



DESIGN REVIEW

Permit info: DSRFY2024-0005

Application Date: 12/22/2023 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921
▪ www.gardencityidaho.org • building@gardencityidaho.org

| APPLICANT | PROPERTY OWNER |
|------------------------------------|---------------------------------|
| Name: Andrew Sirokman | Name: Bill Truax |
| Company: Golden West Advertising | Company: Parkway Lot 50 LLC |
| Address: 114 East 37th St. | Address: 999 W Main St ste 1400 |
| City: Garden City | City: Boise |
| State: ID Zip: 83714 | State: ID Zip: 83702 |
| Tel.: 208-345-4343 | Tel.: 208-844-7064 |
| E-mail: andrew@goldenwestsigns.com | E-mail: bill@galenafund.com |

PROPERTY AND DESIGN INFORMATION

This application is a request to: Construct New Addition Subdivision

Master Sign Plan

| | | | |
|--------------------|--|---|--------------------|
| Site Address: | 4220 N Adams St, Garden City, ID 83714 | | |
| Subdivision Name: | TWOTOWN PARKWAY SUB | | Lot: 50 |
| Tax Parcel Number: | 06 | Zoning: M | Total Acres: 1.368 |
| Proposed Use: | Mixed - Residential & Retail | Floodplain: <input checked="" type="checkbox"/> Yes | No |

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 12/13/2023

Signature of the Applicant

(date)

 12-10-2023

Signature of the Owner

(date)

APPLICATION INFORMATION REQUIRED

Note:

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

| | |
|---|--|
| <input type="checkbox"/> Compliance Statement and Statement of Intent | <input type="checkbox"/> Affidavit of Legal Interest |
| <input type="checkbox"/> Neighborhood Map | <input type="checkbox"/> Sustainability Checklist *if applicable |
| <input type="checkbox"/> Site Plan | |
| <input type="checkbox"/> Landscape Plan | |
| <input type="checkbox"/> Schematic Drawing | |
| <input type="checkbox"/> Lighting Plan | |
| <input type="checkbox"/> Topographic Survey | |
| <input type="checkbox"/> Grading Plan | |
| <input type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input type="checkbox"/> Ada County Approved Addresses | |
| <input type="checkbox"/> Waiver Request of Application Materials | |



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filling
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

***Required for developments of two or more buildings:**

- Location, elevations, and materials of proposed signage

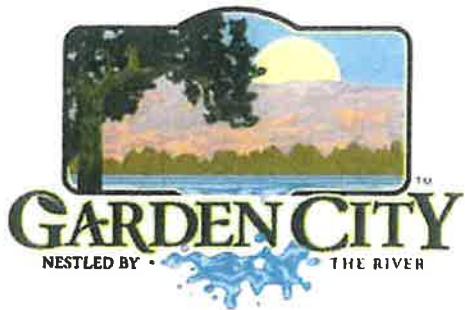
INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

***Required if irrigation canal/irrigation ditch runs through property or along property lines:**

- Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request.



6015 Glenwood Street Garden City, Idaho 83714
Phone 208 - 472-2921 Fax 208 - 472-2926
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
) SS

County of Ada)

I, PKWY LOT 50 LLC, PO Box 1158 (4220 N. Adams St.)
Name (must be primary owner as noted in Ada County Assessor's records) Address

Boise

City

IDAHO 83701

State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to Golden West Advertising Inc. 4220 N. Adams St., Garden City, ID 83714 203 W. 43rd St. Garden City ID 83714 Name (applicant) Project Address to submit the accompanying application pertaining to that property.
2. I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Dated this 16th day of October, 2023

Signature (must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written



Notary Public for Idaho

Residing at:

999 W Main St. Ste 1400, Boise, ID 83702

My Commission expires:

