

CONDITIONAL USE PERMIT

Permit info: CUPFY2024-0003

Application Date: 12/14/2023 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921

▪ www.gardencityidaho.org • building@gardencityidaho.org

APPLICANT		PROPERTY OWNER	
Name:	CHRIS ANDERSON	Name:	BEN BATE
Company:	RUDEEN ARCHITECTS	Company:	ELEVATE GARDEN CITY, LLC
Address:	199 N. CAPITOL BLVD. #602	Address:	P.O. Box 927215
City:	BOISE	City:	SAN DIEGO
State:	ID	State:	CA
Zip:	83702	Zip:	92192
Tel.:	208.338.1413	Tel.:	661.547.9567
E-mail:	caanderson@rudeenarchitects.com	E-mail:	ben@cityconcepts

PROPERTY AND DESIGN INFORMATION: [VISIT ADA COUNTY ASSESSOR'S SITE](#)

Site Address:	3433 W CHINOOK		
Subdivision Name:	FAIRVIEW ACRES	Lot:	32
Tax Parcel Number:	R2734530170	Zoning:	C-1
Proposed Use:	R-1	Floodplain:	YES NO

Describe the proposed use: LODGING w/ OFFICE

ADDING ACCESSIBLE UNITS INTO OFFICE BUILDING

Will you be making changes to the structure(s)? YES NO

If no, will you be changing the occupancies as defined by the IBC? YES NO

Check any that are applicable to this application:	I will build a new structure
	I will add 25% or more to the floor area of an existing building
	<input checked="" type="checkbox"/> I will alter, replace rehabilitate or restore 25% or more of a store façade.

If any of the first three boxes are checked, a Design Review Application is required

How is the use appropriate to the location, the lot, and the neighborhood, and is compatible with the uses permitted in the applicable zoning district?

THE LOT IS CURRENTLY USED AS LODGING, WE WOULD LIKE TO BETTER THE SITE BY ADDING ACCESSIBLE UNITS WITHIN THE OFFICE BUILDING.

Is the use supported by adequate public facilities or services such as water/sewer, schools, roads, parks, transit, fire protection and police protection?

YES.

How does the use affect the health, safety or welfare of the community?

ADDING ACCESSIBLE UNITS AND IMPROVING THE SITE WILL INCREASE THE HEALTH, SAFETY, AND WELFARE OF THE COMMUNITY.

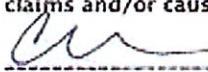
How does the use support the goals of the Comprehensive Plan?

SITE IMPROVEMENTS WILL SUPPORT THE GREEN CORRIDOR AND IMPROVE THE IMAGE OF THE CITY.

How far is the proposed use from a pedestrian/bicycle pathway?

PEDESTRIAN ACCESS IS ADJACENT TO THE SITE.

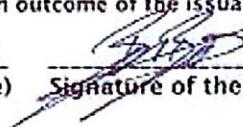
I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.



10/13/23

Signature of the Applicant

(date)



12/11/2023

Signature of the Owner

(date)

APPLICATION INFORMATION REQUIRED

**NOTE: AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- Compliance Statement and Statement of Intent
- Neighborhood Map
- Fire Flow / Ability to Serve
- 11"x17" Site Plan
- N/A Irrigation/Ditch Company Authorization Letter
- Landscape Plan
- Photos of Site
- Neighborhood Meeting Verification
- Affidavit of Legal Interest
- N/A Waiver Request of Application Materials
- Structural Documentation

(if previous Certificate of Occupancy has been issued and no change to IBC occupancy is anticipated)

**Additional information may be required by staff such as a traffic/parking analysis, a use analysis or documents related specifically to a business.*

PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed use(s) is compliant with the standards of review for the proposed application. Cite the ordinances the proposed use(s) is compliant with
- Should include purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 1/2" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN: A1.01

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations

w/k For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.

INFORMATION REQUIRED FOR IRRIGATION/DITCH AUTHORIZATION LETTER:

w/k Required if irrigation canal/irrigation ditch runs through property or along property lines

INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION:

- Copy of notice sent to property owners within 300' of an applicable property
- List of notice recipients with names and addresses
- Sign-up sheet from meeting

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

w/k Statement must include a list of the application materials to be waived and an explanation for the request

STRUCTURAL DOCUMENTATION (IF NO CHANGE TO STRUCTURE OR IBC OCCUPANCY):

w/k Industrial treatment compliance: a statement answering the following questions:

- Do you or will you discharge wastewater other than domestic water from bathrooms to the City Sewer System? If yes, please describe.
- Are floor drains present in your facility? If yes, are any chemicals stored on site in containers exceeding 1 gallon?
- Do you or will you use fats, oils or greases in your business? If yes, do you have a grease trap/interceptor present

w/k One set of detailed current floor plans legibly drawn on minimum 8 1/2 X 11 plan sheet drawn to 1/4" = 1' scale (with scale noted on plans) identifying:

- Use and square footage per room (i.e. office, storage, restroom, etc.) A2.01, A2.02
- Primary Occupancy Classification (2018 IBC sec 303-312) A0.00
- Occupancy Load (2018 IBC Sec 1004, table 1004.5) A0.00
- Interior and exterior wall and opening dimensions, windows, doors, roll-up doors A2.01, A2.01, A5.01
- Electrical panels interior and exterior E2.01
- Gas meter location M2.01
- Fire extinguisher locations and size A0.01
- Emergency lighting locations E2.02
- Illuminated exit sign locations E2.02

w/k Fire sprinkler riser location

w/k Fire alarm panel location

w/k Commercial cooking operation location, including size and type of hoods and grease traps

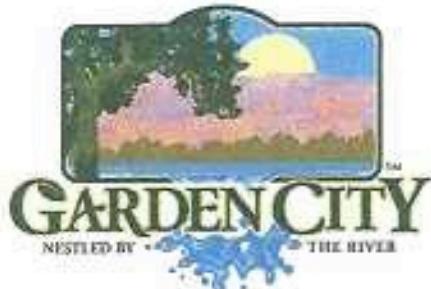
w/k Spray finishing operation location

w/k Flammable or combustible product locations

w/k Welding operation locations

w/k Rack storage locations

Disclaimer Clause: X Denotes application information that may be waived depending on the nature of the request" found under table 8-6a-2 "required application information."



6015 Glenwood Street • Garden City, Idaho 83714
Phone 208-472-2921 • Fax 208-472-2926
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
) SS

County of Ada)

I, Elevated Chinden LLC, 401 Tuland St

Name Ben Bate Address of Owner
(must be primary owner as noted in Ada County Assessor's records.)

If the primary owner is a business write the business name)

RENU

City

NV 89502

State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to Chris Anderson - Rudeen Architects
Name of Applicant to submit the accompanying application pertaining to 3433 W. Chinden Blvd,
Garden City Idaho, 83714 Address of Property Subject to this Affidavit
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 11th day of December, 2023
Ben Bate

Signature

Printed Name

(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written.

Notary Public for Idaho

Residing at:

Chase Bonh - 468 S Rivershore, Eagle, ID

My Commission expires

Dec 22, 2028

October 18, 2023

Ms. Hanna Veal, Associate Planner
City of Garden City
Development Services
6015 N. Glenwood Street
Garden City, ID 83714

RE: CUP Application for 3433 W. Chinden Boulevard, Arcadia Motel

Dear Ms. Veal:

On behalf of the owner, Elevate Garden City, LLC, we are pleased to submit the attached application and required supplements for the Conditional Use Permit for the existing buildings located at 3433 W. Chinden Boulevard. Please accept this letter as the required written narrative regarding the project.

The subject property is approximately .448 acres located near the southeast corner of Chinden Boulevard and Orchard Road and is currently zoned C-1 in Ada County. The property is bounded on the northeast by Chinden Boulevard with undeveloped land across the road zoned C-1; to the southeast by commercial property zoned C-1; to the southwest by Stockton Street with commercial property zoned C-2; and to the northwest by commercial property zoned C-1.

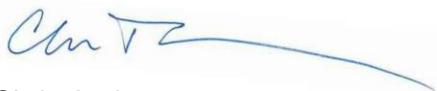
The site contains (3) buildings and is currently used as lodging in (2) of the buildings and (1) building is used as the office. We would like to file for a Conditional Use Permit to use a portion of the existing office building as lodging, to accommodate persons with disabilities. In the current Zoning Ordinance, lodging in the C-1 district requires a Condition Use Permit.

The proposed office remodel would include (3) ADA accessible rooms to be added to the office with an entry ramp as part of the common path of egress travel. The existing (2) lodging buildings are elevated with parking underneath and gaining ADA access is not feasible within those buildings.

The site improvements will include new paving, increased landscaping, a reduction of curb cuts, a new sidewalk, and new site lighting. These improvements are in line with the Garden City Comprehensive Plan and will help improve the image of the city, beautify the street and sidewalk, and increase the safety of the pedestrians and motorists.

We appreciate the time you have spent helping us understand the steps needed to accomplish this project. Should you have any questions or require further information in order to process these applications, please contact our office at 208-338-1413. Thank you for your time regarding this matter.

Sincerely,



Chris Anderson
Rudeen Architects



These documents have been reviewed and approved for compliance with applicable codes adopted by Garden City. This does not constitute a permit. See the conditions on the approval stamp on the plans.

Date: 05/05/23 , Permit Number: GAR2023-0071



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

September 22, 2022

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 3433 W Chinden Blvd

Fire hydrant serving this address: #1008

Fire flow Garden City is able to provide is 1500 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 1500 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File

Neighborhood Meeting Sign-in Sheet Template

Day: Tuesday

Date: 19 September 2023

Project Synopsis: Apply for a CUP to allow additional ADA lodging units to current C-1 zone.

Time: 5:30PM - 8:00PM

5 September 2023

RE: Neighborhood Meeting Notice for Project at 3433 W. Chinden Blvd., Garden City, Idaho 83714

To whom it may concern,

You are invited to a neighborhood meeting to discuss a project we are proposing near your property. The purpose of the meeting is to discuss the project, answer any questions, and listen to your feedback and suggestions.

Meeting Date: 19 September 2023 (Rescheduled from 4 September 2023)

Meeting Time: 5:30PM – 8:00PM

Meeting Location: 3433 W. Chinden Blvd.

Project Summary: The site is currently operating as lodging, and the owner is proposing to add ADA accessible rooms and amenities to accommodate people with disabilities. As part of the proposed project, the building facade and landscaping will be improved to support a positive business environment for neighboring businesses. Due to the fact that lodging is a non-conforming use in the C-1 zone, a conditional use permit will need to be obtained for the proposed project.

If you would like to contact us ahead of the meeting, please feel free to reach us, either by phone at 208-954-8753 or by email at canderson@rudeenarchitects.com. We look forward to hearing from you.

If you provide written comments to the city seven days or more prior to the applicant's consultation with the design consultants, your comments will be reviewed as part of the application. This application's review with the City may take place as soon as 15 days after the neighborhood meeting.

Please note, that if you wish to be an interested party, or have the ability to appeal, you must notify the city in writing. The city will inform interested parties of any revised materials that are submitted. You cannot appeal the application unless you have standing as prescribed in Idaho Code and provide written comment to the city seven days prior to the application's formal review with the City.

Thank you,

Chris Anderson
Rudeen Architects

Those who have standing may appeal the decision, provided that written comment is received by the city at least seven days prior to the consultation. Those who have not provided written comments seven days or more in advance of the consultation will not be permitted to appeal.

If you wish to be an interested party or may wish to appeal the city's decision please provide the city with the following information to the city via email planning@gardencityidaho.org or mail to Attn: Design Review 6015 Glenwood, Garden City, Idaho, 83714.

File:

I wish to be an interested party Yes No

I wish to have the ability to appeal Yes No

Name:

Email :

Physical Address:

Which design elements are of concern:

Massing

Architectural elements

Connectivity

Landscaping

Water features

Site layout

Other

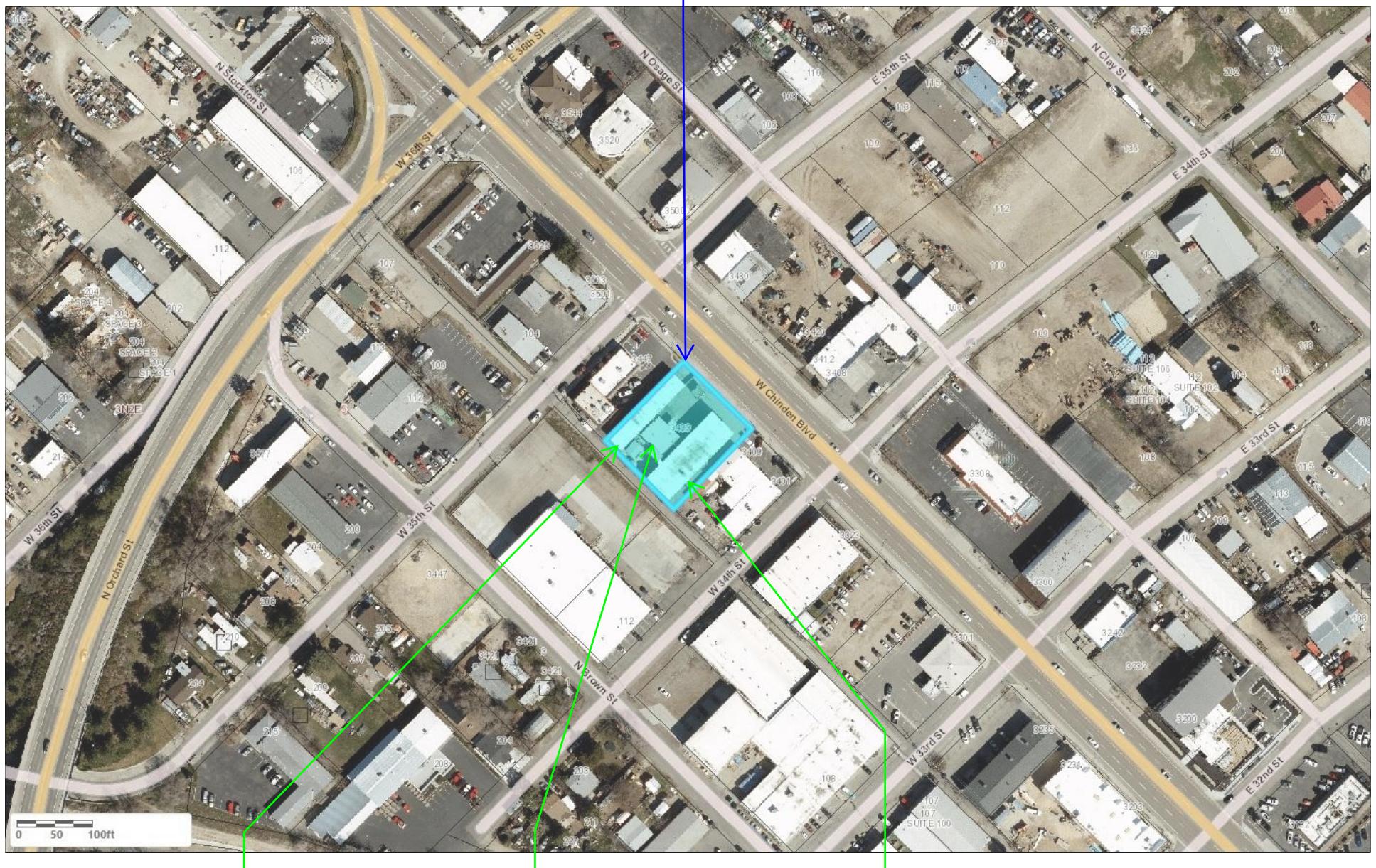
Please elaborate:

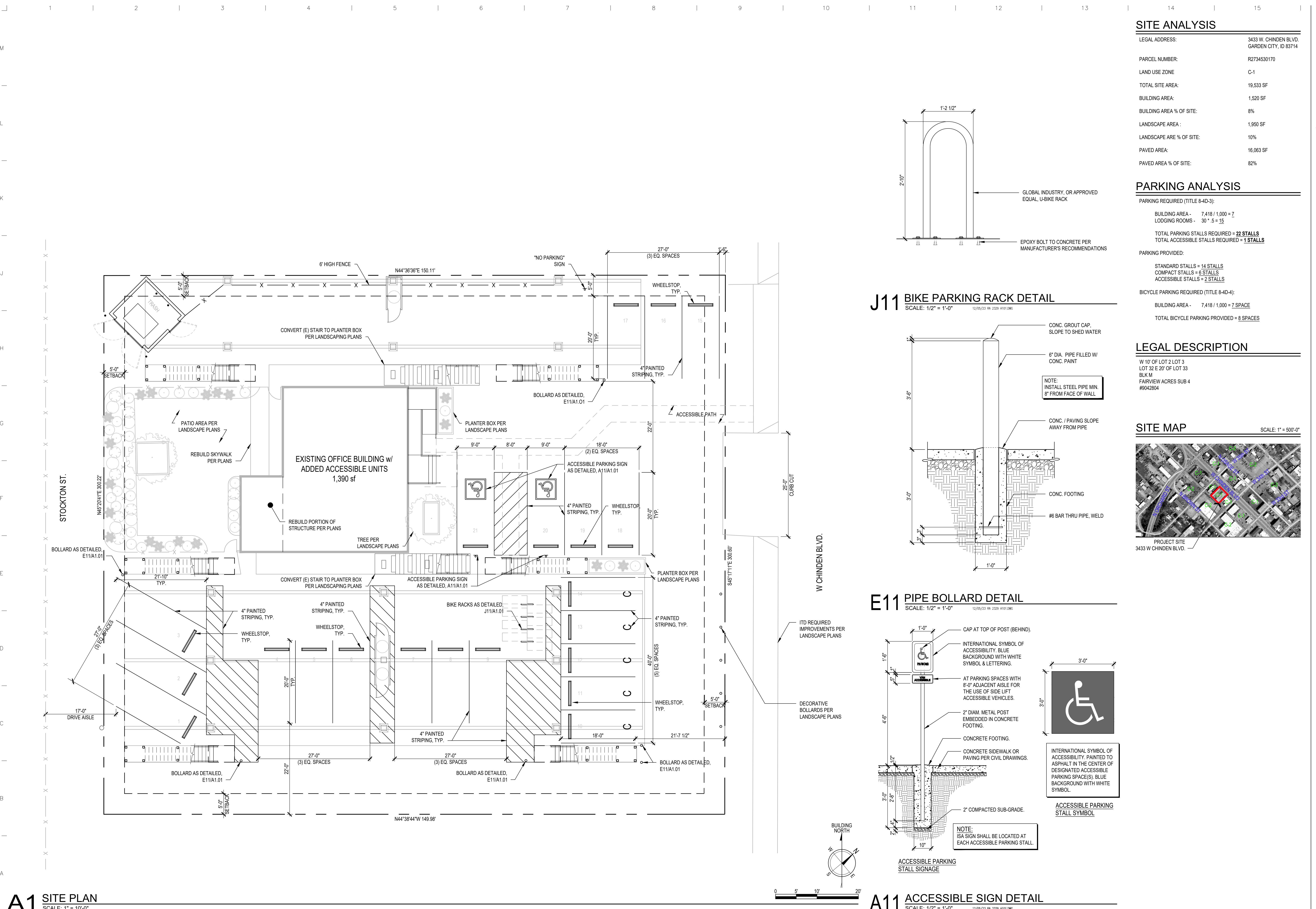
Signature

Date

NEIGHBORHOOD MAP

3433 WEST CHINDEN BOULEVARD





rudeenarchitects
Boise + San Francisco
199 North Capitol Blvd.
Suite 602
Boise, Idaho 83702
Phone 208-336-1413
Fax 208-336-0371
info@rudeenarchitects.com

architecture
planning
project management

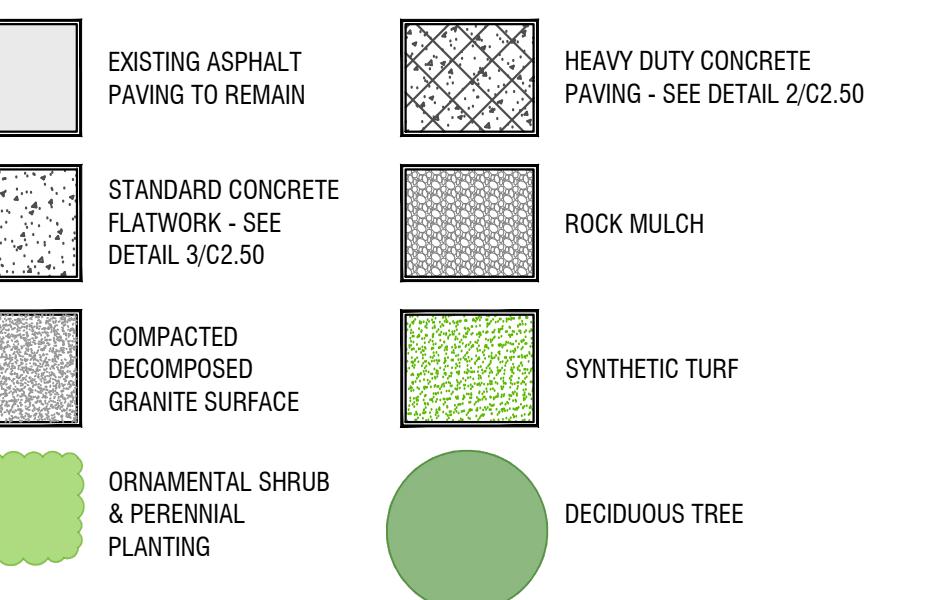
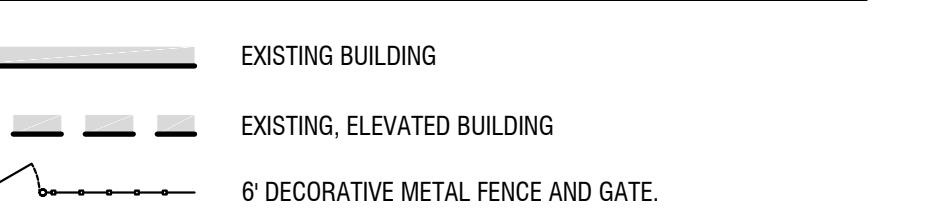

Project No.: 123456
Date of Issue: 11/29/2023
Project Milestone: Progress Set

On-Site Site Plan

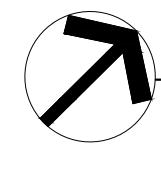
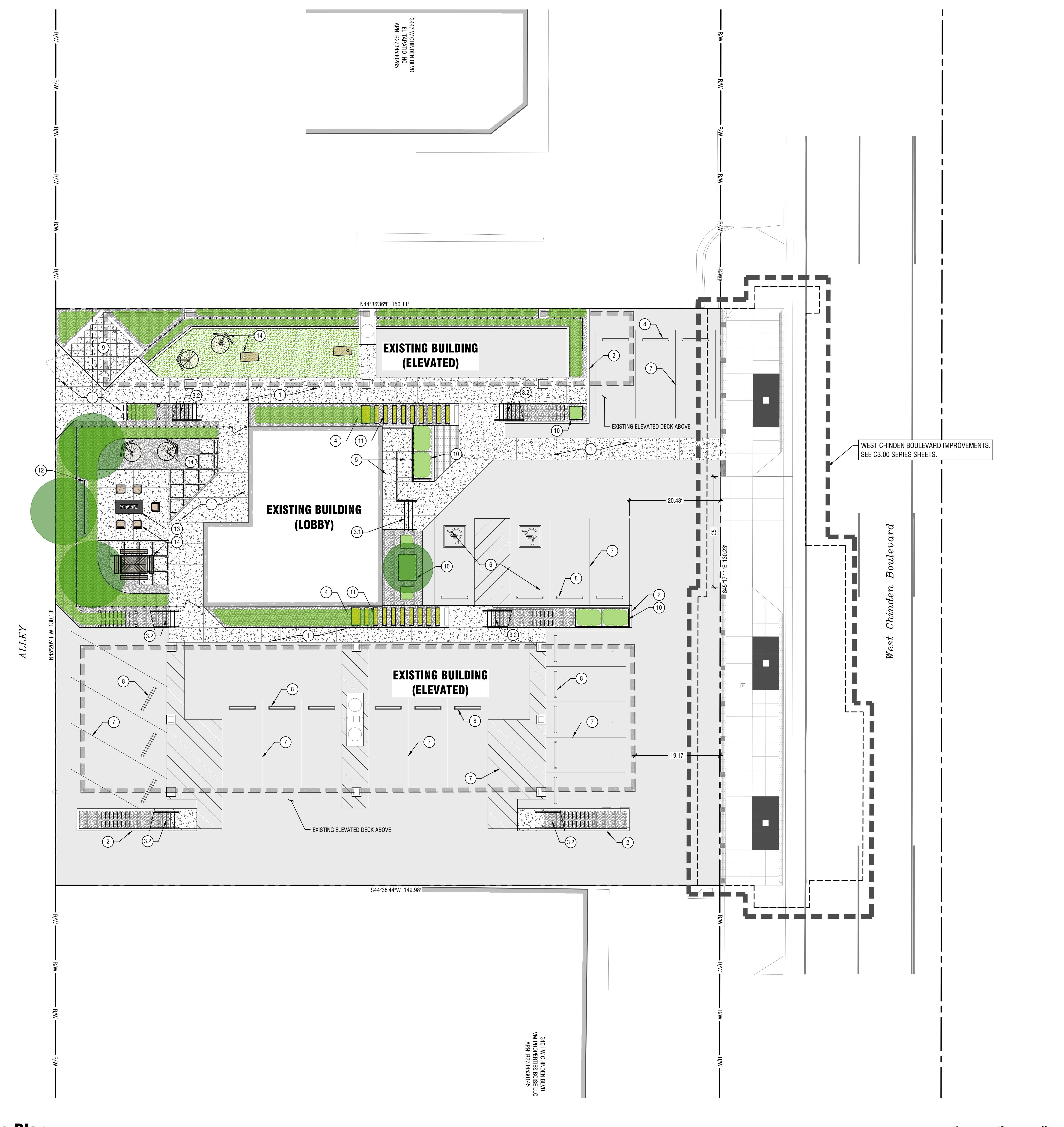
C2.00

Sheet Notes:

- A. CONTRACTOR SHALL COMPLY WITH CONSTRUCTION NOTES ON SHEET C1.00.
- B. CONTRACTOR SHALL REPORT TO ENGINEER ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.
- C. ON-SITE TOPOGRAPHIC SURVEY NOT COMPLETED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK. CONTRACTOR SHALL VERIFY ADA COMPLIANCE IN-FIELD THROUGHOUT SITE.
- D. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- E. CONTRACTOR SHALL AT ALL TIMES, PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION. DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.
- F. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE ENGINEER AND/OR THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. WHEREVER CONCRETE FLATWORK ABUTS BUILDINGS OR COLUMNS, IT SHALL HAVE AN EXPANSION JOINT.
- I. PROVIDE JOINTS AS SHOWN ON PLANS AND PER DETAIL 4/C2.50. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWORK THAT DOES NOT CONFORM TO THE DESIGN.
- J. TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
- K. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE OF SIDEWALKS AND PEDESTRIAN RAMPS SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2% CROSS SLOPE OR HAVE A CROSS SLOPE LESS THAN 1%.

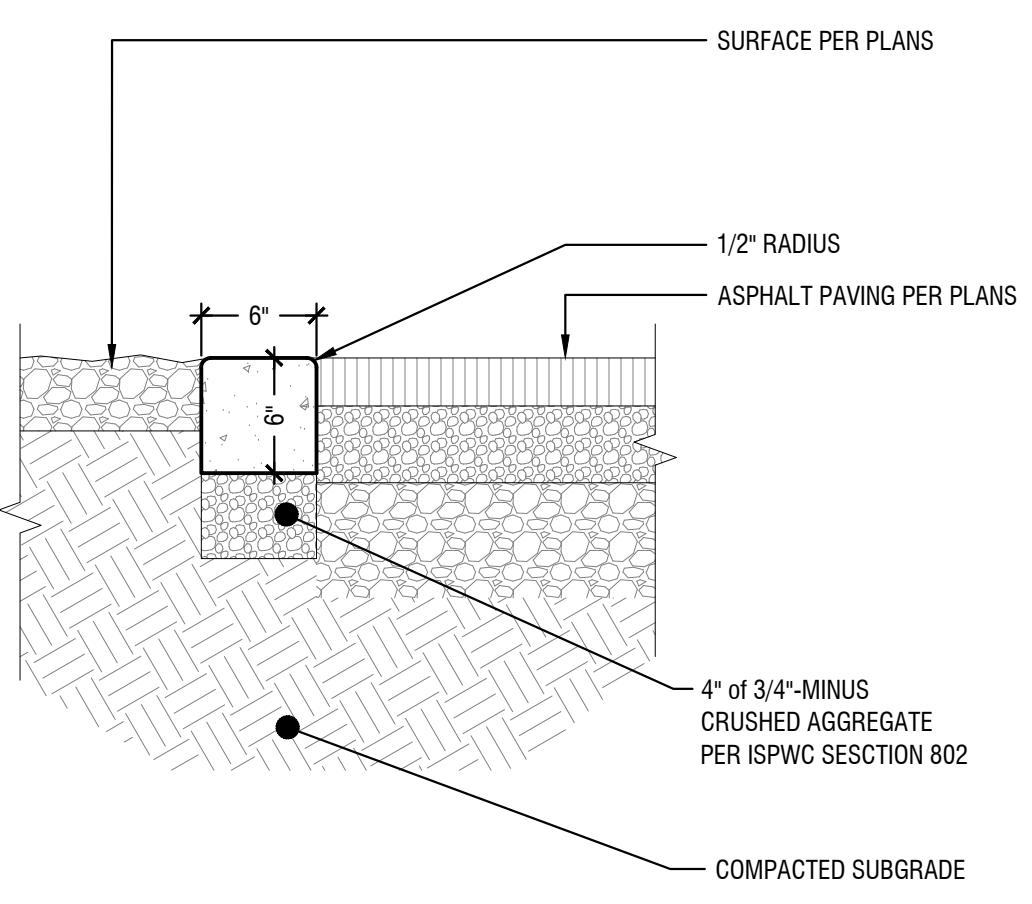
Material Legend:

Line Legend:

Keynotes:

1. REMOVE EXISTING ASPHALT PAVEMENT AND REPLACE WITH CONCRETE FLATWORK TO MATCH GRADES. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
2. CONSTRUCT 6-IN WIDE RIBBON CURB PER DETAIL 1/C2.50.
3. CONSTRUCT STAIR AND HANDRAIL. SLOPES OF LANDINGS AT TOP AND BOTTOM OF STAIRS NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
- 3.1. PER DETAIL 5/C2.50.
- 3.2. TO UPPER LEVEL PER ARCHITECTURAL PLANS.
4. EXISTING STAIRS TO BE CONVERTED INTO LANDSCAPE PLANTER. REFER TO LANDSCAPE PLANS.
5. CONSTRUCT RAMPS AND HANDRAIL. PER DETAIL 6/C2.50. SLOPES SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. SLOPES OF LANDINGS AT TOP AND BOTTOM OF RAMPS NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
6. ADA ACCESSIBLE PARKING STALL. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
7. PAINTED 4' WIDE PARKING STALL STRIPING, COLOR: WHITE, TYPICAL.
8. INSTALL CONCRETE PARKING BUMPER PER DETAIL 9/C2.50, TYPICAL.
9. CONSTRUCT TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
10. COMMERCIAL PLANTER, PER DETAIL 10/C2.50.
11. COMMERCIAL PLANTERS ON EXISTING STAIRS, SIMILAR TO DETAIL 10/C2.50.
12. DECORATIVE METAL SCREEN, PER DETAIL 11/C2.50.
13. FIRE TABLE, PER DETAIL 12/C2.50.
14. SITE FURNITURE OR YARD GAMES, FOR REFERENCE ONLY.


On-Site Site Plan

Horizontal Scale: 1" = 10'

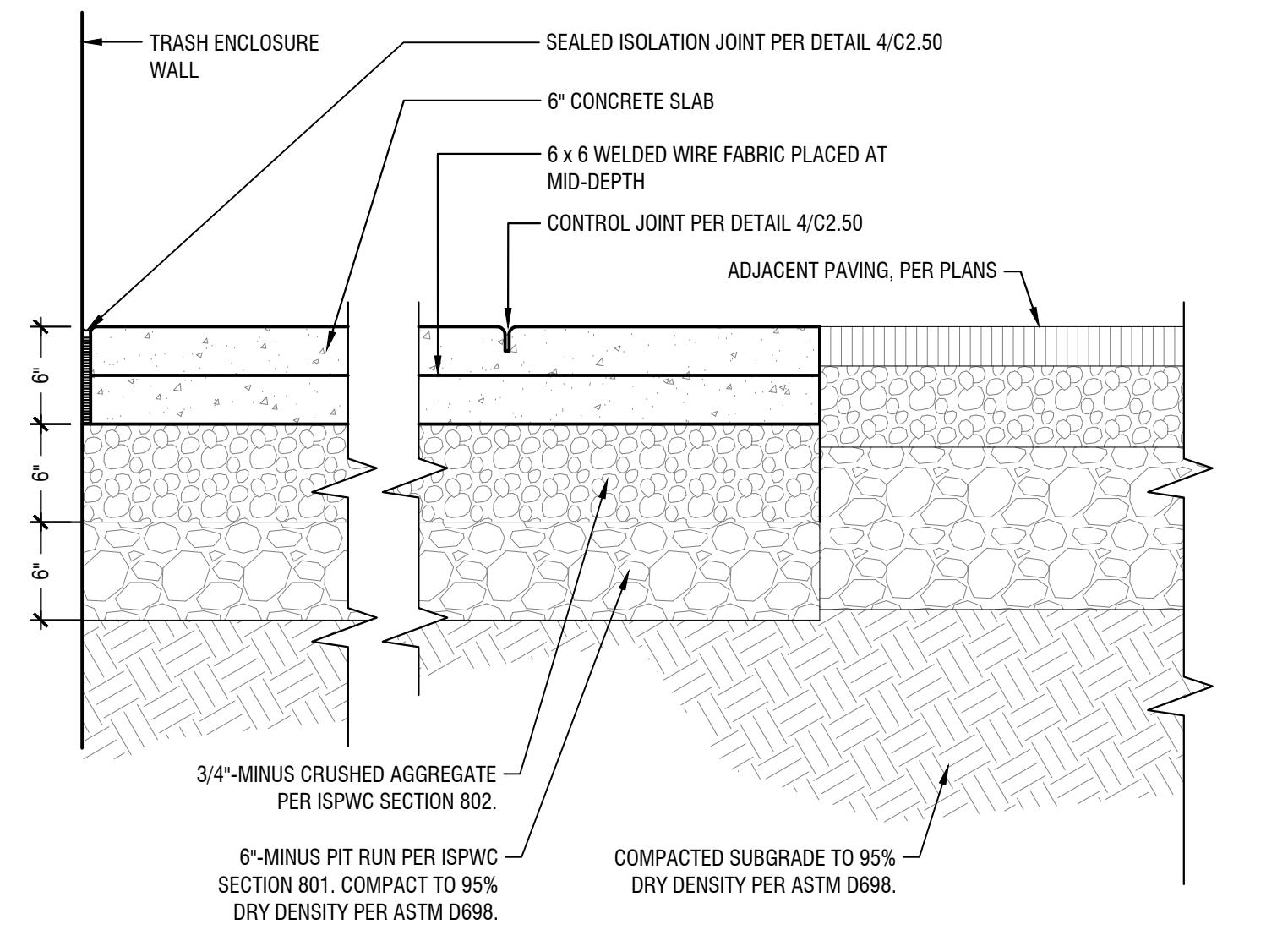
0 10' 20'



NOTE:
1. PROVIDE SCORE JOINTS AT 3' O.C.

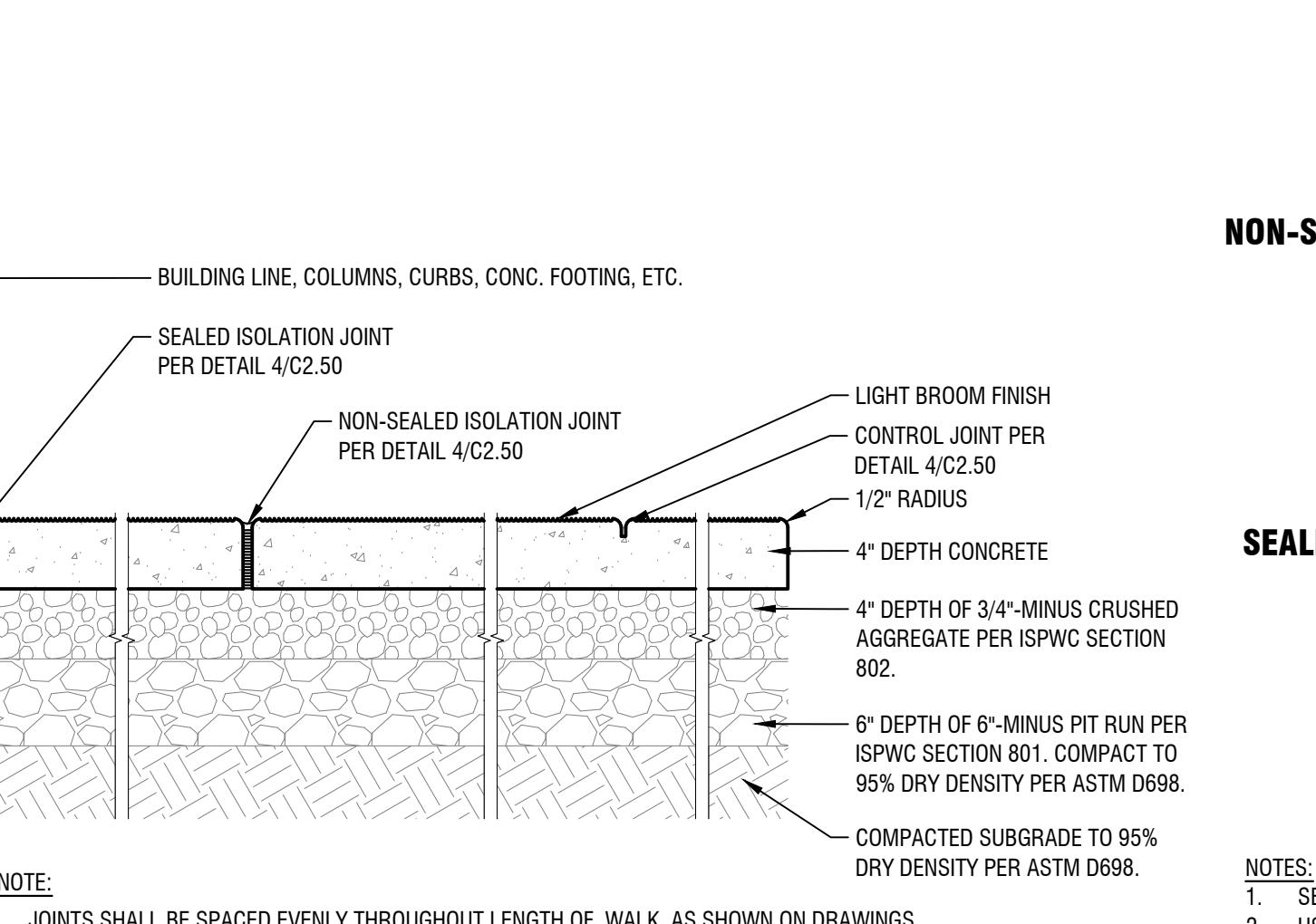
1 Concrete Ribbon Curb

Scale: NTS



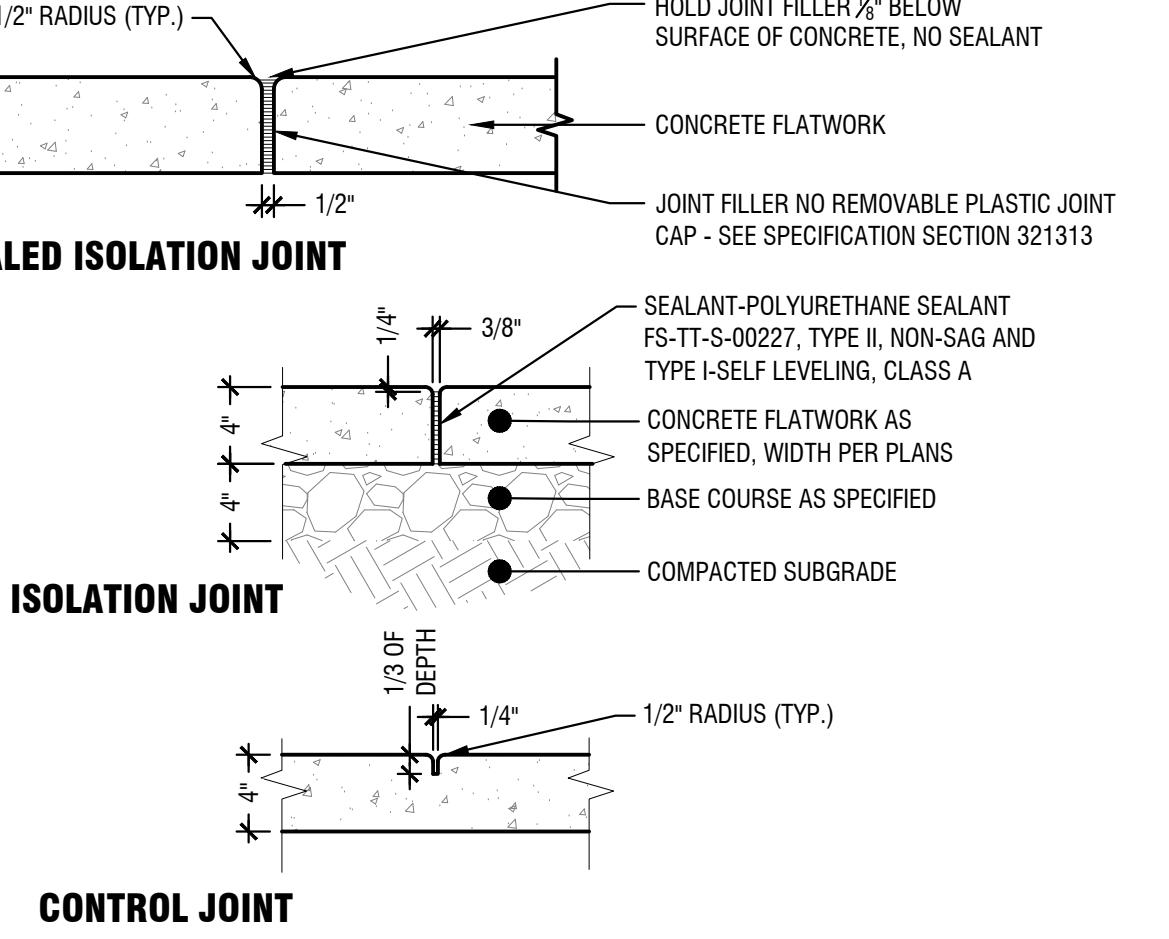
2 Heavy Duty Concrete Paving

Scale: NTS



3 Standard Concrete Flatwork

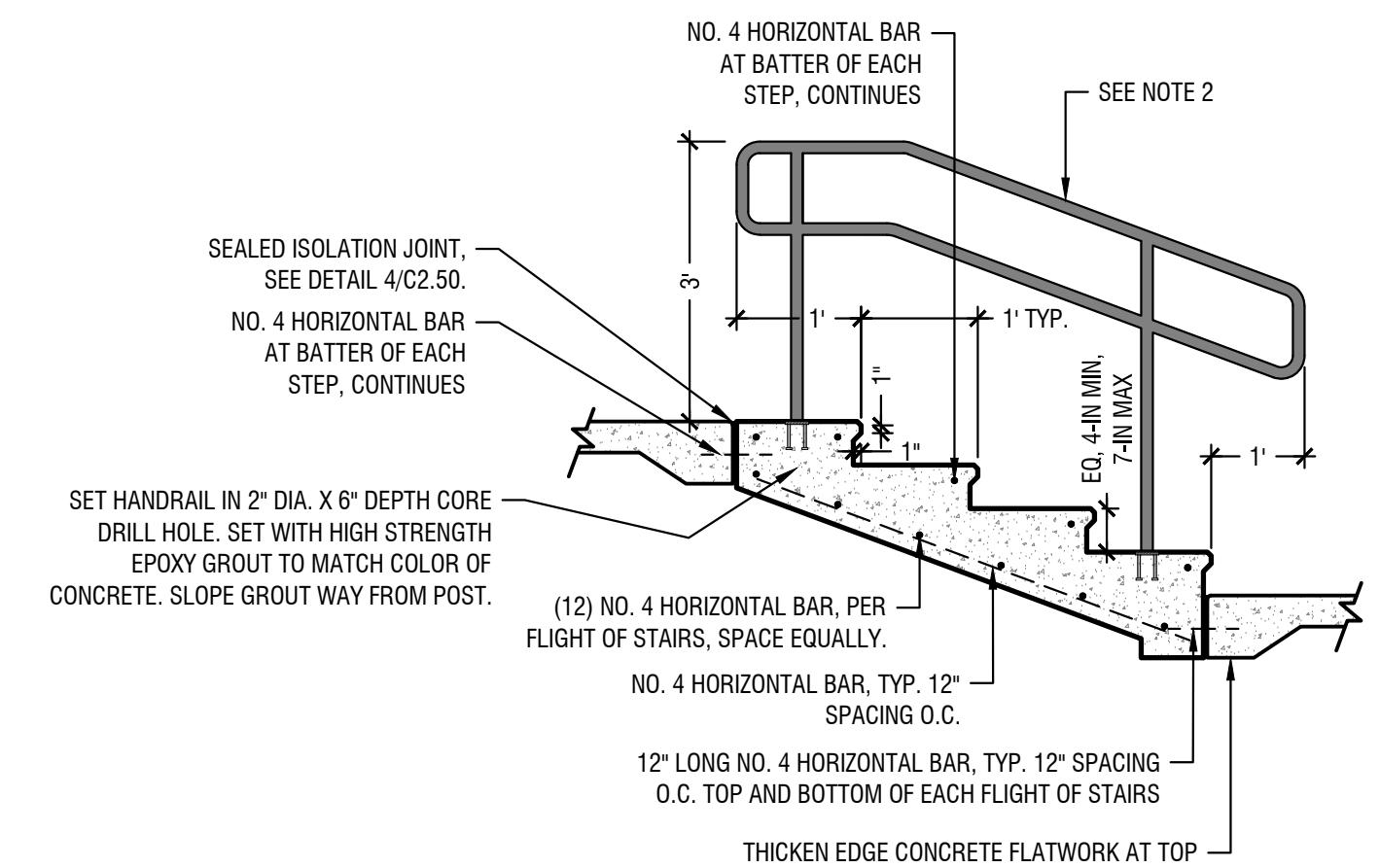
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NOTES:
1. SEE LAYOUT PLANS FOR JOINT PATTERN AND LOCATION.
2. USE ISOLATION JOINTS AT ALL LOCATIONS WHERE DIFFERENTIAL MOVEMENT BETWEEN THE PAVEMENT AND A STRUCTURE MAY OCCUR.
3. PROVIDE ISOLATION JOINTS AT ALL ELECTRICAL FIXTURE BASES AND UTILITY STRUCTURES UNLESS NOTED OTHERWISE.

