

CONDITIONAL USE PERMIT

Permit info: CUPFY2024-0003

Application Date: 12/14/2023 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: <u>CHRIS ANDERSON</u>	Name: <u>BEN BATE</u>
Company: <u>RUDEEN ARCHITECTS</u>	Company: <u>ELEVATE GARDEN CITY, LLC</u>
Address: <u>199 N. CAPITOL BLVD. #602</u>	Address: <u>P.O. BOX 927215</u>
City: <u>BOISE</u>	City: <u>SAN DIEGO</u>
State: <u>ID</u> Zip: <u>83702</u>	State: <u>CA</u> Zip: <u>92192</u>
Tel.: <u>208.338.1413</u>	Tel.: <u>661.547.9567</u>
E-mail: <u>canderson@rudeenarchitects.com</u>	E-mail: <u>ben@cityconcepts</u>

PROPERTY AND DESIGN INFORMATION: [VISIT ADA COUNTY ASSESSOR'S SITE](#)

Site Address: 3433 W CHINDEN

Subdivision Name: <u>FAIRVIEW ACRES</u>	Lot: <u>32</u>	Block:
Tax Parcel Number: <u>R2734530170</u>	Zoning: <u>C-1</u>	Total Acres:
Proposed Use: <u>R-1</u>	Floodplain: YES NO	

Describe the proposed use: LODGING w/ OFFICE

ADDING ACCESSIBLE UNITS INTO OFFICE BUILDING

Will you be making changes to the structure(s)? <u>YES</u> NO	
If no, will you be changing the occupancies as defined by the <u>IBC</u> ? YES NO	
Check any that are applicable to this application: *If any of the first three boxes are checked, a Design Review Application is required*	<input type="checkbox"/> I will build a new structure
	<input type="checkbox"/> I will add 25% or more to the floor area of an existing building
	<input checked="" type="checkbox"/> I will alter, replace rehabilitate or restore 25% or more of a store façade.

How is the use appropriate to the location, the lot, and the neighborhood, and is compatible with the uses permitted in the applicable zoning district?

THE LOT IS CURRENTLY USED AS LODGING, WE WOULD LIKE TO BETTER THE SITE BY ADDING ACCESSIBLE UNITS WITHIN THE OFFICE BUILDING.

Is the use supported by adequate public facilities or services such as water/sewer, schools, roads, parks, transit, fire protection and police protection?

YES.

How does the use affect the health, safety or welfare of the community?

ADDING ACCESSIBLE UNITS AND IMPROVING THE SITE WILL INCREASE THE HEALTH, SAFETY, AND WELFARE OF THE COMMUNITY.


How does the use support the goals of the Comprehensive Plan?

SITE IMPROVEMENTS WILL SUPPORT THE GREEN CORRIDOR AND IMPROVE THE IMAGE OF THE CITY.

How far is the proposed use from a pedestrian/bicycle pathway?

PEDESTRIAN ACCESS IS ADJACENT TO THE SITE.

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.



10-13-23

Signature of the Applicant

(date)



12/11/2023

Signature of the Owner

(date)

APPLICATION INFORMATION REQUIRED

NOTE: AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- ☒ Compliance Statement and Statement of Intent
 - ☒ Neighborhood Map
 - ☒ Fire Flow / Ability to Serve
 - ☒ 11"x17" Site Plan
 - ☒ Irrigation/Ditch Company Authorization Letter
 - ☒ Landscape Plan
 - ☒ Photos of Site
 - ☒ Neighborhood Meeting Verification
 - ☒ Affidavit of Legal Interest
 - ☒ Waiver Request of Application Materials
 - ☒ Structural Documentation
(if previous Certificate of Occupancy has been issued and no change to IBC occupancy is anticipated)
- *Additional information may be required by staff such as a traffic/parking analysis, a use analysis or documents related specifically to a business.*

PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☒ Statement explaining how the proposed use(s) is compliant with the standards of review for the proposed application. Cite the ordinances the proposed use(s) is compliant with
- ☒ Should include purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☒ 8 1/2" x 11" size minimum
- ☒ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN: A.C.O.I

- ☒ Scale not less than 1" = 20', legend, and north arrow.
- ☒ Property boundary, dimensions, setbacks and parcel size.
- ☒ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☒ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☒ Adjacent public and private street right of way lines
- ☒ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations

- ☒ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.

INFORMATION REQUIRED FOR IRRIGATION/DITCH AUTHORIZATION LETTER:

- ☒ Required if irrigation canal/irrigation ditch runs through property or along property lines

INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION:

- ☒ Copy of notice sent to property owners within 300' of an applicable property
- ☒ List of notice recipients with names and addresses
- ☒ Sign-up sheet from meeting

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☒ Statement must include a list of the application materials to be waived and an explanation for the request

STRUCTURAL DOCUMENTATION (If NO CHANGE TO STRUCTURE OR IBC OCCUPANCY):

☒ **Industrial treatment compliance: a statement answering the following questions:**

- Do you or will you discharge wastewater other than domestic water from bathrooms to the City Sewer System? If yes, please describe.
- Are floor drains present in your facility? If yes, are any chemicals stored on site in containers exceeding 1 gallon?
- Do you or will you use fats, oils or greases in your business? If yes, do you have a grease trap/interceptor present

☒ **One set of detailed current floor plans legibly drawn on minimum 8 1/2 X 11 plan sheet drawn to 1/4" = 1' scale (with scale noted on plans) identifying:**

- ☒ Use and square footage per room (i.e. office, storage, restroom, etc.) A2.01, A2.02
- ☒ Primary Occupancy Classification (2018 IBC sec 303-312) A0.00
- ☒ Occupancy Load (2018 IBC Sec 1004, table 1004.5) A0.00
- ☒ Interior and exterior wall and opening dimensions, windows, doors, roll-up doors A2.01, A2.01, A5.01
- ☒ Electrical panels interior and exterior E2.01
- ☒ Gas meter location M2.01
- ☒ Fire extinguisher locations and size A0.01
- ☒ Emergency lighting locations E2.02
- ☒ Illuminated exit sign locations E2.02
- ☒ Fire sprinkler riser location
- ☒ Fire alarm panel location
- ☒ Commercial cooking operation location, including size and type of hoods and grease traps
- ☒ Spray finishing operation location
- ☒ Flammable or combustible product locations
- ☒ Welding operation locations
- ☒ Rack storage locations

Disclaimer Clause: X Denotes application information that may be waived depending on the nature of the request" found under table 8-6a-2 "required application information."



6015 Glenwood Street - Garden City, Idaho 83714
Phone 208 - 472-2921 Fax 208 - 472-2926
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS
County of Ada)

I, Elevated Chinden LLC, 401 Ryland St
Name Address of Owner
(must be primary owner as noted in Ada County Assessor's records.
If the primary owner is a business write the business name)
Reno NV 89502
City State and Zip

Being first duly sworn upon oath, depose and say:

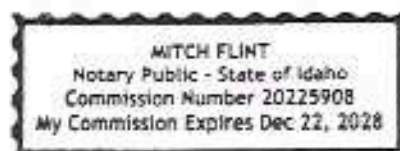
1. That I am the record owner of the property described on the attached, and I grant my permission to Chris Anderson - Rudeen Architects
Name of Applicant
to submit the accompanying application pertaining to 3433 W. Chinden Blvd,
Garden City Idaho, 837 14 property. Address of Property Subject to this Affidavit
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 11th day of December, 2023
Ben Bate.
Signature Printed Name
(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the 11th day and year first above written.

Notary Public for Idaho

Residing at: Chase Bonh - 468 S Rivershore, Eagle, ID
My Commission expires Dec. 22, 2028



October 18, 2023

Ms. Hanna Veal, Associate Planner
City of Garden City
Development Services
6015 N. Glenwood Street
Garden City, ID 83714

RE: CUP Application for 3433 W. Chinden Boulevard, Arcadia Motel

Dear Ms. Veal:

On behalf of the owner, Elevate Garden City, LLC, we are pleased to submit the attached application and required supplements for the Conditional Use Permit for the existing buildings located at 3433 W. Chinden Boulevard. Please accept this letter as the required written narrative regarding the project.

The subject property is approximately .448 acres located near the southeast corner of Chinden Boulevard and Orchard Road and is currently zoned C-1 in Ada County. The property is bounded on the northeast by Chinden Boulevard with undeveloped land across the road zoned C-1; to the southeast by commercial property zoned C-1; to the southwest by Stockton Street with commercial property zoned C-2; and to the northwest by commercial property zoned C-1.

The site contains (3) buildings and is currently used as lodging in (2) of the buildings and (1) building is used as the office. We would like to file for a Conditional Use Permit to use a portion of the existing office building as lodging, to accommodate persons with disabilities. In the current Zoning Ordinance, lodging in the C-1 district requires a Condition Use Permit.

The proposed office remodel would include (3) ADA accessible rooms to be added to the office with an entry ramp as part of the common path of egress travel. The existing (2) lodging buildings are elevated with parking underneath and gaining ADA access is not feasible within those buildings.

The site improvements will include new paving, increased landscaping, a reduction of curb cuts, a new sidewalk, and new site lighting. These improvements are in line with the Garden City Comprehensive Plan and will help improve the image of the city, beautify the street and sidewalk, and increase the safety of the pedestrians and motorists.

We appreciate the time you have spent helping us understand the steps needed to accomplish this project. Should you have any questions or require further information in order to process these applications, please contact our office at 208-338-1413. Thank you for your time regarding this matter.

Sincerely,



Chris Anderson
Rudeen Architects



These documents have been reviewed and approved for compliance with applicable codes adopted by Garden City. This does not constitute a permit. See the conditions on the approval stamp on the plans.

Date: 05/05/23 , Permit Number: GAR2023-0071



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

September 22, 2022

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 3433 W Chinden Blvd

Fire hydrant serving this address: #1008

Fire flow Garden City is able to provide is 1500 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 1500 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File

Time: 5:30PM - 8:00PM

Project Synopsis: Apply for a CUP to allow additional ADA lodging units to current C-1 zone.

[illegible]

5 September 2023

RE: Neighborhood Meeting Notice for Project at 3433 W. Chinden Blvd., Garden City, Idaho 83714

To whom it may concern,

You are invited to a neighborhood meeting to discuss a project we are proposing near your property. The purpose of the meeting is to discuss the project, answer any questions, and listen to your feedback and suggestions.

Meeting Date: 19 September 2023 (Rescheduled from 4 September 2023)

Meeting Time: 5:30PM – 8:00PM

Meeting Location: 3433 W. Chinden Blvd.

Project Summary: The site is currently operating as lodging, and the owner is proposing to add ADA accessible rooms and amenities to accommodate people with disabilities. As part of the proposed project, the building facade and landscaping will be improved to support a positive business environment for neighboring businesses. Due to the fact that lodging is a non-conforming use in the C-1 zone, a conditional use permit will need to be obtained for the proposed project.

If you would like to contact us ahead of the meeting, please feel free to reach us, either by phone at 208-954-8753 or by email at canderson@rudeenarchitects.com. We look forward to hearing from you.

If you provide written comments to the city seven days or more prior to the applicant's consultation with the design consultants, your comments will be reviewed as part of the application. This application's review with the City may take place as soon as 15 days after the neighborhood meeting.

Please note, that if you wish to be an interested party, or have the ability to appeal, you must notify the city in writing. The city will inform interested parties of any revised materials that are submitted. You cannot appeal the application unless you have standing as prescribed in Idaho Code and provide written comment to the city seven days prior to the application's formal review with the City.

Thank you,

Chris Anderson
Rudeen Architects

Those who have standing may appeal the decision, **provided that written comment is received by the city at least seven days prior to the consultation.** Those who have not provided written comments seven days or more in advance of the consultation will not be permitted to appeal.

If you wish to be an interested party or may wish to appeal the city's decision please provide the city with the following information to the city via email planning@gardencityidaho.org or mail to Attn: Design Review 6015 Glenwood, Garden City, Idaho, 83714.

File:

I wish to be an interested party ____ Yes ____ No

I wish to have the ability to appeal ____ Yes ____ No

Name:

Email:

Physical Address:

Which design elements are of concern:

____ Massing

____ Architectural elements

____ Connectivity

____ Landscaping

____ Water features

____ Site layout

____ Other

Please elaborate:

Signature

Date

NEIGHBORHOOD MAP

3433 WEST CHINDEN BOULEVARD



EXISTING LODGING

EXISTING OFFICE

EXISTING LODGING

LEGAL ADDRESS:	3433 W. CHINDEN BLVD. GARDEN CITY, ID 83714
PARCEL NUMBER:	R2734530170
LAND USE ZONE:	C-1
TOTAL SITE AREA:	19,533 SF
BUILDING AREA:	1,520 SF
BUILDING AREA % OF SITE:	8%
LANDSCAPE AREA :	1,960 SF
LANDSCAPE AREA % OF SITE:	10%
PAVED AREA:	16,063 SF
PAVED AREA % OF SITE:	82%

PARKING REQUIRED (TITLE 8A-D-3):

BUILDING AREA -	$7,418 / 1,000 = 7$
LOADING ROOMS -	$30 \times 5 = 15$
TOTAL PARKING STALLS REQUIRED =	22 STALLS
TOTAL ACCESSIBLE STALLS REQUIRED =	1 STALLS

PARKING PROVIDED:

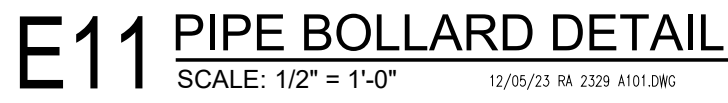
STANDARD STALLS =	14 STALLS
COMPACT STALLS =	6 STALLS
ACCESSIBLE STALLS =	2 STALLS

BICYCLE PARKING REQUIRED (TITLE 8A-D-4):

BUILDING AREA -	$7,418 / 1,000 = 7$
TOTAL BICYCLE PARKING PROVIDED =	8 SPACES

W 10' OF LOT 2 LOT 3
LOT 32 E 20' OF LOT 33
BLK M
FAIRVIEW ACRES SUB 4
#9042804

PROJECT SITE
3433 W CHINDEN BLVD.



3433 W CHINDEN BLVD.
GARDEN CITY, ID 83714

2329 A101.DWG
File Name:

A1.01

Sheet Notes:

- A. CONTRACTOR SHALL COMPLY WITH CONSTRUCTION NOTES ON SHEET C1.00.
- B. CONTRACTOR SHALL REPORT TO ENGINEER ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.
- C. ON-SITE TOPOGRAPHIC SURVEY NOT COMPLETED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK. CONTRACTOR SHALL VERIFY ADA COMPLIANCE IN-FIELD THROUGHOUT SITE.
- D. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- E. CONTRACTOR SHALL AT ALL TIMES, PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION. DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.
- F. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE ENGINEER AND/OR THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. WHEREVER CONCRETE FLATWORK ABUTS BUILDINGS OR COLUMNS, IT SHALL HAVE AN EXPANSION JOINT.
- I. PROVIDE JOINTS AS SHOWN ON PLANS AND PER DETAIL 4/C2.50. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWORK THAT DOES NOT CONFORM TO THE DESIGN.
- J. TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
- K. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE OF SIDEWALKS AND PEDESTRIAN RAMPS SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2% CROSS SLOPE OR HAVE A CROSS SLOPE LESS THAN 1%.

Material Legend:

	EXISTING ASPHALT PAVING TO REMAIN		HEAVY DUTY CONCRETE PAVING - SEE DETAIL 2/C2.50
	STANDARD CONCRETE FLATWORK - SEE DETAIL 3/C2.50		ROCK MULCH
	COMPACTED DECOMPOSED GRANITE SURFACE		SYNTHETIC TURF
	ORNAMENTAL SHRUB & PERENNIAL PLANTING		DECIDUOUS TREE

Line Legend:

	EXISTING BUILDING
	EXISTING, ELEVATED BUILDING
	6' DECORATIVE METAL FENCE AND GATE.

Keynotes:

1. REMOVE EXISTING ASPHALT PAVEMENT AND REPLACE WITH CONCRETE FLATWORK TO MATCH EXISTING GRADES. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
2. CONSTRUCT 6-IN WIDE RIBBON CURB PER DETAIL 1/C2.50.
3. CONSTRUCT STAIR AND HANDRAIL. SLOPES OF LANDING AT TOP AND BOTTOM OF STAIRS NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
- 3.1. PER DETAIL 5/C2.50.
- 3.2. TO UPPER LEVEL PER ARCHITECTURAL PLANS.
4. EXISTING STAIRS TO BE CONVERTED INTO LANDSCAPE PLANTER, REFER TO LANDSCAPE PLANS.
5. CONSTRUCT RAMP AND HANDRAIL PER DETAIL 6/C2.50. SLOPES SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. SLOPES OF LANDING AT TOP AND BOTTOM OF RAMP NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
6. ADA ACCESSIBLE PARKING STALL. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
7. PAINTED 4' WIDE PARKING STALL STRIPING, COLOR: WHITE, TYPICAL.
8. INSTALL CONCRETE PARKING BUMPER PER DETAIL 9/C2.50, TYPICAL.
9. CONSTRUCT TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
10. COMMERCIAL PLANTER, PER DETAIL 10/C2.50.
11. COMMERCIAL PLANTERS ON EXISTING STAIRS, SIMILAR TO DETAIL 10/C2.50.
12. DECORATIVE METAL SCREEN, PER DETAIL 11/C2.50.
13. FIRE TABLE, PER DETAIL 12/C2.50.
14. SITE FURNITURE OR YARD GAMES, FOR REFERENCE ONLY.

Arcadia Motel Renovation
Elevate Chinden LLC

3433 W Chinden Blvd
Garden City, Idaho 83714

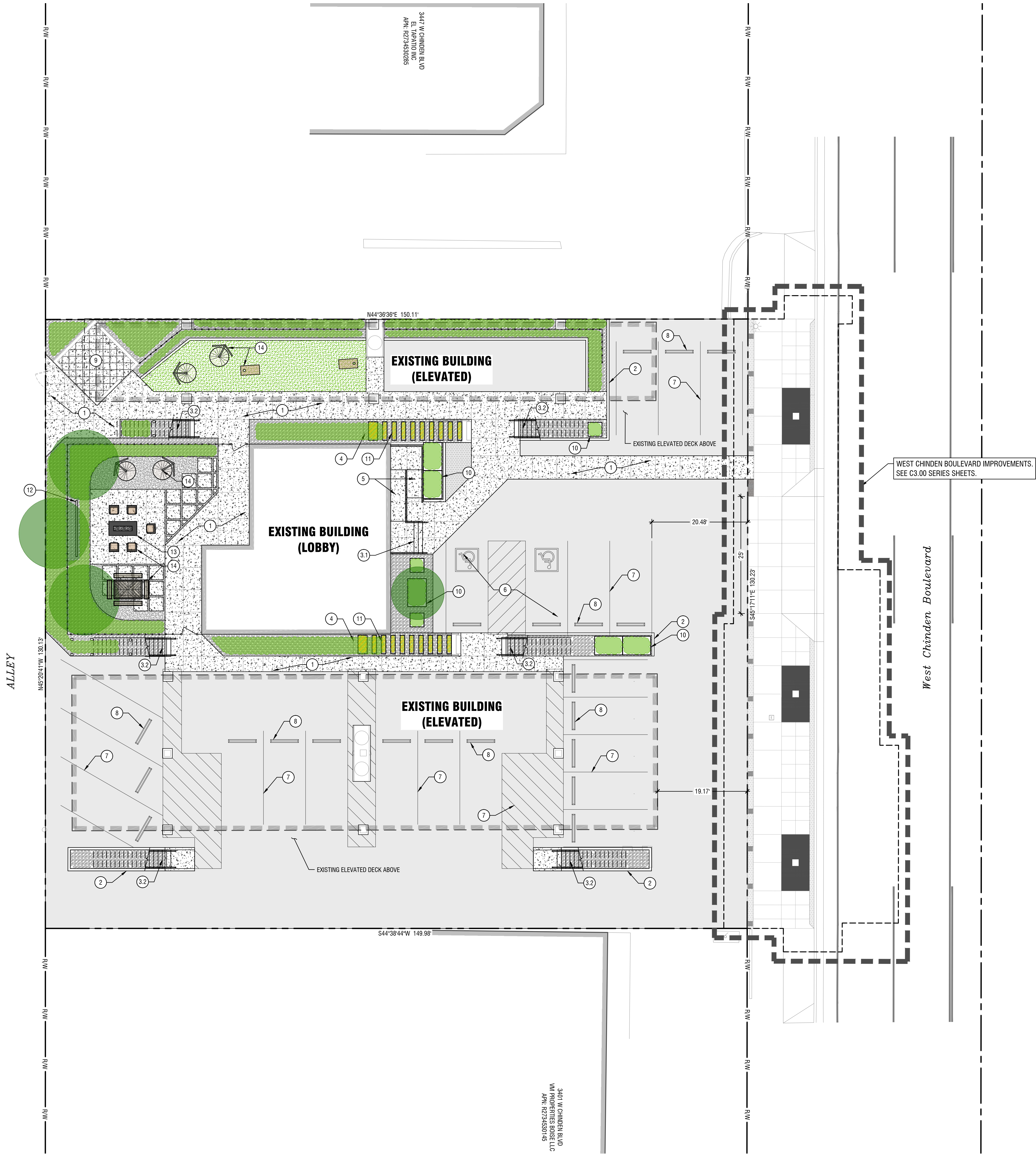
Revisions
1.

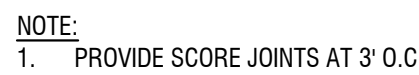


Project No.: 122166
Date of Issuance: 11.28.2023
Project Milestone: Progress Set

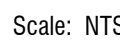
On-Site
Site Plan

C2.00

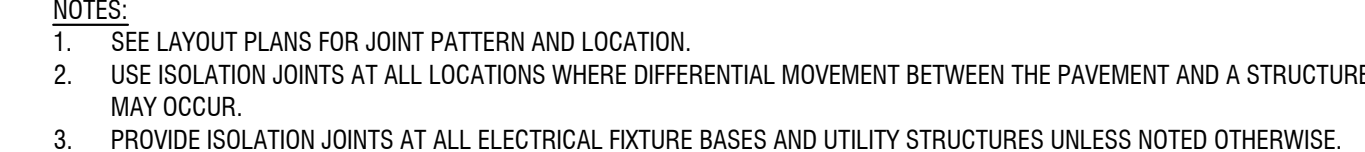




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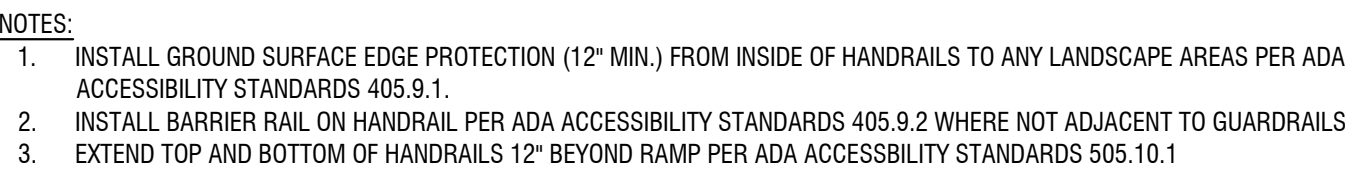
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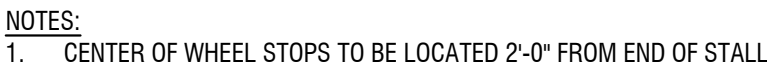
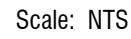
Scale: $1/2" = 1'$



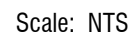
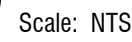
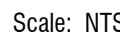
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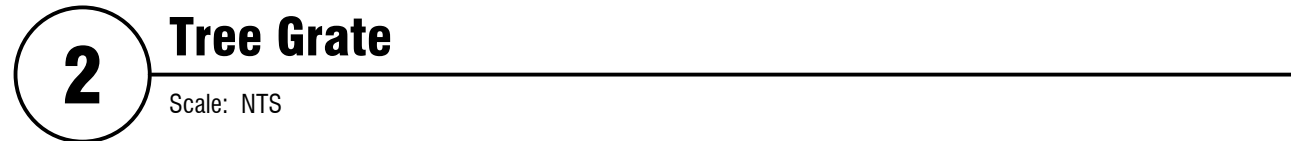
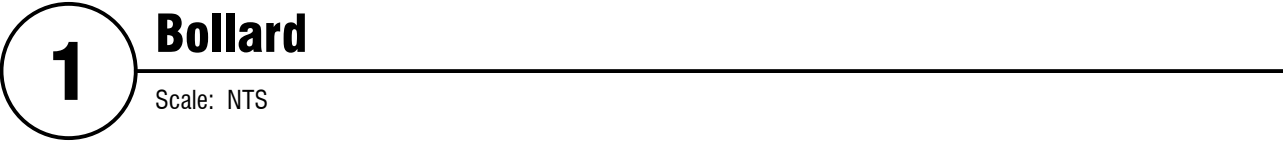


Scale: NTS



Scale: 1" = 1'





A. CONTRACTOR SHALL COMPLY WITH CONSTRUCTION NOTES ON SHEET CI.00.	I. IN THE EVENT OF A DISCREPANCY, NOTIFY THE ENGINEER AND/OR THE LANDSCAPE ARCHITECT IMMEDIATELY.
B. CONTRACTOR SHALL REPORT TO ENGINEER ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.	J. WHEREVER CONCRETE FLATWALK ABUTS BUILDINGS OR COLUMNS, IT SHALL HAVE AN EXPANSION JOINT.
C. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTORS RESPONSIBILITY.	K. PROVIDE JOINTS AS SHOWN ON PLANS AND PER DETAIL 4/C2-50. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWALK THAT DOES NOT CONFORM TO THE DESIGN.
D. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK.	L. TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
E. CONTRACTOR SHALL REPAIR ALL LANDSCAPE AND IRRIGATION AREAS DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS.	M. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED .5% CROSS SLOPE OF SIDEWALKS AND PEDESTRIAN RAMPS SHALL NOT EXCEED .2% SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 1:21 SLOPE IN ANY DIRECTION. FLATWALK ADJACENT TO THE BUILDING SHALL NOT EXCEED .2% CROSS SLOPE OR HAVE A CROSS SLOPE LESS THAN 1%.
F. CONTRACTOR SHALL PROVIDE FLATWALK REINFORCEMENT PER DETAIL 1012-24 AT ALL UTILITY STRUCTURES LOCATED WITHIN FLATWALK, WHETHER OR NOT SHOWN ON THIS PLAN.	N. FOR ASPHALT PAVEMENT AREAS, ALL SYMBOLS, WORD MARKINGS, CROSSWALKS, AND STOP BARS SHALL BE THERMOPLASTIC. ALL REMAINING PAVEMENT MARKINGS SHALL BE PAINT.
G. CONTRACTOR SHALL AT ALL TIMES, PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION, DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.	O. CONTRACTOR SHALL COMPLETELY OBLITERATE ALL CONFLICTING PAVEMENT MARKINGS.
H. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.	

— (3) 4" WHITE SKIP (7" LINE - 18" GAP)
(FOR SPEED ZONES 40 MPH OR LESS)

— (17) 4" SOLID WHITE

[illegible]

C3.20



Web location: p12325123766/acd_cd123766 c232 of 548 site planning
and Public Safety MyPy
Site Public. Wednesday, November 29, 2023 at 04:04 PM



VIEW OF PROPERTY FROM SOUTHBOUND CHINDEN BOULEVARD



VIEW OF PROPERTY FROM NORTHBOUND CHINDEN BOULEVARD



VIEW FROM PROPERTY LOOKING TO CHINDEN BOULEVARD



VIEW FROM PROPERTY LOOKING TO CHINDEN BOULEVARD – AREA OF ITD IMPROVEMENTS

ARCADIA MOTEL

ADDITION

3433 W CHINDEN BOULEVARD

GARDEN CITY, IDAHO 83714

PROJECT DATA

CODES	SITE DATA	BUILDING DATA
APPLICABLE CODES: <ul style="list-style-type: none">- 2018 INTERNATIONAL BUILDING CODE- 2018 INTERNATIONAL EXISTING BUILDING CODE- 2018 INTERNATIONAL ENERGY CONSERVATION CODE- 2017 IDAHO STATE PLUMBING CODE / 2015 UNIFORM PLUMBING CODE- 2017 NATIONAL ELECTRICAL CODE- 2018 INTERNATIONAL FIRE CODE- 2018 INTERNATIONAL MECHANICAL CODE- 2018 INTERNATIONAL FUEL GAS CODE- ICC-ANSI A117.1-2009- NFPA STANDARDS	LEGAL ADDRESS: 3433 W CHINDEN BLVD. GARDEN CITY, IDAHO 83714 TOWNSHIP/RANGE/SECTION: 3N2E05 ZONE CODE: C-1 PARCEL NUMBER(S): R2734530170 PROPERTY DESCRIPTION: W 10' OF LOT 2 LOT 3 LOT 32 E 20' OF LOT 33 BLK M FAIRVIEW ACRES SUB 4 #9042804	OCCUPANCY GROUP: R-1 CONSTRUCTION TYPE: V-B NUMBER OF STORIES: 2 BUILDING HEIGHT: 20'-0" (APPROX.) FIRE SPRINKLER SYSTEM: NO FIRE ALARM SYSTEM: YES BUILDING TOTAL AREA: 7,418 s.f. BUILDING 1 (OFFICE / LODGING): 1,390 s.f. BUILDING 2 (LEFT WING): 4,028 s.f. - NOT IN SCOPE BUILDING 3 (RIGHT WING): 2,000 s.f. - NOT IN SCOPE OCCUPANT LOAD: Building 1: (Office) 304 s.f. / 150 = 3 occupants Building 1: (Lodging) 1,086 s.f. / 200 = 6 occupants Building 2: 18 Suites = 36 occupants Building 3: 9 Suites = 18 occupants Total: 63 occupants EXITS: REQUIRED = Building 1: 1 Building 2: 2 Building 3: 2 PROVIDED = Building 1: 1 Building 2: 4 Building 3: 2

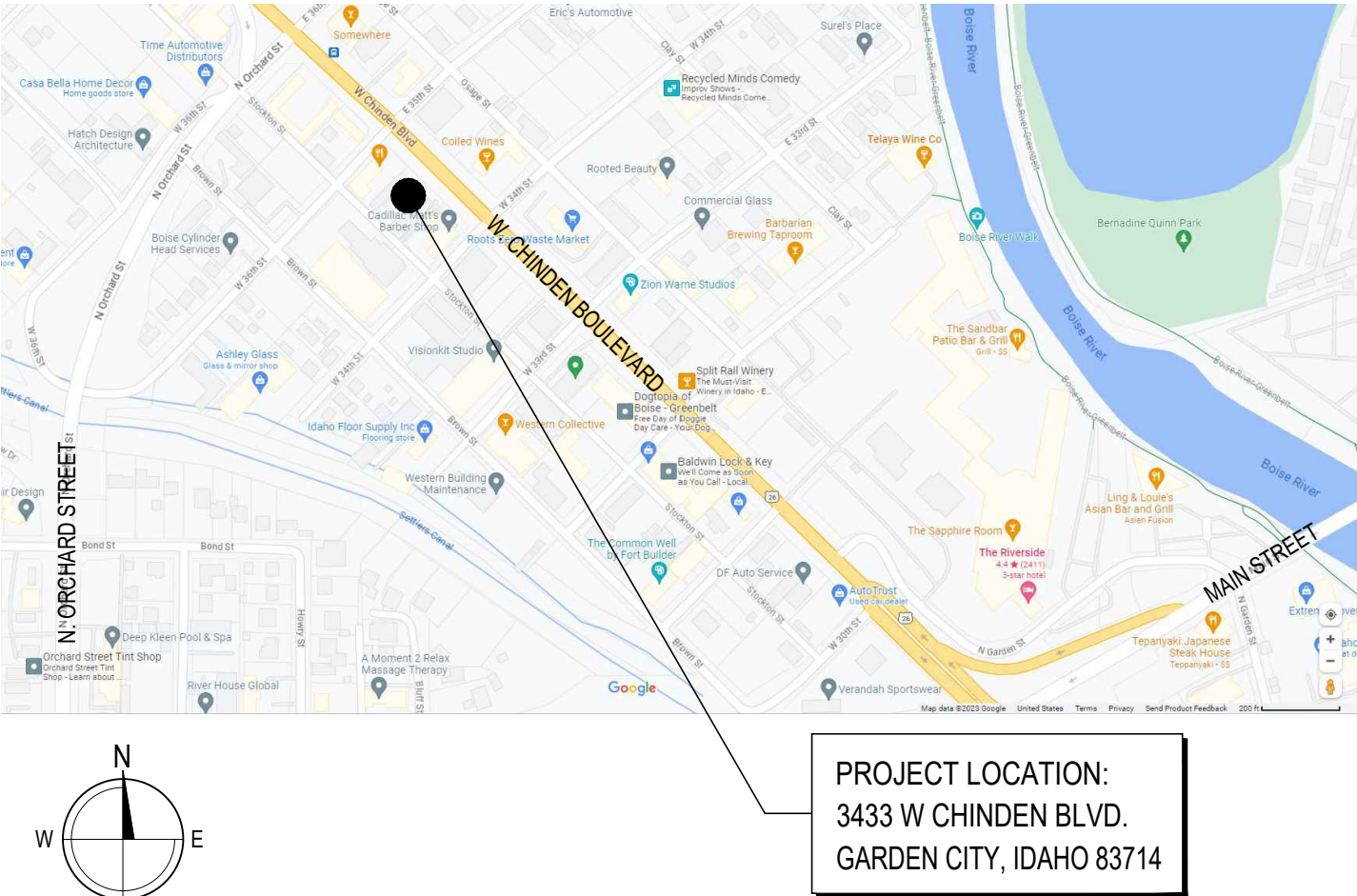
PROJECT TEAM

OWNER: ELEVATE GARDEN CITY LLC PO Box 927215 San Diego, CA 92192 TEL: 661.547.9567	STRUCTURAL: SAGE ENGINEERING 1963 S. Coronado Avenue Boise, Idaho 83709 TEL: 208.855.5082
ARCHITECT: RUDEEN ARCHITECTS 199 N. Capitol Boulevard, Suite #602 Boise, Idaho 83702 TEL: 208.338.1413 FAX: 208.336.0371	M.E.P.: DC ENGINEERING INC. 440 E. Corporate Drive, Suite #103 Meridian, Idaho 83642 TEL: 208.288.2161 FAX: 208.288.2812

KEY TO SYMBOLS

Door Number Callout	Window/Relite Callout	Keynote
Material Key Callout	Drawing Revision Callout	Elevation (Sect./Elev.)
Grid Callout	Elevation (Plan)	Wall Type Callout
Room Name / Number	Elevation Callout	Detail Callout
STAIR	Detail Designation	Sheet Location
Building Section Callout	Detail Designation	Area Detailed
Detail Designation	Sheet Location	Detail Section Callout
Detail Designation	Sheet Location	Detail Designation
Detail Designation	Sheet Location	Detail Designation

VICINITY PLAN



SHEET INDEX

ARCHITECTURAL <ul style="list-style-type: none">A0.00 TITLE & INFORMATIONA0.01 CODE INFORMATIONA0.02 IECC COMPLIANCEA1.01 SITE PLANA2.00 GROUND FLOOR DEMOLITION PLANA2.01 GROUND FLOOR PLANA2.02 UPPER FLOOR PLANA2.03 ROOF PLANA3.01 EXTERIOR ELEVATIONSA4.01 BUILDING SECTIONSA5.01 SCHEDULES & DETAILS	ELECTRICAL <ul style="list-style-type: none">E0.00 ELECTRICAL COVER SHEETE0.01 ELECTRICAL IECC ENERGY COMPLIANCEE1.00 ELECTRICAL SITE PLANE2.01 ELECTRICAL POWER PLANE2.02 ELECTRICAL LIGHTING PLANE3.00 ELECTRICAL SCHEDULES & DETAILS
CIVIL / LANDSCAPING <ul style="list-style-type: none">C1.00 COVER & NOTESC2.00 ON-SITE SITE PLANC2.50 ON-SITE SITE DETAILSC3.10 OFF-SITE EXISTING CONDITIONS AND DEMOLITION PLANC3.20 OFF-SITE SITE PLANC3.30 OFF-SITE GRADING PLAN	MECHANICAL <ul style="list-style-type: none">M0.00 HVAC COVER SHEETM0.01 HVAC LOAD & VENTILATION CALCULATIONSM2.00 HVAC DEMOLITION PLANM2.01 HVAC PLANSM3.00 HVAC SCHEDULES & DETAILS
STRUCTURAL <ul style="list-style-type: none">S0.01 STRUCTURAL NOTESS0.02 SPECIAL INSPECTIONSS0.03 SPECIAL INSPECTIONSS0.04 STRUCTURAL SCHEDULESS1.01 FOUNDATION PLANS1.02 SECOND FLOOR FRAMING PLANS2.01 ROOF FRAMING PLAN	PLUMBING <ul style="list-style-type: none">P0.00 PLUMBING COVER SHEETP0.01 PLUMBING CALCULATIONSP2.00 PLUMBING DEMOLITION PLANP2.01 PLUMBING WASTE & VENT PLANSP2.02 PLUMBING DOMESTIC WATER PLANSP3.00 PLUMBING SCHEDULESP4.00 PLUMBING DETAILS

TITLE & INFORMATION

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

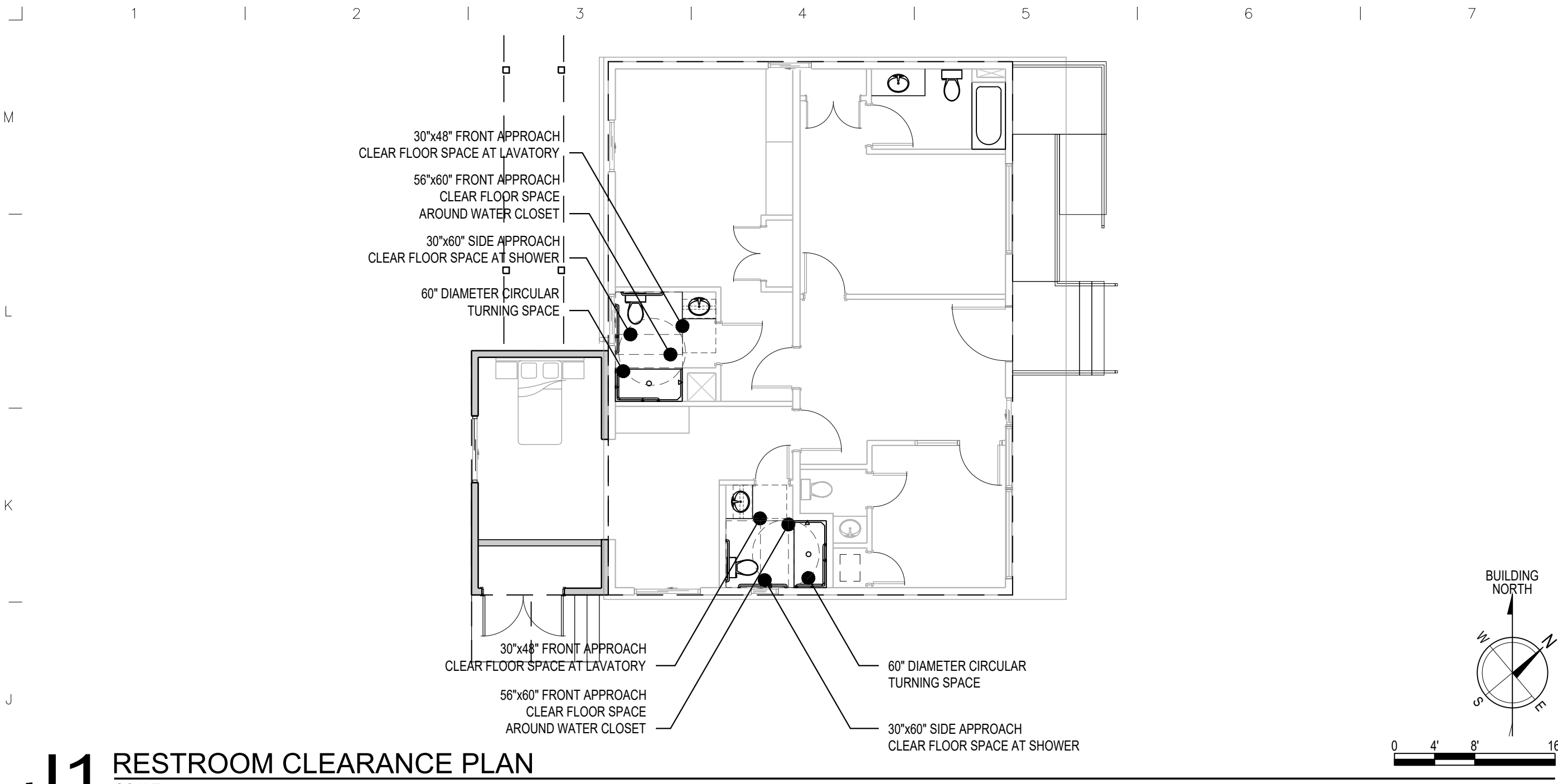
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2329 A000.DWG

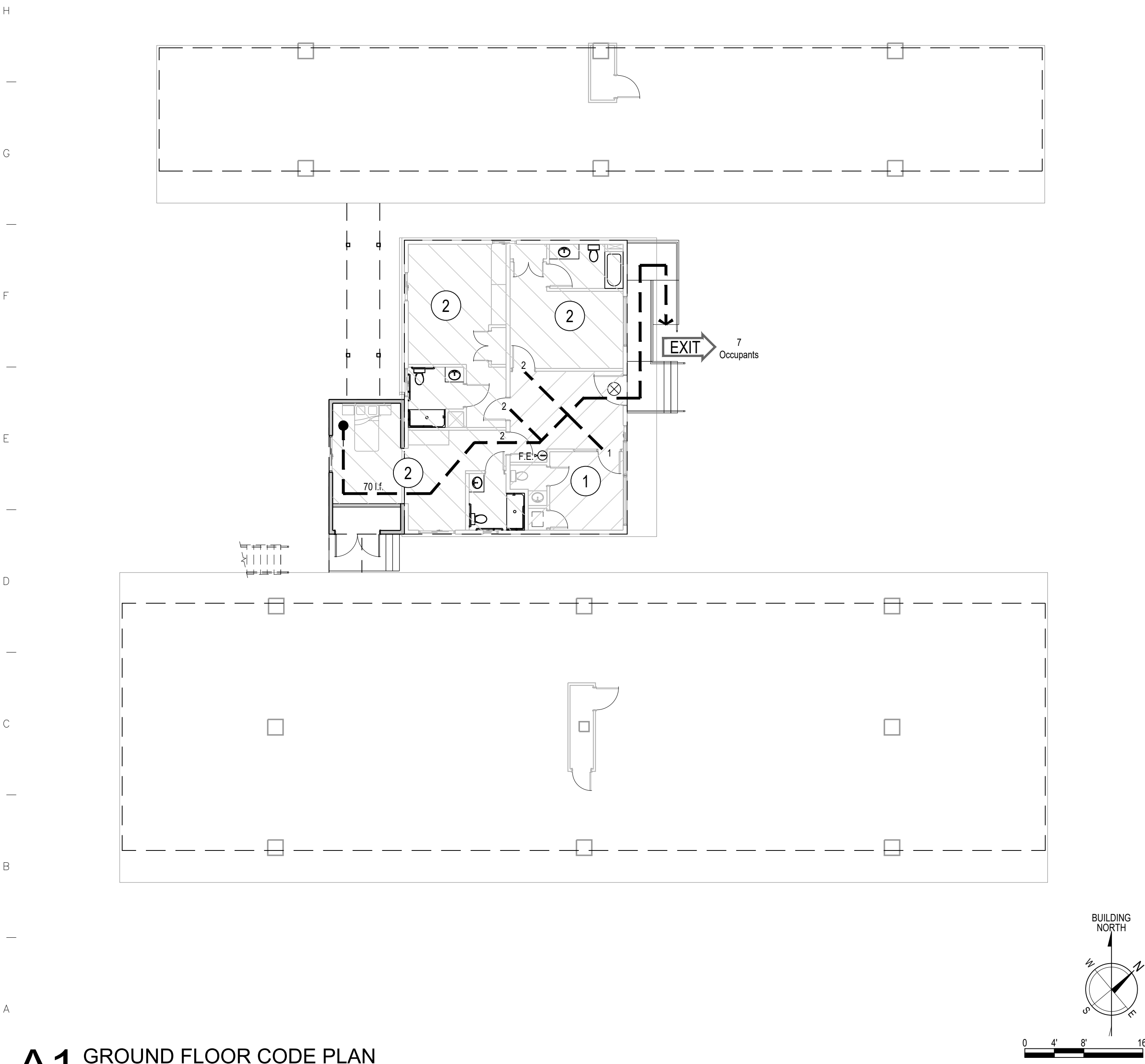
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Revisions:

