ELECTRICAL CODE
2018	INTERNATIONAL FIRE CODE

SYMBOL LEGEND	
XXX XXX	ROOM NUMBER
XX XXX	ELEVATION/DATUM MARK
XXX	FINISHES CALLOUT
A1 D	WALL TYPE TAG WALL HEIGHT INSULATION TYPE
XXX XXX	EQUIPMENT / FURNITURE TAG CASEWORK DESIGN SERIES TYPE
XXX-1 X-X"	CEILING TAG CEILING TYPE CEILING HEIGHT
#	DOOR NUMBER
#	KEYNOTE (DIVISION KEYNOTE NUMBER)
#	WINDOW TYPE TAG GLAZING TYPE TAG REVISION NUMBER
1 A2.1	INTERIOR ELEVATION REFERENCE (SEE DETAIL 1A ON SHEET A1.1)
1 A2.1	WALL SECTION REFERENCE (SEE WALL SECTION 1 ON SHEET A1.1)
1 A2.1	BUILDING SECTION REFERENCE (SEE BUILDING SECTION 1 ON SHEET A1.1)
1 A2.1	DETAIL REFERENCE (SEE DETAIL 1 ON A1.1)

PROJECT TEAM	
ARCHITECT ALC ARCHITECTURE 1119 EAST STATE STREET, #120 EAGLE, IDAHO 83616 PH: (208) 514.2713 CONTACT: JEFF LIKES EMAIL: JEFF@ALCARCHITECTURE.COM	STRUCTURAL ENGINEER KORE 4 ENGINEERING 2295 N. YELLOWSTONE HWY UNIT 6 IDAHO FALLS, ID. 83401 PH: 208-840-5673 EMAIL: CODYB@KORE-4.COM

SITE ANALYSIS	
ADDRESS:	411 46TH STREET GARDEN CITY, ID. 83714
ASSESSORS PARCEL NUMBER :	R2734522621
LEGAL DESCRIPTION :	LOT 32 BLK 20 FAIRVIEW ACRES SUB NO 03
TOWNSHIP/RANGE/SECTION:	3N2E05
ZONE :	R-3
LOT AREA :	ACRES = 0.68 ACRES
BUILDING AREA:	1,379 SQUARE FEET
STORIES:	1 STORY
BUILDING HEIGHT:	17'-6"
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERS:	NO
FIRE ALARM:	NO



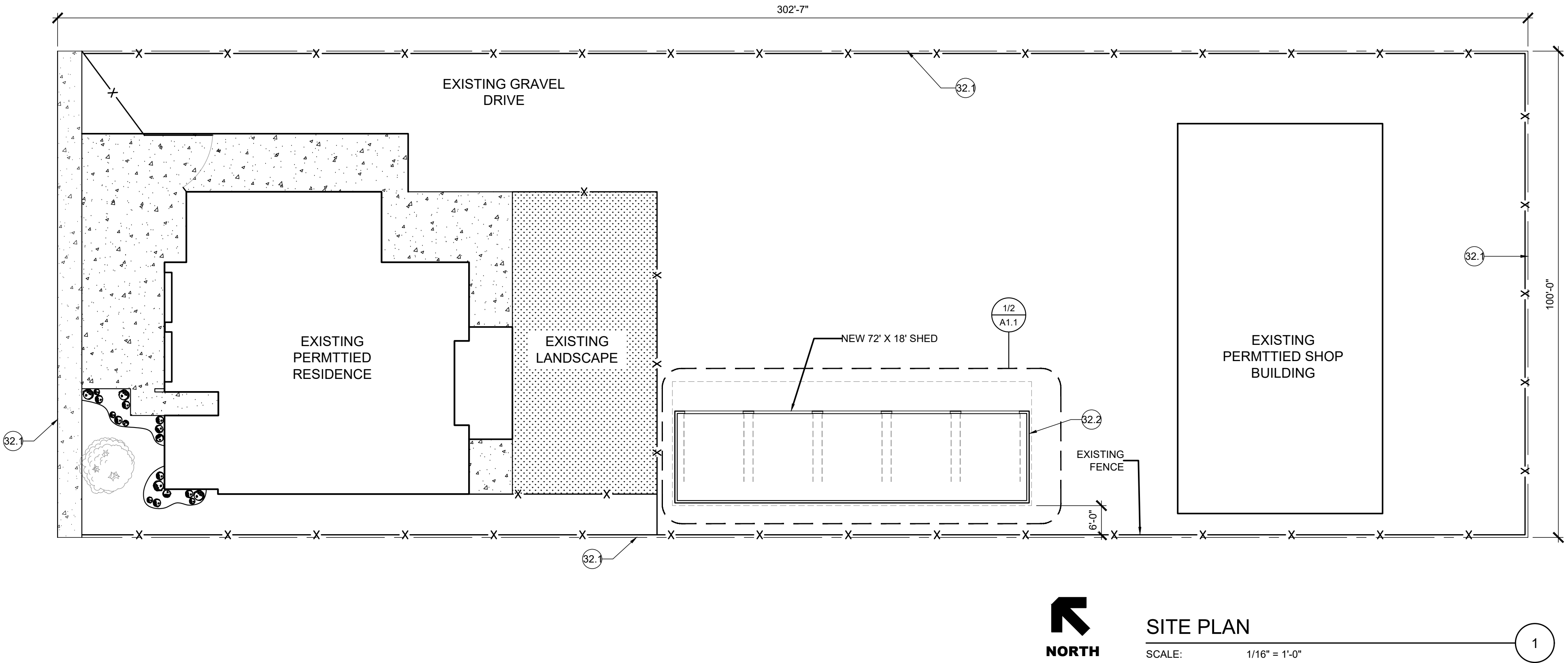
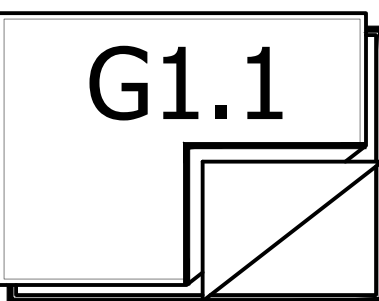
SHEET INDEX	
GENERAL:	
G1.1	ARCHITECTURAL COVER SHEET, CODE ANALYSIS AND SITE PLAN
G1.5	GENERAL NOTES
STRUCTURAL :	XX
ARCHITECTURAL :	
A1.1	FLOOR PLAND & ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A5.1	SECTIONS AND DETAILS

DATE					
REVISIONS					
NO.					



PROJECT FOR:	411 46TH ST. SHED	BOISE, ID. 83714
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DRAWN BY:	CS
CHECKED BY:	JL
JOB #	24159
DATE:	03.14.25
COVER SHEET	



GENERAL DOORS & WINDOWS

- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITH THE USE OF A KEY OR ANY
- SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN ENTRANCE IN THERE IS A READILY VISIBLE DURABLE SIGN ON OR ADJACENT THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED". DOOR OPERATING DEVICES SHALL BE LEVER OPERATED, PUSH-TYPE OR U-SHAPED
 - HANDLES. THE BOTTOM 12" OF ALL DOORS SHALL BE PROVIDED WITH A SMOOTH SURFACE TO
 - ALLOW THE DOOR TO BE OPENED WITH A WHEELCHAIR FOOTREST.
 - DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32 INCHES WITH THE DOOR OPEN 90 DEGREES. MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP. MANEUVERING CLEARANCES AT DOORS, MINIMUM MANEUVERING CLEARANCES AT
 - DOORS THAT ARE NOT AUTOMATIC OR POWER ASSISTED SHALL BE AS SHOWN. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR. UNLESS NOTED OTHERWISE DOOR CLEARANCES SHALL BE PER ADA AND SDI
 - STANDARDS. FOR RATED DOORS, DOOR CLEARANCES SHALL BE PER NFPA 80.