4 Concrete Joints

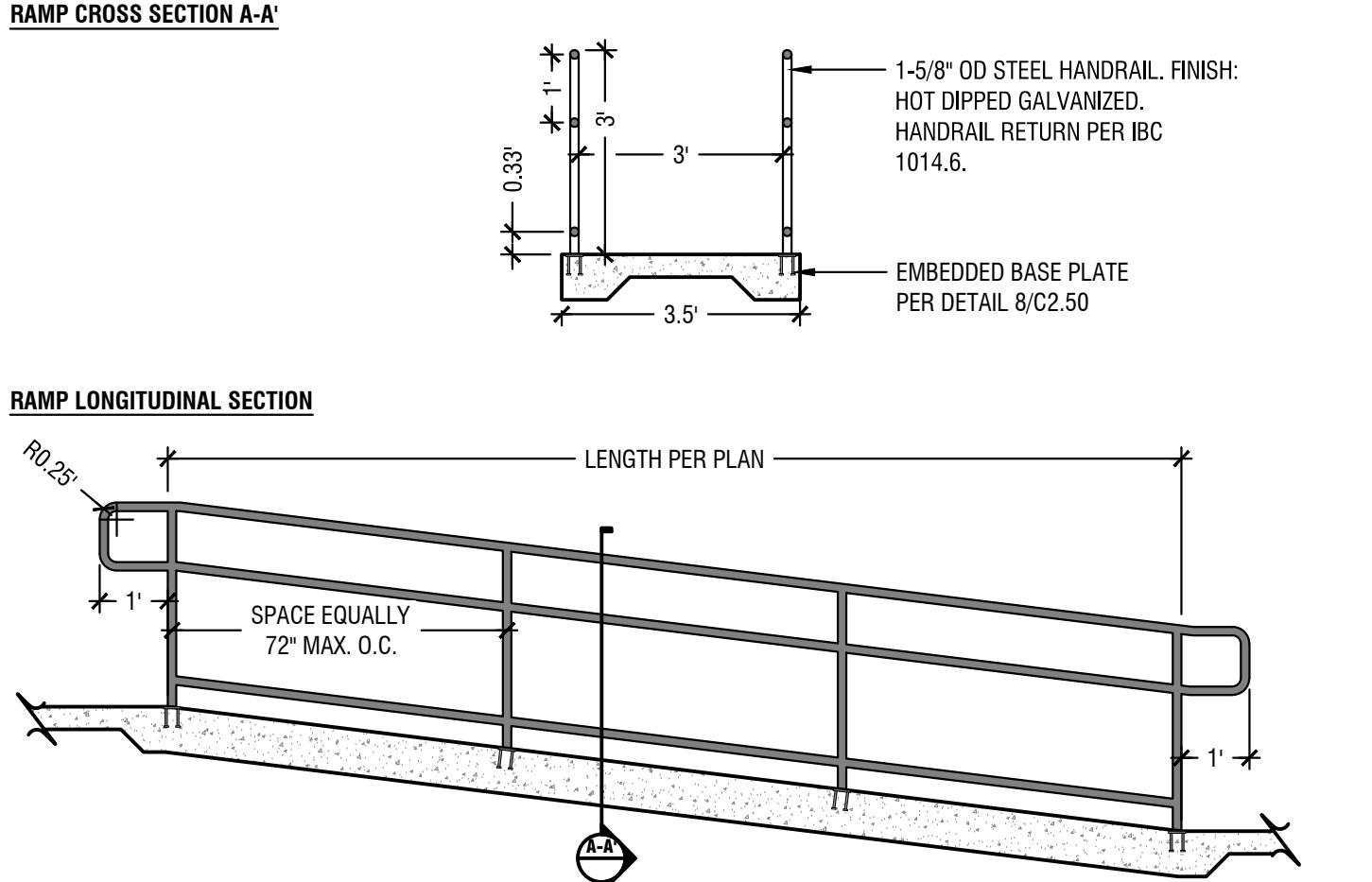
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NOTES:
1. SLOPE ALL STAIR TREADS 0.75% TO ENSURE PROPER DRAINAGE.
2. HANDRAILS SHALL BE 1-5/8" OD HOT-DIPPED GALVANIZED. HOLD 2" FROM FACE OF WALL.

5 Stairs and Handrail

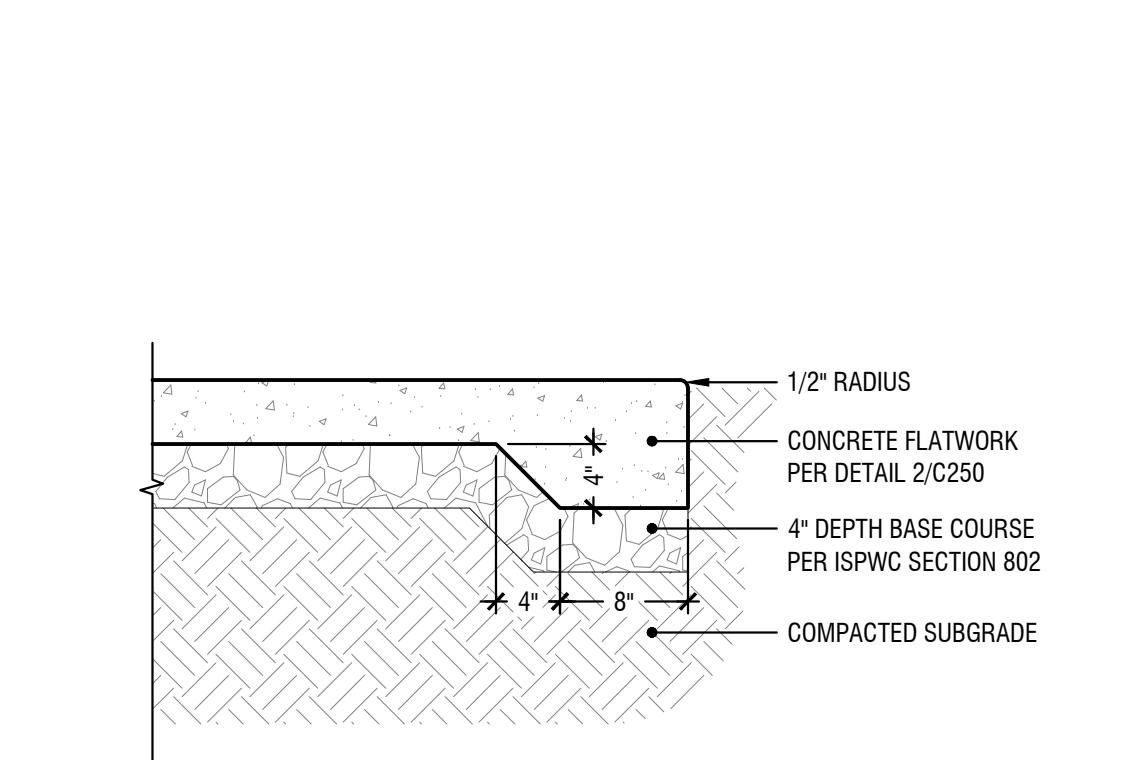
Scale: 1/2" = 1'



NOTES:
1. INSTALL GROUND SURFACE EDGE PROTECTION (12" MIN.) FROM INSIDE OF HANDRAILS TO ANY LANDSCAPE AREAS PER ADA ACCESSIBILITY STANDARDS 405.9.1.
2. INSTALL BARRIER RAIL ON HANDRAIL PER ADA ACCESSIBILITY STANDARDS 405.9.2 WHERE NOT ADJACENT TO GUARDRAILS.
3. EXTEND TOP AND BOTTOM OF HANDRAILS 12" BEYOND RAMP FOR ADA ACCESSIBILITY STANDARDS 505.10.1

6 Ramp and Handrail Section

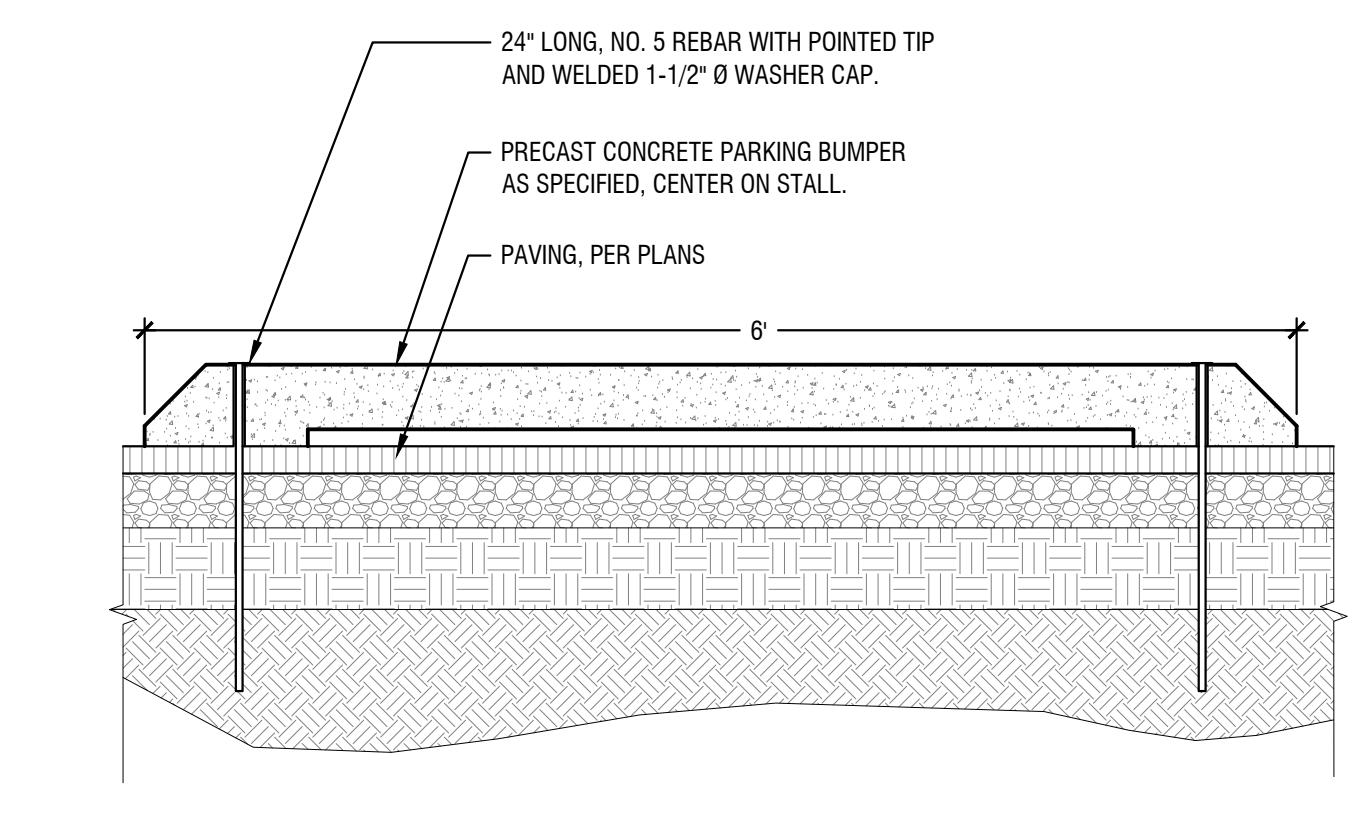
Scale: 3/8" = 1"



NOTES:
1. JOINTS SHALL BE SPACED EVENLY THROUGHOUT LENGTH OF WALK, AS SHOWN ON DRAWINGS.

7 Thicken Edge Concrete Flatwork

Scale: NTS



NOTES:
1. CENTER OF WHEEL STOPS TO BE LOCATED 2'-0" FROM END OF STALL.

9 Parking Bumper

Scale: 1" = 1'



10 Commercial Planter

Scale: NTS



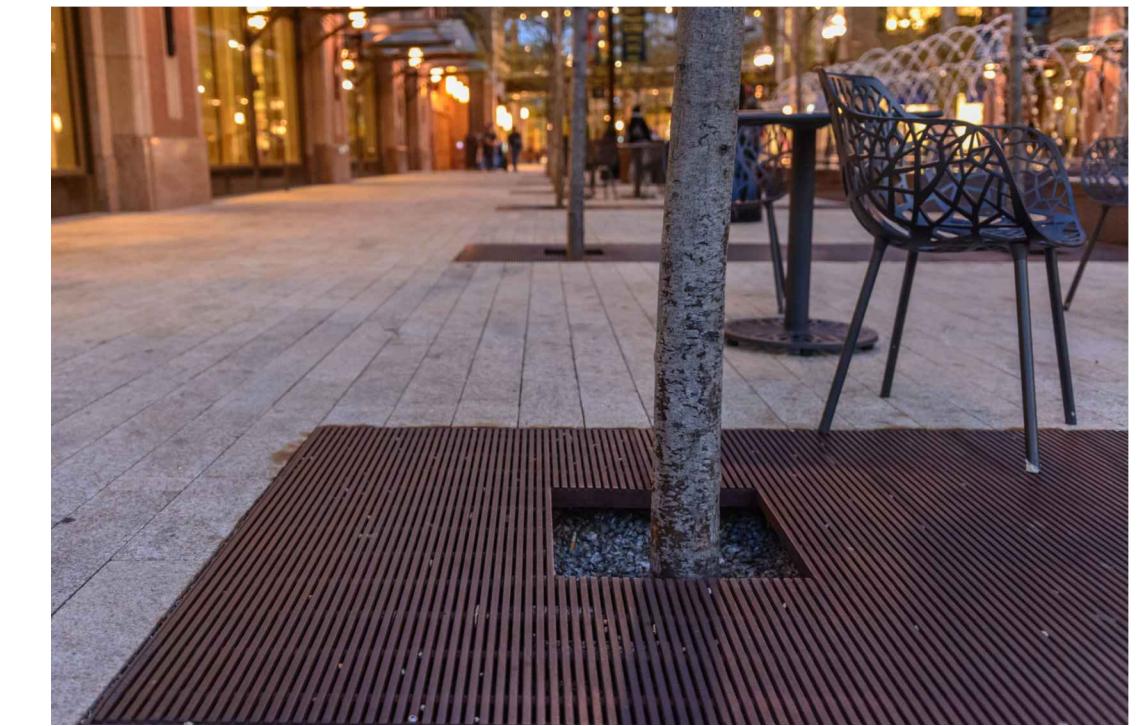
11 Decorative Metal Screen

Scale: NTS



12 Fire Table

Scale: NTS


1 Bollard
Scale: NTS

2 Tree Grate
Scale: NTS

Sheet Notes:

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- D. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- E. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK.
- F. CONTRACTOR SHALL REPAIR ALL LANDSCAPE AND IRRIGATION AREAS DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS.
- G. CONTRACTOR SHALL AT ALL TIMES PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION. DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.
- H. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

Keynotes:

1. SAWCUT EXISTING PAVEMENT TO PROVIDE A NEAT, VERTICAL JOINT. ALL REMOVED CONCRETE ASPHALT SHALL BE DISPOSED OF OFF-SITE.
2. CONSTRUCT CURB AND CATCH PLATE GUTTER TYPE 2 PER ITD SD 615-1.
3. CONSTRUCT CONCRETE SIDEWALK ADJACENT TO CURB PER ITD SD 614-1.
4. CONSTRUCT OFFSET SIDEWALK DRIVEWAY PER ITD SD 614-2.
5. MATCH EXISTING STRIPING
6. EXISTING STREET LIGHT. RETAIN AND PROTECT.
7. TREE GRATE PER DETAIL 2/THIS SHEET. TYPE: JAMISON TREE GRATE BY URBAN ACCESSORIES. SIZE: 6' x 12', ADA COMPLIANT.
8. METAL BOLLARD. SEE DETAIL 1/THIS SHEET.

Material Legend:

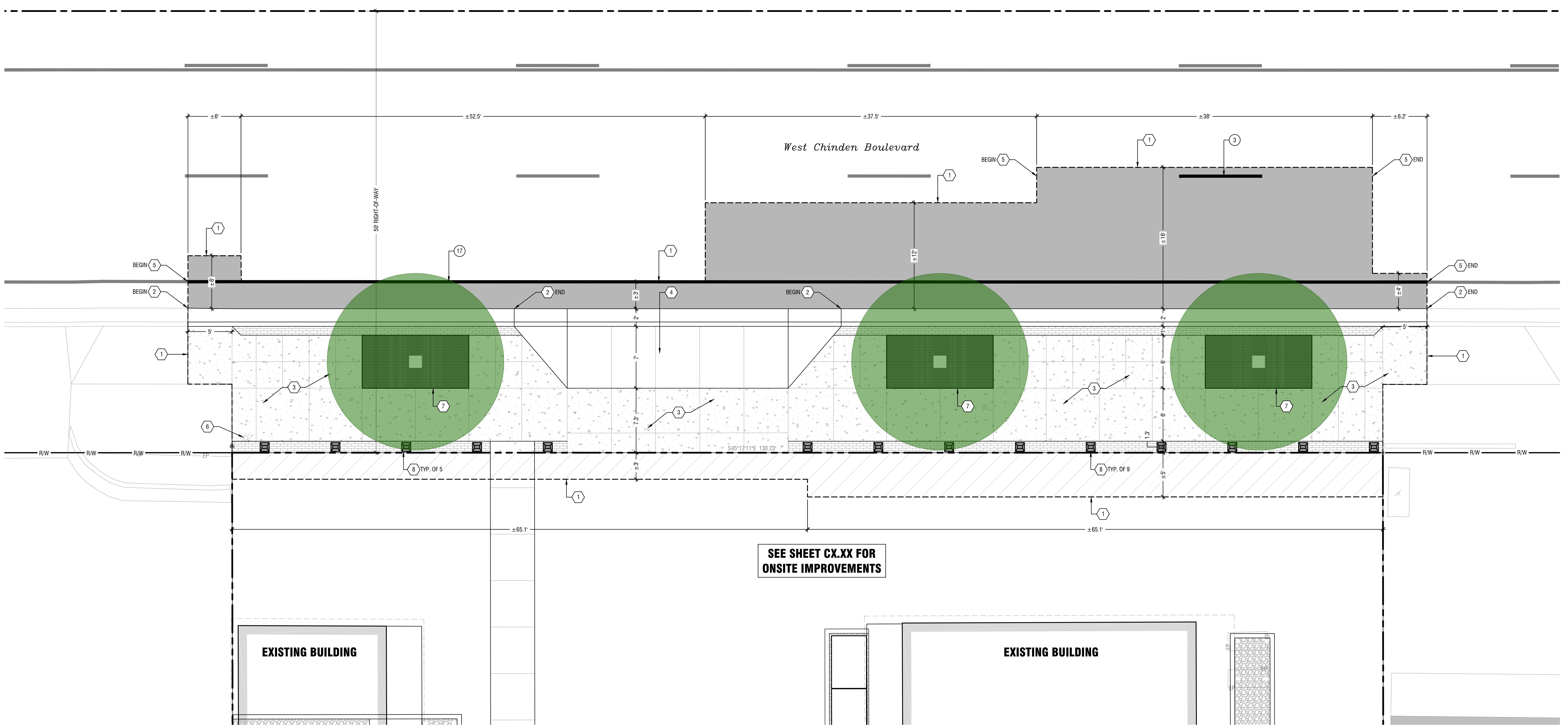
	PAVEMENT MATCHES WITH ITD R/W SHALL MATCH THE EXISTING STREET SECTION.
	CONCRETE SIDEWALK PER ITD SD 614-1.
	ON-SITE PAVEMENT TO MATCH EXISTING PAVEMENT SECTION
	DECORATIVE PAVERS

Curb Legend:

	CURB AND CATCH PLATE GUTTER TYPE 2 PER ITD SD 615-1.
--	--

Pavement Marking Legend:

	4' WHITE SKIP (7' LINE + 18' GAP) (FOR SPEED ZONES 40 MPH OR LESS)
	4' SOLID WHITE





VIEW OF PROPERTY FROM SOUTHBOUND CHINDEN BOULEVARD



VIEW OF PROPERTY FROM NORTHBOUND CHINDEN BOULEVARD



VIEW FROM PROPERTY LOOKING TO CHINDEN BOULEVARD



VIEW FROM PROPERTY LOOKING TO CHINDEN BOULEVARD – AREA OF ITD IMPROVEMENTS

ARCADIA MOTEL

ADDITION

3433 W CHINDEN BOULEVARD

GARDEN CITY, IDAHO 83714

Addition:

ARCADIA
MOTEL3433 W CHINDEN BLVD.
GARDEN CITY, ID 83714

PROJECT DATA

CODES

- APPLICABLE CODES:
 - 2018 INTERNATIONAL BUILDING CODE
 - 2018 INTERNATIONAL EXISTING BUILDING CODE
 - 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2017 IDAHO STATE PLUMBING CODE / 2015 UNIFORM PLUMBING CODE
 - 2017 NATIONAL ELECTRICAL CODE
 - 2018 INTERNATIONAL FIRE CODE
 - 2018 INTERNATIONAL MECHANICAL CODE
 - 2018 INTERNATIONAL FUEL GAS CODE
 - ICC-ANSI A117.1-2009
 - NFPA STANDARDS

SITE DATA

LEGAL ADDRESS: 3433 W CHINDEN BLVD.
GARDEN CITY, IDAHO 83714

TOWNSHIP/RANGE/SECTION: 3N2E05

ZONE CODE: C-1

PARCEL NUMBER(S): R2734530170

PROPERTY DESCRIPTION:
W 10' OF LOT 2 LOT 3
LOT 32 E 20' OF LOT 33
BLK M
FAIRVIEW ACRES SUB 4
#9042804

BUILDING DATA

OCCUPANCY GROUP: R-1

CONSTRUCTION TYPE: V-B

NUMBER OF STORIES: 2

BUILDING HEIGHT: 20'-0" (APPROX.)

FIRE SPRINKLER SYSTEM: NO

FIRE ALARM SYSTEM: YES

BUILDING TOTAL AREA: 7,418 s.f.

BUILDING 1 (OFFICE / LODGING): 1,390 s.f.

BUILDING 2 (LEFT WING): 4,028 s.f. - NOT IN SCOPE

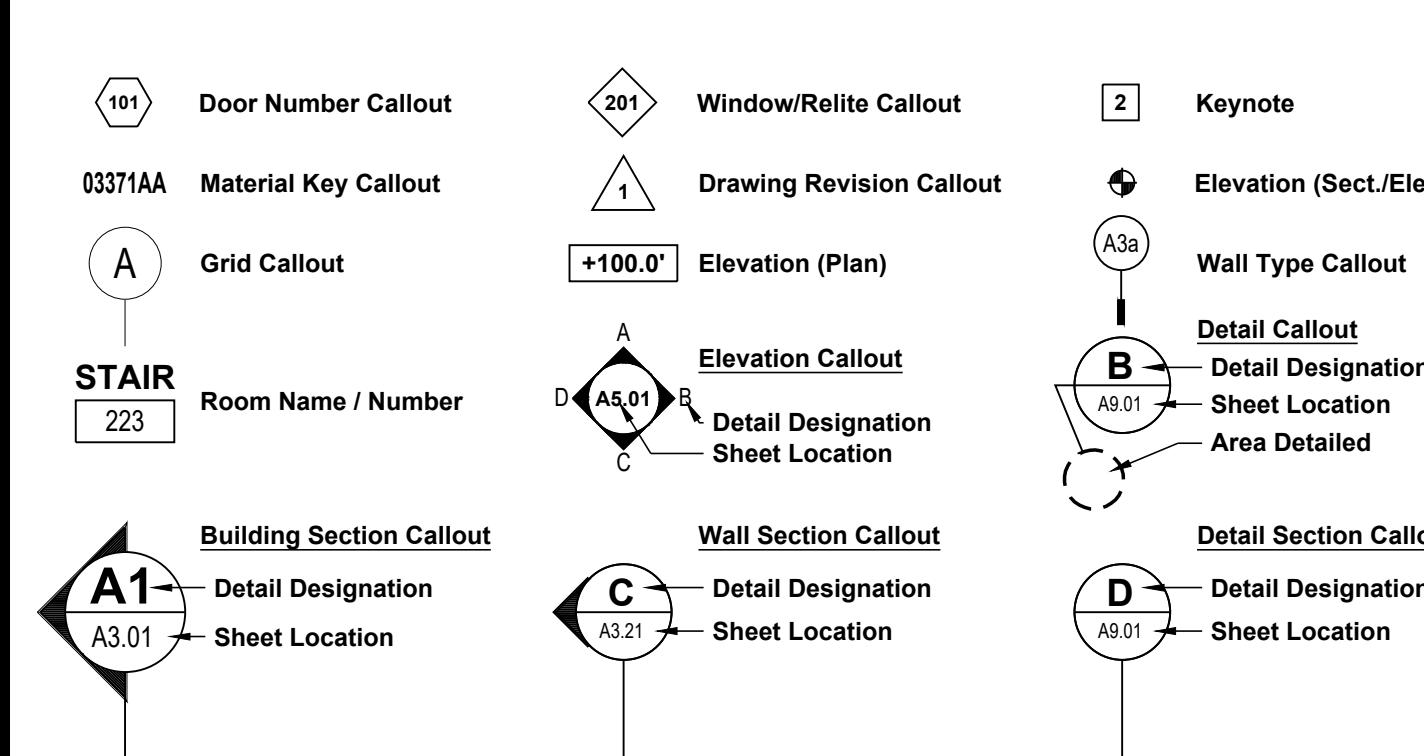
BUILDING 3 (RIGHT WING): 2,000 s.f. - NOT IN SCOPE

OCCUPANT LOAD: Building 1: (Office) 304 s.f. / 150 = 3 occupants
Building 1: (Lodging) 1,086 s.f. / 200 = 6 occupants
Building 2: 18 Suites = 36 occupants
Building 3: 9 Suites = 18 occupants
Total: 63 occupantsEXITS: REQUIRED = Building 1: 1 PROVIDED = Building 1: 1
Building 2: 2 Building 2: 4
Building 3: 2 Building 3: 2

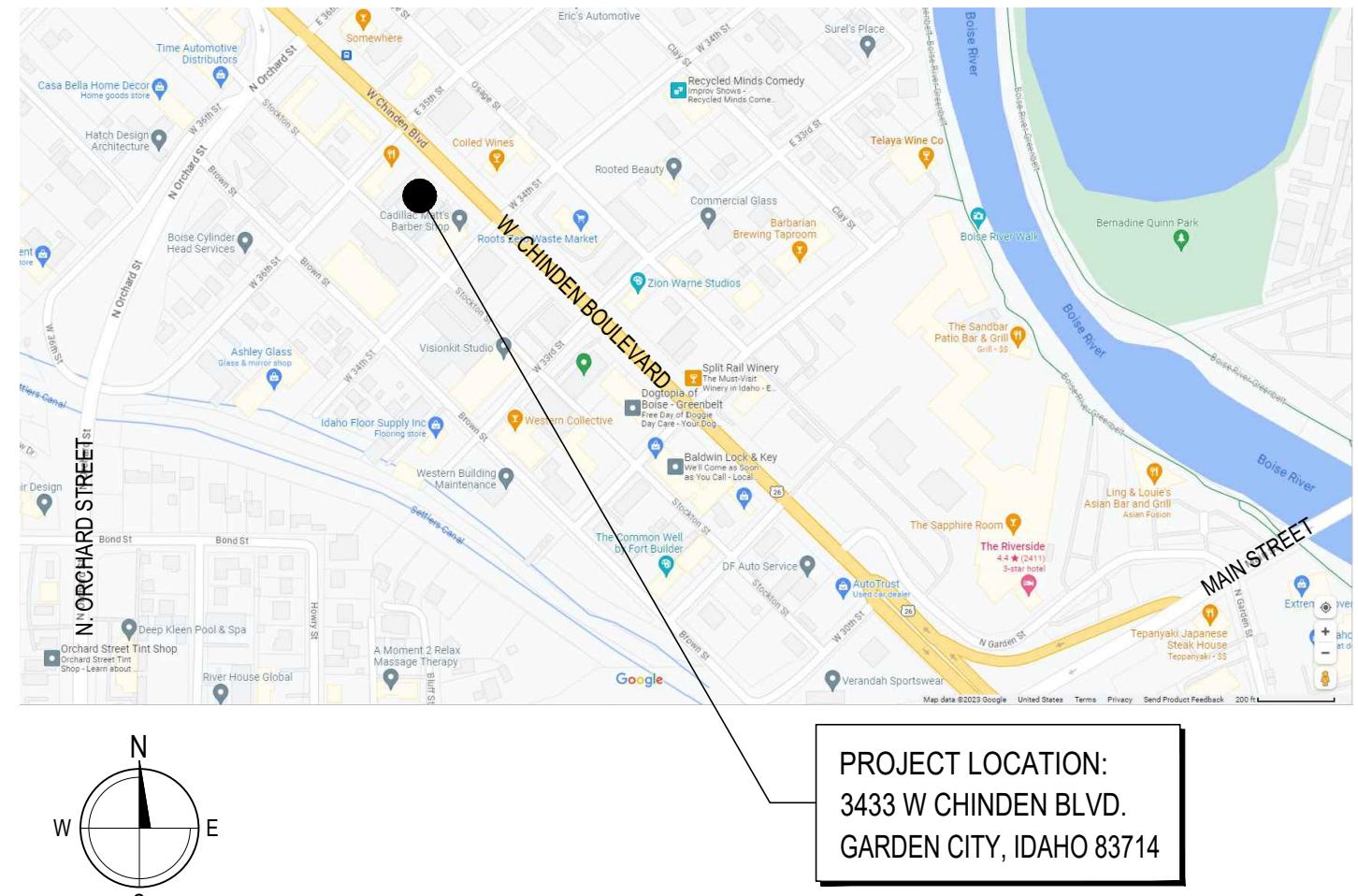
PROJECT TEAM

OWNER:
ELEVATE GARDEN CITY LLC
PO Box 272715
San Diego, CA 92192
TEL: 661.547.9367ARCHITECT:
RUDEEN ARCHITECTS
199 N. Capitol Boulevard, Suite #602
Boise, Idaho 83702
TEL: 208.338.1413
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SAGE ENGINEERING
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Boise, Idaho 83709
TEL: 208.655.5062M.E.P.:
DC ENGINEERING INC.
440 E. Corporate Drive, Suite #103
Meridian, Idaho 83642
TEL: 208.288.2181
FAX: 208.288.2812

KEY TO SYMBOLS



VICINITY PLAN



SHEET INDEX

ARCHITECTURAL

A0.00 TITLE & INFORMATION

A0.01 CODE INFORMATION

A0.02 IECO COMPLIANCE

A1.00 SITE PLAN

A2.00 GROUND FLOOR DEMOLITION PLAN

A2.01 GROUND FLOOR PLAN

A2.02 UPPER FLOOR PLAN

A2.03 ROOF PLAN

A3.01 EXTERIOR ELEVATIONS

A4.01 BUILDING SECTION

A5.01 SCHEDULES & DETAILS

CIVIL / LANDSCAPING

C1.00 COVER & NOTES

C2.00 ON-SITE SITE PLAN

C2.50 ON-SITE SITE DETAILS

C3.10 OFF-SITE EXISTING CONDITIONS AND DEMOLITION PLAN

C3.20 OFF-SITE SITE PLAN

C3.30 OFF-SITE GRADING PLAN

STRUCTURAL

S0.01 STRUCTURAL NOTES

S0.02 SPECIAL INSPECTIONS

S0.03 SPECIAL INSPECTIONS

S0.04 STRUCTURAL SCHEDULES

S1.01 FOUNDATION PLAN

S1.02 SECOND FLOOR FRAMING PLAN

S2.01 ROOF FRAMING PLAN

ELECTRICAL

E0.00 ELECTRICAL COVER SHEET

E0.01 ELECTRICAL IECO ENERGY COMPLIANCE

E1.00 ELECTRICAL SITE PLAN

E2.01 ELECTRICAL POWER PLAN

E2.02 ELECTRICAL LIGHTING PLAN

E3.00 ELECTRICAL SCHEDULES & DETAILS

MECHANICAL

M0.00 HVAC COVER SHEET

M0.01 HVAC LOAD & VENTILATION CALCULATIONS

M2.00 HVAC DEMOLITION PLAN

M2.01 HVAC PLANS

M3.00 HVAC SCHEDULES & DETAILS

PLUMBING

P0.00 PLUMBING COVER SHEET

P0.01 PLUMBING CALCULATIONS

P2.00 PLUMBING DEMOLITION PLAN

P2.01 PLUMBING WASTE & VENT PLANS

P2.02 PLUMBING DOMESTIC WATER PLANS

P3.00 PLUMBING SCHEDULES

P4.00 PLUMBING DETAILS

TITLE & INFORMATION

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

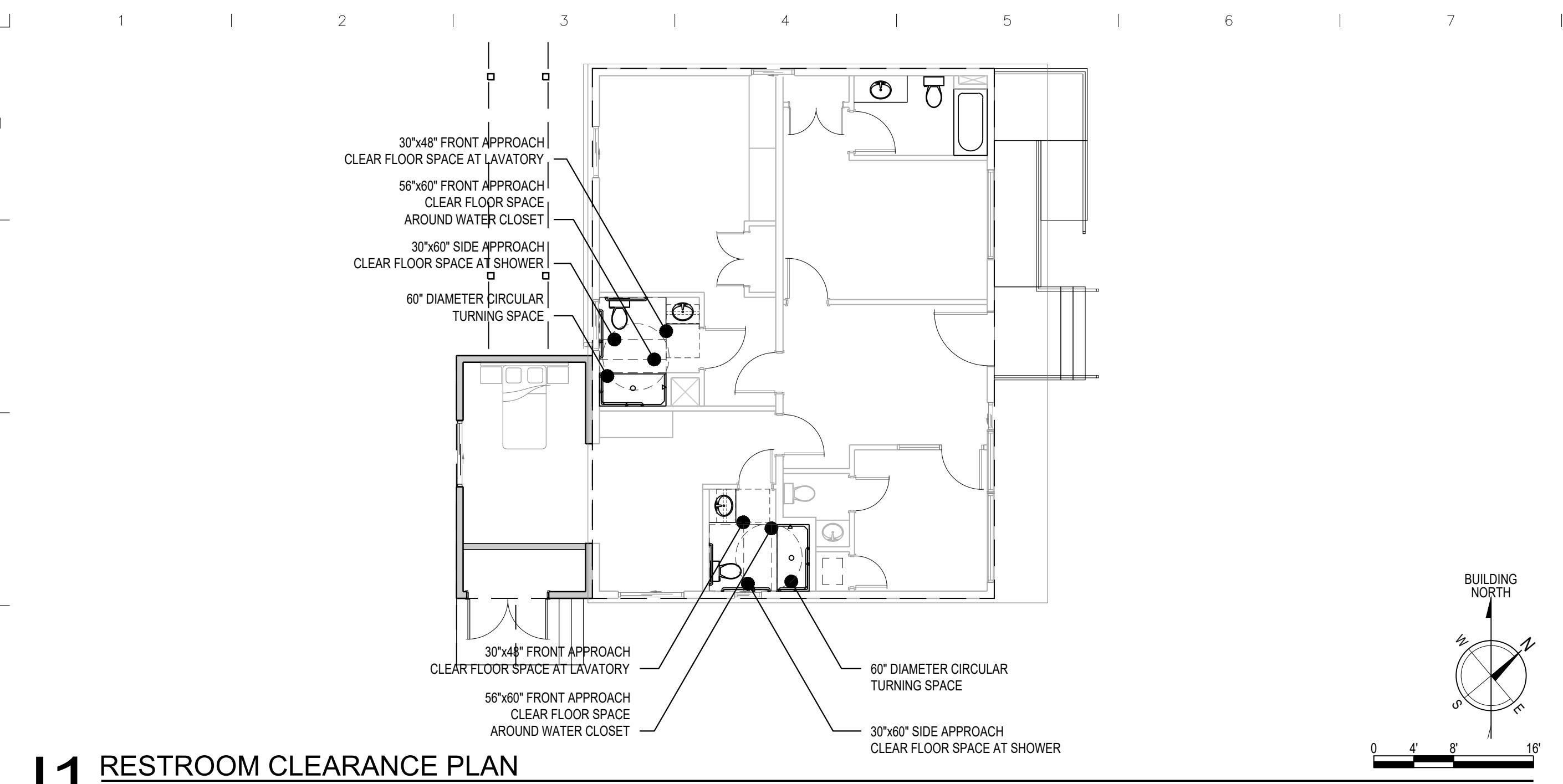
20 SEPTEMBER 2023

Date:

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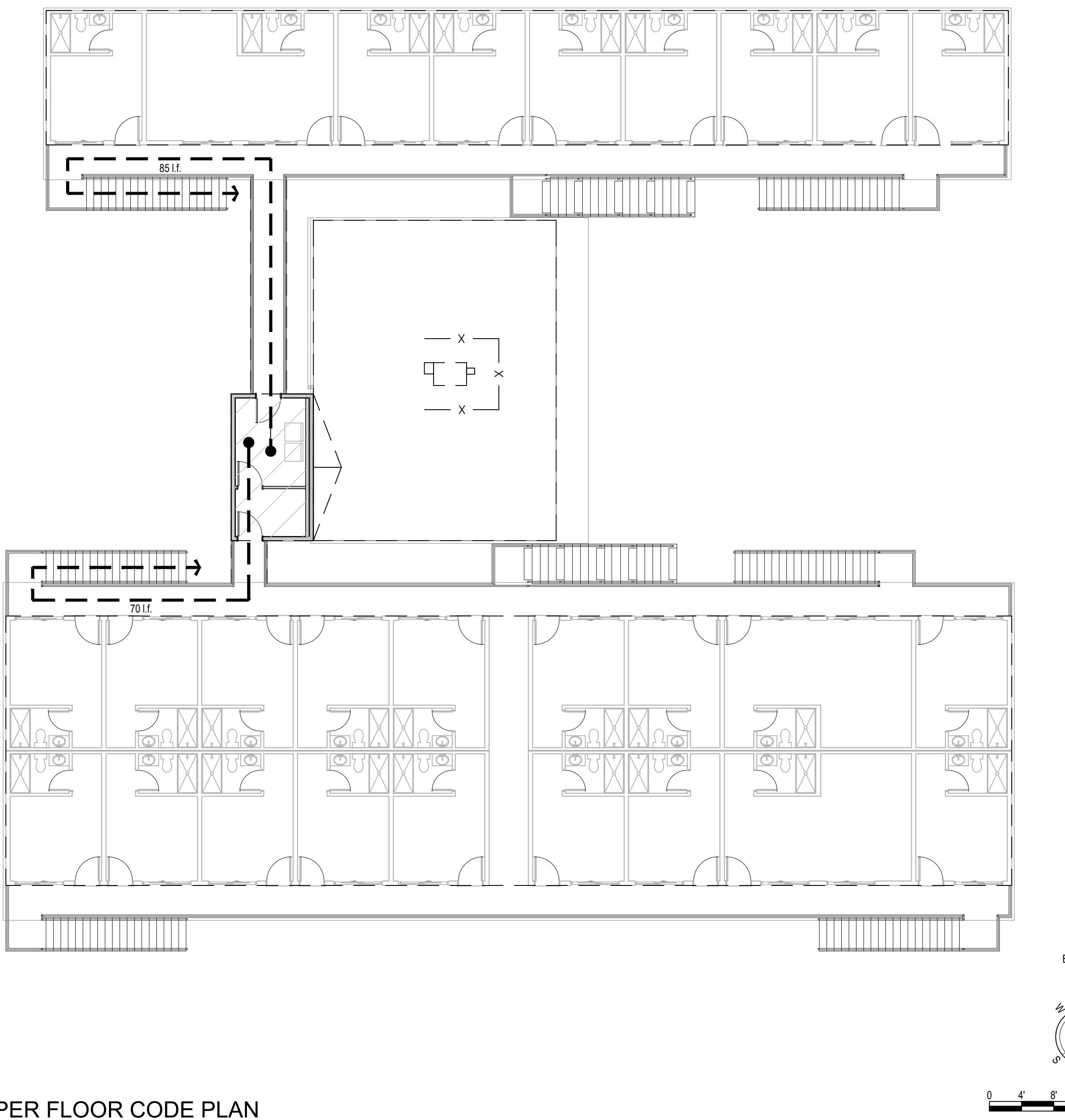
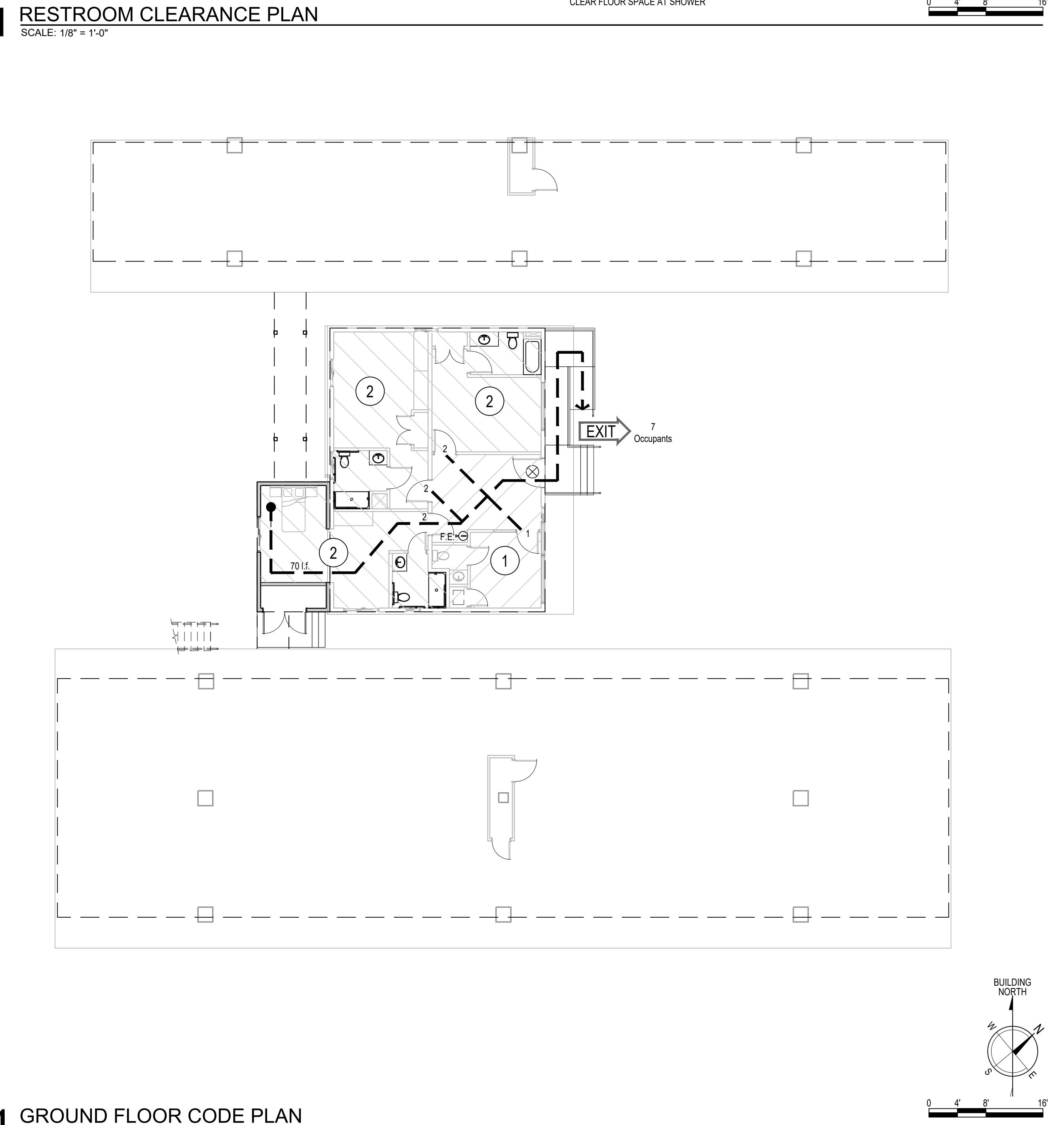
File Name:

Revisions:



A9 UPPER FLOOR CODE PLAN
SCALE: 3/32" = 1'-0"

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BUILDING CODE LEGEND

BUSINESS OCCUPANCY GROUP B,
PER SECTION 304 OF THE 2018 IBC

RESIDENTIAL OCCUPANCY GROUP R-1,
PER SECTION 310 OF THE 2018 IBC

OCCUPANT LOAD OF AREA PER SECTION 1004 OF
THE 2018 IBC

EXIT EXITING REQUIRED LOCATION

EXIT SIGN (EXISTING)

F.E. FIRE EXTINGUISHER WITH WALL
MOUNT BRACKET (EXISTING)

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Addition:

**ARCADIA
MOTEL**

3433 W CHINNEN BLVD.
GARDEN CITY, ID 83714

CODE INFORMATION
Sheet Title:

AS NOTED
Scale:

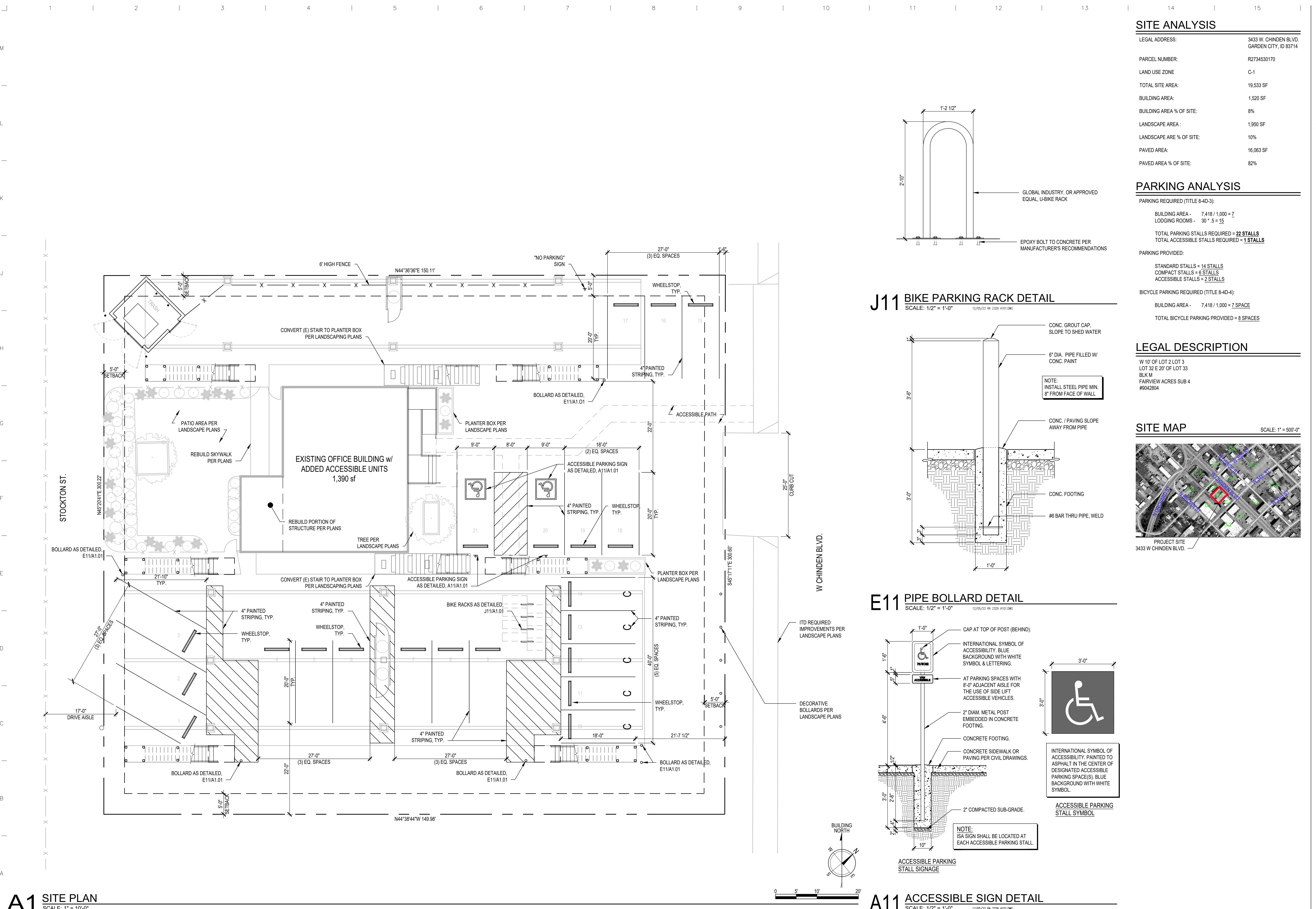
2329
Project Number:

20 SEPTEMBER 2023
Date:

2329 A001.DWG
File Name:

Revisions:

A0.01

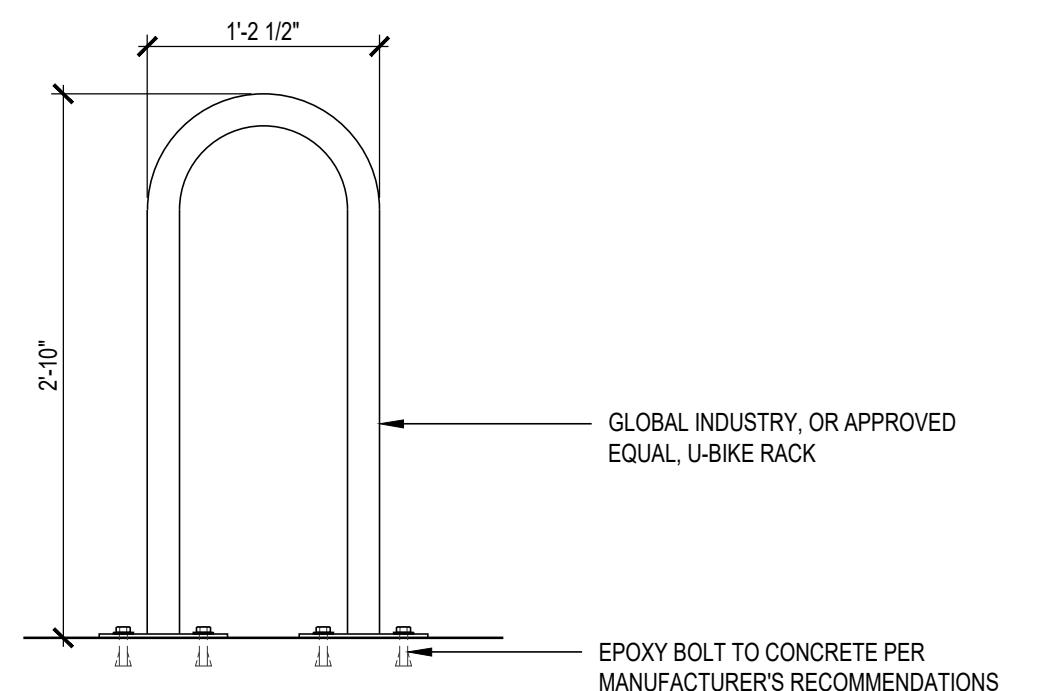


SITE ANALYSIS

LEGAL ADDRESS:	3433 W. CHINDEN BLVD. GARDEN CITY, ID 83714
PARCEL NUMBER:	R2734530170
LAND USE ZONE:	C-1
TOTAL SITE AREA:	19,533 SF
BUILDING AREA:	1,520 SF
BUILDING AREA % OF SITE:	8%
LANDSCAPE AREA:	1,950 SF
LANDSCAPE AREA % OF SITE:	10%
PAVED AREA:	16,063 SF
PAVED AREA % OF SITE:	82%