A0.00



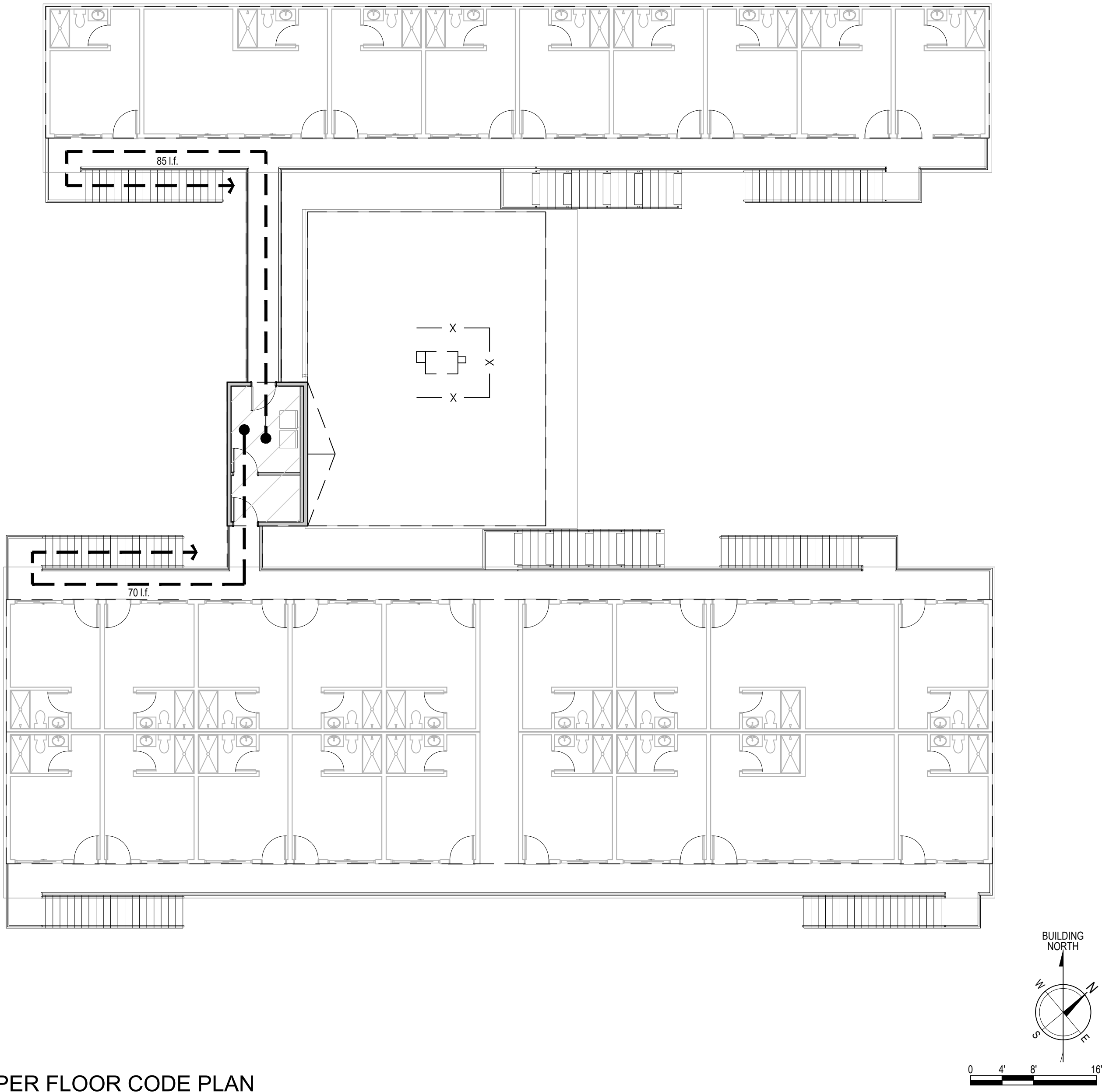
J1 RESTROOM CLEARANCE PLAN
SCALE: 1/8" = 1'-0"



A1 GROUND FLOOR CODE PLAN
SCALE: 3/32" = 1'-0"

BUILDING CODE LEGEND

- BUSINESS OCCUPANCY GROUP B, PER SECTION 304 OF THE 2018 IBC
- RESIDENTIAL OCCUPANCY GROUP R-1, PER SECTION 310 OF THE 2018 IBC
- OCCUPANT LOAD OF AREA PER SECTION 1004 OF THE 2018 IBC
- EXITING REQUIRED LOCATION
- EXIT SIGN (EXISTING)
- FIRE EXTINGUISHER WITH WALL MOUNT BRACKET (EXISTING)



A9 UPPER FLOOR CODE PLAN
SCALE: 3/32" = 1'-0"

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Addition:

**ARCADIA
MOTEL**

3433 W CHINDEN BLVD.
GARDEN CITY, ID 83714

CODE INFORMATION

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A001.DWG

File Name:

Revisions:

A0.01

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LEGAL ADDRESS:	3433 W. CHINDEN BLVD. GARDEN CITY, ID 83714
PARCEL NUMBER:	R2734530170
LAND USE ZONE:	C-1
TOTAL SITE AREA:	19,533 SF
BUILDING AREA:	1,520 SF
BUILDING AREA % OF SITE:	8%
LANDSCAPE AREA :	1,960 SF
LANDSCAPE AREA % OF SITE:	10%
PAVED AREA:	16,063 SF
PAVED AREA % OF SITE:	82%

PARKING REQUIRED (TITLE 8-4D-3):

BUILDING AREA -	7,418 / 1,000 = 7
LODGING ROOMS -	30' 5" = 16

TOTAL PARKING STALLS REQUIRED = **22 STALLS**
TOTAL ACCESSIBLE STALLS REQUIRED = **1 STALLS**

PARKING PROVIDED:

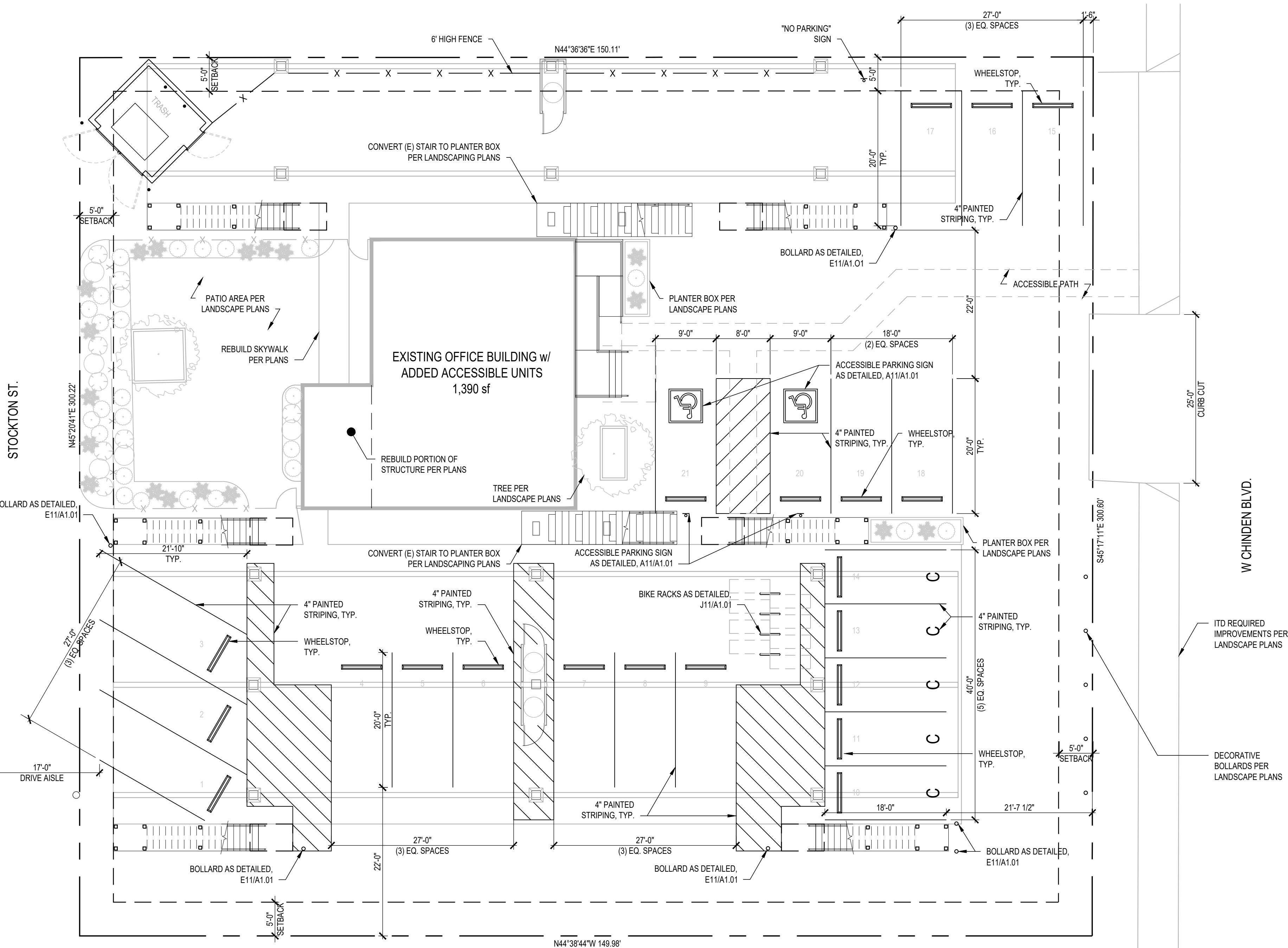
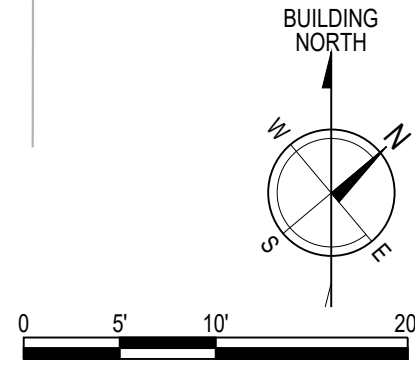
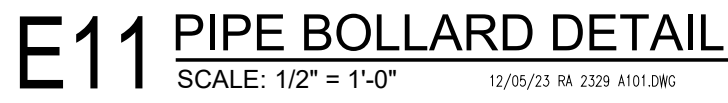
STANDARD STALLS = 14 STALLS
COMPACT STALLS = 6 STALLS
ACCESSIBLE STALLS = 2 STALLS

BICYCLE PARKING REQUIRED (TITLE 8-4D-4):

BUILDING AREA -	7,418 / 1,000 = 7 STALLS
-----------------	--------------------------

TOTAL BICYCLE PARKING PROVIDED = 8 SPACES

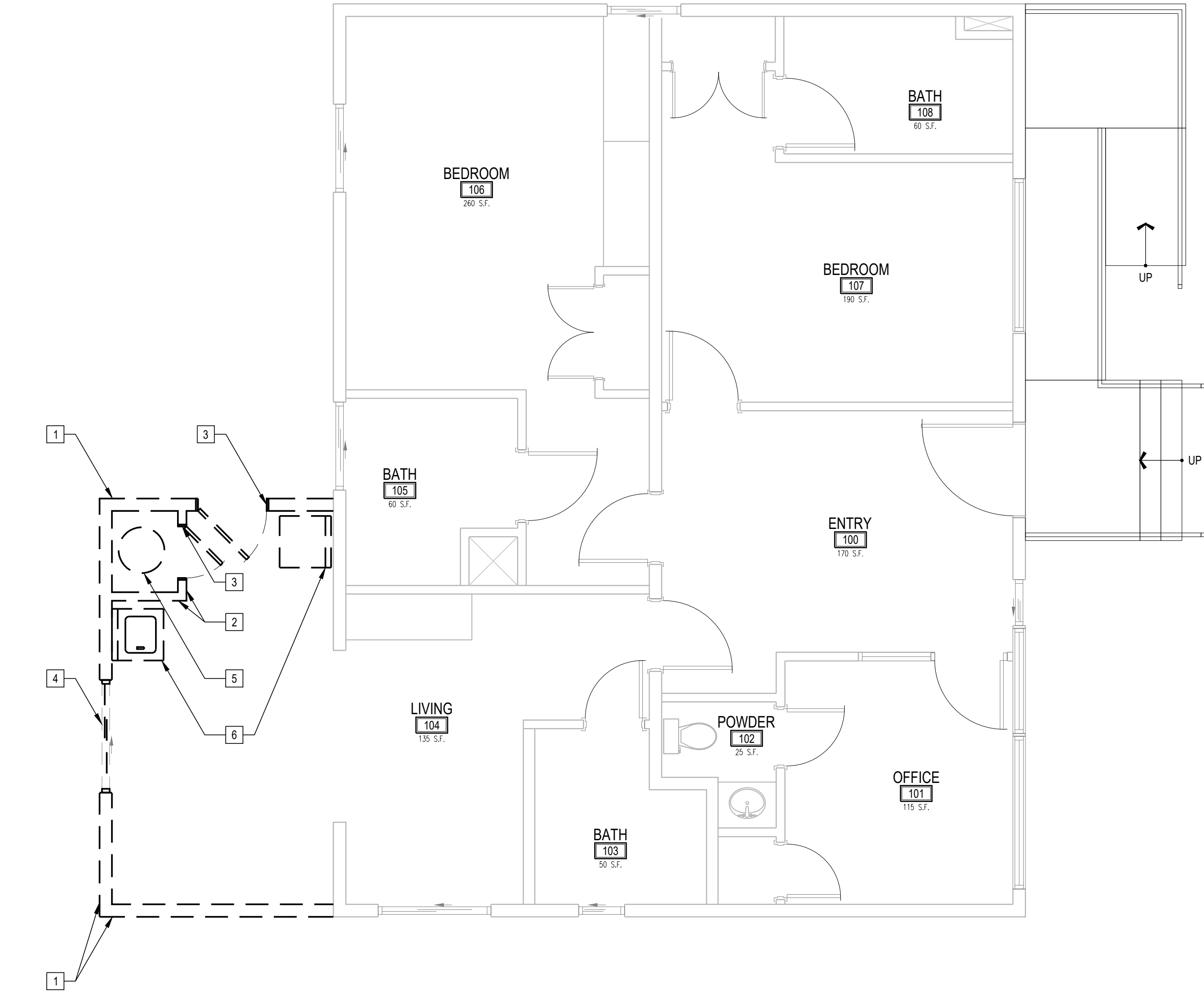
W 10' OF LOT 2 LOT 3
LOT 32 E 20' OF LOT 33
BLK M
FAIRVIEW ACRES SUB 4
#9042804



12/05/23 -- 1:19:46 PM -- rudeenarchitects -- CHRIS ANDERSON

A1 GROUND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



DEMOLITION KEYNOTES

1. REMOVE EXISTING LOAD-BEARING WALL, FLOORING, ROOF & ASSOCIATED ITEMS DOWN TO THE FOUNDATION.
2. REMOVE EXISTING PARTITION WALL & ASSOCIATED ITEMS TO THE EXTENT SHOWN.
3. REMOVE EXISTING DOOR, FRAME, AND HARDWARE. SALVAGE PER OWNER'S DIRECTION.
4. REMOVE EXISTING WINDOW & ALL ASSOCIATED ITEMS.
5. REMOVE EXISTING WATER HEATER & ALL ASSOCIATED ITEMS. CAP OFF ALL LINES NO LONGER IN USE.
6. REMOVE EXISTING FURNITURE. SALVAGE PER OWNER'S DIRECTION.

DEMOLITION GENERAL NOTES

- A. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE BEGINNING SELECTIVE DEMOLITION. COMPLY WITH HAULING, DISPOSAL AND RECYCLING REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- B. NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
- C. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT.
- D. PLAN SHOWS GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER WORK REQUIRED TO PRODUCE THE IMPROVEMENTS.
- E. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
- F. EXISTING SERVICES/SYSTEMS: MAINTAIN SERVICES/SYSTEMS INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION.
- G. SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- H. PROTECT EXISTING TO REMAIN, PATCH AND REPAIR WHERE DAMAGE OCCURS DURING SELECTIVE DEMOLITION AND CONSTRUCTION.
- I. FACILITY TO BE SECURE AND WEATHER TIGHT AS REQUIRED TO PREVENT DAMAGE.
- J. PROVIDE SHORING/LATERAL SUPPORT FOR ALL STRUCTURAL ITEMS TO REMAIN AS REQUIRED PRIOR TO DEMOLITION OR NEW CONSTRUCTION WORK.
- K. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING ALL SURFACES FROM REMOVAL OF EXISTING CONSTRUCTION AND/OR EQUIPMENT WHETHER INDICATED OR NOT.
- L. UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY.
- M. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED.
- N. SURFACES IN THE CONSTRUCTION AREA SHALL BE MAINTAINED IN A BROOM CLEAN CONDITION AT THE END OF EACH WORK DAY.
- O. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

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Addition:

ARCADIA
MOTEL

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GARDEN CITY, ID 83714

GROUND FLOOR
DEMOLITION PLAN

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A200.DWG

File Name:

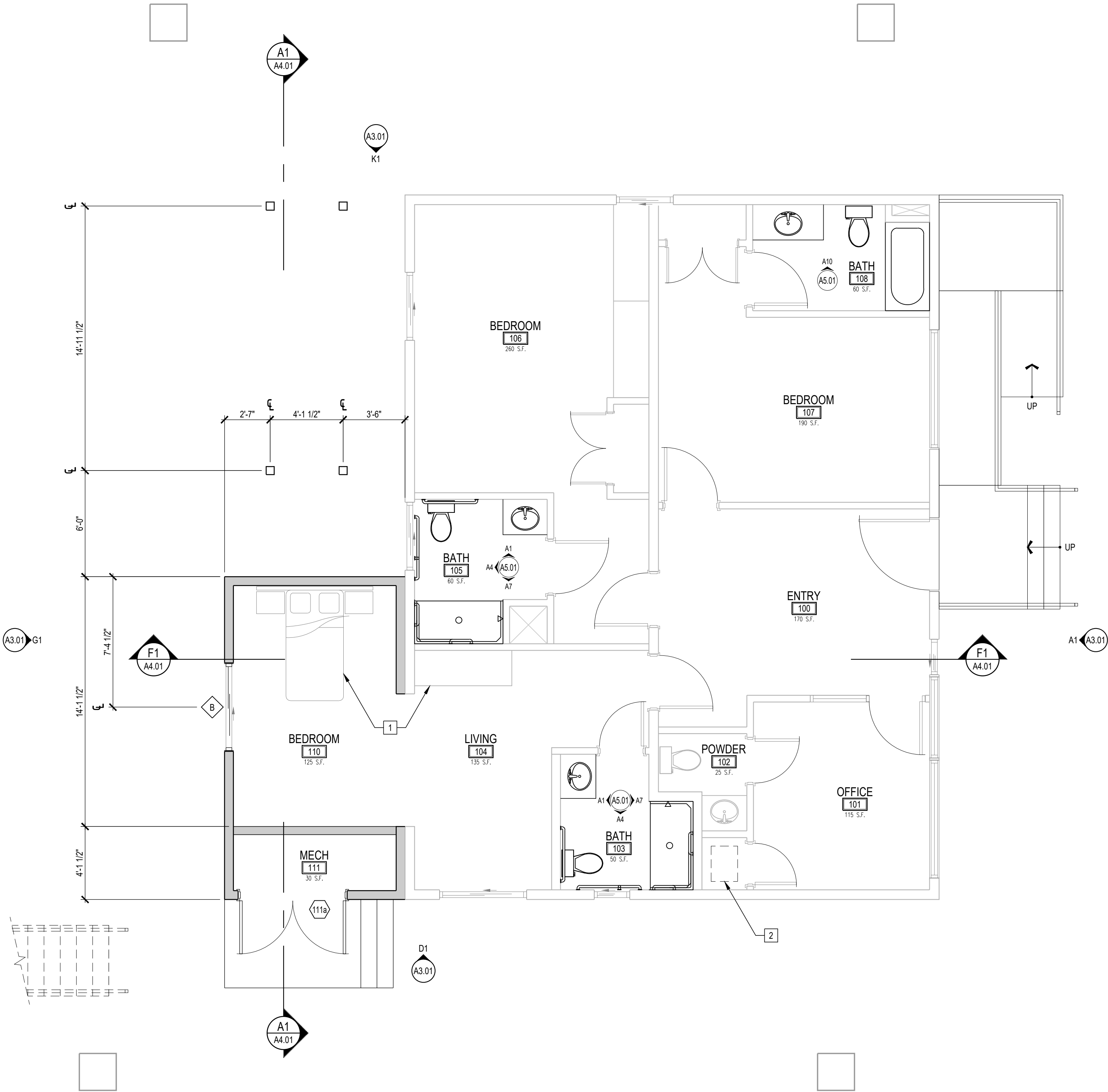
Revisions:

A2.00

12/05/23 -- 1:19:48 PM -- rudeenarchitects -- CHRIS ANDERSON

A1 GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



KEY NOTES

- FURNITURE, O.F.C.I. COORDINATE WITH OWNER.
- PROVIDE 18"x24" CRAWL SPACE ACCESS.

GENERAL NOTES

- ALL WORK SHALL BE PROVIDED AND INSTALLED AS A COMPLETE SYSTEM USING MATERIALS AND WORKMANSHIP OF HIGH QUALITY.
- ALL DOOR FRAMES SHALL BE 4" FROM PERPENDICULAR WALL AT HINGE SIDE UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING AS REQUIRED FOR WALL MOUNTED ITEMS AS REQUIRED.
- ALL DIMENSIONS ARE TO FACE OF, OR CENTERLINE OF, PRIMARY STRUCTURAL COMPONENT OF CONSTRUCTION ASSEMBLY, AS SHOWN ON THE DRAWINGS, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO WORK AND NOTIFY ARCHITECT OF ANY DIMENSION REVISIONS.
- WHERE ITEMS ARE NOT SPECIFIED, BUILDING STANDARDS SHALL BE MAINTAINED.
- SEE A5.01 FOR DOOR & FINISH SCHEDULE.
- SEE SHEET A5.01 FOR FIXTURE MOUNTING HEIGHTS & DETAILS.

VENTILATION NOTES

- THE ENTIRE GROUND SURFACE OF THE CRAWL SPACE SHALL BE TREATED WITH AN APPROVED VAPOR RETARDED MATERIAL (VAPOR BARRIER) - TYP.
- UNDER FLOOR VENTILATION REQUIREMENTS - A MIN. NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 sq ft FOR EACH 1,500 sq ft OF CRAWL SPACE AREA SINCE THE GROUND SURFACE OF THE CRAWL SPACE IS TO BE TREATED WITH AN APPROVED VAPOR RETARDED MATERIAL AND THE REQUIRED OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE CRAWL SPACE. VENTILATED OPENINGS SHALL BE COVERED FOR HEIGHT & WIDTH BY MATERIALS APPROVED BY THE BUILDING CODE, PROVIDED THAT THE LEAST DIMENSION OF COVERING SHALL NOT EXCEED 1/4".

LEGEND

- DOOR NUMBER CALLOUT.
RE: SHEET A5.01.
- WINDOW CALLOUT.
RE: SHEET A5.01.

GROUND FLOOR PLAN

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A201.DWG

File Name:

Revisions:

A2.01

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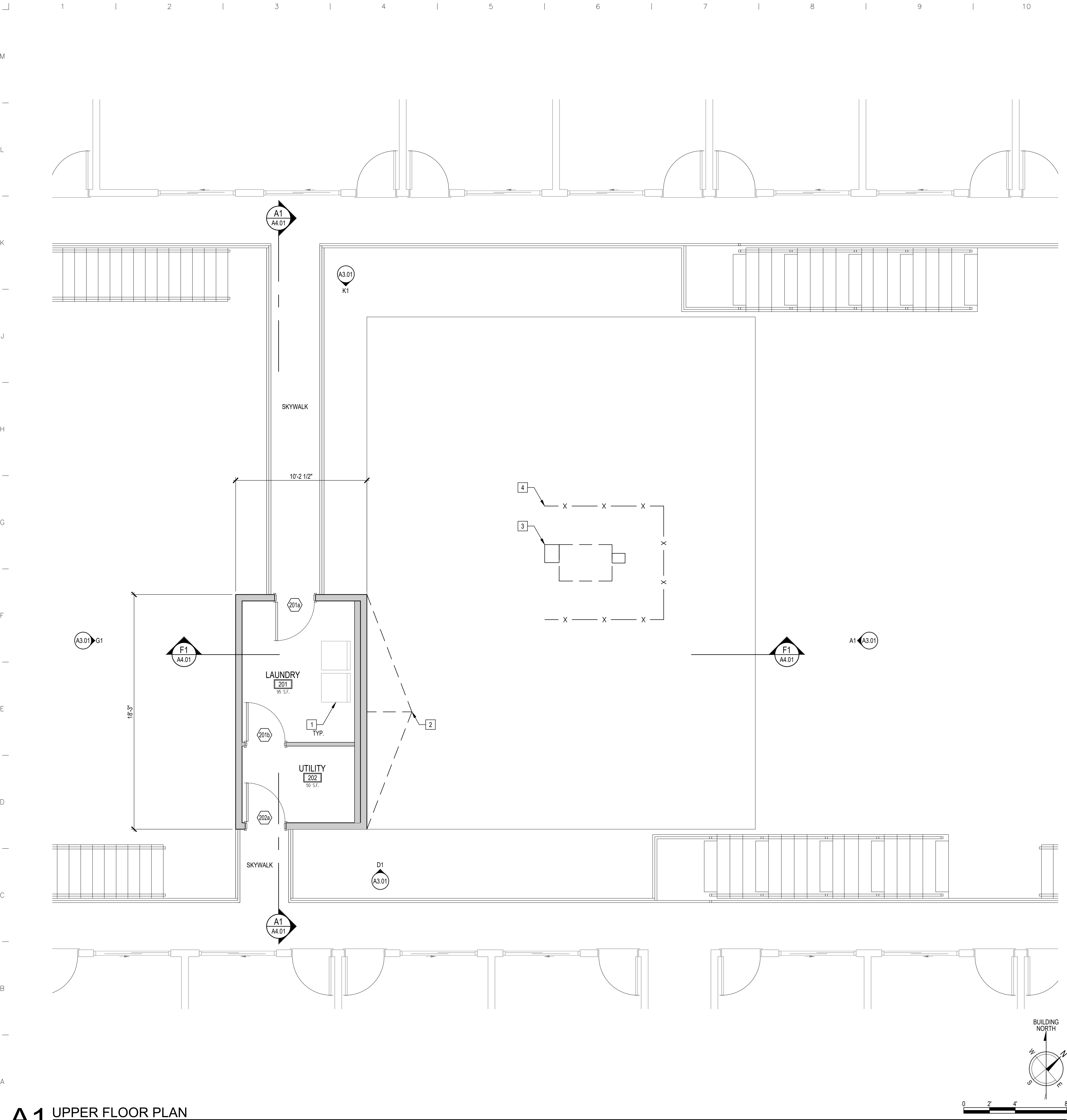
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Addition:

ARCADIA MOTEL

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GARDEN CITY, ID 83714

12/05/23 -- 1:19:50 PM -- rudeenarchitects -- CHRIS ANDERSON



A1 UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEY NOTES

- FURNITURE, O.F.C.I. COORDINATE WITH OWNER.
- PROVIDE CRICKET TO SHED WATER AWAY AS REQUIRED.
- ERV PER MECHANICAL PLANS.
- MECHANICAL SCREEN PER DETAIL C11 / A2.03.

GENERAL NOTES

- ALL WORK SHALL BE PROVIDED AND INSTALLED AS A COMPLETE SYSTEM USING MATERIALS AND WORKMANSHIP OF HIGH QUALITY.
- ALL DOOR FRAMES SHALL BE 4" FROM PERPENDICULAR WALL AT HINGE SIDE UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING AS REQUIRED FOR WALL MOUNTED ITEMS AS REQUIRED.
- ALL DIMENSIONS ARE TO FACE OF, OR CENTERLINE OF, PRIMARY STRUCTURAL COMPONENT OF CONSTRUCTION ASSEMBLY, AS SHOWN ON THE DRAWINGS, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO WORK AND NOTIFY ARCHITECT OF ANY DIMENSION REVISIONS.
- WHERE ITEMS ARE NOT SPECIFIED, BUILDING STANDARDS SHALL BE MAINTAINED.
- SEE A5.01 FOR DOOR & FINISH SCHEDULE.
- SEE SHEET A5.01 FOR FIXTURE MOUNTING HEIGHTS & DETAILS.

LEGEND

- DOOR NUMBER CALLOUT.
RE: SHEET A5.01.
- WINDOW CALLOUT.
RE: SHEET A5.01.

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Addition:

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UPPER FLOOR PLAN

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A202.DWG

File Name:

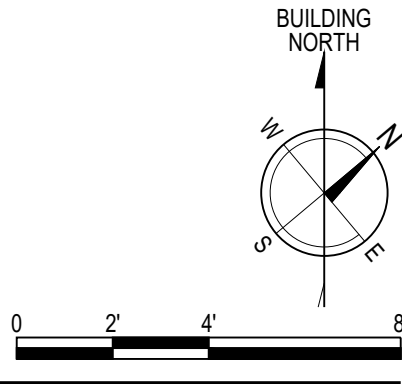
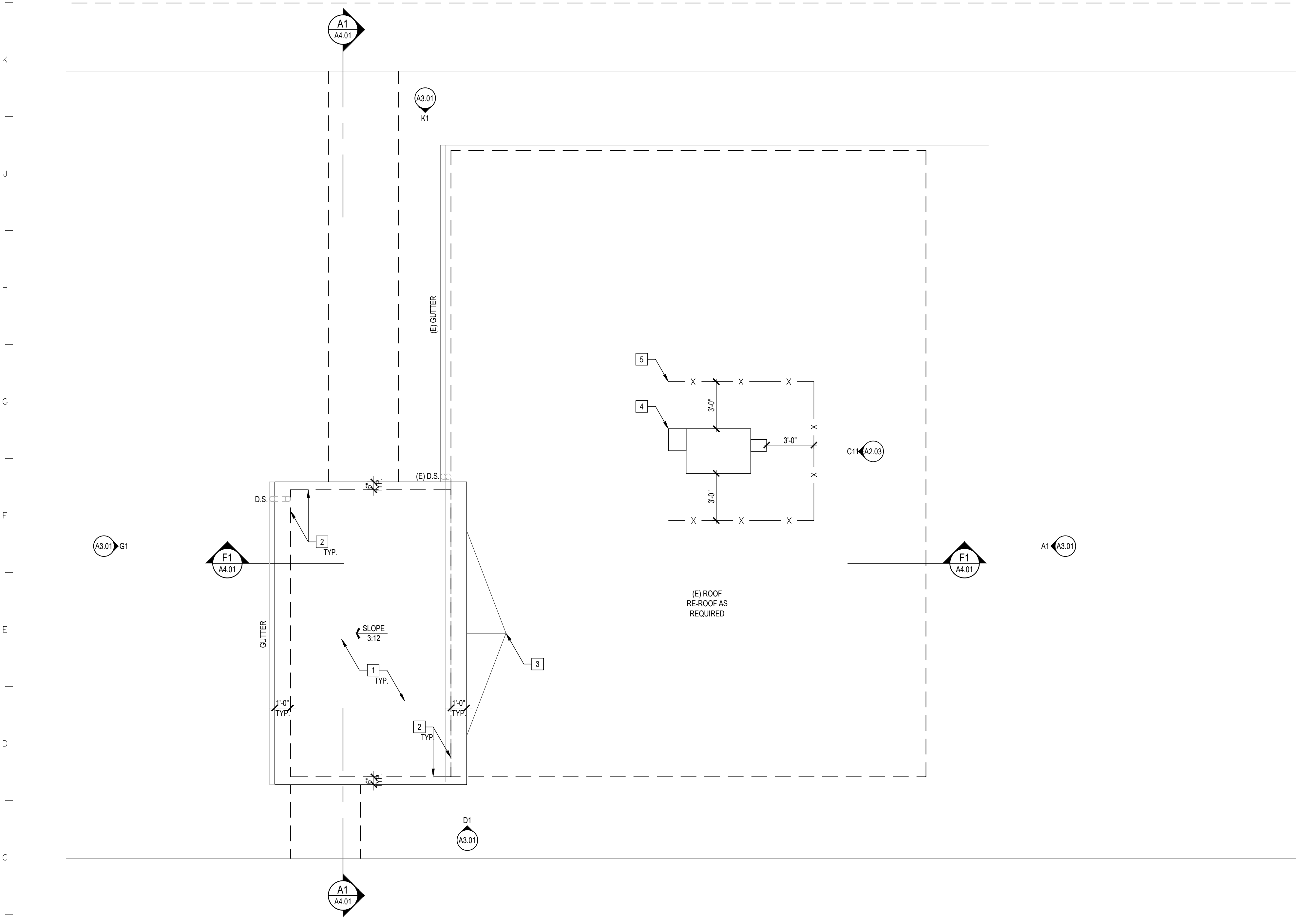
Revisions:

A2.02

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A1 ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN KEYED NOTES

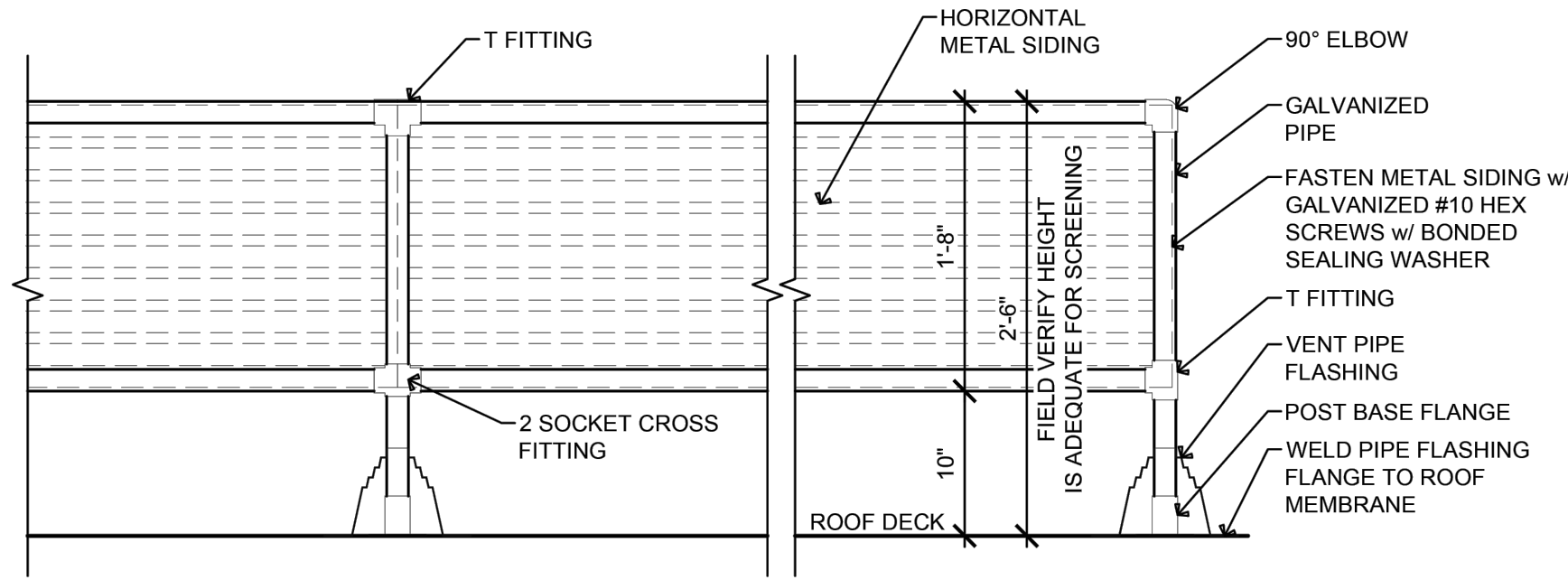
- 60 MIL SINGLE PLY TPO ROOFING SYSTEM w/ ROOF SHEATHING.
- LINE OF WALL BELOW.
- PROVIDE CRICKET TO SHED WATER AWAY AS REQUIRED.
- ERV PER MECHANICAL PLANS.
- MECHANICAL SCREEN PER DETAIL C11 / A2.03.

ROOF PLAN GENERAL NOTES

- GUTTERS, DOWNSPOUTS, AND SPLASH BLOCKS. PROVIDE CONTINUOUS GUTTERS AT BASE OF ALL ROOF SLOPES. PROVIDE DOWNSPOUTS AT LOCATIONS SPACED PER THE GUTTER MANUFACTURER'S RECOMMENDATIONS FOR THE GIVEN ROOF AREA. VERIFY AND COORDINATE LOCATIONS WITH ROOF PLAN AND EXTERIOR ELEVATIONS. PROVIDE A SPLASH BLOCK AT EACH DOWNSPOUT LOCATION.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- DRAFT STOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" GYP. BD., 3/8" WOOD STRUCTURAL PANEL, 3/8" PARTICLE BOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.
- A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.
- THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
- PROVIDE ADDITIONAL ROOF VENTS AT LOCATIONS AS REQ'D. COORDINATE WITH VENTILATION REQUIREMENTS AND DRAFTSTOP LOCATIONS.