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS THAT ARE REQUIRED BEFORE AND DURING THE CONSTRUCTION PROCESS PRIOR TO THE COMMENCEMENT OF ANY WORK, AND SHALL BE REQUIRED TO CONTACT THE PROPER AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL CAREFULLY READ, STUDY, AND UNDERSTAND ALL PLANS AND SPECIFICATIONS FOR TRADES. COORDINATION BETWEEN TRADES WILL BE NECESSARY AND THE RESPONSIBILITY OF THE CONTRACTOR. ANY QUESTIONS THAT ARISE SHALL BE CLARIED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS, ETC., AT THE SITE AND WILL COORDINATE WORK PERFORMED BY ALL TRADES, PRIOR TO PROCEEDING WITH ALL WORK.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DISCREPANCIES ARE TO BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR WILL NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN ALL CASES, UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS WILL GOVERN.
- THE ARCHITECT'S APPROVAL MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO CHANGES IN DIMENSIONS, DESIGN, MATERIALS, PRODUCTS, AND FINISHES. IN NO CASE MAY THE CONTRACTOR MAKE THESE CHANGES WITHOUT THE APPROVAL OF THE ARCHITECT.
- SHOP DRAWINGS AND OTHER SUBMITTALS ARE TO BE PRESENTED TO THE ARCHITECT FOR REVIEW PRIOR TO EXECUTION OF WORK. ALLOW APPROPRIATE TIME FOR REVIEW. COORDINATE WITH ADDITIONAL GENERAL NOTES, ENERGY CONSERVATION NOTES, AND STRUCTURAL NOTES.
- ALL CONSTRUCTION SHALL CONFORM TO AND STRICTLY COMPLY WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, AND ALL AMENDMENTS ENFORCED BY THE AUTHORITIES HAVING JURISDICTION.
- IN NO EVENT SHALL THE CONTRACTOR SUBSTITUTE AN "INDUSTRY STANDARD" CONSTRUCTION DETAIL FOR A DETAIL SPECIFIED IN THESE DOCUMENTS. THE CONTRACTOR SHALL BRING ALL WORK INTO CONFORMITY WITH THE CONSTRUCTION DOCUMENTS, AS THE ARCHITECT ORDERS, BEFORE APPROVAL OF THAT CONSTRUCTION WILL BE GRANTED. NOTES AND DETAILS ON THE DRAWINGS WILL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- PROVIDE A CONTINUOUS BEAD OF POLYURETHANE SEALANT OR APPROPRIATE CAULKING MATERIAL AT ALL BETWEEN SIMILAR AND DISSIMILAR MATERIALS.
- REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL EQUIPMENT, PANEL LOCATIONS, WIRING DIAGRAMS, AND FIXTURE LOCATIONS. COORDINATE ANY RELATED WORK WITH GENERAL ELECTRICAL NOTES AND ELECTRICAL FIXTURE SCHEDULES.
- REFER TO MECHANICAL DRAWINGS FOR ALL MECHANICAL EQUIPMENT, DUCT WORK, MECHANICAL PIPING, AND EXHAUST. COORDINATE ANY RELATED WORK WITH GENERAL MECHANICAL NOTES, SCHEDULES, AND DETAILS.
- REFER TO PLUMBING DRAWINGS FOR ALL PLUMBING EQUIPMENT, FIXTURES, AND RELATED PIPING. I.E. STORM SEWER, SANITARY SEWER, AND DOMESTIC WATER SUPPLY. COORDINATE ANY RELATED WORK WITH GENERAL PLUMBING NOTES, SCHEDULES, AND DETAILS.
- CONTRACTOR AND ALL SUBCONTRACTORS WILL PERFORM THEIR TRADES AND DUTIES IN A MANNER CONFORMING TO THE PROCEDURES AND REQUIREMENTS AS STATED IN THE INTERNATIONAL BUILDING CODE (CODE ADOPTED AT TIME OF ISSUANCE OF PERMIT, (OR LATEST ACCEPTED CODE ADOPTED BY THE AUTHORITIES HAVING JURISDICTION), THE CONTRACTOR WILL COORDINATE ALL REQUIRED INSPECTIONS, INCLUDING INSPECTIONS BY THE OWNER, ARCHITECT (S) AND ENGINEERS. AND WILL NOT PROCEED WITH WORK UNTIL THE REQUIRED INSPECTIONS HAVE BEEN COMPLETED.
- ANY SPECIAL INSPECTION REQUIRED BY THE BUILDING OFFICIAL OR THE BUILDING CODE ARE NOT THE RESPONSIBILITY OF THE ARCHITECT.
- CONTRACTOR WILL BE RESPONSIBLE FOR SAFETY AND PROTECTION WITHIN AND ADJACENT TO THE PROJECT SITE.
- DURING CONSTRUCTION OPEN EXCAVATIONS AND TRENCHES WILL BE SUPPORTED AND BARRICADED BY CONTRACTOR TO CONFORM WITH OSHA SAFETY STANDARDS.
- TEMPORARY BRACING WILL BE PROVIDED WHEREVER NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING WIND, LATERAL, LIVE AND DEAD LOADS. SUCH BRACING WILL BE LEFT IN PLACE AS LONG AS MAY BE REQUIRED FOR SAFETY, OR UNTIL ALL THE STRUCTURAL ELEMENTS ARE COMPLETE.
- PROVIDE AN OBVIOUS SHUT-OFF VALVE IN READILY ACCESSIBLE LOCATION FOR ALL PLUMBING WATER AS REQUIRED, COORDINATE WITH PLUMBING, ANY AND ALL VALVES ARE NOT TO BE CONCEALED IN ANY CONSTRUCTION WITHOUT ACCESS PANELS. PROVIDE BACKFLOW PREVENTION DEVICES AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
- ACCESS PANELS ARE NOT TO BE LOCATED IN GYPSUM BOARD AREAS, AND ACCESS PANELS LOCATED IN WALLS ARE TO BE COORDINATED WITH THE RESPECTIVE WALL FINISHES AND ARE TO BE WHOLLY CONTAINED WITHIN THE ONE WALL FINISH AND BE PRE-FINISHED TO MATCH ADJACENT WALL FINISH.
- UNLESS NOTED OTHERWISE, FINISH GRADE TO SLOPE AWAY FROM STRUCTURE 5% MINIMUM WITHIN THE FIRST 10' AND 2%%% THERE AFTER. COORDINATE ACTUAL GRADING WITH CIVIL.
- ALL DIMENSIONS ARE TO FACE OF STUD (FOS) OR TO FACE OF FOUNDATION WALL (FOFNDN) OR TO FACE OF FINISH (FOF), UNLESS NOTED OTHERWISE.
- ALL WOOD IN CONTACT WITH CONCRETE, SHALL BE TREATED, ALL WOOD AT GRADE OR BELOW GRADE SHALL BE TREATED.
- COORDINATE WITH FRAMING PLANS FOR LOCATIONS OF COLUMNS, BEAMS, MOMENT FRAMES, ETC. PROVIDE ADDITIONAL FURRING OR FRAMING TO ALLOW FOR INSTALLATION OF NEW MATERIALS, ELEMENTS AND SYSTEMS.
- VISITS TO THE JOB SITE BY THE ARCHITECT OR HIS CONSULTANTS DO NOT CONSTITUTE APPROVAL OF THE WORK PERFORMED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS. ANY SUCH VISITS ARE SOLELY FOR THE PURPOSE OF OBSERVING THE WORK BEING PERFORMED.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT ALL PLUMBING FIXTURES UP TO 4'-0" FOR FULL LENGTH OF WALL WHICH PLUMBING FIXTURES ARE LOCATED, COORDINATE WITH PLUMBING.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR THE COORDINATION OF WORK AND FOR THE WORK PERFORMED BY THE SUBCONTRACTORS.
- MAINTAIN THE INTEGRITY OF ALL EXISTING BUILDING SYSTEMS, ASSEMBLIES, AND RATINGS. REPAIR ANY DAMAGE DONE TO SURROUNDING AREAS DURING CONSTRUCTION.
- ALL EXISTING CONDITIONS ARE NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL CAREFULLY EXAMINE THE EXISTING INSTALLATION AND ALL PROJECT DRAWINGS TO BECOME FAMILIAR WITH THE SCOPE OF WORK. NO ADDITIONAL CHARGES WILL BE ALLOWED DUE TO THE LACK OF PRE-BID SITE EXAMINATION. PROVIDE NOTIFICATION TO THE ARCHITECT AND OWNER OF ANY WORK WHICH NEEDS FURTHER CLARIFICATION OR MAY RESULT IN CHANGE TO THE PROPOSED WORK PRIOR TO COMMENCING CONSTRUCTION.
- DAMAGE OF COMBUSTIBLE RUBBISH CONTAINERS SHALL NOT BE CLOSER THAN 5 FEET OF COMBUSTIBLE CONSTRUCTION WALLS, ROOF OVERHANGS, WINDOWS, VENT OPENINGS AND UTILITIES.
- TYPICAL OR 'TYP' SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS THROUGHOUT THE CONSTRUCTION PROCESS.
- LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITIES AND USE AND CLEARANCE OF AVAILABLE ELEVATORS SHALL BE PROVIDED AND COORDINATED WITH THE OWNER.
- WORK AREAS SHALL REMAIN SECURE DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE, WHERE NECESSARY, TEMPORARY LOCKABLE DOORS TO PROVIDE THE TENANT CONSTANT ACCESS TO SPACES NOT UNDER CONSTRUCTION. CONTRACTOR SHALL PROVIDE TENANT WITH KEYS FOR TEMPORARY DOORS, IF REQUESTED.
- SIMILAR OR 'SIM' MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS ALL MATERIALS STORED ON SITE SHALL BE PROTECTED FROM WEATHER AND DETERIORATION. FAILURE TO PROTECT MATERIALS WILL BE CAUSE FOR REJECTION OF WORK.
- IN THE CASE OF CONFLICT BETWEEN NOTES ON DRAWINGS, INCLUDING ALL NOTES ON THIS SHEET, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. REQUEST CLARIFICATION FROM THE ARCHITECT IN ALL SUCH CASES.
- THE CONTRACTOR SHALL CLEAN ALL SPACES INCLUDING BUT NOT LIMITED TO WINDOWS, WINDOW COVERINGS, FLOORS, WALL, CASEWORK, AND OTHER SURFACES IMMEDIATELY PRIOR TO OWNER OCCUPANCY.
- ALL STEEL, INCLUDING ANCHORAGE, IN CONTACT WITH OR BELOW GRADE SHALL BE PAINTED WITH AND COATED TO 60 MILS. WITH MASTIC, AND SHALL BE FINISH PAINTABLE ABOVE GRADE.
- CONTRACTOR IS RESPONSIBLE FOR ALL SAWCUTTING, CORING, AND WELDING AS REQUIRED, AND MAKE ALL ASSOCIATED REPAIRS, TO ALLOW FOR NEW CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE SOLID AND CONTINUOUS BACKING OF SAME MATERIAL, SIZE, TYPE, THICKNESS, SHAPE, GAUGE AS WALL CONSTRUCTION AT A MINIMUM OF 1/4 POINTS OF HEIGHT FOR ALL ELEMENTS IN CONTACT WITH WALLS.
- A CLEAR, UNOBSTRUCTED AND OBVIOUS EXIT PATH SHALL BE MAINTAINED AT ALL TIMES. FIRE PATH SHALL BE MAINTAINED. WORK SHALL OCCUR ONLY DURING HOURS AUTHORIZED IN ADVANCE BY OWNER.
- CONTRACTOR SHALL MAINTAIN EXITING DURING BUILDING HOURS OF OPERATION.
- NO SUBSTITUTIONS ALLOWED WITHOUT ARCHITECTS APPROVAL.
- IF HAZARDOUS MATERIALS ARE FOUND TO EXIST ON THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IN WRITING.