06/02/2026



golden west
ELECTRICAL SIGN COMPANY
"Industry Leader Since 1946"

www.goldenwestsigns.com

ph: 208-345-4343
114 East 37th Street, Boise, Idaho 83714

We are representing Bill Truax of Parkway Lot 50 LLC for his property at 4220 N. Adams St, Garden City, ID 83714. He would like to have the attached Master Sign Plan submitted to the City of Garden City. This plan includes; two parking blade signs, a Crosshatch blade sign, a Crosshatch wall sign, and four cabinet signs mounted under the canopy at each of the tenant spaces on the first floor of his mix-use complex at the same location. There are no tenant signs to add to the submission at this time. The attached Landlord's Sign Criteria explains the type of signage and the accompanying faces that are allowed for the tenants.

With any questions you can contact Andrew Sirokman at (208) 345-4343

Thanks, Andrew Sirokman / Golden West Advertising

114 East 37th Street

Garden City, ID. 83714

Crosshatch Landlord's Sign Criteria

4220 N. Adams Street, Garden City, ID 83714

These criteria have been established for the purpose of maintaining a high standard for a professional building. Conformance to the sign criteria will be strictly enforced. Any nonconforming or unapproved signs installed must be brought into conformance at the expense of the tenant pursuant to the tenant's lease. All signage shall adhere to the specifications, locations, and details provided in this Sign Criteria and in compliance with all governmental requirements.

A. General Requirements

- 1.** All signs will be designed and constructed in compliance with all local Sign and Building Codes and ordinances at time of the permit application, and in accordance with the sign criteria. Should Landlord's criteria be more restrictive than acceptable codes and ordinances, Landlord's criteria shall prevail. Nothing in this criterion shall imply, a waiver of requirements by the local authorities.
- 2.** Each tenant shall submit or cause to be submitted to the Landlord for approval before fabrication color copies of scale drawings, indicating the placement size, layout design, and color of any proposed signs, including all storefront, lettering and/or graphics.
- 3.** The landlord shall approve or disapprove, in writing, all signed submittals prior to installation. Said approval shall not be unreasonably withheld. Landlord will endeavor to communicate and approval, or disapproval, as the case may be, within ten (10) working days of receipt of submittals.
- 4.** Tenant shall be responsible for obtaining sign permits and for all expenses associated with construction, installation and maintenance of tenant's building signage, tenant's pylon/monument signage, and/or tenant sign copy on any pylon/monument signs, if any.
- 5.** Tenant shall be responsible for all maintenance, repair, replacement, and monthly operating cost of any common sign structure of which the tenant's sign copy is affixed, pursuant to Tenant's lease.
- 6.** At the end of Tenant's lease term, or at the time Tenant vacates the lease premises, whichever first occurs, Tenant will remove its sign copy from any pylon/monument signs, if applicable, and extruded cabinet sign, or any part thereof, and will patch and repair any damage to the building or pylon/monument sign structure to Landlord satisfaction.

B. General Specifications

- 1.** All power supplies, transformers, wiring, and other equipment shall be concealed behind the exposed fascia.
- 2.** Sign content shall be limited to Tenant's trade name and/or logo identifying the business or service located or provided herein, subject to approval under A.3.
- 3.** Upon approval by Landlord, Tenant will contract with a reputable sign company to install any applicable signs.