C11 ROOF TOP EQUIPMENT SCREENING DETAIL

SCALE: 1" = 1'-0"



ROOF PLAN

Sheet Title:

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2329

Project Number:

20 SEPTEMBER 2023

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2329 A203.DWG

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A2.03

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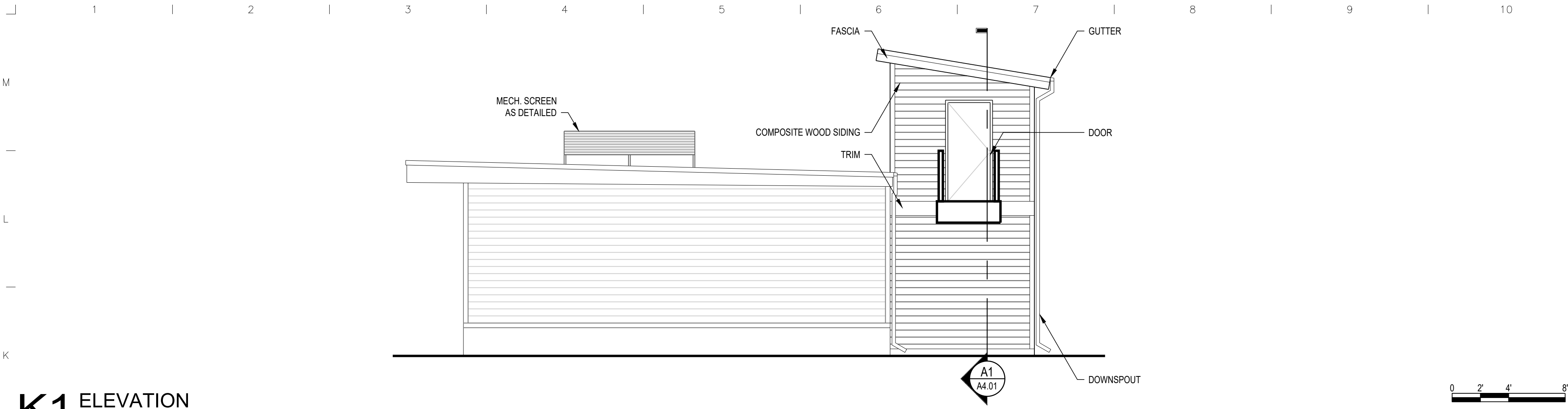
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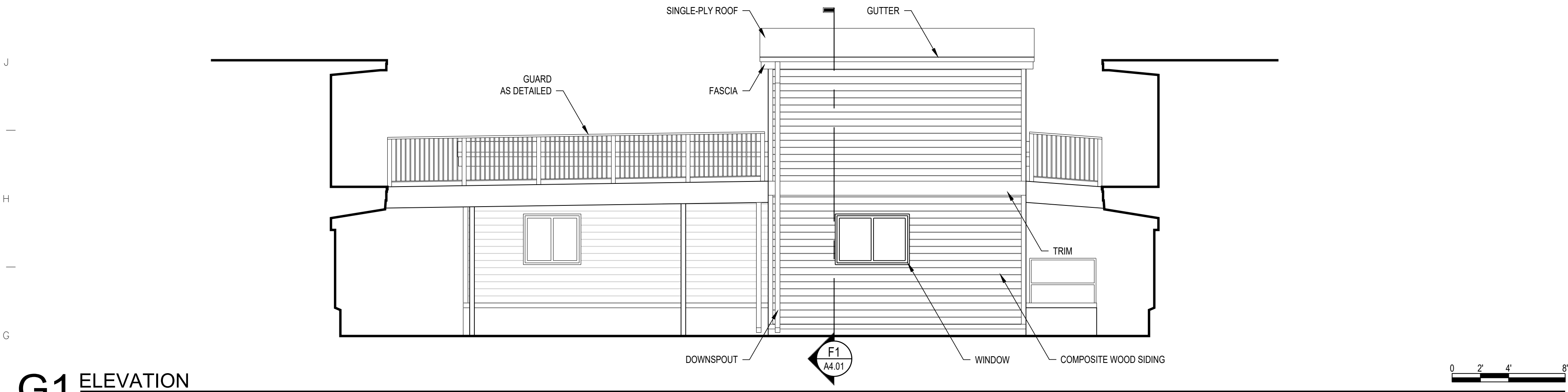
ARCADIA MOTEL

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GARDEN CITY, ID 83714

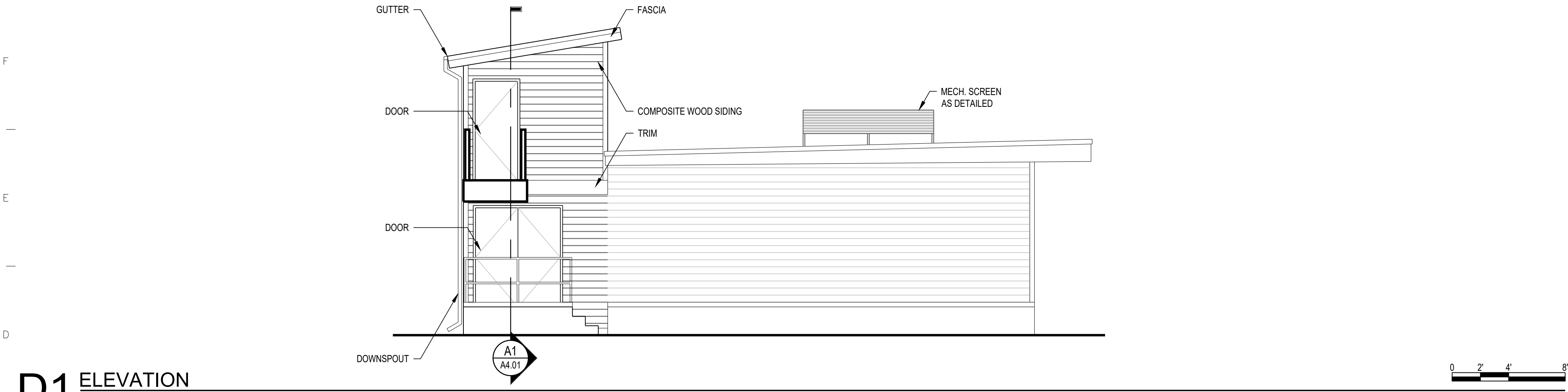
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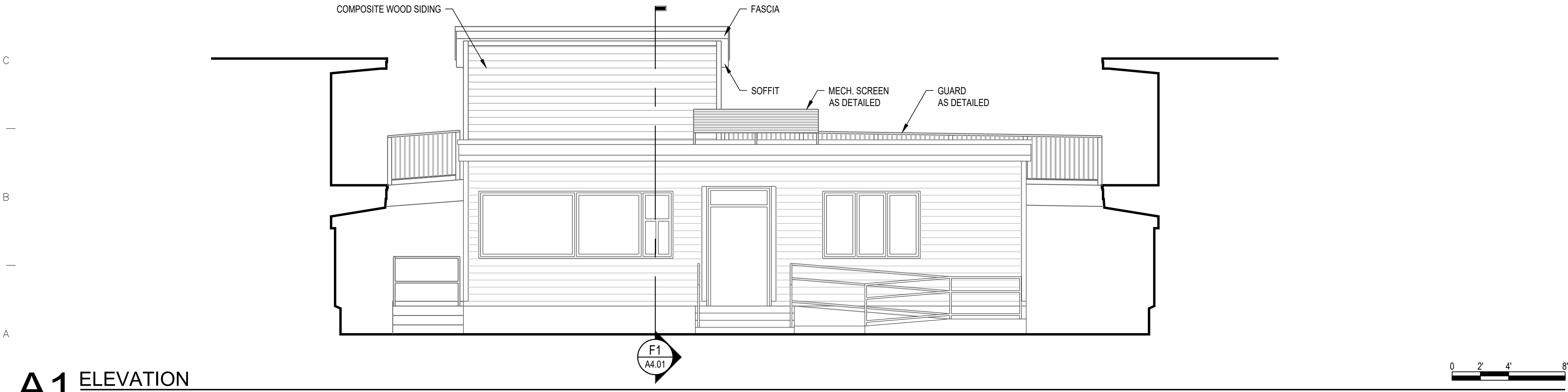
K1 ELEVATION
SCALE: 3/16" = 1'-0"



G1 ELEVATION
SCALE: 3/16" = 1'-0"



D1 ELEVATION
SCALE: 3/16" = 1'-0"



A1 ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR MATERIAL LIST

ROOF
SINGLE-PLY ROOFING SYSTEM:
STYLE: MATCH EXISTING
COLOR: MATCH EXISTING

SIDING
COMPOSITE WOOD SIDING:
STYLE: MATCH EXISTING
COLOR: MATCH EXISTING

DOORS
ENTRY:
STYLE: MATCH EXISTING
COLOR: MATCH EXISTING

WINDOWS
OPERABLE / FIXED:
STYLE: MATCH EXISTING
COLOR: MATCH EXISTING

TRIM
FASCIA / TRIM:
STYLE: MATCH EXISTING
COLOR: MATCH EXISTING

SOFFIT
COMPOSITE SOFFIT:
STYLE: MATCH EXISTING
COLOR: MATCH EXISTING

GUARD
42" HIGH WROUGHT IRON GUARD RAIL w/ BALLASTS @ 4" MIN.:
STYLE: MATCH EXISTING
COLOR: MATCH EXISTING

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EXTERIOR ELEVATIONS

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A301.DWG

File Name:

Revisions:

A3.01

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

M

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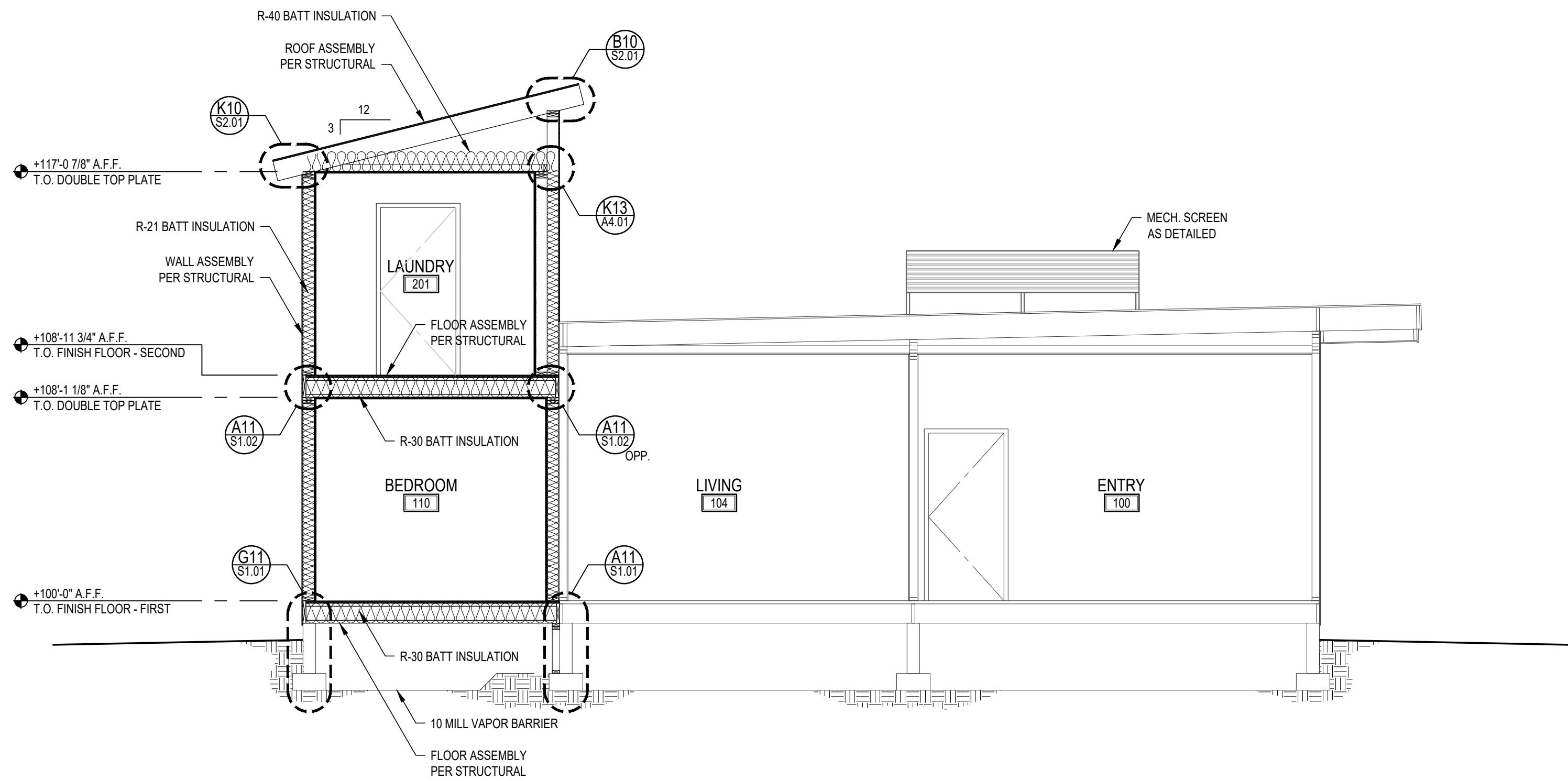
G

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F

F1 BUILDING SECTION

SCALE: 1/4" = 1'-0"



0 2' 4' 8'

E

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D

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C

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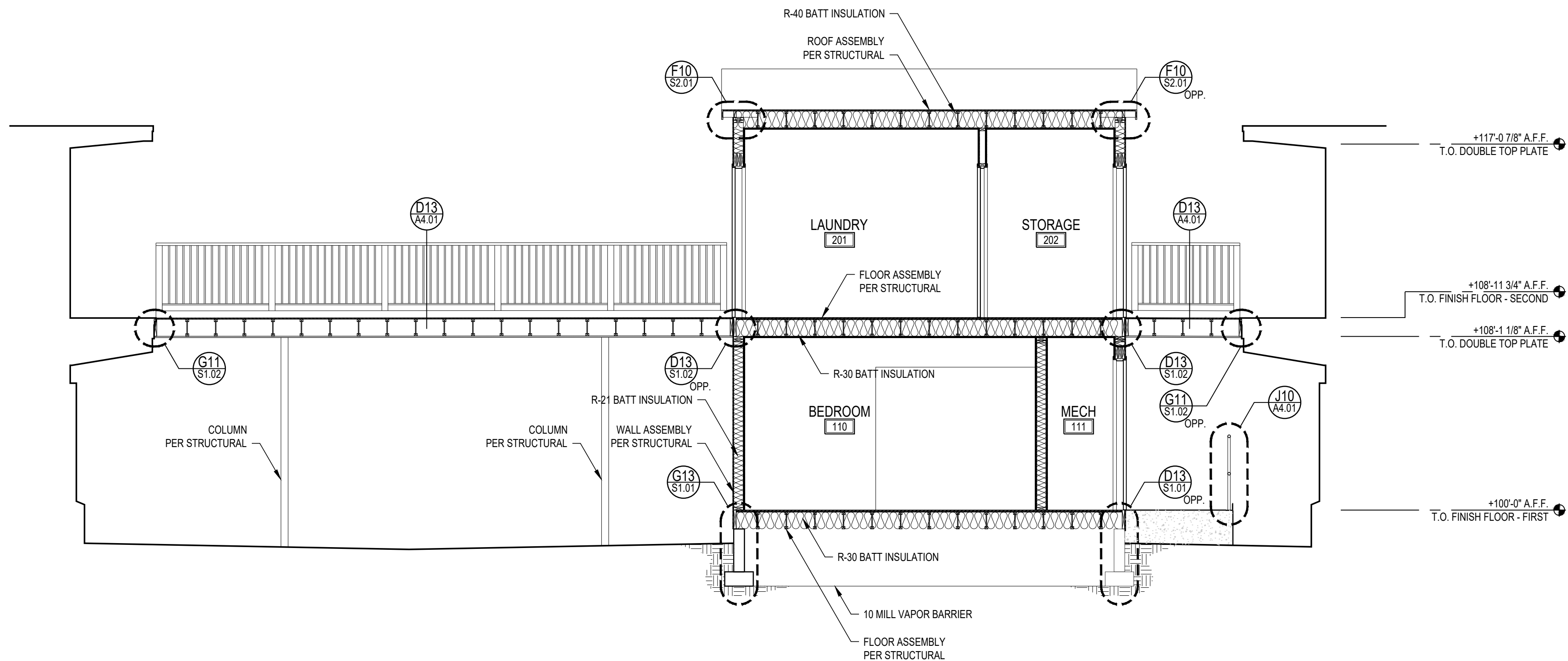
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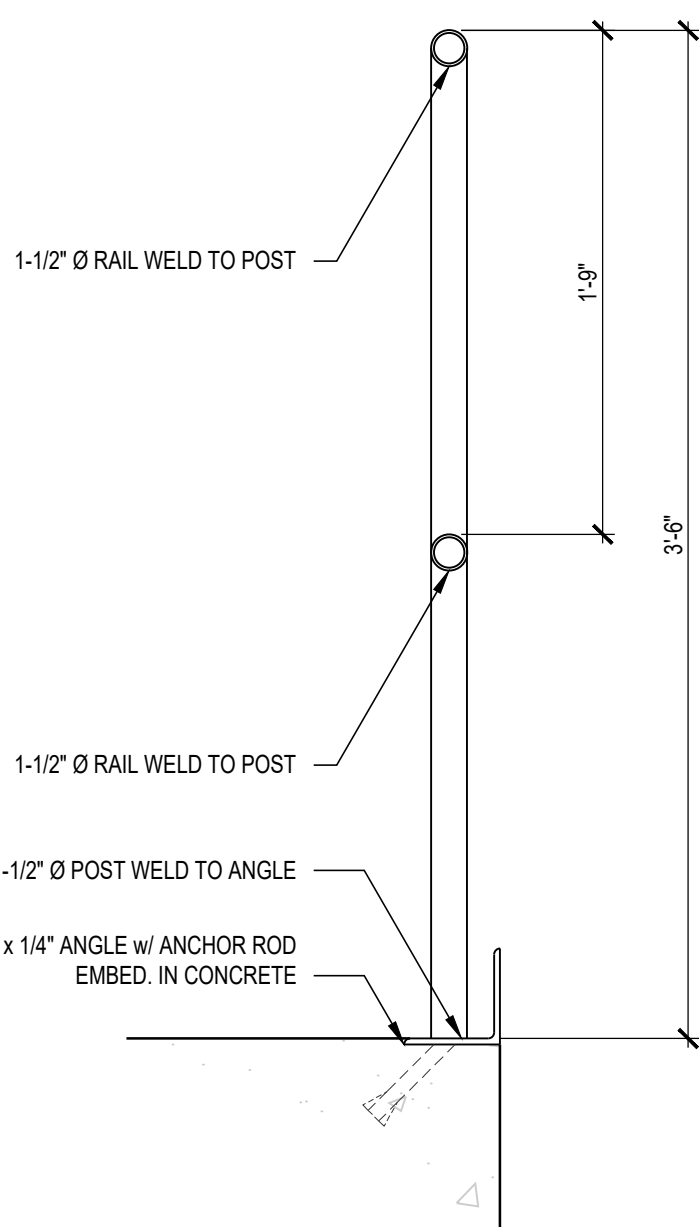
A

A1 BUILDING SECTION

SCALE: 1/4" = 1'-0"

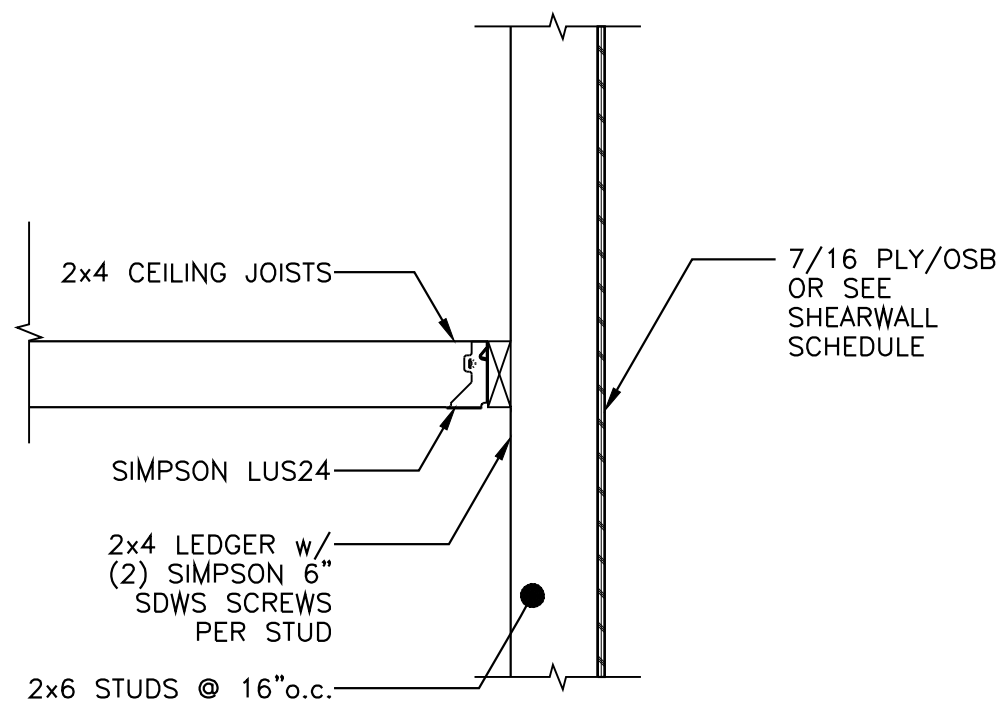


0 2' 4' 8'



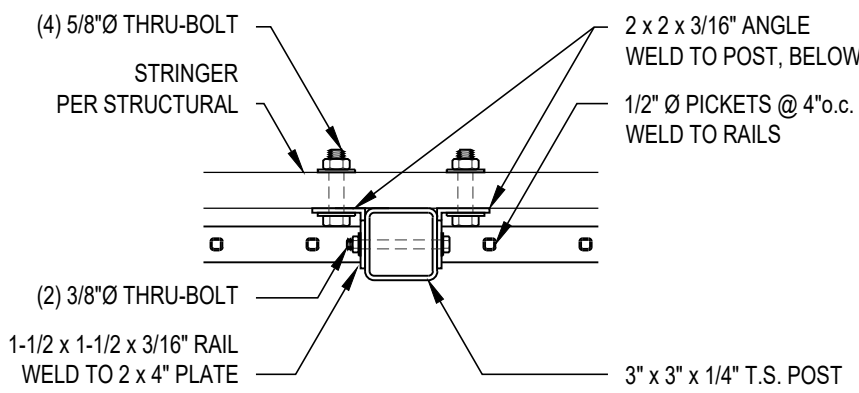
J10 GUARD DETAIL @ ELECTRICAL ROOM

SCALE: 1-1/2" = 1'-0"

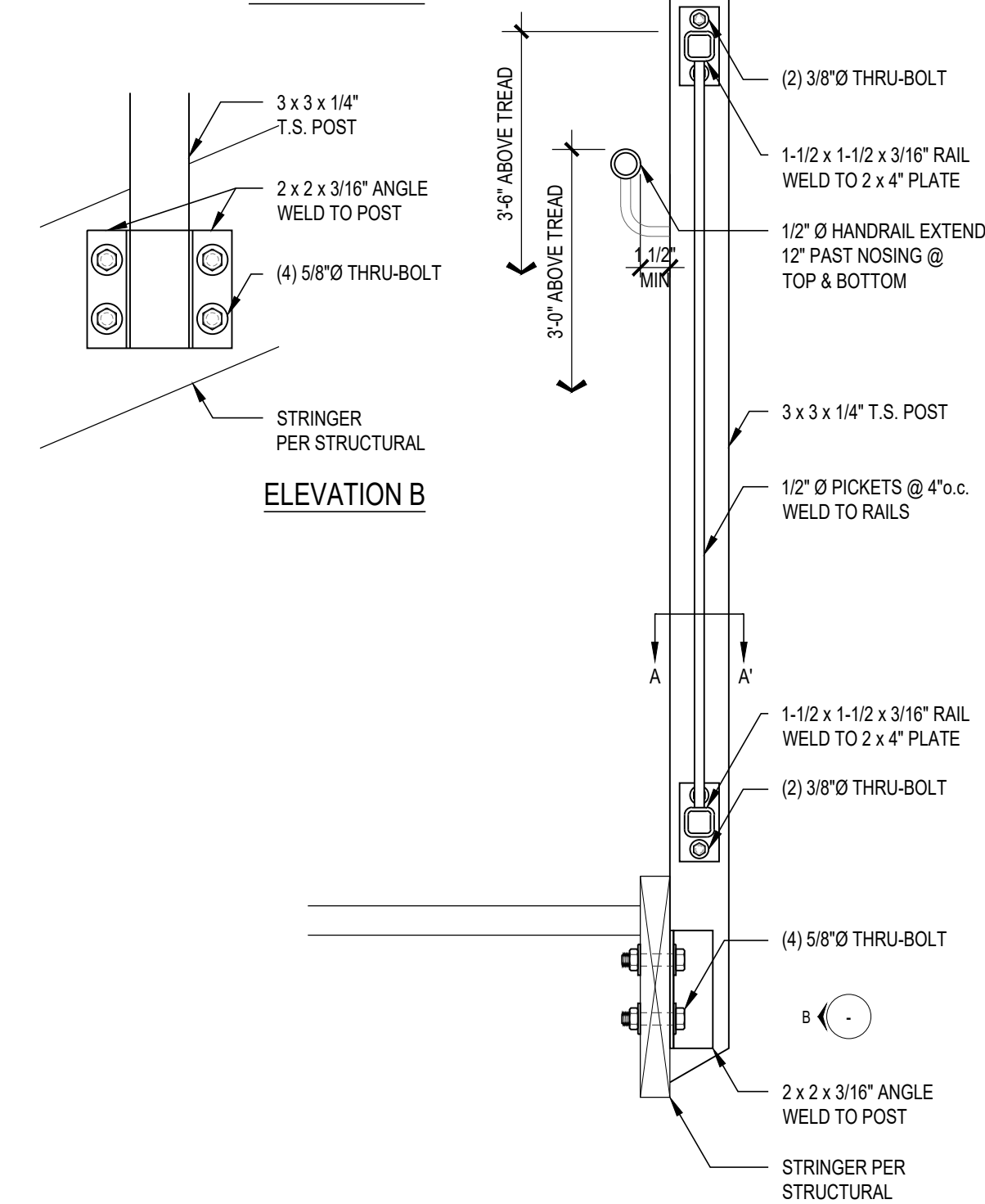


K13 FRAMING CONNECTION DETAIL

SCALE: 3/4" = 1'-0"



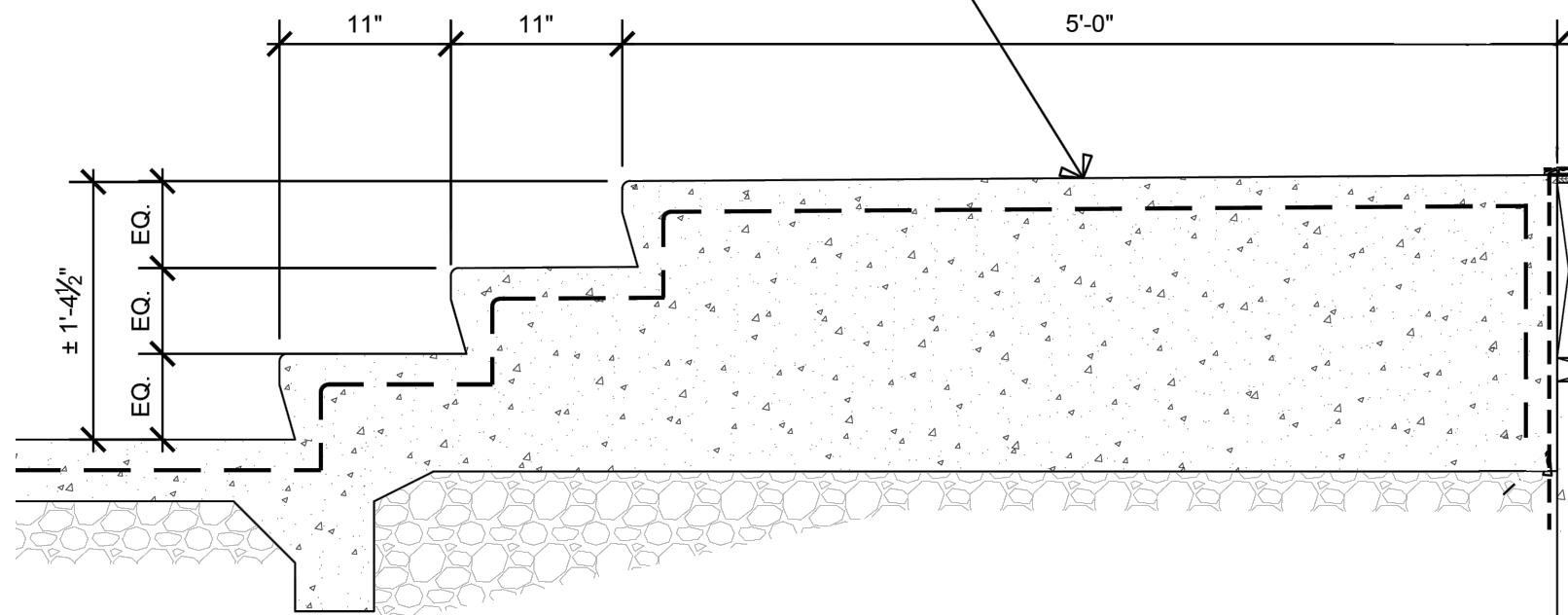
SECTION A - A'



D13 GUARD DETAIL (MATCH EXISTING)

SCALE: 1-1/2" = 1'-0"

CONCRETE LANDING AND STEPS
w/ 6x6 W1.4/1.4 (6x6 10-10) W. W. MESH
or 6mil. POLYETHYLENE VAPOR BARRIER
or COMPACTED GRANULAR FILL
or UNDISTURBED OR COMPACTED GRADE



A12 CONCRETE LANDING DETAIL

SCALE: 1/2" = 1'-0"

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architecture
planning
project management

Addition:

ARCADIA MOTEL

3433 W CHINDEN BLVD.
GARDEN CITY, ID 83714

BUILDING SECTIONS

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A401.DWG

File Name:

Revisions:

A4.01

DOOR SCHEDULE

DOOR NO.	ROOM NAME	DOOR								FRAME			FIRE RATING	DETAILS	HARDWARE GROUP	NOTES
		SIZE			TYPE	MATERIAL	FINISH	GLAZING	TYPE	MATERIAL	FINISH					
		W	H	T												
111a	MECH	(2) 3'-0"	7'-0"	1 3/4"	1	MTL	PT-3	-	A	HM	PT-3	-	-	HW-3	-	
201a	LAUNDRY	3'-0"	7'-0"	1 3/4"	2	MTL	PT-3	T	A	HM	PT-3	-	-	HW-1	-	
201b	LAUNDRY	3'-0"	7'-0"	1 3/4"	2	WD	ST	T	A	HM	PT-3	-	-	HW-2	-	
202a	LAUNDRY	3'-0"	7'-0"	1 3/4"	2	MTL	PT-3	T	A	HM	PT-3	-	-	HW-1	-	

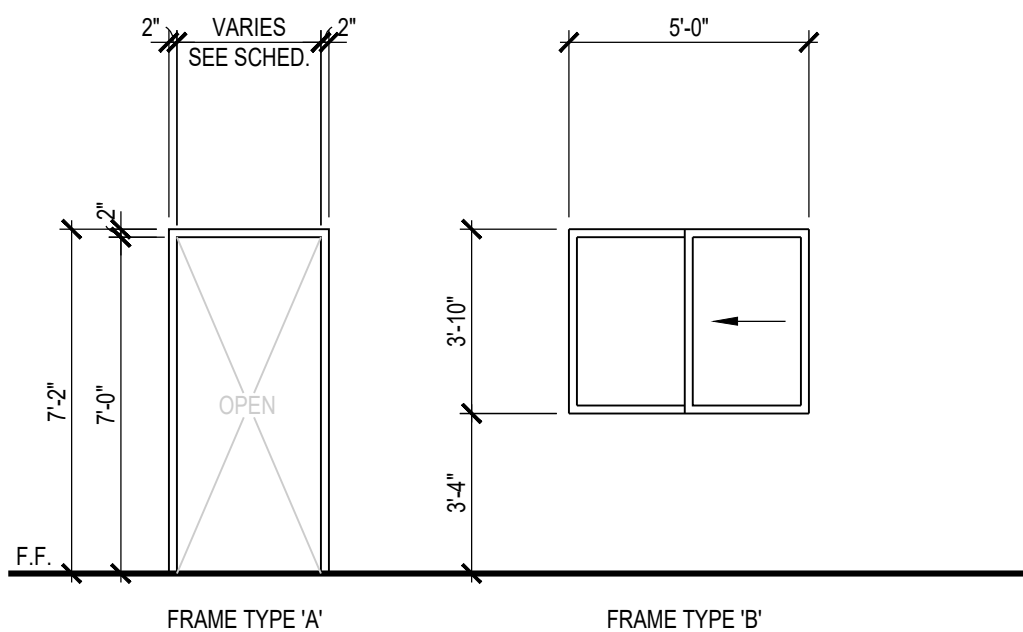
DOOR SCHEDULE ABBREVIATIONS

HM = HOLLOW METAL FRAME
MTL = METAL DOOR
PT = PAINT
ST = STAIN FINISH
T = TEMPERED GLAZING
WD = SOLID CORE WOOD DOOR

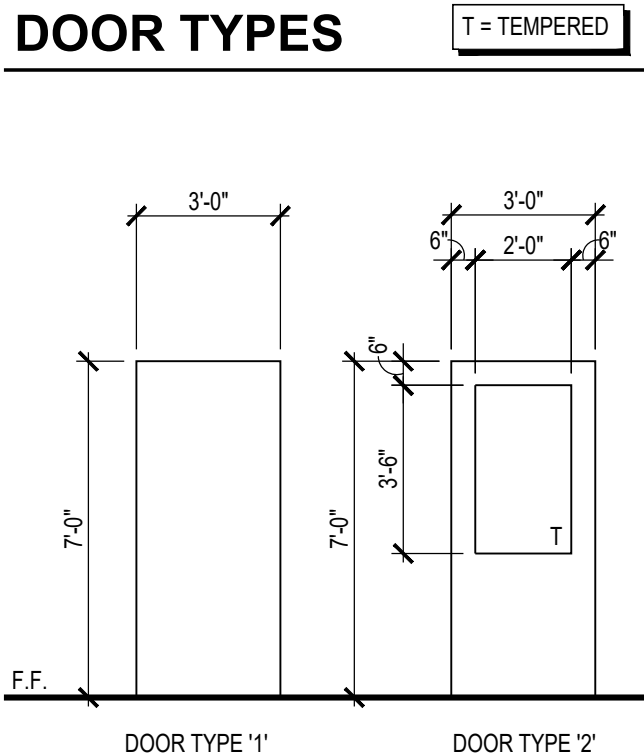
HARDWARE GROUPS

HW-1 HARDWARE GROUP 1 (OR APPROVED EQUAL)
1 PRIVACY LOCKSET - BEST 9K-37L-15C-S3-626
3 MORTISE HINGES - STANLEY FBB179 US26D
1 CLOSER - STANLEY D4550/D4551 SERIES EDA W/ 689 FINISH
1 SMOKE SEAL - PEMKO S88
HW-2 HARDWARE GROUP 2 (OR APPROVED EQUAL)
1 PASSAGE LOCKSET - BEST 9K-30N-15D-S3-LL-626
3 MORTISE HINGES - STANLEY FBB179 US26D
1 WALL/FLOOR/OVERHEAD STOP - AS REQUIRED
1 SMOKE SEAL - PEMKO S88
HW-3 HARDWARE GROUP 3 (OR APPROVED EQUAL)
3 EA. BUTT HINGES - STANLEY F179 US26D
1 PASSAGE LOCKSET - BEST 9K 30N 15C S3 626
1 AUTO FLUSH BOLT - GLYNN JOHNSON FB-8
1 CLOSER - NORTON 7700 SERIES
1 COORDINATOR - GLYNN JOHNSON COR-2
2 FLOOR STOP - HAGER 252F
1 ASTRAGAL - PEMKO 355CS
1 SMOKE SEAL - PEMKO S88

FRAME TYPES



DOOR TYPES

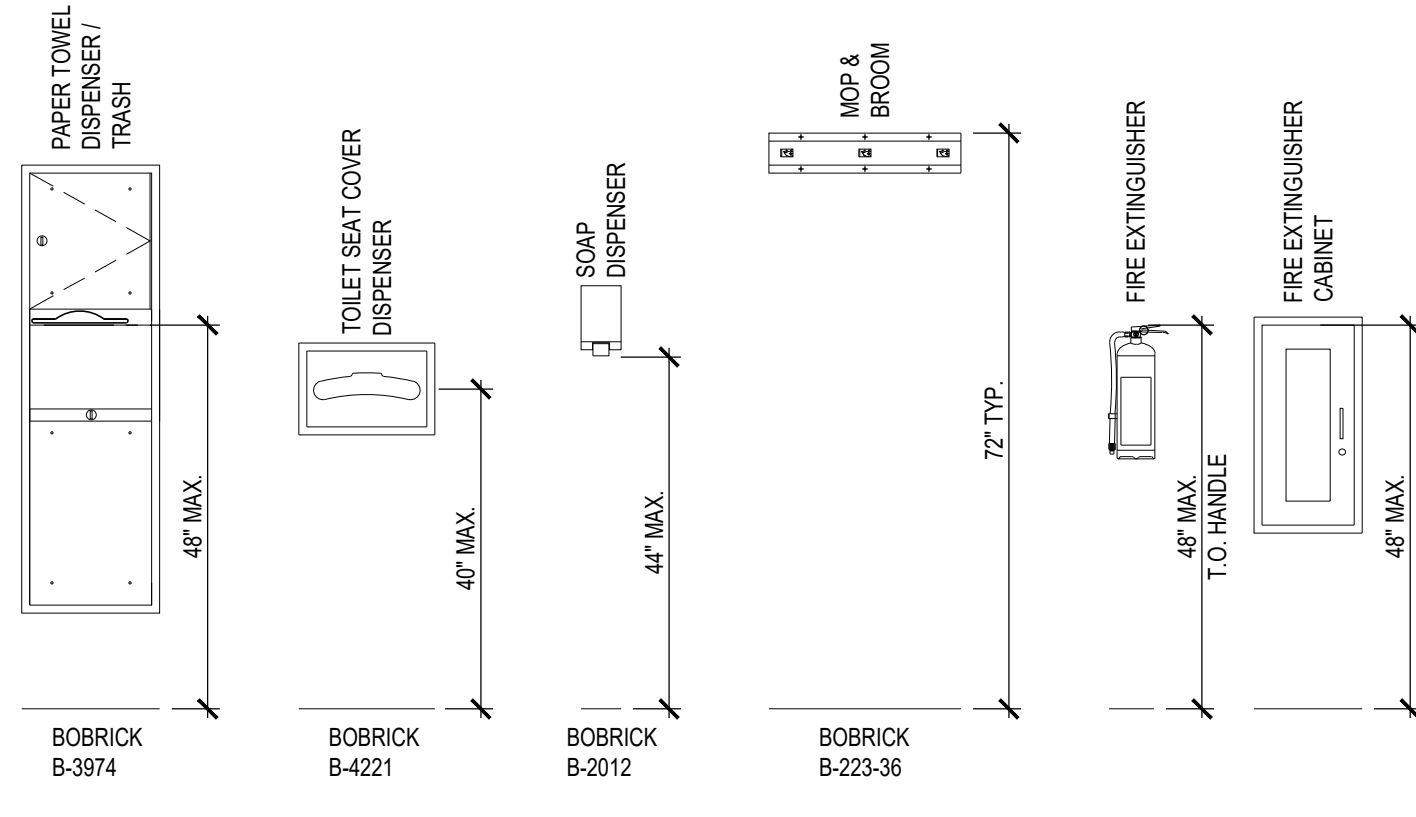
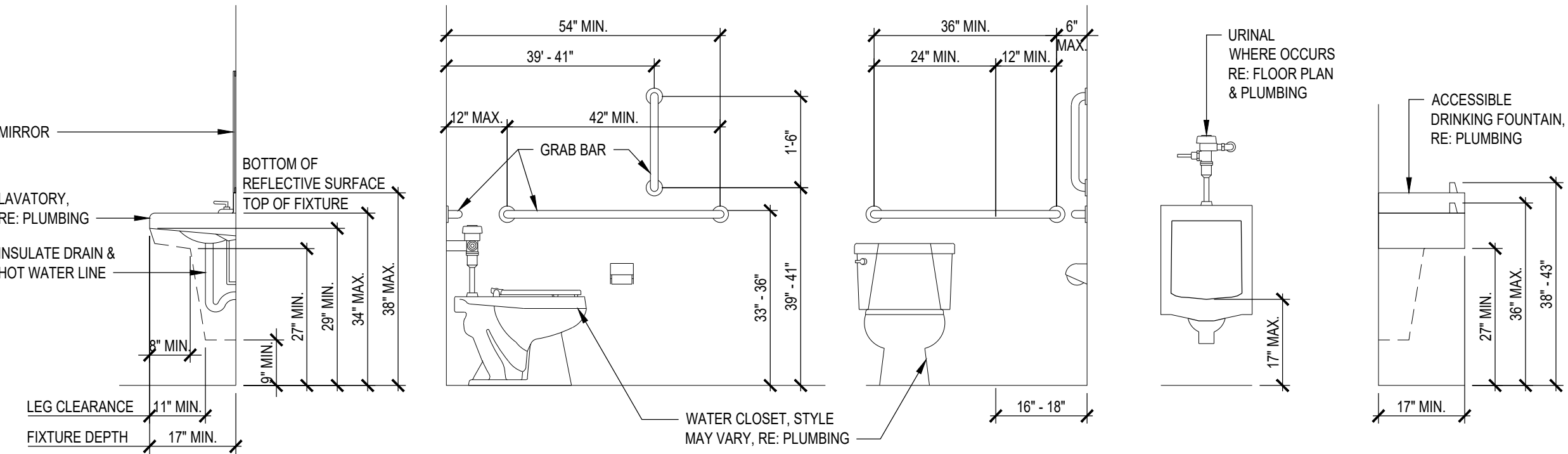


FRAME SCHEDULE

SYMBOL	SIZE	HEIGHT	MATERIAL	GLAZING	TYPE	INTERIOR TRIM	REMARKS
A	RE: DOOR SCHEDULE		H.M.	-	-	GYP.	-
B	5'-0"	3'-10"	ALM.	INSUL.	SLIDING	GYP.	-

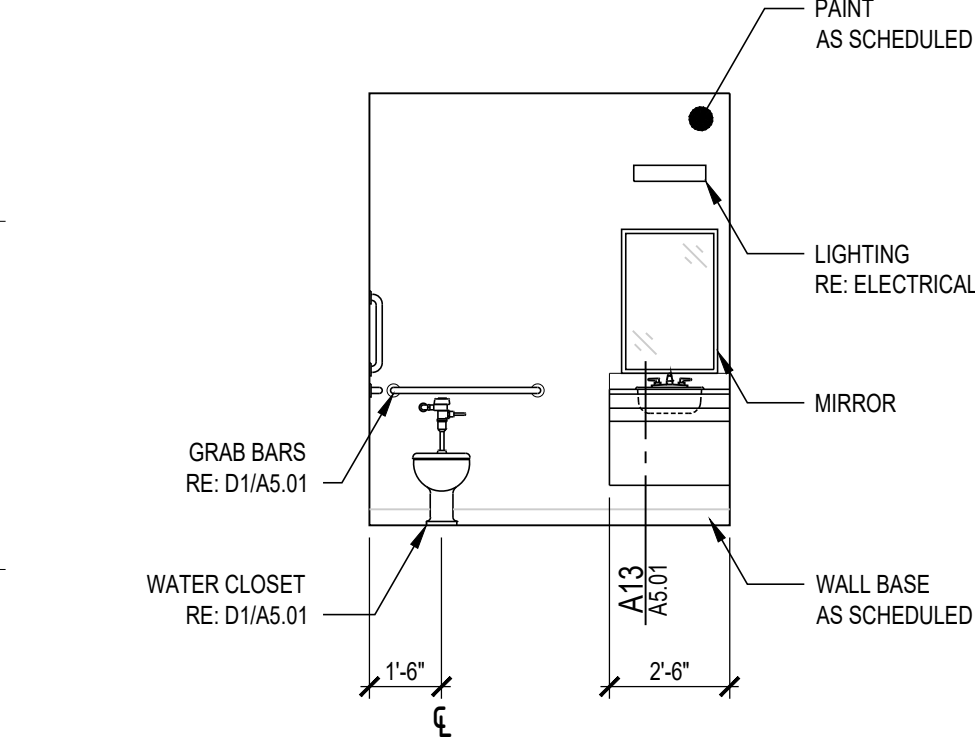
FRAME SCHEDULE LEGEND

ALM.	ALUMINUM-CLAD EXTERIOR WOOD WINDOW - MATCH EXISTING BUILDING STANDARD
H.M.	HOLLOW METAL FRAME - MATCH EXISTING BUILDING STANDARD
INSUL.	1" INSULATED GLAZING WITH U-FACTOR = .320 MIN. & SHGC = .25 MIN.
GYP.	GYPSUM BOARD INTERIOR TRIM - FINISH TO MATCH EXISTING ADJACENT



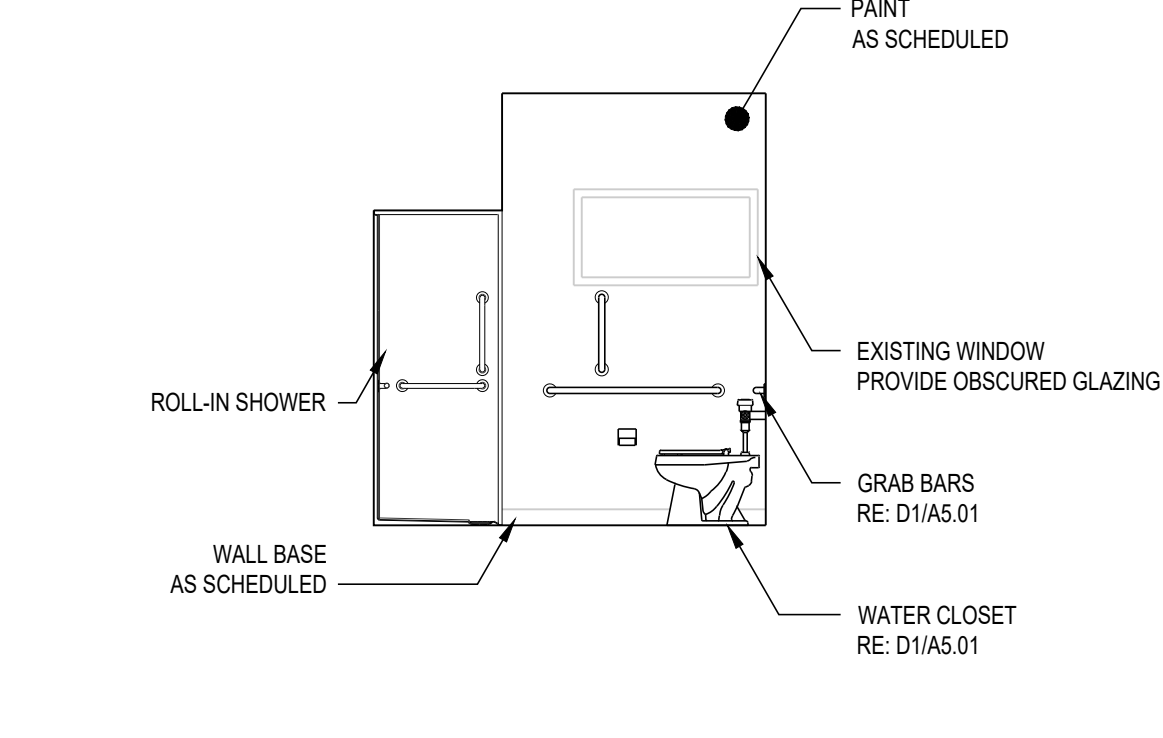
D1 TYPICAL MOUNTING HEIGHT DETAIL

SCALE: 1/2" = 1'-0"



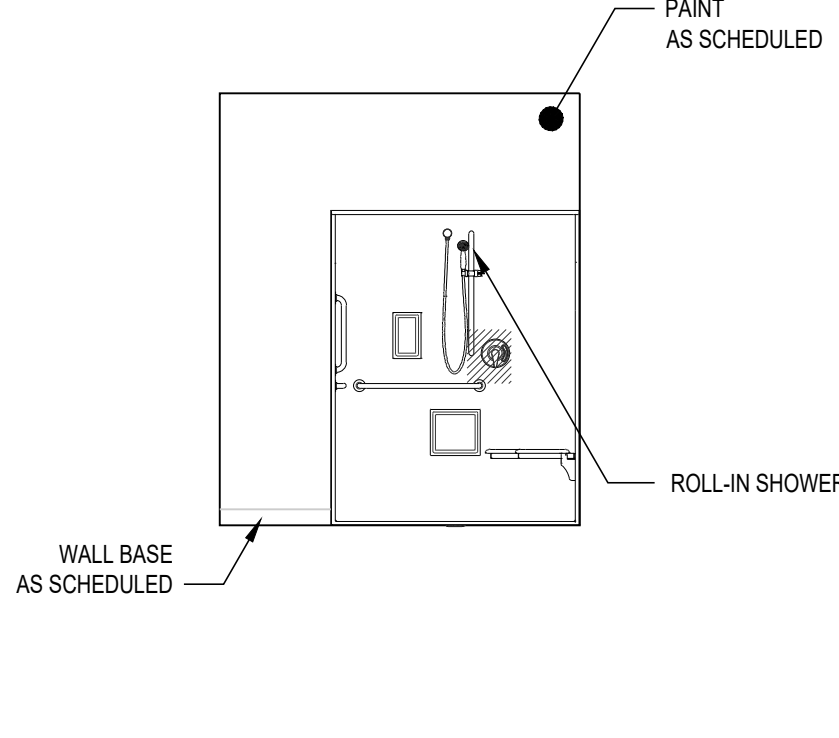
A1 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