CONCRETE NOTES

- GENERAL :
- UNLESS NOTED OTHERWISE, ALL CONCRETE STRENGTH SHALL BE MINIMUM 4,500 P.S.I.
 - UNLESS NOTED OTHERWISE, ALL FOUNDATION WALLS AND FOOTINGS ARE TO BE CONTINUOUS CONCRETE.
 - UNLESS NOTED OTHERWISE, ALL EARTH, GRAVEL AND TYPE II, BENEATH ANY CONCRETE SHALL BE COMPACTED TO MINIMUM 95%.
 - ALL CONCRETE SHALL BE SEALED BELOW GRADE (FACE IN CONTACT WITH EARTH)WITH A BITUMINOUS ASPHALTIC WATER-PROOF SHEET MEMBRANE AND DRAIN BLANKET.
 - PROVIDE A SILL SEALER BETWEEN TOP OF CONCRETE AND TREATED SILL PLATE, AT ANY WHERE WOOD IS IN CONTACT WITH CONCRETE.
 - AT ALL EXTERIOR CONCRETE PAVING, PROVIDE A MINIMUM 12"x8" PERIMETER TOE WITH CONTINUOUS NO 4 BAR, CENTERED, LAPPED MINIMUM 4'-0, EACH WAY.
 - AT ALL INTERIOR (HORIZONTAL) CONCRETE SLABS OVER EARTH OR GRADE, PROVIDE 6 MIL MOISTURE BARRIER, TAPED, SEALED AND CONTINUOUS.

ROOFING AND FLASHING NOTES

- ALL MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL PENETRATIONS OF THE ROOF SHALL MEET ROOFING MANUFACTURERS RECOMMENDATIONS TO MAINTAIN INTEGRITY OF ROOFING SYSTEM AND WATERPROOFING ABILITY.
- ALL TOP OF PARAPETS TO BE PROVIDED WITH POSITIVE SLOPE TOWARDS ROOF FOR ADEQUATE DRAINAGE.
- ALL TOPS OF PARAPETS OF ARE TO BE LAPPED WITH ROOF MEMBRANE AND SHALL EXTEND DOWN AND OVER OPPOSITE WALL FACE FINISHES.
- ALL FLASHING, COUNTER FLASHING AND SHEET METAL WORK TO COMPLY WITH THE MINIMUM STANDARDS PER THE CURRENT S.M.A.C.N.A. MANUAL.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS ARE TO BE PREPARED IN STRICT ACCORDANCE WITH ALL CODES AND REGULATIONS AND PROVIDED BY THE CONTRACTOR TO THE REGISTERED DESIGN PROFESSIONAL FOR REVIEW, AND ONCE RETURNED BY THE REGISTERED DESIGN PROFESSIONAL, THE CONTRACTOR SHALL CORRECT AND MAKE NECESSARY MODIFICATIONS AND SUBMIT TO ALL AUTHORITIES HAVING JURISDICTION FOR APPROVAL AND REQUIRED PERMITS.

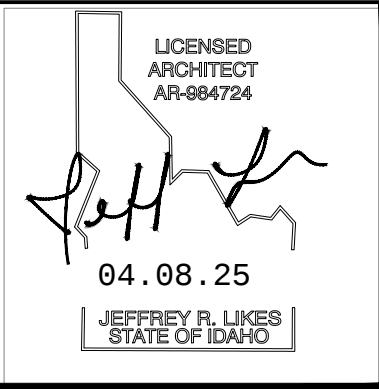
UNLESS NOTED OTHERWISE, ALL DEFERRED SUBMITTALS ARE TO BE IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODE.

- WHERE APPLICABLE, PLEASE SEE GENERAL STRUCTURAL NOTES FOR ADDITIONAL DEFERRED SUBMITTAL ITEMS.

LIGHT GAUGE FRAMING NOTES

PARTITION CONSTRUCTION, STUD SIZES, AND STUD THICKNESS SHALL COMPLY WITH

- ASTM C 754 AND THE REQUIREMENTS OF THE METAL STUD MANUFACTURER'S ASSOCIATION. NON-LOAD BEARING PARTITION HEAD TO STRUCTURE CONNECTIONS : PROVIDE
- TOP OF WALL CONSTRUCTION TO ACCOMMODATE 1/2" MINIMUM DEFLECTION IN THE STRUCTURE. CEILING / SOFFIT JOIST SPANS SHALL COMPLY WITH ASTM C 754 AND THE
- REQUIREMENTS OF THE METAL STUD MANUFACTURER'S ASSOCIATION.



DATE					
REVISIONS					
NO.					



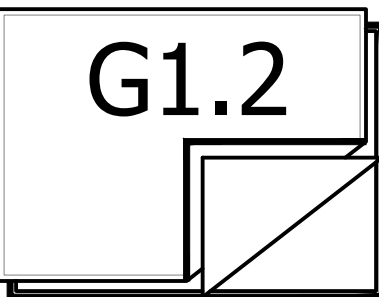
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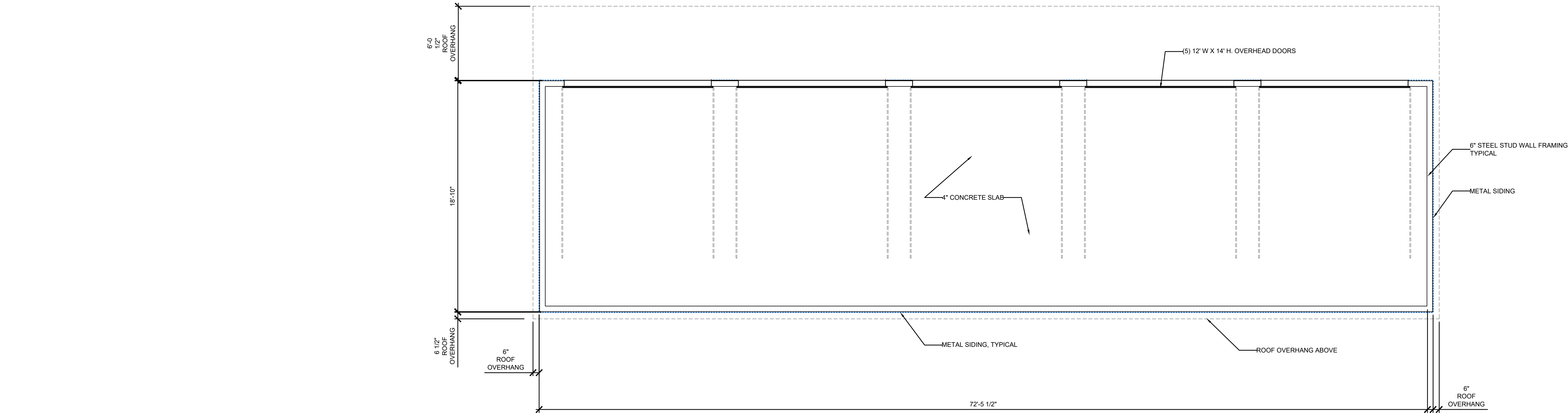
411 46TH ST. SHED