4. Tenant shall be responsible for any damage caused by Tenant's sign contractor, or by its agents or employees.

C. Design Specifications

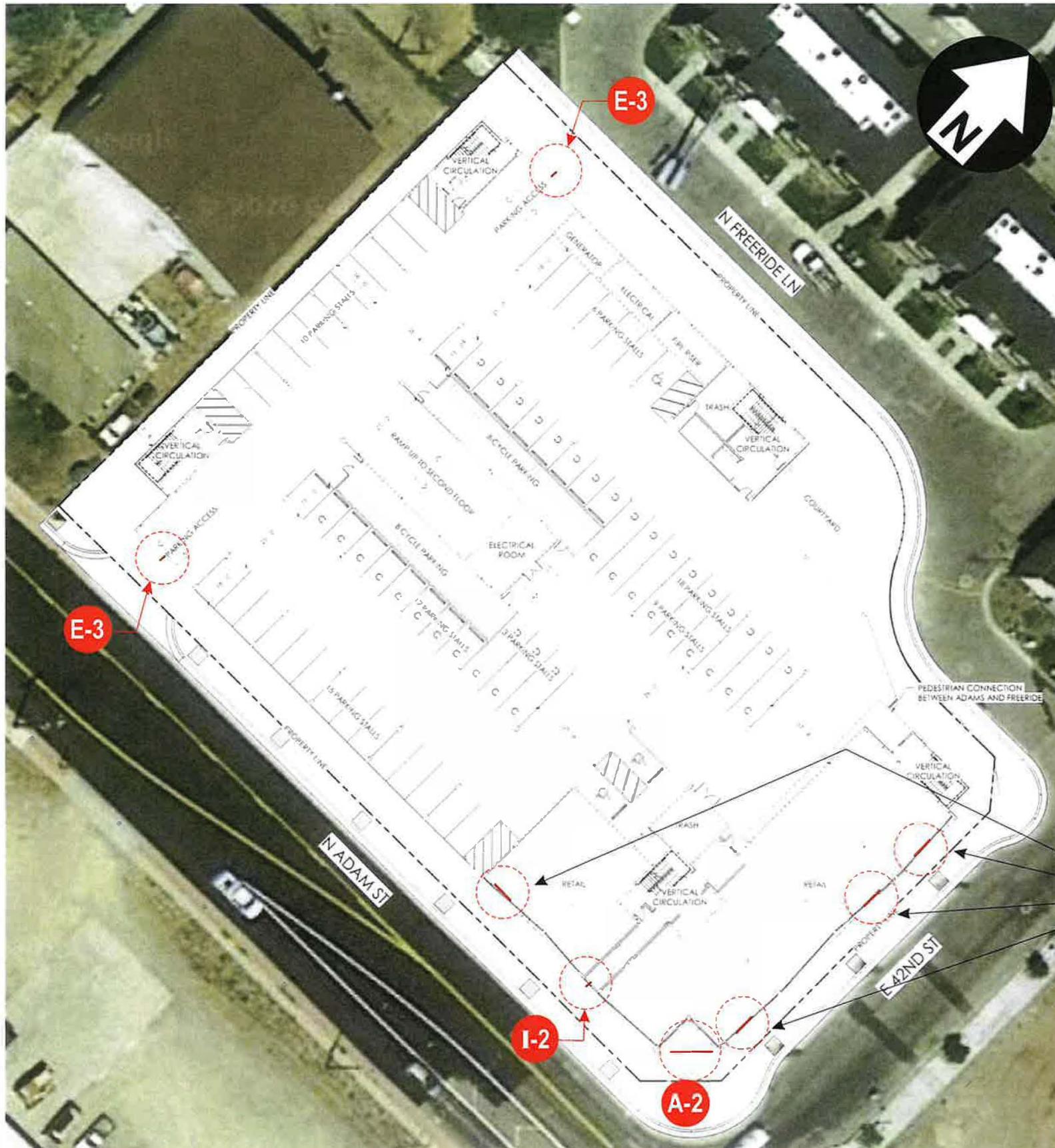
- 1. Each Tenant is allowed one 1'-8" x 8'-0" x 5" single face, satin black, extruded aluminum cabinet sign (Internal white, LED illumination is optional) hinged for service. The cabinet sign is to be mounted under the canopy on three 1" x 2" tube steel supports (refer to detail,) in preapproved locations (refer to site plan).**
- 2. Tenant logo and copy to be 3M 3630 series vinyl on .177 thick white acrylic background face.**
- 3. Sign electrical connections shall be made by all Tenants to Tenant's meter service, unless common area time clock system is provided by Landlord.**
- 4. All signs shall bear the U. L. label and be connected and installed in compliance with all local sign and building Codes and Ordinances.**
- 5. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition. If at any time during Tenant's occupancy of the leased premises, water is found leaking into the building via penetrations from tenants sign, then Tenant, at Tenant's sole expense, shall make the necessary repairs in a timely manner to stop water leakage.**
- 6. The allowable sign area is dictated by the Garden City sign code and at the discretion of the Landlord.**