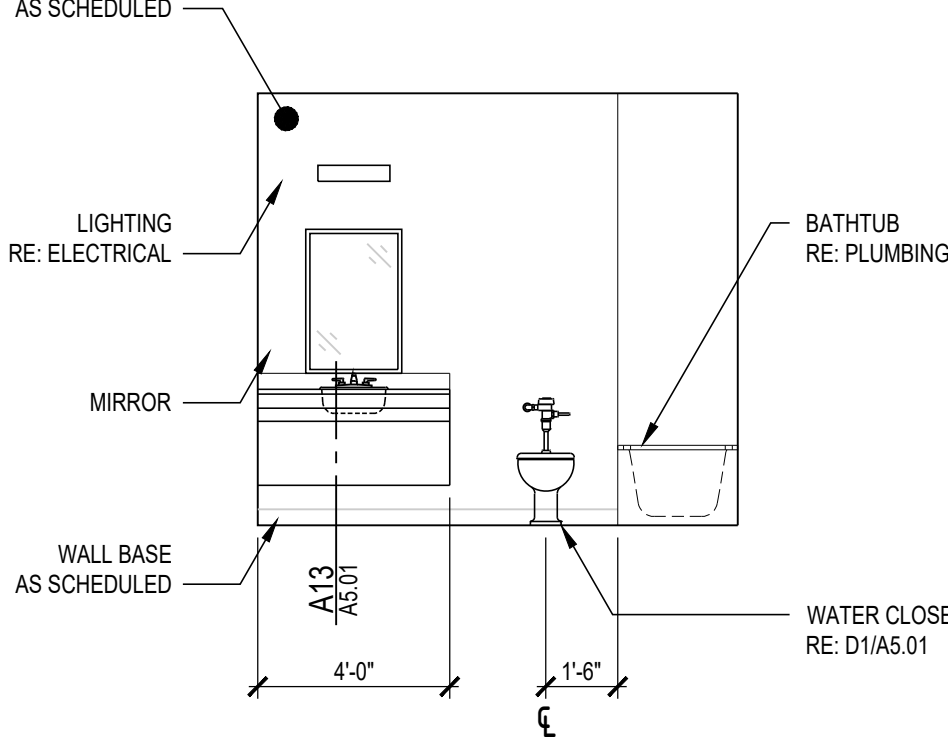
A4 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



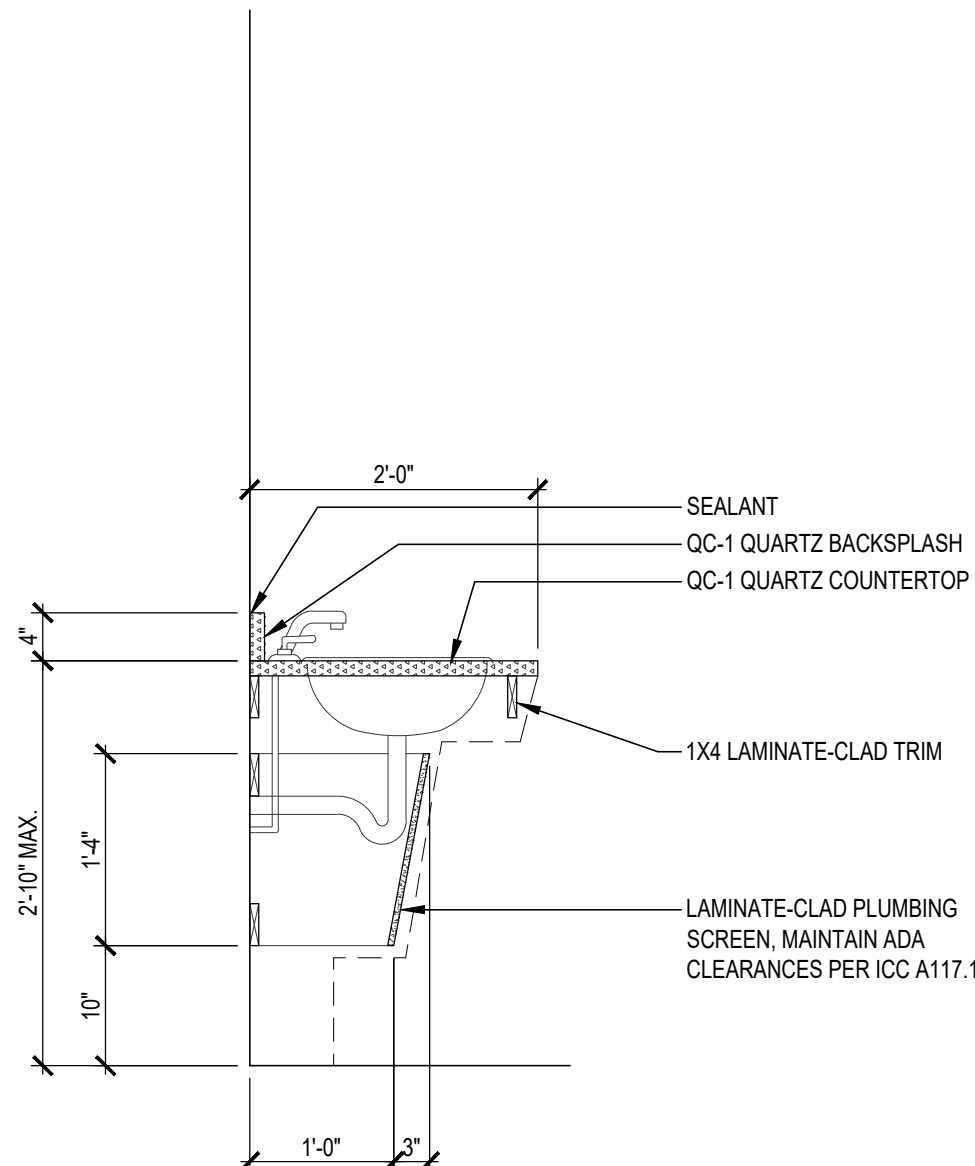
A7 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



A10 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



A13 CASEWORK DETAIL

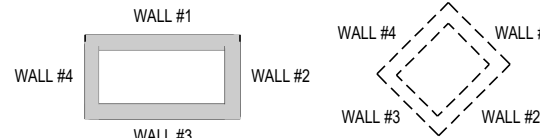
SCALE: 3/4" = 1'-0"

FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE		WALL NO. 1 (NORTH)		WALL NO. 2 (EAST)		WALL NO. 3 (SOUTH)		WALL NO. 4 (WEST)		CEILING		NOTES
			MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
100	ENTRY														
101	OFFICE														
102	POWDER														
103	BATH														
104	LIVING														
105	BATH														
106	BEDROOM														
107	BEDROOM														
108	BATH														
110	BEDROOM														
111	MECH														
201	LAUNDRY														
202	UTILITY														

Finish Abbreviations & Specifications:

EX. EXISTING TO REMAIN
GYP. 5/8" GYPSUM BOARD
USE 5/8" MOISTURE RESISTANT GYPSUM BOARD AT ALL "WET" WALL CONDITIONS
CPT-1 CARPET TILES
MFR: MOHAWK
COLLECTION: TO BE SELECTED BY OWNER
FT-1 FLOOR TILE
MFR: DALTILE
STYLE: TO BE SELECTED BY OWNER
SIZE: 12"x24"
GROUT: TO BE SELECTED BY OWNER
FRP FIBERGLASS REINFORCED PANEL
MFR: STRUCTOGLAS
COLOR: TO BE SELECTED BY OWNER
LVT-1 LUXURY VINYL PLANK
MFR: INTERFACE
COLLECTION: TO BE SELECTED BY OWNER
STYLE: TO BE SELECTED BY OWNER
INSTALLATION: TO BE SELECTED BY OWNER
PT-1 PAINT 1 (MAIN)
COLOR: TO BE SELECTED BY OWNER
PT-2 PAINT 2 (CEILING)
COLOR: TO BE SELECTED BY OWNER
PT-3 PAINT 2 (TRIM)
COLOR: TO BE SELECTED BY OWNER
RB-1 RUBBER WALL BASE
MFR: ROPPE
PRODUCT: 700 SERIES
COLOR: TO BE SELECTED BY OWNER
SIZE: 4"
WT-1 WALL TILE BASE
MFR: DALTILE
STYLE: TO BE SELECTED BY OWNER
GROUT: TO BE SELECTED BY OWNER



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architecture
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project management

Addition:

ARCADIA
MOTEL

3433 W CHINDEN BLVD.
GARDEN CITY, ID 83714

SCHEDULES & DETAILS

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A501.DWG

File Name:

Revisions:

A5.01

Arcadia Motel Renovation

ELEVATE CHINDEN, LLC

3433 W. Chinden Boulevard, Boise, Idaho



General Notes:

1. THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
2. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK INDICATED IN THESE PLANS AND SPECIFICATIONS. ANY ITEM INDICATED IN THESE PLANS, BUT NOT ITEMIZED IN THE BID DOCUMENTS, WILL BE INCLUDED UNDER A BID SCHEDULE ITEM TO WHICH IT MOST PERTAINS.
3. THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS AND SPECIFICATIONS, CAREFULLY EXAMINE ALL OF THE CONTRACT DOCUMENTS, AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO CONTRACT. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART AND/OR HIS NEGLIGENCE AND/OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE.
4. THE CONTRACTOR SHALL CONTACT DIGLINE 48 HOURS PRIOR TO ANY EXCAVATION. 1-800-342-1585 OR 811
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREETS, SIDEWALKS, OR EXISTING STRUCTURES DURING THE CONSTRUCTION OF THIS PROJECT, AND SHALL REPAIR SUCH DAMAGE TO THE SATISFACTION OF THE GOVERNING AGENCY, AT NO EXTRA COST TO THE OWNER.
6. ALL EXISTING CONDITIONS AND STRUCTURES NOT SPECIFICALLY NOTED FOR REMOVAL SHALL BE RETAINED AND PROTECTED. EXISTING CONDITIONS AND STRUCTURES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. ALL CONTRACTORS WORKING WITHIN THE PUBLIC RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM ADA COUNTY HIGHWAY DISTRICT AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
8. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE ISPMC AND THE ACHD SUPPLEMENTAL SPECIFICATIONS. NO EXCEPTIONS TO THESE STANDARDS WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE GOVERNING AGENCY.
9. THE CONTRACTOR SHALL PERFORM ALL CLEARING AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK INDICATED ON THESE PLANS AND SPECIFICATIONS.
10. THE LAND GROUP, INC. DOES NOT AND CANNOT GUARANTEE THE ACCURACY OF WORK DONE BY OTHERS AND INCLUDES THIS INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE OWNERS REPRESENTATIVE TO REQUEST CLARIFICATION OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND INFORMATION SHOWN ELSEWHERE. IN THE EVENT THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT OFFICIAL CLARIFICATION FROM THE OWNERS REPRESENTATIVE, HE SHALL BE LIABLE FOR THE COST OF CORRECTIVE WORK AND SHALL REPAIR OR RECONSTRUCT THE FAULTY WORK TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, ERECTING AND MAINTAINING THE REQUIRED MATERIALS, EQUIPMENT AND MANPOWER NECESSARY FOR PUBLIC SAFETY AND TRAFFIC CONTROL WITHIN THE PROJECT LIMITS AND ON THE APPROACHES TO THE PROJECT.
12. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
13. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THESE PLANS ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES, HOWEVER THE LAND GROUP, INC. OR ITS CONSULTANTS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HERE OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH MAY BE DISCOVERED BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

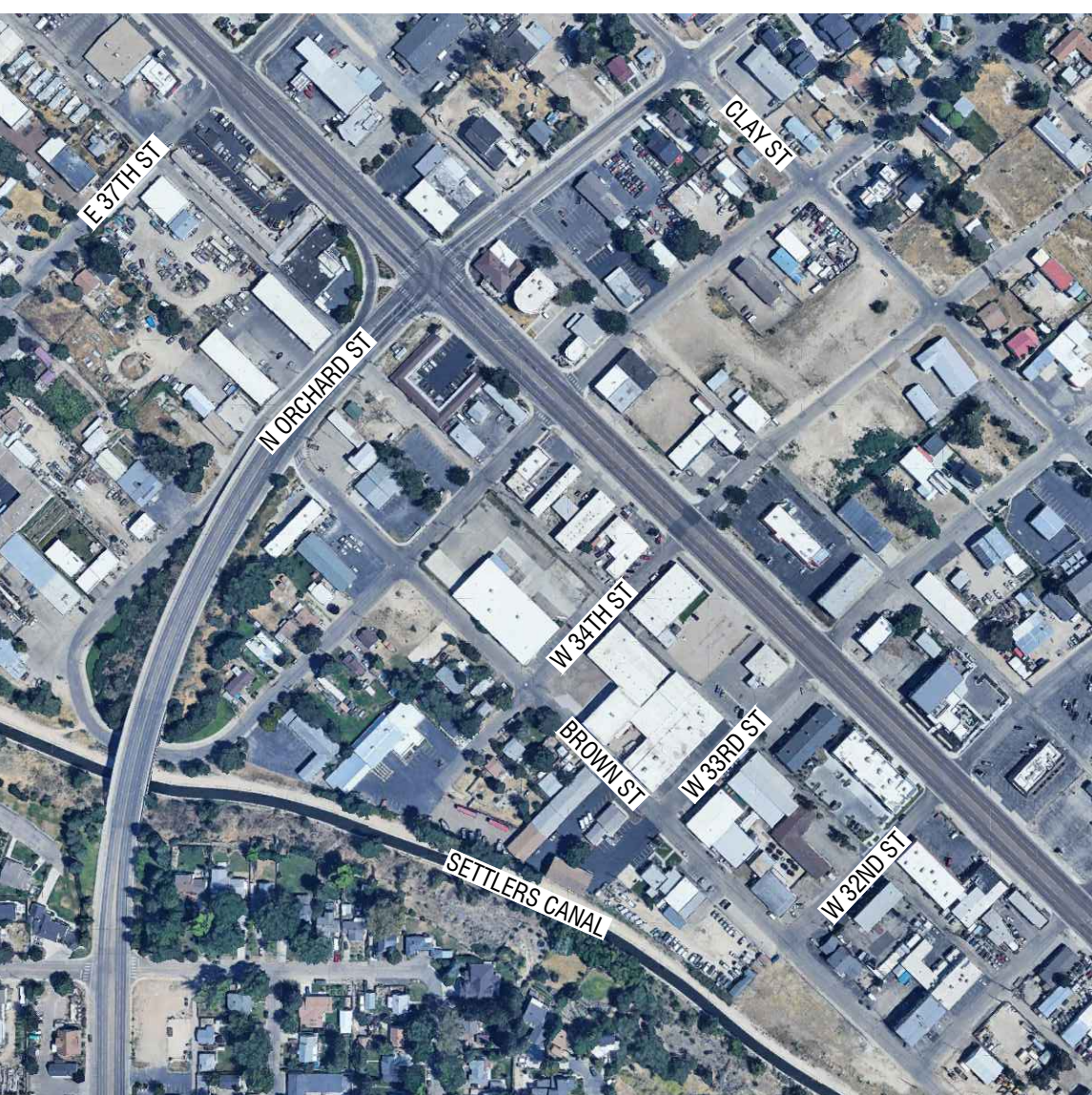
Grading & Drainage Notes:

1. GENERAL NOTES ARE MADE A PART OF THE GRADING & DRAINAGE NOTES BY THIS REFERENCE. ALL CONTRACTORS AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO SAID NOTES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE IDAHO SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THESE PLANS AND THE PROJECT SPECIFICATIONS.
3. CONTRACTOR SHALL HAVE AN APPROVED SET OF PLANS ON SITE AT ALL TIMES. ONLY THESE PLANS SHALL BE USED BY THE PROJECT CONTRACTOR(S). USE OF ANY NON APPROVED SET OF PLANS ON THE JOB SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER.
4. ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
5. CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS NOTED ON THIS PLAN AND NOTIFY DESIGN ENGINEER WHEN ELEVATIONS DO NOT MATCH PLANS.
6. WASTE SOIL SHALL BE HAULLED TO AN OFFSITE DISPOSAL SITE FURNISHED BY THE CONTRACTOR.
7. ALL FINISHED GRADES SHALL BE SMOOTH AND UNIFORM.
8. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. PROVIDE POSITIVE DRAINAGE TO ALL CATCH BASINS, DRAINAGE STRUCTURES, CURB CUTS, AND DRAINAGE WINDOWS.
9. ALL CONCRETE SIDEWALKS SHALL HAVE A MINIMUM OF ONE PERCENT (1%) CROSS SLOPE UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL COORDINATE CONNECTION OF ALL ROOF DRAINAGE DOWN SPOUTS AND BUILDING PLUMBING. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT LOCATION OF DRAINAGE CONNECTION POINTS.
11. ALL CHANGES REQUIRE APPROVAL BY THE DESIGN ENGINEER AND LANDSCAPE ARCHITECT.
12. ALL DRAINAGE CONVEYANCE AND INFILTRATION FACILITIES MUST BE INSPECTED BY THE DESIGN ENGINEER OR HIS/HER QUALIFIED REPRESENTATIVE. PROVIDE INSPECTION REQUEST A MINIMUM OF 48 HOURS IN ADVANCE.
13. ALL STORM DRAINAGE PIPING SHALL BE ADS N-12 (HDPE) DRAINAGE PIPE (SOLID WALL AND PERFORATED) OR ASTM 3034, SDR 35 PVC AS SHOWN ON THE PLANS.
14. ALL NON GRATED STORM DRAIN MANHOLE COVERS SHALL BE MARKED "STORM DRAIN".
15. CONCRETE COLLARS SHALL BE POURED AT ALL STORM DRAINAGE INLETS AND MANHOLES. COLLARS SHALL BE PLACED IN ACCORDANCE WITH ISPMC SD-616. CONCRETE COLLARS ARE NOT REQUIRED FOR MANHOLES OR STORM DRAINAGE INLETS LOCATED IN LANDSCAPE AREAS OR NON-HARD SURFACES.
16. PIPE TRENCH SHALL CONFORM TO DIVISION 300 OF THE LATEST EDITION OF THE ISPMC AND SD-301. BEDDING AND BACKFILL SHALL BE CONSTRUCTED PER SECTIONS 305 AND 306 OF THE ISPMC.
17. PIPE LENGTHS SHOWN ARE NOT EXACT. ACTUAL INSTALLATION LENGTHS MAY VARY SLIGHTLY. LENGTHS ARE SHOWN FOR GENERAL INFORMATION ONLY.
18. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND IMPROVEMENTS. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS RESULTING FROM THE CONTRACTORS OPERATIONS, SHALL BE REPAIRED OR REPLACED AT CONTRACTORS' EXPENSE.
19. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL CONCRETE AND DEBRIS FROM LANDSCAPE PLANTER AREAS PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIALS BY THE LANDSCAPE CONTRACTOR.
20. ALL PROPOSED STORM DRAINAGE CATCH BASIN INLETS AND MANHOLES SHALL BE COVERED WITH FILTER FABRIC BY THE STORM DRAIN CONTRACTOR TO PREVENT CONTAMINATION OF STORM DRAINAGE FACILITIES. FABRIC SHALL NOT BE REMOVED UNTIL AFTER CONSTRUCTION IS COMPLETE AND LANDSCAPE TURF AREAS HAVE MATURED.
21. CARE SHALL BE TAKEN TO PREVENT DIRT AND OTHER SUPERFLUOUS MATERIALS FROM ENTERING STORM DRAINAGE FACILITIES DURING CONSTRUCTION.

Elevation Datum:

THE ELEVATION DATUM OF THESE PLANS IS NAVD '88.

Vicinity Map:



Project Contacts:

DEVELOPER / OWNER
ELEVATE CHINDEN, LLC

ARCHITECT
RUDEEN ARCHITECTS

CIVIL ENGINEER / LANDSCAPE ARCHITECT
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EAGLE, IDAHO 83616
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lacie@thelandgroupinc.com
christopher@thelandgroupinc.com

Sheet Index:

Sheet Number	Sheet Title
C1.00	COVER & NOTES
ON-SITE	
C2.00	SITE PLAN
C2.50	SITE DETAILS
OFF-SITE	
C3.10	EXISTING CONDITIONS AND DEMOLITION PLAN
C3.20	SITE PLAN
C3.30	GRADING PLAN

Arcadia Motel Renovation
Elevate Chinden LLC

3433 W Chinden Blvd
Garden City, Idaho 83714

Revisions

1. _____



Project No.: 122166
Date of Issuance: 11.29.2023
Project Milestone: Progress Set

Cover & Notes

C1.00

Sheet Notes:

- A. CONTRACTOR SHALL COMPLY WITH CONSTRUCTION NOTES ON SHEET C1.00.
- B. CONTRACTOR SHALL REPORT TO ENGINEER ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.
- C. ON-SITE TOPOGRAPHIC SURVEY NOT COMPLETED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK. CONTRACTOR SHALL VERIFY ADA COMPLIANCE IN-FIELD THROUGHOUT SITE.
- D. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- E. CONTRACTOR SHALL AT ALL TIMES, PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION. DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.
- F. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE ENGINEER AND/OR THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. WHEREVER CONCRETE FLATWORK ABUTS BUILDINGS OR COLUMNS, IT SHALL HAVE AN EXPANSION JOINT.
- I. PROVIDE JOINTS AS SHOWN ON PLANS AND PER DETAIL 4/C2.50. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWORK THAT DOES NOT CONFORM TO THE DESIGN.
- J. TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
- K. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE OF SIDEWALKS AND PEDESTRIAN RAMPS SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2% CROSS SLOPE OR HAVE A CROSS SLOPE LESS THAN 1%.

Material Legend:

	EXISTING ASPHALT PAVING TO REMAIN		HEAVY DUTY CONCRETE PAVING - SEE DETAIL 2/C2.50
	STANDARD CONCRETE FLATWORK - SEE DETAIL 3/C2.50		ROCK MULCH
	COMPACTED DECOMPOSED GRANITE SURFACE		SYNTHETIC TURF
	ORNAMENTAL SHRUB & PERENNIAL PLANTING		DECIDUOUS TREE

Line Legend:

	EXISTING BUILDING
	EXISTING, ELEVATED BUILDING
	6' DECORATIVE METAL FENCE AND GATE.

Keynotes:

1. REMOVE EXISTING ASPHALT PAVEMENT AND REPLACE WITH CONCRETE FLATWORK TO MATCH EXISTING GRADES. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
2. CONSTRUCT 6-IN WIDE RIBBON CURB PER DETAIL 1/C2.50.
3. CONSTRUCT STAIR AND HANDRAIL. SLOPES OF LANDING AT TOP AND BOTTOM OF STAIRS NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
- 3.1. PER DETAIL 5/C2.50.
- 3.2. TO UPPER LEVEL PER ARCHITECTURAL PLANS.
4. EXISTING STAIRS TO BE CONVERTED INTO LANDSCAPE PLANTER, REFER TO LANDSCAPE PLANS.
5. CONSTRUCT RAMP AND HANDRAIL PER DETAIL 6/C2.50. SLOPES SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. SLOPES OF LANDING AT TOP AND BOTTOM OF RAMP NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
6. ADA ACCESSIBLE PARKING STALL. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
7. PAINTED 4' WIDE PARKING STALL STRIPING, COLOR: WHITE, TYPICAL.
8. INSTALL CONCRETE PARKING BUMPER PER DETAIL 9/C2.50, TYPICAL.
9. CONSTRUCT TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
10. COMMERCIAL PLANTER, PER DETAIL 10/C2.50.
11. COMMERCIAL PLANTERS ON EXISTING STAIRS, SIMILAR TO DETAIL 10/C2.50.
12. DECORATIVE METAL SCREEN, PER DETAIL 11/C2.50.
13. FIRE TABLE, PER DETAIL 12/C2.50.
14. SITE FURNITURE OR YARD GAMES, FOR REFERENCE ONLY.

Arcadia Motel Renovation
Elevate Chinden LLC

3433 W Chinden Blvd
Garden City, Idaho 83714

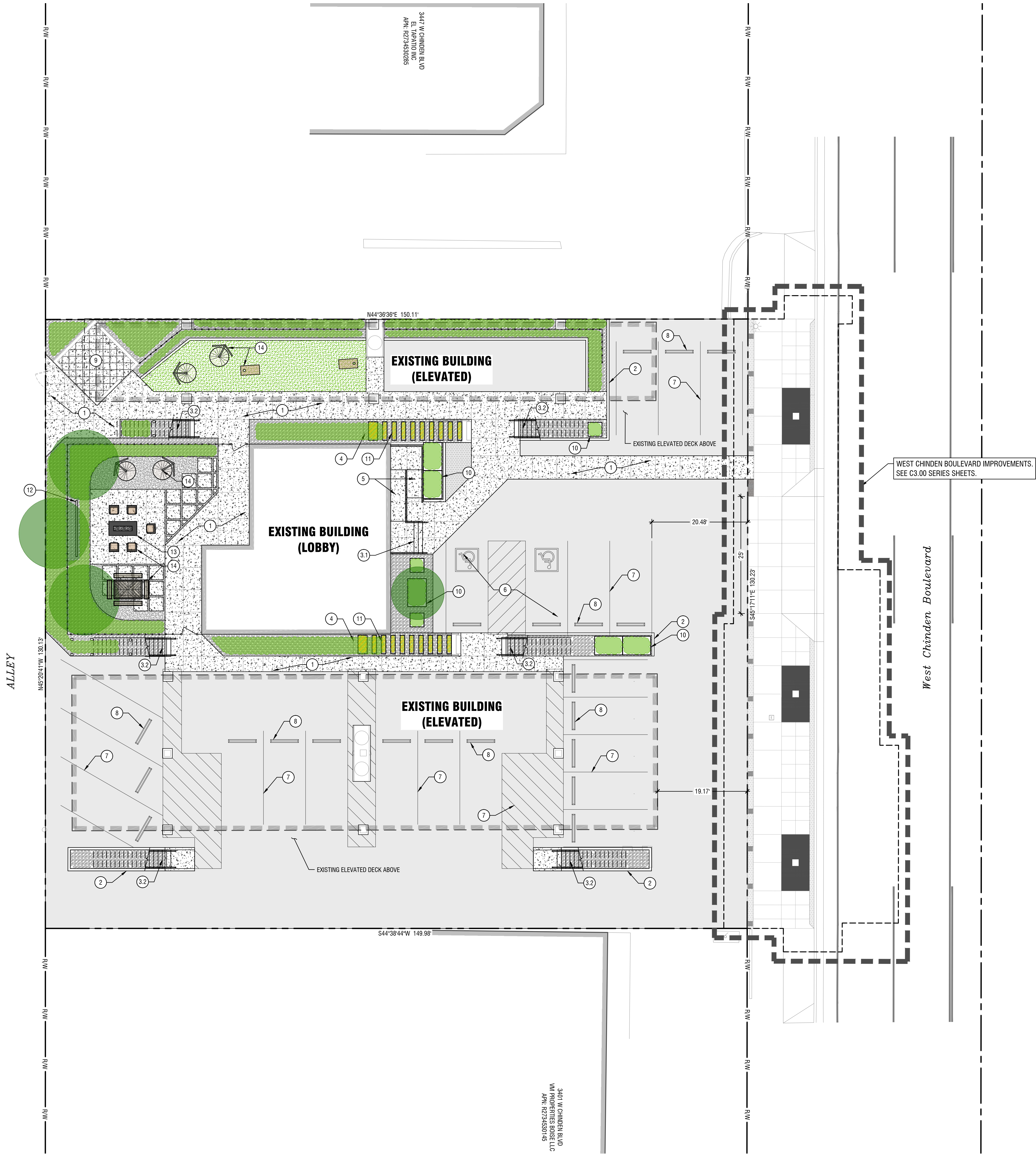
Revisions
1.

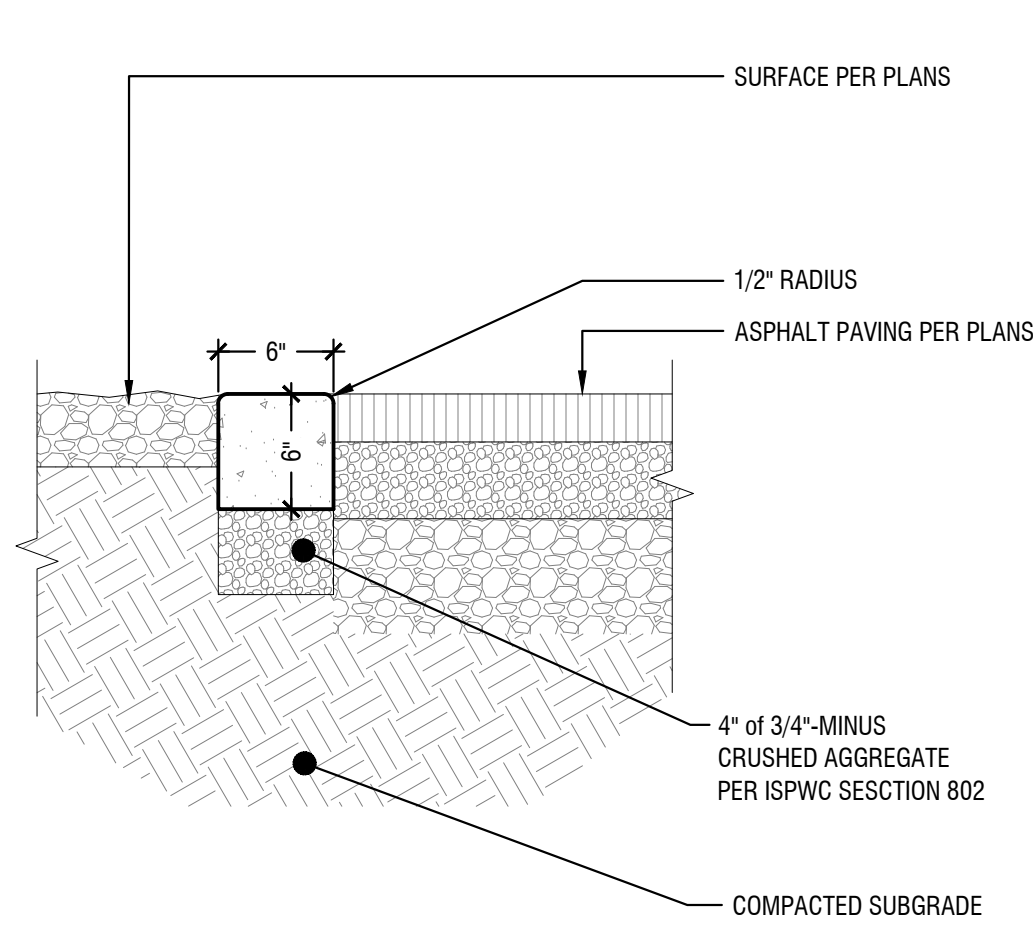


Project No.: 122166
Date of Issuance: 11.28.2023
Project Milestone: Progress Set

On-Site
Site Plan

C2.00

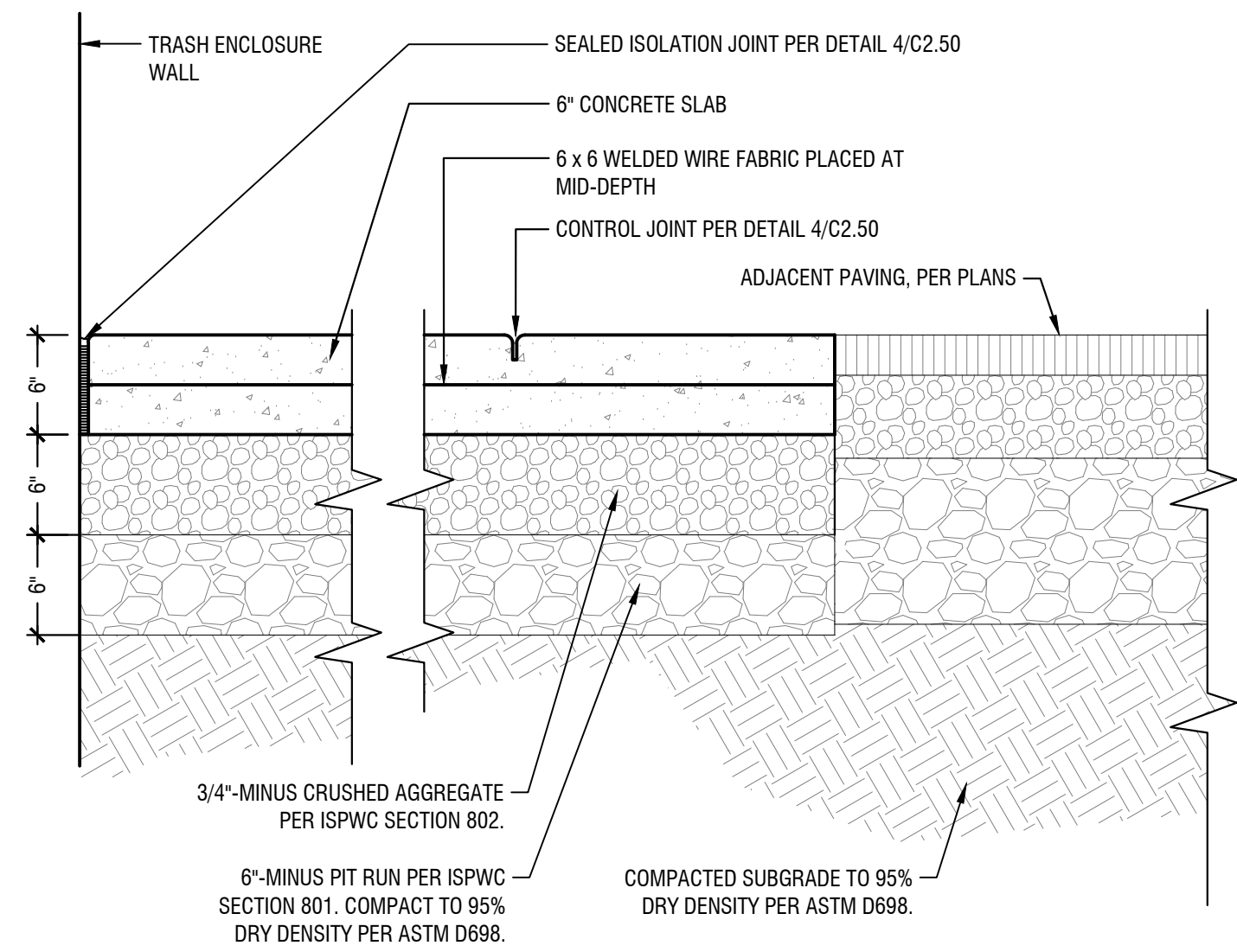




NOTE:
1. PROVIDE SCORE JOINTS AT 3' O.C.

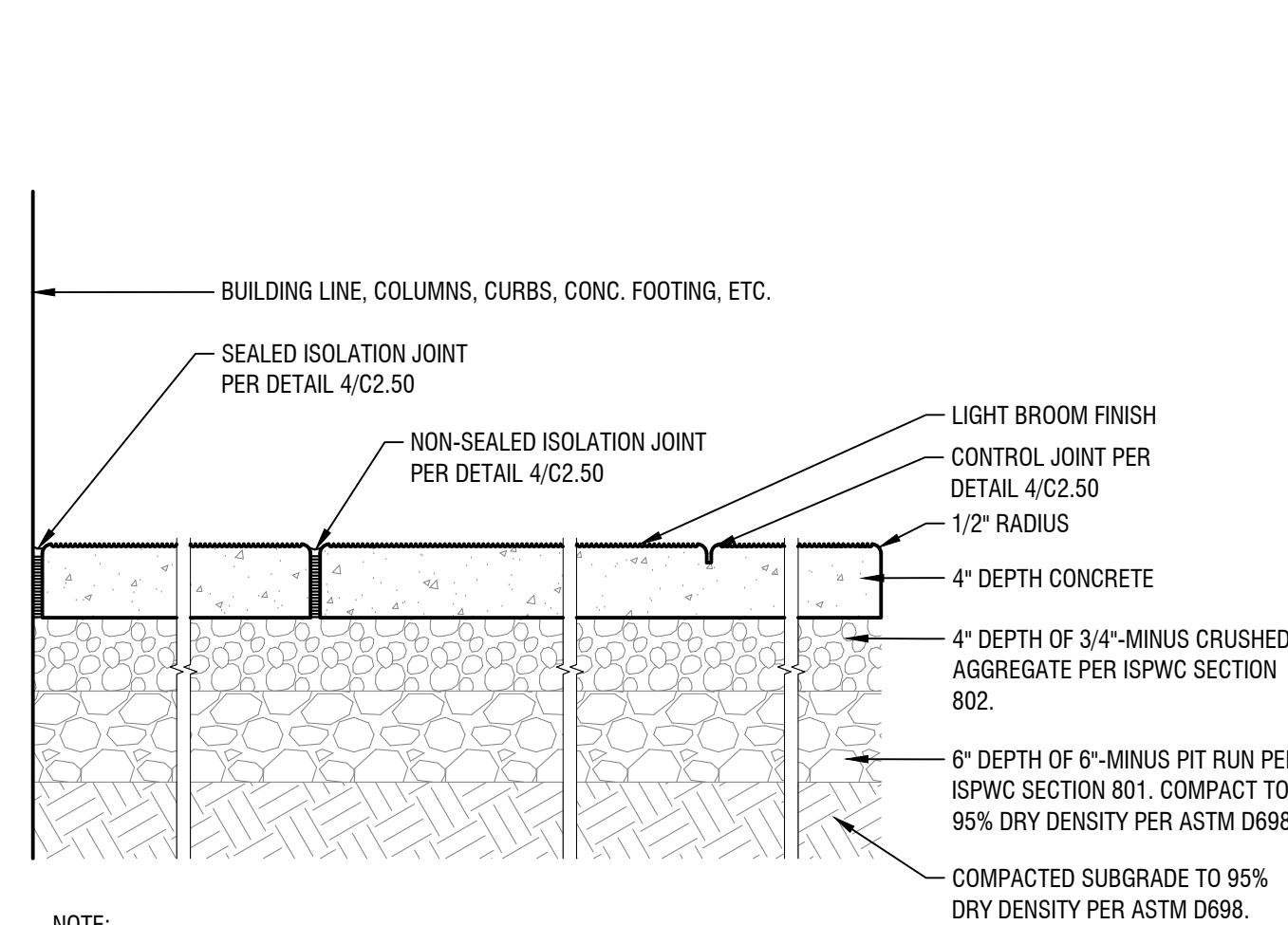
1 Concrete Ribbon Curb

Scale: NTS



2 Heavy Duty Concrete Paving

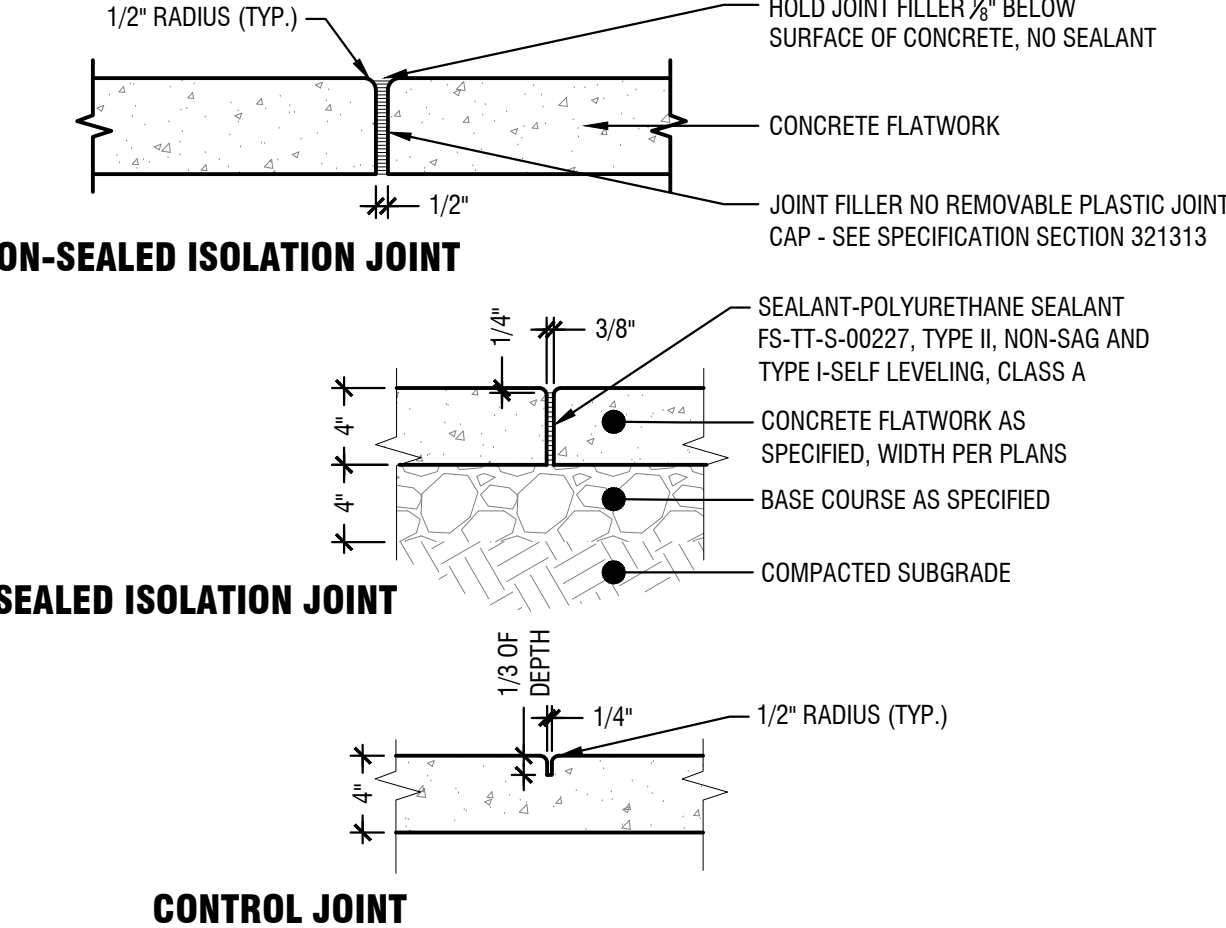
Scale: NTS



NOTE:
1. JOINTS SHALL BE SPACED EVENLY THROUGHOUT LENGTH OF WALK, AS SHOWN ON DRAWINGS.