411 46TH STREET

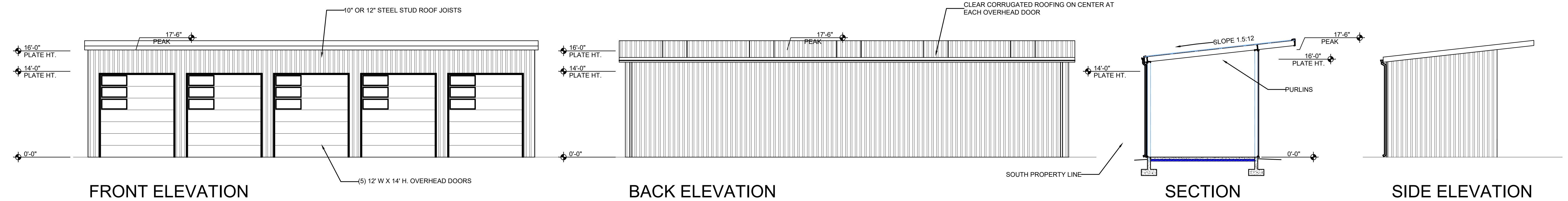
BOISE, ID. 83714

DRAWN BY:	CS
CHECKED BY:	JL
JOB #	24159
DATE:	03.14.25
GENERAL NOTES	

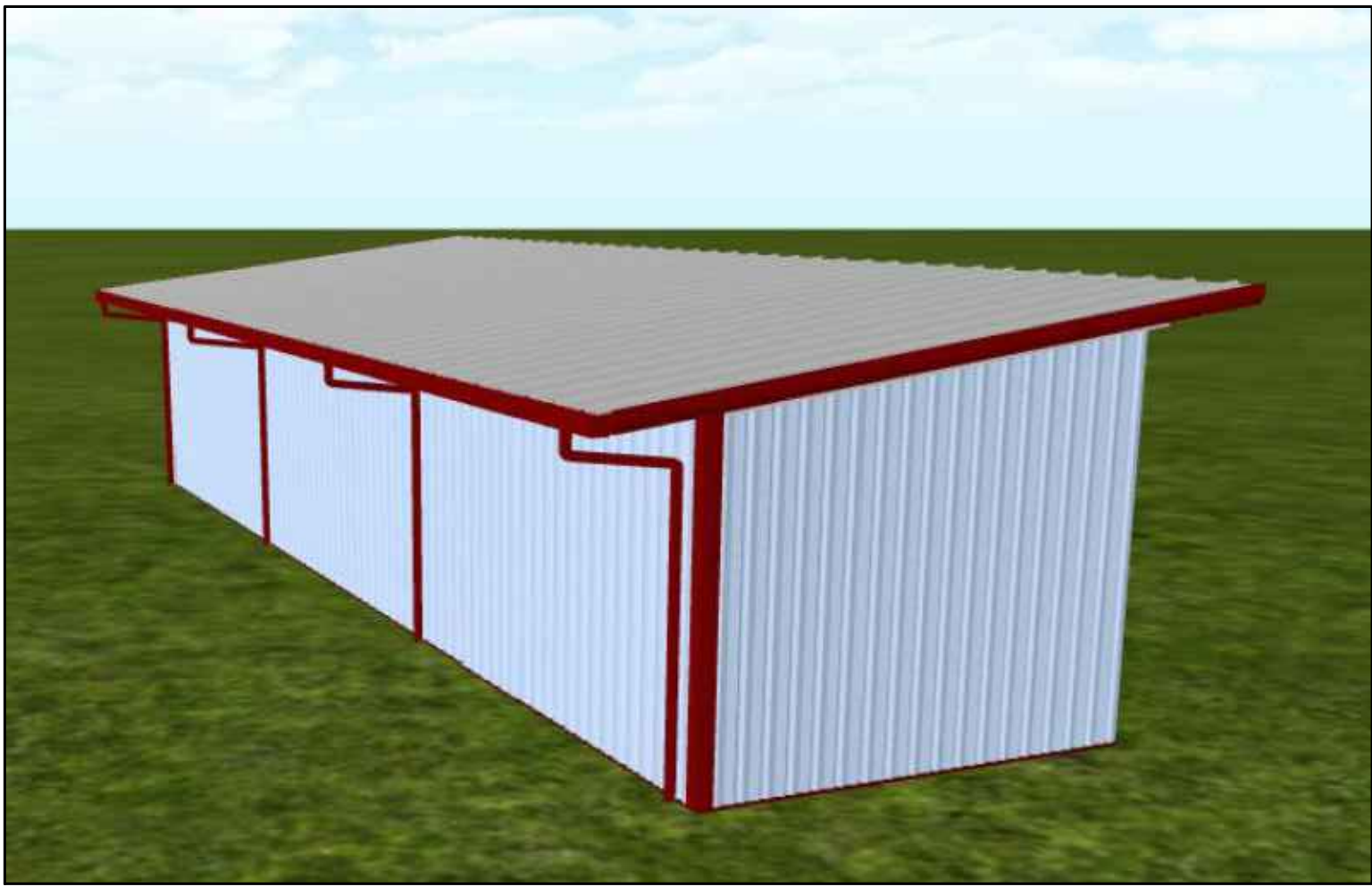




1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SHED ELEVATIONS AND SECTIONS
SCALE: 1/8" = 1'-0"