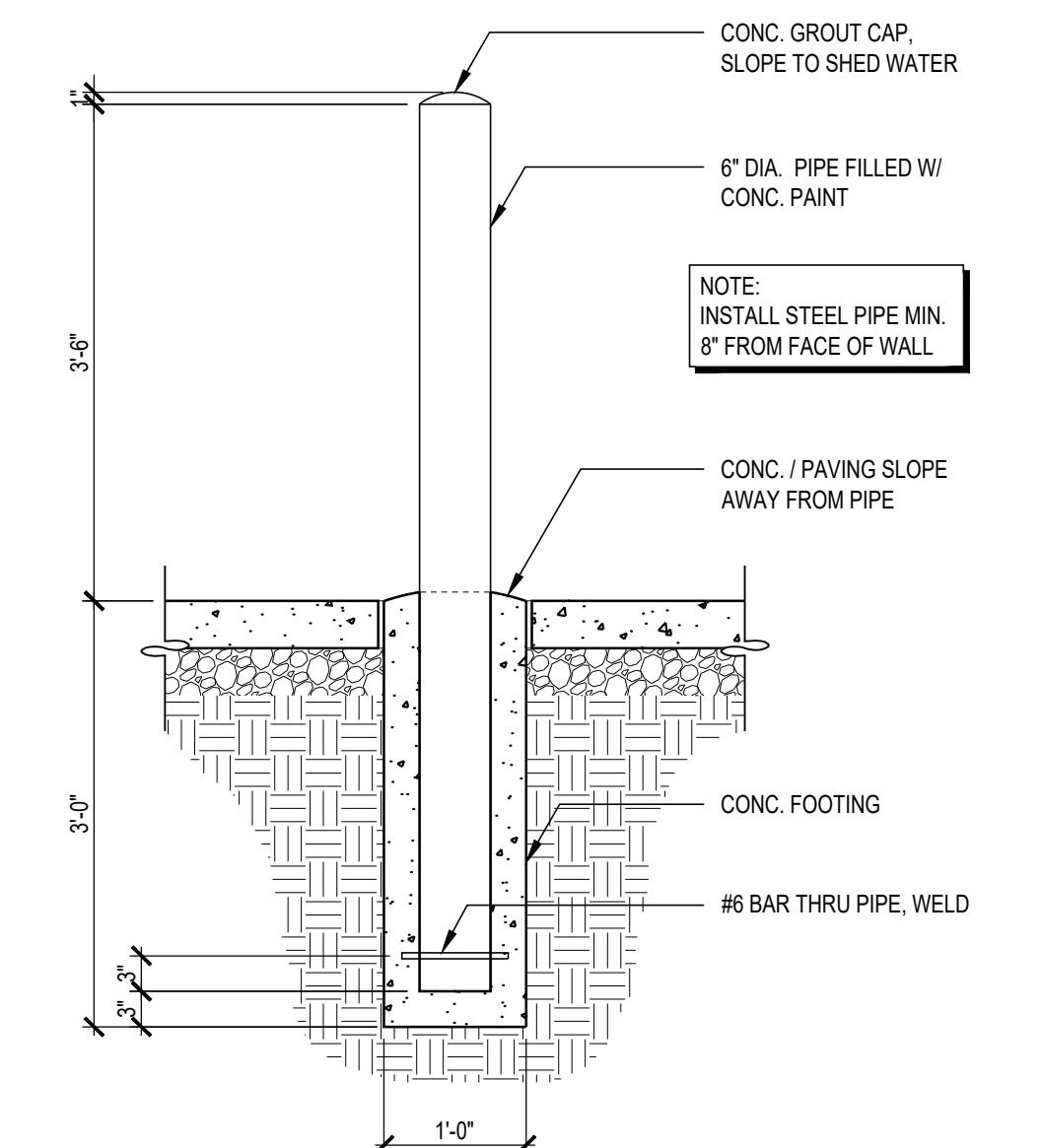
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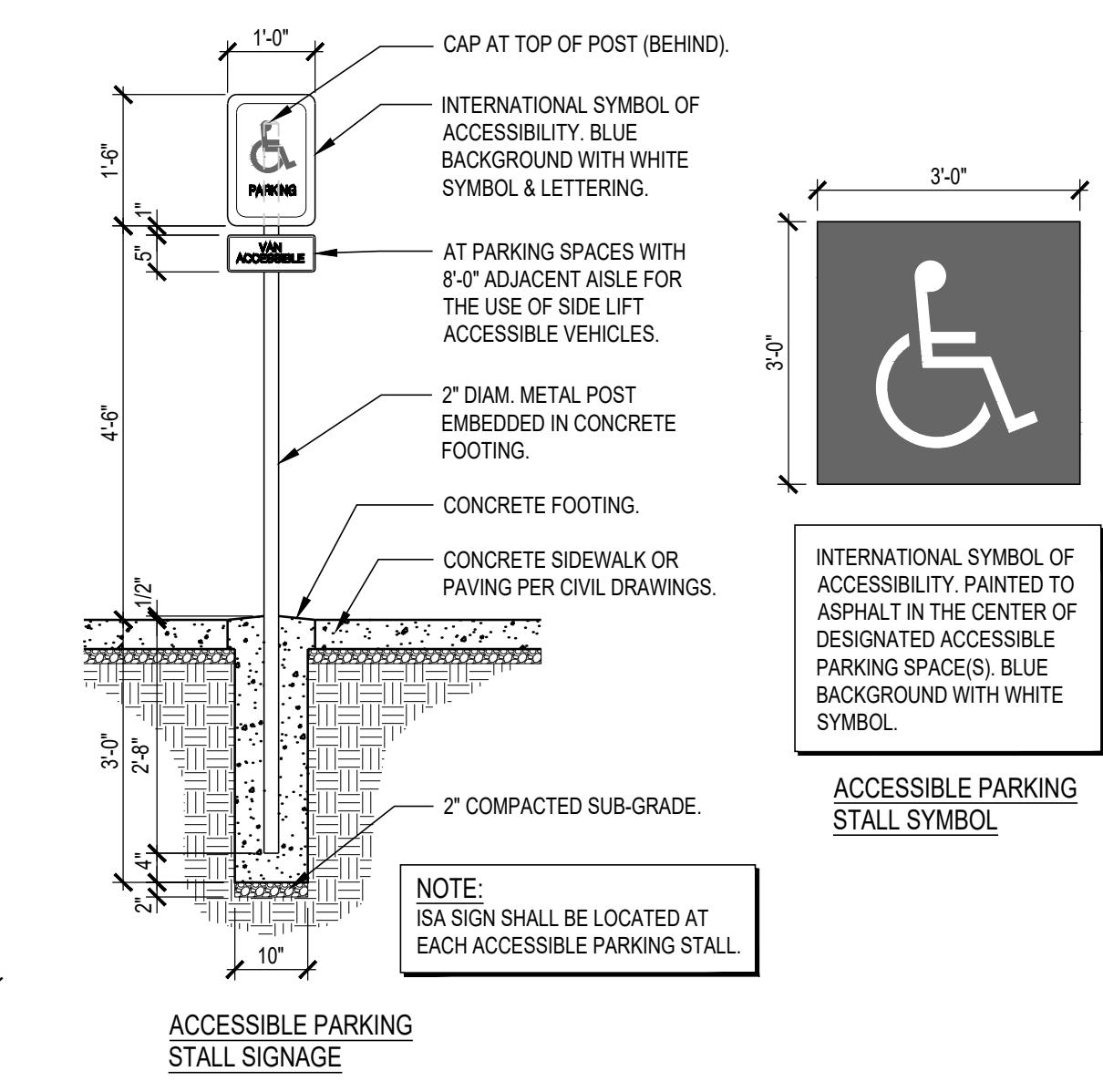
J11 BIKE PARKING RACK DETAIL

SCALE: 1/2" = 1'-0" 12/05/23 RA 2329 A101.DWG



E11 PIPE BOLLARD DETAIL

SCALE: 1/2" = 1'-0" 12/05/23 RA 2329 A101.DWG



A11 ACCESSIBLE SIGN DETAIL

SCALE: 1/2" = 1'-0" 12/05/23 RA 2329 A101.DWG

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A1.01

Addition:

ARCADIA MOTEL

3433 W CHINDEN BLVD.
GARDEN CITY, ID 83714



SITE MAP

SCALE: 1" = 500'-0"

SITE PLAN

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

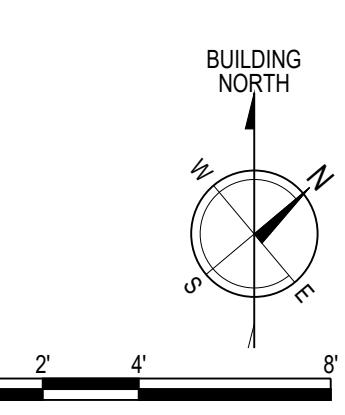
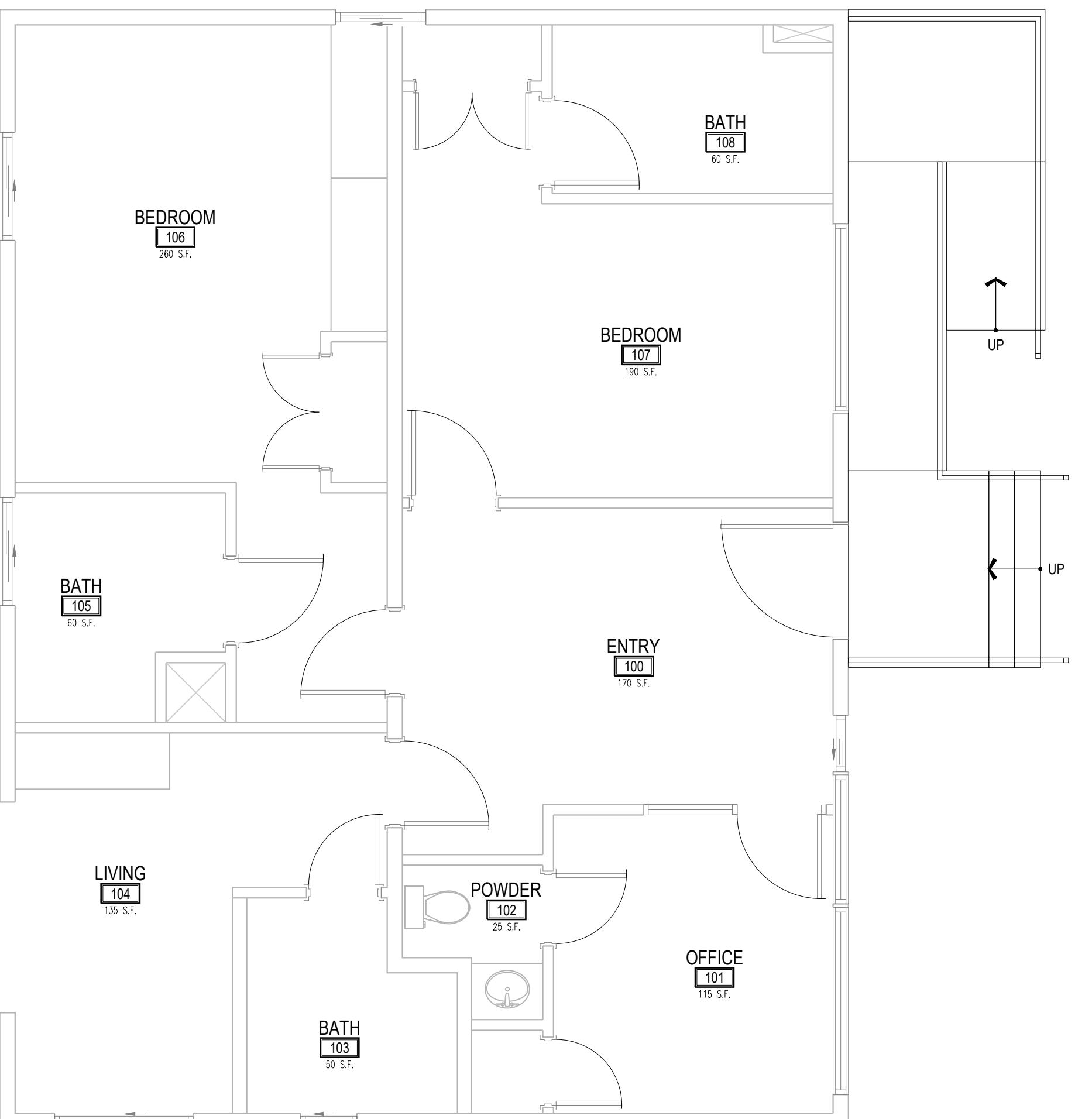
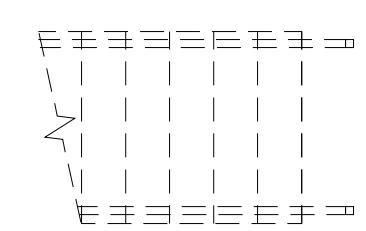
Date:

2329 A101.DWG

File Name:

Revisions:

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

**DEMOLITION KEYNOTES**

1. REMOVE EXISTING LOAD-BEARING WALL, FLOORING, ROOF & ASSOCIATED ITEMS DOWN TO THE FOUNDATION.
2. REMOVE EXISTING PARTITION WALL & ASSOCIATED ITEMS TO THE EXTENT SHOWN.
3. REMOVE EXISTING DOOR, FRAME, AND HARDWARE. SALVAGE PER OWNER'S DIRECTION.
4. REMOVE EXISTING WINDOW & ALL ASSOCIATED ITEMS.
5. REMOVE EXISTING WATER HEATER & ALL ASSOCIATED ITEMS. CAP OFF ALL LINES NO LONGER IN USE.
6. REMOVE EXISTING FURNITURE. SALVAGE PER OWNER'S DIRECTION.

DEMOLITION GENERAL NOTES

- A. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE BEGINNING SELECTIVE DEMOLITION. COMPLY WITH HAULING, DISPOSAL AND RECYCLING REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- B. NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
- C. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT.
- D. PLAN SHOWS GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER WORK REQUIRED TO PRODUCE THE IMPROVEMENTS.
- E. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
- F. EXISTING SERVICES/SYSTEMS: MAINTAIN SERVICES/SYSTEMS INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION.
- G. SERVICES/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- H. PROTECT EXISTING TO REMAIN, PATCH AND REPAIR WHERE DAMAGE OCCURS DURING SELECTIVE DEMOLITION AND CONSTRUCTION.
- I. FACILITY TO BE SECURE AND WEATHER TIGHT AS REQUIRED TO PREVENT DAMAGE.
- J. PROVIDE SHORING/LATERAL SUPPORT FOR ALL STRUCTURAL ITEMS TO REMAIN AS REQUIRED PRIOR TO DEMOLITION OR NEW CONSTRUCTION WORK.
- K. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING ALL SURFACES FROM REMOVAL OF EXISTING CONSTRUCTION AND/OR EQUIPMENT WHETHER INDICATED OR NOT.
- L. UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY.
- M. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED.
- N. SURFACES IN THE CONSTRUCTION AREA SHALL BE MAINTAINED IN A BROOM CLEAN CONDITION AT THE END OF EACH WORK DAY.
- O. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

GROUND FLOOR DEMOLITION PLAN

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A200.DWG

File Name:

Revisions:

A2.00
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1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

KEY NOTES

1. FURNITURE, O.F.C.I. COORDINATE WITH OWNER.
2. PROVIDE 18" x 24" CRAWL SPACE ACCESS.

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GENERAL NOTES

- ALL WORK SHALL BE PROVIDED AND INSTALLED AS A COMPLETE SYSTEM USING MATERIALS AND WORKMANSHIP OF HIGH QUALITY.
- ALL DOOR FRAMES SHALL BE 4" FROM PERPENDICULAR WALL AT HINGE SIDE UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING AS REQUIRED FOR WALL MOUNTED ITEMS AS REQUIRED.
- ALL DIMENSIONS ARE TO FACE OF, OR CENTERLINE OF, PRIMARY STRUCTURAL COMPONENT OF CONSTRUCTION ASSEMBLY, AS SHOWN ON THE DRAWINGS, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO WORK AND NOTIFY ARCHITECT OF ANY DIMENSION REVISIONS.
- WHERE ITEMS ARE NOT SPECIFIED, BUILDING STANDARDS SHALL BE MAINTAINED.
- SEE A5.01 FOR DOOR & FINISH SCHEDULE.
- SEE SHEET A5.01 FOR FIXTURE MOUNTING HEIGHTS & DETAILS.

VENTILATION NOTES

1. THE ENTIRE GROUND SURFACE OF THE CRAWL SPACE SHALL BE TREATED WITH AN APPROVED VAPOR RETARDED MATERIAL (VAPOR BARRIER) - TYP.
2. UNDER FLOOR VENTILATION REQUIREMENTS - A MIN. NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 sf FOR EACH 1,500 sf OF CRAWL SPACE AREA SINCE THE GROUND SURFACE OF THE CRAWL SPACE IS TO BE TREATED WITH AN APPROVED VAPOR RETARDED MATERIAL AND THE REQUIRED OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE CRAWL SPACE. VENTILATED OPENINGS SHALL BE COVERED FOR HEIGHT & WIDTH BY MATERIALS APPROVED BY THE BUILDING CODE, PROVIDED THAT THE LEAST DIMENSION OF COVERING SHALL NOT EXCEED 1/4".

LEGEND

Door Number Callout.
RE: SHEET A5.01.

Window Callout.
RE: SHEET A5.01.

Addition:

ARCADIA
MOTEL3433 W CHINNEN BLVD.
GARDEN CITY, ID 83714**GROUND FLOOR PLAN**

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

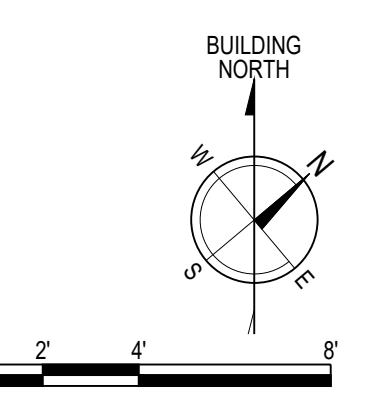
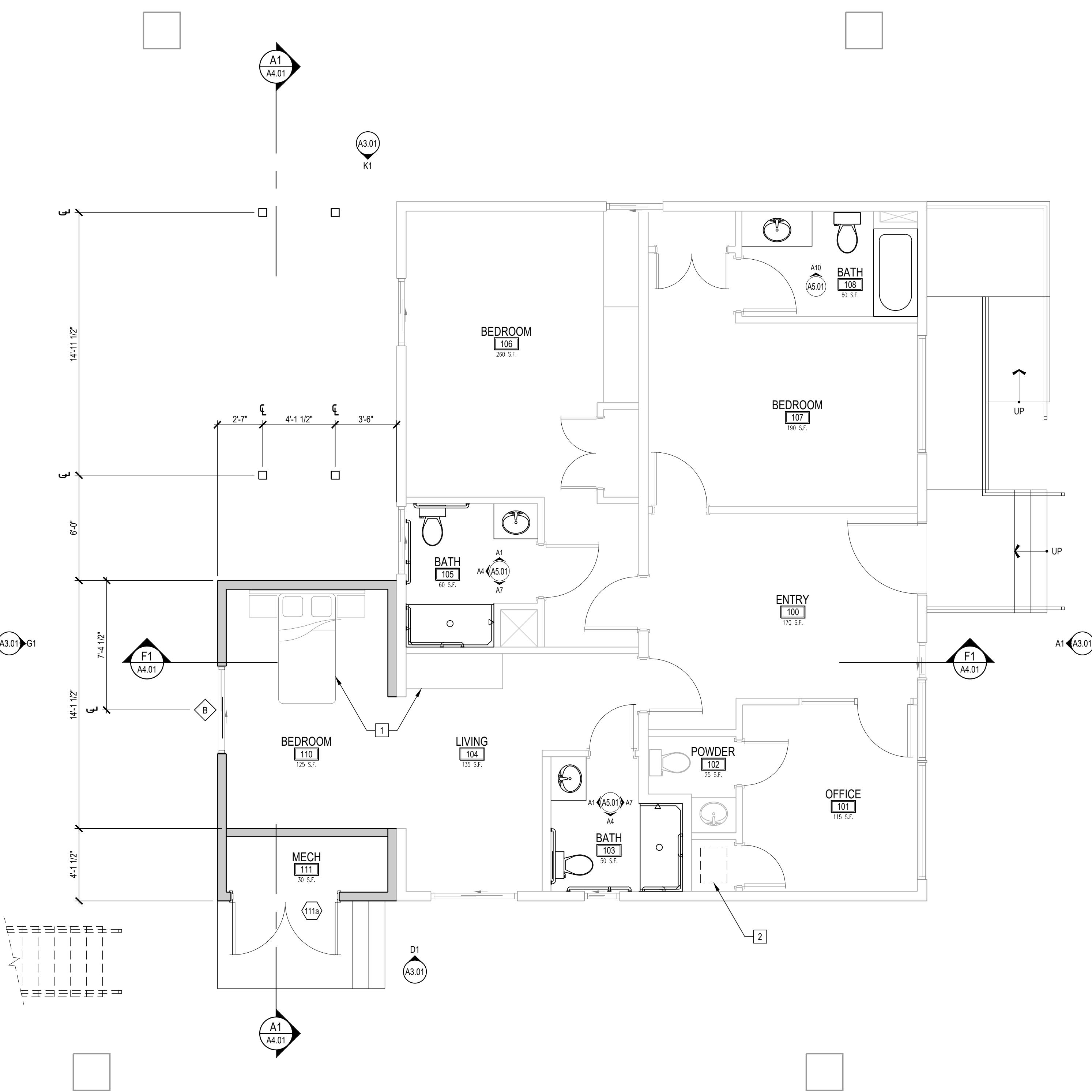
20 SEPTEMBER 2023

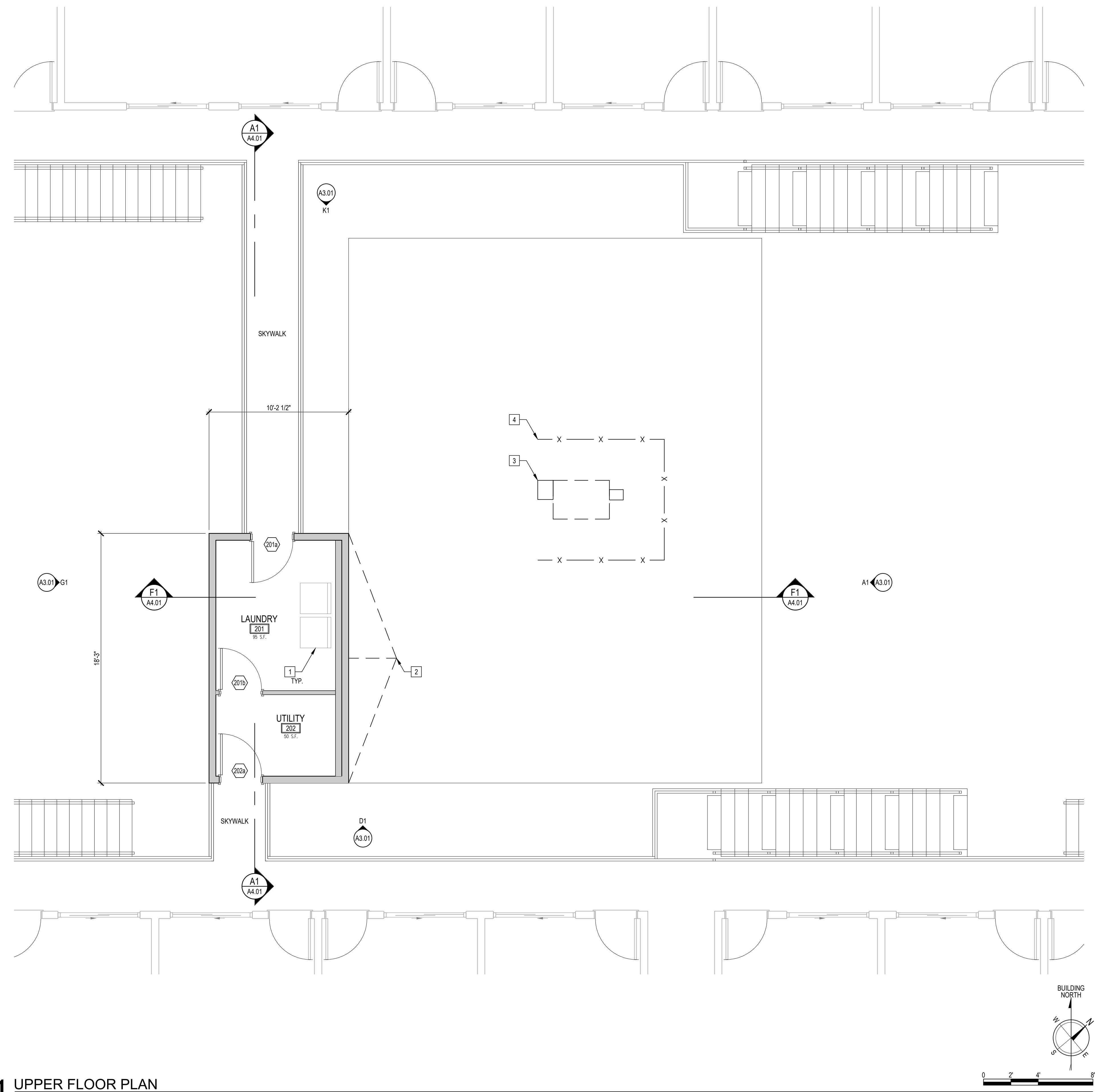
Date:

2329 A201.DWG

File Name:

Revisions:



**KEY NOTES**

1. FURNITURE, O.F.C.I. COORDINATE WITH OWNER.
2. PROVIDE CRICKET TO SHED WATER AWAY AS REQUIRED.
3. ERV PER MECHANICAL PLANS.
4. MECHANICAL SCREEN PER DETAIL C11 / A2.03.

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info@rudeenarchitects.comarchitecture
planning
project management**GENERAL NOTES**

- ALL WORK SHALL BE PROVIDED AND INSTALLED AS A COMPLETE SYSTEM USING MATERIALS AND WORKMANSHIP OF HIGH QUALITY.
- ALL DOOR FRAMES SHALL BE 4" FROM PERPENDICULAR WALL AT HINGE SIDE UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING AS REQUIRED FOR WALL MOUNTED ITEMS AS REQUIRED.
- ALL DIMENSIONS ARE TO FACE OF, OR CENTERLINE OF, PRIMARY STRUCTURAL COMPONENT OF CONSTRUCTION ASSEMBLY, AS SHOWN ON THE DRAWINGS, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO WORK AND NOTIFY ARCHITECT OF ANY DIMENSION REVISIONS.
- WHERE ITEMS ARE NOT SPECIFIED, BUILDING STANDARDS SHALL BE MAINTAINED.
- SEE A5.01 FOR DOOR & FINISH SCHEDULE.
- SEE SHEET A5.01 FOR FIXTURE MOUNTING HEIGHTS & DETAILS.

LEGEND
 DOOR NUMBER CALLOUT.
RE: SHEET A5.01.

 WINDOW CALLOUT.
RE: SHEET A5.01.

Addition:

**ARCADIA
MOTEL**3433 W CHINNEN BLVD.
GARDEN CITY, ID 83714**UPPER FLOOR PLAN**

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A202.DWG

File Name:

Revisions:

A2.02

ROOF PLAN KEYED NOTES

1. 60 MIL SINGLE PLY TPO ROOFING SYSTEM o/ ROOF SHEATHING.
2. LINE OF WALL BELOW.
3. PROVIDE CRICKET TO SHED WATER AWAY AS REQUIRED.
4. ERV PER MECHANICAL PLANS.
5. MECHANICAL SCREEN PER DETAIL C11 / A2.03.

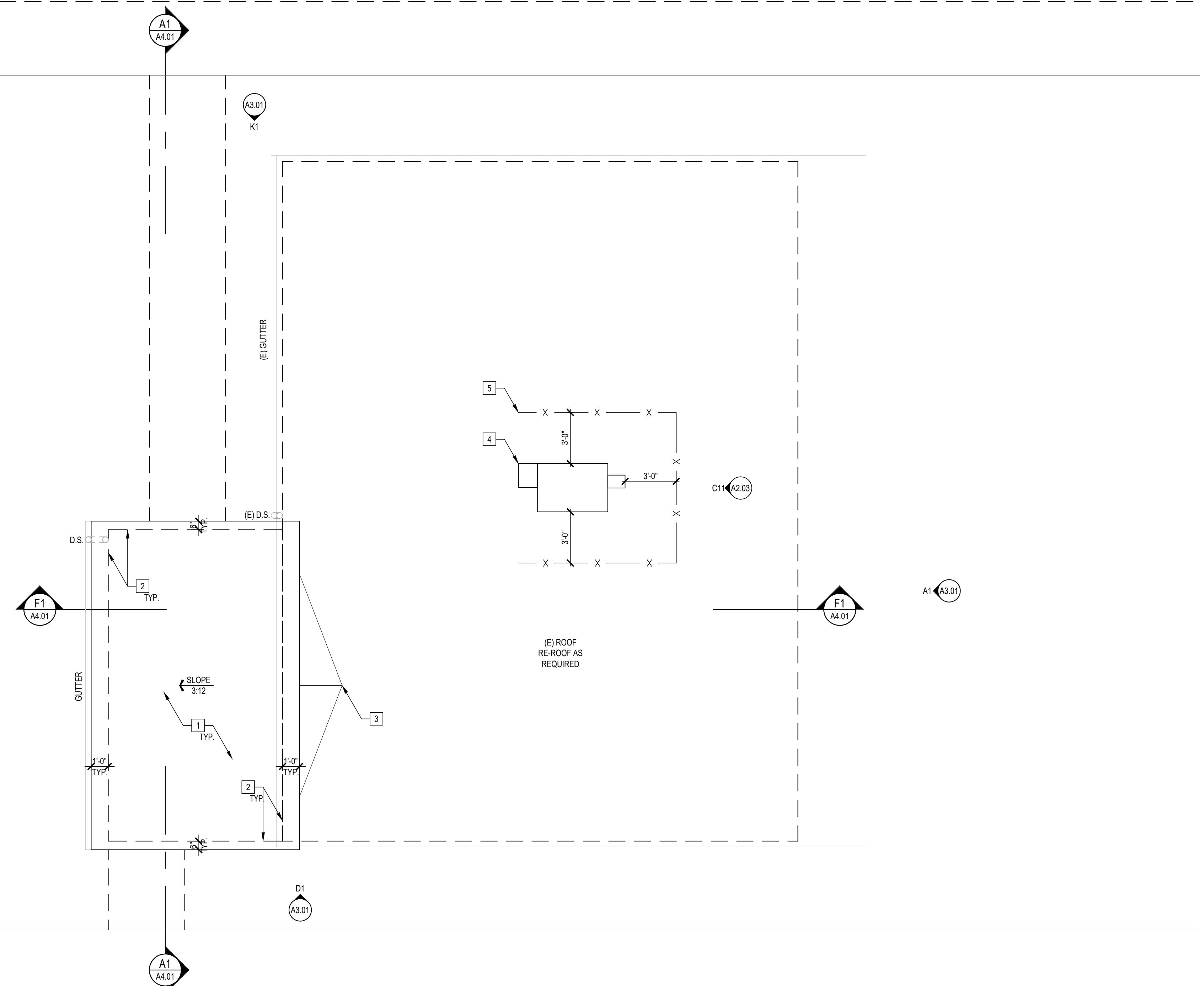
ROOF PLAN GENERAL NOTES

- A. GUTTERS, DOWNSPOUTS, AND SPLASH BLOCKS.
PROVIDE CONTINUOUS GUTTERS AT BASE OF ALL ROOF SLOPES.
PROVIDE DOWNSPOUTS AT LOCATIONS SPACED PER THE GUTTER MANUFACTURER'S RECOMMENDATIONS FOR THE GIVEN ROOF AREA. VERIFY AND COORDINATE LOCATIONS WITH ROOF PLAN AND EXTERIOR ELEVATIONS. PROVIDE A SPLASH BLOCK AT EACH DOWNSPOUT LOCATION.
- B. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- C. DRAFT STOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" GYP. BD., 3/8" WOOD STRUCTURAL PANEL, 3/8" PARTICLE BOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.
OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.
- D. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.
- E. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
- F. PROVIDE ADDITIONAL ROOF VENTS AT LOCATIONS AS REQ'D.
COORDINATE WITH VENTILATION REQUIREMENTS AND DRAFTSTOP LOCATIONS.

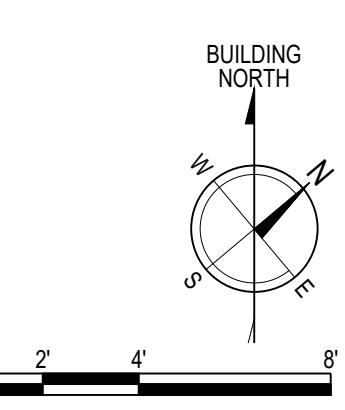
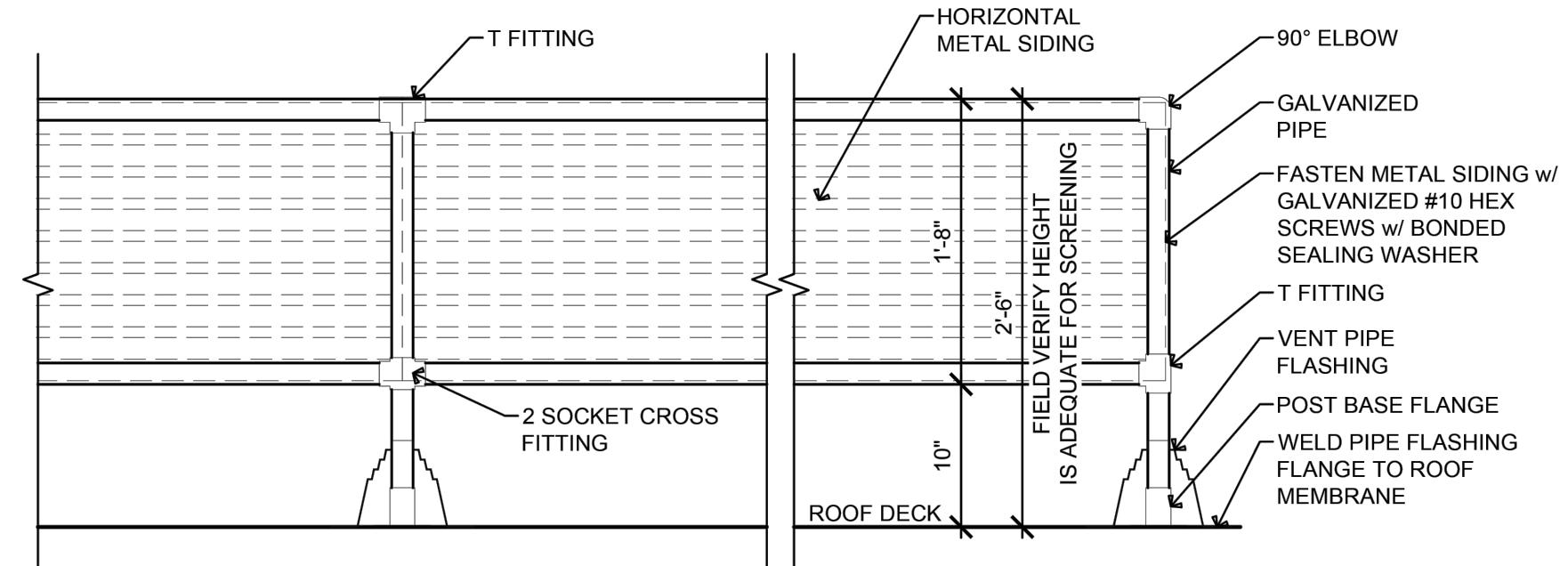
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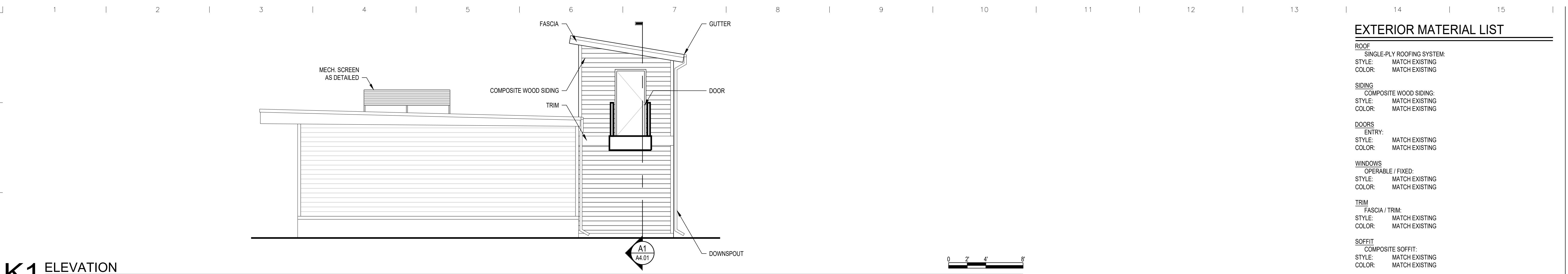
ARCADIA MOTEL

3433 W CHINDEN BLVD.
GARDEN CITY, ID 83714



C11 ROOF TOP EQUIPMENT SCREENING DETAIL

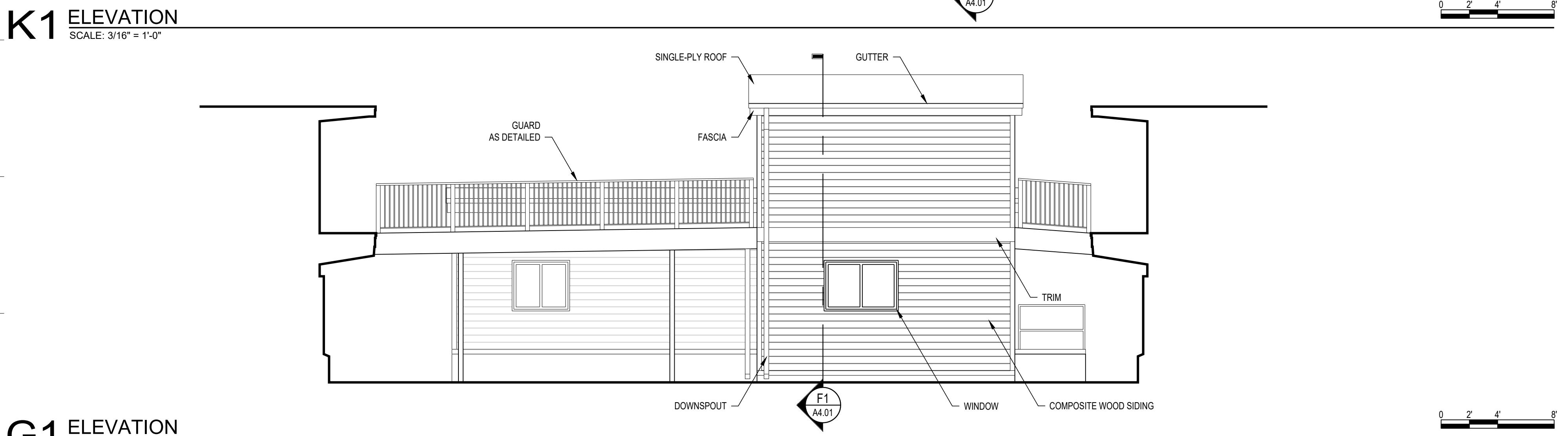


**EXTERIOR MATERIAL LIST**

ROOF	SINGLE-PLY ROOFING SYSTEM: STYLE: MATCH EXISTING COLOR: MATCH EXISTING
SIDING	COMPOSITE WOOD SIDING: STYLE: MATCH EXISTING COLOR: MATCH EXISTING
DOORS	ENTRY: STYLE: MATCH EXISTING COLOR: MATCH EXISTING
WINDOWS	OPERABLE / FIXED: STYLE: MATCH EXISTING COLOR: MATCH EXISTING
TRIM	FASCIA / TRIM: STYLE: MATCH EXISTING COLOR: MATCH EXISTING
SOFFIT	COMPOSITE SOFFIT: STYLE: MATCH EXISTING COLOR: MATCH EXISTING
GUARD	42" HIGH WROUGHT IRON GUARD RAIL w/ BALLASTS @ 4: MIN: STYLE: MATCH EXISTING COLOR: MATCH EXISTING

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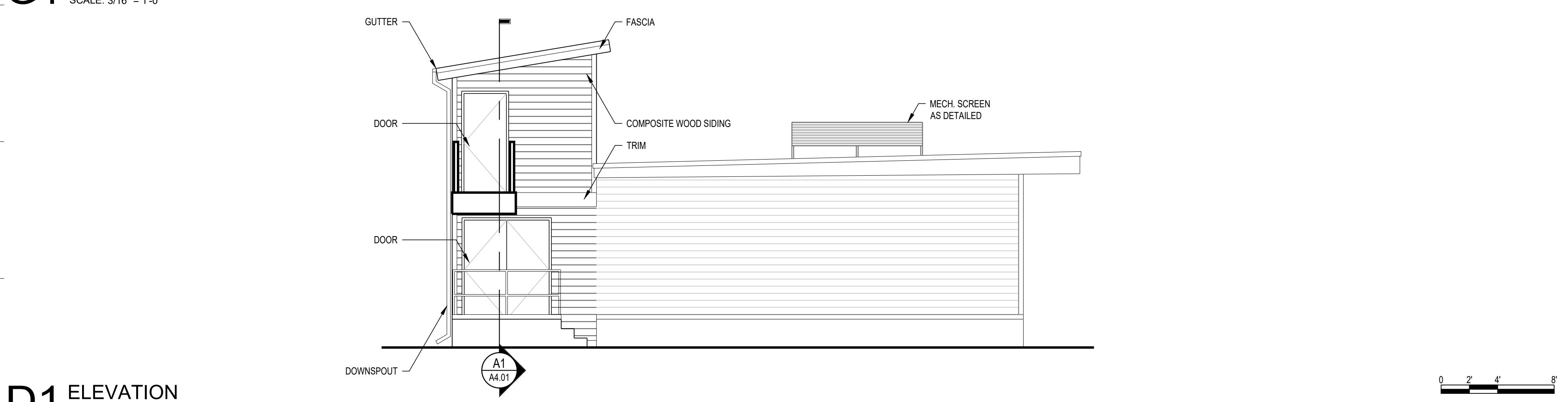
architecture
planning
project management



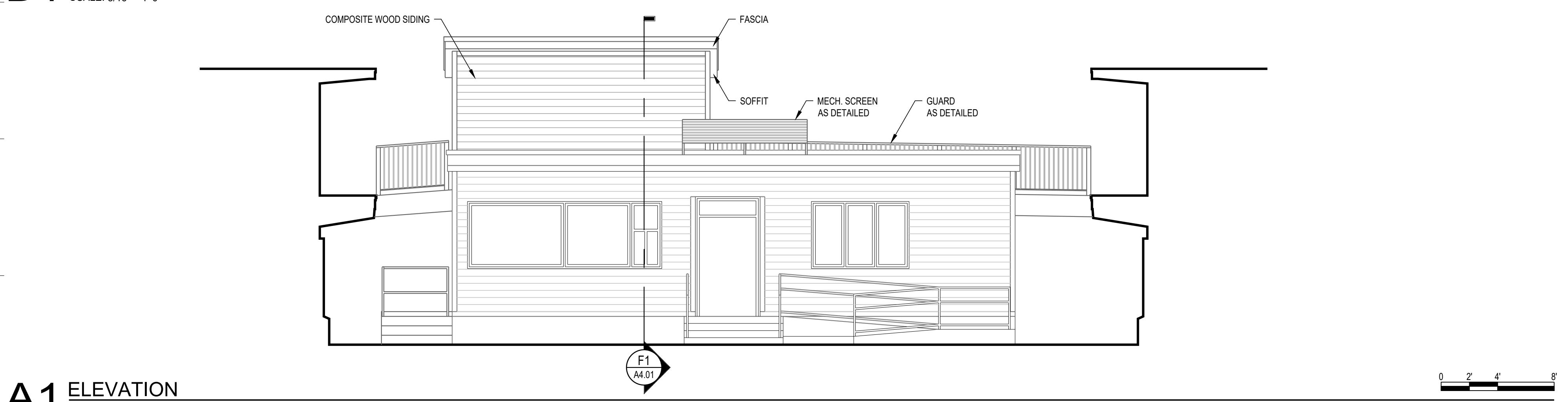
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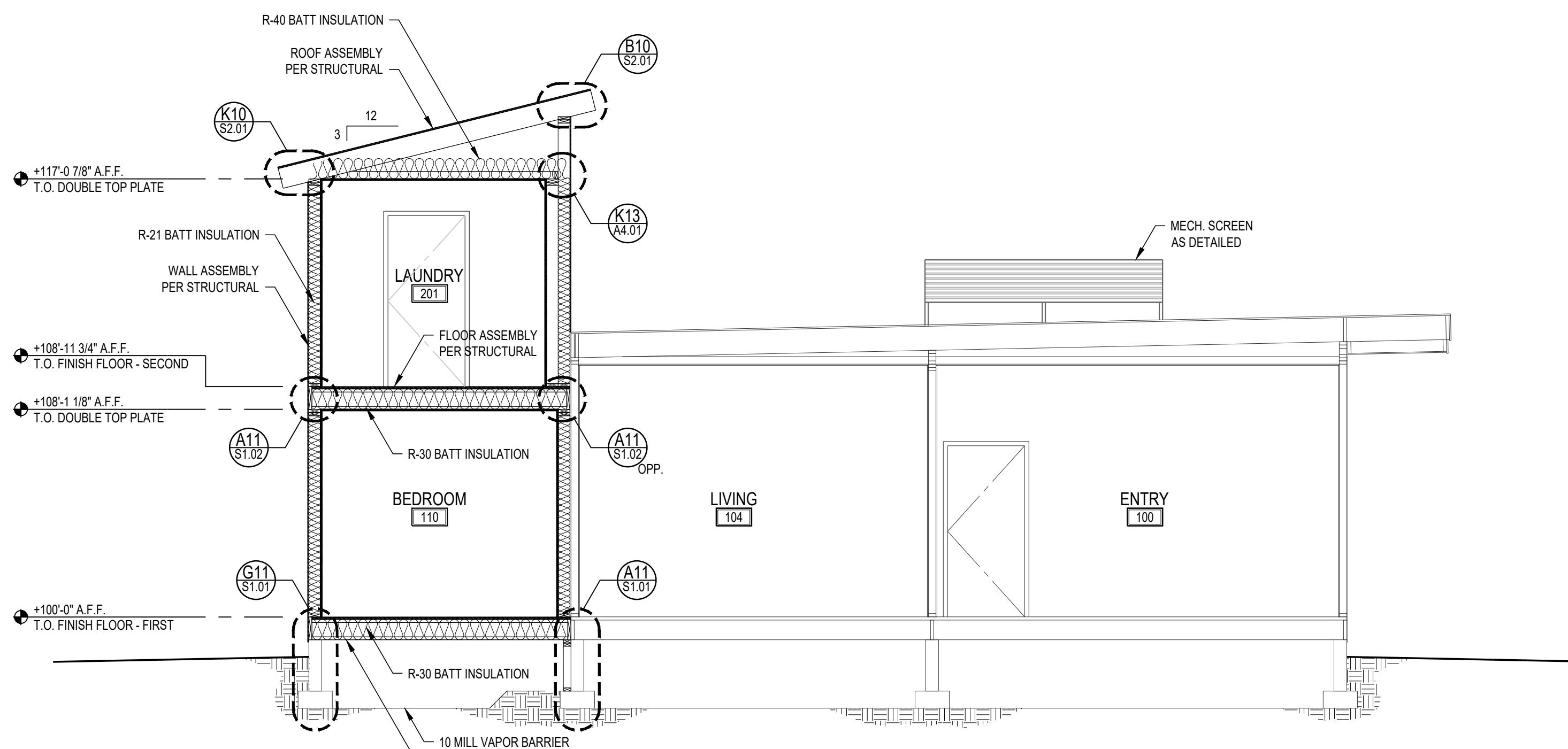
**ARCADIA
MOTEL**

3433 W CHINNEN BLVD.
GARDEN CITY, ID 83714

**EXTERIOR ELEVATIONS**
Sheet Title:**AS NOTED**
Scale:**2329**
Project Number:**20 SEPTEMBER 2023**
Date:**2329 A301.DWG**
File Name:

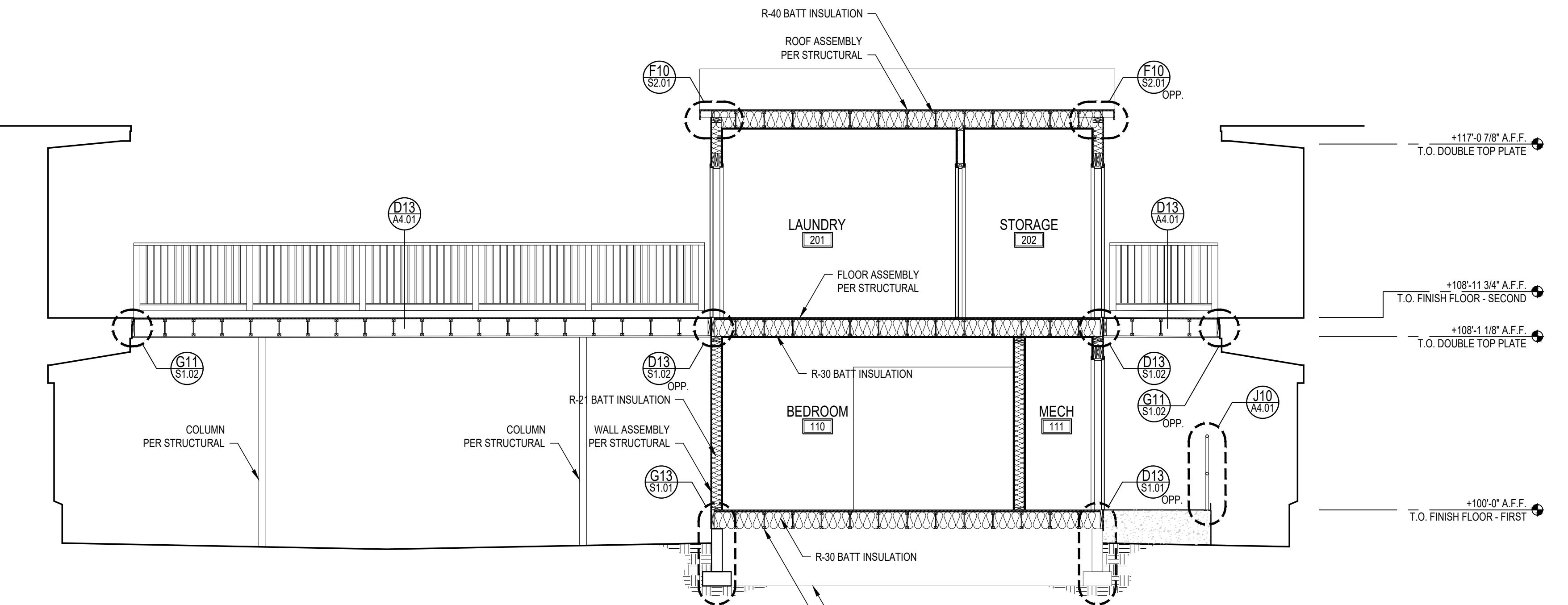
Revisions:





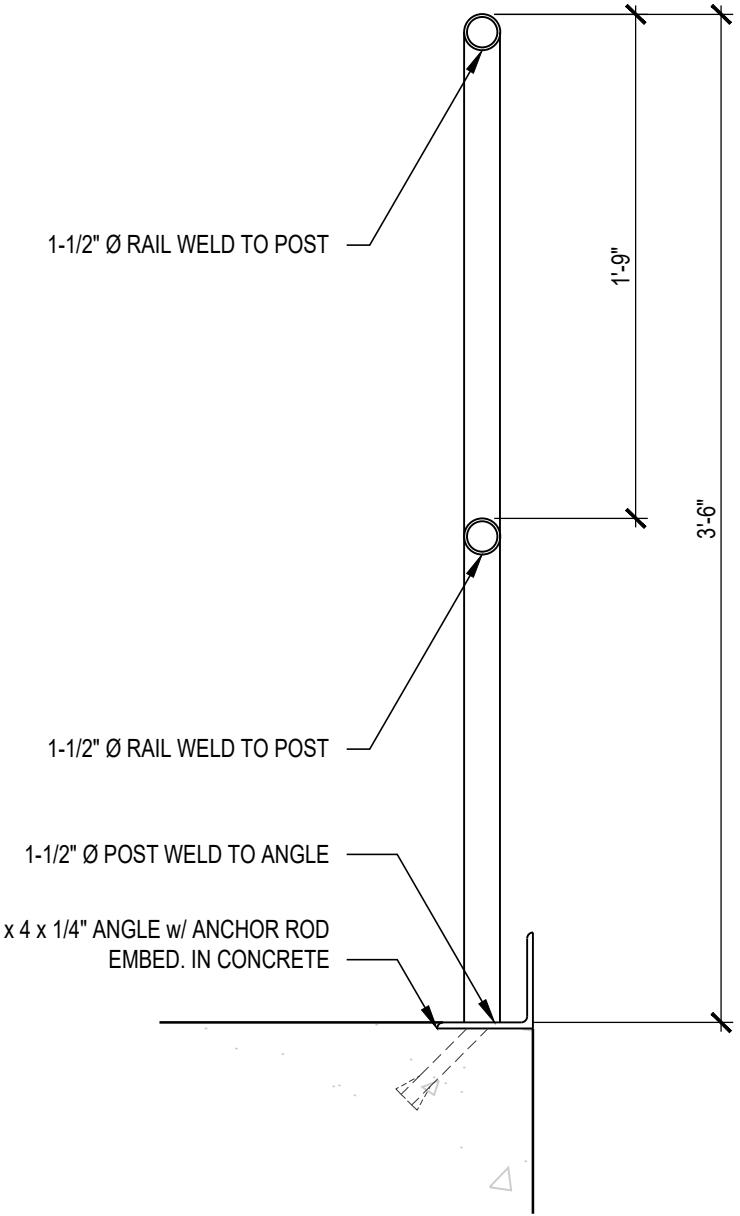
F1 BUILDING SECTION

SCALE: 1/4" = 1'-0"



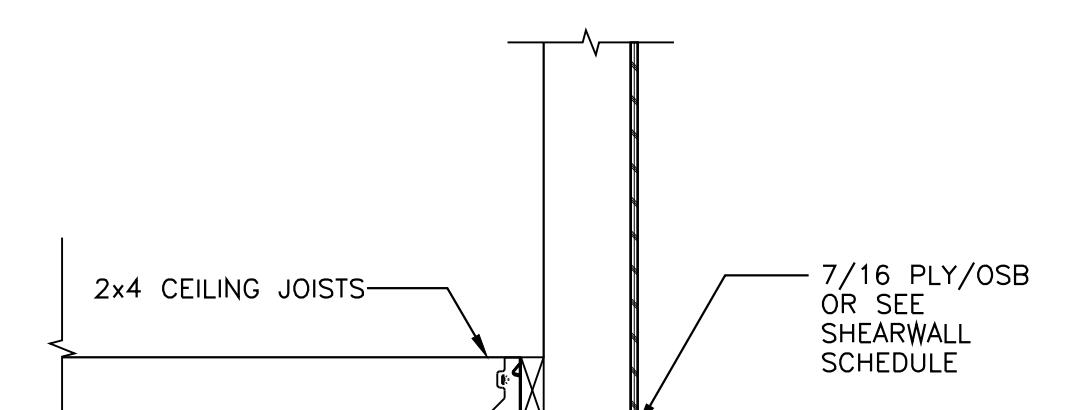
A1 BUILDING SECTION

SCALE: 1/4" = 1'-0"



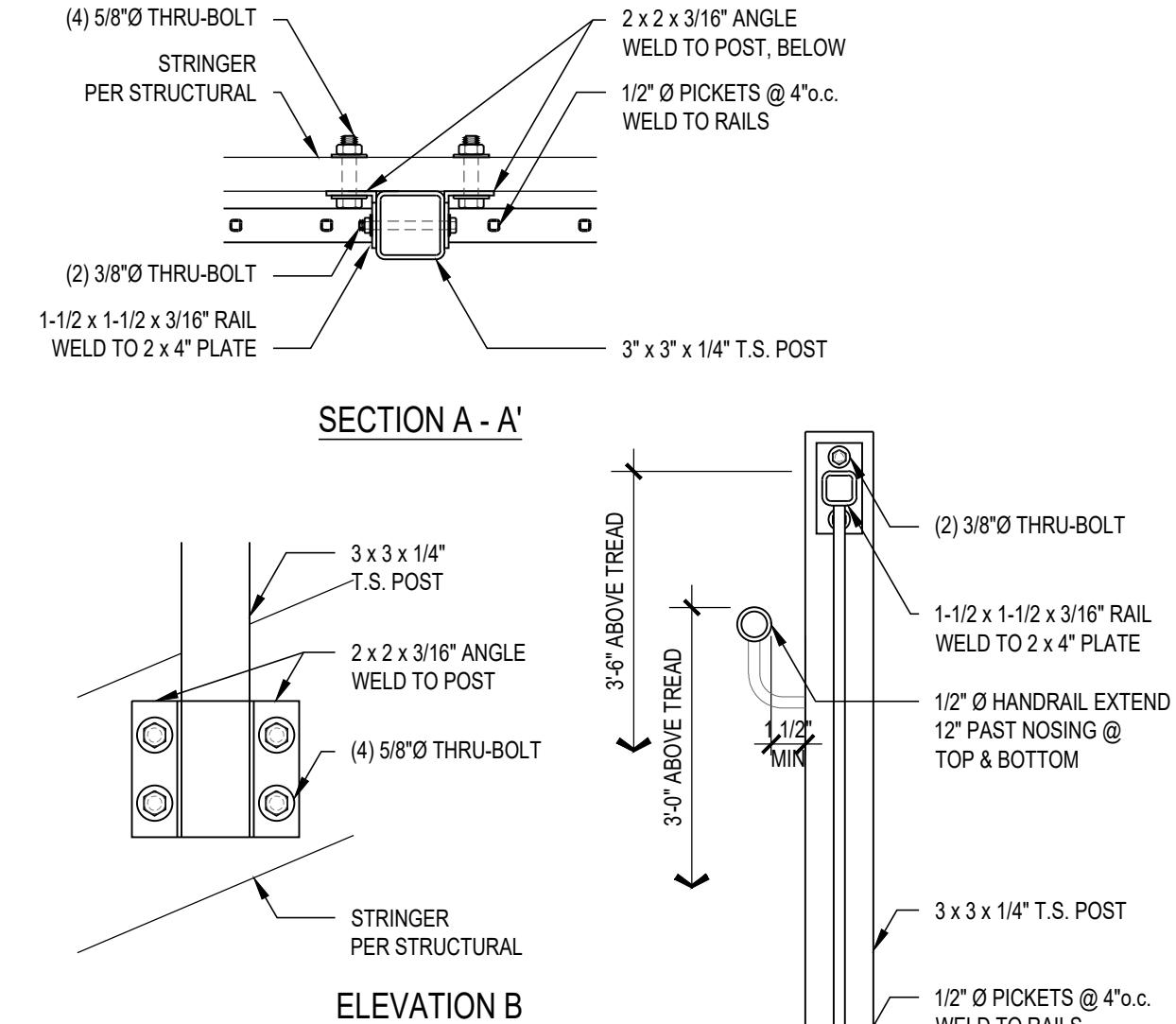
J10 GUARD DETAIL @ ELECTRICAL ROOM

SCALE: 1-1/2" = 1'-0"



K13 FRAMING CONNECTION DETAIL

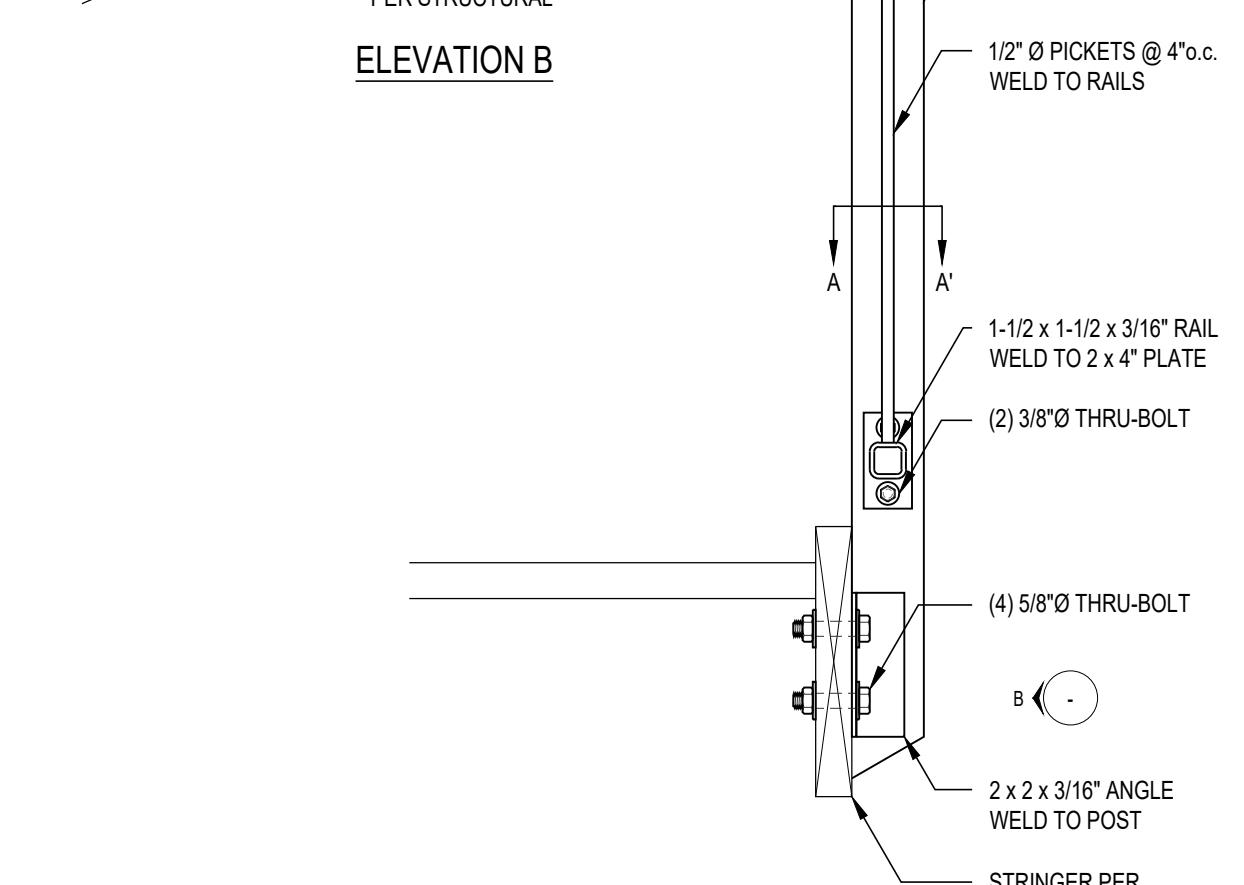
SCALE: 3/4" = 1'-0"



Addition:

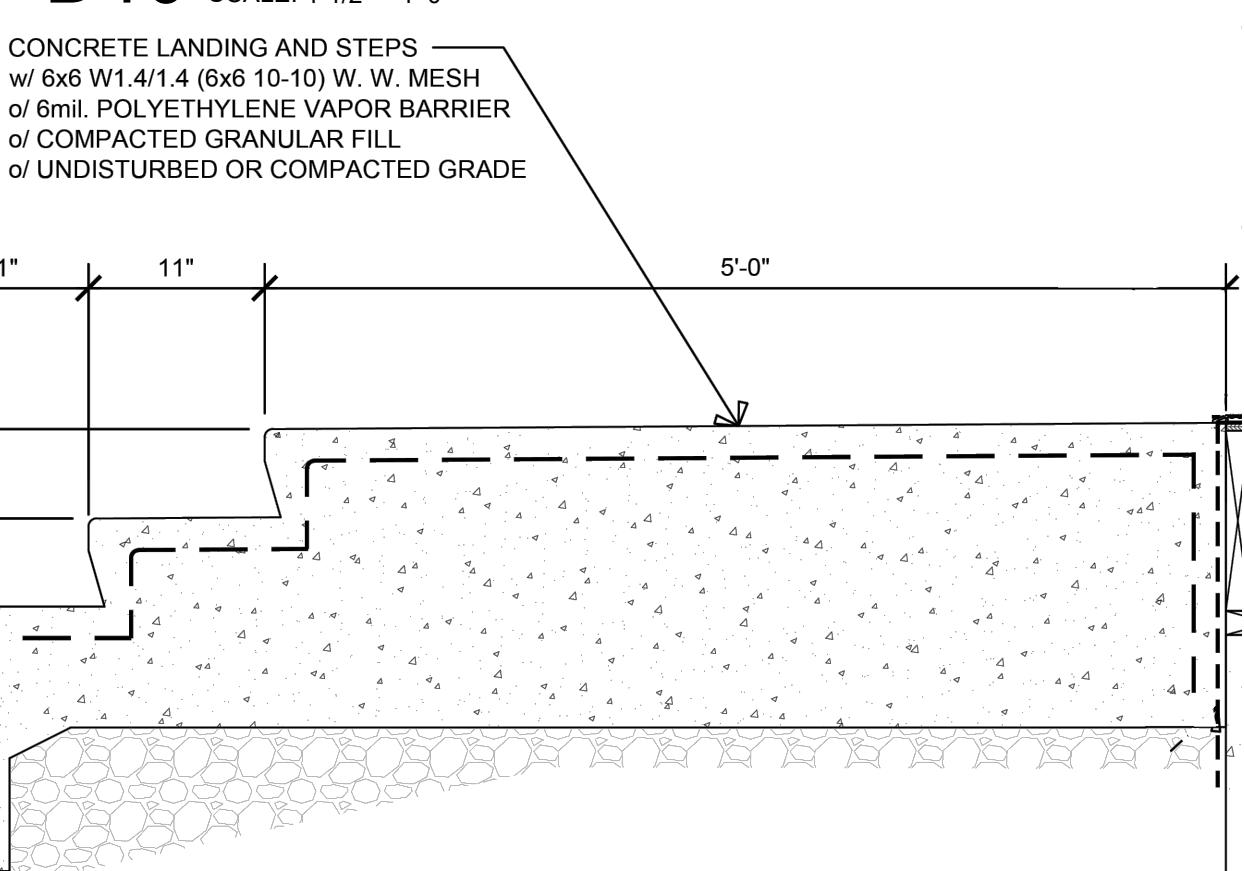
ARCADIA MOTEL

3433 W CHINNEN BLVD.
GARDEN CITY, ID 83714



D13 GUARD DETAIL (MATCH EXISTING)

SCALE: 1-1/2" = 1'-0"



BUILDING SECTIONS
Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A401.DWG

File Name:

Revisions:

A12 CONCRETE LANDING DETAIL

SCALE: 1/2" = 1'-0"

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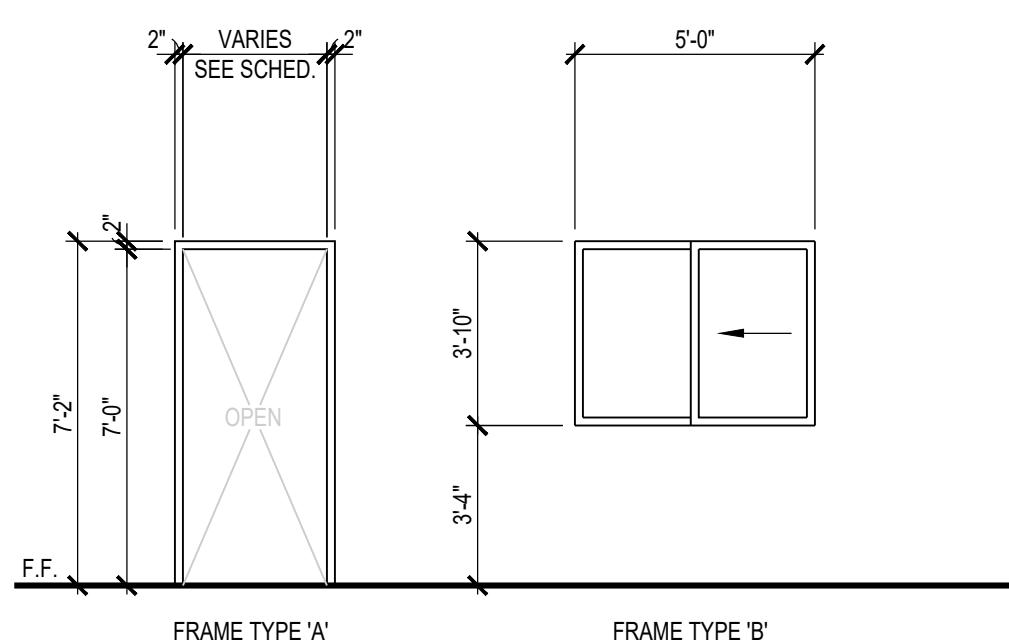
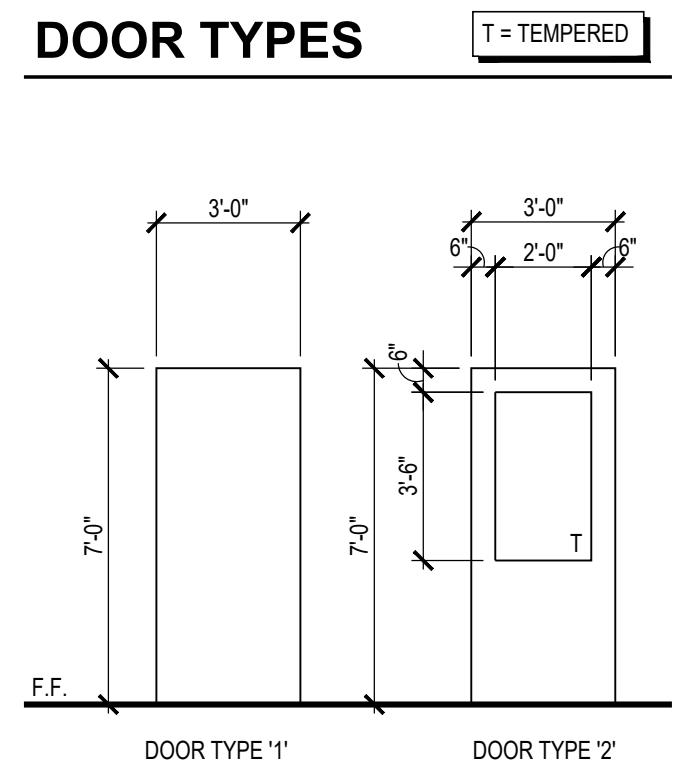
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

DOOR SCHEDULE

DOOR NO.	ROOM NAME	DOOR			FRAME			FIRE RATING	DETAILS	HARDWARE GROUP	NOTES	
		SIZE	TYPE	MATERIAL	FINISH	GLAZING	TYPE	MATERIAL	FINISH			
111a	MECH	(2) 3'-0"	7'-0"	1 3/4"	1	MTL	PT-3	-	A	HM	PT-3	-
201a	LAUNDRY	3'-0"	7'-0"	1 3/4"	2	MTL	PT-3	T	A	HM	PT-3	-
201b	LAUNDRY	3'-0"	7'-0"	1 3/4"	2	WD	ST	T	A	HM	PT-3	-
202a	LAUNDRY	3'-0"	7'-0"	1 3/4"	2	MTL	PT-3	T	A	HM	PT-3	-

DOOR SCHEDULE ABBREVIATIONS

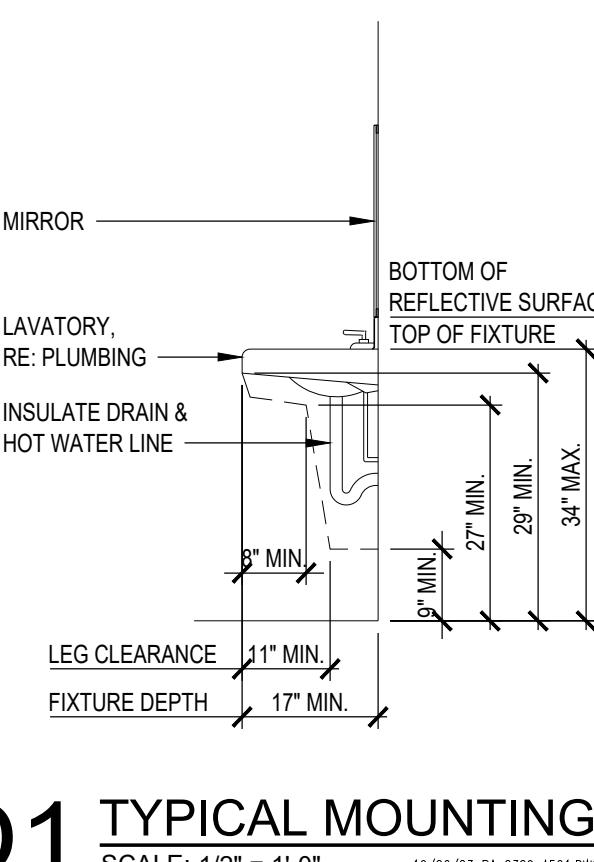
HM = HOLLOW METAL FRAME
 MTL = METAL DOOR
 PT = PAINT
 ST = STAIN FINISH
 T = TEMPERED GLAZING
 WD = SOLID CORE WOOD DOOR

FRAME TYPES**DOOR TYPES****FRAME SCHEDULE**

SYMBOL	SIZE	HEIGHT	MATERIAL	GLAZING	TYPE	INTERIOR TRIM	REMARKS
A	RE: DOOR SCHEDULE	H.M.	-	-	-	GYP.	-
B	5'-0"	3'-10"	ALM.	INSUL.	SLIDING	GYP.	-

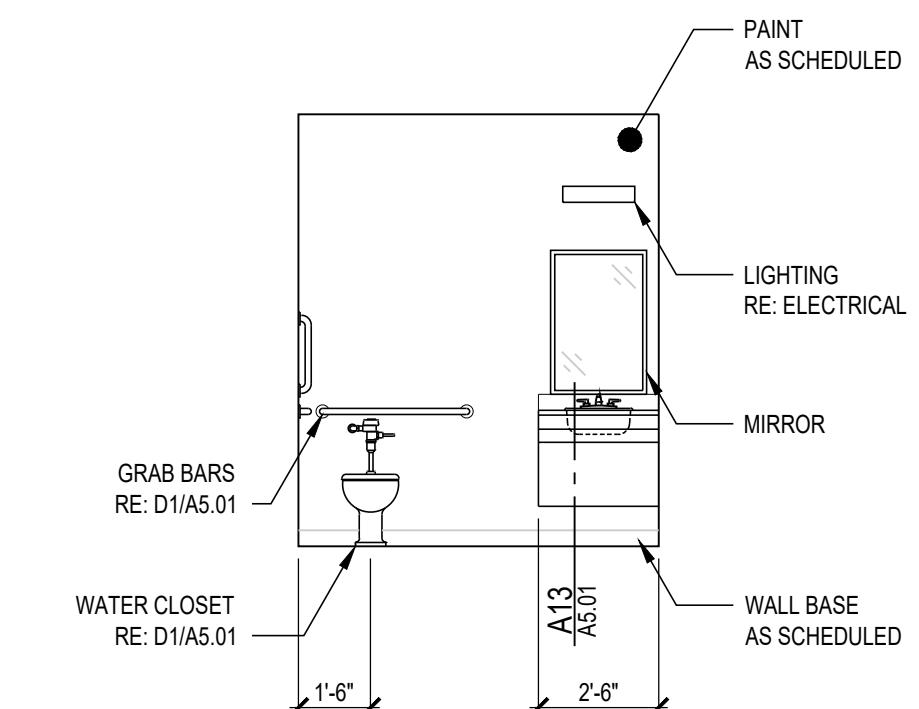
FRAME SCHEDULE LEGEND

ALM.	ALUMINUM-CLAD EXTERIOR WOOD WINDOW - MATCH EXISTING BUILDING STANDARD
H.M.	HOLLOW METAL FRAME - MATCH EXISTING BUILDING STANDARD
INSUL.	1" INSULATED GLAZING WITH U-FACTOR = .320 MIN. & SHGC = .25 MIN.
GYP.	GYPSUM BOARD INTERIOR TRIM - FINISH TO MATCH EXISTING ADJACENT

**D1 TYPICAL MOUNTING HEIGHT DETAIL**

SCALE: 1/2" = 1'-0"

10/26/23 RA 2329 A501.DWG

**A1 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

10/26/23 RA 2329 A501.DWG

A4 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

10/26/23 RA 2329 A501.DWG

A7 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

10/26/23 RA 2329 A501.DWG

A10 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

10/26/23 RA 2329 A501.DWG

A13 CASEWORK DETAIL

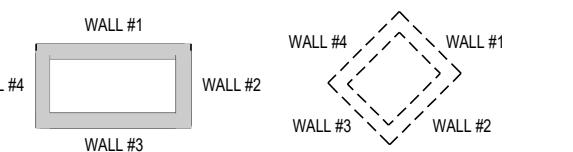
SCALE: 3/4" = 1'-0"

10/26/23 RA 2329 A501.DWG

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FINISH SCHEDULE

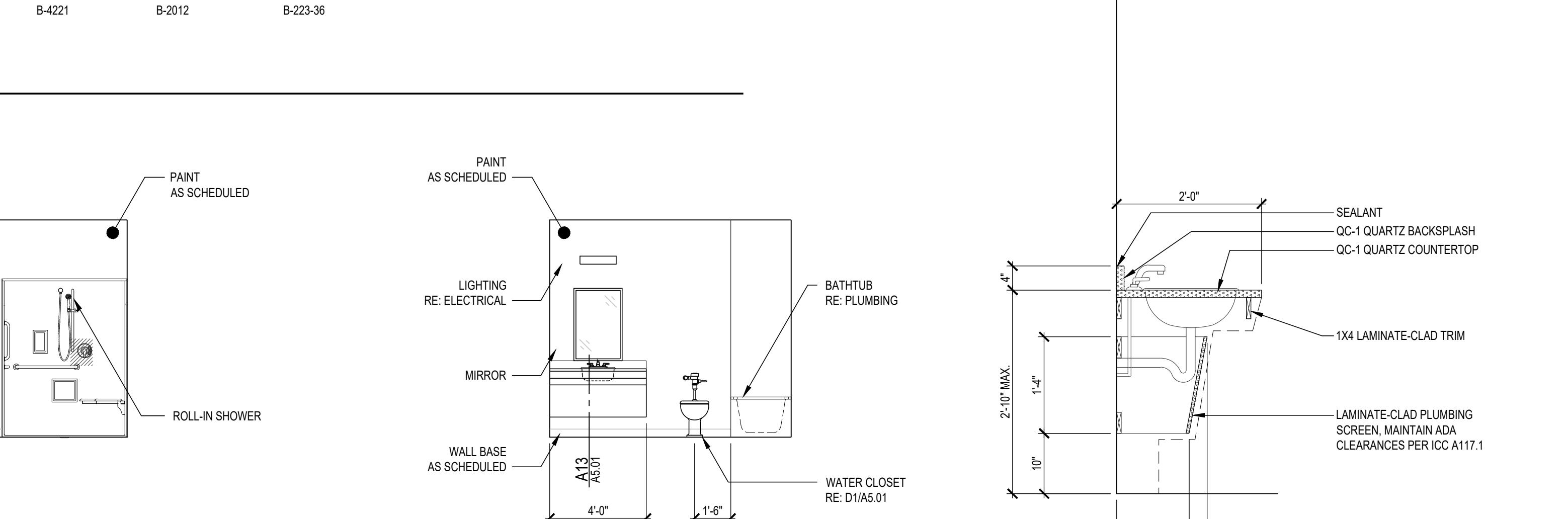
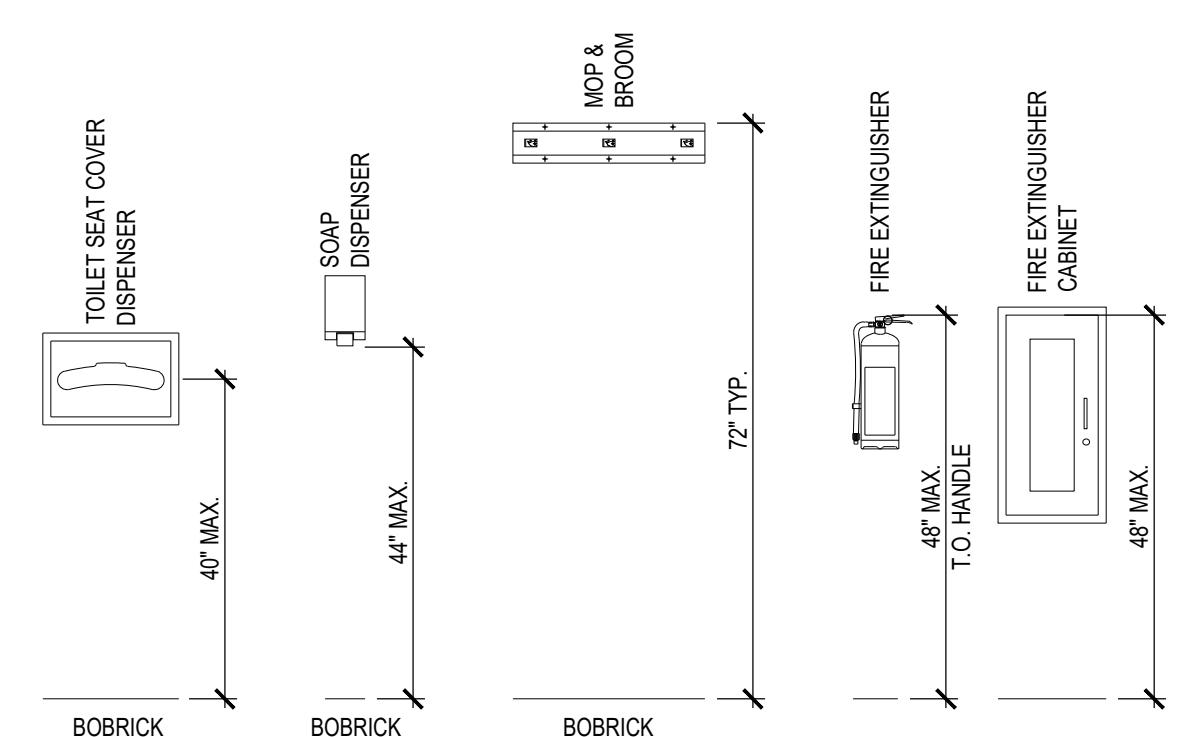
ROOM NO.	ROOM NAME	FLOOR	BASE		WALL NO. 1 (NORTH)		WALL NO. 2 (EAST)		WALL NO. 3 (SOUTH)		WALL NO. 4 (WEST)		CEILING	NOTES
			MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
100	ENTRY													
101	OFFICE													
102	POWDER													
103	BATH													
104	LIVING													
105	BATH													
106	BEDROOM													
107	BEDROOM													
108	BATH													
110	BEDROOM													
111	MECH													
201	LAUNDRY													
202	UTILITY													

**Finish Abbreviations & Specifications:**

EX. EXISTING TO REMAIN	LVT-1 LUXURY VINYL PLANK MFR.: INTERFACE COLLECTION: TO BE SELECTED BY OWNER STYLE: TO BE SELECTED BY OWNER INSTALLATION: TO BE SELECTED BY OWNER	RB-1 RUBBER WALL BASE MFR.: ROPPE PRODUCT: 700 SERIES COLOR: TO BE SELECTED BY OWNER SIZE: 4"
GYP. 5/8" GYPSUM BOARD USE 5/8" MOISTURE RESISTANT GYPSUM BOARD AT ALL "WET" WALL CONDITIONS	PT-1 PAINT 1 (MAIN) MFR.: MOHAWK COLLECTION: TO BE SELECTED BY OWNER	WT-1 WALL TILE BASE MFR.: DAL TILE STYLE: TO BE SELECTED BY OWNER GROUT: TO BE SELECTED BY OWNER
CPT-1 CARPET TILES MFR.: MOHAWK COLLECTION: TO BE SELECTED BY OWNER	PT-2 PAINT 2 (CEILING) MFR.: DAL TILE STYLE: TO BE SELECTED BY OWNER SIZE: 12"X24" GROUT: TO BE SELECTED BY OWNER	PT-3 PAINT 2 (TRIM) MFR.: STRUCTOGLAS COLOR: TO BE SELECTED BY OWNER
FT-1 FLOOR TILE MFR.: DAL TILE STYLE: TO BE SELECTED BY OWNER SIZE: 12"X24" GROUT: TO BE SELECTED BY OWNER		
FRP FIBERGLASS REINFORCED PANEL MFR.: STRUCTOGLAS COLOR: TO BE SELECTED BY OWNER		

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planning
project managementAddition:
ARCADIA
MOTEL3433 W CHINNEN BLVD.
GARDEN CITY, ID 83714**SCHEDULES & DETAILS**

Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

2329 A501.DWG

File Name:

Revisions:

A5.01

Arcadia Motel Renovation

ELEVATE CHINDEN, LLC

3433 W. Chinden Boulevard, Boise, Idaho



General Notes:

1. THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
2. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK INDICATED IN THESE PLANS AND SPECIFICATIONS. ANY ITEM INDICATED IN THESE PLANS, BUT NOT ITEMIZED IN THE BID DOCUMENTS, WILL BE INCLUDED UNDER A BID SCHEDULE ITEM TO WHICH IT MOST PERTAINS.
3. THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS AND SPECIFICATIONS, CALL FOR EXPLANATIONS OF ANY DOCUMENTS WHICH ARE NOT CLEAR, AND MAKE A DETERMINATION AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO CONTRACT. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR IN HIS PART AND/OR HIS NEGLIGENCE AND/OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE.
4. THE CONTRACTOR SHALL CONTACT DIALINE 48 HOURS PRIOR TO ANY EXCAVATION. 1-800-342-1585 OR 811.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREETS, SIDEWALKS, OR EXISTING STRUCTURES DURING THE CONSTRUCTION OF THIS PROJECT, AND SHALL REPAIR SUCH DAMAGE TO THE SATISFACTION OF THE GOVERNING AGENCY, AT NO EXTRA COST TO THE OWNER.
6. ALL EXISTING CONDITIONS AND STRUCTURES NOT SPECIFICALLY NOTED FOR REMOVAL, SHALL BE RETAINED AND PROTECTED. EXISTING CONDITIONS AND STRUCTURES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. ALL CONTRACTORS WORKING WITHIN THE PUBLIC RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM ADA COUNTY HIGHWAY DISTRICT AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
8. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE ISPCW AND THE ACHD SUPPLEMENTAL SPECIFICATIONS. NO EXCEPTIONS TO THESE STANDARDS WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE GOVERNING AGENCY.
9. THE CONTRACTOR SHALL PERFORM ALL CLEARING AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK INDICATED ON THESE PLANS AND SPECIFICATIONS.
10. THE LAND GROUP, INC. DOES NOT AND CANNOT GUARANTEE THE ACCURACY OF WORK DONE BY OTHERS AND INCLUDES THIS INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE OWNER'S REPRESENTATIVE TO REQUEST CLARIFICATION OF DISPUTED CONDITIONS AND INFORMATION SHOWN ON THESE PLANS AND INFORMATION SHOWN ELSEWHERE. IN THE EVENT THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT OFFICIAL CLARIFICATION FROM THE OWNER'S REPRESENTATIVE, HE SHALL BE LIABLE FOR THE COST OF CORRECTIVE WORK AND SHALL REPAIR OR RECONSTRUCT THE FAULTY WORK TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, ERECTING AND MAINTAINING THE REQUIRED MATERIALS, EQUIPMENT AND MANPOWER NECESSARY FOR PUBLIC SAFETY AND TRAFFIC CONTROL WITHIN THE PROJECT LIMITS AND ON THE APPROACHES TO THE PROJECT.
12. THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
13. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THESE PLANS ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DEMONSTRATE ALL EXISTING FACILITIES; HOWEVER, THE LAND GROUP INC. AND THE CONTRACTOR SHALL NOT BE HELD LIABLE FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HERE, OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH MAY BE DISCOVERED BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

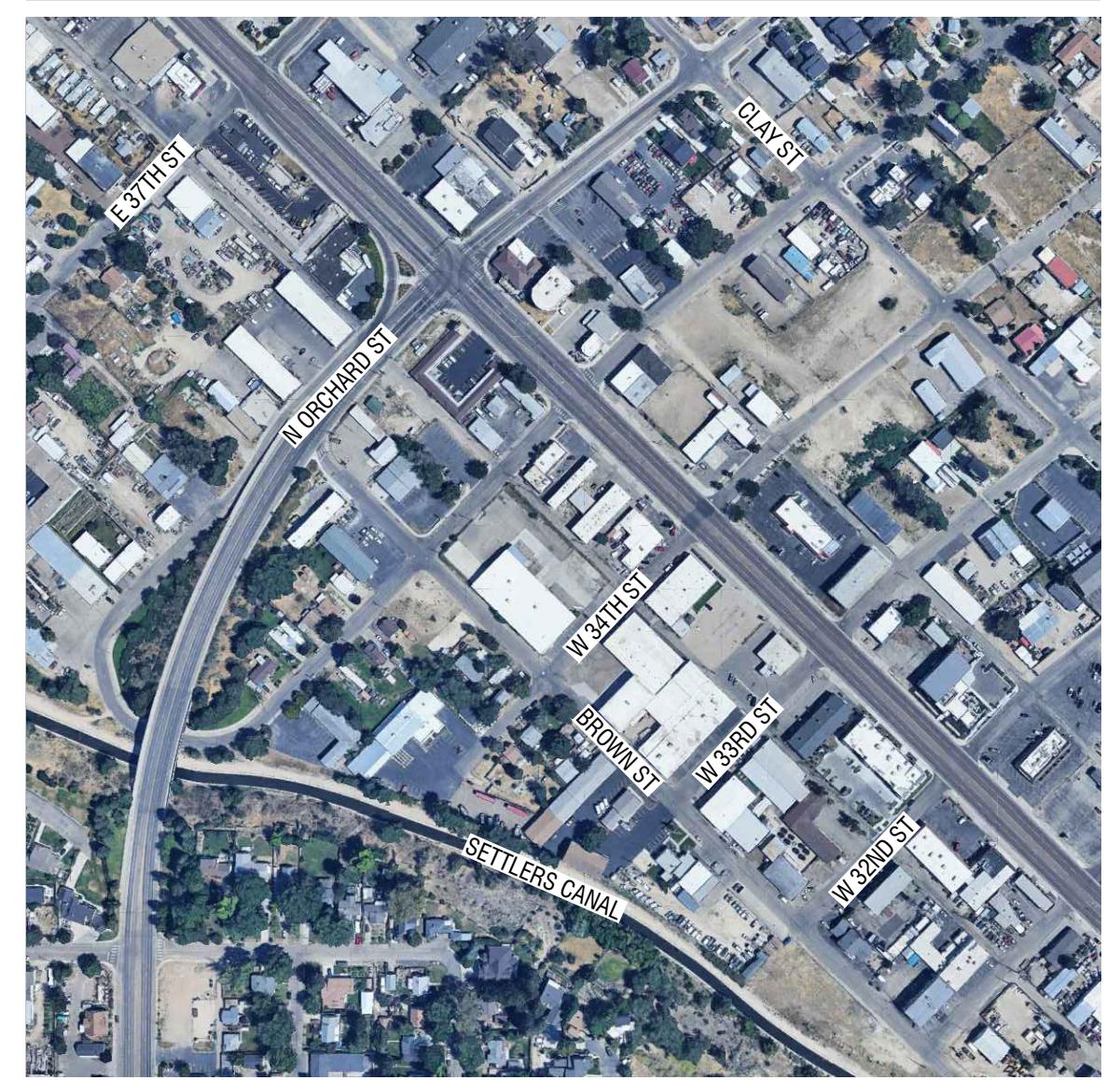
Grading & Drainage Notes:

1. GENERAL NOTES ARE MADE A PART OF THE GRADING & DRAINAGE NOTES BY THIS REFERENCE. ALL CONTRACTORS AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO SAID NOTES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE IDAHO SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THESE PLANS AND THE PROJECT SPECIFICATIONS.
3. CONTRACTOR SHALL HAVE AN APPROVED SET OF PLANS ON SITE AT ALL TIMES. ONLY THESE PLANS SHALL BE USED BY THE PROJECT CONTRACTOR(S). USE OF ANY NON APPROVED SET OF PLANS ON THE JOB SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER.
4. ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
5. CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS NOTED ON THIS PLAN AND NOTIFY DESIGN ENGINEER WHEN ELEVATIONS DO NOT MATCH PLANS.
6. WASTE SOIL SHALL BE HAULED TO AN OFFSITE DISPOSAL SITE FURNISHED BY THE CONTRACTOR.
7. ALL FINISHED GRADES SHALL BE SMOOTH AND UNIFORM.
8. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. PROVIDE POSITIVE DRAINAGE TO ALL CATCH BASINS, DRAINAGE STRUCTURES, CURB CUTS, AND DRAINAGE WINDOWS.
9. ALL CONCRETE SIDEWALKS SHALL HAVE A MINIMUM OF ONE PERCENT (1%) CROSS SLOPE UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL COORDINATE CONNECTION OF ALL ROOF DRAINAGE DOWN SPOUTS AND BUILDING PLUMBING. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT LOCATION OF DRAINAGE CONNECTION POINTS.
11. ALL CHANGES REQUIRE APPROVAL BY THE DESIGN ENGINEER AND LANDSCAPE ARCHITECT.
12. ALL DRAINAGE CONVEYANCE AND INFILTRATION FACILITIES MUST BE INSPECTED BY THE DESIGN ENGINEER OR HIS/HER QUALIFIED REPRESENTATIVE. PROVIDE INSPECTION REQUEST A MINIMUM OF 48 HOURS IN ADVANCE.
13. ALL STORM DRAINAGE PIPELINE SHALL BE ADS N-12 (PIPE) DRAINAGE PIPE (SOLID WALL AND PERFORATED) OR ASTM 3034, SDR 35 PVC AS SHOWN ON THE PLANS.
14. ALL NON GRATED STORM DRAIN MANHOLE COVERS SHALL BE MARKED "STORM DRAIN".
15. CONCRETE COLLARS SHALL BE Poured AT ALL STORM DRAINAGE INLETS AND MANHOLES. COLLARS SHALL BE PLACED IN ACCORDANCE WITH ISPCW SD-616. CONCRETE COLLARS ARE NOT REQUIRED FOR MANHOLES OR STORM DRAINAGE INLETS LOCATED IN LANDSCAPE AREAS ON NON-HARD SURFACES.
16. PIPE TRENCH SHALL CONFORM TO DIVISION 300 OF THE LATEST EDITION OF THE ISPCW AND SD-301. BEDDING AND BACKFILL SHALL BE CONSTRUCTED PER SECTIONS 305 AND 306 OF THE ISPCW.
17. PIPE LENGTHS SHOWN ARE NOT EXACT. ACTUAL INSTALLATION LENGTHS MAY VARY SLIGHTLY. LENGTHS ARE SHOWN FOR GENERAL INFORMATION ONLY.
18. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND IMPROVEMENTS. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS RESULTING FROM THE CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
19. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL CONCRETE AND DEBRIS FROM LANDSCAPE PLANTER AREAS PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIALS BY THE LANDSCAPE CONTRACTOR.
20. ALL PROPOSED STORM DRAINAGE CATCH BASIN INLETS AND MANHOLES SHALL BE COVERED WITH FILTER FABRIC BY THE STORM DRAIN CONTRACTOR TO PREVENT CONTAMINATION OF STORM DRAINAGE FACILITIES. FABRIC SHALL NOT BE REMOVED UNTIL AFTER CONSTRUCTION IS COMPLETE AND LANDSCAPE TURF AREAS HAVE MATURED.
21. CARE SHALL BE TAKEN TO PREVENT DIRT AND OTHER SUPERFLUOUS MATERIALS FROM ENTERING STORM DRAINAGE FACILITIES DURING CONSTRUCTION.

Elevation Datum:

THE ELEVATION DATUM OF THESE PLANS IS NAVD '88.