3 Standard Concrete Flatwork

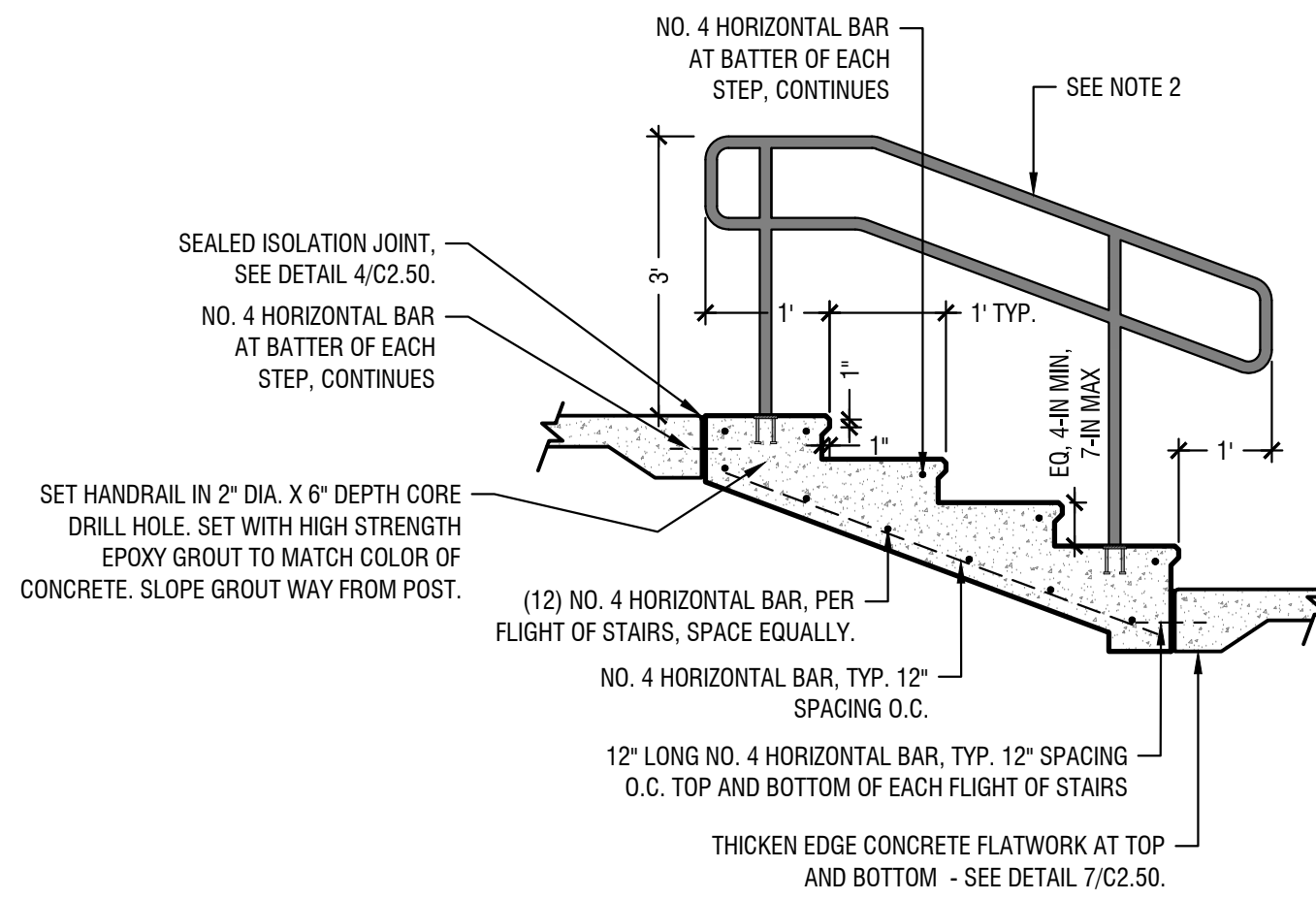
Scale: NTS



NOTES:
1. SEE LAYOUT PLANS FOR JOINT PATTERN AND LOCATION.
2. USE ISOLATION JOINTS AT ALL LOCATIONS WHERE DIFFERENTIAL MOVEMENT BETWEEN THE PAVEMENT AND A STRUCTURE MAY OCCUR.
3. PROVIDE ISOLATION JOINTS AT ALL ELECTRICAL FIXTURE BASES AND UTILITY STRUCTURES UNLESS NOTED OTHERWISE.

4 Concrete Joints

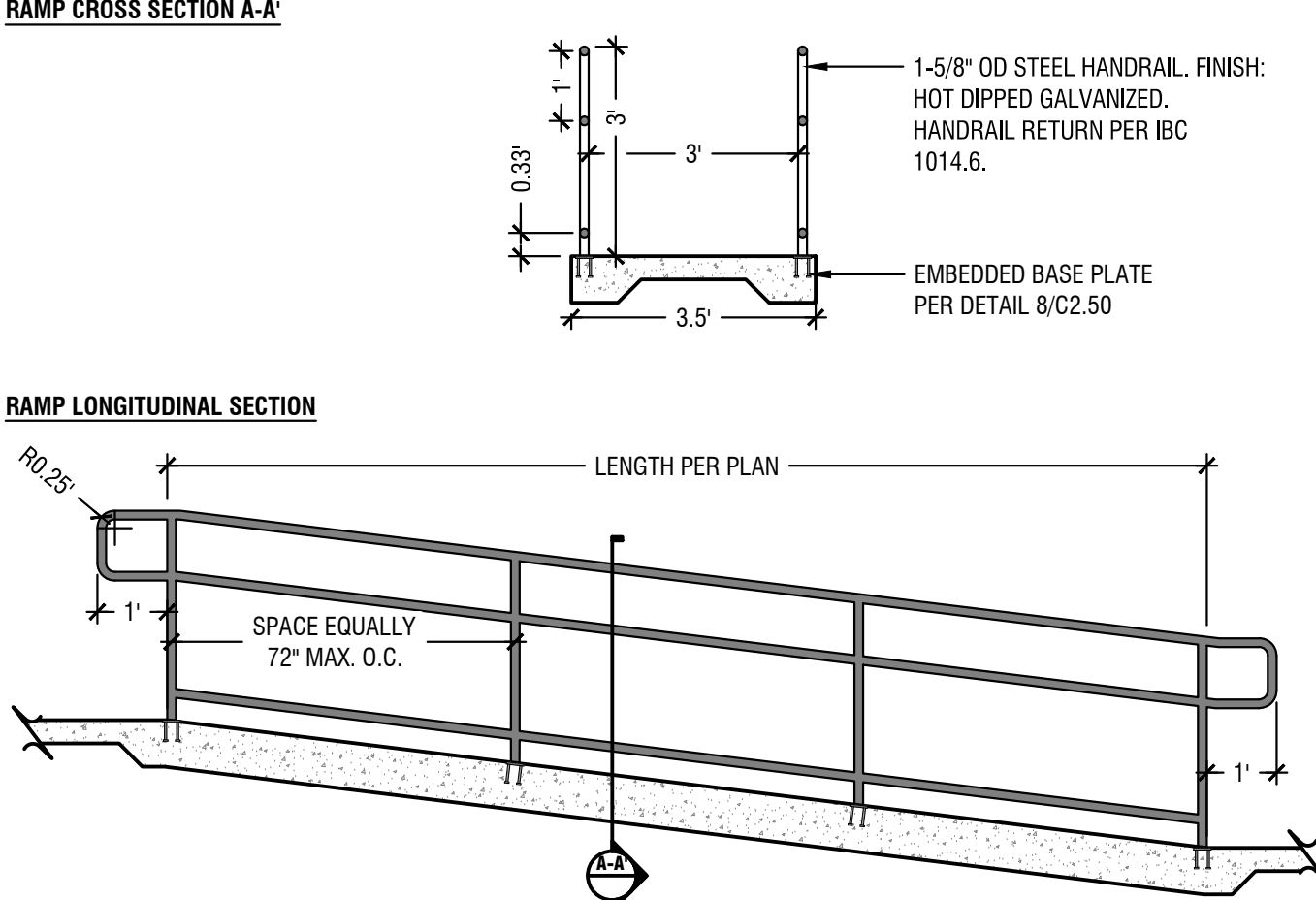
Scale: NTS



NOTES:
1. SLOPE ALL STAIR TREADS 0.75% TO ENSURE PROPER DRAINAGE.
2. HANDRAILS SHALL BE 1-5/8" OD HOT-DIPPED GALVANIZED. HOLD 2" FROM FACE OF WALL.

5 Stairs and Handrail

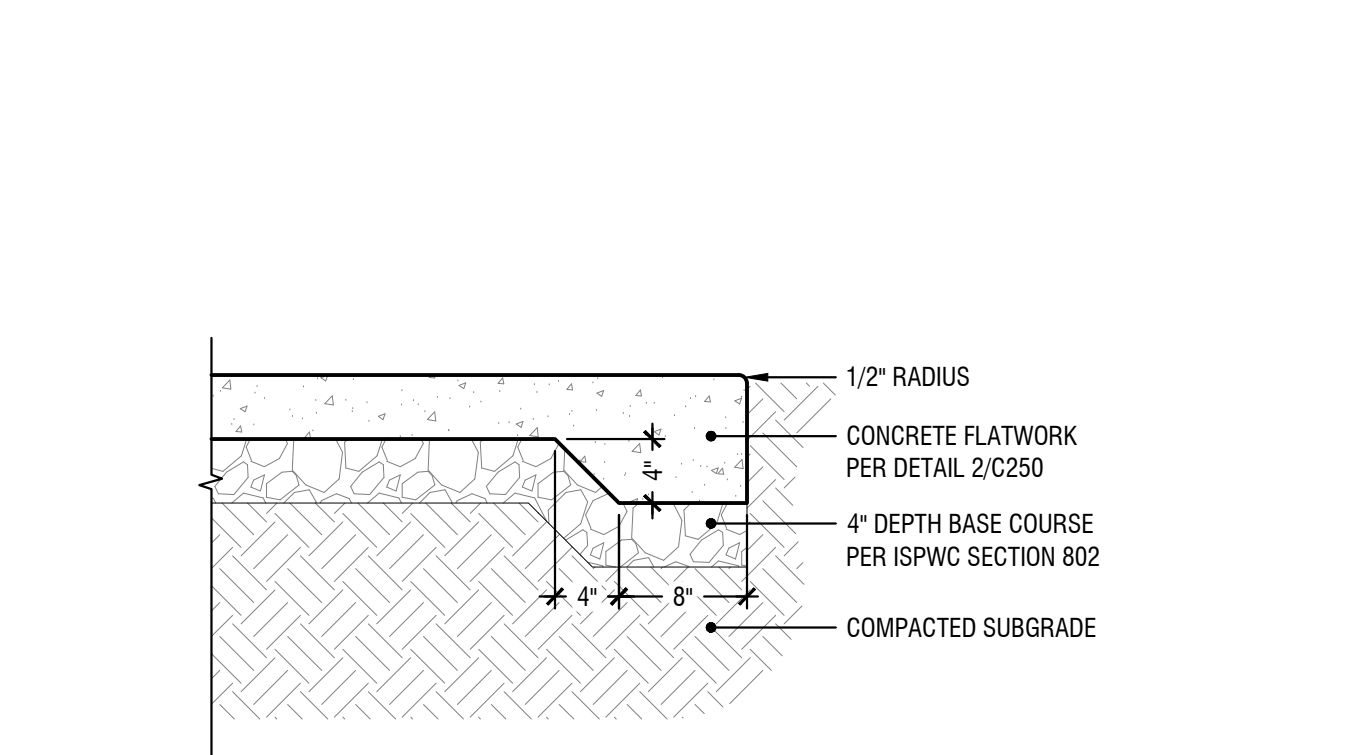
Scale: 1/2" = 1'



NOTES:
1. INSTALL GROUND SURFACE EDGE PROTECTION (12" MIN.) FROM INSIDE OF HANDRAILS TO ANY LANDSCAPE AREAS PER ADA ACCESSIBILITY STANDARDS 405.9.1.
2. INSTALL BARRIER RAIL ON HANDRAIL PER ADA ACCESSIBILITY STANDARDS 405.9.2 WHERE NOT ADJACENT TO GUARDRAILS.
3. EXTEND TOP AND BOTTOM OF HANDRAILS 12" BEYOND RAMP PER ADA ACCESSIBILITY STANDARDS 505.10.1

6 Ramp and Handrail Section

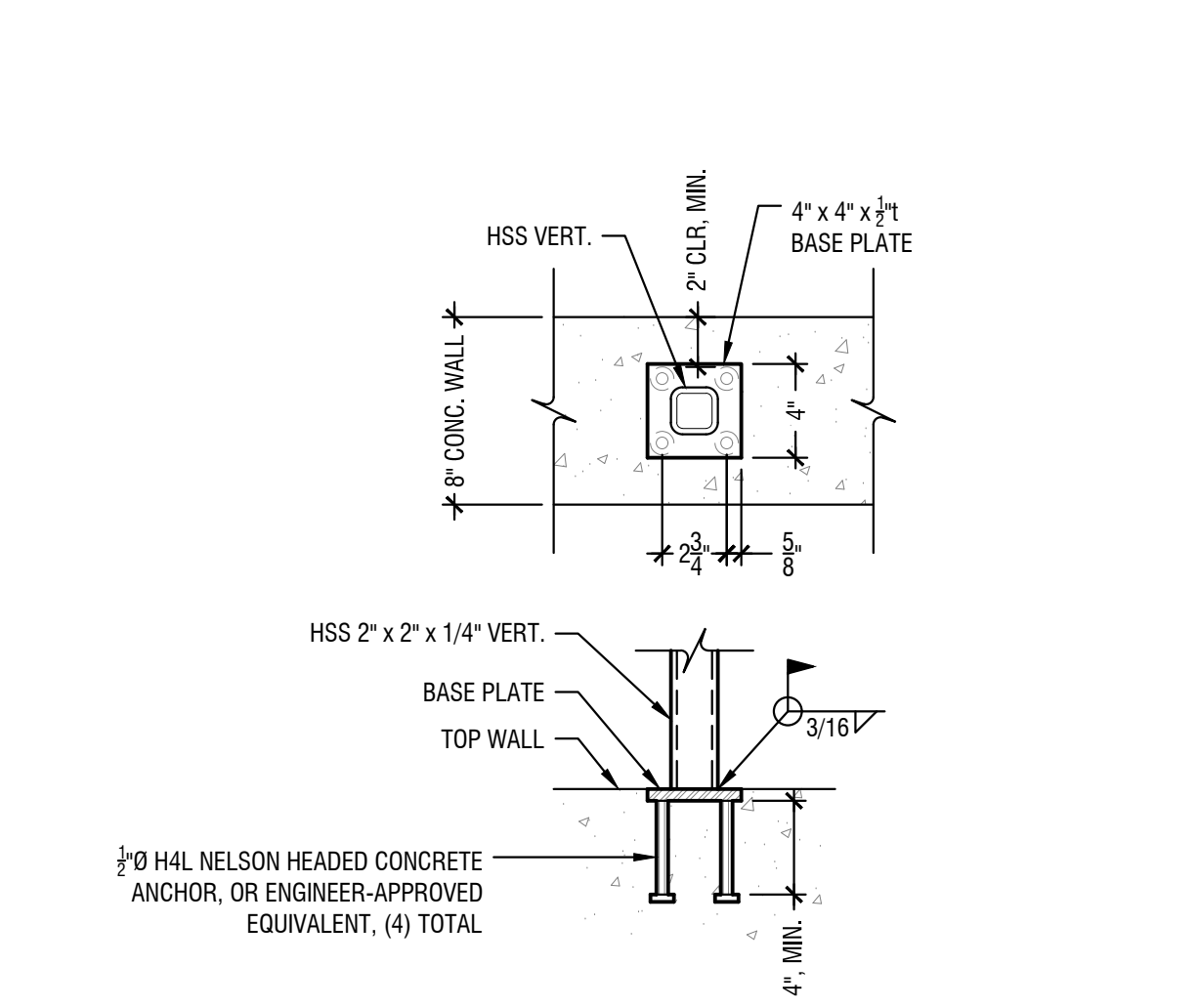
Scale: 3/8" = 1'



NOTES:
1. JOINTS SHALL BE SPACED EVENLY THROUGHOUT LENGTH OF WALK, AS SHOWN ON DRAWINGS.

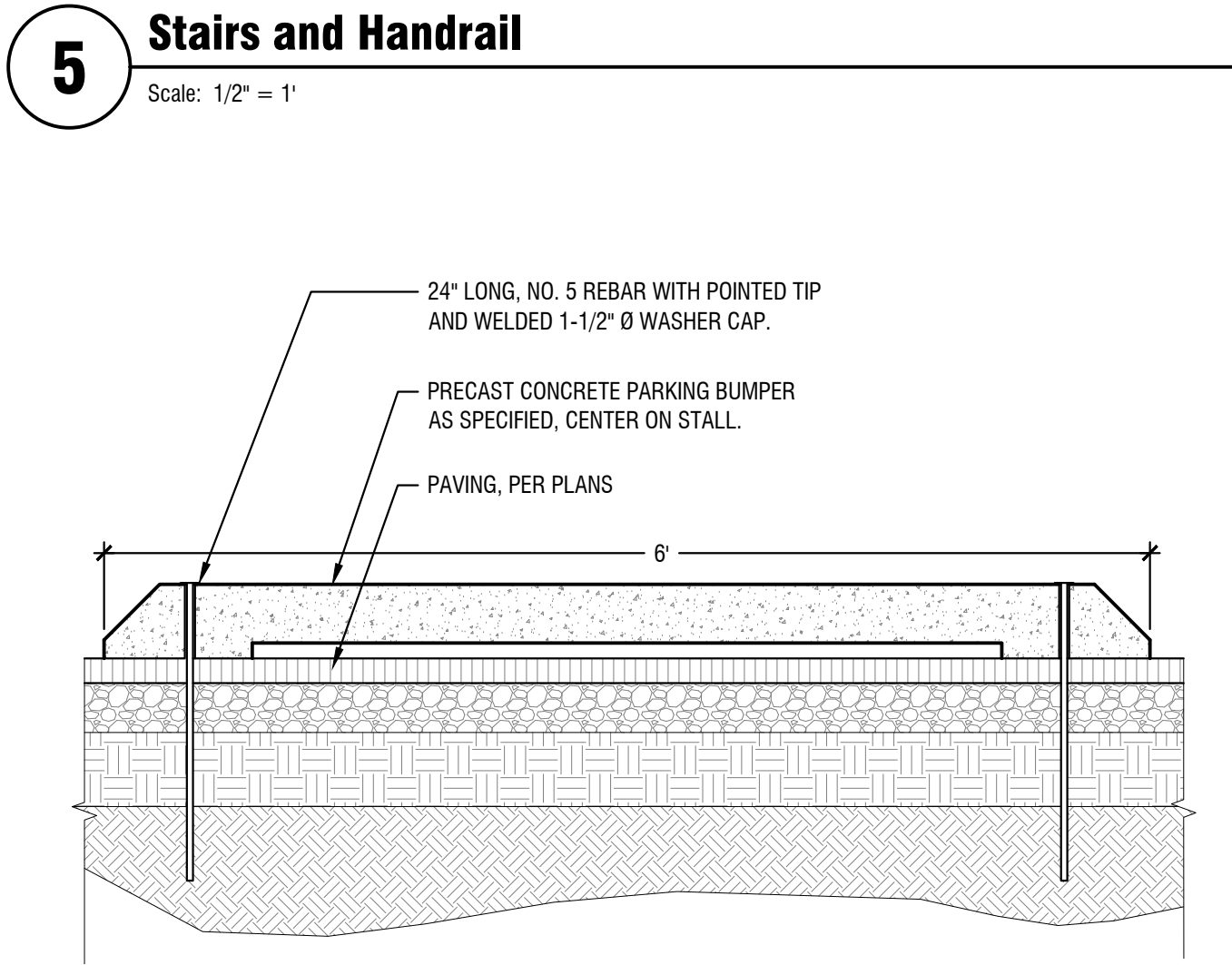
7 Thicken Edge Concrete Flatwork

Scale: NTS



8 Embedded Base Plate

Scale: NTS



NOTES:
1. CENTER OF WHEEL STOPS TO BE LOCATED 2'-0" FROM END OF STALL.

9 Parking Bumper

Scale: 1" = 1'



10 Commercial Planter

Scale: NTS



11 Decorative Metal Screen

Scale: NTS



12 Fire Table

Scale: NTS

Sheet Notes:

- A. UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE AND UTILITY COMPANY FACILITY MAPS. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OF UNDERGROUND UTILITIES.
- B. THE BASIS OF BEARING OF THIS MAP IS GRID NORTH ON THE IDAHO STATE PLANE COORDINATES SYSTEM (NAD 83) WEST ZONE, AS DETERMINED BY GLOBAL POSITIONING SYSTEMS METHODS. ANY DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.

Demolition Legend:

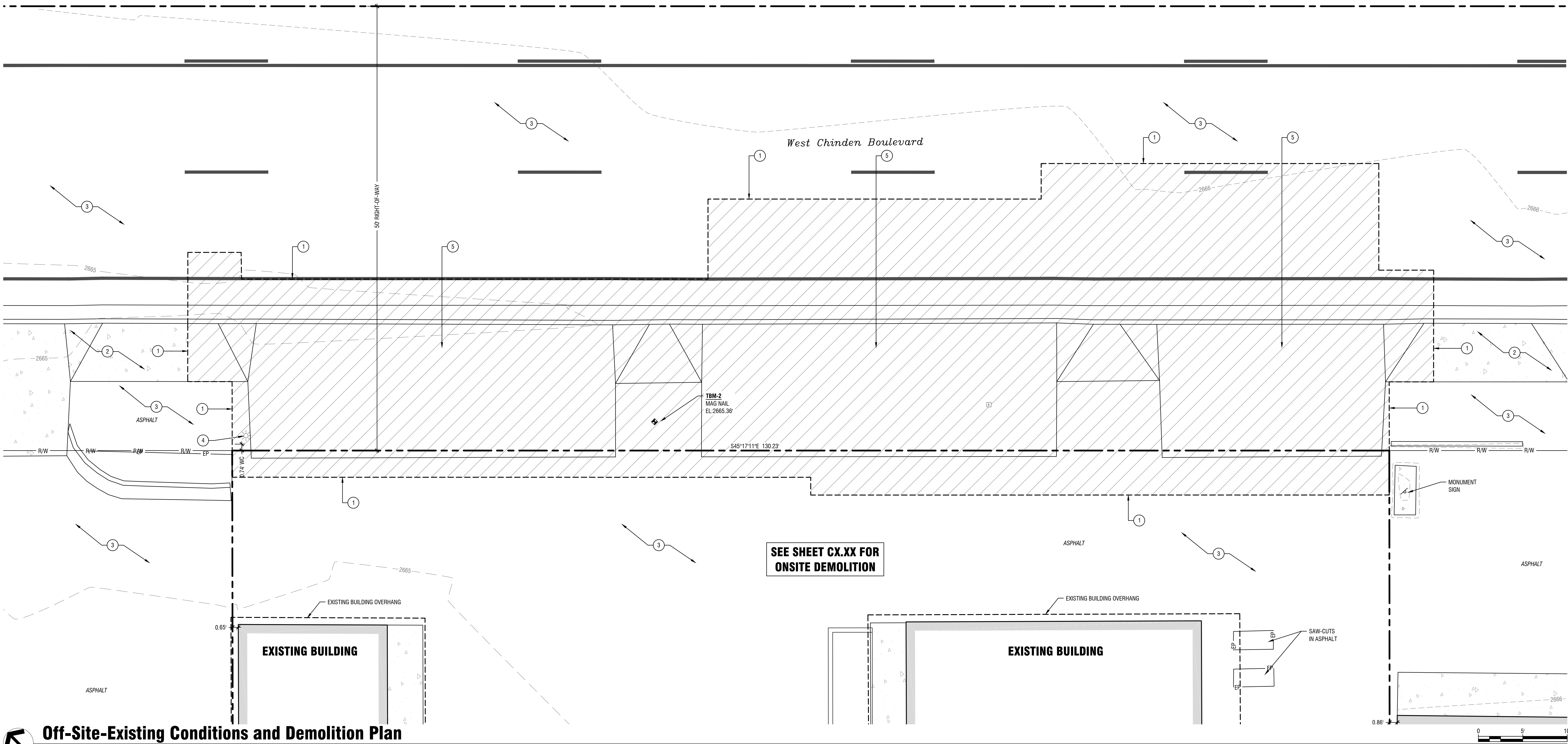
- REMOVE AND DISPOSE OF HARDSCAPE OFF-SITE.
- RETAIN AND PROTECT EXISTING CONCRETE SIDEWALK.
- SAW CUT PER IS/SPWC SD-303, PROVIDE A NEAT SAW CUT LINE OF ASPHALT AND CONCRETE

Keynotes:

1. SAWCUT EXISTING HARDSCAPE FOR A NEAT, VERTICAL JOINT PER IS/SPWC SD-303, SAWCUT 2-FT MINIMUM INTO EXISTING HARDSCAPE, UNLESS NOTED OTHERWISE.
2. RETAIN AND PROTECT EXISTING SIDEWALK, CURB, AND/OR GUTTER.
3. RETAIN AND PROTECT EXISTING ASPHALT.
4. RETAIN AND PROTECT EXISTING STREET LIGHT.
5. REMOVE EXISTING DRIVE APPROACH.

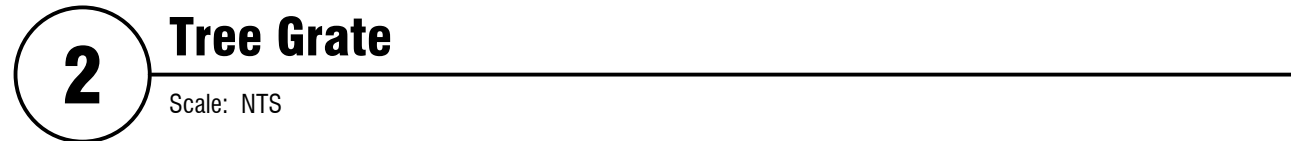
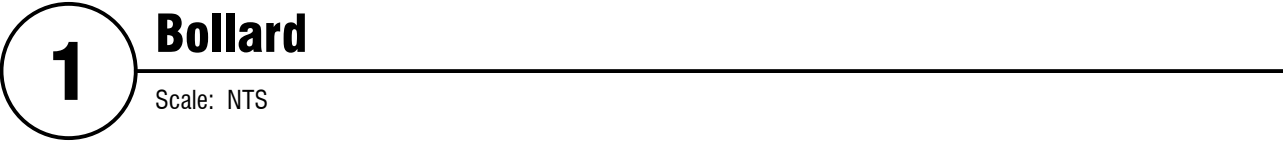
Legend:

- PANEL BOUNDARY LINE
- ADJACENT PROPERTY LINE
- EDGE OF PAVEMENT
- CONCRETE AREA
- CURB AND GUTTER
- EXISTING BUILDING
- EXISTING GROUND CONTOUR
- TELEPHONE RISER
- STREET LIGHT



Off-Site-Existing Conditions and Demolition Plan

Horizontal Scale: 1" = 5'



A. CONTRACTOR SHALL COMPLY WITH CONSTRUCTION NOTES ON SHEET CI.00.	I. IN THE EVENT OF A DISCREPANCY, NOTIFY THE ENGINEER AND/OR THE LANDSCAPE ARCHITECT IMMEDIATELY.
B. CONTRACTOR SHALL REPORT TO ENGINEER ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.	J. WHEREVER CONCRETE FLATWALK ABUTS BUILDINGS OR COLUMNS, IT SHALL HAVE AN EXPANSION JOINT.
C. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTORS RESPONSIBILITY.	K. PROVIDE JOINTS AS SHOWN ON PLANS AND PER DETAIL 4/C2-50. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWALK THAT DOES NOT CONFORM TO THE DESIGN.
D. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK.	L. TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
E. CONTRACTOR SHALL REPAIR ALL LANDSCAPE AND IRRIGATION AREAS DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS.	M. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED .5% CROSS SLOPE OF SIDEWALKS AND PEDESTRIAN RAMPS SHALL NOT EXCEED .2% SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 1:21 SLOPE IN ANY DIRECTION. FLATWALK ADJACENT TO THE BUILDING SHALL NOT EXCEED .2% CROSS SLOPE OR HAVE A CROSS SLOPE LESS THAN 1%.
F. CONTRACTOR SHALL PROVIDE FLATWALK REINFORCEMENT PER DETAIL 1012-24 AT ALL UTILITY STRUCTURES LOCATED WITHIN FLATWALK, WHETHER OR NOT SHOWN ON THIS PLAN.	N. FOR ASPHALT PAVEMENT AREAS, ALL SYMBOLS, WORD MARKINGS, CROSSWALKS, AND STOP BARS SHALL BE THERMOPLASTIC. ALL REMAINING PAVEMENT MARKINGS SHALL BE PAINT.
G. CONTRACTOR SHALL AT ALL TIMES, PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION, DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.	O. CONTRACTOR SHALL COMPLETELY OBLITERATE ALL CONFLICTING PAVEMENT MARKINGS.
H. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.	

— (3) 4" WHITE SKIP (7" LINE - 18" GAP)
(FOR SPEED ZONES 40 MPH OR LESS)

— (17) 4" SOLID WHITE

[illegible]

C3.20



Web location: p12325123766/acd_cd123766 c232 of 548 site planning
and Public Safety MyPy
Site Public. Wednesday, November 29, 2023 at 04:04 PM

Sheet Notes:

- A. CONTRACTOR SHALL COMPLY WITH CONSTRUCTION NOTES ON SHEET C1.00.
- B. CONTRACTOR SHALL REPORT TO ENGINEER ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.
- C. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- D. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK.
- E. CONTRACTOR SHALL REPAIR ALL LANDSCAPE AND IRRIGATION AREAS DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS.
- F. CONTRACTOR SHALL PROVIDE FLATWORK REINFORCEMENT PER DETAIL 10/C2.50 AT ALL UTILITY STRUCTURES LOCATED WITHIN FLATWORK, WHETHER OR NOT SHOWN ON THIS PLAN.
- G. CONTRACTOR SHALL AT ALL TIMES, PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION. DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.
- H. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- I. IN THE EVENT OF A DISCREPANCY, NOTIFY THE ENGINEER AND/OR THE LANDSCAPE ARCHITECT IMMEDIATELY.
- J. WHEREVER CONCRETE FLATWORK ABUTS BUILDINGS OR COLUMNS, IT SHALL HAVE AN EXPANSION JOINT.
- K. PROVIDE JOINTS AS SHOWN ON PLANS AND PER DETAIL 4/C2.50. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWORK THAT DOES NOT CONFORM TO THE DESIGN.
- L. TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
- M. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE OF SIDEWALKS AND PEDESTRIAN RAMPS SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2% CROSS SLOPE OR HAVE A CROSS SLOPE LESS THAN 1%.
- N. FOR ASPHALT PAVEMENT AREAS, ALL SYMBOLS, WORD MARKINGS, CROSSWALKS, AND STOP BARS SHALL BE THERMOPLASTIC. ALL REMAINING PAVEMENT MARKINGS SHALL BE PAINT.
- O. CONTRACTOR SHALL COMPLETELY OBLITERATE ALL CONFLICTING PAVEMENT MARKINGS.

Keynotes:

1. SAWCUT EXISTING PAVEMENT TO PROVIDE A NEAT, VERTICAL JOINT. ALL REMOVED CONCRETE ASPHALT SHALL BE DISPOSED OF OFF-SITE.
2. CONSTRUCT CURB AND CATCH PLATE GUTTER TYPE 2 PER ITD SD 615-1.
3. CONSTRUCT CONSTRUCT CONCRETE SIDEWALK ADJACENT TO CURB PER ITD SD 614-1.
4. CONSTRUCT OFFSET SIDEWALK DRIVEWAY PER ITD SD 614-2.
5. MATCH EXISTING STRIPING
6. EXISTING STREET LIGHT. RETAIN AND PROTECT.
7. TREE GRATE PER DETAIL X/CX.XX. TYPE: XXXXXXXXXX. SIZE: 8' x 12', ADA COMPLIANT.
8. DECORATIVE LIGHTING.

Material Legend:

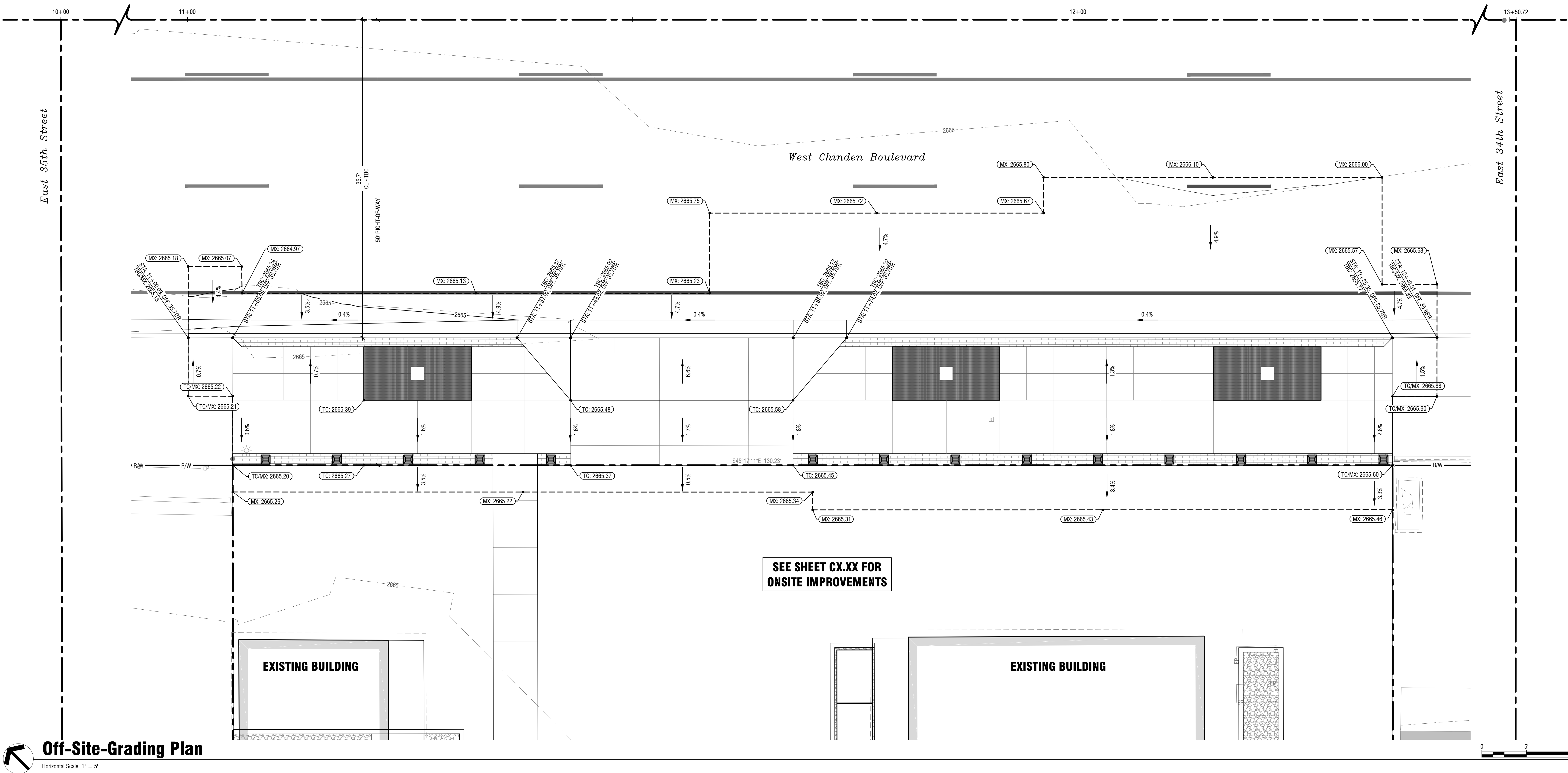
- PAVEMENT MATCHES WITH ITD R/W SHALL MATCH THE EXISTING STREET SECTION.
- CONCRETE SIDEWALK PER ITD SD 614-1.
- DECORATIVE PAVING

Curb Legend:

- CURB AND CATCH PLATE GUTTER TYPE 2 PER ITD SD 615-1.

Pavement Marking Legend

- 4" SOLID WHITE



Arcadia Motel Renovation
Elevate Chinden LLC

3433 W Chinden Blvd
Garden City, ID 83737-14

Revisions
1.



Project No.: 122166
Date of Issuance: 11/29/2023
Project Milestone: Project#46

Off-Site
Grading Plan

C3.30

STRUCTURAL NOTES

GENERAL:

- | | | | | | | | | | | | | | |
|--|---|--|---|---|---|--|----------------------------|----------------------------|----------------------------|----------------------------|--|--|--|
| | Unless noted otherwise, all work shall conform to the requirements of the 2018 International Building Code. It is the Contractor's responsibility to verify all existing conditions at the job site, and to fully coordinate all dimensions and conditions of details with other disciplines. Any field conditions requiring construction that is different from that shown on the plans shall be brought to the attention of the Architect. For the construction of said details shown in the drawings shall be brought to the attention of the Architect prior to the confectioning of said detail. | | | | | | | | | | | | |
| 2. | All support of construction loads shall be the responsibility of the Contractor. All shoring and bracing required for the protection of the life and property during the construction process shall be the responsibility of the Contractor. All procedures of soil excavation, backfill, and support of adjacent property during earthwork shall be the responsibility of the General Contractor. | | | | | | | | | | | | |
| 3. | All dimensions indicated on plans shall be to face of studs, face of concrete block, face of rough concrete, centerline of columns, bottom of metal deck, and top of slab, unless noted otherwise. Refer to Architectural drawings for all dimensions not indicated on structural drawings. | | | | | | | | | | | | |
| 4. | Work these drawings with architectural, mechanical, and electrical drawings. | | | | | | | | | | | | |
| 5. | The following design criteria shall be enforced: | | | | | | | | | | | | |
| A. | Roof Live Load: | 20 PSF | | | | | | | | | | | |
| B. | Roof Snow Load: | Snow Risk Category: II (Categories I, II, III, IV)
1.0 (Risk I=0.80; II=1.00; III=1.0; IV=1.20)
Snow Importance Factor: P _s = 20 PSF
Exposure Factor: Ce = 1.00
Thermal Factor: Ct = 1.00
Slope Factor: Cs = 1.00
Flat Roof Snow Load: Pf = 25 PSF
Sloped Roof Snow Load: Ps = 25 PSF | | | | | | | | | | | |
| C. | Rain Live Load: | 5.2 PSF | | | | | | | | | | | |
| D. | Floor Live Load: | 80 PSF | | | | | | | | | | | |
| E. | Walkway Live Load: | 60 PSF | | | | | | | | | | | |
| F. | Stair Live Load: | 100 PSF | | | | | | | | | | | |
| G. | Roof Dead Load: | 20 PSF | | | | | | | | | | | |
| H. | Floor Dead Load: | 20 PSF | | | | | | | | | | | |
| I. | Walkway Dead Load: | 30 PSF | | | | | | | | | | | |
| J. | Stair Dead Load: | 30 PSF | | | | | | | | | | | |
| 6. | Wind Forces: | Wind Risk Category: II (Categories I, II, III, IV)
Wind Speed, 3 Second Gust: V _{WS} = 115 MPH (Risk I=Fig.26.5-1C; II=Fig. 26.5-1A; III & IV=Fig. 26.5-1B)
Wind Exposure Category: B (Building Roughness B, C & D)
Roof Net Uplift Due to Wind: 10 PSF (Minimum = 5psf WSD, 8psf USD) | | | | | | | | | | | |
| Main Wind-Force Resisting System: (Factored - Multiply by 0.6 for WSD). Based on ASCE-7 Directional Procedure, MWFRS - Chapter 27, Part 2. Simple Diaphragm Buildings as defined in Section 26.2. For all other structures use Chapter 27, Part 1. | | | | | | | | | | | | | |
| A. | Wall Pressures: (Minimum = 10psf WSD, 16psf USD) | Longitudinal:
Ph: Total = 19.26 PSF; Windward = 11.94 PSF;
Po: Total = 18.83 PSF; Windward = 11.51 PSF;
Transverse:
Ph & Po: Leeward = -7.32 PSF; Side = -10.40 PSF; Internal = +/-3.24 PSF;
Ph: Total = 18.97 PSF; Windward = 11.99 PSF;
Po: Total = 18.54 PSF; Windward = 11.56 PSF;
Ph & Po: Leeward = -6.98 PSF; Side = -10.45 PSF; Internal = +/-3.24 PSF; | | | | | | | | | | | |
| B. | Roof Pressures: | Load Case 1: Zone 1 = -18.71 PSF; Zone 2 = -13.46 PSF; Zone 3 = -19.09 PSF; Zone 4 = -17.00 PSF; Zone 5 = -23.00 PSF
Load Case 2: Zone 1 = 2.73 PSF; Zone 2 = -3.83 PSF; Zone 3 = 0.00 PSF; Zone 4 = 0.00 PSF; Zone 5 = -23.00 PSF | | | | | | | | | | | |
| C. | Overhang Pressures: | P _{ovh} : Along Length L (Zone 1) = 14.03 PSF
P _{ovh} : Along Width B (Zone 3) = 14.32 PSF | | | | | | | | | | | |
| Components and Cladding: (Factored - Multiply by 0.6 for WSD). Based on ASCE-7 Directional Procedure, C&C Chapter 30, Parts 1-7. Buildings as defined in Section 26.2. | | | | | | | | | | | | | |
| A. | Wall and Roof Pressures: | Load Case 1
Load Case 2 | Zone 1
-39.32
12.87 | Zone 2e
-59.32
12.87 | Zone 2n
-57.29
12.87 | Zone 2r
-57.29
12.87 | Zone 3e
-57.29
12.87 | Zone 3r
-58.10
12.87 | Zone 4e
-58.10
21.27 | Zone 4r
-23.00
21.27 | | | |
| B. | Roof Overhang Pressures: | Along Building Width B:
Load Case 1
Load Case 2 | Roof Pressures
P _{ovh} Zone 2n
12.9
14.84 | P _{ovh} Zone 3e
-65.90
14.84 | P _{ovh} Zone 3r
-65.90
14.84 | Soffit Pressures
Ps Zone 4
-23.1
21.3 | Ps Zone 5
-28.5
21.3 | | | | | | |
| Along Building Length L: | | | | | | | | | | | | | |
| | | | | | | | | | | | | | |
| | | | | | | | | | | | | | |

FOUNDATION:

1. The Contractor shall verify the following assumed soils conditions.
2. Footing to frost depth to bottom of footing from ground surface = 24 inches.
3. Maximum foundation soil bearing pressure used = 1500 #/SF.
4. Backfill shall be compacted to 95% of Modified Proctor Density in accordance with ASTM D-1557.
5. Prior to frost depth, remove all construction debris, surficial fill, and topsoil at all pavement, sidewalk and building areas, and replace with structural fill, see soils report for specific requirements.
6. All footings shall be poured in neat excavated trenches. Trenches shall be approved by inspector prior to placement of concrete at locations where structural fill is required, fill shall be placed in 6" lifts and compacted at optimum moisture content.
7. The Contractor shall familiarize himself with the survey before starting construction. All foundation work shall be in accordance with the drawings and specifications.
8. The Contractor shall note all subsurface interferences noted in the Construction Documents by other consultants including but not limited to rock, fills, utility lines, etc.
9. The Contractor shall retain (not Special Inspection Requirements) a soils testing laboratory may be retained by the owner to provide construction review to ensure conformance with the Construction Documents during the excavation, backfill, and foundation phases of the project.
10. The testing laboratory shall discuss with the engineer the design intent of the Construction Documents and the testing procedures used to ensure conformance with the Construction Documents before construction begins. Inform the Engineer of any variance in these procedures.
11. It is the responsibility of the soils testing laboratory to: determine topsoil and excavation stripping depth; inspect all subsoil exposed during stripping. Site grading, and excavation operations; approve fill materials; perform density tests of fills to ensure placement per specification requirements; inspect foundation-bearing surfaces.
12. Footing, where required shall be placed, at a ratio of one (1) vertical to two (2) horizontal with a maximum vertical step of 2" - 0" unless noted otherwise.
13. The maximum term exposure of bearing surfaces, which will result in deterioration of bearing formations, shall be prevented. Footing shall be placed immediately following footing excavations and bearing surface inspection.
14. All fill materials shall be free of organic contamination and other deleterious matter.
15. For backfill against grade beams, etc. Place in 8" thick layers, with each lift compacted at near optimum moisture content, until a minimum in place density of 95% of the maximum density as determined by ASTM test procedure D-1557 is achieved.
16. Notify architect and structural engineer of any unusual soil conditions.