3 RENDERING
SCALE: NTS

LICENSED ARCHITECT
AR-8847284
04.08.25
JEFFREY FLIKEB
STATE OF IDAHO

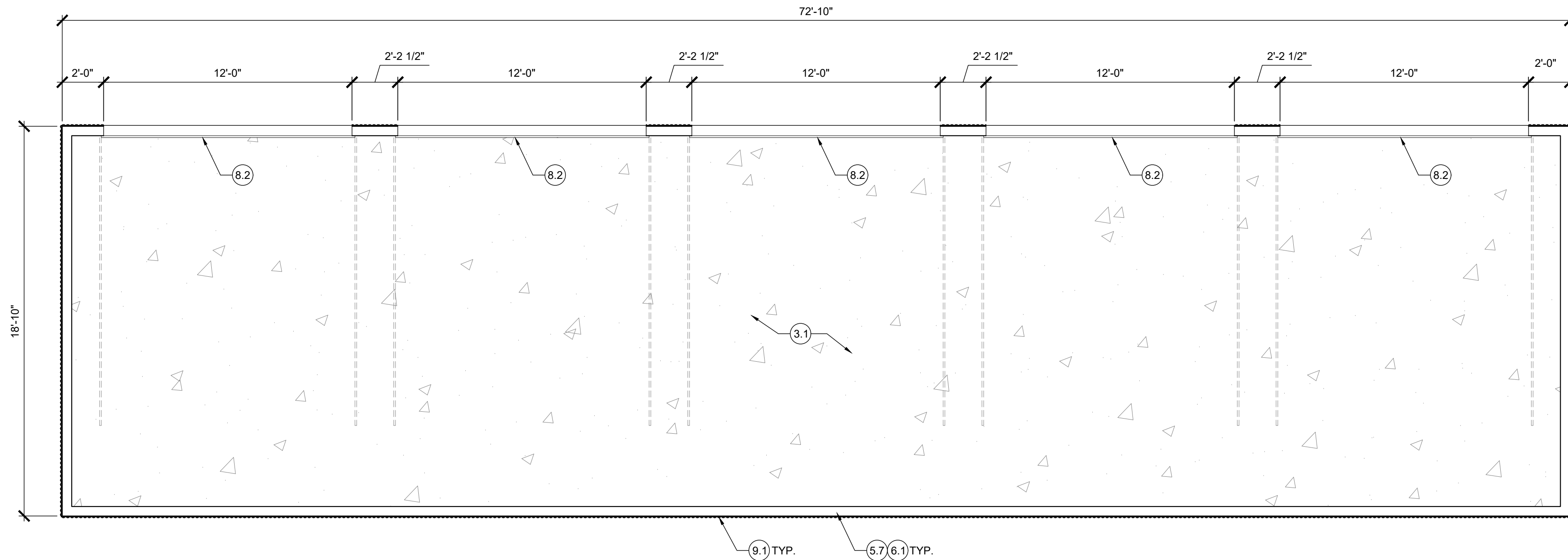
NO.	REVISIONS	DATE

ALC collaborative
1119 E. State Street, Suite 120 - Eagle, ID 83616
208.514.2713

PROJECT FOR:
411 46TH ST. SHED
BOISE, ID. 83714
411 46TH STREET

DRAWN BY: CS
CHECKED BY: JL
JOB # 24159
DATE: 03.14.25
SITE PLAN

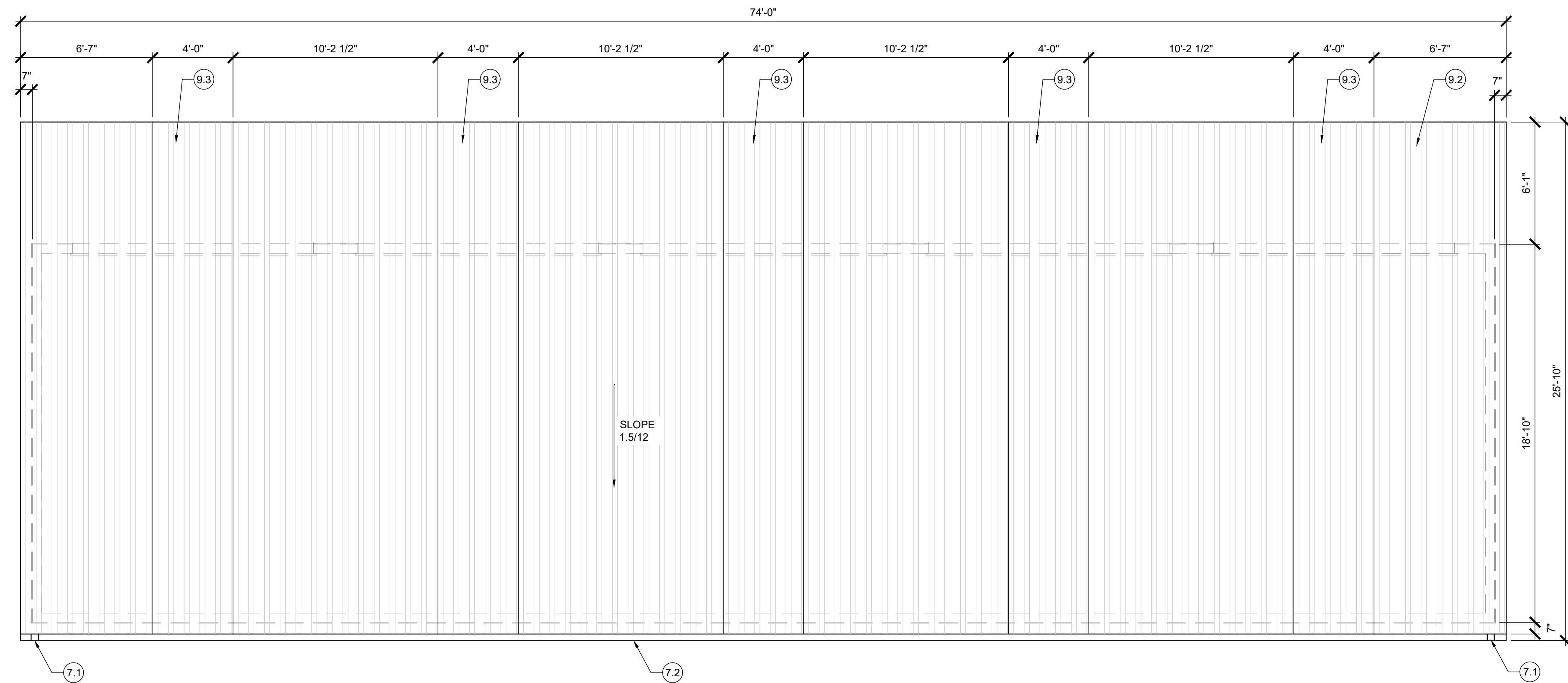
A1.1



FLOOR PLAN

SCALE: 1/4" = 1'-0"

1



FLOOR PLAN

SCALE: 1/4" = 1'-0"

2

LICENSED ARCHITECT
AR-884724
04.08.25
JEFFREY FLIKES
STATE OF IDAHO

NO.	REVISIONS	DATE

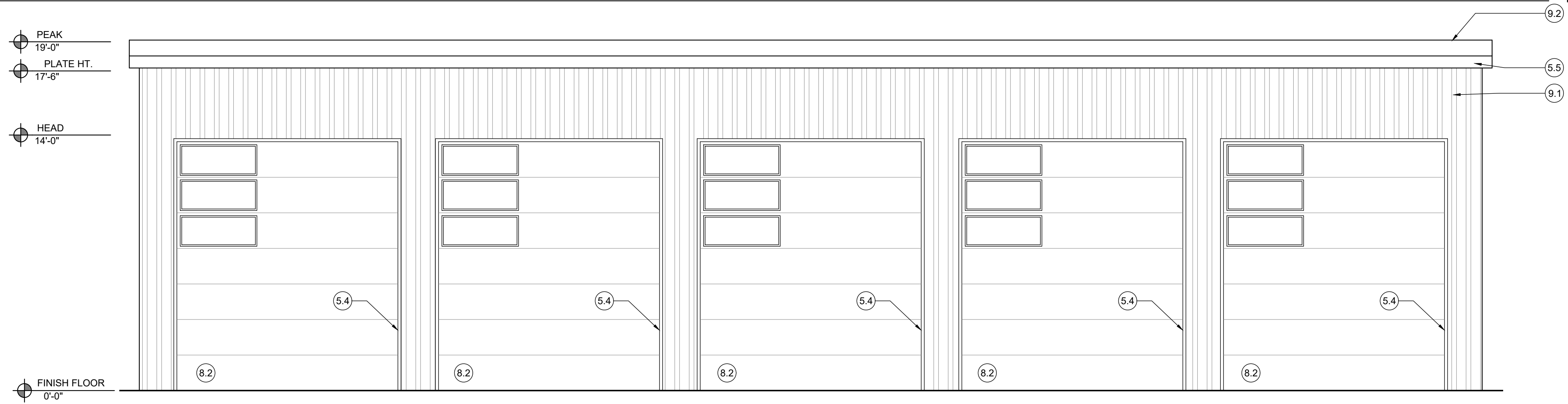
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architecture
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208.514.2713

PROJECT FOR:
**411 46TH ST.
SHED**
411 46TH STREET
BOISE, ID. 83714

DRAWN BY: CS
CHECKED BY: JL
JOB # 24159
DATE: 03.14.25
FLOOR & ROOF PLANS

A1.1

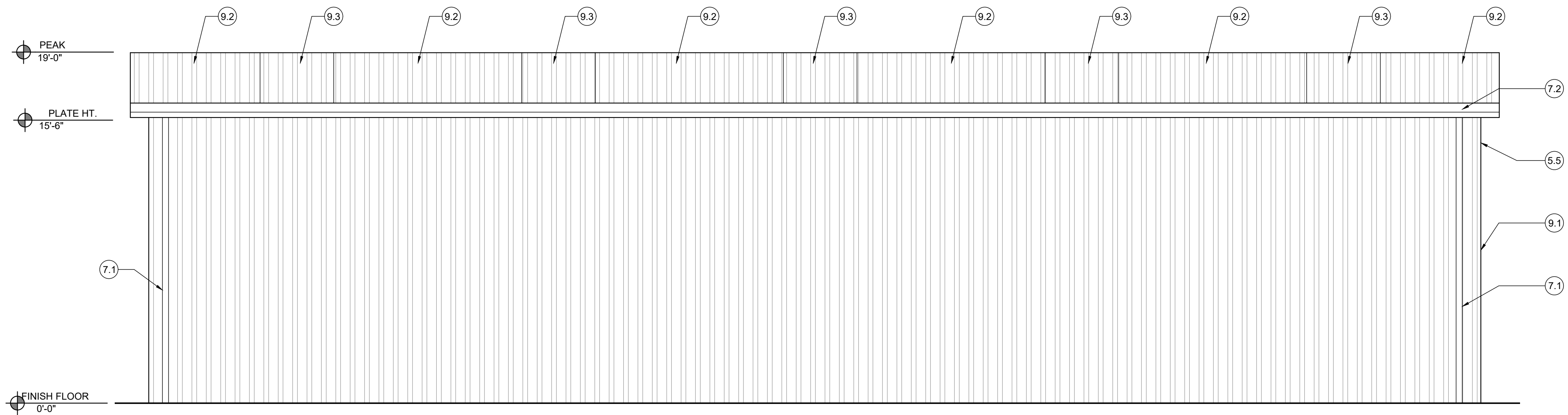




NORTH ELEVATION

SCALE: 1/4" = 1'-0"

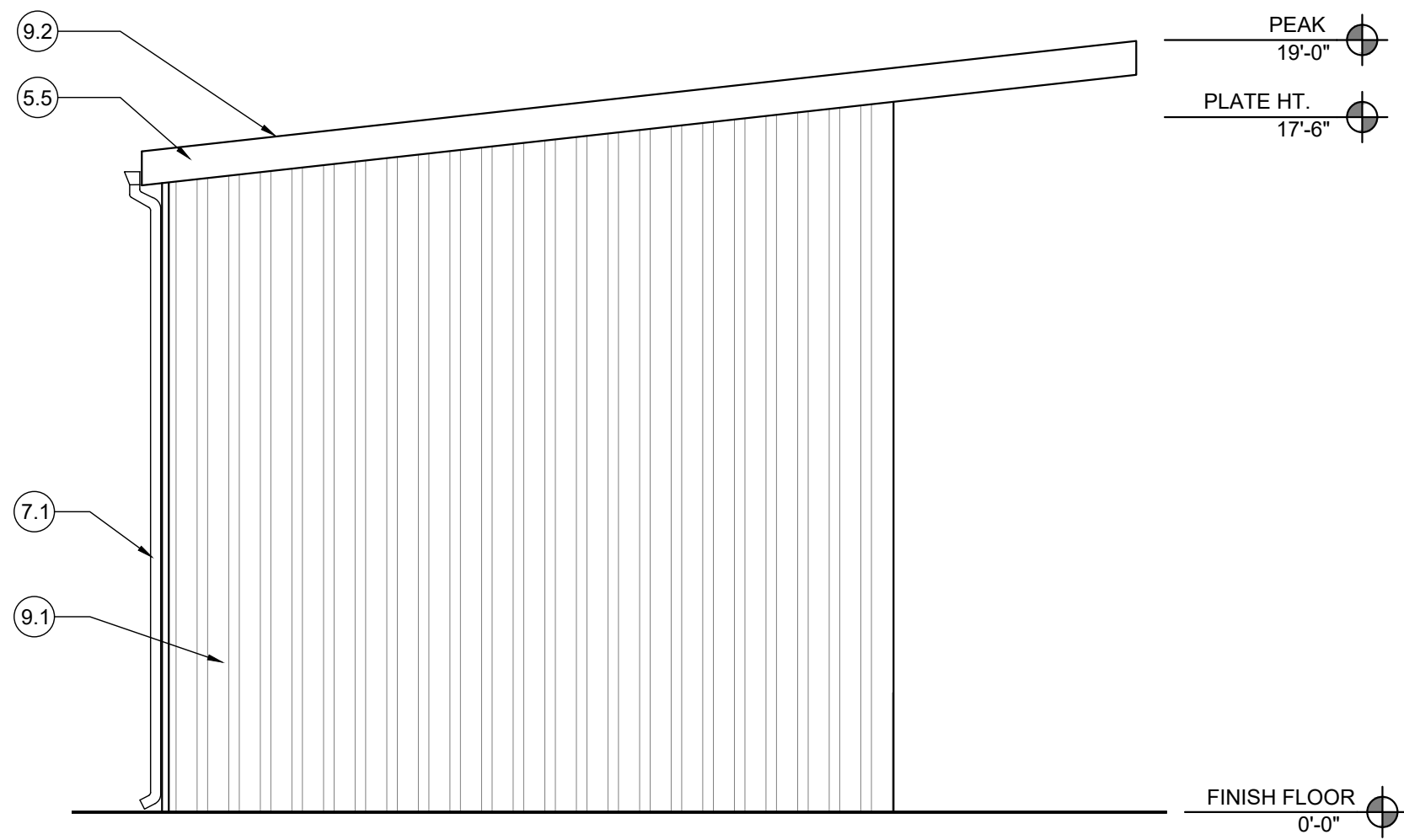
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SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