D. Miscellaneous Requirements

- 1. No installation will be permitted until Tenant has received written approval from Landlord, along with a copy of Tenant's detailed signed drawing with Landlord's approval affixed hereto.**
- 2. Applicant must secure approval of Landlord prior to submitting a request for a sign permit from the City of Garden City, ID.**

E. Prohibited Signage

- 1. Any building signage that does not comply under C.1&2.**
- 2. Advertising placards, banners, pennants, names insignia, trademarks, or other descriptive material, affixed or mounted upon the glass panes and supports of show windows and doors, or upon the exterior walls of buildings without first obtaining approval from Landlord.**
- 3. Temporary free-standing signage such as sandwich boards, metal lawn signs and vehicle mounted signage displayed in the parking lot or landscaped common areas without prior approval of Landlord. Temporary professionally-produced grand opening signs or banners shall be permitted to be displayed for periods not to exceed thirty (30) consecutive days, or as provided for under the tenant lease, after first obtaining approval from Landlord.**



A-2
"CROSSHATCH" SIGNAGE:
2'-0" x 13'-9" LETTERS

CROSSHATCH

E-3
PARKING SIGNAGE:
1'-3" x 6'-6" VERTICAL SIGN



I-2
ROUND ENTRANCE SIGNAGE:
3'-0" DIAM. SIGN



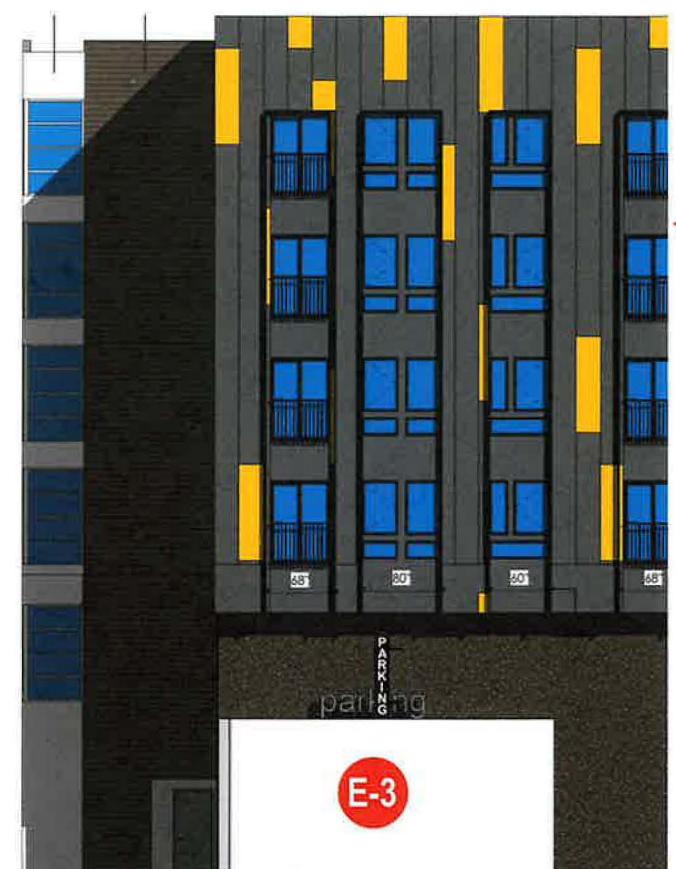
J
UNDER CANOPY TENANT SIGNAGE:
(4) 1'-8" x 8'-0" SINGLE FACE CABINETS