CONCRETE (CAST IN PLACE):

1. All concrete materials shall comply with the standards specified in the latest edition of the ACI 318 and IBC building code. All mix design shall be established in accordance to chapter 19 of ACI 318 and IBC and submitted to the Engineer at least 2 weeks prior to the placement of concrete.
2. For quality control (if special inspection is not required) concrete testing shall be performed by an approved independent testing laboratory. The testing agency shall test 4 cylinders from each class of concrete used each day. A minimum of (1) sample must be taken from each 50 cubic yards of concrete. A minimum of (1) sample must be taken from each 15,000 square feet of concrete (single sided surface area) for walls or slabs.
3. All concrete shall develop a minimum compressive in 28 days as follows:

Location	Special Inspect.	Slump (max)	Aggregate (max size)	Compressive Strength (PSI)
Footings	No	3	1" dia.	3500
Stem Walls	No	3	1" dia.	3500
Interior Slabs	No	3	3/4" dia.	3500
Exterior Slabs	No	3	3/4" dia.	4000

Slump based upon NO additives. Contractor shall be responsible for maintaining required strength.
4. All concrete shall have the following maximum water cement ratios:

Compressive Strength	Non-Air Entrained	Air Entrained	Floor Slabs
3,500 PSI	0.60	0.50	0.45
4,000 PSI	0.57	0.48	0.45
5,000 PSI	0.50	0.40	0.45
6,000 PSI	0.45	0.40	0.45

Minimum Cement content = 500#/yd. Concrete Exposure = F1, S0, PD & C1.
5. When special inspection is required by design, such special inspection shall be in conformance with Special inspections section of the Building Code. When special inspection is not required, higher concrete strengths have been specified for quality control.
6. Any concrete that fails to meet specifications shall be removed and replaced at the expense of the Contractor.
7. The Contractor shall be responsible for the construction, design, placement and removal of all formwork. All shoring during placement of concrete is the sole responsibility of the Contractor.
8. Provide 5%(+/-) air entrainment in all concrete exposed to the weather.
9. All concrete work shall conform to the latest edition of ACI 117 Standards "Specifications for Tolerances for Concrete Construction and Materials."
10. Where epoxy is required for concrete embeddings use Hilti HIT HY-200 or current Hilti epoxy for concrete or equal.

CONCRETE REINFORCING:

1. All reinforcing bars shall conform to ASTM A-615 or ASTM A-706 #4 bars and larger grade 60, stirrups grade 60, Fy=60,000 PSI min., #3 bars and ties grade 40, Fy=40,000 PSI min., unless noted otherwise. Bars shall be tied secure prior to placement of concrete to maintain proper placement after concrete is in place. Lap all bars per Chapter 12 of ACI 318 unless noted otherwise. Splice bars only where shown on plans or in accordance with Item #3 below.
2. Maintain the following concrete coverage for concrete reinforcing:
 - Unformed surfaces in contact with earth5"
 - Formed surfaces in contact with earth2"
 - Formed surfaces exposed to outside weather2"
 - Slabs and walls not exposed to weather1 1/2"
 - Clear distance between bars2" U.N.O.
3. All work, detailing, fabrication and placing of reinforcing bars, unless otherwise noted, shall conform to the latest edition of the ACI 318, "Building Code Requirements for Structural Reinforced Concrete", the latest ACI "Detailing Manual" and the IBC International Building Code.
4. No laced welding for reinforcing in the field will be permitted.
5. Drawings of bars and locations shall be submitted to the Structural Engineer for review prior to fabrication.
6. Normal weight concrete shall have a unit weight of 145 to 155 pounds per cubic foot. Use of calcium chloride is not permitted in any concrete mixes. All other additives and admixtures must have the written approval of the Engineer.
7. Provide foundation and footing corner and intersecting reinforcing to match the horizontal reinforcing, in same bar size and opposite side code required lap splice.
8. Welded wire mesh reinforcing shall conform to ASTM A-185 and be furnished in flat sheets, unfinished, Lap mesh 8 inches minimum. Use as noted in the plans.
9. Bars shall be coated fibrillated polypropylene alkali fibers or equal 3/4 inch in length. Fiberglass fibers shall be added to the concrete mix at a minimum rate of 1.5 pounds (0.1 percent by volume) per cubic yard of concrete. The dosage shall not exceed 15 pounds per cubic yard. Use as noted in the plans.

STRUCTURAL AND MISCELLANEOUS STEEL:

1. All steel work shall conform with AISC specifications and IBC.
2. Plates, angles and channels, ASTM A36.
3. W shapes ASTM A992, Grade 50.
4. Tubes, ASTM A500, Grade C.
5. Pipes, ASTM A53, Grade B.
6. Use E70 electrodes for all welds. Metal deck welding can be E60 or E70 electrodes for welding.
7. All beams open to the top shall be supported dead load, do not comb continuous beams.
8. Bolts ASTM A307 for connections to concrete, ASTM A307 for steel connections.
9. All welding shall be performed by welders qualified by an independent testing agency. Qualifications shall be based on the requirements of AWS D1.1.
10. Steel stairs shall be designed and detailed by steel fabricator. Provide shop drawings stamped by a Professional Engineer registered in the State of Idaho.
11. Column base plates shall be dry packed with 5000 PSI, non-metallic, non-shrink grout, unless noted otherwise.

LUMBER:

1. Sawn lumber for joists, etc. (2x6 or larger) = No. 2 Doug Fir Larch.
2. Sawn lumber for joists, etc. (2x4 or smaller) = No. 2 Doug Fir Larch.
3. Sawn lumber for wall plates = No. 2 Doug Fir Larch.
4. 2x5 studs = Stud Doug Fir Larch.
5. Posts, stringers and beams = No. 1 Doug Fir Larch.
6. Prolonged bearing posts under all truss girder beams, the minimum width of the posts shall be the width of the girders and beams.
7. Roof purl./OSB = 15/32" CDX, 32/16 APA Rated unblocked, provide one H clip per span minimum, unless noted otherwise in plans.
8. If roof is blocked, blocking and do not install H clip.
9. Roof purl./OSB = 23/32" CDX Tongue and Groove 24 APA Rated unblocked, see also Diaphragm Schedule.
10. Roof nailing = 8d at 6" o.c. all supported edges, 12" o.c. in field, see also Diaphragm Schedule.
11. Floor nailing = 10d at 6" o.c. all supported edges, 12" o.c. in field, see also Diaphragm Schedule.
12. Wall nailing = 7/16" CDX, 24/24 APA Rated.
13. Wall nailing = 8d at 6" o.c. edges and 12" o.c. in field with blocked purl./OSB edges as noted in plans. See also Shearwall Schedule.
14. All purl./OSB nailing shall be 3/8" minimum from panel edges. Provide 1/8" spacing between panel edges by means of nails or Simpson
15. all wall sheathing clips.
16. All nailing shall, at a minimum, meet the requirements of IBC Chapter 23 Table 2304.10.1 Fastening Schedule.
17. All fasteners in contact with preservative-treated and fire-treated wood shall comply with IBC Chapter 23 Section 2304.10.5.
18. All nails are to be common nails unless noted otherwise. All staples are 7/16" x 3-3/4" long unless noted otherwise. All nails and
19. staples shall conform to the requirements of IBC Chapter 23 Section 2303.5.
20. Follow manufacturer's recommendations for all Simpson, or equal, connections. All connectors shall conform to IBC Chapter 23, Section 2303.5.
21. Glu-Lam beams:
 - a. Simple span members combination 24F-V4 DF/DF.
 - b. Continuous span members combinations 24F-V8 DF/DF.
 - c. Provide minimum camber radius of 2,000 ft. for 1-1/2 times the supported dead load if camber is specified in the Construction Documents.
22. Trus-Joist/-Level products:
 - a. Roof joist shown as T/J etc. shall be designed for the loads specified and shall conform to Trus-Joist specification.
 - b. Joists exceeding 24" in length shall be cambered to a standard radius of R = 2250.
 - c. Any alternate joint system(s) shall be the same depth and load carrying capacity as the Trus-Joist system shown on the drawings.
 - d. Members shall not exceed Trus-Joist maximum camber for commercial Parallams. Camber is specified in Construction Documents.
23. Microlam Products shall conform to the following values:

Microloom LVL:	Parallam PSL:	Timberstrand 1.3 LSL (3 1/2" Wide Headers):
E = 1,966 psi	E = 2,066 psi	E = 1,366 psi
Fb = 2600 psi	Fb = 2900 psi	Fb = 1700 psi
Fc per = 750 psi	Fc per = 750 psi	Fc per = 680 psi
Fc par = 2510 psi	Fc par = 2900 psi	Fc par = 1400 psi
Fv = 285 psi	Fv = 290 psi	Fv = 400 psi

Timber Strand 1.55 LSL (1 3/4" & 3 1/2" Wide Headers)
E = 1.55E6 psi
Fb = 2325 psi
Fc per = 800 psi
Fc par = 2050 psi
Fv = 310 psi

DEFERRED SUBMITTALS

The following list of deferred submittals shall be submitted to Architect/Engineer for review in accordance with IBC Chapter 1, Section 107.3.4.1.

Engineered Wood Products

SPECIAL INSPECTION

Special Inspection, as specified in Chapter 17, Sections 1704 & 1705 of the IBC, is required as noted for the items on sheets S0.02 and S0.03. The Contractor shall provide a minimum of 48 hours notice to Special Inspector prior to inspection.

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Addition:

**ARCADIA
MOTEL**

3433 W CHINDEN BLVD.
GARDEN CITY, ID 83714

STRUCTURAL NOTES

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

S0.01.DWG

File Name:

Revisions:

S0.01

SCHEDULE OF SPECIAL INSPECTION				
PROJECT SERVICES		APPLICABLE TO THIS PROJECT		
MATERIAL/ACTIVITY	SERVICE	Y/N	EXTENT	COMMENTS
1704.2.5 Inspection of Fabricators				
Verify fabrication/quality control procedures	In-plant review (3)	N	Periodic	The Special Inspector shall verify that the fabricator maintains detailed fabrication and quality control procedures and shall review for completeness and adequacy relative to code requirement. Special Inspections are not required by section 1705 where the work is done on the premises of a fabricator registered and approved to perform such work based on review of the fabricator's written procedural and quality control manuals and periodic auditing of the fabrication practices by a nationally recognized authority. At completion of fabrication, the approved fabricator shall submit a certificate of compliance.
1705.1.1 Special Cases (work unusual in nature, including but not limited to alternative materials and systems, unusual design applications, materials and systems with special manufacturer's requirements)	Submittal review, shop (3) and/or field inspection	N		
1705.2 Steel Construction				
1. Fabricator and erector documents (Verify reports and certificates as listed in AISC 360, chapter N, paragraph 3.2 for compliance with construction documents)	Submittal Review	N	Each submittal	
2. Material verification of structural steel	Shop (3) and field inspection	N	Periodic	
3. Embedments (Verify diameter, grade, type, length, embedment. See 1705.3 for anchors)	Field inspection	N	Periodic	
4. Verify member locations, braces, stiffeners, and application of joint details at each connection comply with construction documents	Field inspection	N	Periodic	
5. Structural steel welding:				
a. Inspection tasks Prior to Welding (Observe, or perform for each welded joint or member, the QA tasks listed in AISC 360, Table NS-4-1)	Shop (3) and field inspection	N	Observe or Perform as noted (4)	This testing performed by the Contractor and confirmed by Special Inspector
b. Inspection tasks During Welding (Observe, or perform for each welded joint or member, the QA tasks listed in AISC 360, Table NS-4-2)	Shop (3) and field inspection	N	Observe (4)	
c. Inspection tasks After Welding (Observe, or perform for each welded joint or member, the QA tasks listed in AISC 360, Table NS-4-3)	Shop (3) and field inspection	N	Observe or Perform as noted (4)	
d. Nondestructive testing (NDT) of welded joints: see Commentary		N		
1) Complete penetration groove welds 5/16" or greater in risk category III or IV	Shop (3) or field ultrasonic testing - 100%	N	Periodic	
2) Complete penetration groove welds 5/16" or greater in risk category II	Shop (3) or field ultrasonic testing - 10% of welds minimum	N	Periodic	
3) Thermally cut surfaces of access holes when material t > 2"	Shop (3) or field magnetic Partial or Penetrant testing	N	Periodic	
4) Welded joints subject to fatigue when required by AISC 360, Appendix 3, Table A-3.1	Shop (3) or field radiographic or Ultrasonic testing	N	Periodic	
5) Fabricator's NDT reports when fabricator performs NDT	Verify reports	N	Each submittal (5)	
6. Structural steel bolting:	Shop (3) and field inspection	N		
a. Inspection tasks Prior to Bolting (Observe, or perform tasks for each bolted connection, in accordance with QA tasks listed in AISC 360, Table NS-6-1)		N	Observe or Perform as noted (4)	
b. Inspection tasks During Bolting (Observe the QA tasks listed in AISC 360, Table NS-6-2)		N	Observe (4)	
1) Pre-tensioned and slip-critical joints		N		All connections inspected.
a) Turn-of-nut with matching markings		N	Periodic	
b) Direct tension indicator		N	Periodic	
c) Twist-off type tension control bolt		N	Periodic	
d) Turn-of-nut without matching markings		N	Continuous	
e) Calibrated wrench		N	Continuous	
2) Snug-tight joints		N	Periodic	All connections inspected and verified snug.
c. Inspection tasks After Bolting (Perform tasks for each bolted connection in accordance with QA tasks listed in AISC 360, Table NS-6-3)		N	Perform (4)	
7. Inspection of steel elements of composite construction prior to concrete placement in accordance with QA tasks listed in AISC 360, Table NS-1	Shop (3) and field inspection and testing	N	Observe or Perform as noted (4)	
1705.2.2 Steel Construction Other Than Structural Steel				
1. Material verification of cold-formed steel deck:		N		
a. Identification markings	Field inspection	N	Periodic	
b. Manufacturer's certified test reports	Submittal Review	N	Each submittal	
2. Connection of cold-formed steel deck to supporting structure:	Shop (3) and field inspection	N		
a. Welding		N	Periodic	All welds inspected per AWS D1.3.7.1.
b. Other fasteners (in accordance with AISC 360,Section N6)		N		
1) Verify fasteners are in conformance with approved submittal		N	Periodic	
2) Verify fastener installation is in conformance with approved submittal and manufacturer's recommendations		N	Periodic	
3. Reinforcing steel	Shop (3) and field inspection	N		
a. Verification of weldability of steel other than ASTM A706		N	Periodic	
b. Reinforcing steel resisting flexural and axial forces in intermediate and special moment frames, boundary elements of special concrete structural walls and shear reinforcement		N	Continuous	All welds inspected per AWS D1.4.7.5.

SCHEDULE OF SPECIAL INSPECTION				
PROJECT SERVICES		APPLICABLE TO THIS PROJECT		
MATERIAL/ACTIVITY	SERVICE	Y/N	EXTENT	COMMENTS
c. Shear reinforcement		N	Continuous	All welds inspected per AWS D1.4.7.5.
d. Other reinforcing steel		N	Periodic	
4. Cold-formed steel trusses spanning 60 feet or greater		N		
a. Verify temporary and permanent restraint/bracing are installed in accordance with the approved truss submittal package	Field inspection	N	Periodic	
1705.3 Concrete Construction				
1. Inspection of reinforcing steel installation (see 1705.2.2 for welding)	Shop (3) and field inspection	N	Periodic	Tolerances and reinforcing placement per ACI 7.5; spacing limits per ACI 7.6. Refer to welding requirements Table 1705.2.2, Item 2b.
2. Inspection of prestressing steel installation	Shop (3) and field inspection	N	Periodic	
3. Inspection of anchors cast in concrete where allowable loads have been increased per section 1908.5 or where strength design is used	Shop (3) and field inspection	N	Periodic	Special Inspections apply to anchor product name, type, and dimensions, hole dimensions, compliance with drill bit requirements, cleanliness of hole and anchor, adhesive expiration date, anchor/adhesive installation, anchor embedment, and tightening torque.
4. Inspection of anchors and reinforcing steel post-installed in hardened concrete. Per research reports including verification of anchor type, anchor dimensions, hole dimensions, hole clearing procedures, anchor spacing, edge distances, concrete minimum thickness, anchor embedment and tightening torque	Field inspection		Periodic or as required by the research report issued by an approved source	*Special Inspection is only for conditions that are post installed. Although no post installed anchors are specified, Special Inspection is required where the Contractor elects to use post-installed anchors.
5. Verify use of approved design mix	Shop (3) and field inspection	N	Periodic	
6. Fresh concrete sampling, perform slump and air content tests and determine temperature of concrete	Shop (3) and field inspection	N	Continuous	Fabricate specimens at time fresh concrete is placed. Once each day for a given class of concrete, or less than once for each 150 yds on concrete, or less than once for each 5,000 sf of surface area for slabs/walls. Once each shift from in-place work or from test panel and minimum one specimen for each 50 cy. "Preconstruction tests as required per the Building Official."
7. Inspection of concrete and shotcrete placement for proper application techniques	Shop (3) and field inspection	N	Continuous	IBC 1910.10 specimens shall be taken from the in-place or from panels, and shall be taken at least once each shift, but not less than one for each 50 cy of shotcrete.
8. Inspection for maintenance of specified curing temperature and techniques	Shop (3) and field inspection	N	Periodic	
9. Inspection of prestressed concrete:	Shop (3) and field inspection	N		
a. Application of prestressing force		N	Continuous	
b. Grouting of bonded prestressing tendons in the seismic-force-resisting system		N	Continuous	
10. Erection of precast concrete members		N		All connections visually inspected refer to anchor bolt welding requirements and structural integrity provisions.
a. Inspect in accordance with construction documents	Field inspection	N	In accordance with construction documents	
b. Perform inspections of welding and bolting in accordance with Section 1705.2	Field inspection	N	In accordance with Section 1705.2	
11. Verification of in-situ concrete strength, prior to stressing of tendons in post tensioned concrete and prior to removal of shores and forms from beams and structural slabs	Review field testing and laboratory reports	N	Periodic	
12. Inspection of formwork for shape, lines, location and dimensions	Field inspection	N	Periodic	Special Inspection apply to shape location and dimensions of the concrete member being formed.
13. Concrete strength testing and verification of compliance with construction documents	Field testing and review of laboratory reports	N	Periodic	
1705.4 Masonry Construction				
(A) Level A, B and C Quality Assurance:		N		Risk category I, II, or III designed per ACI 530 chapter 5, 6 or 7.
1. Verify compliance with approved submittals	Field Inspection	N	Periodic	
(B) Level B Quality Assurance:		N		Risk category IV designed per ACI 530 chapter 6 or 7 or risk category I, II or III designed with ACI 530 chapters 5, 6 or 7.
1. Verification of fm and fAAC prior to construction	Testing by unit strength method or prism test method	N	Periodic	
(C) Level C Quality Assurance:		N		Risk category IV designed per ACI 530 with chapters 1705.2
1. Verification of fm and fAAC prior to construction and for every 5,000 SF during construction	Testing by unit strength method or prism test method	N	Periodic	
2. Verification of proportions of materials in premixed or preblended mortar, prestressing grout, and grout other than self-consolidating grout, as delivered to the project site	Field inspection	N	Continuous	
3. Verify placement of masonry units	Field Inspection	N	Periodic	
(D) Levels B and C Quality Assurance:				
1. Verification of Slump Flow and Visual Stability Index (VSI) of self-consolidating grout as delivered to the project	Field testing	N	Continuous	
2. Verify compliance with approved submittals	Field inspection	N	Periodic	
3. Verify proportions of site-mixed mortar, grout and prestressing grout for bonded tendons	Field Inspection	N	Periodic	
4. Verify grade, type, and size of reinforcement and anchor bolts, and prestressing tendons and anchorages	Field Inspection	N	Periodic	
5. Verify construction of mortar joints	Field Inspection	N	Periodic	
6. Verify placement of reinforcement, connectors, and prestressing tendons and anchorages	Field Inspection	N	Level B - Periodic	
		N	Level C - Continuous	
7. Verify grout space prior to grouting	Field Inspection	N	Level B - Periodic	
		N	Level C - Continuous	
8. Verify placement of grout and prestressing grout for bonded tendons	Field Inspection	N	Continuous	
9. Verify size and location of structural masonry elements	Field Inspection	N	Periodic	
10. Verify type, size, and location of anchors, including details of anchorage of masonry to structural members, frames, or other construction.	Field Inspection	N	Level B - Periodic	
		N	Level C - Continuous	
11. Verify welding of reinforcement (see 1705.2.2)	Field Inspection	N	Continuous	
12. Verify preparation, construction, and protection of masonry during cold weather (temperature below 40oF) or hot weather (temperature above 90oF)	Field inspection	N	Periodic	
13. Verify application and measurement of prestressing force	Field Inspection	N	Continuous	
14. Verify placement of AAC masonry units and construction of thin-bed mortar joints (first 5000 SF of AAC masonry)	Field inspection	N	Continuous	
15. Verify placement of AAC masonry units and construction of thin-bed mortar joints (after the first 5000 SF of AAC masonry)	Field inspection	N	Level B - Periodic	
		N	Level C - Continuous	

SCHEDULE OF SPECIAL INSPECTION				
PROJECT SERVICES		APPLICABLE TO THIS PROJECT		
MATERIAL/ACTIVITY	SERVICE	Y/N	EXTENT	COMMENTS
15. Verify placement of AAC masonry units and construction of thin-bed mortar joints (after the first 5000 SF of AAC masonry)	Field inspection	N	Level B - Periodic	
		N	Level C - Continuous	
16. Verify properties of thin-bed mortar for AAC masonry (first 5000 SF-of AAC masonry)	Field inspection	N	Continuous	
17. Verify properties of thin-bed mortar for AAC masonry (after the first 5000 SF of AAC masonry)	Field inspection	N	Level B - Periodic	
		N	Level C - Continuous	
18. Prepare grout and mortar specimens	Field testing	N	Level B - Periodic	
		N	Level C - Continuous	
19. Observe preparation of prisms	Field inspection	N	Level B - Periodic	
		N	Level C - Continuous	
1705.5 Wood Construction				
1. Inspection of the fabrication process of wood structural elements and assemblies in accordance with Section 1704.2.5	In-plant review (3)	N	Periodic	
2. For high-load diaphragms, verify grade and thickness of structural panel sheathing agree with approved building plans	Field inspection	N	Periodic	
3. For high-load diaphragms, verify nominal size of framing members at adjoining panel edges, nail or staple diameter and length, number of fastener lines, and that spacing between fasteners in each line and at edge margins agree with approved building plans	Field inspection	N	Periodic	
4. Metal-plate-connected wood trusses spanning 60 feet or greater: verify temporary and permanent restraint/bracing are installed in accordance with the approved truss submittal package	Field inspection	N	Periodic	Verify that temporary and permanent restraint/bracing are installed in accordance with approved truss submittal.
1705.6 Soils				Geotechnical Investigation shall include items of Special Inspection and Testing.
1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	Field inspection	N	Periodic	
2. Verify excavations are extended to proper depth and have reached proper material.	Field inspection	N	Periodic	
3. Perform classification and testing of controlled fill materials.	Field inspection	N	Periodic	
4. Verify use of proper materials, densities, and lift thicknesses during placement and compaction of controlled fill	Field inspection	N	Continuous	
5. Prior to placement of controlled fill, observe subgrade and verify that site has been prepared properly	Field inspection	N	Periodic	
1705.7 Driven Deep Foundations				
1. Verify element materials, sizes and lengths comply with requirements	Field inspection	N	Continuous	
2. Determine capacities of test elements and conduct additional load tests, as required	Field inspection	N	Continuous	
3. Observe driving operations and maintain complete and accurate records for each element	Field inspection	N	Continuous	
4. Verify placement locations and plumbness, confirm type and size of hammer, record number of blows per foot of penetration, determine required penetrations to achieve design capacity, record tip and butt elevations and document any damage to foundation element	Field inspection	N	Continuous	
5. For steel elements, perform additional inspections per Section 1705.2	See Section 1705.2	N	See Section 1705.2	
6. For concrete elements and concrete-filled elements, perform additional inspections per Section 1705.3	See Section 1705.3	N	See Section 1705.3	
7. For specialty elements, perform additional inspections as determined by the registered design professional in responsible charge	Field inspection	N	In accordance with construction documents	
8. Perform additional inspections and tests in accordance with the construction documents	Field Inspection and testing	N	In accordance with construction documents	
1705.8 Cast-in-Place Deep Foundations				
1. Observe drilling operations and maintain complete and accurate records for each element	Field inspection	N	Continuous	
2. Verify placement locations and plumbness, confirm element diameters, bell diameters (if applicable), lengths, embedment into bedrock (if applicable) and adequate end-bearing strata capacity. Record concrete or grout volumes	Field inspection	N	Continuous	
3. For concrete elements, perform additional inspections in accordance with Section 1705.3	See Section 1705.3	N	See Section 1705.3	
4. Perform additional inspections and tests in accordance with the construction documents	Field Inspection and testing	N	In accordance with construction documents	
1705.9 Helical Pile Foundations				
1. Verify installation equipment, pile dimensions, tip elevations, final depth, final installation torque and other data as required.	Field inspection	N	Continuous	Special Inspections apply to verifying manufacturer's certification of installers, helical anchor and bracket product name, types, installation equipment used, final torque, pile dimensions, embedment depth and tip evaluation.
2. Perform additional inspections and tests in accordance with the construction documents	Field Inspection and testing	N	In accordance with construction documents	
1705.10 Structural Wood Special Inspections For Wind Resistance				
1. Inspection of field gluing operations of elements of the main windforce-resisting system	Field inspection	N	Continuous	
2. Inspection of nailing, bolting, anchoring and other fastening of components within the main windforce-resisting system	Shop (3) and field inspection	N	Periodic	Special Inspections are not required for wood shear walls and diaphragms where the fastener spacing is more than 4 inches on center or for cold formed construction where the sheathing is gypsum board, fiberboard or wood structural panel or steel sheet on one side only and fastener spacing is more than 4 inches o.c.
1705.10.2 Cold-formed Steel Special Inspections For Wind Resistance				
1. Inspection during welding operations of elements of the main windforce-resisting system	Shop (3) and field inspection	N	Periodic	Special Inspections are required for welding operations of elements of the main wind force-resisting system.
2. Inspections for screw attachment, bolting, anchoring and other fastening of components within the main windforce-resisting system	Shop (3) and field inspection	N	Periodic	Special Inspections is required for screw attachment, bolting, anchoring and other fastening of components within the main wind-force-resisting system including shearwalls, braces, diaphragms, collectors and holdowns.

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architecture

planning

project management

Addition:

ARCADIA
MOTEL

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GARDEN CITY, ID 83714

SPECIAL INSPECTIONS

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

S0.02.DWG

File Name:

Revisions:

S0.02

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R&A CHRIS ANDERSON

SCHEDULE OF SPECIAL INSPECTION				
PROJECT SERVICES		APPLICABLE TO THIS PROJECT		
MATERIAL/ACTIVITY	SERVICE	Y/N	EXTENT	COMMENTS
1705.10.3 Wind-resisting Components				
1. Roof cladding	Shop (3) and field inspection	N	Periodic	
2. Wall cladding	Shop (3) and field inspection	N	Periodic	
1705.11.1 Structural Steel Special Inspections for Seismic Resistance		N		IBC 1705.11.1 and 1705.12.2 require special inspections and related testing for structural steel for the seismic force resisting system to comply with the requirements of AISC 341. The registered design professional in responsible charge specifies the QA plan which should be provided to the Contractor as a part of the Bid Documents and should be clearly identified as such. AISC recommends that AISC 341 Chapter J, "Quality Control and Quality Assurance" be adopted. AISC 341 includes commentary which will be helpful to engineers specifying project QA plans.
Inspection of structural steel in accordance with AISC 341	Shop (3) and field inspection	N	In accordance with AISC 341	
1705.11.2 Structural Wood Special Inspections for Seismic Resistance				
1. Inspection of field gluing operations of elements of the seismic-force resisting system	Field inspection	N	Continuous	
2. Inspection of nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system	Shop (3) and field inspection	N	Periodic	
1705.11.3 Cold-formed Steel Light-Frame Construction Special Inspections for Seismic Resistance				
1. Inspection during welding operations of elements of the seismic-force-resisting system	Shop (3) and field inspection	N	Periodic	All welds visually inspected per AWS D1.3.7.1. Exception: Special Inspection is not required for shear walls, braces, diaphragms, drag struts and holdowns if sheathing is gypsum or fiberboard or if sheathing is wood structural panel/steel sheet one side only and fastener spacing is greater than 4 inches o.c.
2. Inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system	Shop (3) and field inspection	N	Periodic	All connections visually inspected.
1705.11.4 Designated Seismic Systems Verification				
Inspect and verify that that the component label, anchorage or mounting conforms to the certificate of compliance in accordance with Section 1705.12.3	Field inspection	N	Periodic	
1705.11.5 Architectural Components Special Inspections for Seismic Resistance				
1. Inspection during the erection and fastening of exterior cladding and interior and exterior veneer	Field inspection	N	Periodic	
2. Inspection during the erection and fastening of interior and exterior nonbearing walls	Field inspection	N	Periodic	
3. Inspection during anchorage of access floors	Field inspection	N	Periodic	
1705.11.6 Mechanical and Electrical Components Special Inspections for Seismic Resistance				
1. Inspection during the anchorage of electrical equipment for emergency or standby power systems	Field inspection	N	Periodic	
2. Inspection during the anchorage of other electrical equipment	Field inspection	N	Periodic	
3. Inspection during installation and anchorage of piping systems designed to carry hazardous materials, and their associated mechanical units	Field inspection	N	Periodic	
4. Inspection during the installation and anchorage of HVAC ductwork that will contain hazardous materials	Field inspection	N	Periodic	
5. Inspection during the installation and anchorage of vibration isolation systems	Field inspection	N	Periodic	
1705.11.7 Storage Racks Special Inspections for Seismic Resistance				
Inspection during the anchorage of storage racks 8 feet or greater in height	Field inspection	N	Periodic	
1705.11.8 Seismic Isolation Systems				
Inspection during the fabrication and installation of isolator units and energy dissipation devices used as part of the seismic isolation system	Shop and field inspection	N	Periodic	
1705.12.1 Concrete Reinforcement Testing and Qualification for Seismic Resistance				
1. Review certified mill test reports for each shipment of reinforcement used to resist earthquake-induced flexural and axial forces in reinforced concrete special moment frames, special structural walls, and coupling beams connecting special structural walls	Review certified mill test reports	N	Each shipment	
2. Verify reinforcement weldability of ASTM A615 reinforcement used to resist earthquake-induced flexural and axial forces in reinforced concrete special moment frames, special structural walls, and coupling beams connecting special structural walls	Review test reports	N	Each shipment	
1705.12.2 Structural Steel Testing and Qualification for Seismic Resistance				
Test in accordance with the quality assurance requirements of AISC 341	Shop (3) and field testing	N	Per AISC 341	
1705.12.3 Seismic Certification of Nonstructural Components				
Review certificate of compliance for designated seismic system components.	Certificate of compliance review	N	Each submittal	The Registered Design Professional shall specify on the Construction Documents the requirements for certification.
1705.12.4 Seismic Isolation Systems				
Test seismic isolation system in accordance with ASCE 7 Section 17.8	Prototype testing	N	Per ASCE 7	

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Addition:

ARCADIA
MOTEL

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SPECIAL INSPECTIONS

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

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HEADER SCHEDULE				
MARK #	DESCRIPTION	KINGS EA. SIDE	TRIMMERS EA. SIDE	COMMENTS
H1	(2) 2x6	(2) 2x6	(1) 2x6	—
H2	(2) 2x8	(2) 2x6	(1) 2x6	—
H3	3 1/2" x 9 1/4" 1.55E LSL	(2) 2x6	(1) 2x6	—

HOLDOWN SCHEDULE			
MARK #	TYPE	WOOD MEMBER	COMMENTS
1	"SIMPSON" MSTA21	(2) 2x	SEE DETAIL D8/S1.02
2	"SIMPSON" HDU4--SAS2.5	4x6	SEE DETAIL K8/S1.02

SHEAR WALL SCHEDULE					
MARK #	SHEATHING	NAILING	END MEMBERS	SILL ANCHORS	COMMENTS
☆	7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 6" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2x	2x SILL W/ 1/2"ø x 7" EMBED. A.B. @ 2'-8" O.C.	USE 2x FRAMING
☆	7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 4" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2x	2x SILL W/ 1/2"ø x 7" EMBED. A.B. @ 2'-0" O.C.	USE 2x FRAMING

BEAM SCHEDULE		
MARK #	DESCRIPTION	COMMENTS
B1	3 1/8" x 10 1/2"	24F-V8 GLB

COLUMN SCHEDULE						
MARK #	DESCRIPTION	CONNECTORS		SIZES		
		TOP	BOTTOM	BASE PLATE	ANCHOR BOLTS	WELD "W"
C1	6x6 DF#2	SEE DETAIL K11/S1.02	SEE DETAIL K11/S1.01	-	-	-
C2	(2) 2x6	SEE DETAIL D13/S1.02	IN WALL FRAMING	-	-	-

DIAPHRAGM SCHEDULE				
MARK #	MATERIAL	BLOCKED	NAILING	COMMENTS
(A)	15/32" PLY/OSB, 32/16 APA RATED	NO	8d 6" O.C. EDGES, 12" O.C. FIELD	SEE DETAIL K13/S2.01
(B)	3/4" PLY/OSB, 48/24 APA RATED	NO	10d 6" O.C. EDGES, 12" O.C. FIELD	SEE DETAIL K13/S2.01

FOOTING SCHEDULE							
MARK #	DIMENSIONS			REINFORCING		TOP OF FTG. ELEV. RELATIVE TO TOP OF FLOOR=100.00	COMMENTS
	LENGTH	WIDTH	DEPTH	LONGITUD.	TRANSVERSE		
F1	20" DIA.	20" DIA.	3'-0"	(6) #4	(6) #4	SITE VERIFY	SEE K11/S1.01

MINIMUM ANCHOR BOLT EMBED. IN CONCRETE					
DIAMETER	EMBEDMENT		EDGE DISTANCE "E"		
	A36/A307 (12d)	A325/A449 (17d)	A36/A307 (5d>4")	A325/A449 (7d>4")	
1/2"	6"	9"	4"	4"	
5/8"	8"	11"	4"	4 3/8"	
3/4"	9"	13"	4"	5 1/4"	
7/8"	12"	15"	4 3/8"	6 1/8"	
1"	12"	17"	5"	7"	
1 1/8"	14"	20"	5 5/8"	7 7/8"	
1 1/4"	15"	22"	6 1/4"	8 3/4"	
1 3/8"	18"	24"	6 7/8"	9 5/8"	
1 1/2"	18"	26"	7 1/2"	10 1/2"	

NOTES: EMBEDMENT VALUES ARE FOR ANCHOR BOLTS DESIGNED FOR TENSION LOADS.
 EDGE DISTANCE IS FOR UNREINFORCED CONCRETE BASED ON CONCRETE SHEAR CONE.

WOOD WALL FRAMING SCHEDULE						
DESCRIPTION	WALL FRAMING	WALL OPENING	WALL OPENING	TOP PLATE	SILL PLATE	COMMENTS
	COMMON STUDS	TRIMMER (EA. END)	KING STUD (EA. END)			
EXTERIOR STUD WALLS	2x6 STUDS @ 16" O.C.	(1) 2x6 OR SEE HEADER SCH.	(2) 2x6 OR SEE HEADER SCH.	(2) 2x6	(1) 2x6 P.T. OR SEE SHEAR WALL SCH.	-

DOUBLE TOP PLATE

LAP DOUBLE TOP PLATE 4 FT. (MIN.)
SEE DETAIL A13/S2.01

CRIPPLE STUDS

HEADER
SEE SCHEDULE ABOVE

TRIMMER
SEE SCHEDULE ABOVE

KING STUD
SEE SCHEDULE ABOVE

COMMON STUDS

SUBFLOOR

SOLE PLATE

CRIPPLE STUDS

HOLDOWNS
SEE SCHEDULE (TYPICAL)

DOOR ROUGH OPENING

WINDOW ROUGH OPENING

WINDOW HEADER TYP.

NOTE: PICTURE IS REPRESENTATIVE ONLY, SEE SCHEDULES FOR ACTUAL MEMBER QUANTITIES.

Addition:

ARCADIA MOTEL

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GARDEN CITY, ID 83714

STRUCTURAL SCHEDULES

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

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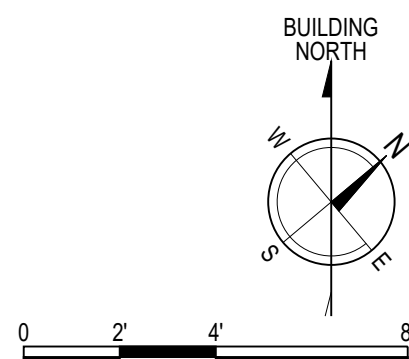
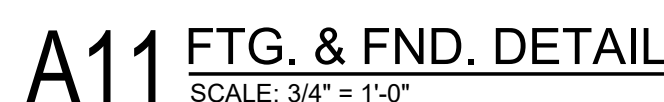
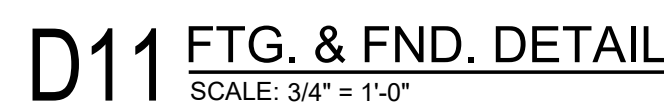
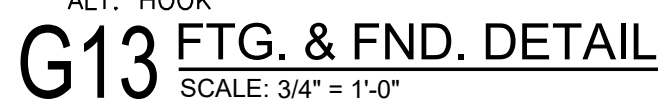
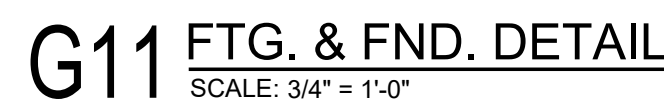
S0.04.DWG

File Name:

Revisions:

S0.04

1. FOR STRUCTURAL NOTES SEE SHEET S0.01. FOR ALL SPECIAL INSPECTION REQUIREMENTS SEE SHEETS S0.02 AND S0.03. FOR STRUCTURAL SCHEDULES SEE SHEET S0.04.
2. FOR ALL DIMENSIONS NOT SHOWN SEE ARCHITECTURAL PLANS.
3. SEE MECHANICAL AND ARCHITECTURAL DRAWINGS FOR ALL FLOOR PENETRATIONS, FLOOR DRAIN LOCATIONS AND FOR SLOPED FLOOR REQUIREMENTS.
4. THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT FOR EXCAVATIONS AND STRUCTURAL FILL. SEE THE GEOTECHNICAL REPORT.

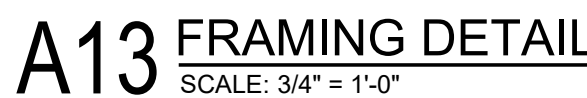
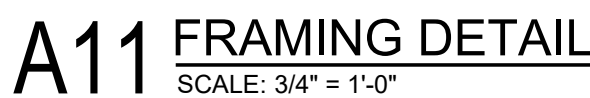


A1 FOUNDATION / FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

S1.01

09/12/23 10:29:12 AM R&A CHRIS ANDERSON

9. ROOF JOISTS BE DESIGNED FOR ROOF RAIN LOAD AND ROOF SNOW LOAD/DRIFTING PER THE IBC.
10. VERIFY ALL CHASE LOCATIONS WITH ARCHITECTURAL.
11. PROVIDE SOLID BEARING POSTS UNDER ALL TRUSS GIRDERS AND BEAMS, THE MINIMUM WIDTH OF THE POSTS SHALL BE THE WIDTH OF THE GIRDERS AND BEAMS.
12. PROVIDE CROSS BRACING AS REQUIRED BY JOIST MANUFACTURERS.
13. COORDINATE CROSS-BRACE/BRIDGING CONFIGURATIONS WITH MECHANICAL EQUIPMENT, DUCTING, ETC. ALL CROSS BRACING/BRIDGING IN MECHANICAL DUCT LOCATIONS SHALL BE HORIZONTAL BRACING ONLY.
14. SEE MECHANICAL DRAWINGS FOR EXACT MECHANICAL UNIT LOCATIONS AND WEIGHTS.