2



EAST/WEST ELEVATIONS

SCALE: 1/4" = 1'-0"

3

LICENSED
ARCHITECT
AR-884724

04.08.25

JEFFREY R. LIKES
STATE OF IDAHO

NO.	REVISIONS					DATE

1119 E. State Street, Suite 120 - Eagle, ID 83616
208.514.2713

PROJECT FOR:

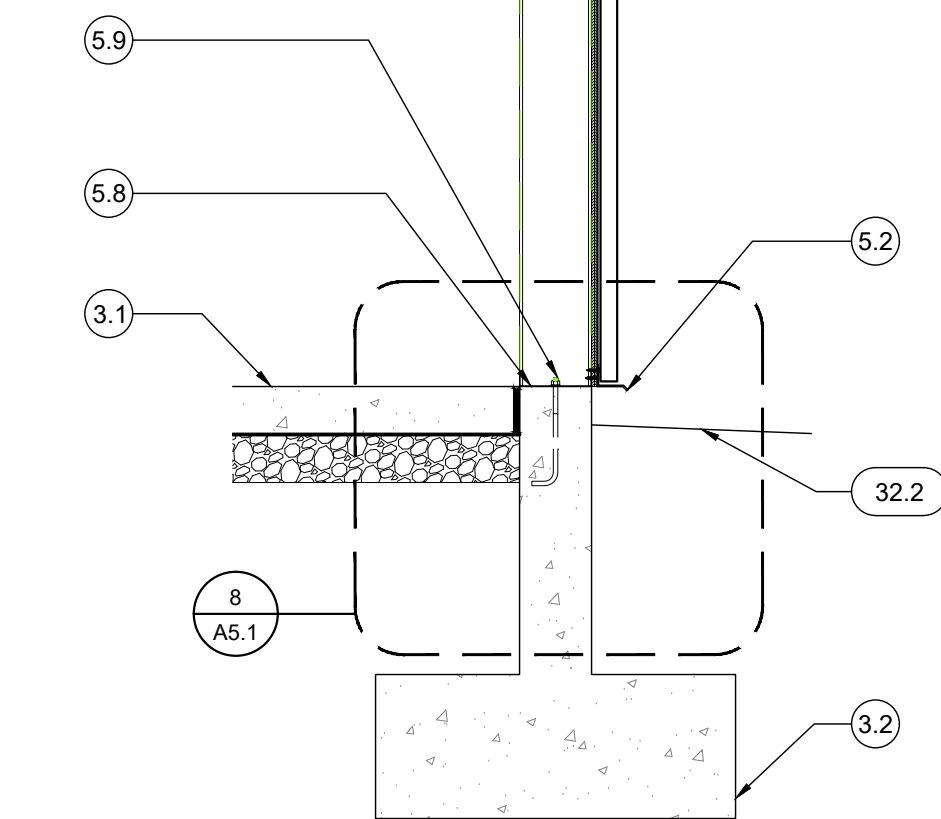
411 46TH ST.
SHED

411 46TH STREET
BOISE, ID. 83714

DRAWN BY: CS
CHECKED BY: JL
JOB # 24159
DATE: 03.14.25

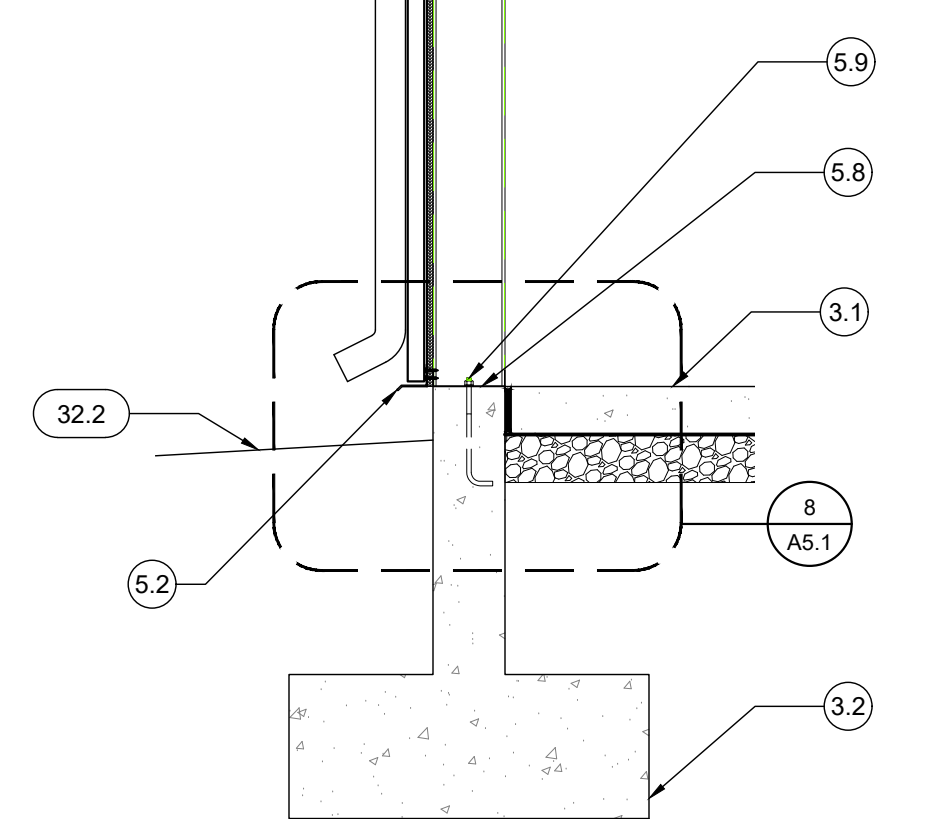
ELEVATIONS

A4.1

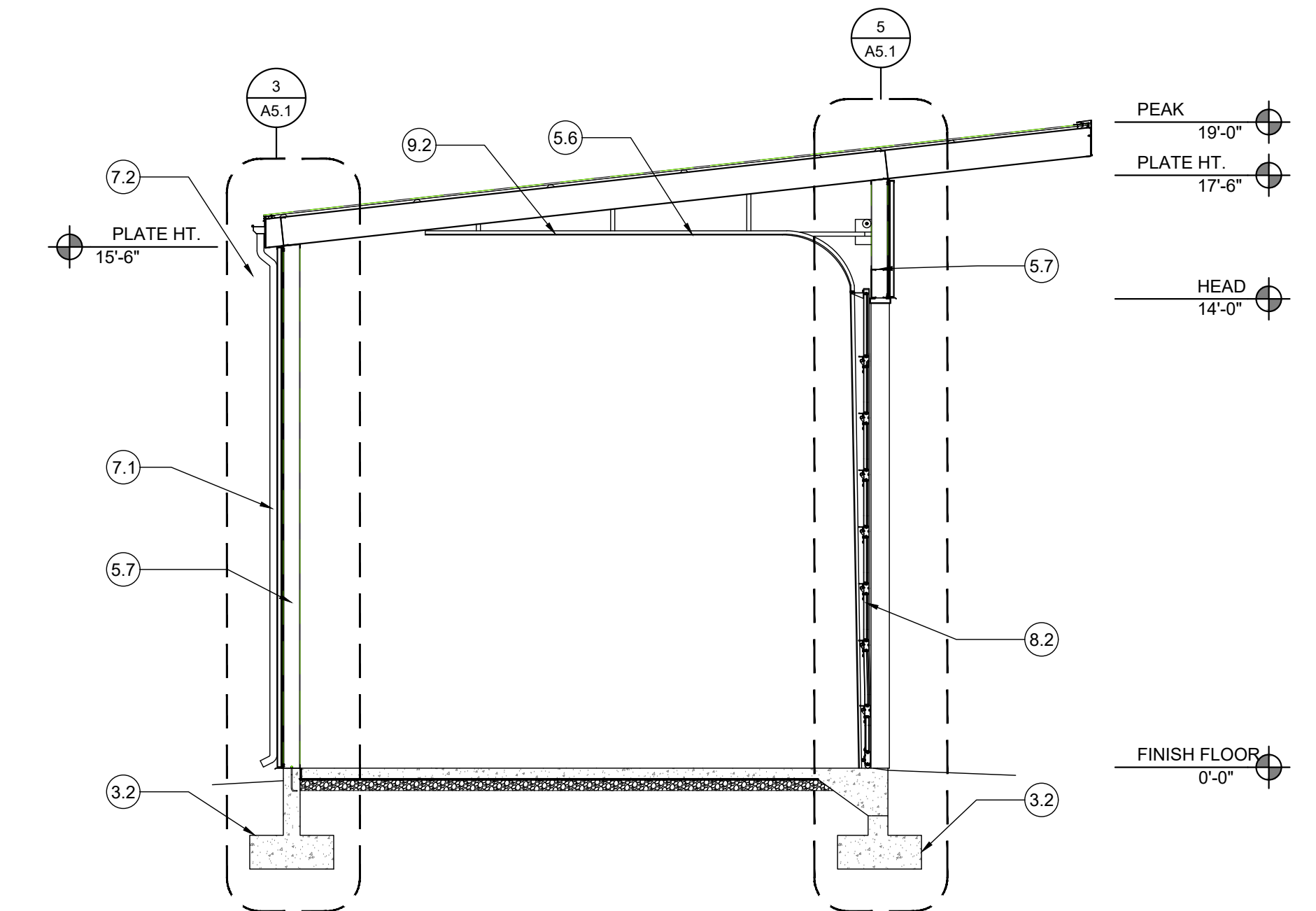