Vicinity Map:



Project Contacts:

DEVELOPER / OWNER
ELEVATE CHINDEN, LLC

ARCHITECT
RUDEN ARCHITECTS

CIVIL ENGINEER / LANDSCAPE ARCHITECT
THE LAND GROUP, INC.
462 E. SHORE DR., SUITE 100
EAGLE, IDAHO 83616
208-939-4041
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CHRISTOPHER HAWKINS, RLA
lacie@thelandgroupinc.com
christopher@thelandgroupinc.com

Sheet Index:

Sheet Number	Sheet Title
C1.00	COVER & NOTES
ON-SITE	
C2.00	SITE PLAN
C2.50	SITE DETAILS
OFF-SITE	
C3.10	EXISTING CONDITIONS AND DEMOLITION PLAN
C3.20	SITE PLAN
C3.30	GRADING PLAN

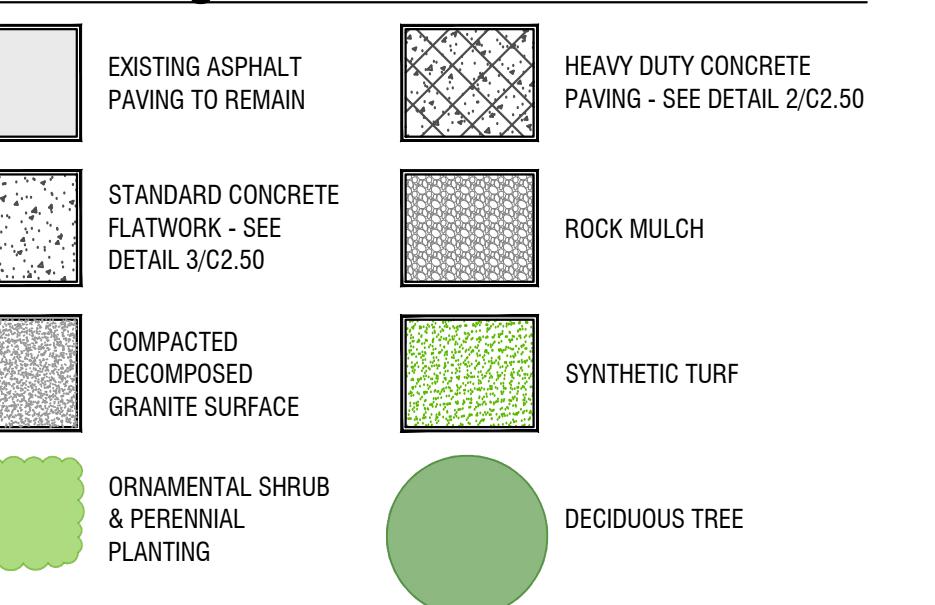
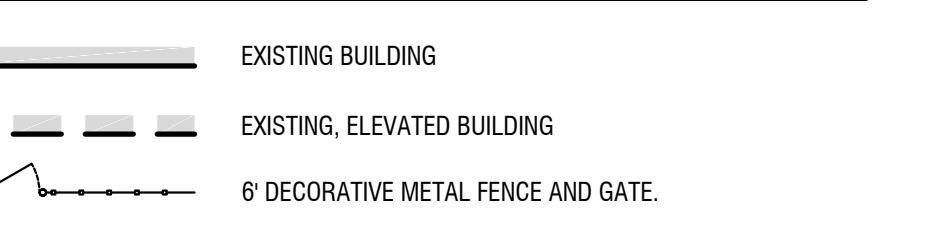

Project No.: 123456
Date of Issue: 11/29/2023
Project Milestone: Progress Set

On-Site Site Plan

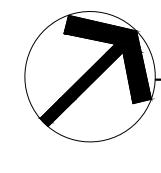
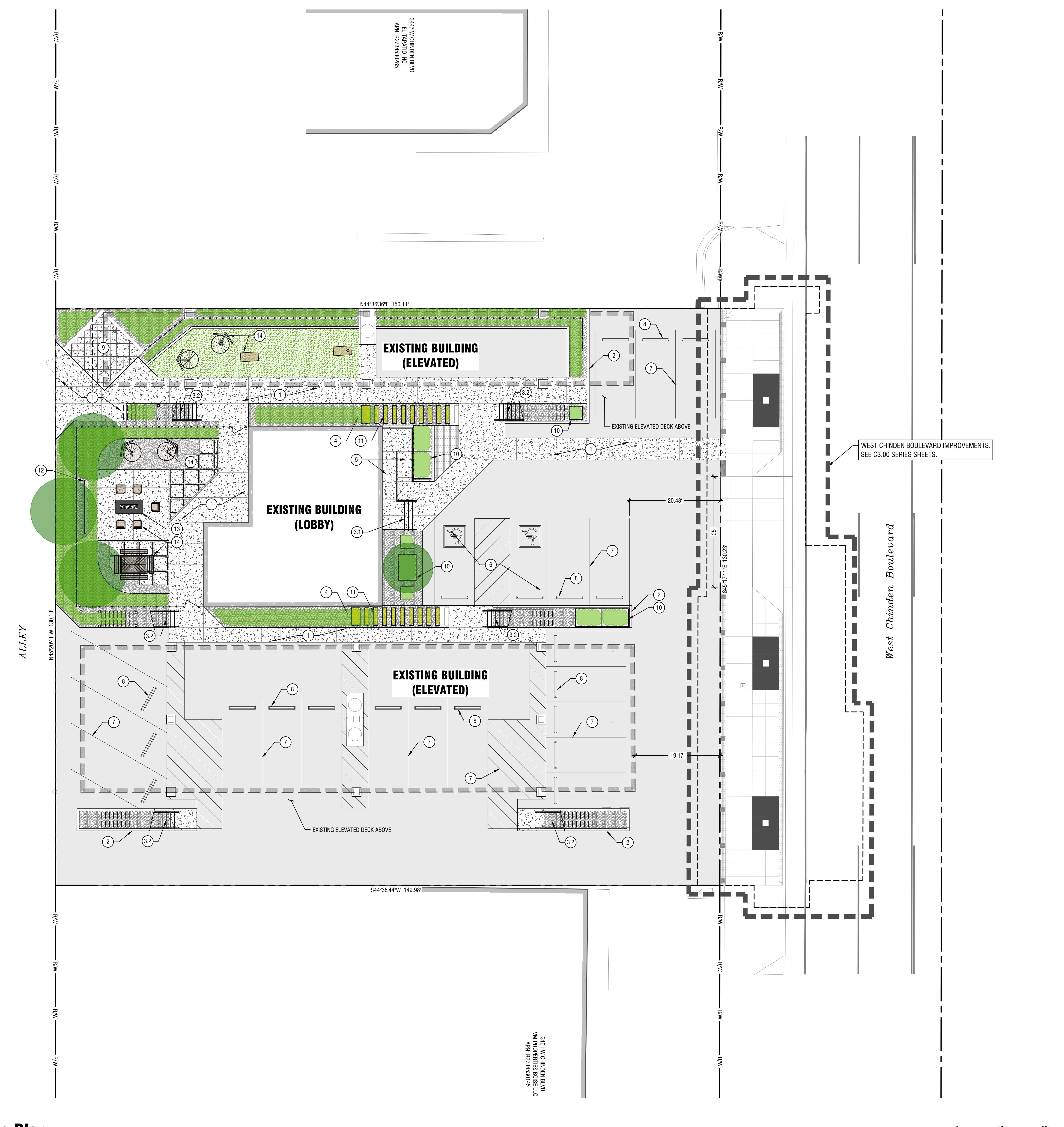
C2.00

Sheet Notes:

- A. CONTRACTOR SHALL COMPLY WITH CONSTRUCTION NOTES ON SHEET C1.00.
- B. CONTRACTOR SHALL REPORT TO ENGINEER ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.
- C. ON-SITE TOPOGRAPHIC SURVEY NOT COMPLETED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK. CONTRACTOR SHALL VERIFY ADA COMPLIANCE IN-FIELD THROUGHOUT SITE.
- D. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- E. CONTRACTOR SHALL AT ALL TIMES, PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION. DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.
- F. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE ENGINEER AND/OR THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. WHEREVER CONCRETE FLATWORK ABUTS BUILDINGS OR COLUMNS, IT SHALL HAVE AN EXPANSION JOINT.
- I. PROVIDE JOINTS AS SHOWN ON PLANS AND PER DETAIL 4/C2.50. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWORK THAT DOES NOT CONFORM TO THE DESIGN.
- J. TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
- K. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE OF SIDEWALKS AND PEDESTRIAN RAMPS SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2% CROSS SLOPE OR HAVE A CROSS SLOPE LESS THAN 1%.

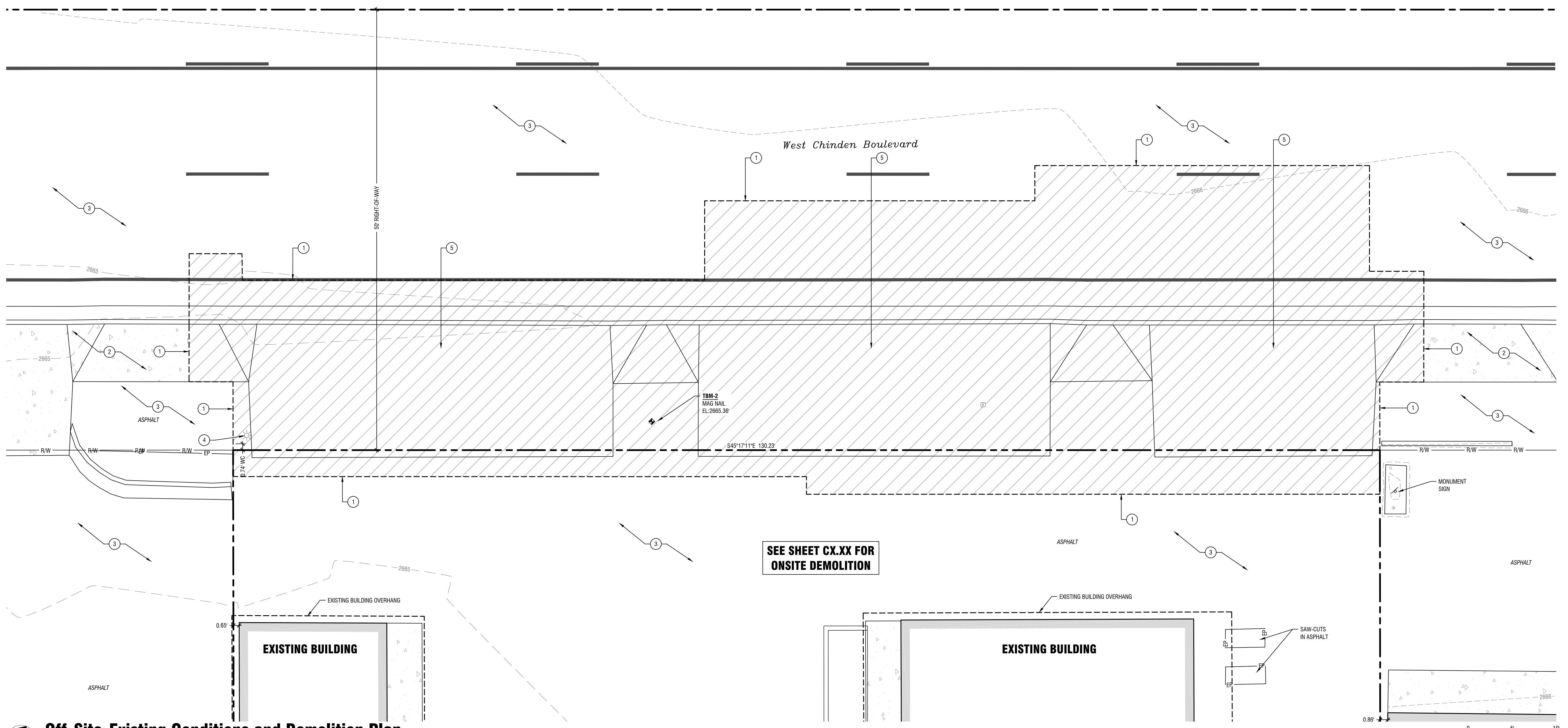
Material Legend:

Line Legend:

Keynotes:

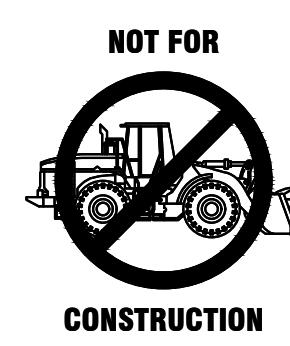
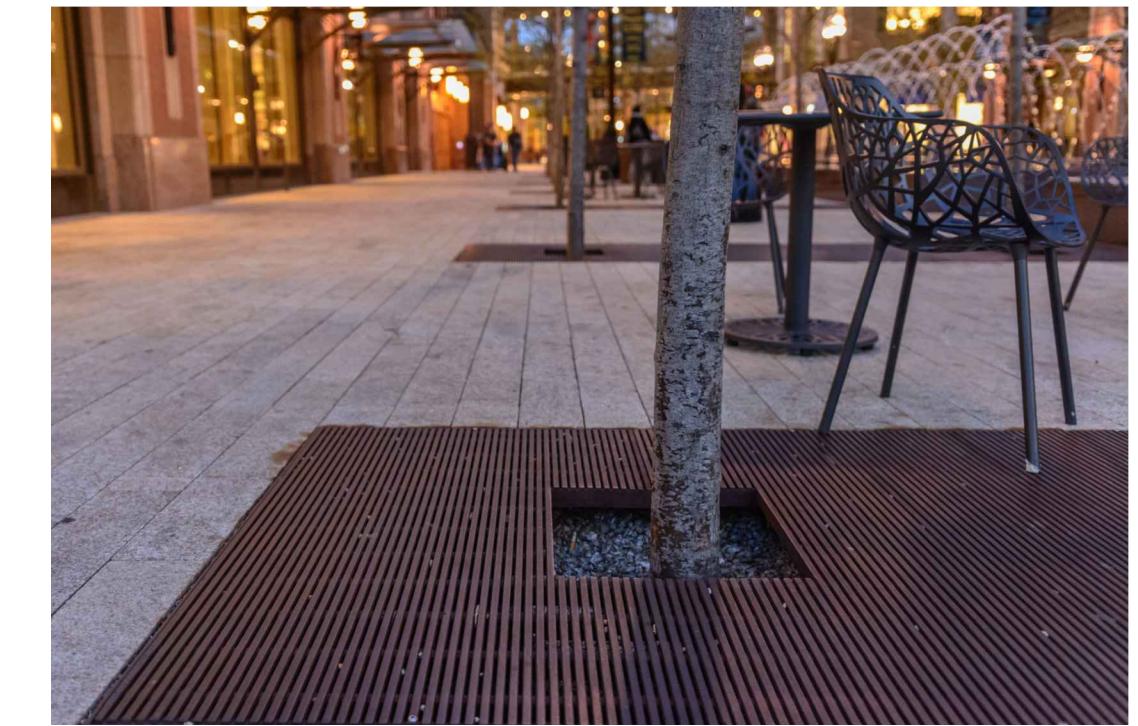
1. REMOVE EXISTING ASPHALT PAVEMENT AND REPLACE WITH CONCRETE FLATWORK TO MATCH GRADES. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
2. CONSTRUCT 6-IN WIDE RIBBON CURB PER DETAIL 1/C2.50.
3. CONSTRUCT STAIR AND HANDRAIL. SLOPES OF LANDINGS AT TOP AND BOTTOM OF STAIRS NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
- 3.1. PER DETAIL 5/C2.50.
- 3.2. TO UPPER LEVEL PER ARCHITECTURAL PLANS.
4. EXISTING STAIRS TO BE CONVERTED INTO LANDSCAPE PLANTER. REFER TO LANDSCAPE PLANS.
5. CONSTRUCT RAMPS AND HANDRAIL. PER DETAIL 6/C2.50. SLOPES SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. SLOPES OF LANDINGS AT TOP AND BOTTOM OF RAMPS NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
6. ADA ACCESSIBLE PARKING STALL. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY ADA COMPLIANCE IN FIELD.
7. PAINTED 4' WIDE PARKING STALL STRIPING, COLOR: WHITE, TYPICAL.
8. INSTALL CONCRETE PARKING BUMPER PER DETAIL 9/C2.50, TYPICAL.
9. CONSTRUCT TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
10. COMMERCIAL PLANTER, PER DETAIL 10/C2.50.
11. COMMERCIAL PLANTERS ON EXISTING STAIRS, SIMILAR TO DETAIL 10/C2.50.
12. DECORATIVE METAL SCREEN, PER DETAIL 11/C2.50.
13. FIRE TABLE, PER DETAIL 12/C2.50.
14. SITE FURNITURE OR YARD GAMES, FOR REFERENCE ONLY.


On-Site Site Plan

Horizontal Scale: 1" = 10'

0 10' 20'




1 Bollard
Scale: NTS

2 Tree Grate
Scale: NTS

Sheet Notes:

- A. CONTRACTOR SHALL COMPLY WITH CONSTRUCTION NOTES ON SHEET C1.00.
- B. CONTRACTOR SHALL REPORT TO ENGINEER ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.
- C. PROVIDE JOINTS AS SHOWN ON PLANS AND PER DETAIL 40C-50. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWORK THAT DOES NOT CONFORM TO THE DESIGN.
- D. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- E. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR A DECISION PRIOR TO COMMENCING WITH THE WORK.
- F. CONTRACTOR SHALL REPAIR ALL LANDSCAPE AND IRRIGATION AREAS DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS.
- G. CONTRACTOR SHALL AT ALL TIMES PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION. DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.
- H. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

Keynotes:

1. SAWCUT EXISTING PAVEMENT TO PROVIDE A NEAT, VERTICAL JOINT. ALL REMOVED CONCRETE ASPHALT SHALL BE DISPOSED OF OFF-SITE.
2. CONSTRUCT CURB AND CATCH PLATE GUTTER TYPE 2 PER ITD SD 615-1.
3. CONSTRUCT CONCRETE SIDEWALK ADJACENT TO CURB PER ITD SD 614-1.
4. CONSTRUCT OFFSET SIDEWALK DRIVEWAY PER ITD SD 614-2.
5. MATCH EXISTING STRIPING
6. EXISTING STREET LIGHT. RETAIN AND PROTECT.
7. TREE GRATE PER DETAIL 2/THIS SHEET. TYPE: JAMISON TREE GRATE BY URBAN ACCESSORIES. SIZE: 6' x 12', ADA COMPLIANT.
8. METAL BOLLARD. SEE DETAIL 1/THIS SHEET.

Material Legend:

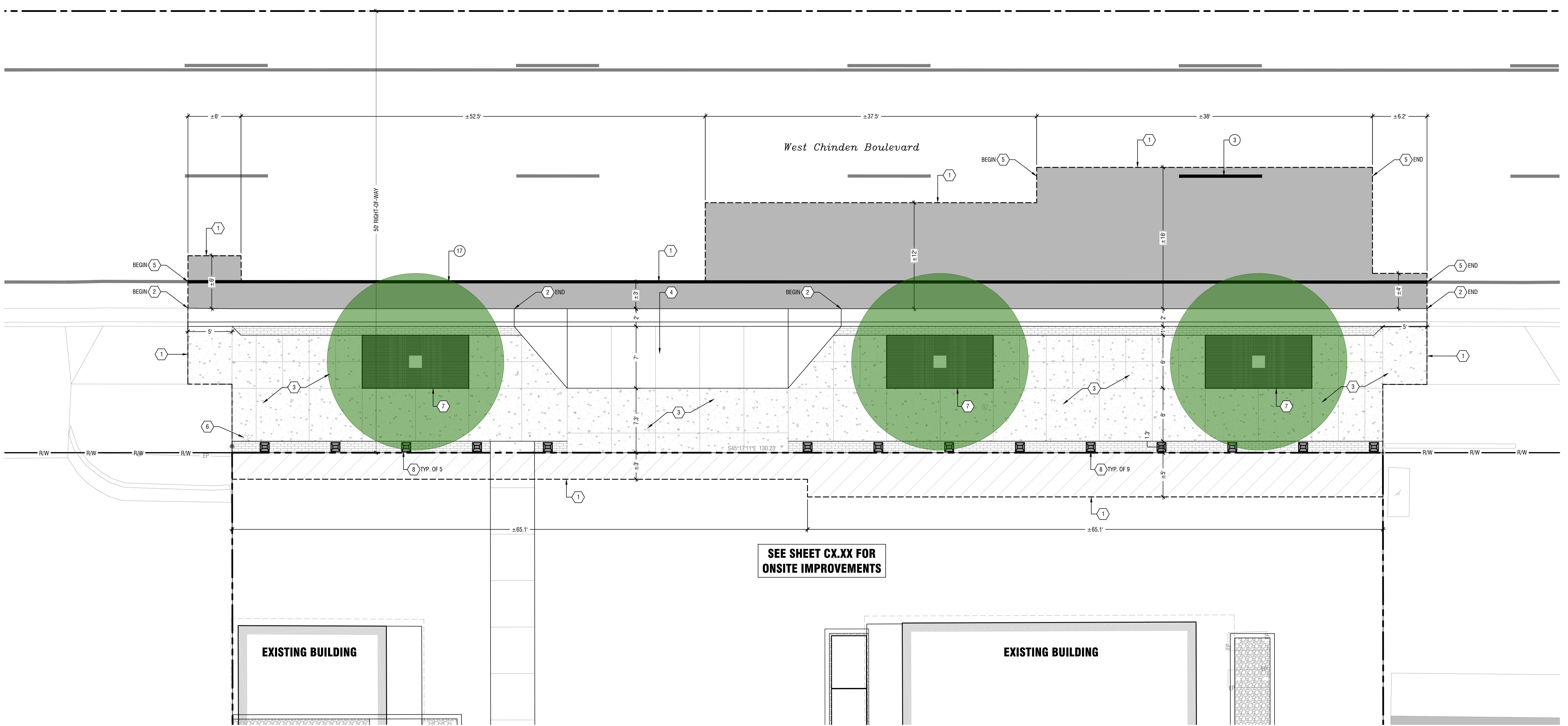
	PAVEMENT MATCHES WITH ITD R/W SHALL MATCH THE EXISTING STREET SECTION.
	CONCRETE SIDEWALK PER ITD SD 614-1.
	ON-SITE PAVEMENT TO MATCH EXISTING PAVEMENT SECTION
	DECORATIVE PAVERS

Curb Legend:

	CURB AND CATCH PLATE GUTTER TYPE 2 PER ITD SD 615-1.
--	--

Pavement Marking Legend:

	4' WHITE SKIP (7' LINE + 18' GAP) (FOR SPEED ZONES 40 MPH OR LESS)
	4' SOLID WHITE


Off-Site Site Plan

Horizontal Scale: 1" = 5'


Sheet Notes:

- A. CONTRACTOR SHALL COMPLY WITH CONSTRUCTION NOTES ON SHEET C1.00.
- B. CONTRACTOR SHALL REPORT TO ENGINEER ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.
- C. PROVIDE JOINTS AS SHOWN ON PLANS AND PER DETAIL 40C-50. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWORK THAT DOES NOT CONFORM TO THE DESIGN.
- D. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- E. CONTRACTOR SHALL REPAIR ALL LANDSCAPE AND IRRIGATION AREAS DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS.
- F. CONTRACTOR SHALL PROVIDE FLATWORK REINFORCEMENT PER DETAIL 10C2.50 AT ALL UTILITY STRUCTURES LOCATED WITHIN FLATWORK, WHETHER OR NOT SHOWN ON THIS PLAN.
- G. CONTRACTOR SHALL AT ALL TIMES PROTECT STORM DRAIN FACILITIES FROM CONTAMINATION. DO NOT PILE MATERIALS ON OR NEAR STORM DRAIN FACILITIES.
- H. THE CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

Keynotes:

1. SAWCUT EXISTING PAVEMENT TO PROVIDE A NEAT, VERTICAL JOINT. ALL REMOVED CONCRETE ASPHALT SHALL BE DISPOSED OF OFF-SITE.
2. CONSTRUCT CURB AND CATCH PLATE GUTTER TYPE 2 PER ITD SD 615-1.
3. CONSTRUCT CONCRETE SIDEWALK ADJACENT TO CURB PER ITD SD 614-1.
4. CONSTRUCT OFFSET SIDEWALK DRIVEWAY PER ITD SD 614-2.
5. MATCH EXISTING STRIPING
6. EXISTING STREET LIGHT: RETAIN AND PROTECT.
7. TREE GRATE PER DETAIL X/CX.XX. TYPE: XXXXXXXXXX. SIZE: 6' x 12', ADA COMPLIANT.
8. DECORATIVE LIGHTING.

Material Legend:

PAVEMENT MATCHES WITH ITD R/W SHALL MATCH THE EXISTING STREET SECTION.

CONCRETE SIDEWALK PER ITD SD 614-1.

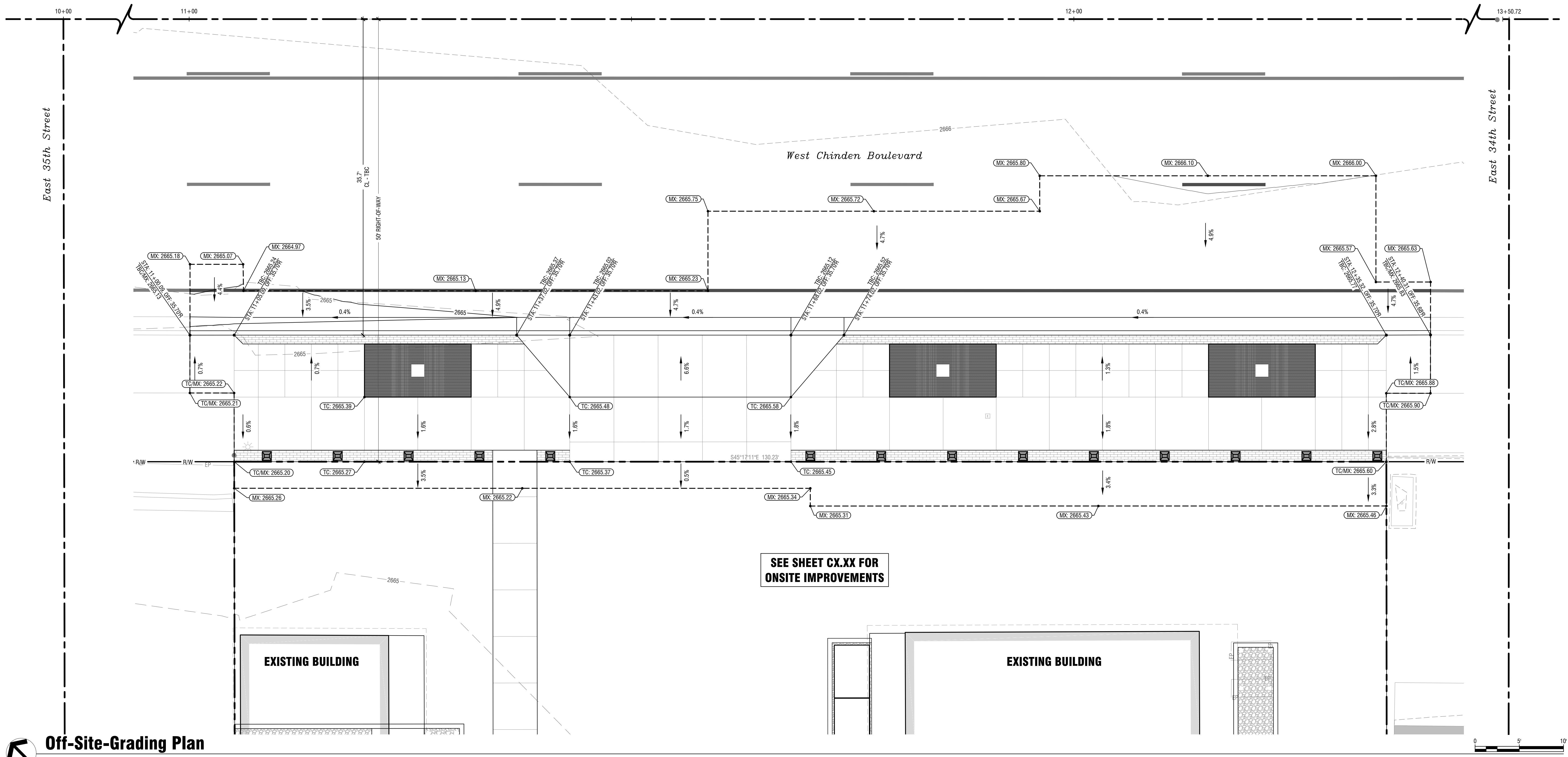
DECORATIVE PAVING

Curb Legend:

CURB AND CATCH PLATE GUTTER TYPE 2 PER ITD SD 615-1.

Pavement Marking Legend

17 4" SOLID WHITE



STRUCTURAL NOTES

M

GENERAL:

- Unless noted otherwise, all work shall conform to the requirements of the 2018 International Building Code. It is the Contractor's responsibility to verify all existing conditions at the job site, and to fully coordinate all dimensions and conditions of details with other disciplines. Any field conditions requiring construction that is different from that shown on the plans shall be brought to the attention of the Architect. Any conflicting details shown on drawings shall be brought to the attention of the Architect prior to the construction of said detail.
- All support of construction loads shall be the responsibility of the Contractor. All shoring and bracing required for the protection of the life and property during the construction process shall be the responsibility of the Contractor. All procedures of soil excavation, backfill, and support of adjacent property during earthwork shall be the responsibility of the Contractor.
- All dimensions indicated on plans shall be to face of studs, face of concrete block, face of rough concrete, centerline of columns, bottom of metal deck, and top of slab, unless noted otherwise. Refer to Architectural drawings for all dimensions not indicated on structural drawings.
- The following design criteria shall be enforced:

 - Roof Live Load: 20 PSF
 - Roof Snow Load:

 - Snow Risk Category: II (Categories I, II, III, IV)
 - Ground Surface Load: 1.0 (Risk I=0.80; II=1.00; III=1.10; IV=1.20)
 - Exposure Factor: Cf = 1.00
 - Thermal Factor: Ct = 1.00
 - Slope Factor: Cs = 1.00
 - Flat Roof Snow Load: Pf = 25 PSF
 - Sloped Roof Snow Load: Ps = 25 PSF

 - Rain Live Load: 5.2 PSF
 - Floor Live Load: 80 PSF
 - Walkway Live Load: 60 PSF
 - Stair Live Load: 100 PSF
 - Roof Dead Load: 20 PSF
 - Floor Dead Load: 20 PSF
 - Walkway Dead Load: 30 PSF
 - Stair Dead Load: 30 PSF
 - Wind Force:

 - Wind Risk Category: II (Categories I, II, III, IV)
 - Wind Speed, 3 Second Gust: V35 = 115 MPH (Risk I=Fig. 26.5-1C; II=Fig. 26.5-1A; III & IV=Fig. 26.5-1B)
 - Wind Exposure Category: B (Surface Roughness B, C & D)
 - Roof Net Uplift Due to Wind: 10 PSF (Minimum = 5psf WSD, 8psf USD)

Main Wind-Force Resisting System: (Factored = Multiplied by 0.6 for WSD). Based on ASCE-7 Directional Procedure, MWRS Chapter 27, Part 2: Simple Diaphragm Buildings as defined in Section 26.2. For all other structures use Chapter 27, Part 1.

- Wall Pressures: (Minimum = 10psf WSD, 16psf USD)
 - Longitudinal: Ph = Total = 19.26 PSF; Windward = 11.94 PSF; Po = Total = 18.83 PSF; Windward = 11.51 PSF; Ph & Po; Leeward = -7.32 PSF; Side = -10.40 PSF; Internal = +/-3.24 PSF;
 - Transverse: Ph = Total = 18.97 PSF; Windward = 11.99 PSF; Po = Total = 18.54 PSF; Windward = 11.56 PSF; Ph & Po; Leeward = -6.98 PSF; Side = -10.45 PSF; Internal = +/-3.24 PSF;

- Roof Pressures:
 - Load Case 1: Zone 1 = -18.71 PSF; Zone 2 = -13.46 PSF; Zone 3 = -19.09 PSF; Zone 4 = -17.00 PSF; Zone 5 = -13.95 PSF
 - Load Case 2: Zone 1 = 2.73 PSF; Zone 2 = -3.83 PSF; Zone 3 = 0.00 PSF; Zone 4 = 0.00 PSF; Zone 5 = 0.00 PSF

- Overhang Pressures:
 - Povh: Along Length L (Zone 1) = 14.03 PSF
 - Povh: Along Width B (Zone 3) = 14.32 PSF

Components and Cladding: (Factored = Multiply by 0.6 for WSD). Based on ASCE-7 Directional Procedure, C&C Chapter 30, Parts 1-7. Buildings as defined in Section 26.2.

- Wall and Roof Pressures:

	Zone 1	Zone 2e	Zone 2n	Zone 2r	Zone 3e	Zone 3r	Zone 4	Zone 5
Load Case 1	-39.32	-39.32	-57.29	-57.29	-57.29	-68.10	-23.06	-28.51
Load Case 2	12.87	12.87	12.87	12.87	12.87	12.87	21.27	21.27

- Roof Overhang Pressures:
 - Along Building Width B:

	Roof Pressures	Povh Zone 2n	Povh Zone 3e	Soffit Pressures	Ps Zone 4	Ps Zone 5
Load Case 1	-57.29	-65.90	-78.32	-23.1	-28.5	
Load Case 2	12.9	14.84	14.84	21.3	21.3	

- Along Building Length L:

	Roof Pressures	Povh Zone 2e	Povh Zone 3e	Soffit Pressures	Ps Zone 4	Ps Zone 5
Load Case 1	-39.3	-65.90	-23.1	-28.5		
Load Case 2	12.9	14.84	21.3	21.3		

- Seismic Forces:
 - Seismic Risk Category: II (Categories I, II, III, IV)
 - Seismic Importance Factor: 1.00 (Risk I=1.00; II=1.00; III=1.25; IV=1.50)
 - Seismic Response Modification Coeff: R = 6.50
 - Seismic Overstrength Factor: O = 3.00
 - Seismic Weight Coeff: SD = 0.17
 - Spectral Response Coefficient: SD1 = 0.174
 - Seismic Response Coefficient: Cs = 0.0487
 - Site Class: D
 - Seismic Force Category: Seismic Force Resisting System: Building Wall
 - Design Base Shear: Per 2018 IBC
 - Analysis Procedure: Equivalent Force

- Load combinations for Allowable Stress Design (IBC 1605.3.2: Alternative Basic load Combination)

D + L (LR or S or R)	D + L + 0.6(w)	D + 0.6(w) + S/2	D + L + S + 0.6(w)/2	D + L + S + E/1.4	0.9(D+F) + 1.0E + 1.6H
1.4(D+F)	1.2(D+F) + 1.6(L+H) + 0.5 (LR or S or R)	1.2(D+F) + 1.6(LR or S or R) + (f1*L or 0.5W)	1.2(D+F) + 1.0W + (f1*L + 1.6H + 0.5(LR or S or R))	1.2(D+F) + 1.0E + (f1*L + 1.6H + 1.2*5)	f1 = 1.0 for floors in places of public assembly, for live loads in excess of 100 psf and for parking garage live loads.
1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	f1 = 0.9 for other live loads.
1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	f2 = 0.9 for roof configurations that do not shed snow off the structure.
1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	f2 = 0.2 for other roof configurations. See also IBC Section 1605.2 Exceptions.

- Components and cladding: Use the most stringent wind load obtained from code and the project specification; at a minimum use 10 PSF. Cladding manufacturer shall consider increase pressure coefficients at building corners, eaves, and rakes.

- Load combinations and Factors for strength design.

| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
|------------------------|------------------------|------------------------|------------------------|------------------------|
| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |

- Where wind loads are calculated in accordance with Chapter 26 of ASCE 7, the coefficient w in the above formulas should be taken as 1.3. For other wind loads w may be taken as 1.0. Flat roof snow loads of 30 psf or less need not be combined with seismic loads. If flat loads exceed 30 psf, 20 percent shall be combined with seismic loads. As an alternative to the combination above, the basic load combinations of IBC Section 1605.3.1 may be used.

- Load combinations and Factors for strength design.

| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
|------------------------|------------------------|------------------------|------------------------|------------------------|
| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |

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- Load combinations and Factors for strength design.

| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
|------------------------|------------------------|------------------------|------------------------|------------------------|
| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |

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- Load combinations and Factors for strength design.

| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
|------------------------|------------------------|------------------------|------------------------|------------------------|
| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |

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- Load combinations and Factors for strength design.

| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
|------------------------|------------------------|------------------------|------------------------|------------------------|
| 1.4(D+F) | 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |
| 1.2(D+F) + 1.0E + 1.6H |

- Where wind loads are calculated in accordance with Chapter 26 of ASCE 7, the coefficient w in the above formulas should be taken as 1.3. For other wind loads w may be taken as 1.0. Flat roof snow loads of 30 psf or less need not be combined with seismic loads. If flat loads exceed 30 psf, 20 percent shall be combined with seismic loads. As an alternative to the combination above, the basic load combinations of IBC Section 1605.3.1 may be used.

- Load combinations and Factors for strength design.

1.4(D+F)	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H	1.2(D+F) + 1.0E + 1.6H</th
----------	------------------------	------------------------	------------------------	----------------------------

SCHEDULE OF SPECIAL INSPECTION				
PROJECT SERVICES		APPLICABLE TO THIS PROJECT		
MATERIAL/ACTIVITY	SERVICE	Y/N	EXTENT	COMMENTS
1705.10.3 Wind-resisting Components				
1. Roof cladding	Shop (3) and field inspection	N	Periodic	
2. Wall cladding	Shop (3) and field inspection	N	Periodic	
				IBC 1705.11.1 and 1705.12.2 require special inspections and related testing for structural steel for the seismic force resisting system to comply with the requirements of AISC 341. The registered design professional responsible for the special inspection QA plan which should be provided to the Contractor as a part of the Bid Documents and should be clearly identified as such. AISC recommends that AISC 341 Chapter J, "Quality Control and Quality Assurance" be adopted. AISC 341 includes commentary which will be helpful to engineers specifying project QA plans.
1705.11.1 Structural Steel Special Inspections for Seismic Resistance				
		N		
Inspection of structural steel in accordance with AISC 341	Shop (3) and field inspection	N	In accordance with AISC 341	
1705.11.2 Structural Wood Special Inspections for Seismic Resistance				
1. Inspection of field gluing operations of elements of the seismic-force resisting system	Field inspection	N	Continuous	
2. Inspection of nailing, bolting, screwing and other fastening of components within the seismic-force-resisting system	Shop (3) and field inspection	N	Periodic	
1705.11.3 Cold-formed Steel Light-Frame Construction Special Inspections for Seismic Resistance				
1. Inspection during welding operations of elements of the seismic-force-resisting system	Shop (3) and field inspection	N	Periodic	All welds visually inspected per AWS D1.3.7.1. Exclusion: Seismic Inspections of exterior walls, bracing, diaphragms, drop chords and holdowns if sheathing is gypsum or fiberboard or if sheathing is wood structural panel/steel sheet one side only and fastener spacing is greater than 4 inches o.c.
2. Inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system	Shop (3) and field inspection	N	Periodic	All connections visually inspected.
1705.11.4 Designated Seismic Systems Verification				
Inspection to verify that the component label, anchorage or mounting conforms to the certificate of compliance in accordance with Section 1705.12.3	Field inspection	N	Periodic	
1705.11.5 Architectural Components Special Inspections for Seismic Resistance				
1. Inspection during the erection and fastening of exterior cladding and interior and exterior veneers	Field inspection	N	Periodic	
2. Inspection during the erection and fastening of interior and exterior nonbearing walls	Field inspection	N	Periodic	
3. Inspection during anchorage of access floors	Field inspection	N	Periodic	
1705.11.6 Mechanical and Electrical Components Special Inspections for Seismic Resistance				
1. Inspection during the anchorage of electrical equipment for emergency or standby power systems	Field inspection	N	Periodic	
2. Inspection during the anchorage of other electrical equipment	Field inspection	N	Periodic	
3. Inspection during installation and anchorage of piping systems designed to carry flammable materials and their associated mechanical units	Field inspection	N	Periodic	
4. Inspection during the installation and anchorage of HVAC ductwork that will contain hazardous materials	Field inspection	N	Periodic	
5. Inspection during the installation and anchorage of vibration isolation systems	Field inspection	N	Periodic	
1705.11.7 Storage Racks Special Inspections for Seismic Resistance				
Inspection during the anchorage of storage racks 8 feet or greater in height	Field inspection	N	Periodic	
1705.11.8 Seismic Isolation Systems				
Inspection during the fabrication and installation of isolator units and energy dissipation devices used as part of the seismic isolation system	Shop and field inspection	N	Periodic	
1705.12.1 Concrete Reinforcement Testing and Qualification for Seismic Resistance				Risk Categories III & IV and Seismic Categories C, D, E & F.
1. Review certified mill test reports for the shipment of reinforcement used to resist earthquake-induced flexural and axial forces in reinforced concrete special moment frames, special shear walls, and coupling beams connecting special structural walls	Review certified mill test reports	N	Each shipment	
2. Verify reinforcement weldability of ASTM A615 reinforcement used to resist earthquake-induced flexural and axial forces in reinforced concrete special moment frames, special shear walls, and coupling beams connecting special structural walls	Review test reports	N	Each shipment	
1705.12.2 Structural Steel Testing and Qualification for Seismic Resistance				
Test in accordance with the quality assurance requirements of AISC 341	Shop (3) and field testing	N	Per AISC 341	IBC 1705.11.1 and 1705.12.2 require special inspections and related testing for structural steel for the seismic force resisting system to comply with the requirements of AISC 341. The registered design professional responsible for the special inspection QA plan which should be provided to the Contractor as a part of the Bid Documents and should be clearly identified as such. AISC 341 Chapter J, "Quality Control and Quality Assurance" be adopted. AISC 341 includes commentary which will be helpful to engineers specifying project QA plans.
1705.12.3 Seismic Certification of Nonstructural Components				
Review certificate of compliance for designated seismic system components.	Certificate of compliance review	N	Each submittal	The Registered Design Professional shall specify on the Construction Documents the requirements for certification.
1705.12.4 Seismic Isolation Systems				
Test seismic isolation system in accordance with ASCE 7 Section 17.8	Prototype testing	N	Per ASCE 7	

Addition:

**ARCADIA
MOTEL**
3433 W CHINNEN BLVD.
GARDEN CITY, ID 83714
SPECIAL INSPECTIONS
 Sheet Title:

AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

S0.03.DWG

File Name:

Revisions:

S0.03

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |

M

L

J

H

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F

E

D

C

B

A

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planning
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ENGINEERS, INC.

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ARCADIA
MOTEL

3433 W CHINNEN BLVD.
GARDEN CITY, ID 83714

STRUCTURAL SCHEDULES
Sheet Title:

AS NOTED
Scale:

2329
Project Number:

20 SEPTEMBER 2023
Date:

S0.04.DWG
File Name:

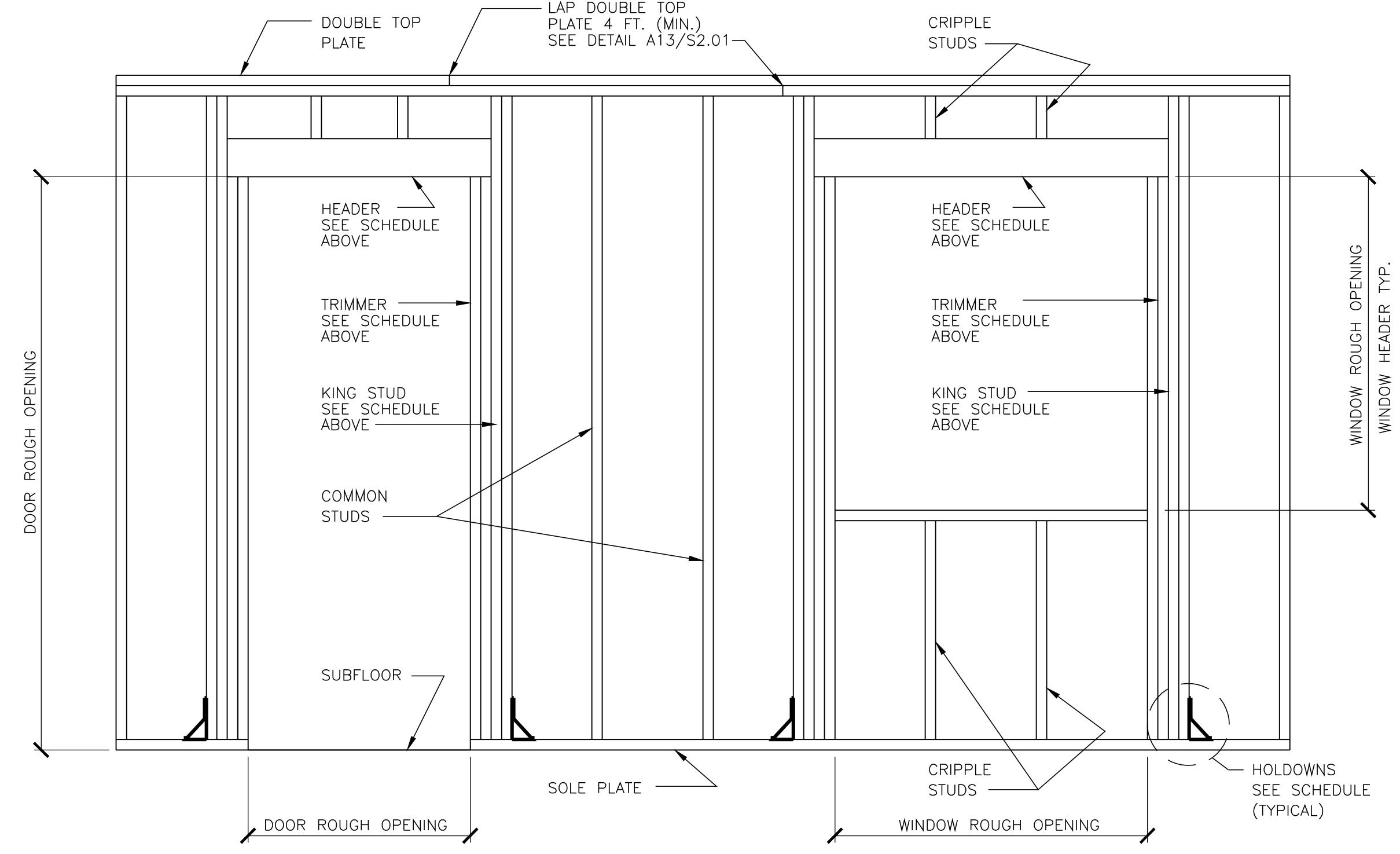
Revisions:

HEADER SCHEDULE				
MARK #	DESCRIPTION	KINGS EA. SIDE	TRIMMERS EA. SIDE	COMMENTS
H1	(2) 2x6	(2) 2x6	(1) 2x6	-
H2	(2) 2x8	(2) 2x6	(1) 2x6	-
H3	3 1/2" x 9 1/4" 1.55E LSL	(2) 2x6	(1) 2x6	-

HOLDOWN SCHEDULE			
MARK #	TYPE	WOOD MEMBER	COMMENTS
①	"SIMPSON" MSTA21	(2) 2x	SEE DETAIL D8/S1.02
②	"SIMPSON" HDU4-SAS2.5	4x6	SEE DETAIL K8/S1.02

SHEAR WALL SCHEDULE				
MARK #	SHEATHING	NAILING	END MEMBERS	SILL ANCHORS
★	7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 6" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2x	2x SILL W/ 1/2" x 7" EMBED. A.B. @ 2'-8" O.C.
★	7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 4" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2x	2x SILL W/ 1/2" x 7" EMBED. A.B. @ 2'-0" O.C.

WOOD WALL FRAMING SCHEDULE					
DESCRIPTION	WALL FRAMING	WALL OPENING	WALL OPENING	TOP PLATE	SILL PLATE
	COMMON STUDS	TRIMMER (EA. END)	KING STUD (EA. END)		
EXTERIOR STUD WALLS	2x6 STUDS @ 16" O.C.	(1) 2x6 OR SEE HEADER SCH.	(2) 2x6 OR SEE HEADER SCH.	(2) 2x6	(1) 2x6 P.T. OR SEE SHEAR WALL SCH.



NOTE: PICTURE IS REPRESENTATIVE ONLY, SEE SCHEDULES FOR ACTUAL MEMBER QUANTITIES.