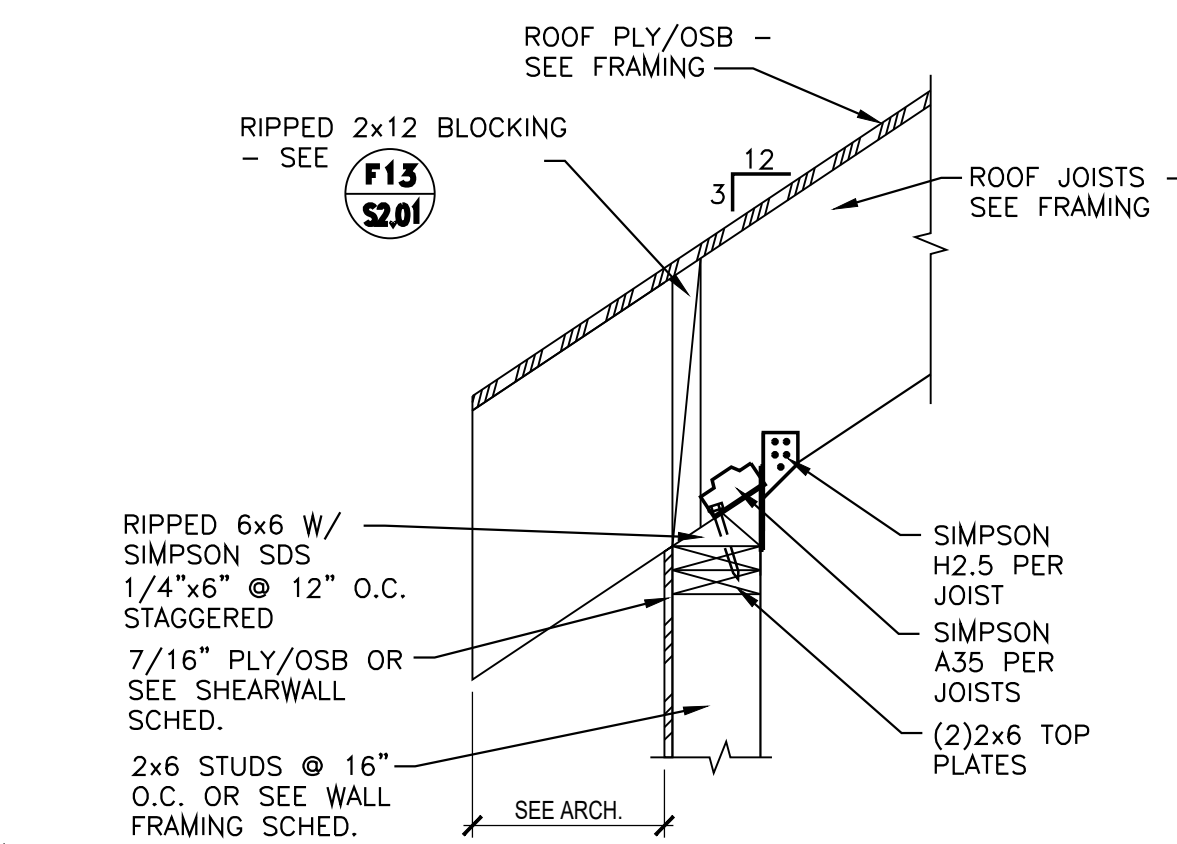
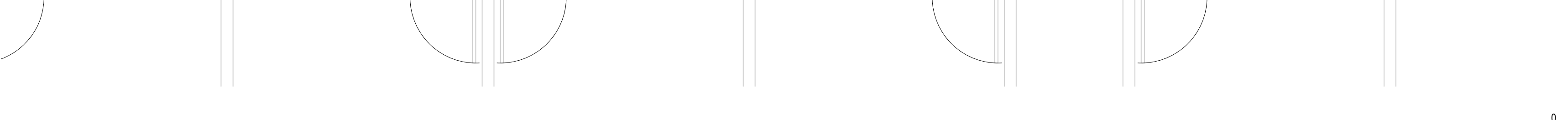
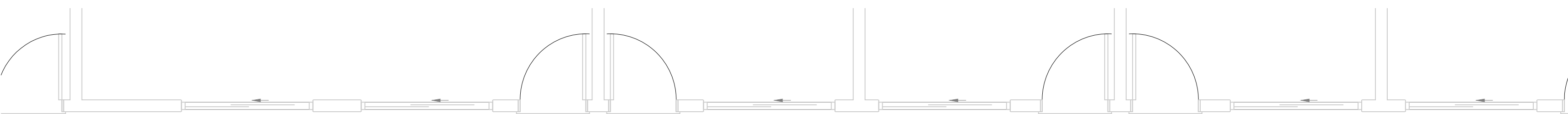


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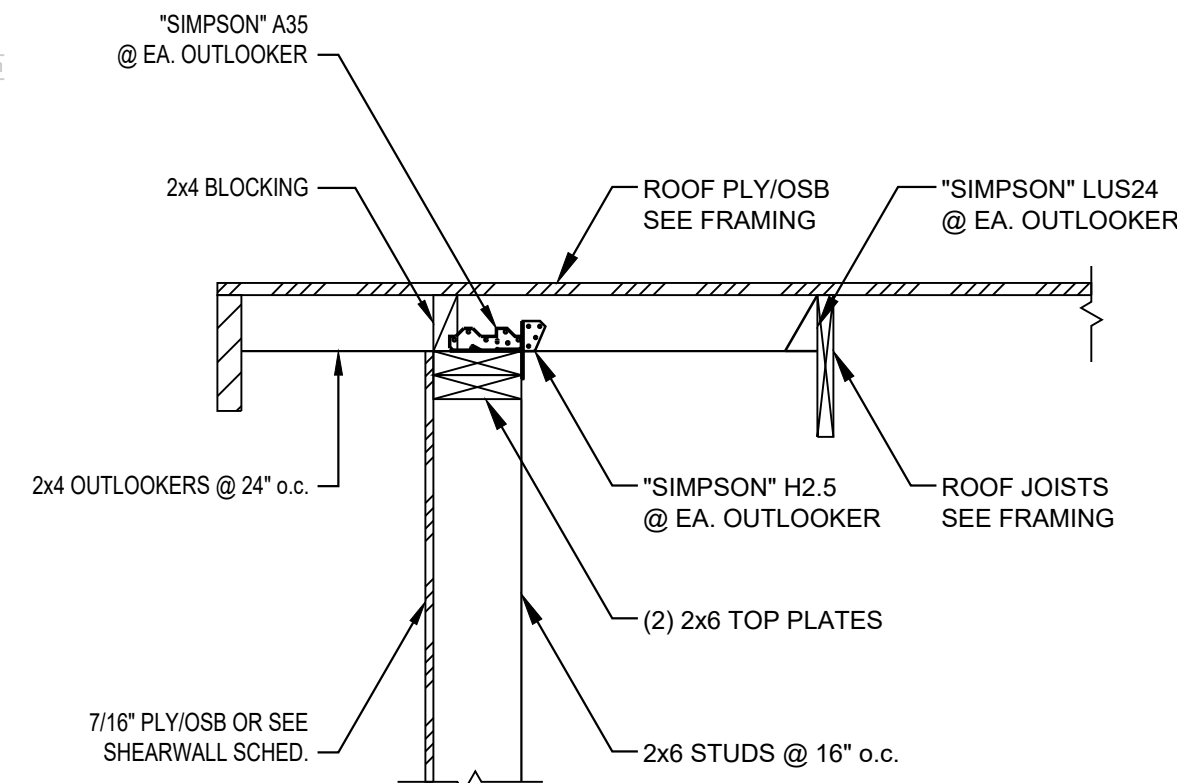
S1.02

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

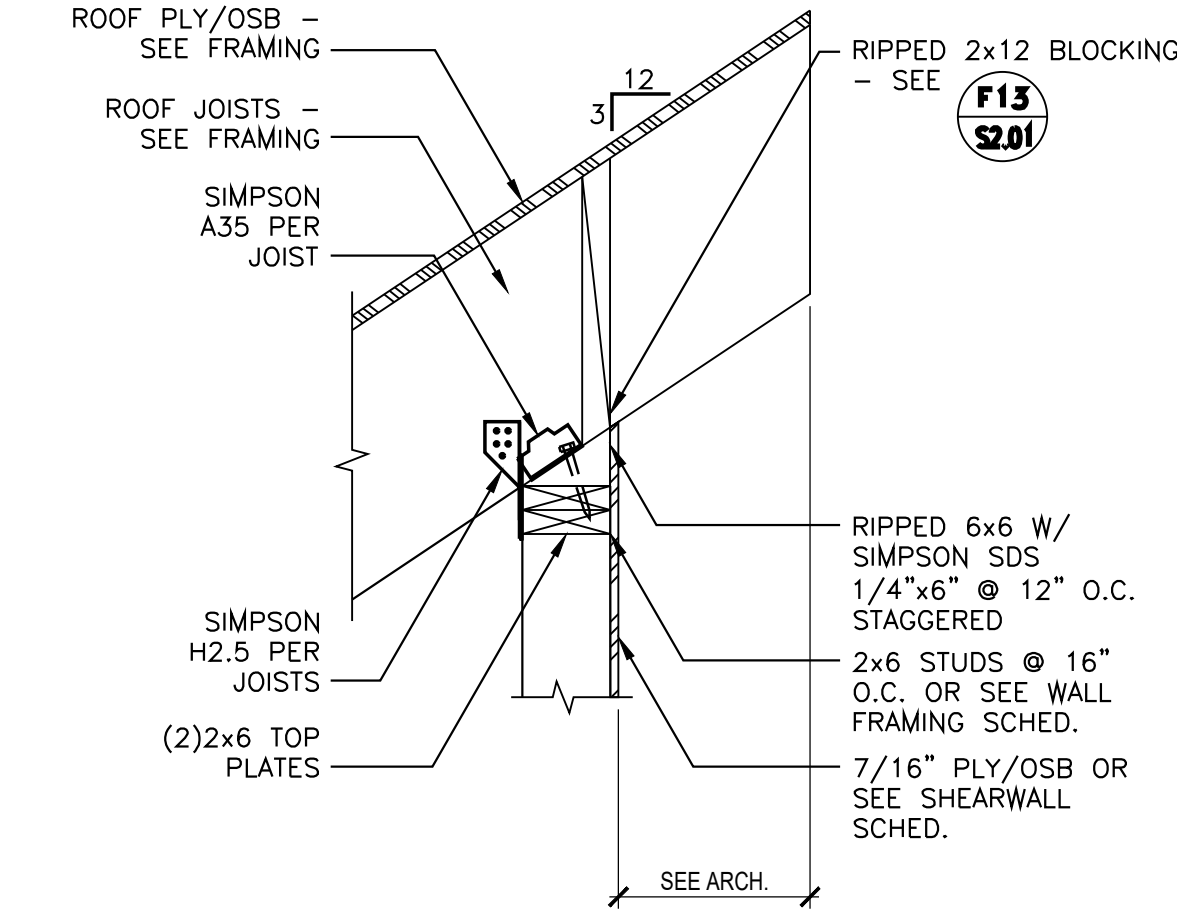
- NOTES:
- SEE SHEET S0.01 FOR STRUCTURAL NOTES. SEE SHEETS S0.02 AND S0.03 FOR SPECIAL INSPECTIONS. SEE SHEET S0.04 FOR STRUCTURAL SCHEDULES.
 - FOR ALL DIMENSIONS AND SLOPES NOT SHOWN SEE ARCHITECTURAL.
 - DESIGN ROOF JOISTS FOR A NET UPLIFT OF 10 PSF.
 - VERIFY PLATE HEIGHTS WITH ARCHITECTURAL. VERIFY ALL ROOF SLOPES WITH ARCHITECTURAL.
 - VERIFY JOIST LAYOUT AND OVERBUILD WITH JOIST MANUFACTURER AND ARCHITECTURAL.
 - FOR PRE-ENGINEERED TRUSS PROFILES SEE ARCHITECTURAL.
 - ALL TRUSS CONNECTIONS SHALL BE DESIGNED BY PRE-ENGINEERED MANUFACTURER.
 - VERIFY ALL FLOOR SLOPES, FLOOR DRAINS AND PENETRATION LOCATIONS WITH ARCHITECTURAL, MECHANICAL AND/OR PLUMBING.
 - ROOF JOISTS BE DESIGNED FOR ROOF RAIN LOAD AND ROOF SNOW LOAD/DRIFTING PER THE IBC.
 - VERIFY ALL CHASE LOCATIONS WITH ARCHITECTURAL.
 - PROVIDE SOLID BEARING POSTS UNDER ALL TRUSS GIRDERS AND BEAMS. THE MINIMUM WIDTH OF THE POSTS SHALL BE THE WIDTH OF THE GIRDERS AND BEAMS.
 - PROVIDE CROSS BRACING AS REQUIRED BY JOIST MANUFACTURERS.
 - COORDINATE CROSS-BRACE/BRIDGING CONFIGURATIONS WITH MECHANICAL EQUIPMENT, DUCTING, ETC. ALL CROSS BRACING/BRIDGING IN MECHANICAL DUCT LOCATIONS SHALL BE HORIZONTAL BRACING ONLY.
 - FOR BEAM PENETRATIONS SEE DETAIL ____.
 - SEE DETAIL ____ FOR FRAMING AT DECK PENETRATIONS.
 - SEE MECHANICAL DRAWINGS FOR EXACT MECHANICAL UNIT LOCATIONS AND WEIGHTS.



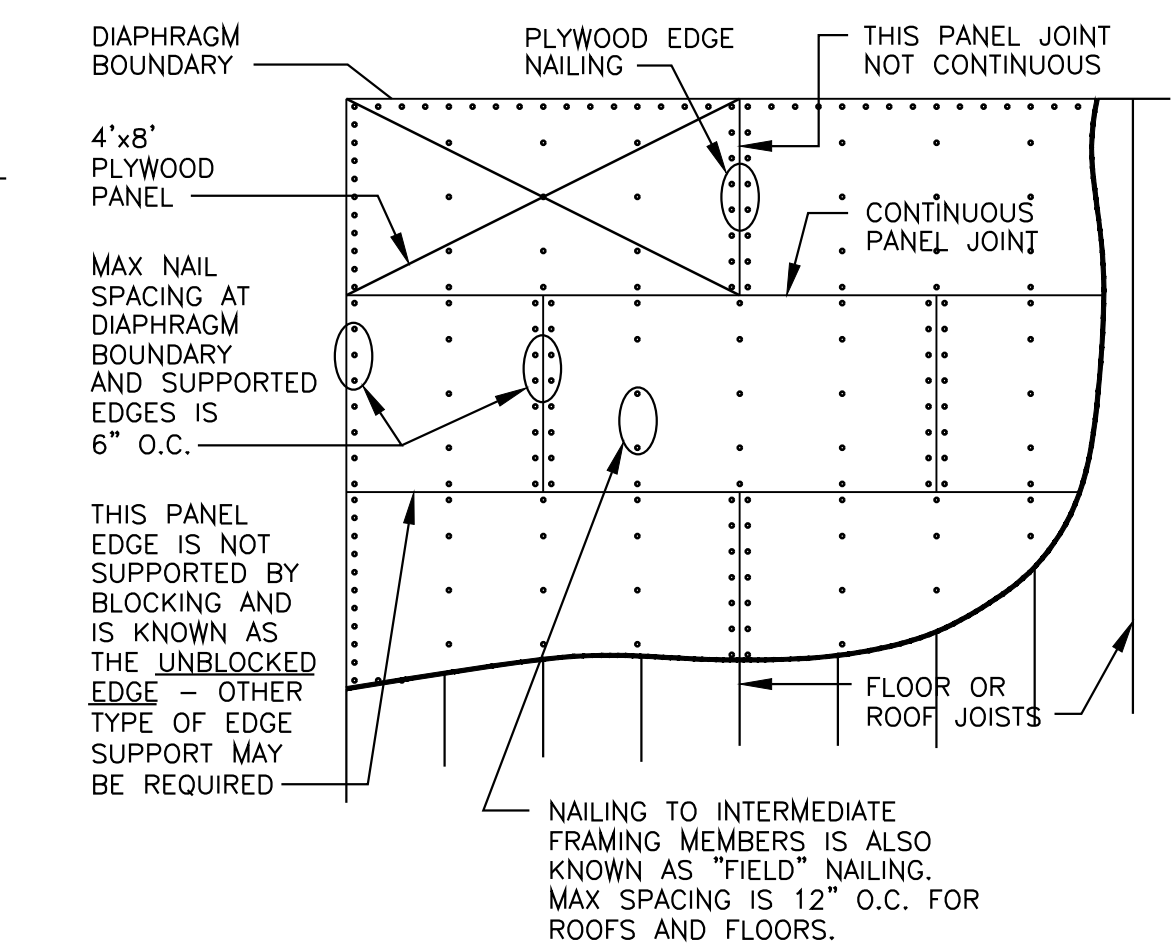
K10 ROOF @ BEARING WALL FRAMING
SCALE: 1" = 1'-0"



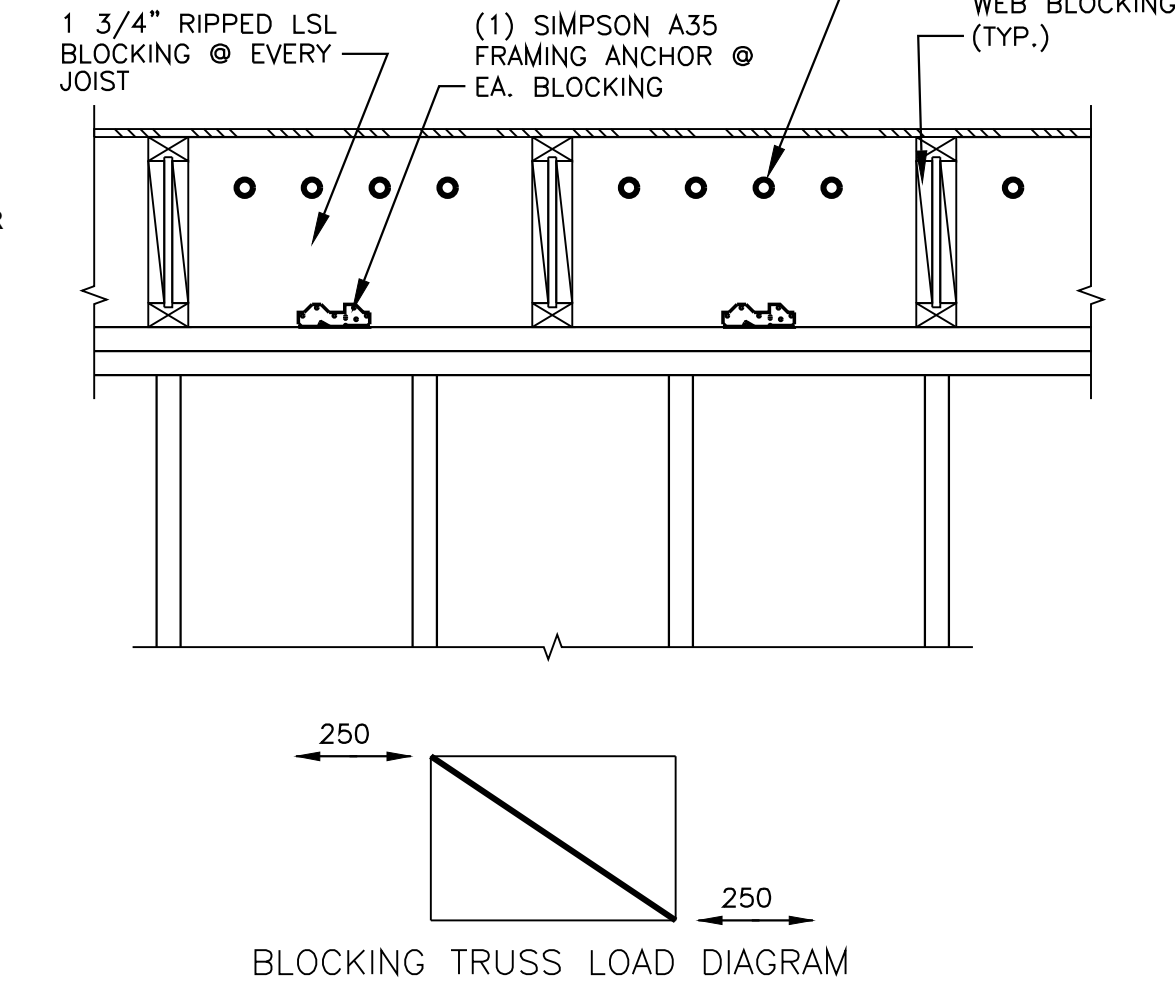
F10 OUTLOOKER DETAIL
SCALE: 1" = 1'-0"



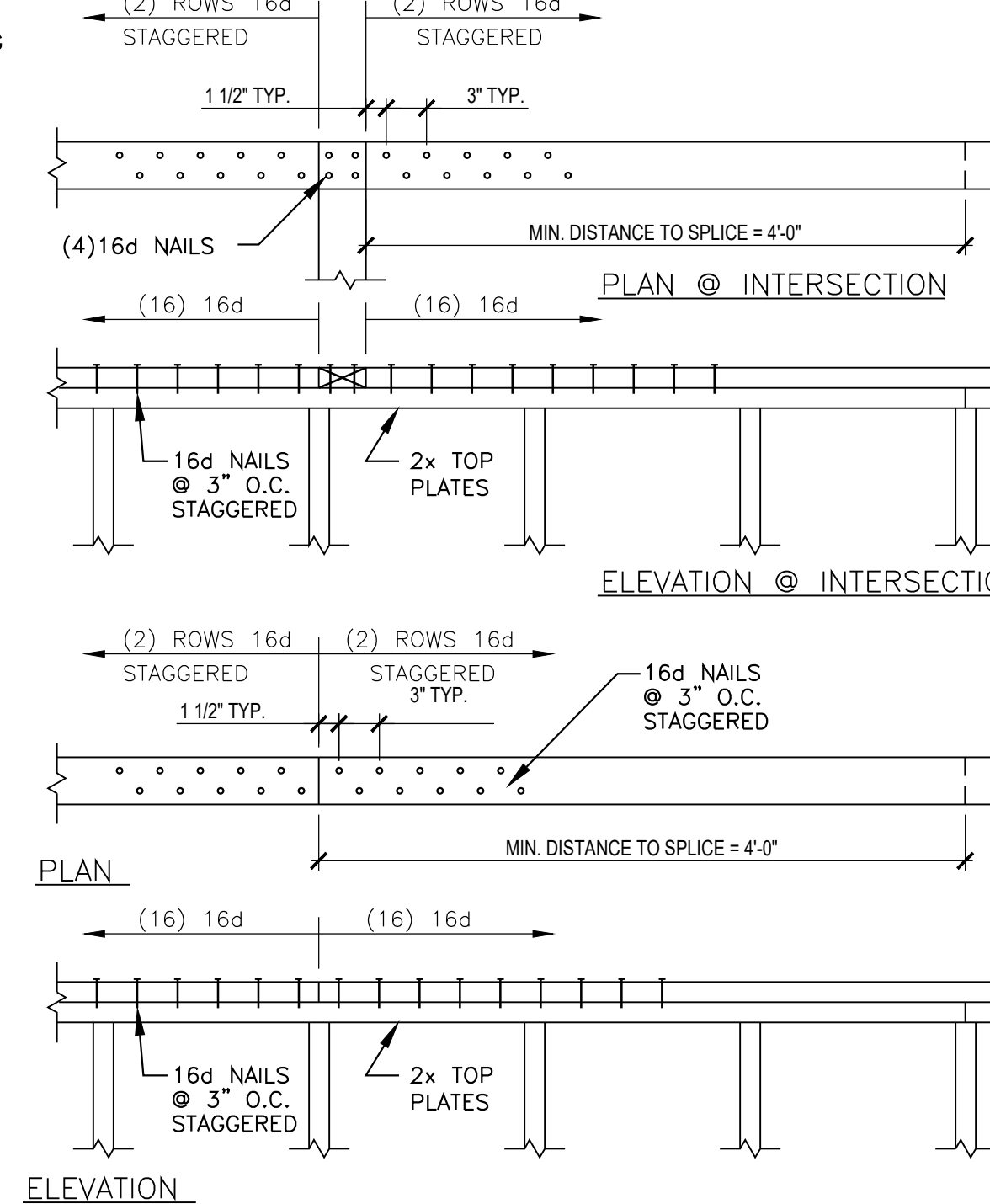
B10 ROOF @ BEARING WALL FRAMING
SCALE: 1" = 1'-0"



F13 UNBLOCKED DIAPHRAGM
SCALE: 1" = 1'-0"



F13 BLOCKING @ JOISTS
SCALE: 1" = 1'-0"



A13 TOP CHORD SPLICE DETAIL
SCALE: 1" = 1'-0"

09/12/23 10:30:29 AM R&A CHRIS ANDERSON

A1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

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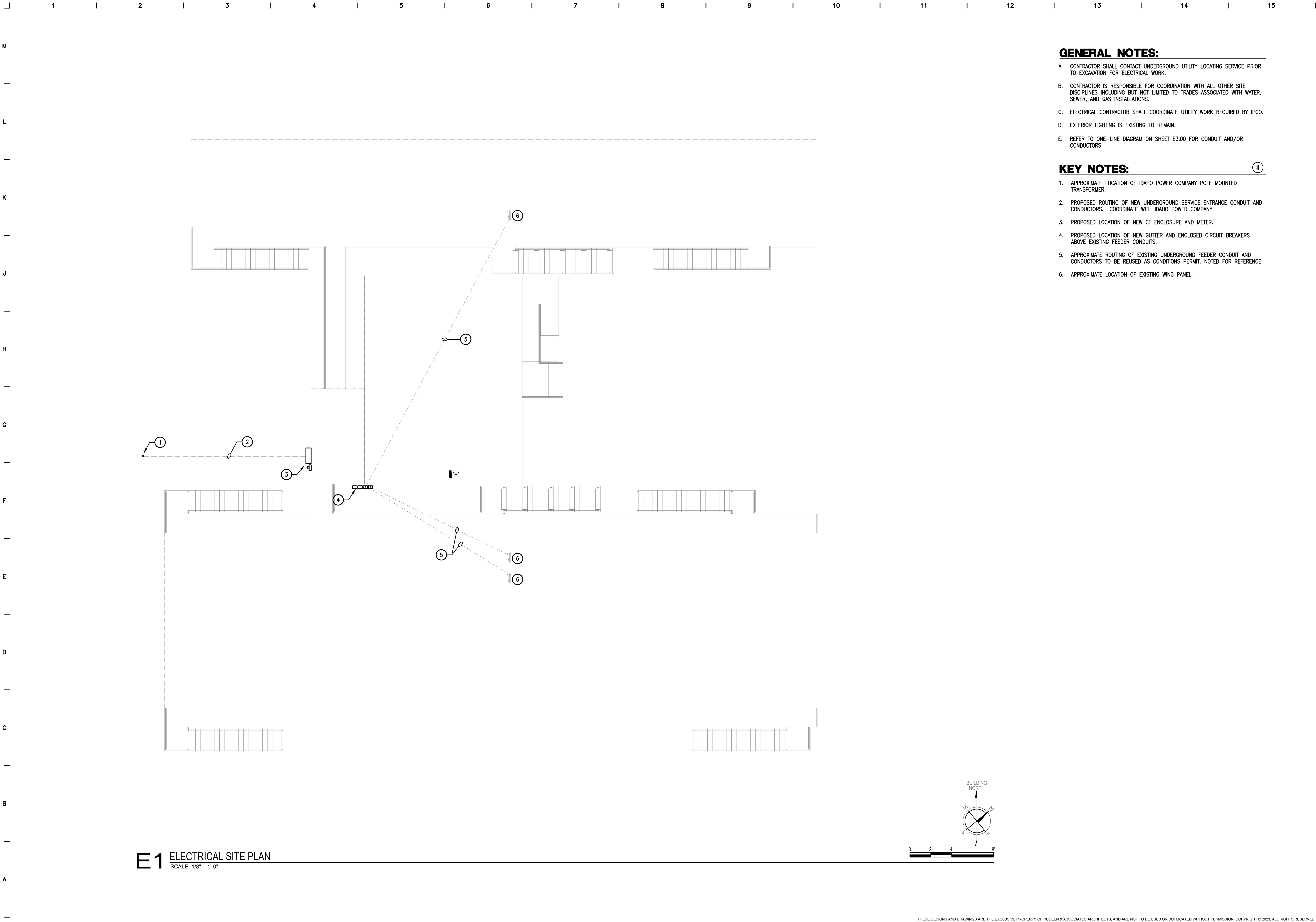
ROOF FRAMING PLAN
Sheet Title:
AS NOTED
Scale:
2329
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Date:
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File Name:

Revisions:

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GENERAL NOTES:

- A. CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATING SERVICE PRIOR TO EXCAVATION FOR ELECTRICAL WORK.
- B. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL OTHER SITE DISCIPLINES INCLUDING BUT NOT LIMITED TO TRADES ASSOCIATED WITH WATER, SEWER, AND GAS INSTALLATIONS.
- C. ELECTRICAL CONTRACTOR SHALL COORDINATE UTILITY WORK REQUIRED BY IPCO.
- D. EXTERIOR LIGHTING IS EXISTING TO REMAIN.
- E. REFER TO ONE-LINE DIAGRAM ON SHEET E3.00 FOR CONDUIT AND/OR CONDUCTORS

KEY NOTES:

- 1. APPROXIMATE LOCATION OF IDAHO POWER COMPANY POLE MOUNTED TRANSFORMER.
- 2. PROPOSED ROUTING OF NEW UNDERGROUND SERVICE ENTRANCE CONDUIT AND CONDUCTORS. COORDINATE WITH IDAHO POWER COMPANY.
- 3. PROPOSED LOCATION OF NEW CT ENCLOSURE AND METER.
- 4. PROPOSED LOCATION OF NEW GUTTER AND ENCLOSED CIRCUIT BREAKERS ABOVE EXISTING FEEDER CONDUITS.
- 5. APPROXIMATE ROUTING OF EXISTING UNDERGROUND FEEDER CONDUIT AND CONDUCTORS TO BE REUSED AS CONDITIONS PERMIT. NOTED FOR REFERENCE.
- 6. APPROXIMATE LOCATION OF EXISTING WING PANEL.

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Project: 23RUD06

ELECTRICAL SITE PLAN

Sheet Title:

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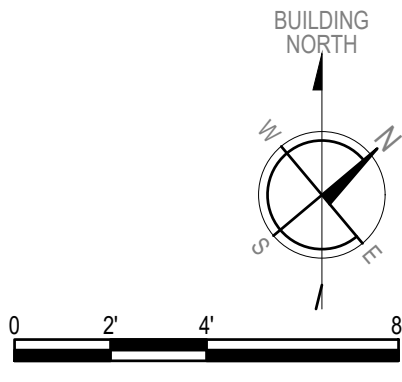
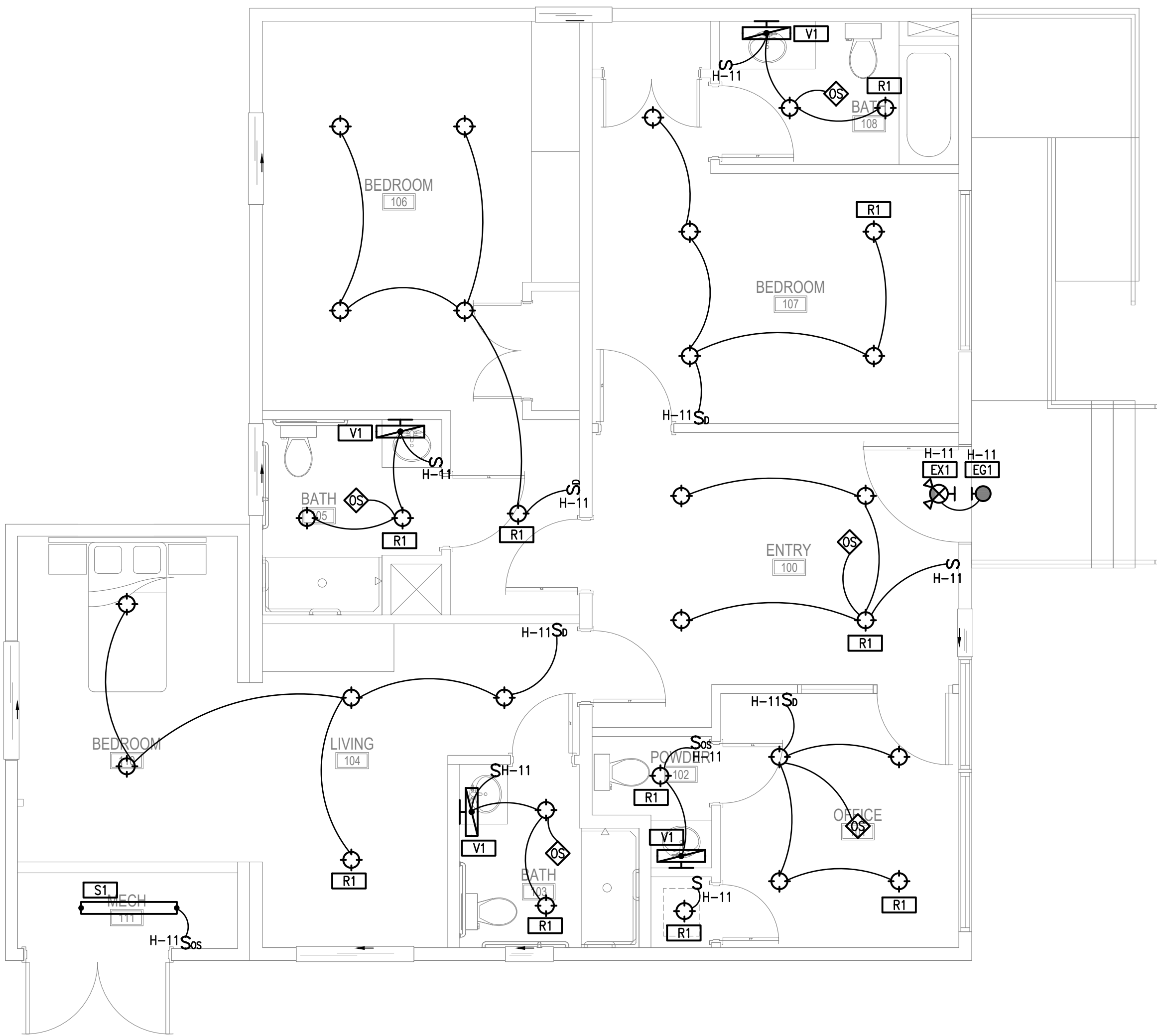
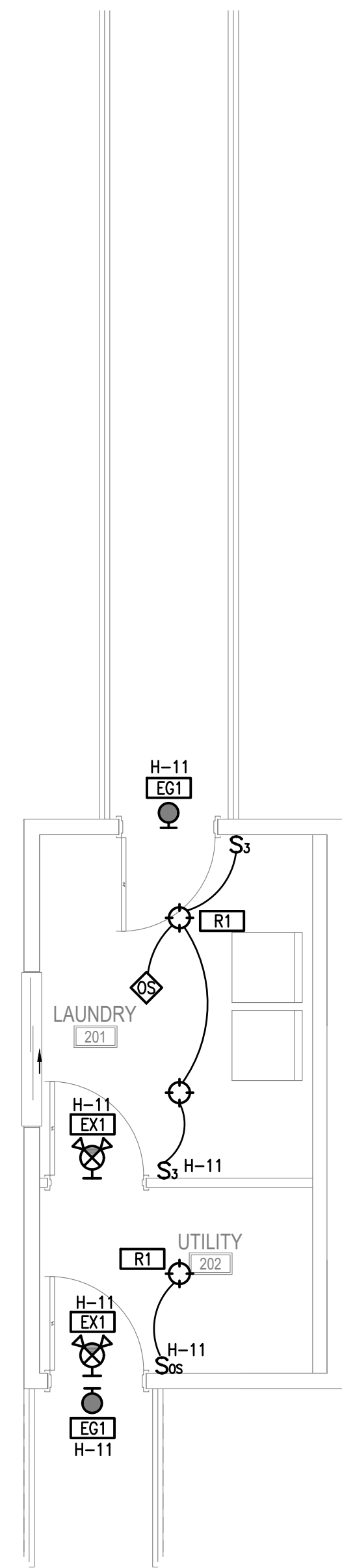
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E1 ELECTRICAL LIGHTING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. NUMBER ADJACENT TO DEVICE OR HOME RUN INDICATES POLE POSITION WITHIN PANEL TO WHICH DEVICES SHALL BE CIRCUITED.
- B. CONTRACTOR SHALL COORDINATE ELECTRICAL SYSTEMS INSTALLATION TO AVOID INTERFERENCE WITH DUCTWORK/PIPING AND OTHER TRADES. CONTRACTOR SHALL COORDINATE PLACEMENT OF FIXTURES WITH ARCHITECTURAL REFLECTED CEILING PLAN. LOCATION OF FIXTURES SHALL GOVERN WHEN CONFLICTS WITH SUPPLY/EXHAUST DIFFUSERS OCCUR.
- C. REFER TO SHEET E3.00 FOR SCHEDULES.
- D. COORDINATE WITH ARCHITECTURAL REFLECTED CEILING PLAN (RCP) FOR CEILING TYPES.
- E. ALL FIXTURES WITHIN A GIVEN ROOM/AREA ARE THE SAME TYPE AS THE SINGLE FIXTURE CALLED OUT WITHIN THAT ROOM/AREA, UNLESS OTHERWISE NOTED.
- F. LINework SHOWN FOR CLARITY OF SWITCHING ONLY. PROVIDE QUANTITY OF CONDUCTORS AS REQUIRED FOR CONTROL.
- G. CONTRACTOR SHALL PROVIDE #10 AWG CONDUCTORS FOR ALL CIRCUITS OF 100' OR MORE UNLESS SHOWN LARGER.

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**ELECTRICAL LIGHTING
PLAN**

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File Name:

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E2.02

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GENERAL NOTES:

G1 FOR ALL DEMOLITION WORK: REMOVE ALL HANGERS AND SUPPORTS, COORDINATE PATCHING OF WALLS AND PATCHING OF SLAB PENETRATIONS WITH GENERAL CONTRACTOR, MAINTAIN FIRE RATED ASSEMBLIES (SEE ARCHITECTURAL PLANS), AND DISPOSE OF ALL DEMOLISHED ITEMS OFF SITE.

KEYED NOTES:

1. DEMOLISH AND DISPOSE OF ANY REMAINING EXISTING DIFFUSERS, GRILLES, EXHAUST FANS, AND MECHANICAL EQUIPMENT. DEMOLITION IS SUBSTANTIALLY COMPLETE.

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HVAC DEMOLITION PLAN

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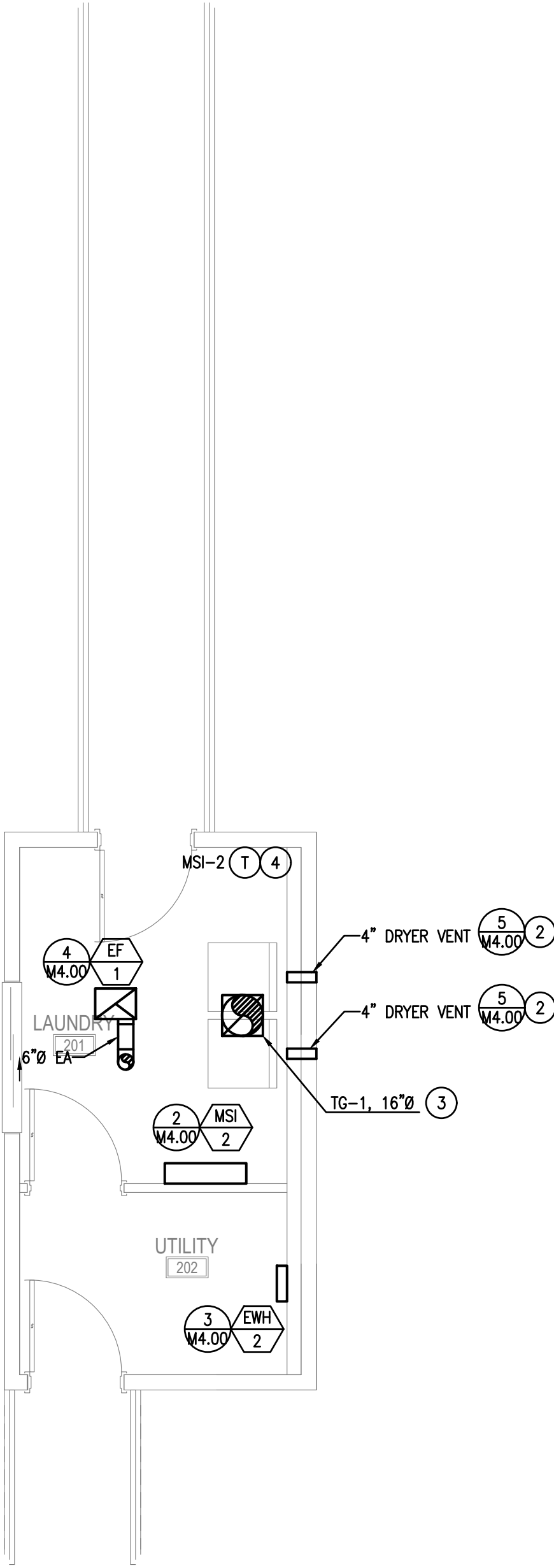
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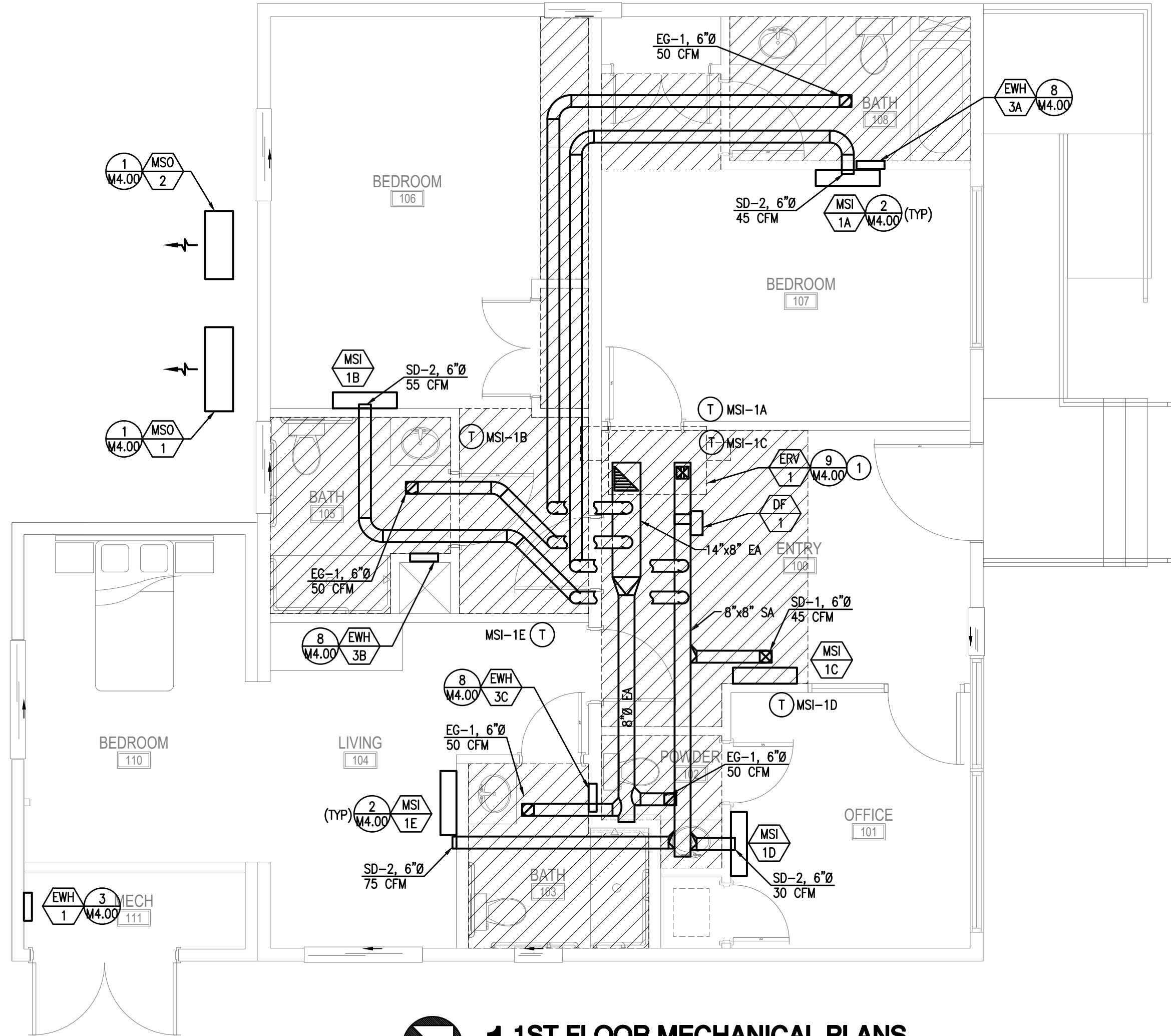
M2.00

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2 2ND FLOOR MECHANICAL PLANS
SCALE: 1/4" = 1'-0"



1 1ST FLOOR MECHANICAL PLANS
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

- CONTRACTOR TO COORDINATE ALL EQUIPMENT LOCATIONS AND ROOF PENETRATIONS WITHIN THE SCOPE OF THIS PROJECT. PLUMBING VENTS, REGULATOR VENTS, FLUES, AND EXHAUST AIR OUTLETS TO BE KEPT A MINIMUM OF 10' AWAY FROM OUTSIDE AIR INTAKE LOCATIONS.
- ALL SUPPLY, RETURN AND OUTSIDE AIR DUCT TO BE INSULATED PER 2018 IECC.
- SEE DETAIL 7, SHEET M4.00 FOR TYPICAL DUCT SUPPORT DETAIL.
- MOUNT ALL TSTATS WITH TOP OF TSTAT AT 48" A.F.F.

KEYED NOTES:

- EQUIPMENT ON ROOF.
- TERMINATE WITH MANUFACTURER'S WALL FLAPPER AT MINIMUM 7'-6" ABOVE GRADE OR PROVIDE LOW PROFILE TERMINATION TO AVOID KICK/TRIP HAZARD. DUCT SHALL BE MOISTURE RESISTANT METAL, 26 GAUGE MINIMUM.
- ROUTE 14"Ø MAKEUP AIR DUCT UP THROUGH ROOF AND TERMINATE WITH GOOSNECK AND BIRD MESH. SEE DETAIL 6, SHEET M4.00. PROVIDE SPRING LOADED BACKDRAFT DAMPER.
- PROVIDE INSULATED SUB-BASE FOR T-STAT.

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HVAC PLANS

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MINI-SPLIT HEAT PUMP SYSTEM - INDOOR UNIT SCHEDULE

EQUIP. NO	SERVICE	CORRESPONDING OUTDOOR UNIT	STYLE	FAN			DX COOLING	HEAT PUMP HEAT	ELECTRICAL				WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES
				SUPPLY CFM	OSA CFM	E.S.P. (IN. W.C.)	NOMINAL BTU/HR	NOMINAL BTU/HR	VOLTAGE	PHASE	MCA	MOCp				
MSI-1 (A-E)	BUILDING	MSO-1	WALL MOUNT	406	-	-	12,000	12,000	POWERED FROM OUTDOOR UNIT				22	MITSUBISHI	MSZ-GL12NA	1,2
MSI-2	LAUNDRY	MSO-2	WALL MOUNT	459	-	-	12,000	13,600	POWERED FROM OUTDOOR UNIT				20	LG	LSN120HSV5	1,2

ALTERNATE MANUFACTURERS: CARRIER, LG, DAIKIN, TRANE, YORK, MITSUBISHI, SAMSUNG, LENNOX

NOTES:

- 1 PROVIDE FACTORY CONDENSATE KIT WITH FACTORY CONDENSATE OVERFLOW CUT-OFF SWITCH. PROVIDE CONDENSATE PUMP WHERE NECESSARY.
- 2 PROVIDE PROGRAMMABLE 7-DAY THERMOSTAT, WITH 5 DEGREE DEADBAND.