SCALE: $3/4" = 1'-0"$

SCALE: $3/4" = 1'-0"$

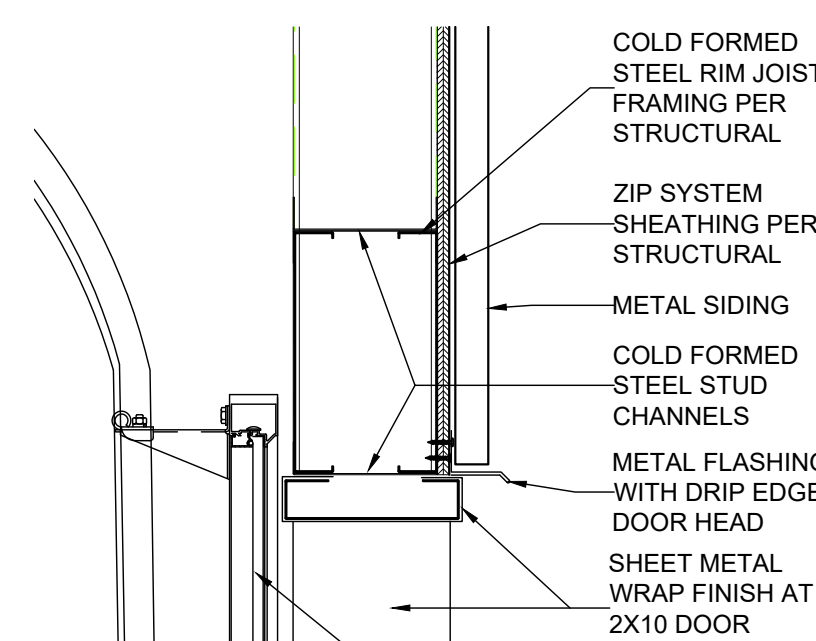


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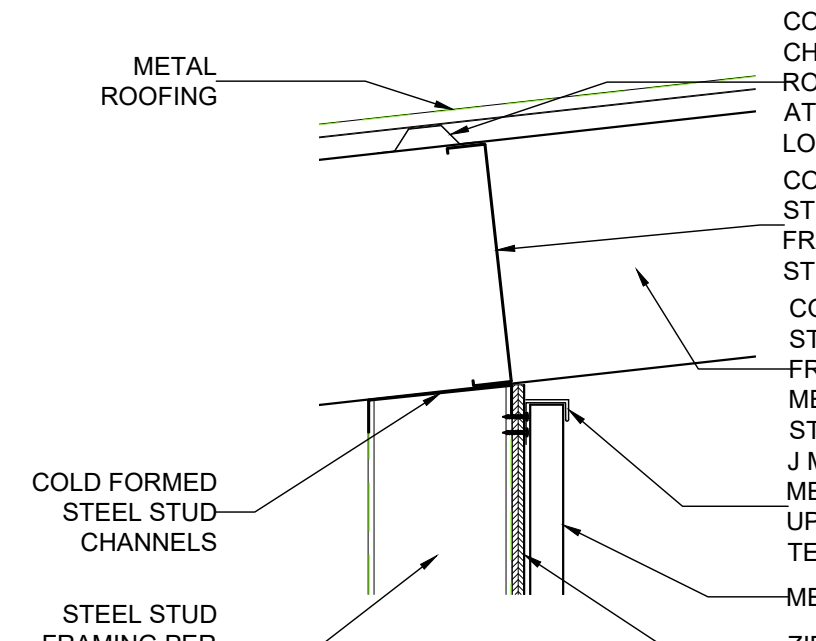
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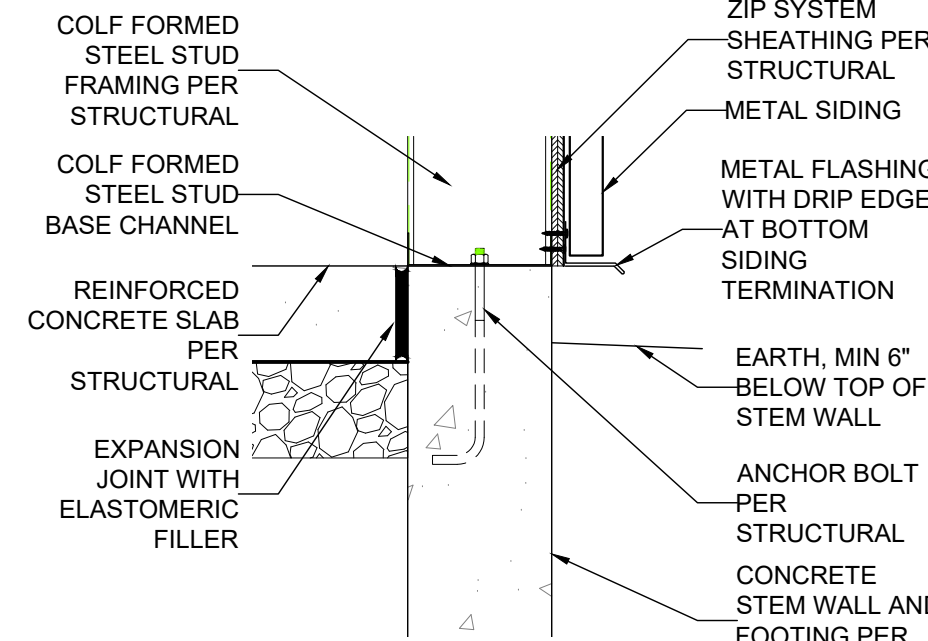


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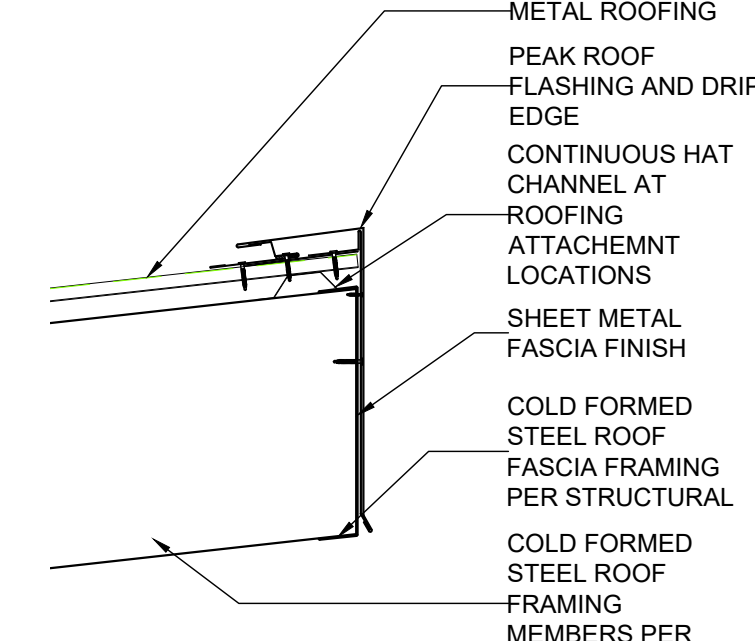
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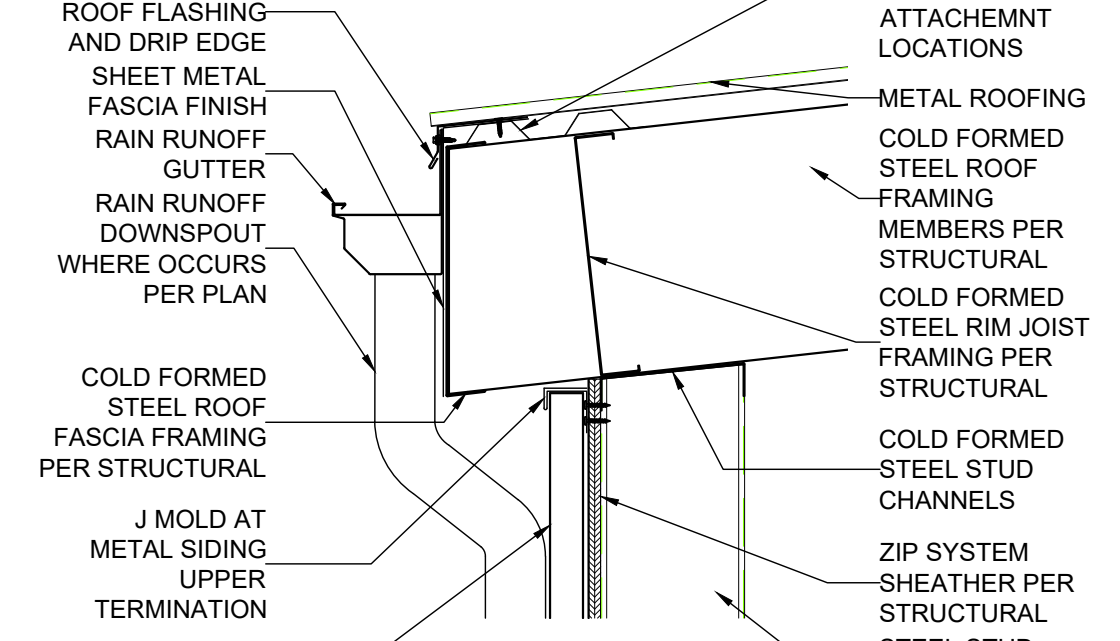
SCALE: 1-1/2" = 1'-0"