BEAM SCHEDULE		
MARK #	DESCRIPTION	COMMENTS
B1	3 1/8" x 10 1/2"	24F-V8 GLB

Addition:

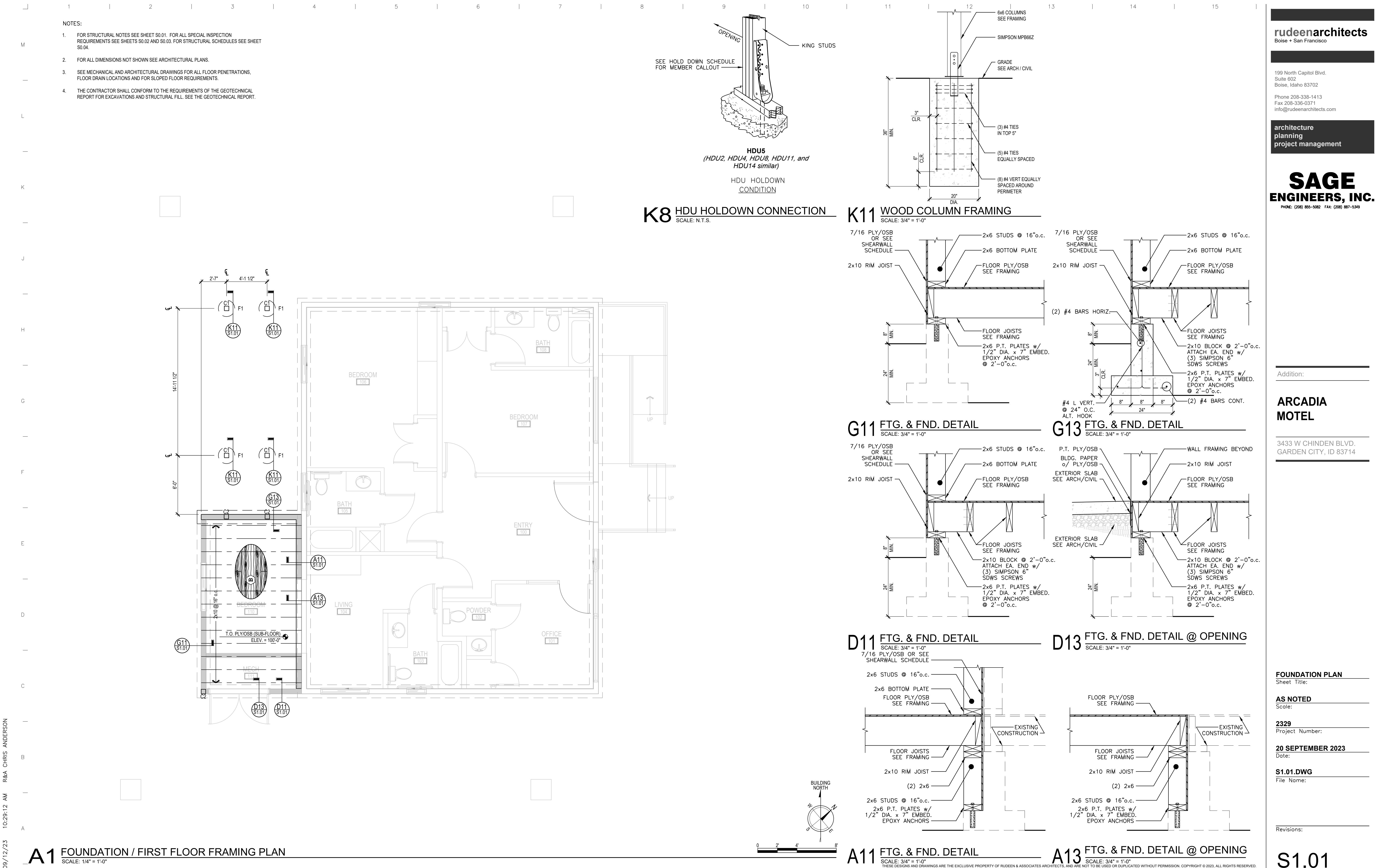
MARK #	DESCRIPTION	CONNECTORS		SIZES		
		TOP	BOTTOM	BASE PLATE	ANCHOR BOLTS	WELD "W"
C1	6x6 DF#2	SEE DETAIL K11/S1.02	SEE DETAIL K11/S1.01	-	-	-
C2	(2) 2x6	SEE DETAIL D13/S1.02	IN WALL FRAMING	-	-	-

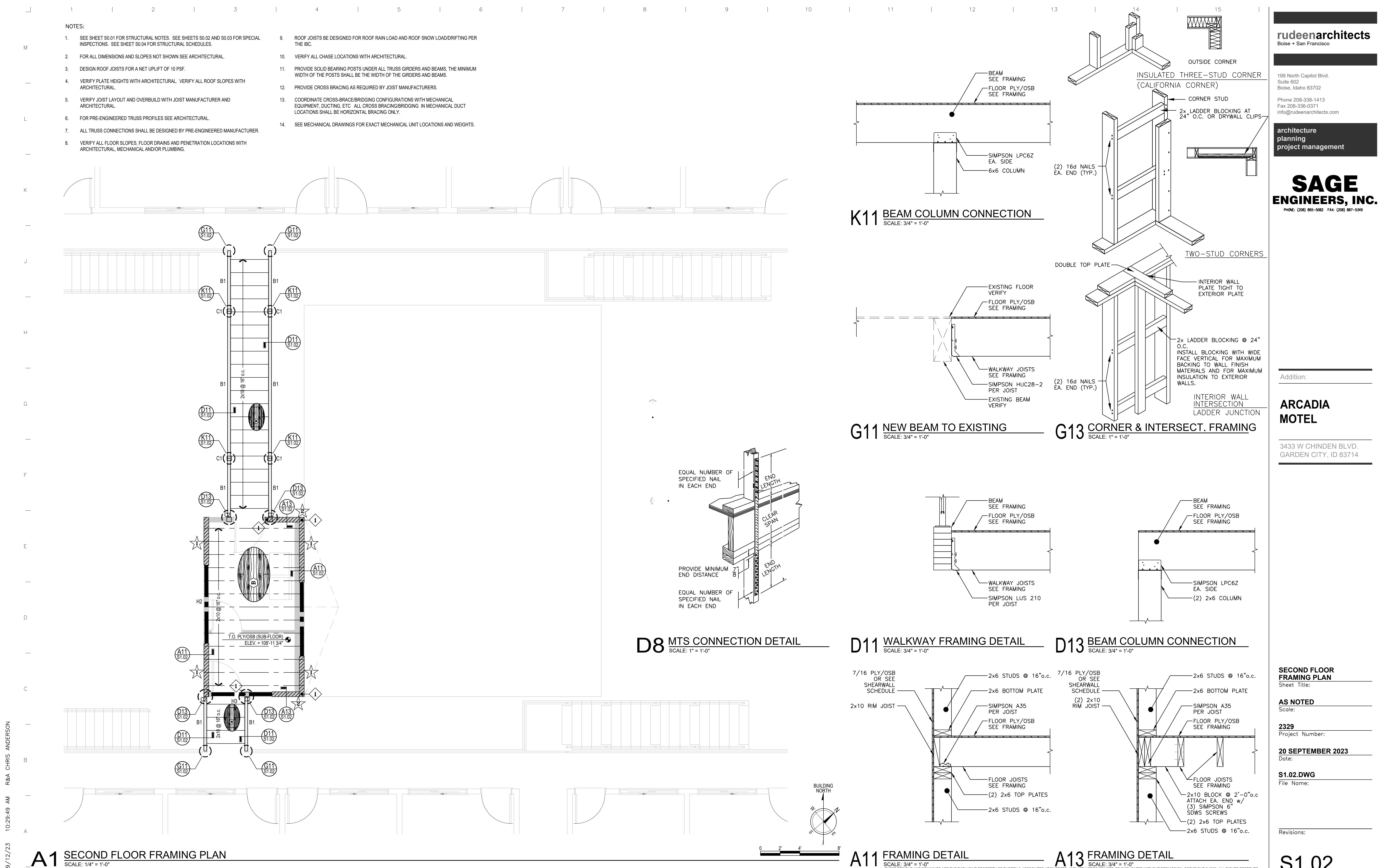
DIAPHRAGM SCHEDULE				
MARK #	MATERIAL	BLOCKED	NAILING	COMMENTS
(A)	15/32" PLY/OSB, 32/16 APA RATED	NO	8d 6" O.C. EDGES, 12" O.C. FIELD	SEE DETAIL K13/S2.01
(B)	3/4" PLY/OSB, 48/24 APA RATED	NO	10d 6" O.C. EDGES, 12" O.C. FIELD	SEE DETAIL K13/S2.01

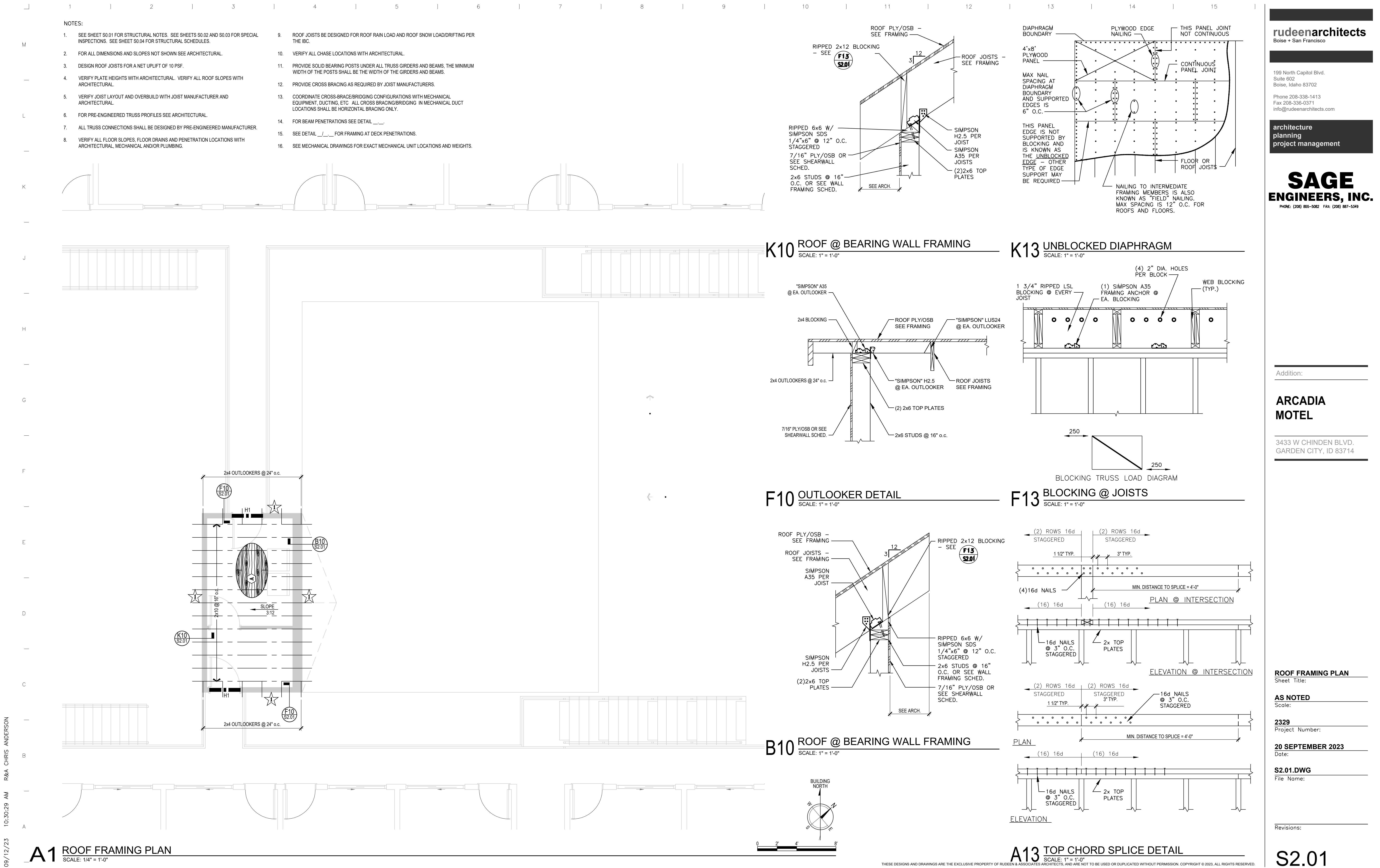
MARK #	DIMENSIONS		REINFORCING		TOP OF FTG. ELEV. RELATIVE TO TOP OF FLOOR=100.00	COMMENTS
	LENGTH	WIDTH	DEPTH	LONGITID.		
F1	20" DIA.	20" DIA.	3'-0"	(6) #4	(6) #4	SITE VERIFY SEE K11/S1.01

MINIMUM ANCHOR BOLT EMBED. IN CONCRETE				
DIAMETER	EMBEDMENT		EDGE DISTANCE "E"	
	A36/A307 (12d)	A325/A449 (17d)	A36/A307 (5d>4")	A325/A449 (7d>4")
1/2"	6"	9"	4"	4"
5/8"	8"	11"	4"	4 3/8"
3/4"	9"	13"	4"	5 1/4"
7/8"	12"	15"	4 3/8"	6 1/8"
1"	12"	17"	5"	7"
1 1/8"	14"	20"	5 5/8"	7 7/8"
1 1/4"	15"	22"	6 1/4"	8 3/4"
1 3/8"	18"	24"	6 7/8"	9 5/8"
1 1/2"	18"	26"	7 1/2"	10 1/2"

NOTES: EMBEDMENT VALUES ARE FOR ANCHOR BOLTS DESIGNED FOR TENSION LOADS.
EDGE DISTANCE IS FOR UNREINFORCED CONCRETE BASED ON CONCRETE SHEAR CONE.







1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
<p>ELECTRICAL LEGEND (LEGEND IS GENERAL IN NATURE. NOT ALL OF THE SYMBOLS SHOWN ARE USED IN THIS PROJECT.)</p> <p>POWER</p> <p> DUPLEX OUTLET. +18" AFF UNO.</p> <p> DUPLEX OUTLET. +18" AFF UNO WITH GROUND FAULT INTERRUPTION PROTECTION.</p> <p> SPECIAL PURPOSE OUTLET. VERIFY SIZE AND TYPE WITH EQUIPMENT SUPPLIER.</p> <p> CONNECTION POINT TO EQUIPMENT SPECIFIED. FURNISHED AND INSTALLED UNDER OTHER SECTIONS. ELECTRICAL CONTRACTOR TO SUPPLY RACEWAY, CONDUCTORS AND MAKE FINAL CONNECTION TO EQUIPMENT UNDER THIS SECTION, UNO.</p> <p>SWITCHES</p> <p> DISCONNECT SWITCH.</p> <p> MOTOR STARTER/CONTACTOR.</p> <p> COMBINATION STARTER AND DISCONNECT.</p> <p> NON-FUSED DISCONNECT SWITCH. NEMA 1 UNO, SIZE AS INDICATED, 3 POLE UNO.</p> <p> FUSED DISCONNECT SWITCH. NEMA 1 UNO, SIZE AS INDICATED, 3 POLE UNO.</p> <p>ONE-LINE</p> <p> BRANCH PANEL.</p> <p> CIRCUIT BREAKER. SIZE AND TYPE AS SPECIFIED.</p> <p> CIRCUIT BREAKER. FRAME SIZE (A') AND TRIP PLUG/RATING (AT), 3 POLE, UNO.</p> <p> GROUND.</p> <p> METER.</p> <p> NEUTRAL.</p> <p> TRANSFORMER.</p> <p>CIRCUITING</p> <p> CONDUIT STUBBED, CAPPED, AND MARKED WITH PULL CORD.</p> <p> CONDUIT UP.</p> <p> CONDUIT DOWN.</p> <p> HOMERUN. PANEL AND CIRCUIT AS INDICATED.</p> <p> CIRCUIT CONCEALED IN CEILING OR WALL. 3/4"-2#12,1#12C UNO.</p> <p> CIRCUIT CONCEALED IN FLOOR OR UNDERGROUND. 3/4"-2#12,1#12C UNO.</p> <p> GROUNDING CONDUCTOR SIZE</p> <p> RACEWAY SIZE</p> <p> CONDUCTOR SIZE</p> <p> CONDUCTOR QUANTITY</p> <p>MISCELLANEOUS</p> <p> JUNCTION BOX.</p> <p> JUNCTION BOX, WALL MOUNTED.</p> <p> SURFACE MOUNTED PANELBOARD/ENCLOSURE. SEE SCHEDULE FOR TYPE.</p> <p> FLUSH MOUNTED PANELBOARD/ENCLOSURE. SEE SCHEDULE FOR TYPE.</p> <p> TRANSFORMER. SEE ONE-LINE FOR TYPE.</p>	<p>SHEET INDEX</p> <p>E0.00 ELECTRICAL COVER SHEET E0.01 ELECTRICAL IECC ENERGY COMPLIANCE E1.00 ELECTRICAL SITE PLAN E2.01 ELECTRICAL POWER PLAN E2.02 ELECTRICAL LIGHTING PLAN E3.00 ELECTRICAL SCHEDULES & DETAILS</p> <p>GENERAL ELECTRICAL NOTES</p> <p>(RE: ALL ELECTRICAL SHEETS)</p> <p>1. ALL ELECTRICAL EQUIPMENT AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, INTERNATIONAL FIRE CODE, AND ALL OTHER STATE AND LOCAL CODES. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IN WRITING IF PORTIONS OF THE DESIGN SET OR FIELD CONDITIONS DO NOT MEET REQUIRED CODES.</p> <p>2. PROVIDE FIRESTOPPING FOR ALL FLOOR, CEILING AND FIREWALL PENETRATIONS FROM ELECTRICAL FIXTURE, DEVICE, RACEWAY, AND CABLE PENETRATIONS. SEE ARCHITECTURAL DRAWINGS FOR FIREWALL ASSEMBLY LOCATIONS.</p> <p>3. ELECTRICAL DEVICES AND LINWORK ARE SHOWN BOLD FOR NEW AND SCREENED FOR EXISTING, UNO.</p> <p>4. FIRE ALARM SYSTEM IS DESIGN BUILT BY ELECTRICAL CONTRACTOR AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 AND ALL OTHER STATE AND LOCAL CODES. PROVIDE AND INSTALL CONDUIT AND CONNECTION FOR FIRE ALARM DEVICES REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO HVAC SHUTDOWN, FIRE ALARM CONTROL PANEL, INITIATING AND ANNUNCIATING CIRCUITS. FIELD INSPECTION IS REQUIRED TO VERIFY THIS INFORMATION PRIOR TO BID.</p> <p>5. PROVIDE AND INSTALL 3/4"CO TO ACCESSIBLE LOCATION ABOVE SUSPENDED CEILING, UNLESS NOTED OTHERWISE FOR DATA, TELEPHONE AND TELEVISION DEVICES, DATA, TELEPHONE AND TELEVISION CABLING ARE NOT PROVIDED UNDER THIS CONTRACT.</p> <p>6. DESIGN OF ELECTRICAL REQUIREMENTS, FOR MECHANICAL EQUIPMENT, IS BASED ON MECHANICAL EQUIPMENT SPECIFIED. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR IF EQUIPMENT PURCHASED IS DIFFERENT FROM THAT SPECIFIED. STILL MEETS DESIGN INTENT, INCLUDING BUT NOT LIMITED TO OVERCURRENT PROTECTION, LOCAL DISCONNECTING MEANS, WIRE SIZING AND DESIGN COSTS.</p> <p>ABBREVIATIONS & DESCRIPTIONS</p> <p>A AC AMPERES AC ABOVE COUNTER; REFER TO ARCHITECTURAL ELEVATIONS FOR REQUIRED HEIGHT. AFC AVAILABLE FAULT CURRENT AFF ABOVE FINISHED FLOOR AGF ABOVE FINISHED GRADE AF AMPERE FRAME AFCI ARC FAULT CIRCUIT INTERRUPT AHU AIR HANDLING UNIT AT AMP TRIP AWG AMERICAN WIRE GAUGE C CONDUIT CB CIRCUIT BREAKER CKT CIRCUIT CM CEILING MOUNTED CO CONDUIT ONLY, PROVIDE PULL-LINE DETAIL (A) EXISTING EF EXHAUST FAN F FUSE G/GND GROUND GF GROUND FAULT INTERRUPTION GFP GROUND FAULT PROTECTION HORSEPOWER J/IB JUNCTION BOX KW KILOWATT MB MAIN BREAKER MCC MOTOR CONTROL CENTER MLO MAIN LUGS ONLY N NEUTRAL NEC NATIONAL ELECTRICAL CODE NTS NOT TO SCALE OFC OWNER FURNISHED CONTRACTOR INSTALLED PH PHOTOCELL PC POLYVINYL CHLORIDE S SWITCH SER SERVICE ENTRANCE RATED TYP TYPICAL UNO UNLESS NOTED OTHERWISE V VOLT VA VOLT AMPERE WP WEATHER PROOF/NEMA 3R XFMX TRANSFORMER</p>	<p>ELECTRICAL SPECIFICATIONS</p> <p>PART 1 – GENERAL</p> <p>1.1 SCOPE OF WORK</p> <p>FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT AND PROVIDE ALL LABOR REQUIRED AND NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND ALL OTHER WORK AND MISCELLANEOUS ITEMS, NOT SPECIFICALLY MENTIONED, BUT REASONABLY INFERRED FOR A COMPLETE INSTALLATION, INCLUDING ALL ACCESSORIES AND APPURTENANCES REQUIRED FOR TESTING THE SYSTEM. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS THAT ALL SYSTEMS BE COMPLETE AND READY FOR OPERATION.</p> <p>1.2 CODE COMPLIANCE</p> <p>ALL WORK AND MATERIALS SHALL COMPLY WITH LATEST RULES, CODES AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO, 2021 THE NATIONAL ELECTRICAL CODE, INTERNATIONAL BUILDING AND FIRE CODE, NFPA, AND OTHER APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS. CODE COMPLIANCE IS MANDATORY. NOTHING IN THESE DRAWINGS AND SPECIFICATIONS PERMITS WORK NOT CONFORMING TO THESE CODES. WHERE WORK IS SHOWN TO EXCEED MINIMUM CODE REQUIREMENTS, COMPLY WITH DRAWINGS AND SPECIFICATIONS.</p> <p>1.3 LICENSE, FEES AND PERMITS</p> <p>ARRANGE FOR REQUIRED INSPECTIONS AND PAY ALL LICENSE, PERMIT, AND INSPECTION FEES.</p> <p>1.4 CONDITIONS AT SITE</p> <p>LINES OF OTHER SERVICES THAT ARE DAMAGED AS A RESULT OF THIS WORK SHALL PROMPTLY BE REPAIRED AT NO EXPENSE TO THE OWNER TO COMPLETE SATISFACTION OF THE OWNER.</p> <p>1.5 SAFETY</p> <p>THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.</p> <p>1.6 GUARANTEE</p> <p>GUARANTEE THE INSTALLATION FREE FROM DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER DATE OF CERTIFICATE OF FINAL PAYMENT AND PROMPTLY REMEDY ANY DEFECTS DEVELOPING DURING THIS PERIOD, WITHOUT CHARGE.</p> <p>1.7 SHOP DRAWINGS AND MATERIALS LISTS</p> <p>SUBMIT TO THE ENGINEER ELECTRONIC COPIES OF COMPLETE SHOP DRAWINGS AND MATERIALS LISTS FOR REVIEW WITHIN THIRTY (30) DAYS AFTER AWARD OF CONTRACT, ALL PROPOSED DEVIATIONS FROM SPECIFICATIONS MUST BE CLEARLY LISTED UNDER A PROMINENT HEADING ENTITLED "DEVIATIONS".</p> <p>1.8 WORKMANSHIP</p> <p>ONLY QUALITY WORKMANSHIP WILL BE ACCEPTED. HAPHAZARD OR POOR INSTALLATION PRACTICE WILL BE CAUSE FOR REJECTION OF WORK.</p> <p>1.9 COORDINATION</p> <p>COORDINATE WORK WITH OTHER TRADES TO AVOID CONFLICT AND TO PROVIDE CORRECT ROUGH-IN AND CONNECTION FOR EQUIPMENT FURNISHED UNDER OTHER TRADES THAT REQUIRE ELECTRICAL CONNECTIONS. VERIFY EQUIPMENT DIMENSIONS AND REQUIREMENTS WITH PROVISIONS SPECIFIED UNDER THIS SECTION. CHECK ACTUAL JOB CONDITIONS BEFORE FABRICATING WORK. REPORT NECESSARY CHANGES IN TIME TO PREVENT NEEDLESS WORK.</p> <p>1.10 CUTTING AND PATCHING</p> <p>ALL CUTTING AND PATCHING REQUIRED FOR WORK OF THIS DIVISION IS INCLUDED HEREIN. COORDINATION WITH GENERAL CONTRACTOR AND OTHER TRADES IS IMPERATIVE.</p> <p>1.11 SITE CLEANUP</p> <p>A. AFTER ALL OTHER WORK HAS BEEN ACCOMPLISHED, CLEAN ALL EXPOSED CONDUIT, FIXTURES, EQUIPMENT, AND SUPPORTS; TOUCH UP PAINT ON ANY EQUIPMENT SCRAPED, SCRATCHED, OR DAMAGED DURING CONSTRUCTION.</p> <p>B. LEAVE ALL AREAS INVOLVING ELECTRICAL WORK IN A CONDITION SATISFACTORY TO THE OWNER. REMOVE ALL GRATES, CARDBOARD, PACKING MATERIAL, WASTE MATERIAL, AND OTHER DEBRIS LEFT OVER FROM CONSTRUCTION.</p> <p>PART 2 – PRODUCTS</p> <p>2.1 MATERIAL APPROVAL</p> <p>ALL MATERIALS MUST BE NEW AND BEAR UL LABEL. MATERIALS THAT ARE NOT COVERED BY UL TESTING STANDARDS SHALL BE TESTED AND APPROVED BY AN INDEPENDENT TESTING LABORATORY OF A GOVERNMENTAL AGENCY APPROVED BY THE AUTHORITY HAVING JURISDICTION.</p> <p>2.2 WIRES AND CABLES</p> <p>A. CONDUCTORS FOR 600V SYSTEMS AND BELOW SHALL BE STRANDED COPPER, #12 AWG MINIMUM.</p> <p>B. INSULATION SHALL BE THHN FOR WET LOCATIONS AND THHN FOR DRY LOCATIONS.</p> <p>2.3 OUTLET BOXES, JUNCTION AND PULL BOXES</p> <p>A. OUTLET BOXES: HOT-DIPPED, GALVANIZED, OR SHERADIZED. SIZE AS REQUIRED WITH 4" SQUARE MINIMUM, FOR FLUSH MOUNTED DEVICES.</p> <p>B. JUNCTION AND PULL BOXES: HOT DIPPED, GALVANIZED, OR SHERADIZED. SIZED ACCORDING TO CODE. LARGER JUNCTION AND PULL BOXES SHALL BE FABRICATED FROM SHEET STEEL, SIZED ACCORDING TO CODE, WITH SCREW-ON COVERS, FINISHED GRAY BAKED ENAMEL.</p> <p>2.4 WIRING DEVICES</p> <p>A. ALL WIRING DEVICES OF ANY ONE GENERAL TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL MATCH THROUGHOUT.</p> <p>B. WIRING DEVICES SHALL BE AS MANUFACTURED BY HUBBELL, GE, LEVITON, P & S, OR BRYANT. NO SUBSTITUTIONS.</p> <p>PART 3 – EXECUTION</p> <p>3.1 – GENERAL</p> <p>A. ELECTRIC SYSTEM LAYOUTS INDICATED ON THE DRAWINGS ARE GENERALLY DIAGRAMMATIC, BUT SHALL BE FOLLOWED AS CLOSELY AS ACTUAL CONSTRUCTION AND WORK OF OTHER TRADES WILL PERMIT.</p> <p>B. CONSULT ALL OTHER DRAWINGS. VERIFY SCALES AND REPORT ANY DIMENSIONAL DISCREPANCIES OR OTHER CONFLICTS TO ARCHITECT BEFORE SUBMITTING BID.</p> <p>C. ALL HOME RUNS ARE INDICATED AS STARTING FROM THE DEVICE NEAREST THE PANEL AND CONTINUING IN THE GENERAL DIRECTION OF THAT PANEL. CONTINUE SUCH CIRCUITS TO THE PANEL AS THOUGH THE ROUTES WERE COMPLETELY INDICATED.</p> <p>D. AVOID CUTTING AND BORING HOLES THROUGH STRUCTURE OR STRUCTURAL MEMBERS WHEREVER POSSIBLE. OBTAIN PRIOR APPROVAL OF ARCHITECT AND CONFORM TO ALL STRUCTURAL REQUIREMENTS WHEN CUTTING OR BORING THE STRUCTURE IS NECESSARY AND PERMITTED.</p> <p>3.2 – ELECTRICAL GROUNDING</p> <p>GROUND ALL ELECTRICAL EQUIPMENT IN ACCORDANCE WITH NEC. IN ADDITION PROVIDE A SEPARATE GROUND WIRE FOR ALL FEEDER AND BRANCH CIRCUITS.</p> <p>3.3 – ELECTRICAL EQUIPMENT INSTALLATION</p> <p>A. HEAD ROOM MAINTENANCE: IF MOUNTING HEIGHTS OR OTHER LOCATION CRITERIA ARE NOT INDICATED, ARRANGE AND INSTALL COMPONENTS AND EQUIPMENT TO PROVIDE THE MAXIMUM POSSIBLE HEADROOM.</p> <p>B. MATERIALS AND COMPONENTS: INSTALL LEVEL, PLUMB, PARALLEL, AND PERPENDICULAR TO OTHER BUILDING SYSTEMS AND COMPONENTS, UNLESS OTHERWISE INDICATED.</p> <p>C. EQUIPMENT: INSTALL TO FACILITATE SERVICE, MAINTENANCE, AND REPAIR OR REPLACEMENT OF COMPONENTS. CONNECT FOR EASE OF DISCONNECTING, WITH MINIMUM INTERFERENCE WITH OTHER INSTALLATIONS.</p> <p>D. RIGHT OF WAY: COORDINATE INSTALLATION OF ELECTRICAL DEVICES WITH OTHER TRADES.</p> <p>3.4 – RACEWAY AND CABLE INSTALLATION</p> <p>A. ABOVE GRADE: RIGID STEEL OR IMC IN WET LOCATIONS, WHERE SUBJECT TO MECHANICAL DAMAGE AND IN CONCRETE OR BLOCK WALLS, EMT IN OTHER LOCATIONS WHERE PERMITTED BY CODE. METAL CLAD ONLY WHERE ALLOWED BY LOCAL AUTHORITY HAVING JURISDICTION.</p> <p>B. CONCEAL RACEWAYS AND CABLES WITHIN FINISHED WALLS, CEILINGS, AND FLOORS, UNLESS OTHERWISE INDICATED.</p> <p>C. INSTALL RACEWAYS AND CABLES AT LEAST SIX (6) INCHES AWAY FROM PARALLEL RUNS OF FLUES AND STEAM OR HOT-WATER PIPES. LOCATE HORIZONTAL RACEWAY RUNS ABOVE WATER AND STEAM PIPING.</p> <p>D. USE TEMPORARY RACEWAY CAPS TO PREVENT FOREIGN MATTER FROM ENTERING.</p> <p>E. MAKE CONDUIT BENDS AND OFFSETS SO INSIDE DIAMETER IS NOT REDUCED. KEEP LEGS OF BENDS IN THE SAME PLANE AND STRAIGHT LEGS OFFSETS PARALLEL, UNLESS OTHERWISE INDICATED.</p> <p>F. USE RACEWAY FITTINGS AND CABLE FITTINGS COMPATIBLE WITH RACEWAYS AND CABLES AND SUITABLE FOR THIS APPLICATION AND LOCATION.</p> <p>G. INSTALL RACEWAYS EMBEDDED IN SLABS IN MIDDLE THIRD OF SLAB THICKNESS WHERE PRACTICAL AND LEAVE AT LEAST 1-INCH OF CONCRETE COVER.</p> <p>1. SECURE RACEWAYS TO REINFORCING RODS TO PREVENT SAGGING OR SHIFTING DURING CONCRETE PLACEMENT.</p>	<p>PART 4 – CONSTRUCTION</p> <p>C. COVER PLATES SHALL BE AS MANUFACTURED BY ARROW HART, SIERRA, LEVITON, OR MULBERRY. COLOR SELECTION BY ARCHITECT/OWNER.</p> <p>D. WHERE INDICATED, PROVIDE GENERAL-DUTY, DUPLEX RECEPTACLES, GROUND-FAULT CIRCUIT INTERRUPTERS: GROUNDING TYPE UL-RATED CLASS A, GROUP 1, 20 AMPERES RATING, 120 VOLTS, 60HZ; WITH SOLID-STATE GROUND-FAULT SENSING AND SIGNALING: WITH 5 MILLIAMPERES GROUND-FAULT TRIP LEVEL; COLOR SELECTION BY ARCHITECT/OWNER.</p> <p>E. CONVENIENCE RECEPTACLES SHALL BE FLUSH WALL TYPE, COLOR SELECTION BY ARCHITECT/OWNER.</p> <p>F. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>G. SPACE RACEWAYS LATERALLY TO PREVENT VOIDS IN CONCRETE.</p> <p>H. INSTALL CONDUIT LARGER THAN 1-INCH TRADE SIZE PARALLEL TO OR AT RIGHT ANGLES TO MAIN REINFORCEMENT, WHERE CONDUIT IS AT RIGHT ANGLES TO REINFORCEMENT, PLACE CONDUIT CLOSE TO SLAB SUPPORT.</p> <p>I. TRANSITION FROM NONMETALLIC TUBING TO RIGID STEEL CONDUIT OR IMC BEFORE RISING ABOVE FLOOR.</p> <p>J. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>K. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>L. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>M. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>N. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>O. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>P. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>Q. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>R. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>S. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>T. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>U. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>V. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>W. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>X. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>Y. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>Z. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>AA. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>BB. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>CC. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>DD. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>EE. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>FF. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>GG. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>HH. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.</p> <p>II. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. 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The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.</p> <p>Kyle Redford - Engineer <i>Kyle Redford</i> 09-19-2023</p> <p>Name - Title Signature Date</p> </div> <div style="width: 55%;"> <p>COMcheck Software Version 4.1.1.0</p> <p>Inspection Checklist</p> <p>Energy Code: 2018 IECC</p> <p>Requirements: 0.0% were addressed directly in the COMcheck software</p> <p>Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. 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State code section C405.2.3.2 Daylight responsive control for applicable spaces, C405.2.3.1 Daylight responsive control function and section C405.2.3.2 Sidelit zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable		C405.2.4 [EL26] ¹	Additional interior lighting control devices for specific uses installed per approved lighting plans.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable		C405.2.4.1 [EL27] ¹	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable		C405.3 [EL6] ¹	Exit signs do not exceed 5 watts per face.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable		Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions	C303.2 [F17] ¹	Furnished OEM instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable		C408.2.5 [F18] ¹	Interior installed lamp and fixture lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Interior Lighting fixture schedule for values.	C408.2.5.1 [F16] ¹	Furnished as-built drawings for electric power systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable		C408.3 [F133] ¹	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable																					
Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions																																																																							
C405.2.3.1 [EL23] ¹	Daylight zones provided with individual controls that control the lights independent of general area lighting. State code section C405.2.3.2 Daylight responsive control for applicable spaces, C405.2.3.1 Daylight responsive control function and section C405.2.3.2 Sidelit zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable																																																																								
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GENERAL NOTES:

- A. CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATING SERVICE PRIOR TO EXCAVATION FOR ELECTRICAL WORK.
- B. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL OTHER SITE DISCIPLINES INCLUDING BUT NOT LIMITED TO TRADES ASSOCIATED WITH WATER, SEWER, AND GAS INSTALLATIONS.
- C. ELECTRICAL CONTRACTOR SHALL COORDINATE UTILITY WORK REQUIRED BY IPCO.
- D. EXTERIOR LIGHTING IS EXISTING TO REMAIN.
- E. REFER TO ONE-LINE DIAGRAM ON SHEET E3.00 FOR CONDUIT AND/OR CONDUCTORS

KEY NOTES:

1. APPROXIMATE LOCATION OF IDAHO POWER COMPANY POLE MOUNTED TRANSFORMER.
2. PROPOSED ROUTING OF NEW UNDERGROUND SERVICE ENTRANCE CONDUIT AND CONDUCTORS. COORDINATE WITH IDAHO POWER COMPANY.
3. PROPOSED LOCATION OF NEW CT ENCLOSURE AND METER.
4. PROPOSED LOCATION OF NEW GUTTER AND ENCLOSED CIRCUIT BREAKERS ABOVE EXISTING FEEDER CONDUITS.
5. APPROXIMATE ROUTING OF EXISTING UNDERGROUND FEEDER CONDUIT AND CONDUCTORS TO BE REUSED AS CONDITIONS PERMIT. NOTED FOR REFERENCE.
6. APPROXIMATE LOCATION OF EXISTING WING PANEL.

Addition:

**ARCADIA
MOTEL**

3433 W CHINEN BLVD.
GARDEN CITY, ID 83714



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ELECTRICAL SITE PLAN
Sheet Title:

AS NOTED
Scale:

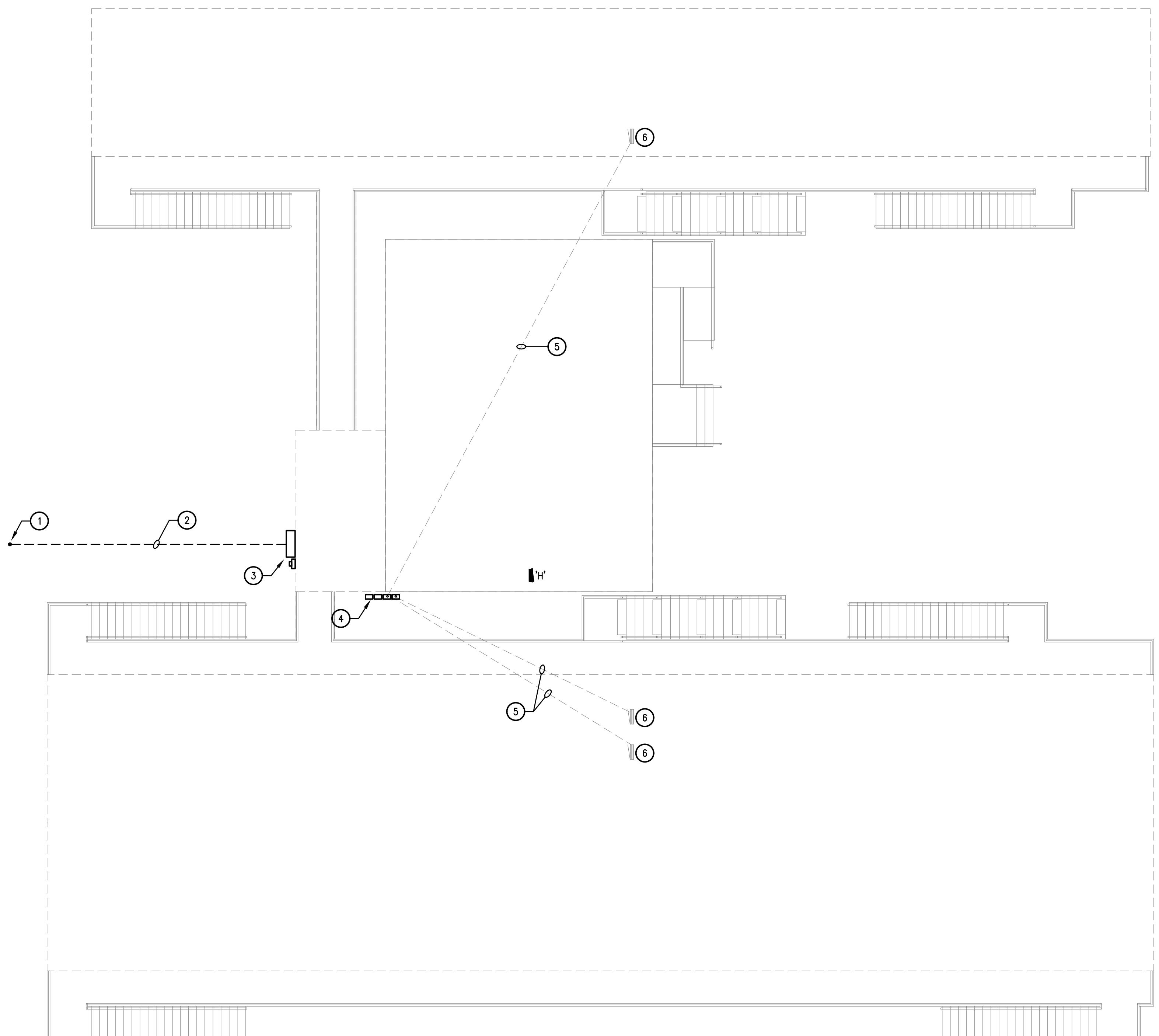
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Project Number:

20 SEPTEMBER 2023
Date:

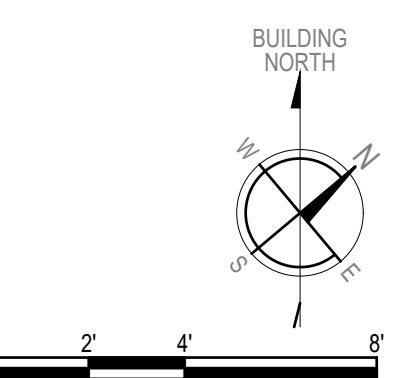
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File Name:

Revisions:

E1.00



E1 ELECTRICAL SITE PLAN
SCALE: 1/8" = 1'-0"



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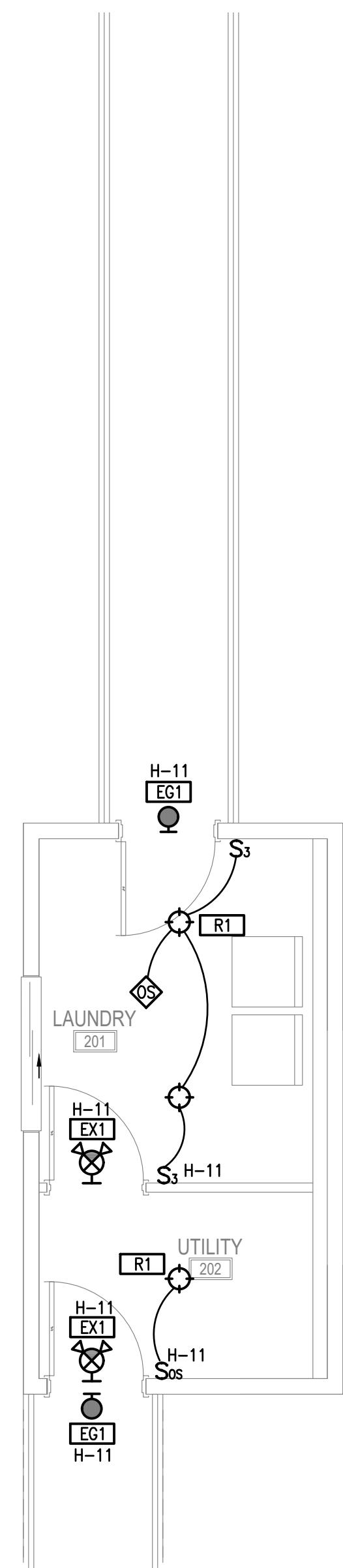
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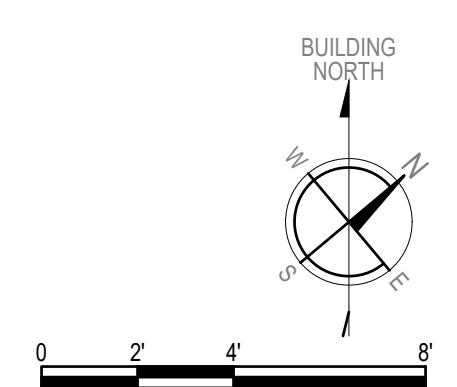
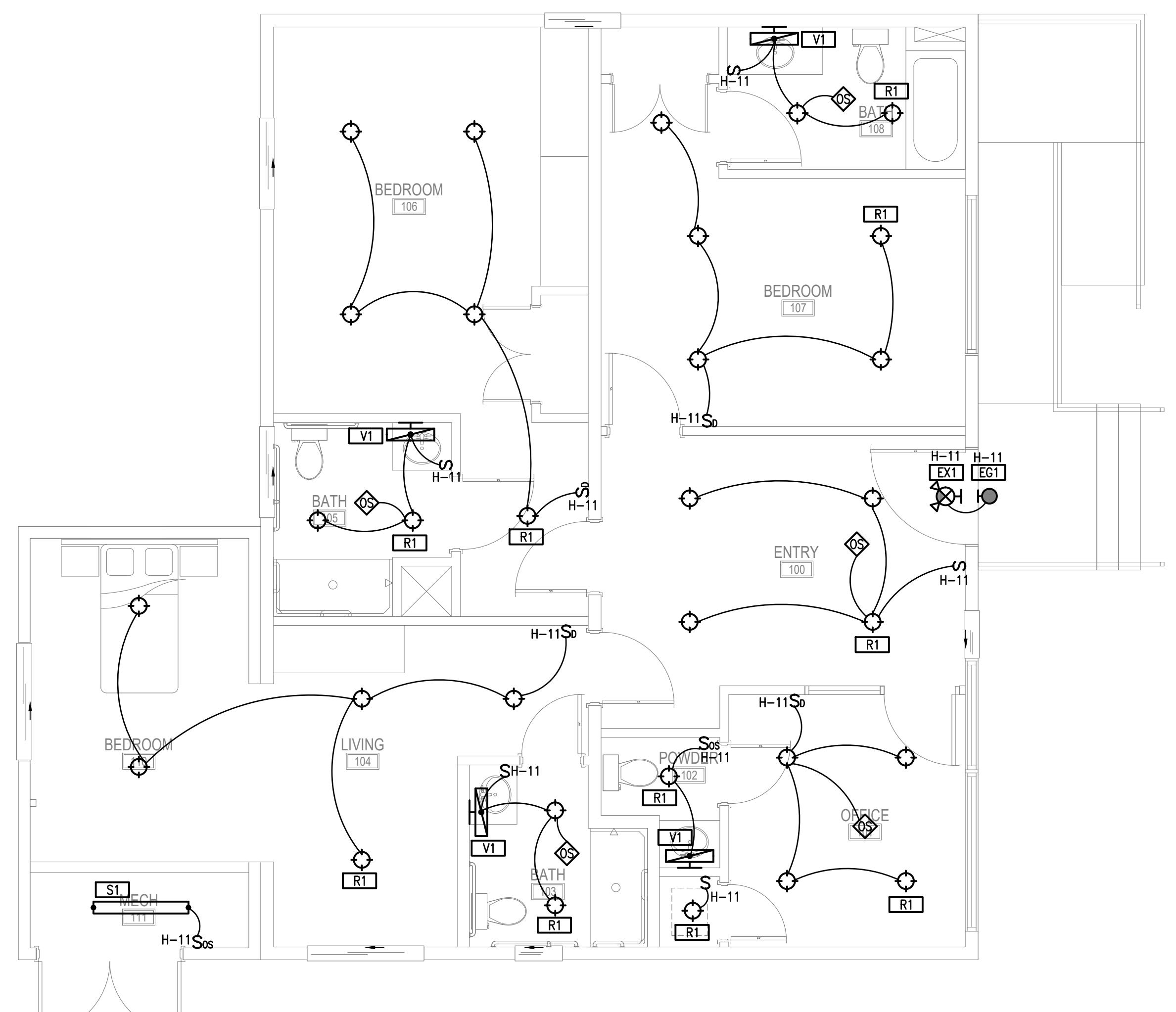
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B

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E1 ELECTRICAL LIGHTING PLAN
SCALE: 1/4" = 1'-0"



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |

PANELBOARD SCHEDULE

PANEL: H	VOLTAGE: 240/120V	PHASE: 1	WIRE: 3	AMPERAGE: 200A	SC RATING: 10KAIC	MAIN: MAIN LUG ONLY
ENTRY: TOP/BOTTOM MOUNTING: FLUSH						
LOADS:	Amperes	VA	LOAD TYPES:	REMARKS:		
PHASE A: 169	2000		1= LIGHTING			
PHASE B: 150	1800		2= RECEPTACLES			
			3= MSC			
			4= MOTOR			
			5= KITCHEN			
TOTAL:	38260					

LOAD (VA)	LOAD SERVED	NOTE	LOAD TYPE	AMPS/	CKT	CKT NO	PHASE	CKT NO	AMPS/	LOAD TYPE	NOTE	LOAD SERVED	LOAD (VA)
1080	REC - ENTRY, BEDROOM	A	2 20 1	1	A	2 20 1	2	2	A	REC - WASHER	1200		
1440	REC - DRYER	A	2 20 1	3	B	4 20 1	2	2	A	REC - WASHER	1200		
1620	REC - BEDROOM	A	2 20 1	5	A	6 20 1	1	2	A	SINK	1200		
1080	REC - LAUNDRY, EXTERIOR, MECHANICAL	A	2 20 1	7	B	6 30 2	2	2	A	REC - DRYER	2150		
900	REC - OFFICE, ENTRY	A	2 20 1	9	A	10	-	2	A	---	2150		
750	LIGHTING	A	1 20 1	11	B	12 30 2	2	2	A	REC - DRYER	2150		
4320	MSC-1		3 50 2	13	A	14	-	2	A	---	2150		
4320	---		3 -	15	B	16	25	2	B	DF-1	2000		
1200	MSO-2		3 15 2	17	A	18	-	3	A	---	2000		
1200	---		3 -	19	B	20	15	2	B	ERV-1	588		
1500	---		A	3 20 1	21	A	22	4	A	---	588		
372	WHT	A	3 20 1	23	B	24	20	1	A	SPARE	---		
52	CR-1	A	3 20 1	25	A	26	20	1	A	SPARE	---		
750	EVH-3A	A	3 20 1	27	B	28	20	1	A	SPARE	---		
1500	EVH-3B,3C	A	3 20 1	29	A	30	20	1	A	SPARE	---		

LOADING BY TYPE	CONNECTED	NEC CODE	Demand Factor	Demand	Notes:
LIGHTING	750 VA	210-19	125%	938 VA	A = DENOTES AFCI BREAKER
RECEPTACLES	17120 VA	220-44	10kVA @ 100%, ELSE @ 50%	13560 VA	
MISC.	19162 VA	220-60	100%	19162 VA	
MOTOR	LARGEST MOT.: 1176	1228 VA	220-50	100% + LARGEST x 25%	1522 VA
KITCHEN	# OF KIT. UNITS:	0 VA	220-56	0 VA	
TOTAL	159 A			147 A	

LUMINAIRE SCHEDULE - ARCADIA MOTEL

LUMINAIRE	MANUFACTURER	CATALOG NUMBER	LAMPS	INPUT WATTS	VOLTAGE	NOTES	MOUNTING	COMMENTS
EG1	LITHONIA	WPX1-LED-P1-30K-MVOLT-E4WH-DBLXD	LED	10	120		SURFACE, ABOVE DOOR	EGRESS WALL PACK
EX1	LITHONIA	LHQM-LED-R-HO	LED	5	120		SURFACE, ABOVE DOOR	COMBINATION EXIT SIGN
R1	LITHONIA	WF6-LED-27K30W35K-90CRI-MW	LED	15	120		RECESSED	DOWNLIGHT
S1	LITHONIA	CLX-L48-3000LM-SEF-FDL-120V-GZ10-35K-80CRI	LED	20	120		SURFACE	STRIP LINEAR
V1	LITHONIA	FMV-CLSL-24IN-MVOLT-30K-90CRI-BN	LED	18	120		SURFACE, ABOVE MIRROR	VANITY

GENERAL NOTES

G1. DESIGN IS BASED ON FIRST NAME MANUFACTURER. ALTERNATE MANUFACTURERS ARE ACCEPTABLE, SUBJECT TO COMPLIANCE WITH THE SPECIFIC REQUIREMENTS, FORM AND FUNCTION OF LUMINAIRE.