MINI-SPLIT HEAT PUMP SYSTEM - OUTDOOR UNIT SCHEDULE

EQUIP. NO.	LOCATION	CORRESPONDING INDOOR UNIT(S)	NOMINAL TONS	STAGES	DX COOLING			HEAT PUMP HEAT			ELECTRICAL				WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES
					TOTAL CAP. (MBH)	SEER	EER	STAGES	TOTAL CAP. (MBH)	HSPF	VOLTAGE	PHASE	MCA	MOCp				
MSO-1	BUILDING	MSI-1A,1B,1C,1D,1E	5	VARIABLE SPEED	60	20	13.3	VARIABLE SPEED	66	12	240	1	36	50	302	mitsubishi	MXZ-SM60NAM	1,2,3,4,5,6
MSO-2	LAUNDRY	MSI-2	1	VARIABLE SPEED	12	22	15	VARIABLE SPEED	13.6	10	240	1	10	15	80	LG	LSU120HSV5	1,2,4,5,6

ALTERNATE MANUFACTURERS: CARRIER, LG, DAIKIN, TRANE, YORK, MITSUBISHI, SAMSUNG, LENNOX

NOTES:

- 1 COOLING CAPACITIES RATED AT 95F OUTDOOR TEMP, HEATING CAPACITIES RATED AT 47F OUTDOOR TEMP, SEA LEVEL ELEVATION
- 2 PROVIDE INSULATED LINESET. ALL LINESETS TO BE SIZED FOR INSTALLED CONDITIONS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. PROVIDE LONG-LENGTH ACCESSORIES IF REQUIRED.
- 3 PROVIDE 240/1 POWER TO BRANCH SELECTOR BOX (PAC-MKA52BC)
- 4 PROVIDE WITH FACTORY INSTALLED DRAIN PAN HEATER
- 5 PROVIDE SNOW STAND, 15" MINIMUM HEIGHT
- 6 SYSTEM MUST OPERATE IN HEATING DOWN TO -4F

ENERGY RECOVERY VENTILATOR SCHEDULE

EQUIP. NO	SERVICE	SUPPLY FAN		EXHAUST FAN		ELECTRICAL				CONTROL	WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES
		CFM	E.S.P. (IN. W.C.)	CFM	E.S.P. (IN. W.C.)	VOLTAGE	PHASE	WATTS	HP					
ERV-1	BUILDING	250	0.5	200	0.5	240	1	85	0.5	CONTINUOUS	350	RENEWAIRE	EV450RT	1,2,3,4

ALTERNATE MANUFACTURERS: COOK, GREENHECK, PANASONIC, RENEW AIRE

NOTES:

- 1 COORDINATE WITH ELECTRICAL CONTRACTOR FOR ALL CONTROLS
- 2 PROVIDE DISCONNECT
- 3 PROVIDE MERV 13 FILTER
- 4 PROVIDE MANUFACTURER'S ROOF CURB. COORDINATE WITH GENERAL CONTRACTOR TO ADJUST EXISTING ROOF FRAMING TO ACCOMMODATE DUCT DROPS IF NECESSARY.

GRILLES, REGISTERS, AND DIFFUSERS SCHEDULE

TAG	SIZE			CFM RANGE	FLOW	MOUNTING				MATERIAL		FACE OPERATED OPPOSED BLADE DAMPER	MANUFACTURER	MODEL NUMBER	NOTES
	FRAME SIZE	FACE SIZE	COLLAR SIZE			LAY-IN	HARD	SIDEWALL	DUCT	FLOOR	STEEL	ALUM.			
SD-1	-	6x6	6	0-100	4-WAY		X				X		PRICE	SMD	CEILING SUPPLY DIFFUSER
SD-2	-	6x6	6	0-100	-			X			X		PRICE	520	SIDEWALL DIFFUSER, DOUBLE DEFLECTION
TG-1	-	16x16	16		-		X				X		PRICE	530	CEILING TRANSFER GRILLE
EG-1	-	6x6	6	0-100	-		X				X		PRICE	530	CEILING EXHAUST GRILLE

ALTERNATE MANUFACTURERS: TITUS, PRICE, METAL-AIRE, NAILOR, CARNES, TUTTLE & BAILEY, HART & COOLEY, SHOEMAKER

NOTES:

- 1 CONTRACTOR TO VERIFY AND PROVIDE ALL MOUNTING HARDWARE FOR APPLICABLE CEILING TYPES
- 2 FINISH TO BE COORDINATED WITH ARCHITECT PRIOR TO SUBMITTAL
- 3 CONTRACTOR TO PROVIDE TRANSITIONS FROM LEAD-IN DUCT SIZE TO NOMINAL DUCT SIZE IF REQUIRED
- 4 NC VALUES NOT TO EXCEED 25

ELECTRIC WALL HEATER SCHEDULE

EQUIP. NO	SERVICE	ELECTRICAL				WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES
		VOLTAGE	PHASE	KW	AMPS				
EW-H-1	MECH	120	1	0.75	6.25	26	MARKEL	E3321TD-RP	1,3
EW-H-2	STORAGE	120	1	0.75	6.25	26	MARKEL	E3321TD-RP	1,3
EW-H-3A,3B,3C	BATHS	120	1	0.75	6.25	26	MARKEL	E3321TD-RP	1,2

ALTERNATE MANUFACTURERS: INDEECO, MARKEL, QMARK

NOTES:

- 1 FURNISH WITH MANUFACTURER'S INTEGRAL TSTAT
- 2 PROVIDE WITH MANUFACTURER'S RECESSED MOUNTING KIT
- 3 PROVIDE WITH MANUFACTURER'S SURFACE MOUNTING KIT

ELECTRIC DUCT FURNACE HEATER SCHEDULE

EQUIP. NO	SERVICE	CFM	S.P. LOSS (IN. W.C.)	ELECTRICAL HEAT		ELECTRICAL		MANUFACTURER	MODEL NUMBER	NOTES
				STAGES	KW	VOLTAGE	PHASE			
DF-1	BUILDING	250	0.04	SCR	4	240	1	RENEWAIRE	EK-0808	1,2,3,4,5

ALTERNATE MANUFACTURERS: REZNOR, MODINE, STERLING, INDEECO, MARKEL, QMARK

NOTES:

- 1 PROVIDE AIRFLOW SWITCH
- 2 PROVIDE DUCT DISCHARGE THERMOSTAT
- 3 PROVIDE FACTORY DISCONNECT
- 4 SLIP IN HEATER DESIGN
- 5 SET DISCHARGE THERMOSTAT AT 60 F

EXHAUST FAN SCHEDULE

EQUIP. NO	SERVICE	CFM	E.S.P. (IN. W.C.)	SONES	ELECTRICAL			CONTROL	WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES
					VOLTAGE	PHASE	WATTS					
EF-1	LAUNDRY	100	0.25	2	120	1	35	INTERLOCK WITH LIGHTS	12	COOK	GC-148	1,2,3,4

ALTERNATE MANUFACTURERS: COOK, GREENHECK, PANASONIC, PENNBARRY, CARNES, ACME, TWIN CITY, BROAN, NUTONE

NOTES:

- 1 COORDINATE WITH ELECTRICAL CONTRACTOR FOR ALL CONTROLS
- 2 PROVIDE WITH SPEED CONTROL ACCESSORY
- 3 CEILING MOUNTED FAN WITH INTEGRAL BACKDRAFT DAMPER, PROVIDE CEILING GRILLE
- 4 PROVIDE DISCONNECT

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HVAC SCHEDULES

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PLUMBING SPECIFICATIONS

PART 1 - GENERAL

1.1 GENERAL NOTES

A. THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, AND EQUIPMENT, NECESSARY FOR READILY AVAILABLE AS BEING NECESSARY AND EQUIPMENT HAVING, INSTALLATION AND TESTING, COMPLETE AND READY FOR SAFE OPERATION OF THE SYSTEMS DESCRIBED HEREIN.

B. SUBMISSION OF A PROPOSAL SHALL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR HAS MADE A THOROUGH EXAMINATION OF THE SITE, AND ALL EXISTING CONDITIONS AND LIMITATIONS AFFECT AFFECT THIS WORK. NO CLAIMS SHALL NOT BE MADE FOR LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE BEEN FORESEEN DURING SUCH AN EXAMINATION.

C. THE DRAWINGS INDICATE THE MECHANICAL CHARACTER, AND LOCATION OF THE WORK TO BE PERFORMED. WHERE MINOR ADJUSTMENTS OF THE WORK ARE NECESSARY FOR PURPOSES OF FABRICATION OR INSTALLATION OF ITEMS, THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS WITH NO ADDED CONSIDERATION. WHERE SUCH ADJUSTMENTS AFFECT FUNCTIONAL OR AESTHETIC DESIGN OF THE WORK, THEY SHALL FIRST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.

D. SITE UTILITIES. THE MECHANICAL DOCUMENTS INDICATE CONNECTION LOCATION OF VARIOUS PLUMBING SERVICES. COORDINATE WORK WITH THE SITE UTILITIES CONTRACTOR TO ENSURE PROPER INSERT ELEVATION, PIPE SLOPE GRADIENT, PIPE SIZE AND SEPARATION WITHIN TRENCH WORK. NOTIFY ARCHITECT OR ENGINEER OF ANY DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS.

E. COMPLY WITH ALL LOCAL AND STATE CODES REGARDING SEISMIC SUPPORT AND ISOLATION. NOT ALL SEISMIC REQUIREMENTS ARE SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL MEET THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION FOR SEISMIC SUPPORT/ISOLATION OF HIS WORK.

1.2 GENERAL COORDINATION

A. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF A SATISFACTORY, COMPLETE, AND FULLY OPERATIONAL, PIECE OF WORK IN ACCORDANCE WITH TRUE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

B. CONTRACTOR SHALL CONSULT ALL DRAWINGS FOR THE PROJECT TO DETERMINE THAT THE WORK AND EQUIPMENT WILL FIT AS PLANNED.

C. THE LOCATION OF PIPING, DUCTS, EQUIPMENT, ETC., SHALL BE CHECKED TO ENSURE CLEARANCE FROM EXISTING STRUCTURAL MEMBERS, LIGHTS, OUTLETS, AND EQUIPMENT HAVING FIXED LOCATIONS. THIS SHALL BE ACCOMPLISHED PRIOR TO FABRICATION OF PIPE OR DUCTS.

D. IF, AT ANY TIME, AND IN ANY CASE, CHANGES IN LOCATION OF PIPING, DUCTS, EQUIPMENT, ETC., BECOMES NECESSARY DUE TO EXISTING OBSTACLES OR INSTALLATION OF OTHER TRADES SHOWN ON ANY OF THE PROJECT DRAWINGS AND SUCH CONFLICT COULD HAVE BEEN AVOIDED BY PROPER COORDINATION BETWEEN TRADES AND PROPER PRE-PLANNING OF WORK, SUCH REQUIRED CHANGES SHALL BE MADE BY THE CONTRACTOR AT NO EXTRA COST. THESE CHANGES ARE TO BE RECORDED ON THE RECORD DRAWINGS.

E. THIS CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL INCIDENTAL ELECTRICAL INTERCONNECTIONS, CONTROL WIRING, ETC., WHICH ARE NECESSARY FOR SYSTEM COMPLETION AND WHICH ARE NOT SPECIFICALLY SHOWN OR OTHERWISE INDICATED ON THE ELECTRICAL DRAWINGS OR SPECIFIED IN DIVISION 26.

F. ALL ELECTRICAL WORK INCIDENTAL TO OR COMPLETED UNDER THIS DIVISION SHALL COMPLY WITH ALL REQUIREMENTS OF DIVISION 26.

G. PLANS ARE DIAGRAMMATIC IN NATURE. THE CONTRACTOR IS RESPONSIBLE FOR REFERRING TO THE DESIGN DOCUMENTS FOR ALL OTHER DISCIPLINES FOR PROJECT CONSTRUCTION AND OTHER DETAILS WHICH AFFECT THE MECHANICAL INSTALLATION. CONTRACTOR SHALL COVER ALL OTHER TRADES FOR FINISH ADJACENT TO ITS WORK AND ARRANGE TO HAVE VISIBLE PORTIONS OF THIS WORK (SUCH AS ACCESS DOORS, VALVES, SPRINKLER HEADS, ESCUTCHEONS, ETC.) MERGE WITH THE FINISH IN A MANNER SATISFACTORY TO THE ARCHITECT.

H. CONTRACTOR SHALL IDENTIFY ALL SERVICEABLE ITEMS (VALVES, CLEANOUTS, COILS, ETC.) SO THAT THE CEILING SUBCONTRACTOR MAY KNOW WHERE TO INSTALL ACCESS-TYPE PANELS SHOULD A LIFT-UP TYPE CEILING NOT BE INSTALLED. THIS CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR HIS WORK UNLESS SPECIFICALLY NOTED ON THE DRAWINGS. ARCHITECT SHALL APPROVE LOCATIONS OF ACCESS PANELS PRIOR TO INSTALLATION.

I. CEILING HEIGHTS. ARCHITECTURAL DRAWINGS SHALL BE CHECKED FOR CEILING HEIGHTS, WALLS, AND CABINETS THAT ARE INTENDED TO CONCEAL WORK OF THIS SECTION. WHERE CONFLICTS OCCUR, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO THE WORK. LOCATION OF EXPOSED WORK SUCH AS PIPING, VALVES, SPEAKERS, SPRINKLER HEADS TAKE PRECEDENCE OVER CONCEALED WORK.

J. CONTRACTOR SHALL EXERCISE CARE TO MINIMIZE ANY DISTURBANCE TO ADJACENT AREAS OF THE BUILDING, WHICH ARE TO REMAIN IN OPERATION. ISOLATE WORK AREAS BY TEMPORARY PARTITIONS, BARRIERS, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.

K. PROVIDE ALL NECESSARY FLASHING, SEALING, ETC., TO MAINTAIN THE WATERPROOF INTEGRITY OF THE BUILDING AS REQUIRED BY THE INSTALLATION OR REMOVAL OF ITEMS AS REQUIRED BY THIS SECTION.

L. INSTALL WORK OF THIS SCOPE TO BE READILY ACCESSIBLE FOR OPERATION, MAINTENANCE, AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES INVOLVING OTHER TRADES MAY NOT BE MADE WITHOUT PRIOR APPROVAL.

M. ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION MUST BE SEALED TO MAINTAIN THE RATING OF SUCH ASSEMBLY BY A U.L. RECOGNIZED SEALING METHOD.

N. PROVIDE ALL CUTTING AND PATCHING REQUIRED FOR INSTALLATION OF THIS WORK, INCLUDING ALL BLOCKING, SUPPORT, ETC., NECESSARY FOR THE INSTALLATION OF THIS WORK WITH THE GENERAL CONTRACTOR.

1.3 CODES, STANDARDS, PERMITS, AND FEES

A. ALL APPLICABLE CODE LAWS AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS. THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR, WHO SHALL INFORM THE ARCHITECT IN WRITING PRIOR TO SUBMITTING ANY WORK OR MATERIALS WHICH VIOLATE ANY OF THE ENFORCED LAWS, ORDINANCES, OR REGULATIONS. IF THE CONTRACTOR PERFORMS ANY WORK CONTRARY TO SUCH LAWS, ORDINANCES, RULES AND REGULATIONS, HE SHALL ASSUME FULL RESPONSIBILITY, AND SHALL BEAR ALL COSTS ASSOCIATED WITH BRINGING WORK INTO COMPLIANCE.

B. WHERE DRAWINGS OR SPECIFICATIONS CALL FOR MATERIAL OR CONSTRUCTION OF A BETTER QUALITY OR HIGHER GRADE THAN REQUIRED BY THE ABOVE-MENTIONED CODES AND STANDARDS, THE PROVISIONS OF THE DRAWINGS OR SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE REQUIREMENTS OF THE CODES AND STANDARDS.

C. THE RESPECTIVE SUB-C-564, 300 SERIES STEEL SHIELD, CLAMP, AND SCREWS WITH A LEAST FOUR SCREW TYPE CLAMPS, FN 1680 OR ASTM C1540.

D. SOLID WALL ASS PIPER PER ASTM D 2661, SCHEDULE 40, ABS SOCKET FITTINGS, AND SOLVENT-CEMENTED JOINTS.

E. STANDARD WEIGHT NO-HUB CAST IRON SOIL PIPE, CHEMICALLY BONDED EPOXY CORROSION PROTECTIVE COATING INSIDE AND OUTSIDE, CSP1 301, CSP1 TRADEMARK, AND NSF INTERNATIONAL LISTED; JOINTS: HEAVY DUTY, NEOPRENE SLEEVE GASKET, ASTM C-564, 300 SERIES STAINLESS STEEL, CLAMP, AND SCREWS WITH A LEAST FOUR SCREW TYPE CLAMPS, FN 1680 OR ASTM C1540.

F. SOLID WALL ASS PIPER PER ASTM D 2661, SCHEDULE 40, ABS SOCKET FITTINGS, AND SOLVENT-CEMENTED JOINTS.

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Q. SOLID WALL ASS PIPER PER ASTM D 2661, SCHEDULE 40, ABS SOCKET FITTINGS, AND SOLVENT-CEMENTED JOINTS.

1.7 PROJECT CLOSE-OUT

A. CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE TO REPLACE OR REPAIR ANY DEFECTS IN WORKMANSHIP OR EQUIPMENT, WHICH DEVELOPE WITHIN ONE YEAR FROM ACCEPTANCE BY THE OWNER. CONTRACTOR MUST ASSUME RESPONSIBILITY FOR ALL EXPENSES INCURRED TO REPAIR OR REPLACE HIS WORK AS WELL AS WORK OF OTHER TRADES THAT MAY BE AFFECTED BY THIS REPLACEMENT.

B. CONTRACTOR SHALL MAINTAIN A REDUCED SET OF CONSTRUCTION DRAWINGS SHOWING DEVIATIONS BETWEEN THE DRAWINGS AND INSTALLED CONDITIONS. THESE SHALL BE TURNED OVER TO THE OWNER AT ACCEPTANCE OF THE WORK.

C. PROVIDE THREE (3) COMPLETE SETS OF OPERATION AND MAINTENANCE MANUALS. THESE ARE TO INCLUDE ALL EQUIPMENT OUT-SHEETS, MANUFACTURERS RECOMMENDED MAINTENANCE PROCEDURES, MANUFACTURERS WARRANTY INFORMATION, AND CONTRACTORS WARRANTY LETTER. PROVIDE THREE (3) REVIEWED BALANCE REPORTS OF WATER AND AIR SYSTEMS AS APPLICABLE.

D. PROVIDE THREE (3) COMPLETE SETS OF OPERATION AND MAINTENANCE MANUALS. THESE ARE TO INCLUDE ALL EQUIPMENT OUT-SHEETS, MANUFACTURERS RECOMMENDED MAINTENANCE PROCEDURES, MANUFACTURERS WARRANTY INFORMATION, AND CONTRACTORS WARRANTY LETTER. PROVIDE THREE (3) REVIEWED BALANCE REPORTS OF WATER AND AIR SYSTEMS AS APPLICABLE.

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2.2 PIPE JOINT CONSTRUCTION

A. SOLDERED JOINTS: USE ASTM B 813, WATER-FLUSHABLE, LEAD-FREE FLUX; ASTM B 32, LEAD-FREE-ALLOY SOLDER AND ASTM B 828 PROCEDURE, UNLESS OTHERWISE INDICATED.

B. BRASSING FLUE METALS: AWS A5.8, BRASS; COPPER-PROSOPHORS ALLOYS FOR GENERAL-OUTLET BRAZING, UNLESS OTHERWISE INDICATED; AND AWS A5.8, BAg1, SILVER ALLOY FOR REFRIGERANT PIPING, UNLESS OTHERWISE INDICATED.

C. CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE TO REPLACE OR REPAIR ANY DEFECTS IN WORKMANSHIP OR EQUIPMENT, WHICH DEVELOPE WITHIN ONE YEAR FROM ACCEPTANCE BY THE OWNER. CONTRACTOR MUST ASSUME RESPONSIBILITY FOR ALL EXPENSES INCURRED TO REPAIR OR REPLACE HIS WORK AS WELL AS WORK OF OTHER TRADES THAT MAY BE AFFECTED BY THIS REPLACEMENT.

D. CONTRACTOR SHALL MAINTAIN A REDUCED SET OF CONSTRUCTION DRAWINGS SHOWING DEVIATIONS BETWEEN THE DRAWINGS AND INSTALLED CONDITIONS. THESE SHALL BE TURNED OVER TO THE OWNER AT ACCEPTANCE OF THE WORK.

E. PROVIDE THREE (3) COMPLETE SETS OF OPERATION AND MAINTENANCE MANUALS. THESE ARE TO INCLUDE ALL EQUIPMENT OUT-SHEETS, MANUFACTURERS RECOMMENDED MAINTENANCE PROCEDURES, MANUFACTURERS WARRANTY INFORMATION, AND CONTRACTORS WARRANTY LETTER. PROVIDE THREE (3) REVIEWED BALANCE REPORTS OF WATER AND AIR SYSTEMS AS APPLICABLE.

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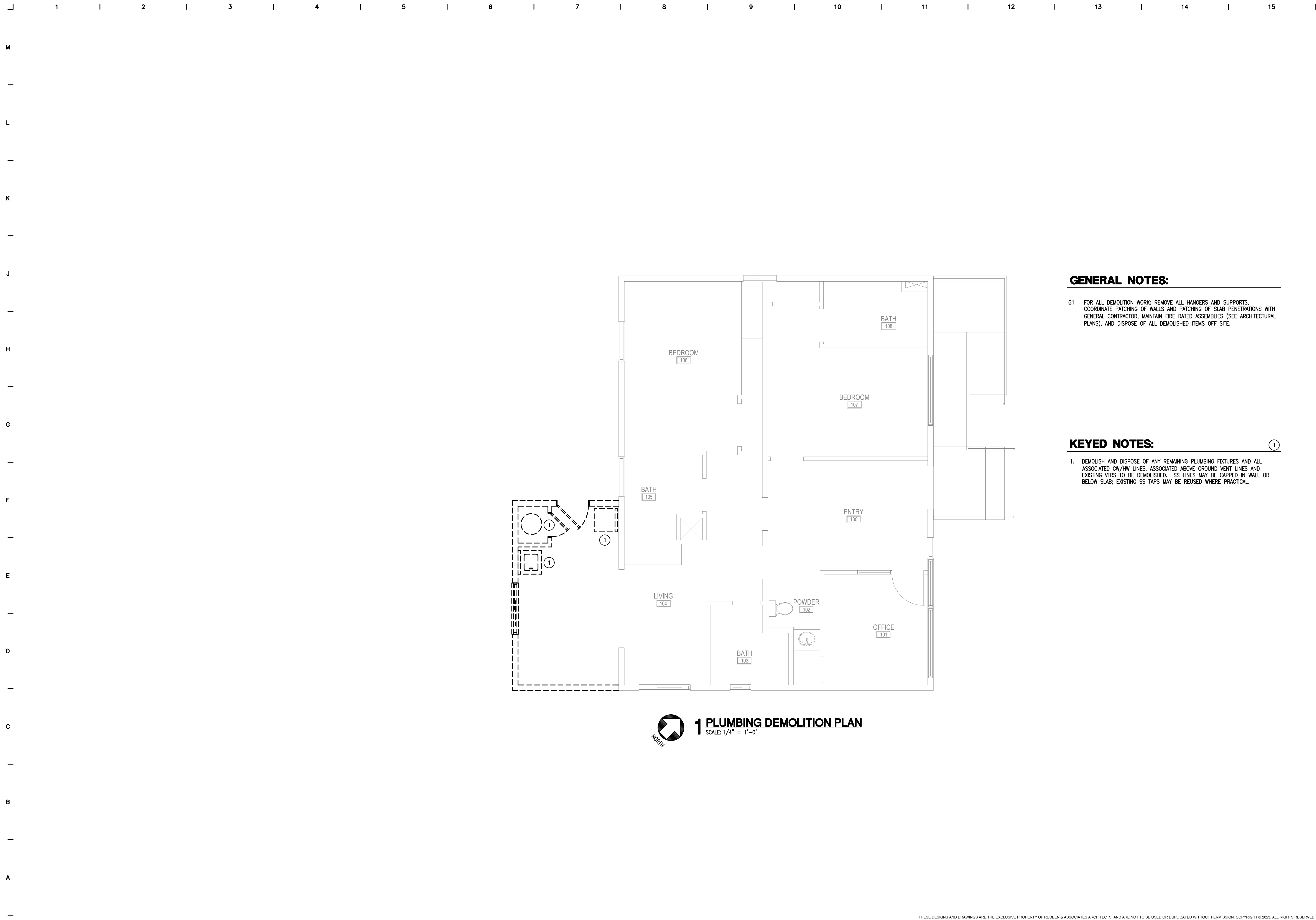
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GENERAL NOTES:

- G1 FOR ALL DEMOLITION WORK: REMOVE ALL HANGERS AND SUPPORTS, COORDINATE PATCHING OF WALLS AND PATCHING OF SLAB PENETRATIONS WITH GENERAL CONTRACTOR, MAINTAIN FIRE RATED ASSEMBLIES (SEE ARCHITECTURAL PLANS), AND DISPOSE OF ALL DEMOLISHED ITEMS OFF SITE.

KEYED NOTES:

1. DEMOLISH AND DISPOSE OF ANY REMAINING PLUMBING FIXTURES AND ALL ASSOCIATED CW/HW LINES. ASSOCIATED ABOVE GROUND VENT LINES AND EXISTING VTRS TO BE DEMOLISHED. SS LINES MAY BE CAPPED IN WALL OR BELOW SLAB; EXISTING SS TAPS MAY BE REUSED WHERE PRACTICAL.

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**PLUMBING DEMOLITION
PLAN**

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2329

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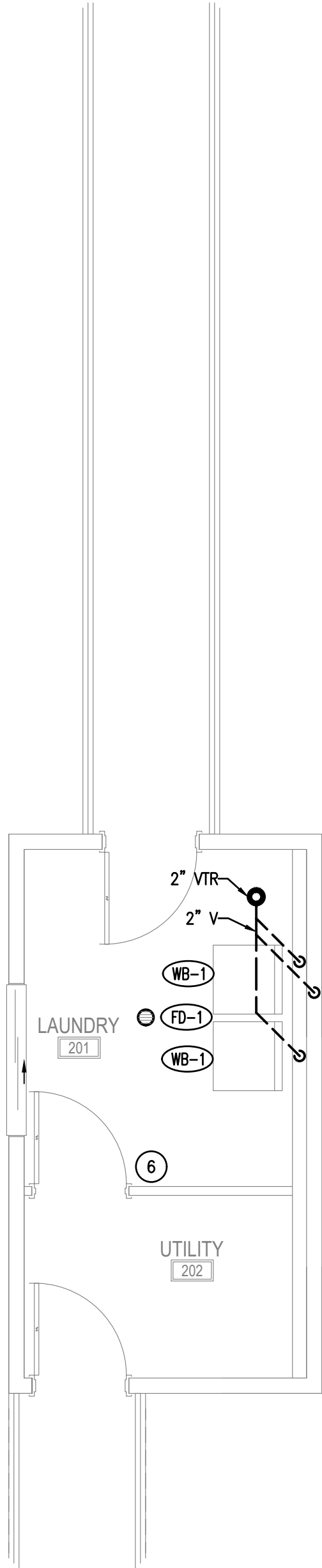
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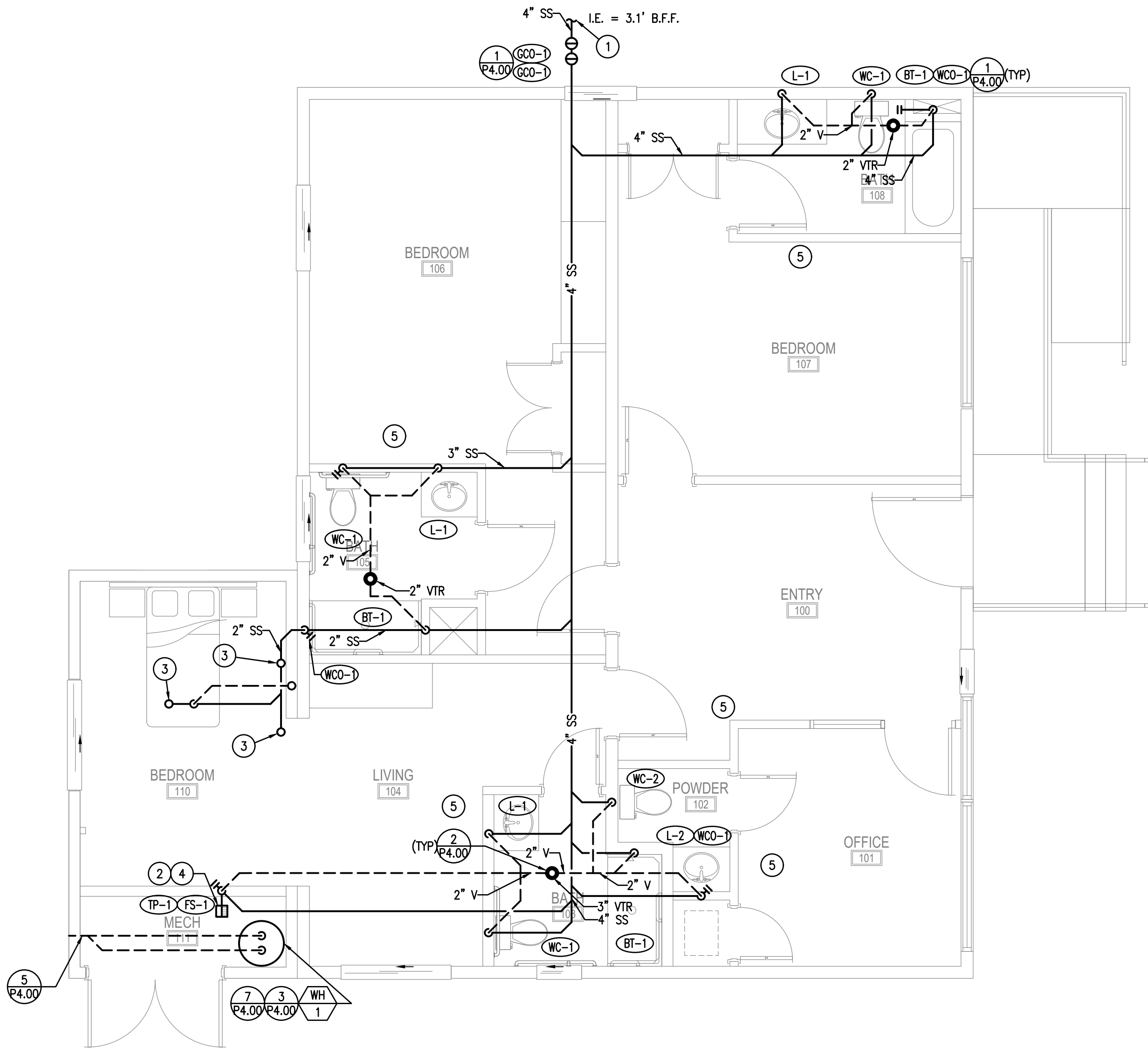
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 **2 2ND FLOOR WASTE AND VENT PLANS**
SCALE: 1/4" = 1'-0"



 **1 PLUMBING DOMESTIC WATER PLANS**
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

- G1 CERTAIN EQUIPMENT REQUIREMENTS NOTED ON THESE DRAWINGS WERE DERIVED FROM OWNER-FURNISHED COORDINATION DRAWINGS. CONTRACTOR TO VERIFY ACTUAL OWNER-FURNISHED EQUIPMENT CONNECTION REQUIREMENTS AND SCOPE OF WORK. CONTRACTOR TO PROVIDE INSTALLATION OF ALL OWNER SUPPLIED PLUMBING FIXTURES.
- G2 CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING SANITARY LINES. VERIFY AVAILABLE INVERT DEPTHS PRIOR TO BEGINNING WORK.
- G3 SUPPORT PIPING PER PIPE HANGER DETAIL 12 ON SHEET P4.00.
- G4 PROVIDE TRAP PRIMERS FOR ALL FLOOR DRAINS AND FLOOR SINKS PER DETAIL 9 ON SHEET P4.00

KEYED NOTES:

- 1. ROUTE TO EXISTING SITE SANITARY SEWER LINE, VERIFY LOCATION AND AVAILABLE INVERT BEFORE BEGINNING WORK. MAY BE NECESSARY TO ROUTE OUT OPPOSITE SIDE OF BUILDING.
- 2. ROUTE DISCHARGE FROM RPPB DOWN TO FLOOR SINK. TERMINATE WITH AIR GAP. SEE DETAIL 7, SHEET P4.00.
- 3. SEE SECOND FLOOR WASTE AND VENT PLAN FOR CONTINUATION.
- 4. ROUTE T&P RELIEF VALVE DISCHARGE AND CONDENSATE DRAIN FROM WATER HEATER TO FLOOR SINK AND TERMINATE WITH AIR GAP. SEE DETAIL 7, SHEET P4.00.
- 5. ROUTE CONDENSATE FROM WALL MOUNTED HVAC UNITS TO NEAREST LAVATORY TAIL PIECE PER DETAIL 11 ON PAGE P4.00.
- 6. ROUTE CONDENSATE FROM WALL MOUNTED HVAC UNIT TO WASHER BOX DRAIN.

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**PLUMBING WASTE AND
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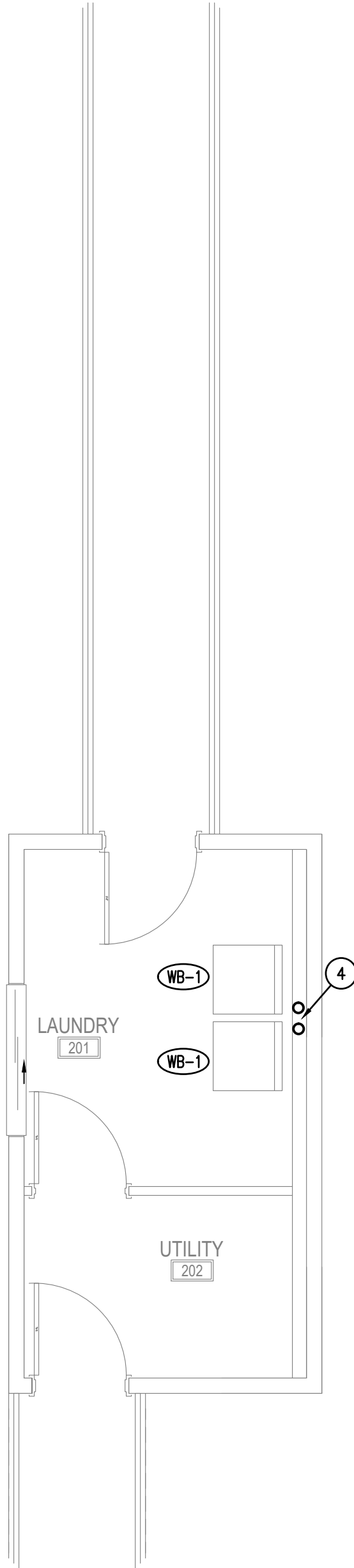
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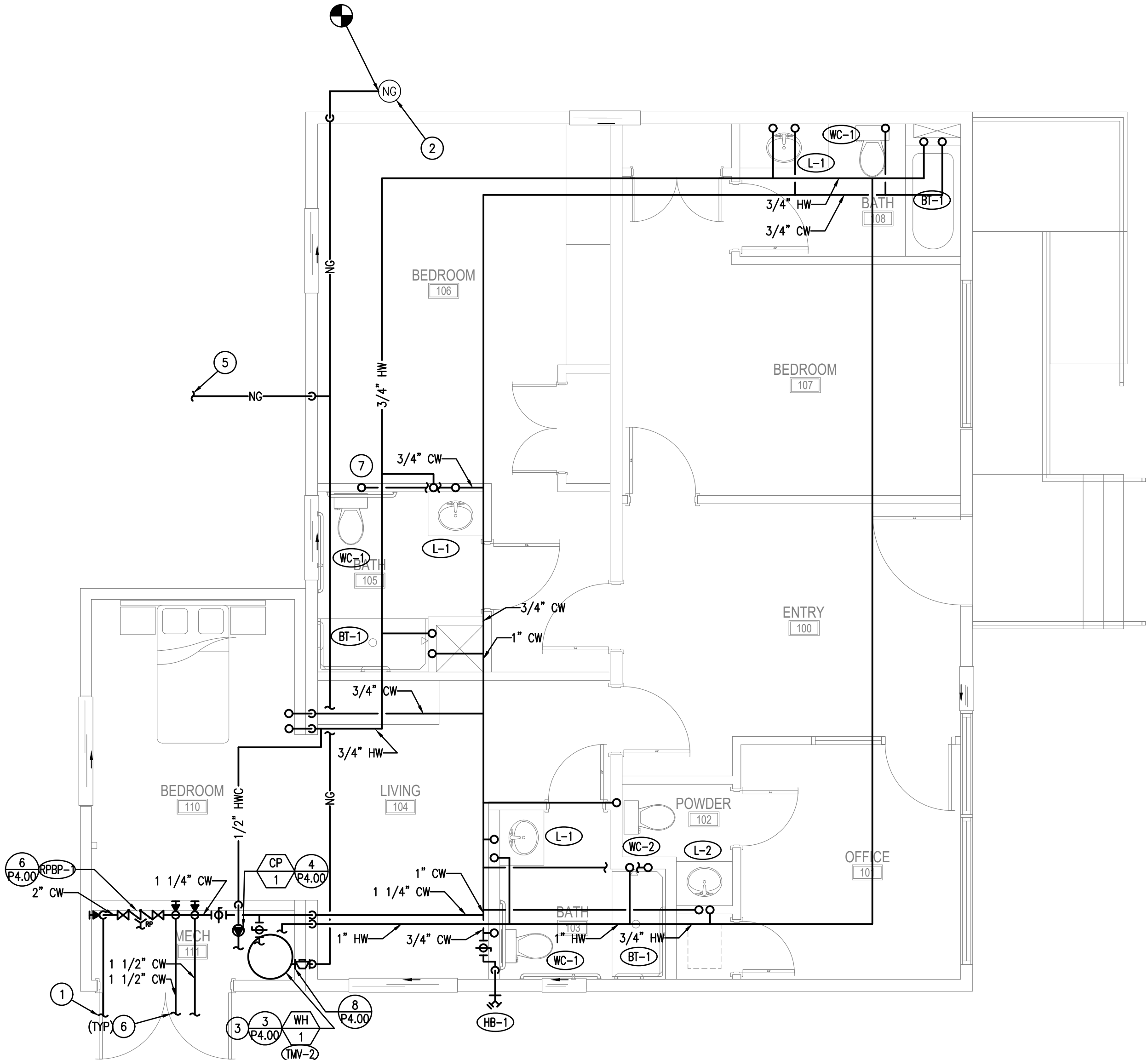
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2 2ND FLOOR DOMESTIC WATER PLANS
SCALE: 1/4" = 1'-0"



1 PLUMBING DOMESTIC WATER PLANS
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- G2 CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING DOMESTIC AND GAS LINES. VERIFY AVAILABLE INVERT DEPTHS PRIOR TO BEGINNING WORK.
- G3 FOR MORE DETAIL ON GAS SIZING SEE DETAIL 10 SHEET P4.00.
- G4 SUPPORT PIPING PER PIPE HANGER DETAIL 12 ON SHEET P4.00.
- G5 CW/HW/HWC/GAS PIPING IS GENERALLY ROUTED WITHIN CRAWLSPACE, PIPES SHALL BE INSTALLED ON WARM SIDE OF INSULATION.

KEYED NOTES:

- 1. ROUTE TO EXISTING METER VAULT AND UPDATE MAIN SERVICE LINE/METER TO 2".
- 2. EXISTING 7" W.C. GAS METER BY GAS COMPANY.
- 3. ROUTE 1" CW, 1" HW, AND 1/2" HWC TO WATER HEATER.
- 4. ROUTE 3/4" CW/HW LINES UP WALL TO LAUNDRY ROOM ON SECOND FLOOR. SPLIT INTO (2) 1/2" CW AND (2) 1/2" HW LINES TO SERVICE EACH WASHER BOX. PROVIDE CHECK VALVES IN ACCESSIBLE LOCATION TO PREVENT CROSS CONNECTION.
- 5. ROUTE NG PIPING TO OUTDOOR FIRE PLACE. SEE ARCHITECTURAL PLANS FOR LOCATION. PROVIDE RECESSED VAULT FOR GAS VALVE AND TIMER. PROVIDE EMERGENCY SHUTOFF SWITCH. COORDINATE CONNECTION AND VALVING REQUIREMENTS WITH MANUFACTURER. REFER TO GAS SCHEMATIC DETAIL 10 ON SHEET P4.00 FOR SIZING. TERMINATE PER DETAIL 8, SHEET P4.00.
- 6. ROUTE OUT OF CLOSET BELOW FROST DEPTH AND RECONNECT TO EXISTING CW LINES SERVING THE (2) BUILDING WINGS IN THIS GENERAL AREA.

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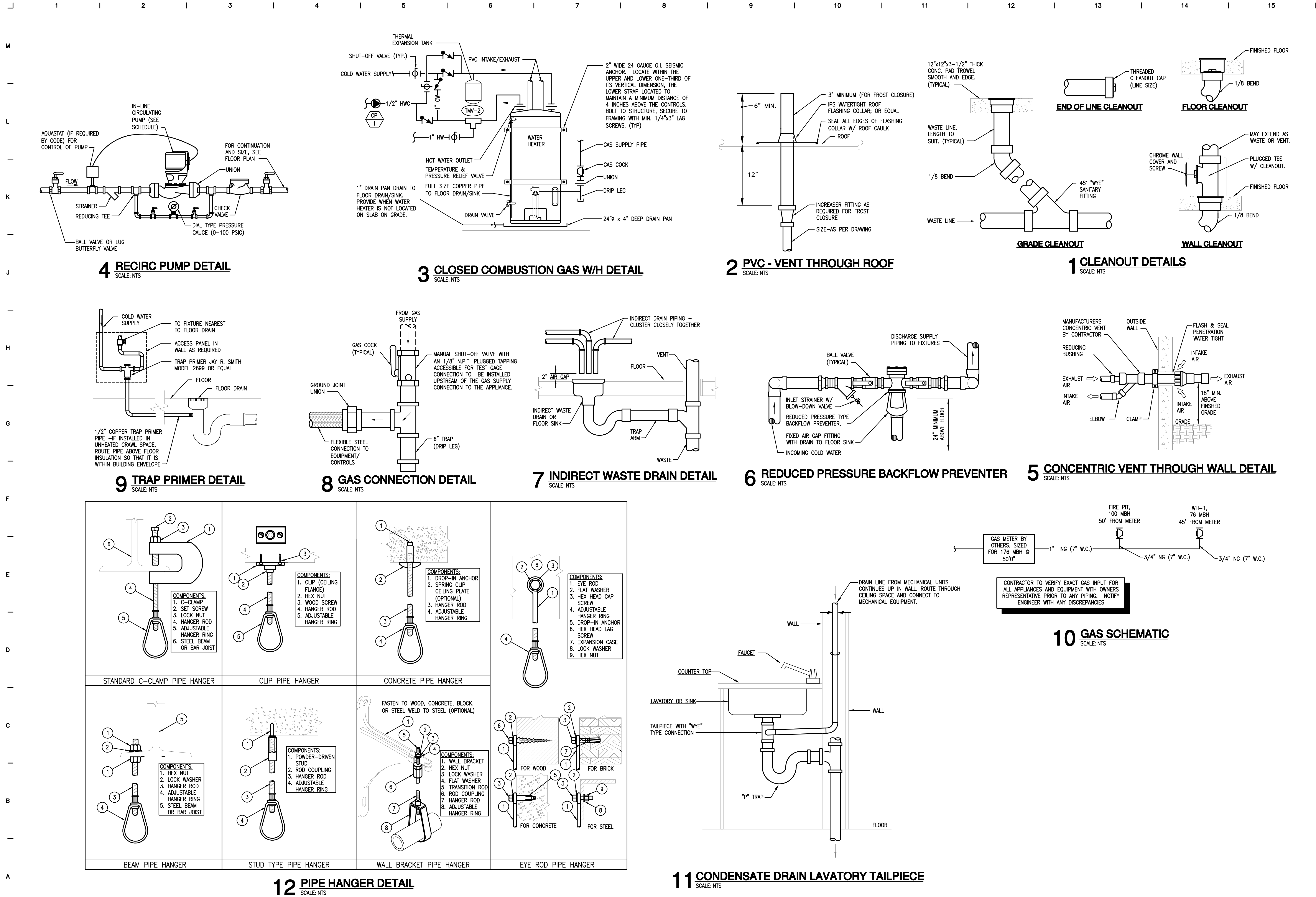
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