SCALE: 1-1/2" = 1'-0"



SCALE: 1-1/2"=1'-0"



SCALE: 1-1/2" = 1'-0"

A5.1

A5.1

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RIVER GLADE ESTATES LLC
10220 W LA HONTAN DR
BOISE, ID 83709-0000

45TH & ADAMS LLC
1108 LEWIS ST
BOISE, ID 83712-0000

SOUTHEY LIVING TRUST 4/27/2023
1315 S TETONIA DR
BOISE, ID 83705-0000

BUETTGENBACH HOWARD
1754 1/2 ANDREO AVE
TORRANCE, CA 90501-0000

FLOURISH HOA INC
1775 W STATE ST
BOISE, ID 83702-0000

NGUYEN JANA
310 E 46TH ST
BOISE, ID 83714-0000

ROBERTS DARLENE
316 E 45TH ST
GARDEN CITY, ID 83714-4870

MOHAMUD MOHAMED
336 E 46TH ST
GARDEN CITY, ID 83714-0000

SOLDERS ANNITA L TRUST
407 E 46TH ST SPC 1
GARDEN CITY, ID 83714-0000

WE RIDE NORTH LLC
411 E 46TH ST
GARDEN CITY, ID 83714-0000

TIERNAN HEATHER K
413 E DANIKA LN
GARDEN CITY, ID 83714-0000

THOMSON PROPERTIES LLC
415 E 46TH ST
GARDEN CITY, ID 83714-0000

HOLSINGER STEPHEN D
419 E DANIKA LN
GARDEN CITY, ID 83714-0000

ARCHIBALD JAMIE
425 E DANIKA LN
GARDEN CITY, ID 83714-0000

WELLMAN BENJAMIN J
431 E DANIKA LN
GARDEN CITY, ID 83714-0000

WEISS BENJAMIN
437 E DANIKA LN
GARDEN CITY, ID 83714-0000

BRASWELL CODY MICHAEL
443 E DANIKA LN
GARDEN CITY, ID 83714-0000

REXRODE CATHERINE D
449 E DANIKA LN
GARDEN CITY, ID 83714-0000

BENNER LAUREN
4504 N ADAMS ST
GARDEN CITY, ID 83714-0000

CAMPBELL DONALD
4509 N FREERIDE LN
GARDEN CITY, ID 83714-0000

SWA CAMILLE
4510 N ADAMS ST
GARDEN CITY, ID 83714-0000

JONES MALLORY
4515 N FREERIDE LN
GARDEN CITY, ID 83714-0000

JOHN ROBERT J
4516 N ADAMS ST
GARDEN CITY, ID 83714-0000

OGAWA MARCUS D
4521 N FREERIDE LN
GARDEN CITY, ID 83714-0000

CHAVEZ RHIANNON
4522 N ADAMS ST
GARDEN CITY, ID 83714-0000

VIVIAN JACOB
4526 N ADAMS ST
GARDEN CITY, ID 83714-0000

THURBER ANTHONY J
4527 N FREERIDE LN
GARDEN CITY, ID 83714-0000

RISKY BUSINESS TRUST 5/15/2024
4532 N ADAMS ST
GARDEN CITY, ID 83714-0000

MCFARLAND WENDI STORY
4539 N FREERIDE LN
GARDEN CITY, ID 83714-0000

RODRIGUEZ JONATHAN
4544 N ADAMS ST
GARDEN CITY, ID 83714-0000

KIM HENLY
4549 N ADAMS ST
GARDEN CITY, ID 83714-0000

NGUYEN LYNDON
455 E DANIKA LN
GARDEN CITY, ID 83714-0000

PAGE FRANCESCA DEAN
4556 N ADAMS ST
GARDEN CITY, ID 83714-0000

BARRY PATRICIA E
4568 N ADAMS ST
GARDEN CITY, ID 83714-0000

TYLER ALONZO LYDELL
4569 N ADAMS ST
GARDEN CITY, ID 83714-0000

FOSTER KATHY D LIVING TRUST 2/15/2023
4579 N ADAMS ST
GARDEN CITY, ID 83714-0000

VILLAGOMEZ SANDRA K
4580 N ADAMS ST
GARDEN CITY, ID 83714-0000

MARLER RAVEN G
4589 N ADAMS ST
GARDEN CITY, ID 83714-0000

GOAD PRESTON LEE JR
4620 N ADAMS ST
GARDEN CITY, ID 83714-4744

RUPP WILLIAM
4623 1/2 N ADAMS ST
GARDEN CITY, ID 83714-4745

ECKERT DANIEL LEE JR
4630 ADAMS ST
GARDEN CITY, ID 83714-0000

LAMBERT PAULA GAY
4764 E FLORES CT
BOISE, ID 83716-0000

RIVERWALK INVESTMENT CO
502 E 45TH ST
GARDEN CITY, ID 83714-0000

RIVERVIEW INDUSTRIAL PARK LTD
605 E 46TH ST # 23
GARDEN CITY, ID 83714-0000

AHLBERG ADAMS LLC
7590 E HIGHLAND VALLEY RD
BOISE, ID 83716-0000

Date: 05.06.25

RE: Neighborhood Meeting Notice for Project in your Neighborhood

To whom it may concern,

You are invited to a neighborhood meeting to discuss a project we are proposing near your property. The purpose of the meeting is to discuss the project, answer any questions, and listen to your feedback and suggestions.

Meeting Date: Monday May 19th

Meeting Time: 6:00 PM

Meeting Location: 411 46th Street. Garden City, ID. 83714

Project Summary: Residential Storage Shed on Private Property 411 46th Street.

If you would like to contact us ahead of the meeting, please feel free to reach us at **208-514-2713** or **jeff@alcarchitecture.com**. We look forward to hearing from you.

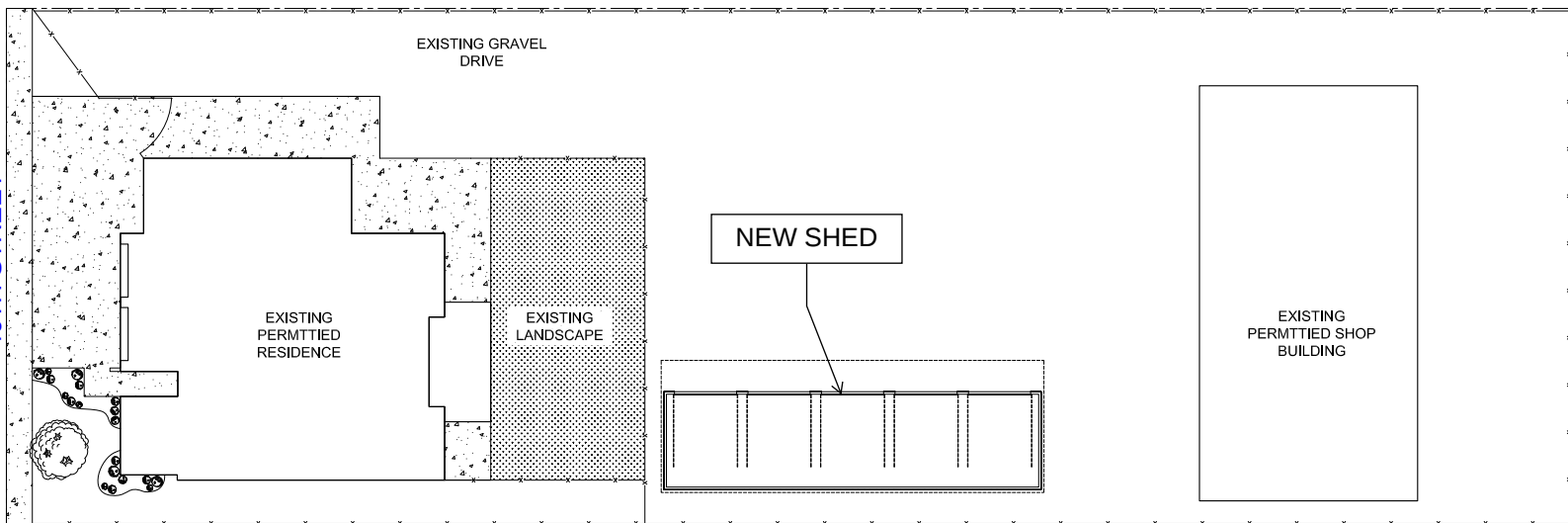
Thank you,

Jeff Likes

ALC Architecture



46TH STREET



SITE PLAN



Neighborhood meeting sign in sheet:

RE: 411 45th St Shed

Date: May 19, 2025 6:00 P.M.

Name: _____ **Address:** _____

[illegible]