G2. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE A COMPLETE AND OPERABLE SYSTEM. PRIOR APPROVALS WILL NOT BE PROVIDED BY ENGINEER.

G3. CONTRACTOR SHALL PROVIDE AND COORDINATE ALL FIXTURE MOUNTING ACCESSORIES.

Customer Requirements for Electric Service

Idaho Power-owned Underground CT Service (1-Ø or 3-Ø up to 800A)

Figure 52 Idaho Power-owned Underground CT Service (1-Ø or 3-Ø up to 800A)

Item	Provided by	Installed by	Maintained by
CTS and meter	Idaho Power	Idaho Power	Idaho Power
CT metering wires and connectors	Idaho Power	Idaho Power	Idaho Power
Conduit below ground	See Note	Idaho Power	Idaho Power
Conductors from transformer to CT enclosure	Idaho Power	Idaho Power	Idaho Power
CT meter base with lugs	Idaho Power	Customer	Idaho Power
1-inch Conduit for CT wiring	Customer	Customer	Idaho Power
Conduit above ground per NEC	Customer	Customer	Customer
CT enclosure with rack per Idaho Power requirements (see page 20)	Customer	Customer	Customer
Connectors for the service conductors at the CT enclosure	Customer	Customer	Customer
Conductors from CT enclosure to service disconnect per NEC	Customer	Customer	Customer
Structure for equipment mounting	Customer	Customer	Customer
Grounding electrode(s), ground conductor and connections per NEC	Customer	Customer	Customer

Non. Customer may provide and/or install conduits below grade at Idaho Power's direction.

Customer Requirements for Electric Service

CT-Metered Services up to 800-Amps

CT Enclosures

CT enclosures are used for Idaho Power-owned services below 600-volts and up to 800-amps that cannot be served using a self-contained meter. Enclosures require a hinged cover and must be "sealable" with a meter seal. A CT mounting rack is required to be installed inside the enclosure that conforms with EUSERC Drawings 328A, 328B, 329A or 329B and related requirements.

Idaho Power will furnish and install the CT bus link and CTs on the mounting rack.

Figure 21 Single-phase CT Enclosure (401-800A)

Figure 22 Three-phase CT Enclosure (201-800A)

CT-Metered Services over 800-Amps

The preferred installation for services over 800-amps is customer-owned with the CTs located at the transformer for underground services or at the weatherhead for overhead services.

Switchgear-mounted metering must be approved by Idaho Power in advance of installation. Bussing must accommodate CTs with a 4-1/2-inch x 3-1/2-inch window size and conform to the EUSERC Standard Drawing numbers; see Figure 23 and the table on the next page.

Figure 23 Switchgear-mounted CTs

ONE-LINE DIAGRAM

SCALE: NTS

MAIN DISTRIBUTION PANEL 'MDP'

ARCADIA MOTEL

3433 W CHINNEN BLVD.
GARDEN CITY, ID 83714

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ELECTRICAL SCHEDULES & DETAILS

Sheet Title:

AS NOTED

Scale:

23RUD06-E300.DWG

Project Number:

20 SEPTEMBER 2023

Date:

File Name:

Revisions:

M	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	
HVAC SPECIFICATIONS																
PART 1 – GENERAL	1.1 GENERAL INTENT	1.5 DELIVERY, STORAGE, AND HANDLING	2.5 ACCESS DOORS AND PANELS	3.6 TESTING AND BALANCING	MECHANICAL LEGEND											
A. THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, AND EQUIPMENT, NECESSARY, OR REASONABLY INFERABLE AS BEING NECESSARY, FOR FURNISHING, INSTALLATION AND TESTING, COMPLETE AND READY FOR SAFE OPERATION OF THE SYSTEMS DESCRIBED HEREIN.	A. DELIVER PRODUCTS TO THE PROJECT PROPERLY IDENTIFIED WITH NAMES, MODEL NUMBERS, TYPES, GRADES, COMPLIANCE LABELS, AND OTHER INFORMATION NEEDED FOR IDENTIFICATION.	A. DUCT MOUNTED ACCESS DOORS: DOUBLE WALL, DUCT MOUNTING, AND RECTANGULAR; FABRICATED OF GALVANIZED SHEET METAL WITH INSULATION FILL AND THICKNESS AS INDICATED FOR DUCT PRESSURE TESTS.	A. EQUIPMENT	 FLEXIBLE DUCTWORK												
B. SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS MADE A THOROUGH EXAMINATION OF THE SITE, AND ALL EXISTING CONDITIONS AND LIMITATIONS WHICH AFFECT THE CONTRACT. CLAIMS SHALL NOT BE MADE FOR LOST, EQUIPMENT, OR EQUIPMENT DAMAGED BECAUSE OF DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE BEEN FORESEEN DURING SUCH AN EXAMINATION.	B. ALL MECHANICAL EQUIPMENT AND MATERIAL ITEMS SHALL BE PROTECTED FROM WEATHER AND VANDALISM prior to ACTUAL INSTALLATION. PUMPS, AND OTHER ROTATING EQUIPMENT, SHALL NOT BE ROTATED DURING SHIPMENT OR CONSTRUCTION. EQUIPMENT SCRATCHED OR MARRED DURING SHIPMENT OR CONSTRUCTION SHALL BE RESTORED TO ORIGINAL "NEW" CONDITION. THIS INCLUDES COMPLETE PAINTING OF THE EQUIPMENT IF NECESSARY TO PROVIDE EXACT PAINT MATCH.	B. PROVIDE NUMBER OF HINGES AND LOCKS AS FOLLOWS:	 RETURN GRILLE													
C. THE DRAWINGS INDICATE DIAGRAMMATICALLY THE EXTENT, GENERAL CHARACTER, AND LOCATION OF THE WORK TO BE PERFORMED, WHERE MINOR ADJUSTMENTS OF THE WORK ARE NECESSARY FOR PURPOSES OF FABRICATION, THE CONTRACTOR SHALL MAKE THESE ADJUSTMENTS, AND ADJUSTMENTS WILL NOT ADD COMPENSATION, WHERE SUCH ADJUSTMENTS AFFECT FUNCTIONAL OR AESTHETIC DESIGN OF THE WORK, SHELL FIRST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.	C. IMMEDIATELY UPON RECEIPT, CONTRACTOR SHALL INSPECT ALL EQUIPMENT AND MATERIAL FOR SHIPPING DAMAGE AND REPLACE ANY DEFECTIVE ITEMS AT NO INCREASE TO CONTRACT AMOUNT.	C. LESS THAN 12 INCHES SQUARE: SECURE WITH TWO SASH LOCKS.	 EXHAUST GRILLE													
D. SITE UTILITIES: THE MECHANICAL DOCUMENTS INDICATE CONNECTION LOCATION OF VARIOUS BUILDING SERVICES, AND THE CONTRACTOR SHALL PROVIDE THE SAME. DRAWS THE INVERT ELEVATION, PIPE SLOPE, GRADE, PIPE SIZE AND SEPARATION WITHIN TRENCH WORK, NOTIFY ARCHITECT OR ENGINEER OF ANY DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS.	D. COORDINATE MECHANICAL EQUIPMENT INSTALLATION WITH OTHER BUILDING COMPONENTS PRIOR TO ORDERING OR FABRICATION OF ADJOINING WORK.	D. UP TO 12 INCHES SQUARE: TWO HINGES AND TWO SASH LOCKS.	 ROUND DUCTWORK BREAK													
E. COMPLY WITH ALL LOCAL AND STATE CODES REGARDING SEISMIC SUPPORT AND ISOLATION. NOT ALL SEISMIC REQUIREMENTS ARE SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL MEET THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION FOR SEISMIC SUPPORT/ISOLATION OF HIS WORK.	E. COORDINATE MECHANICAL EQUIPMENT INSTALLATION WITH OTHER BUILDING COMPONENTS PRIOR TO ORDERING OR FABRICATION OF ADJOINING WORK.	E. UP TO 24 BY 4 INCHES: THREE HINGES AND TWO COMPRESSION LATCHES.	 DUCTWORK BREAK													
1.2 GENERAL COORDINATION	1.6 SEQUENCING AND SCHEDULING	2.6 EQUIPMENT CURBS AND SUPPORT	3.7 CONTROLS AND ELECTRICAL COMPONENTS													
A. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF A SATISFACTORY, COMPLETE, AND FULLY OPERATIONAL PIECE OF WORK IN ACCORDANCE WITH TRUE INTENT OF THE DRAWINGS AND SPECIFICATIONS.	A. COORDINATE MECHANICAL EQUIPMENT INSTALLATION WITH OTHER BUILDING COMPONENTS PRIOR TO ORDERING OR FABRICATION OF ADJOINING WORK.	A. ROOF MOUNTED EQUIPMENT: PROVIDE FACTORY CURB TO MATCH EQUIPMENT PROVIDED. CURB TO MATCH ROOF SLOPE, TYPE, AND INSULATION DEPTHS FOR PROPER EQUIPMENT MOUNTING (ACCOUNT FOR APPLICABLE ACCESSORIES SUCH AS ECONOMIZERS AND ERVS).	 DUCTWORK RISE													
B. CONTRACTOR SHALL CONSULT ALL DRAWINGS FOR THE PROJECT TO DETERMINE THAT THE WORK AND EQUIPMENT WILL FIT AS PLANNED.	B. COORDINATE THE INSTALLATION OF SUPPORTING DEVICES AND SET SLEEVES IN POURED-IN-PLACE CONCRETE AND OTHER STRUCTURAL COMPONENTS. THEY ARE CONSIDERED PART OF THE STRUCTURE AND ARE NOT TO BE REMOVED DURING THE PROCESS OF CONSTRUCTION TO ALLOW FOR MECHANICAL INSTALLATIONS.	B. GROUND/FLOOR MOUNTED EQUIPMENT: PROVIDE CONCRETE HOUSE-KEEPING PAD AT LEAST 4" THICK AND AT LEAST 6" LARGER THAN THE EQUIPMENT BEING SUPPORTED.	 DUCTWORK DROP													
C. THE LOCATION OF PIPING, DUCTS, EQUIPMENT, ETC., SHALL BE CHECKED TO ENSURE CLEARANCE FROM OPENINGS, STRUCTURAL MEMBERS, CABINETS, LIGHTS, OUTLETS AND EQUIPMENT HAVING FIXED LOCATIONS. THIS SHALL BE ACCOMPLISHED PRIOR TO FABRICATION OF PIPE OR DUCTS.	C. SEQUENCE, COORDINATE, AND INTEGRATE INSTALLATIONS OF MECHANICAL MATERIALS AND EQUIPMENT FOR EFFICIENT FLOW OF THE WORK. COORDINATE INSTALLATION OF LARGE EQUIPMENT REQUIRING POSITIONING PRIOR TO CLOSING IN THE BUILDING.	C. PREPARE TEST REPORTS WITH PERIODIC DRAWS, A NUMBER AND IN SEQUENCE STARTING AT PUMP TO DUCT, PROVIDE SIGHT SIZE, BLOWN FLOWS AGAINST APPROVED PUMP FLOW RATE, CORRECT VARIATIONS THAT EXCEED PLUS OR MINUS 5 PERCENT.	 SPIN-IN SUPPLY (WITH VOLUME DAMPER)													
D. PROVIDE ALL MECHANICAL EQUIPMENT, ACCESSORIES, AND SUPPORTS, AS REQUIRED, IF IT BECOMES NECESSARY DUE TO EXISTING OBSTACLES OR INSTALLATION OF OTHER TRADES SHOWN ON ANY OF THE PROJECT DRAWINGS AND SUCH CONFLICT COULD HAVE BEEN AVOIDED BY PROPER COORDINATION BETWEEN TRADES OR PROPER PRE-PLANNING OF WORK, SUCH REQUIRED CHANGES SHALL BE MADE BY THE CONTRACTOR AT NO EXTRA COST. THESE CHANGES ARE TO BE RECORDED ON THE RECORDS OF THE CONTRACTOR.	E. IMMEDIATELY UPON RECEIPT, CONTRACTOR SHALL INSPECT ALL DRAWINGS AND SPECIFICATIONS, CONTROL WIRING, ETC., WHICH ARE NECESSARY FOR SYSTEM COMPLETION AND WHICH ARE NOT SPECIFICALLY SHOWN OR OTHERWISE INDICATED ON THE ELECTRICAL DRAWINGS OR SPECIFIED IN DIVISION 1.	E. CONTRACTOR SHALL PROVIDE AND INSTALL UL LISTED DUCT SMOKE DETECTORS AS SHOWN ON THE DRAWINGS. DETECTORS SHALL HAVE AUXILIARY CONTACTS FOR CONNECTION TO THE FIRE ALARM SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR LOW VOLTAGE WIRING TO SHUT DOWN HIS EQUIPMENT BASED ON THE STATUS OF THIS DEVICE. POWER WIRING AND WIRING TO FIRE ALARM SYSTEM TO BE BY OTHERS.	 SPIN-IN RETURN/EXHAUST (WITH VOLUME DAMPER)													
F. ALL ELECTRICAL WORK INCIDENTAL TO OR ACCOMPLISHED UNDER THIS DIVISION SHALL COMPLY WITH ALL REQUIREMENTS OF DIVISION 2.	G. PLANS ARE DIAGRAMMATIC IN NATURE. CONTRACTOR IS RESPONSIBLE FOR REFERRING TO THE DESIGN DOCUMENTS FOR ALL OTHER REQUIREMENTS FOR PROJECT CONSTRUCTION AND OTHER DETAILS WHICH AFFECT THE DESIGN. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR DRAWINGS WHICH ARE NOT FINISH ADJACENT TO ITS WORK AND ARRANGE TO HAVE VISIBLE PORTIONS OF THE WORK (SUCH AS ACCESS DOORS, VALVES, SPRINKLER HEADS, ESCUTCHEONS, ETC.) MERGE WITH THE FINISH IN A MANNER SATISFACTORY TO THE ARCHITECT.	H. PROVIDE IDENTIFICATION OF ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLING ACoustical Ceilings AND SIMILAR CONCEALMENT.	 45° SQUARE DUCT TAKE-OFF FROM SQUARE DUCT													
H. CONTRACTOR SHALL IDENTIFY ALL SERVICEABLE ITEMS (VALVES, DAMPERS, COILS, ETC.) PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS. ARCHITECT SHALL SUPPLY LOCATIONS OF ACCESS PANELS PRIOR TO INSTALLATION.	I. CEILING HEIGHTS: ARCHITECTURAL DRAWINGS SHALL BE CHECKED FOR CEILING HEIGHTS, WALLS, AND CABINETS THAT ARE INTENDED TO CONCEAL WORK IN A CERTAIN SECTION. WHERE CONFLICTS OCCUR, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO INSTALLATION OF THE WORK. LOCATIONS OF THE WORK SUCH AS LIGHTS, DIFFUSERS, SPRINKLER HEADS TAKE PRIORITY OVER CONCEALED WORK.	I. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	 45° ROUND DUCT TAKE-OFF FROM ROUND DUCT													
J. CONTRACTOR SHALL EXERCISE CARE TO MINIMIZE ANY DISTURBANCE TO ADJACENT AREAS OF THE BUILDING, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.	K. PROVIDE ALL NECESSARY FLASHING, SEALING, ETC., TO MAINTAIN THE WATERPROOF INTEGRITY OF THE BUILDING AS REQUIRED BY THE INSTALLATION OR REMOVAL OF ITEMS AS REQUIRED BY THIS SCOPE OF WORK.	K. PROVIDE ALL ACCESSORY FLASHING, SEALING, ETC., TO MAINTAIN THE WATERPROOF INTEGRITY OF THE BUILDING AS REQUIRED BY THE INSTALLATION OR REMOVAL OF ITEMS AS REQUIRED BY THIS SCOPE OF WORK.	 45° ROUND DUCT TAKE-OFF FROM ROUND DUCT													
L. INSPECT ALL WORK OF THIS SCOPE TO BE READILY ACCESSIBLE FOR OPERATION, MAINTENANCE, AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES INVOLVING OTHER TRADES MAY NOT BE MADE WITHOUT APPROVAL.	M. ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, MUST BE SEALED TO MAINTAIN THE RATING OF SUCH ASSEMBLY BY A UL RECOGNIZED SEALING METHOD.	M. PROVIDE ALL CUTTING AND PATCHING REQUIRED FOR INSTALLATION OF THIS WORK. COORDINATE ALL BLOCKING, SUPPORT, ETC., NECESSARY FOR THE INSTALLATION OF THE WORK WITH THE GENERAL CONTRACTOR.	 TURNING VANE													
1.3 CODES, STANDARDS, PERMITS, AND FEES	1.4 SUBMISSIONS AND SUBSTITUTIONS	2.3 INSULATION AND LINER	3.8 DUCT PENETRATIONS													
A. ALL APPLICABLE CODES, LAWS, AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK, WHICH ARE NOT SPECIFICALLY SHOWN ON THESE SPECIFICATIONS, THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR, WHO SHALL INFORM THE ARCHITECT IN WRITING PRIOR TO SUBMITTING A BID, OF ANY WORK OR MATERIALS WHICH VIolate ANY OF THE ENFORCED LAWS, CODES, OR REGULATIONS. IF THE CONTRACTOR PERFORMS ANY WORK CONTRARY TO SUCH LAWS, ORDINANCES, RULES AND REGULATIONS, HE SHALL ASSUME FULL RESPONSIBILITY, AND SHALL BE HELD LIABLE FOR ANY DAMAGES WHICH MAY RESULT.	A. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE SCOPE OF WORK ON THIS PROJECT. THE SUB-CONTRACTORS SHALL ALSO SCHEDULE ALL REQUIRED INSPECTIONS AND OBTAIN CERTIFICATES FOR HIS WORK, AT HIS EXPENSE.	A. GENERAL:	1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY PROTECTING ANY PENETRATION OF A DUCT, DUCT SUPPORT, EXHAUST AIR, SEALING, AND APPURTENANCES SHALL BE UL LISTED FOR THE ASSEMBLY RATING IT IS APPLIED TO AND SHALL BE INSTALLED PER THE MANUFACTURERS WRITTEN INSTRUCTIONS. ALL SUCH MATERIALS SHALL MEET STATE, LOCAL, AND AUTHORITIES CODES AND STANDARDS.													
B. WHERE DRAWINGS OR SPECIFICATIONS CALL FOR MATERIAL OR CONSTRUCTION OF A BETTER QUALITY OR HIGHER CAPACITY THAN REQUIRED BY THE ABOVE-MENTIONED CODES AND STANDARDS, THE PROVISIONS OF THE DRAWINGS OR SPECIFICATIONS SHALL TAKE PRIORITY OVER THE REQUIREMENTS OF THE CODES AND STANDARDS.	C. THE CONTRACTOR SHALL, AT HIS EXPENSE, OBTAIN ALL PERMITS AND FEES REQUIRED FOR THE SCOPE OF WORK ON THIS PROJECT. THE SUB-CONTRACTORS SHALL ALSO SCHEDULE ALL REQUIRED INSPECTIONS AND OBTAIN CERTIFICATES FOR HIS WORK, AT HIS EXPENSE.	B. INSULATION SCHEDULE:	2. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
D. THE FOLLOWING SPECIFIC STANDARDS SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS FOR WORK OF THIS SECTION:	E. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE SCOPE OF WORK ON THIS PROJECT. THE SUB-CONTRACTORS SHALL ALSO SCHEDULE ALL REQUIRED INSPECTIONS AND OBTAIN CERTIFICATES FOR HIS WORK, AT HIS EXPENSE.	C. OUTSIDE THE BUILDING THERMAL ENVELOPE	3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY PROTECTING ANY PENETRATION OF A DUCT, DUCT SUPPORT, EXHAUST AIR, SEALING, AND APPURTENANCES SHALL BE UL LISTED FOR THE ASSEMBLY RATING IT IS APPLIED TO AND SHALL BE INSTALLED PER THE MANUFACTURERS WRITTEN INSTRUCTIONS. ALL SUCH MATERIALS SHALL MEET STATE, LOCAL, AND AUTHORITIES CODES AND STANDARDS.													
1. DUCTWORK ALL DUCTWORK IS FABRICATED AND INSTALLED PER THE PUBLISHED STANDARDS OF THE AMERICAN SOCIETY FOR HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS (ASHRAE) AND THE SHEET METAL AND AIR CONDITIONING NATIONAL ASSOCIATION (SMACNA), AND MEET THE REQUIREMENTS OF NFPA 90 AND NFPA 91.	2. FILTERS: ALL FILTER MEDIA SHALL BE UL CLASS 2.	D. INSIDE THE BUILDING THERMAL ENVELOPE	4. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
3. FIRE DAMPERS/FIRE SMOKE DAMPERS: ALL FIRE DAMPERS/FIRE SMOKE DAMPERS SHALL BE LISTED AND INSTALLED PER UL 1073.	4. FIRE DAMPERS/FIRE SMOKE DAMPERS: ALL FIRE DAMPERS/FIRE SMOKE DAMPERS SHALL BE LISTED AND INSTALLED PER UL 1073.	E. COORDINATE LAYOUT WITH SUSPENDED CEILING FIRE- AND SMOKE-CONTROL DAMPERS, LIGHTING LAYOUTS, AND SIMILAR FINISHED WORK.	5. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
5. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	6. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	F. DUCT INSULATION: MINERAL OR GLASS FIBERS BONDED WITH A THERMOSETTING RESIN, COMPLY WITH ASTM C 553, TYPE II AND ASTM C 1280, TYPE III WITH FACTORY-APPLIED FSK JACKET.	6. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
6. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	7. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	G. FIBROUS-GLASS LINER: COMPLY WITH NFPA 90A OR NFPA 90B AND WITH NEMA AH124.	7. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
7. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	8. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	H. MATERIALS: ASTM C 1071; SURFACES EXPOSED TO AIRSTREAM SHALL BE COATED TO PREVENT EROSION OF GLASS FIBERS.	8. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
8. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	9. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	I. THICKNESS: 1"	9. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
9. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	10. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	J. MECHANICAL FASTENERS: GALVANIZED STEEL, SUITABLE FOR ADHESIVE ATTACHMENT, NICKEL PLATED ATTACHMENT, OR TAPPING ATTACHMENT TO DUCT, DUCT SUPPORT, LINER, AND DUCT INSULATION. DO NOT USE SCREW ATTACHMENT BY DRILLING Holes INTO DUCT INSULATION.	10. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
10. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	11. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	K. FUSIBLE LINK: ADHESIVE ATTACHMENT, 165 DEGREE F RATED.	11. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
11. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	12. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	L. FUSIBLE LINK: CARBON STEEL.	12. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
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13. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	14. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	N. FUSIBLE LINK: CARBON STEEL.	14. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
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15. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	16. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	P. FUSIBLE LINK: CARBON STEEL.	16. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
16. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	17. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	Q. FUSIBLE LINK: CARBON STEEL.	17. PROVIDE ALL PENETRATIONS MADE THROUGH RATED ASSEMBLIES TO ACCOMMODATE WORK OF THIS SECTION, WHICH ARE TO REMAIN IN OPERATIONAL STATE DURING TEMPORARY PARTITIONS, TAPE, ETC., TO KEEP DUST AND DIRT IN THE CONSTRUCTION AREA.													
17. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR REMOVING THESE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.	18. PROVIDE ALL EQUIPMENT, DEVICES, AND MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL															

COMcheck Software Version 4.1.5.5

Mechanical Compliance Certificate

Project Information

Energy Code: 2018 IECC
 Project Title: Arcadia Motel
 Location: Garden City, Idaho
 Climate Zone: 5b
 Project Type: Alteration

Construction Site: 3433 W Chinden Blvd.
 Owner/Agent: Garden City, ID 83714

Designer/Contractor:

Mechanical Systems List

Quantity System Type & Description

1 MSO-1/MSI-1 (A-E) (Single Zone):
 Split System Heat Pump
 Heating Mode: Capacity = 6 kBtu/h,
 Proposed Efficiency = 12.00 HSPF, Required Efficiency = 8.20 HSPF
 Cooling Mode: Capacity = 60 kBtu/h,
 Proposed Efficiency = 20.00 SEER, Required Efficiency = 14.00 SEER
 Fan System: None

1 MSO-2/MSI-2 (Single Zone):
 Split System Heat Pump
 Heating Mode: Capacity = 14 kBtu/h,
 Proposed Efficiency = 10.00 HSPF, Required Efficiency = 8.20 HSPF
 Cooling Mode: Capacity = 12 kBtu/h,
 Proposed Efficiency = 22.00 SEER, Required Efficiency = 14.00 SEER
 Fan System: None

1 WH-1:
 Gas Storage Water Heater, Capacity: 50 gallons, Input Rating: 75 kBtu/h w/ Circulation Pump
 No minimum efficiency requirement applies

Mechanical Compliance Statement

Compliance Statement: The proposed mechanical alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Angel Rodriguez - EIT
 Name - Title: Signature Date: 07/21/23

Project Title: Arcadia Motel
 Report date: 07/21/23
 Data filename: \\DC\Projects\2023\23RUD06 - Arcadia Motel Remodel\Calcs\HVAC\Energy Calcs\23RUD06 - ComCheck.ckc
 Page 1 of 12

23RUD06, ARCADIA MOTEL		OSA & LOAD CALCULATION TABLE										
BASED ON IMC 2018		COMMERCIAL VENTILATION SECTION										
		PROJECT DESIGN CONDITIONS										
PROJECT LOCATION	GARDEN CITY, ID	ASHRAE 99.6% DESIGN TEMP HEATING DB	11.4	ASHRAE 0.4% DESIGN TEMP COOLING DB	98.7	ASHRAE 0.4% DESIGN TEMP COOLING WB	63.7	PROJECT ELEVATION (FT)	2814			
NOTE: THIS INFORMATION IS FOR CALCULATION & CODE REVIEW ONLY. REFER TO EQUIPMENT SCHEDULES & PLANS FOR EXACT UNIT OPERATION AND BALANCING REQUIREMENTS.												

MSO-1															
EQUIPMENT SERVING SPACE	ROOM NAME & NUMBER	AREA (SF)	ROOM TYPE	CODE OCCUPANCY	Ez	TOTAL CODE MINIMUM OSA (CFM)	DESIGN OSA (CFM)	EXHAUST ROOM TYPE	TOTAL EXHAUST AIR (CFM)	DESIGN EXHAUST AIR (CFM)	ADDED ELECTRICAL LOAD (W)	SENSIBLE COOLING (BTU/H)	LATENT COOLING (BTU/H)	TOTAL COOLING (BTU/H)	TOTAL HEATING (BTU/H)
MSO-1	100 ENTRY	171	Office Buildings: Main entry lobbies	2	0.8	27	45		0	0	0	3286	0	3286	3993
MSO-1	101 OFFICE	114	Office Buildings: Office space	1	0.8	15	30		0	0	0	3563	0	3563	3556
MSO-1	102 POWDER	23		0	0.8	0	0	Exhaust: Toilets—private, intermittent fan	50	50	0	146	0	146	130
MSO-1	103 BATH	50		0	0.8	0	0	Exhaust: Toilets—private, intermittent fan	50	50	0	878	0	878	918
MSO-1	104 LIVING	139	Hotels, Motels, Resorts, Dormitories: Bedroom/living room	2	0.8	24	40		0	0	0	2802	0	2802	3169
MSO-1	105 BATH	61		0	0.8	0	0	Exhaust: Toilets—private, intermittent fan	50	50	0	1194	0	1194	978
MSO-1	106 BEDROOM	261	Hotels, Motels, Resorts, Dormitories: Bedroom/living room	3	0.8	39	55		0	0	0	4882	0	4882	5880
MSO-1	107 BEDROOM	192	Hotels, Motels, Resorts, Dormitories: Bedroom/living room	2	0.8	28	45		0	0	0	3488	0	3488	4444
MSO-1	108 BATH	60		0	0.8	0	0	Exhaust: Toilets—private, intermittent fan	50	50	0	864	0	864	1143
MSO-1	110 BEDROOM	129	Hotels, Motels, Resorts, Dormitories: Bedroom/living room	2	0.8	23	35		0	0	0	3101	0	3101	3495
Total						156	250		200	200		24204	0	24204	27706

MSO-2																
EQUIPMENT SERVING SPACE	ROOM NAME & NUMBER	AREA (SF)	ROOM TYPE	CODE OCCUPANCY	Ez	TOTAL CODE MINIMUM OSA (CFM)	DESIGN OSA (CFM)	EXHAUST ROOM TYPE	TOTAL EXHAUST AIR (CFM)	DESIGN EXHAUST AIR (CFM)	ADDED ELECTRICAL LOAD (W)	SENSIBLE COOLING (BTU/H)	LATENT COOLING (BTU/H)	TOTAL COOLING (BTU/H)	TOTAL HEATING (BTU/H)	
MSO-2	201 LAUNDRY	101		0	0.8	0	0		0	0	100	0	3604	0	3604	7728
Total						0	0		0	100			3604	0	3604	7728

EWH-1																
EQUIPMENT SERVING SPACE	ROOM NAME & NUMBER	AREA (SF)	ROOM TYPE	CODE OCCUPANCY	Ez	TOTAL CODE MINIMUM OSA (CFM)	DESIGN OSA (CFM)	EXHAUST ROOM TYPE	TOTAL EXHAUST AIR (CFM)	DESIGN EXHAUST AIR (CFM)	ADDED ELECTRICAL LOAD (W)	SENSIBLE COOLING (BTU/H)	LATENT COOLING (BTU/H)	TOTAL COOLING (BTU/H)	TOTAL HEATING (BTU/H)	
EWH-1	111 MECH	29		0	0.8	0	0		0	0	0	815	0	815	1934	
Total						0	0		0	0			815	0	815	1934

EWH-2																
EQUIPMENT SERVING SPACE	ROOM NAME & NUMBER	AREA (SF)	ROOM TYPE	CODE OCCUPANCY	Ez	TOTAL CODE MINIMUM OSA (CFM)	DESIGN OSA (CFM)	EXHAUST ROOM TYPE	TOTAL EXHAUST AIR (CFM)	DESIGN EXHAUST AIR (CFM)	ADDED ELECTRICAL LOAD (W)	SENSIBLE COOLING (BTU/H)	LATENT COOLING (BTU/H)	TOTAL COOLING (BTU/H)	TOTAL HEATING (BTU/H)	
EWH-2	202 STORAGE	55		0	0.8	0	0		0	0	0	1061	0	1061	1670	
Total						0	0		0	0			1061	0	1061	1670

Addition:

ARCADA MOTEL

 3433 W CHINDEN BLVD.
 GARDEN CITY, ID 83714

 DC ENGINEERING
 Careful listening. Dynamic solutions.
 www.dceengineering.net
 Phone: 208.288.2181
 Project: 23RUD06

 HVAC LOAD AND VENTILATION CALCULATIONS
 Sheet Title:

AS NOTED

2329

Project Number:

20 SEPTEMBER 2023

Date:

23RUD06-M001.DWG

File Name:

Revisions:

M0.01

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |

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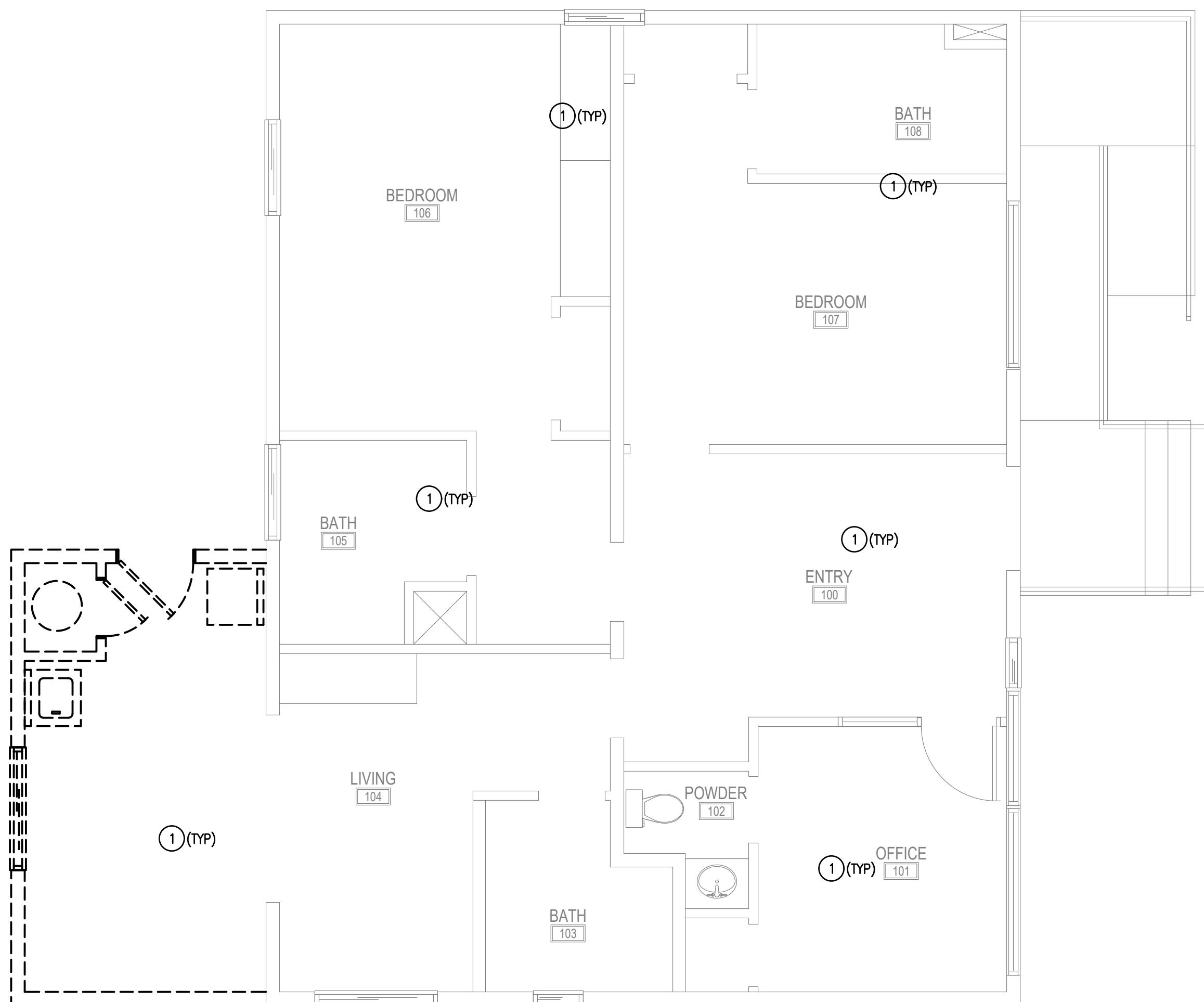
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1 MECHANICAL DEMO PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

G1 FOR ALL DEMOLITION WORK: REMOVE ALL HANGERS AND SUPPORTS, COORDINATE PATCHING OF WALLS AND PATCHING OF SLAB PENETRATIONS WITH GENERAL CONTRACTOR, MAINTAIN FIRE RATED ASSEMBLIES (SEE ARCHITECTURAL PLANS), AND DISPOSE OF ALL DEMOLISHED ITEMS OFF SITE.

KEYED NOTES:

1. DEMOLISH AND DISPOSE OF ANY REMAINING EXISTING DIFFUSERS, GRILLES, EXHAUST FANS, AND MECHANICAL EQUIPMENT. DEMOLITION IS SUBSTANTIALLY COMPLETE.

①

Addition:

**ARCADIA
MOTEL**

3433 W CHINEN BLVD.
GARDEN CITY, ID 83714



DC ENGINEERING
Careful listening. Dynamic solutions.
www.dengineering.net
Phone: 208.288.2181

HVAC DEMOLITION PLAN
Sheet Title:
AS NOTED

Scale:
2329

Project Number:
20 SEPTEMBER 2023

Date:
23RUD06-M200.DWG

File Name:
Revisions:

M2.00

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

MINI-SPLIT HEAT PUMP SYSTEM - INDOOR UNIT SCHEDULE

EQUIP. NO.	SERVICE	CORRESPONDING OUTDOOR UNIT	STYLE	FAN			DX COOLING		HEAT PUMP HEAT		ELECTRICAL			WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES
				SUPPLY CFM	OSA CFM	E.S.P. (IN. W.C.)	NOMINAL BTU/H	NOMINAL BTU/HR	VOLTAGE	PHASE	MCA	MOPC					
MSI-1 (A-E)	BUILDING	MSO-1	WALL MOUNT	406	-	-	12,000	12,000	POWERED FROM OUTDOOR UNIT	22	MITSUBISHI	MSZ-GL12NA	1,2				
MSI-2	LAUNDRY	MSO-2	WALL MOUNT	459	-	-	12,000	13,600	POWERED FROM OUTDOOR UNIT	20	LG	LSN120HSV5	1,2				

ALTERNATE MANUFACTURERS: CARRIER, LG, DAIKIN, TRANE, YORK, MITSUBISHI, SAMSUNG, LENNOX

 NOTES:
 1 PROVIDE FACTORY CONDENSATE KIT WITH FACTORY CONDENSATE OVERFLOW CUT-OFF SWITCH. PROVIDE CONDENSATE PUMP WHERE NECESSARY.
 2 PROVIDE PROGRAMMABLE 7-DAY THERMOSTAT, WITH 5 DEGREE DEADBAND.

ELECTRIC WALL HEATER SCHEDULE

EQUIP. NO.	SERVICE	ELECTRICAL				WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES
		VOLTAGE	PHASE	KW	AMPS				
EWH-1	MECH	120	1	0.75	6.25	26	MARKEL	E3321TD-RP	1,3
EWH-2	STORAGE	120	1	0.75	6.25	26	MARKEL	E3321TD-RP	1,3
EWH-3A,3B,3C	BATHS	120	1	0.75	6.25	26	MARKEL	E3321TD-RP	1,2

ALTERNATE MANUFACTURERS: INDEECO, MARKEL, QMARK

 NOTES:
 1 FURNISH WITH MANUFACTURER'S INTEGRAL TSTAT
 2 PROVIDE WITH MANUFACTURER'S RECESSED MOUNTING KIT
 3 PROVIDE WITH MANUFACTURER'S SURFACE MOUNTING KIT

MINI-SPLIT HEAT PUMP SYSTEM - OUTDOOR UNIT SCHEDULE

EQUIP. NO.	LOCATION	CORRESPONDING INDOOR UNIT(S)	NOMINAL TONS	DX COOLING			HEAT PUMP HEAT			ELECTRICAL			WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES		
				STAGES	TOTAL CAP. (MBH)	SEER	STAGES	TOTAL CAP. (MBH)	HSFP	VOLTAGE	PHASE	MCA	MOPC					
MSO-1	BUILDING	MSI-1A,1B,1C,1D,1E	5	VARIABLE SPEED	60	20	13.3	VARIABLE SPEED	66	12	240	1	36	50	302	MITSUBISHI	MXZ-5M60NAM	1,2,3,4,5,6
MSO-2	LAUNDRY	MSI-2	1	VARIABLE SPEED	12	22	15	VARIABLE SPEED	13.6	10	240	1	10	15	80	LG	LSU120HSV5	1,2,4,5,6

ALTERNATE MANUFACTURERS: CARRIER, LG, DAIKIN, TRANE, YORK, MITSUBISHI, SAMSUNG, LENNOX

 NOTES:
 1 COOLING CAPACITIES RATED AT 95F OUTDOOR TEMP, HEATING CAPACITIES RATED AT 47F OUTDOOR TEMP, SEA LEVEL ELEVATION
 2 PROVIDE INSULATED LINESET. ALL LINESETS TO BE SIZED FOR INSTALLED CONDITIONS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. PROVIDE LONG-LENGTH ACCESSORIES IF REQUIRED.
 3 PROVIDE 240/120V POWER TO BRANCH SELECTOR BOX (PAC-MKA52BC)
 4 PROVIDE FACTORY INSTALLED DRAIN PAN HEATER
 5 PROVIDE SNOW STAND, 15" MINIMUM HEIGHT
 6 SYSTEM MUST OPERATE IN HEATING DOWN TO -4F

ELECTRIC DUCT FURNACE HEATER SCHEDULE

EQUIP. NO.	SERVICE	CFM	S.P. LOSS (IN. W.C.)	ELECTRICAL HEAT			ELECTRICAL			MANUFACTURER	MODEL NUMBER	NOTES
				STAGES	KW	VOLTAGE	PHASE					
DF-1	BUILDING	250	0.04	SCR	4	240	1			RENEWAIRE	EK-0808	1,2,3,4,5

ALTERNATE MANUFACTURERS: REZNOR, MODINE, STERLING, INDEECO, MARKEL, QMARK

 NOTES:
 1 PROVIDE AIRFLOW SWITCH
 2 PROVIDE DUCT DISCHARGE THERMOSTAT
 3 PROVIDE FACTORY DISCONNECT
 4 SLIP IN HEATER DESIGN
 5 SET DISCHARGE THERMOSTAT AT 60 F

ENERGY RECOVERY VENTILATOR SCHEDULE

EQUIP. NO.	SERVICE	SUPPLY FAN		EXHAUST FAN		ELECTRICAL			CONTROL	WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES	
		CFM	E.S.P. (IN. W.C.)	CFM	E.S.P. (IN. W.C.)	VOLTAGE	PHASE	WATTS	HP					
ERV-1	BUILDING	250	0.5	200	0.5	240	1	85	0.5	CONTINUOUS	350	RENEWAIRE	EV450RT	1,2,3,4

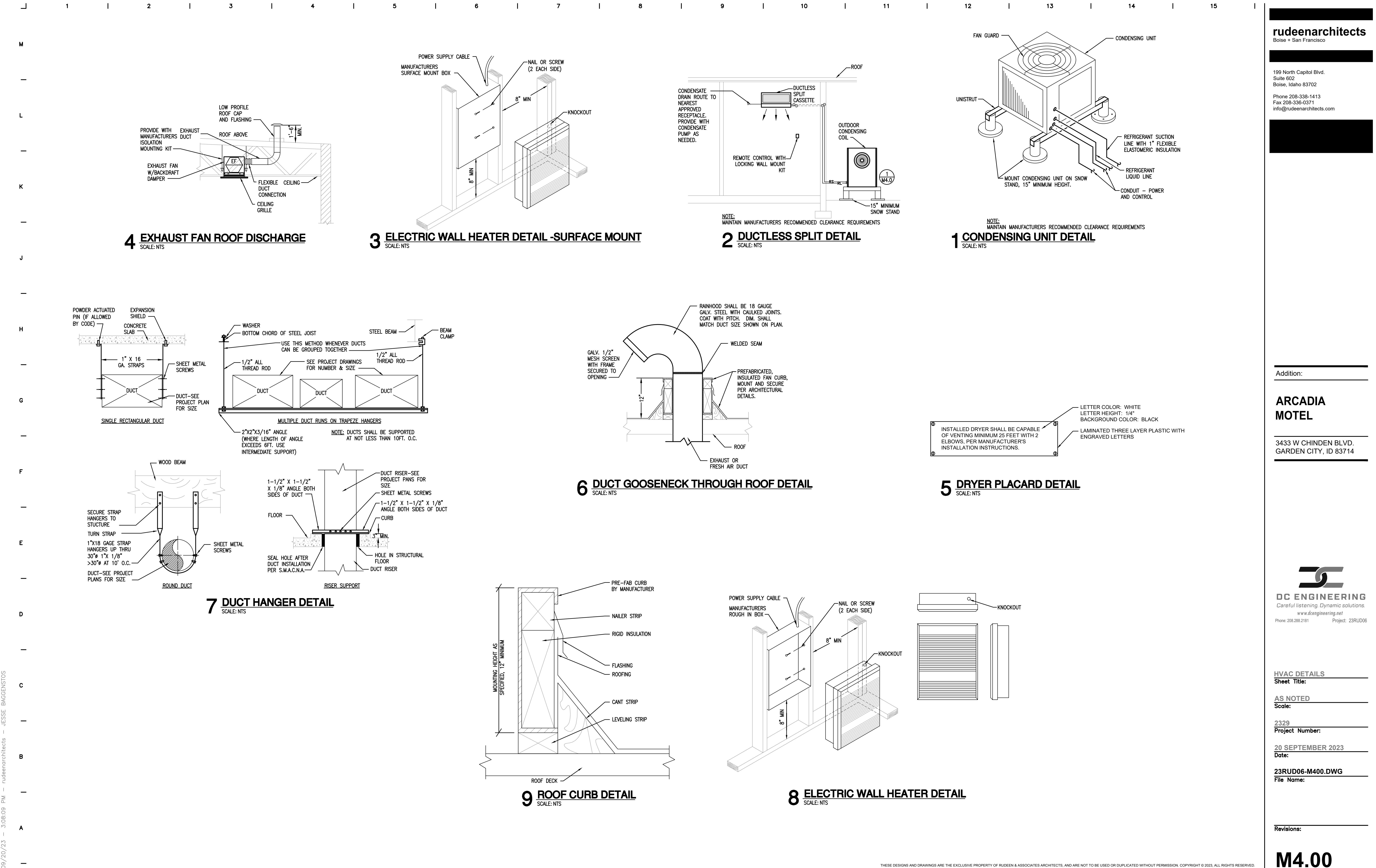
ALTERNATE MANUFACTURERS: COOK, GREENHECK, PANASONIC, RENEW AIRE

 NOTES:
 1 COORDINATE WITH ELECTRICAL CONTRACTOR FOR ALL CONTROLS
 2 PROVIDE DISCONNECT
 3 PROVIDE MERV 13 FILTER
 4 PROVIDE MANUFACTURER'S ROOF CURB. COORDINATE WITH GENERAL CONTRACTOR TO ADJUST EXISTING ROOF FRAMING TO ACCOMMODATE DUCT DROPS IF NECESSARY.

EXHAUST FAN SCHEDULE

EQUIP. NO.	SERVICE	CFM	E.S.P. (IN. W.C.)	SONES	ELECTRICAL			CONTROL	WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	NOTES
					VOLTAGE	PHASE	WATTS					
EF-1	LAUNDRY	100	0.25	2	120	1	35	INTERLOCK WITH LIGHTS	12	COOK	GC-148	1,2,3,4

TAG	SIZE			CFM RANGE	FLOW	MOUNTING			MATERIAL		FACE OPERATED OPPOSED BLADE DAMPER	MANUFACTURER	MODEL NUMBER	NOTES	
	FRAME SIZE	FACE SIZE	COLLAR SIZE			LAY-IN	HARD	SIDEWALL	DUCT	FLOOR	STEEL	ALUM.			
SD-1	-	6x6	6	0-100	4-WAY		X				X		PRICE	SMD	CEILING SUPPLY DIFFUSER
SD-2	-	6x6	6	0-100	-										



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SITE WATER CALCULATIONS (Based on 2017 Idaho Plumbing Code, Table A 103.1)														
23RUD06 - Arcadia Motel														
CODE FIXTURE UNITS PER FIXTURE (COLD WATER)														
WATER CALC														
	# OF FIXTURES	MIN. FIXTURE BRANCH PIPE SIZE	PRIVATE	PUBLIC	ASSEMBLY	TOTAL FIXTURE UNITS								
FIXTURE														
Clothes Washer	private	0.0 1/2"	2.0			0.0								
public	2.0			2.0		4.0								
hose bibb	private	0.0 1/2"	2.5			0.0								
public	1.0			2.5		2.5								
lavatory	private	0.0 1/2"	1.0			0.0								
public	1.0			1.0		1.0								
*bathroom group (1.6 GPF gravity tank or pressure tank	1/2 bath or water closet)													
powder room	0.0		3.5			0.0								
1 bath	30.0		5			150.0								
water closet, 1.6 gpf flushometer tank	private	0.0 1/2"	2.5			0.0								
public	1.0			2.5		2.5								
*Bathroom groups based on Table C 303.1 (1)														
	TOTAL FIXTURE UNITS	160.0												
	GPM	57												
	INCOMING LINE SIZE	2"												
TOTAL FIXTURE UNITS														
	29.0													
	EXISTING WASTE SIZE	4"												
WASTE CALCULATIONS (Based on 2017 Idaho Plumbing Code)														
23RUD06 - Arcadia Motel														
CODE FIXTURE UNITS PER FIXTURE														
WASTE CALC														
	# OF FIXTURES	MIN. TRAP & TRAP ARM SIZE	PRIVATE	PUBLIC	ASSEMBLY	TOTAL FIXTURE UNITS								
Fixture														
clothes washer, domestic 2" standpipe	private	0.0 2"	2.0			0.0								
public	2.0 2"			3.0		6.0								
lavatory	private	0.0 1-1/4"	1.0			0.0								
public	1.0 1-1/4"			1.0		1.0								
water closet, 1.6 gpf flushometer tank	private	0.0 3"	3.0			0.0								
public	1.0 3"			4.0		4.0								
*bathroom groups having 1.6 gpf gravity-tank water closets	1/2 bath	0.0		3.0		0.0								
1 bath	30.0		5.0			150.0								
	TOTAL FIXTURE UNITS	161.0												
	EXISTING WASTE SIZE	4"												
WASTE MAIN SIZES (1/4" PER FOOT)														
max units	SIZE	2"	3"	4"	6"	8"								
vertical		16	48	256	1380	3600								
horizontal		8	35	216	720	2640								
max length														
vertical		85'	212'	300'	510'	750'								
horizontal		unlimited	unlimited	unlimited	unlimited	unlimited								
WASTE MAIN SIZES (1/8" PER FOOT)														
max units	SIZE	2"	3"	4"	6"	8"								
vertical		16	48	256	1380	3600								
horizontal		8	35	172.8	576	2112								
max length														
vertical		85'	212'	300'	510'	750'								
horizontal		unlimited	unlimited	unlimited	unlimited	unlimited								
* Pipe sizes smaller than 4" sloping less than 1/4" per foot require approval from local authority having jurisdiction.														
* Pipe sizes smaller than 4" sloping less than 1/4" per foot require approval from local authority having jurisdiction.														
NOTE: anticipated water meter size may vary as long as pressure loss through water meter does not exceed 5 psi														
WATER CALCULATIONS (Based on 2017 Idaho Plumbing Code, Table A 103.1)														
23RUD06 - Arcadia Motel														
CODE FIXTURE UNITS PER FIXTURE (COLD WATER)														
WATER CALC														
	# OF FIXTURES	MIN. FIXTURE BRANCH PIPE SIZE	PRIVATE	PUBLIC	ASSEMBLY	TOTAL FIXTURE UNITS								
Fixture														
bathtub or combination bath/shower	private	3.0 1-1/2"		2.0		6.0								
public	0.0 1-1/2"			2.0		0.0								
clothes washer, domestic 2" standpipe	private	0.0 2"		2.0		0.0								
public	2.0 2"			3.0</td										

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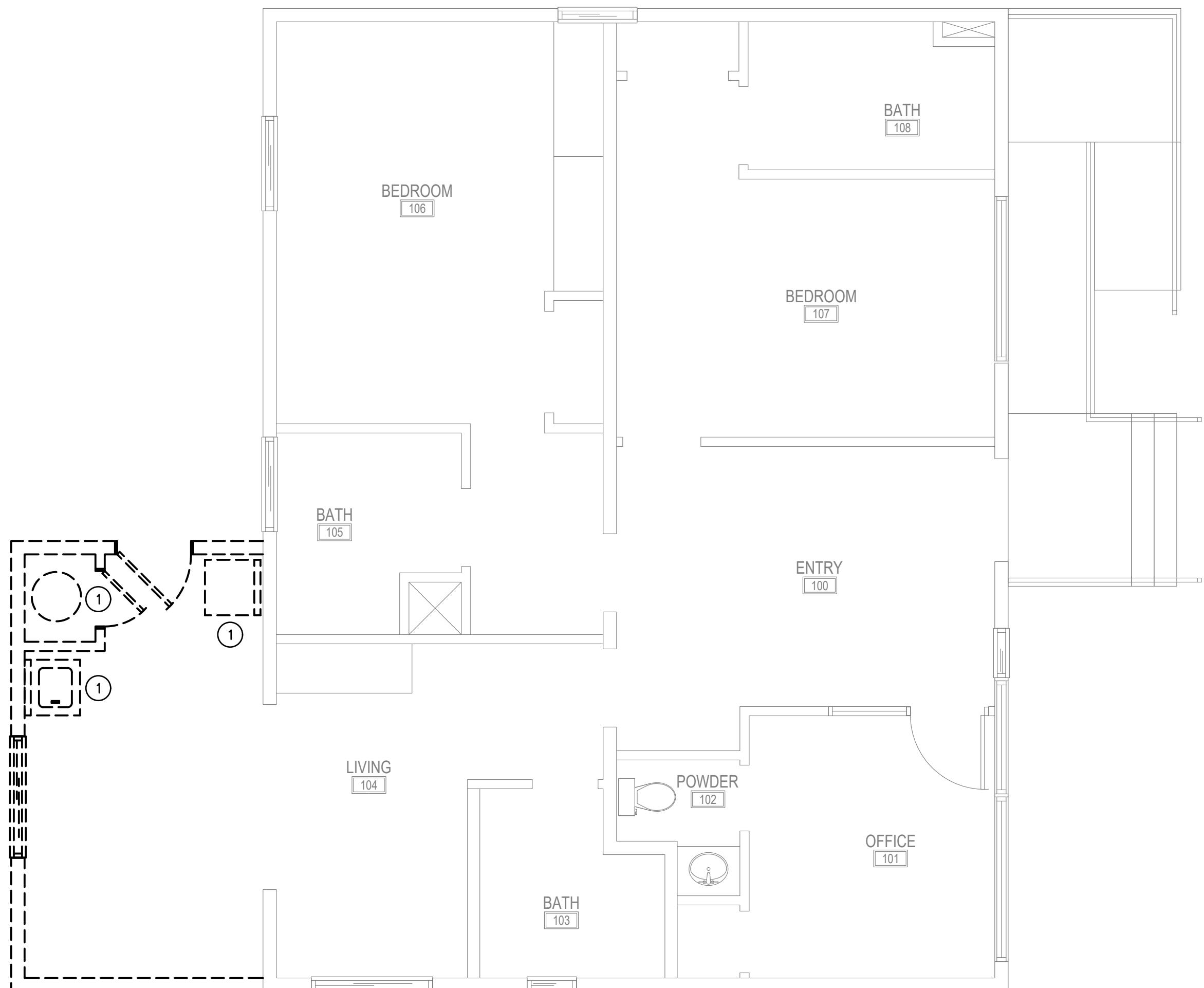
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GENERAL NOTES:

G1 FOR ALL DEMOLITION WORK: REMOVE ALL HANGERS AND SUPPORTS, COORDINATE PATCHING OF WALLS AND PATCHING OF SLAB PENETRATIONS WITH GENERAL CONTRACTOR, MAINTAIN FIRE RATED ASSEMBLIES (SEE ARCHITECTURAL PLANS), AND DISPOSE OF ALL DEMOLISHED ITEMS OFF SITE.

KEYED NOTES:

1. DEMOLISH AND DISPOSE OF ANY REMAINING PLUMBING FIXTURES AND ALL ASSOCIATED CW/HW LINES, ASSOCIATED ABOVE GROUND VENT LINES AND EXISTING VTR'S TO BE DEMOLISHED. SS LINES MAY BE CAPPED IN WALL OR BELOW SLAB; EXISTING SS TAPS MAY BE REUSED WHERE PRACTICAL.

Addition:

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PLUMBING DEMOLITION
PLAN

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AS NOTED

Scale:

2329

Project Number:

20 SEPTEMBER 2023

Date:

23RUD06-P200.DWG

File Name:

Revisions:



1 PLUMBING DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

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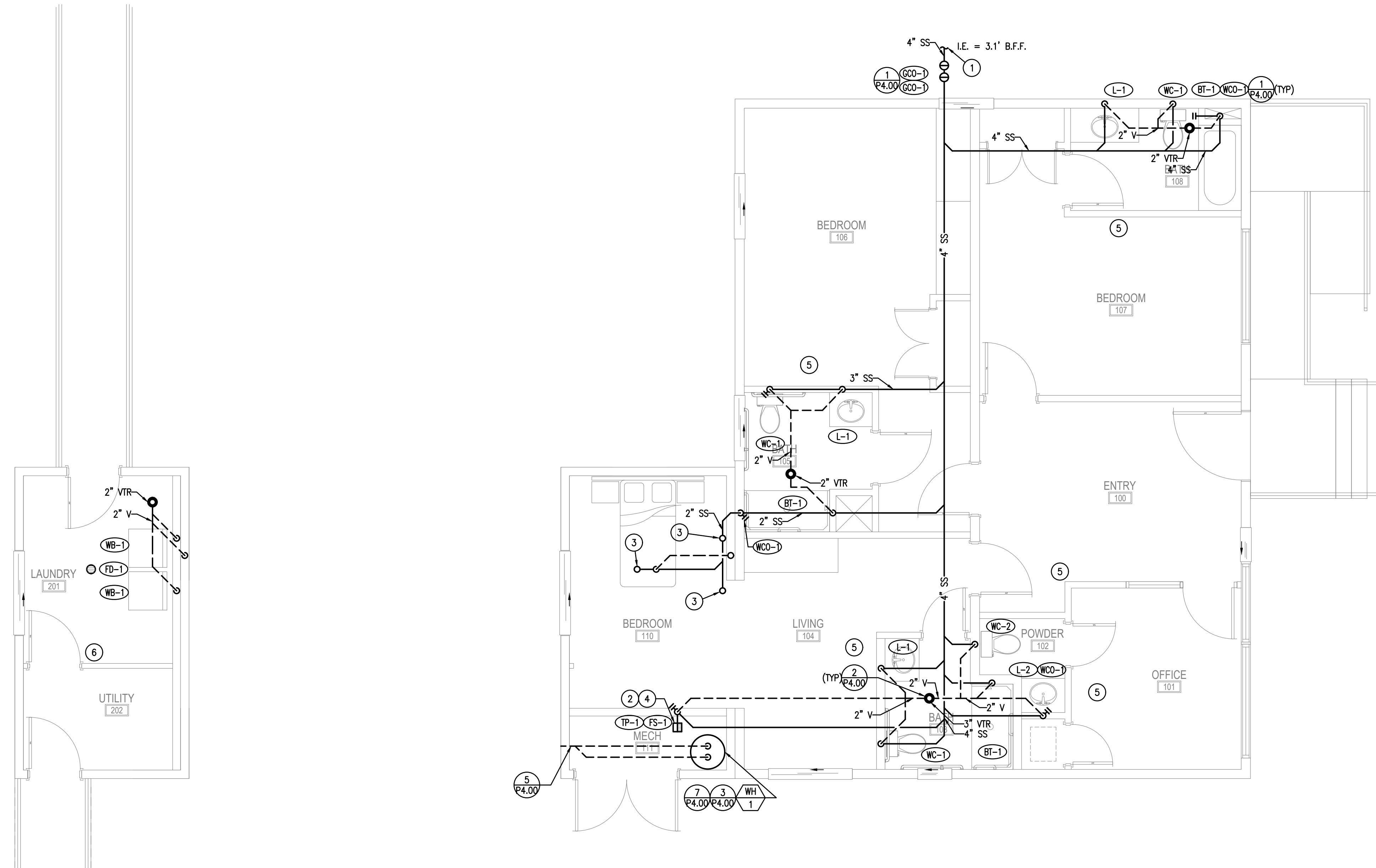
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2 2ND FLOOR WASTE AND VENT PLANS

SCALE: 1/4" = 1'-0"



1 PLUMBING DOMESTIC WATER PLANS

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

G1 CERTAIN EQUIPMENT REQUIREMENTS NOTED ON THESE DRAWINGS WERE DERIVED FROM OWNER-FURNISHED COORDINATION DRAWINGS. CONTRACTOR TO VERIFY ACTUAL OWNER-FURNISHED EQUIPMENT CONNECTION REQUIREMENTS AND SCOPE OF WORK. CONTRACTOR TO PROVIDE INSTALLATION OF ALL OWNER SUPPLIED PLUMBING FIXTURES.

G2 CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING SANITARY LINES. VERIFY AVAILABLE INVERT DEPTHS PRIOR TO BEGINNING WORK.

G3 SUPPORT PIPING PER PIPE HANGER DETAIL 12 ON SHEET P4.00.

G4 PROVIDE TRAP PRIMERS FOR ALL FLOOR DRAINS AND FLOOR SINKS PER DETAIL 9 ON SHEET P4.00.

KEYED NOTES:

- ROUTE TO EXISTING SITE SANITARY SEWER LINE. VERIFY LOCATION AND AVAILABLE INVERT BEFORE BEGINNING WORK. MAY BE NECESSARY TO ROUTE OUT OPPOSITE SIDE OF BUILDING.
- ROUTE DISCHARGE FROM RPBP DOWN TO FLOOR SINK. TERMINATE WITH AIR GAP. SEE DETAIL 7, SHEET P4.00.
- SEE SECOND FLOOR WASTE AND VENT PLAN FOR CONTINUATION.
- ROUTE T&P RELIEF VALVE DISCHARGE AND CONDENSATE DRAIN FROM WATER HEATER TO FLOOR SINK AND TERMINATE WITH AIR GAP. SEE DETAIL 7, SHEET P4.00.
- ROUTE CONDENSATE FROM WALL MOUNTED HVAC UNITS TO NEAREST LAVATORY TAIL PIECE PER DETAIL 11 ON PAGE P4.00.
- ROUTE CONDENSATE FROM WALL MOUNTED HVAC UNIT TO WASHER BOX DRAIN.

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**PLUMBING WASTE AND
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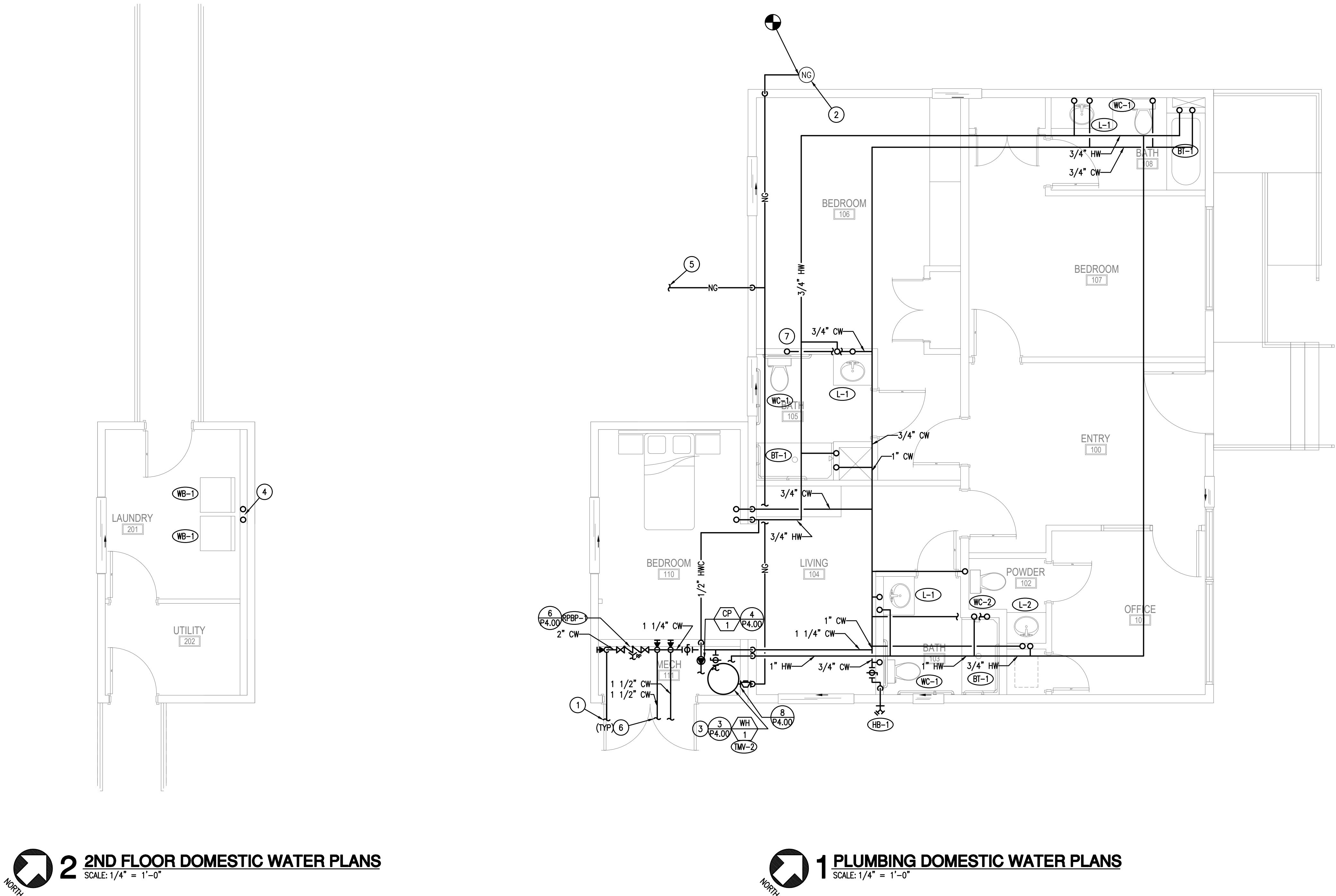
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2 2ND FLOOR DOMESTIC WATER PLANS
SCALE: 1/4" = 1'-0"

1 PLUMBING DOMESTIC WATER PLANS
SCALE: 1/4" = 1'-0"

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GENERAL NOTES:

- G1 CERTAIN EQUIPMENT REQUIREMENTS NOTED ON THESE DRAWINGS WERE DERIVED FROM OWNER-FURNISHED COORDINATION DRAWINGS. CONTRACTOR TO VERIFY ACTUAL OWNER-FURNISHED EQUIPMENT CONNECTION REQUIREMENTS AND SCOPE OF WORK. CONTRACTOR TO PROVIDE INSTALLATION OF ALL OWNER SUPPLIED PLUMBING FIXTURES.
- G2 CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING DOMESTIC AND GAS LINES. VERIFY AVAILABLE INVERT DEPTHS PRIOR TO BEGINNING WORK.
- G3 FOR MORE DETAIL ON GAS SIZING SEE DETAIL 10 SHEET P4.00.
- G4 SUPPORT PIPING PER PIPE HANGER DETAIL 12 ON SHEET P4.00.
- G5 CW/HW/HWC/GAS PIPING IS GENERALLY ROUTED WITHIN CRAWLSPACE, PIPES SHALL BE INSTALLED ON WARM SIDE OF INSULATION.

KEYED NOTES:

1. ROUTE TO EXISTING METER VAULT AND UPDATE MAIN SERVICE LINE/METER TO 2".
2. EXISTING 7" W.C. GAS METER BY GAS COMPANY.
3. ROUTE 1" CW, 1" HW, AND 1/2" HWC TO WATER HEATER.
4. ROUTE 3/4" CW/HW LINES UP WALL TO LAUNDRY ROOM ON SECOND FLOOR. SPLIT INTO (2) 1/2" CW AND (2) 1/2" HW LINES TO SERVICE EACH WASHER BOX. PROVIDE CHECK VALVES IN ACCESSIBLE LOCATION TO PREVENT CROSS CONNECTION.
5. ROUTE NG PIPING TO OUTDOOR FIRE PLACE. SEE ARCHITECTURAL PLANS FOR LOCATION. PROVIDE RECESSED VAULT FOR GAS VALVE AND TIMER. PROVIDE EMERGENCY SHUTOFF SWITCH. COORDINATE CONNECTION AND VALVE REQUIREMENTS WITH MANUFACTURER. REFER TO GAS SCHEMATIC DETAIL 10 ON SHEET P4.00 FOR SIZING. TERMINATE PER DETAIL 8, SHEET P4.00.
6. ROUTE OUT OF CLOSET BELOW FROST DEPTH AND RECONNECT TO EXISTING CW LINES SERVING THE (2) BUILDING WINGS IN THIS GENERAL AREA.

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**PLUMBING DOMESTIC
WATER PLANS**
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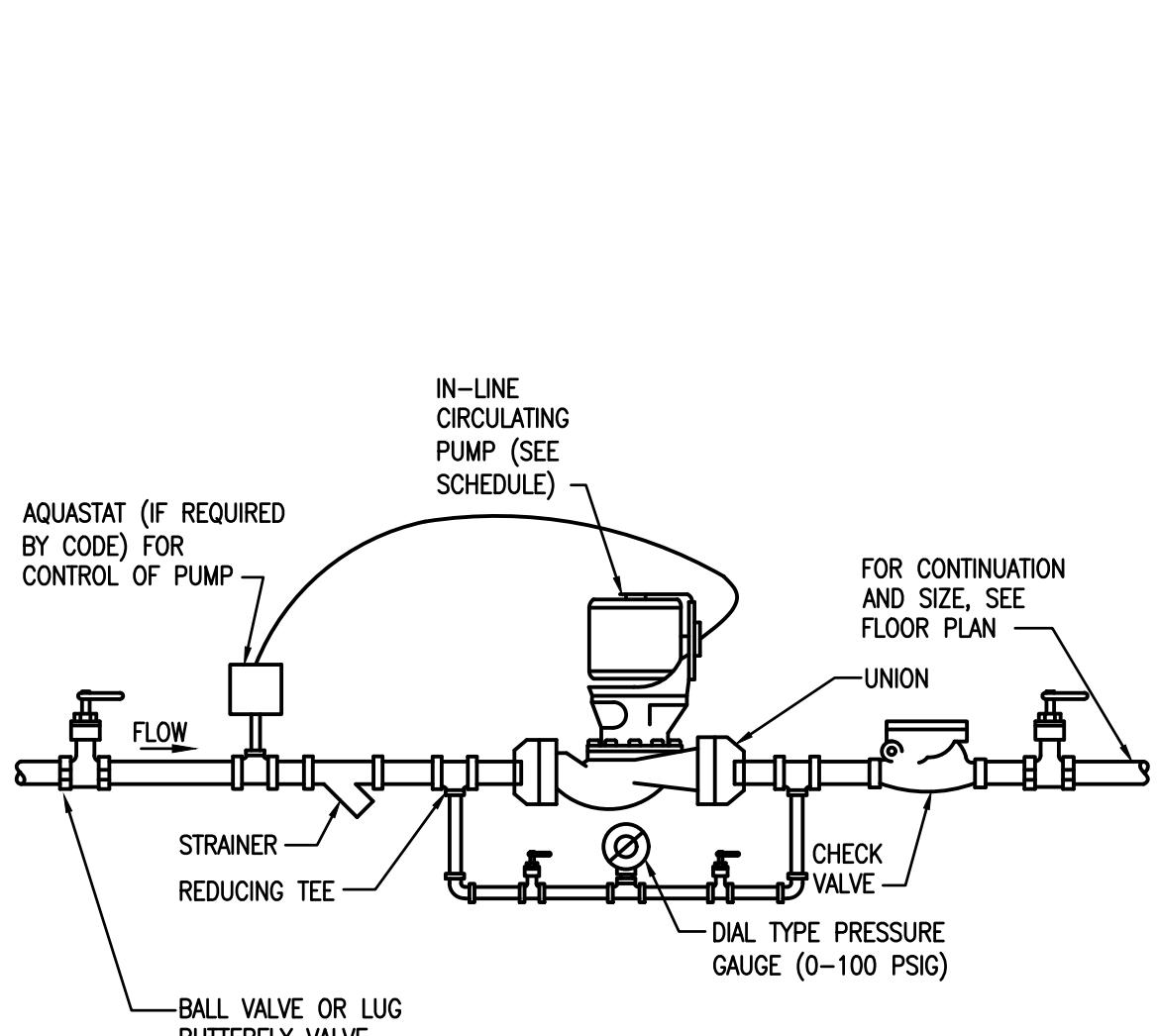
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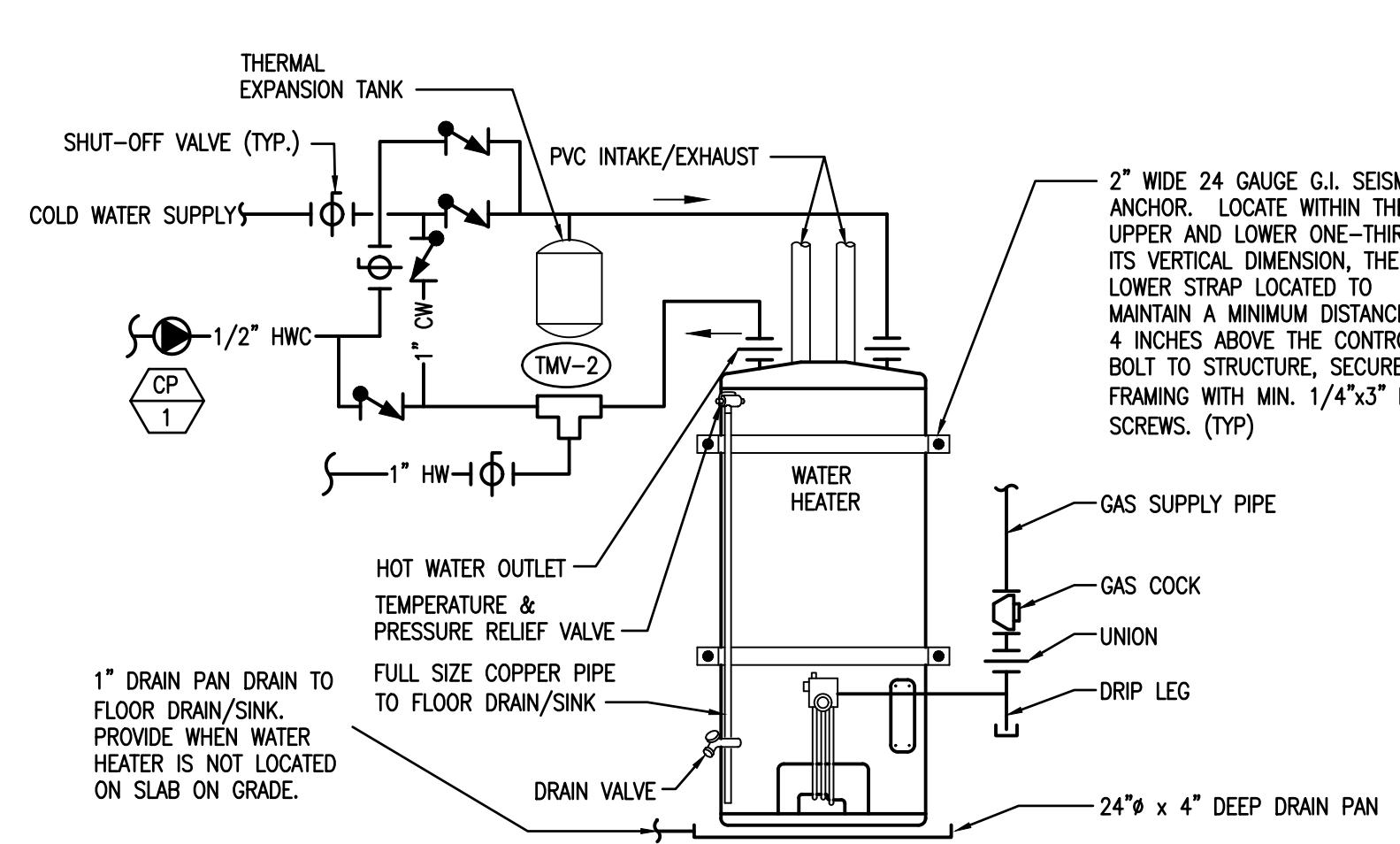
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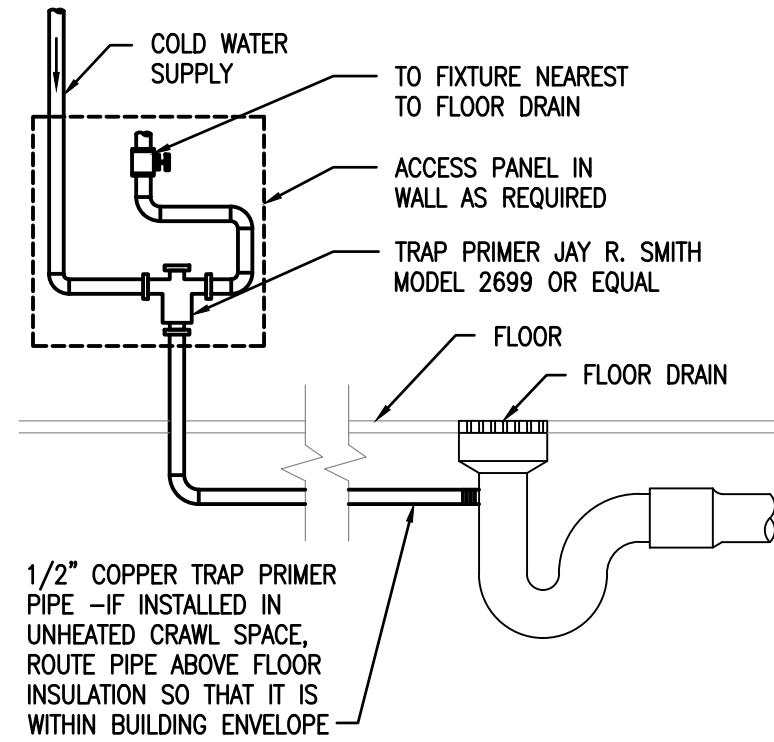
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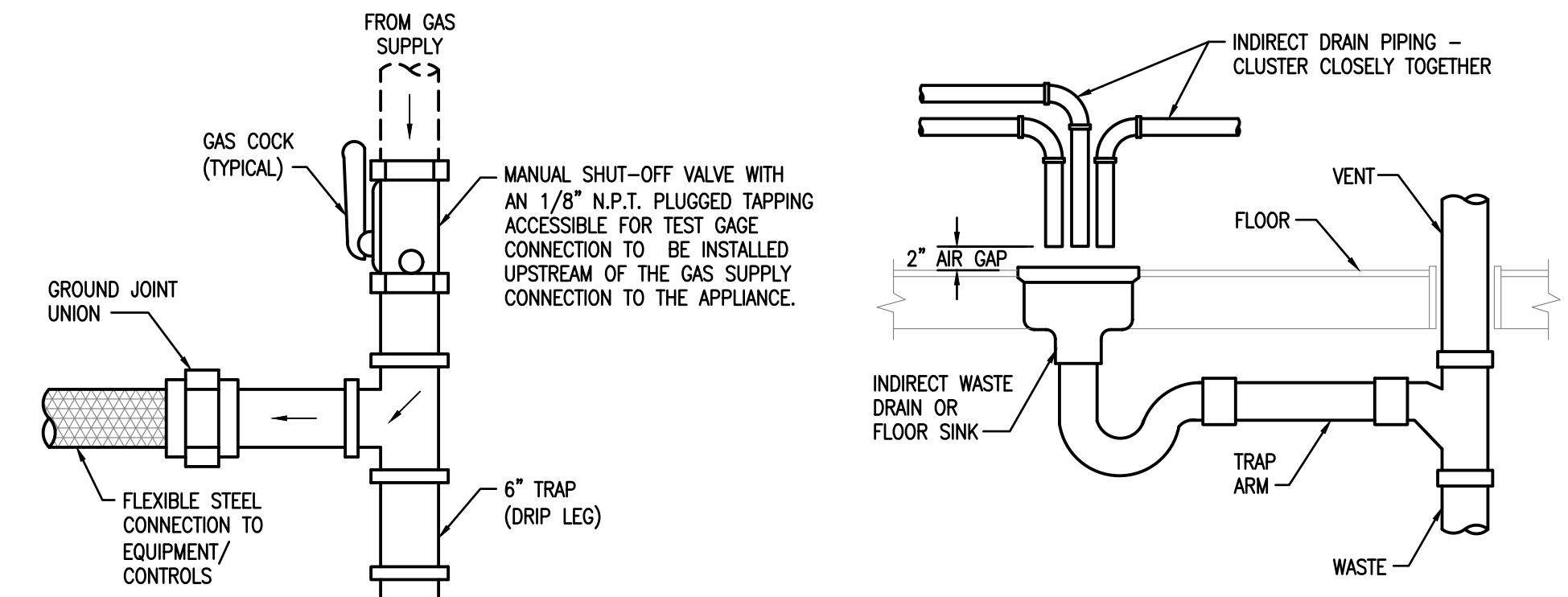
4 RECIRC PUMP DETAIL



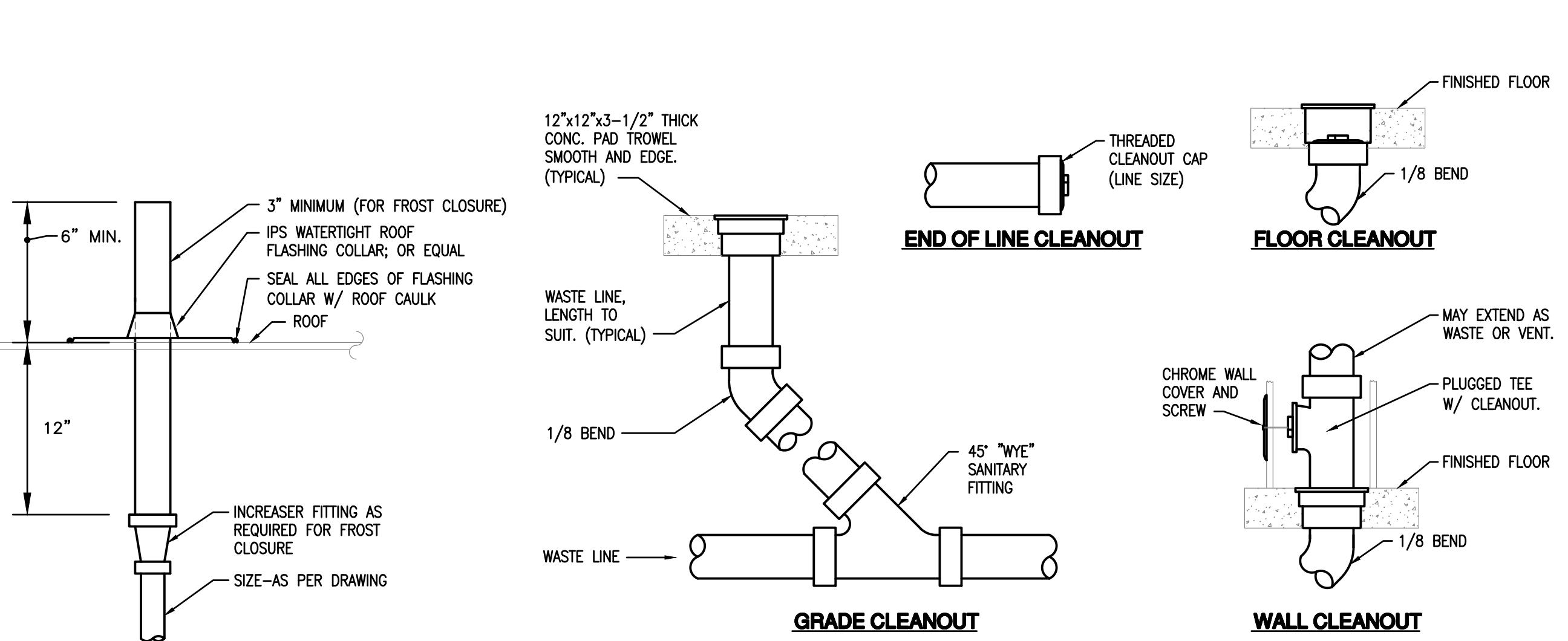
3 CLOSED COMBUSTION GAS W/H DETAIL



9 TRAP PRIMER DETAIL

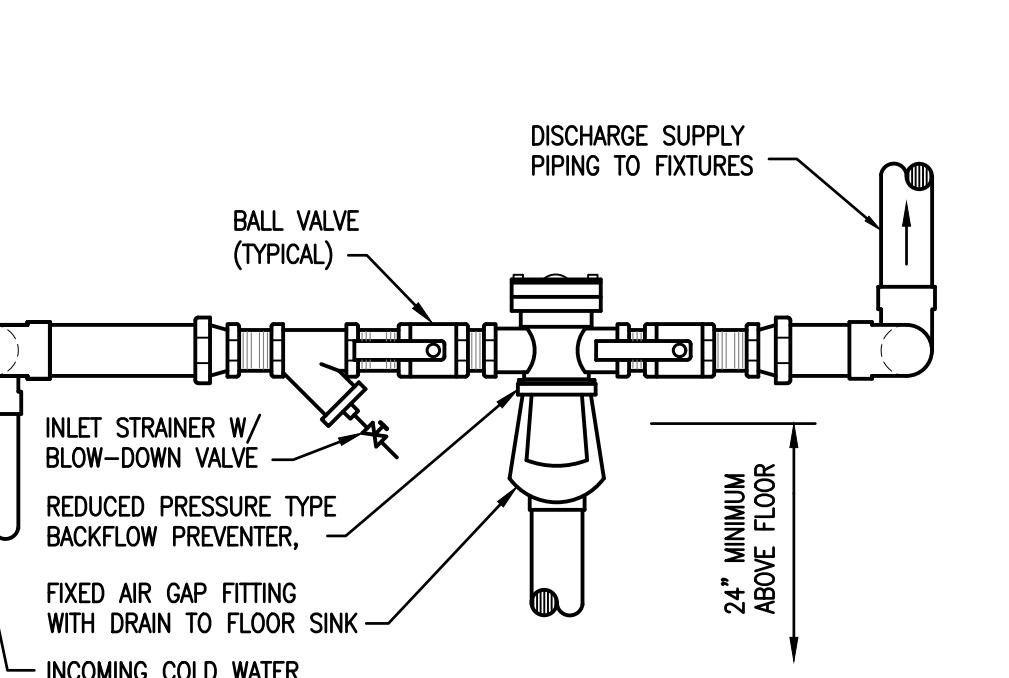


8 GAS CONNECTION DETAIL

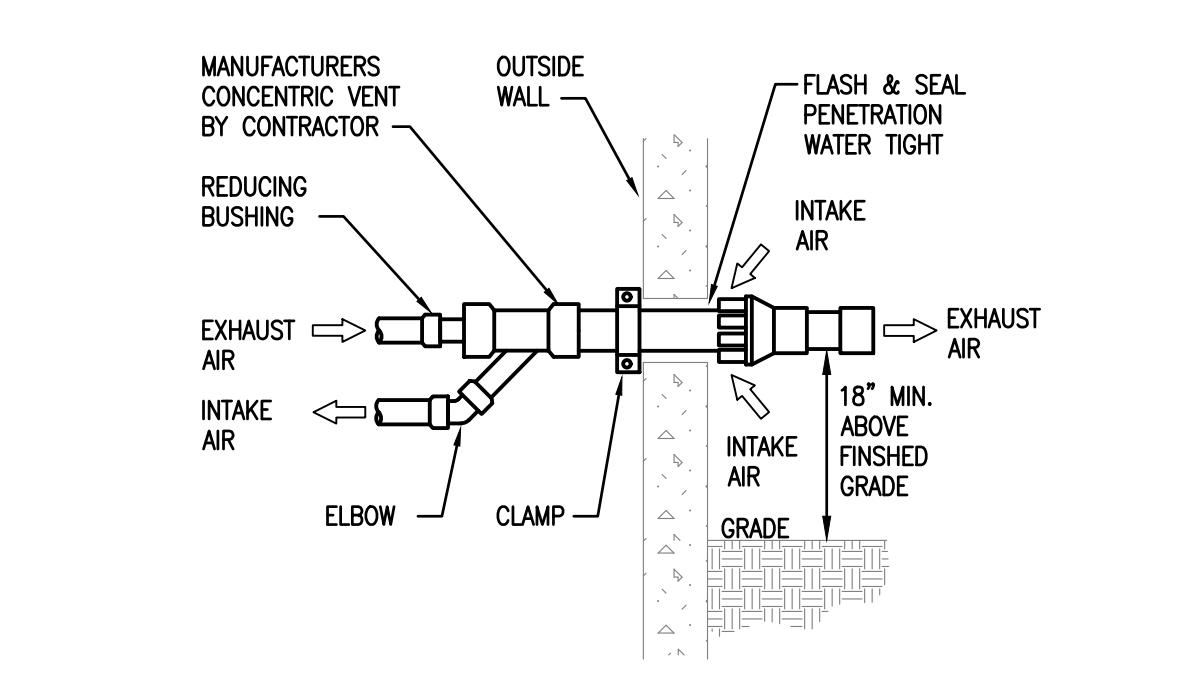


2 PVC - VENT THROUGH ROOF

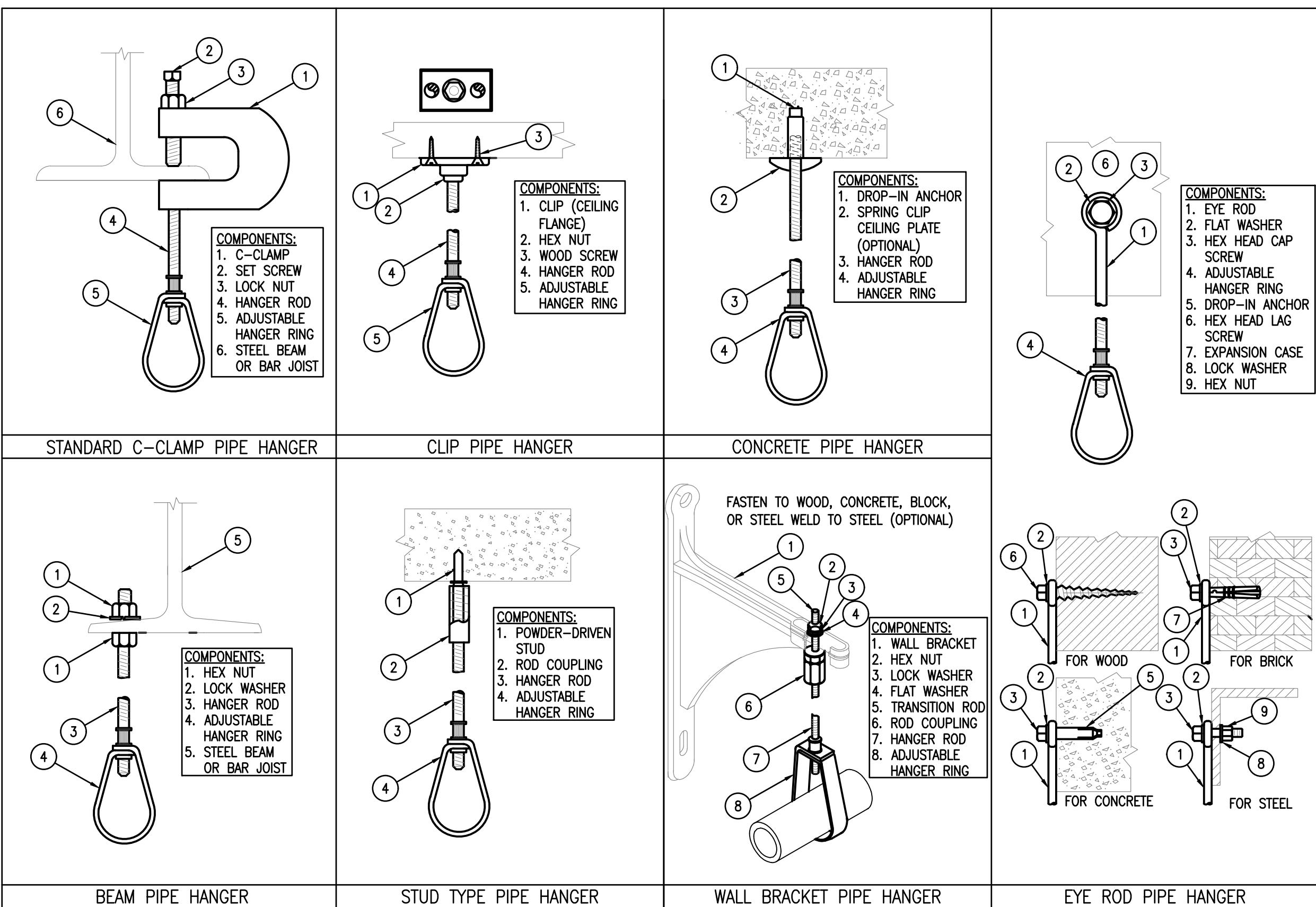
1 CLEANOUT DETAILS



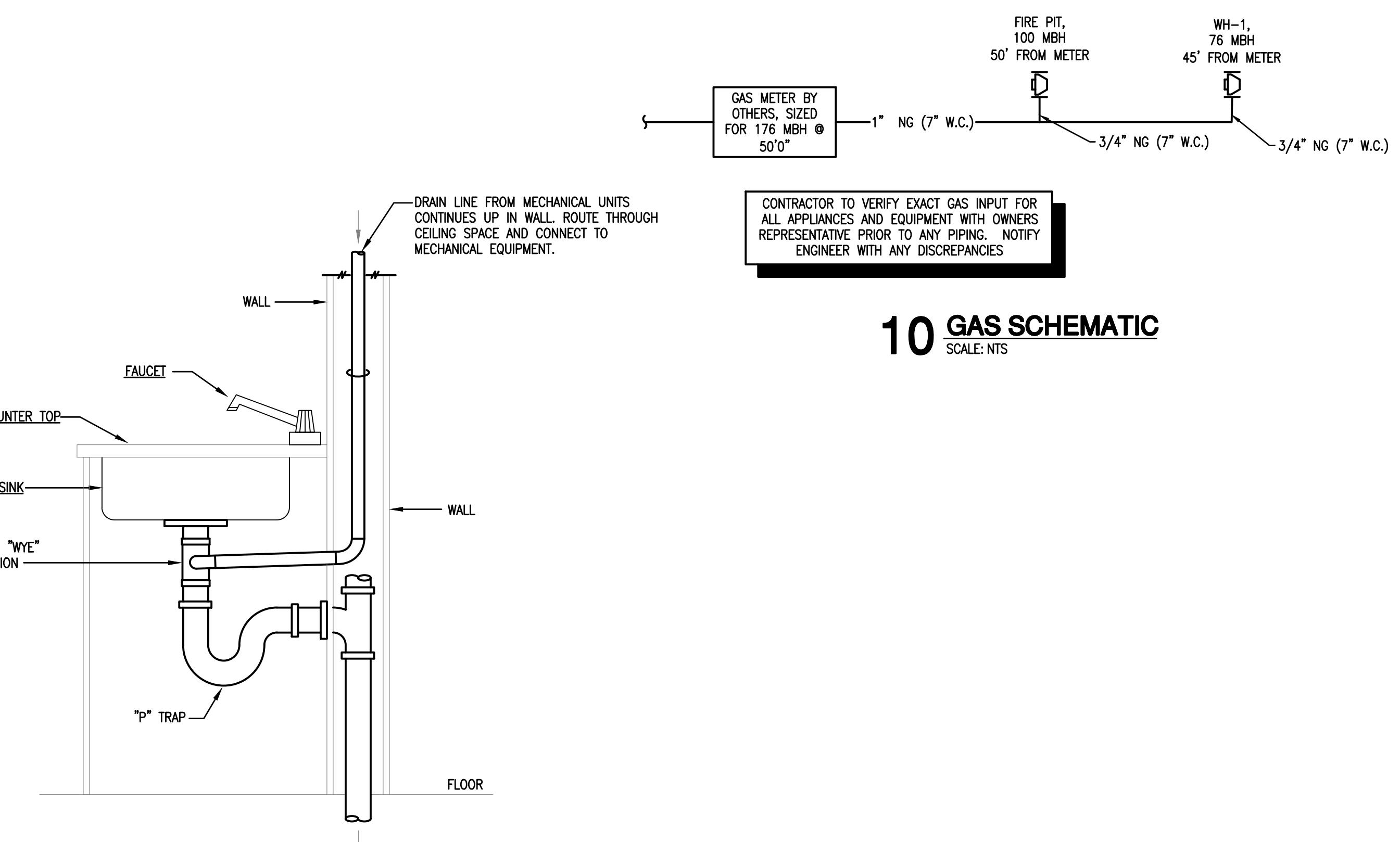
6 REDUCED PRESSURE BACKFLOW PREVENTER



5 CONCENTRIC VENT THROUGH WALL DETAIL



12 PIPE HANGER DETAIL



10 GAS SCHEMATIC

11 CONDENSATE DRAIN LAVATORY TAILPIECE

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