SOUTH ELEVATION

SCALE: 1/16"=1'-0"



J
UNDER CANOPY TENANT
SIGNAGE:
(4) 1'-8" x 8'-0" SINGLE
FACE CABINETS

EAST ELEVATION

SCALE: 1/16"=1'-0"

Crosshatch
Garden City, Idaho

project name
& location

file name
manuf. file name

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authorized
signature

| | |
|---------------|------------|
| sales rep | andrew |
| designer | bachman |
| complete date | 12/12/2023 |
| revision date | 12/18/2023 |

171'-6"

T.P.
165'-8 1/8"

LEVEL 6
156'-7"

LEVEL 5
146'-4"

LEVEL 4
136'-1"

LEVEL 3
T.O. PODIUM
125'-0"

LEVEL 2
114'-6"

LEVEL 1
100'-0"

HEIGHT 71'-6"

T.P.
165'-8 1/8"

LEVEL 6
156'-7"

LEVEL 5
146'-4"

LEVEL 4
136'-1"

LEVEL 3
T.O. PODIUM
125'-0"

LEVEL 2
114'-6"

LEVEL 1



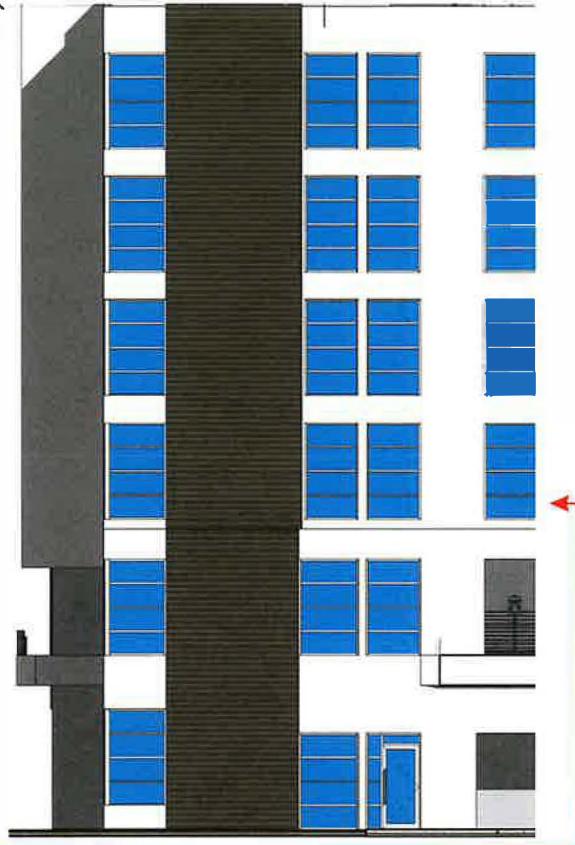
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ELECTRICAL SIGN COMPANY

Industry leader in manufacturing and sign service since 1946

www.goldenwestsigns.com



design number
6661-23



NORTH ELEVATION
SCALE: 1/16"=1'-0"

BUILDING LENGTH 284' 4"



project name
& location

Crosshatch
Garden City, Idaho

file name
manuf. file name

j\design 2023\Crosshatch\Sign Program.cdr

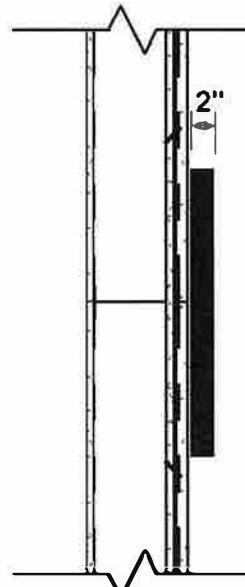
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authorized
signature

sales rep andrew
designer bachman
complete date 12/12/2023
revision date 12/18/2023



design number
6661-23



SECTION DETAIL

13'- 9"

2'- 0"

CROSSHATCH

SIGN AREA = 27.5 sq.ft.

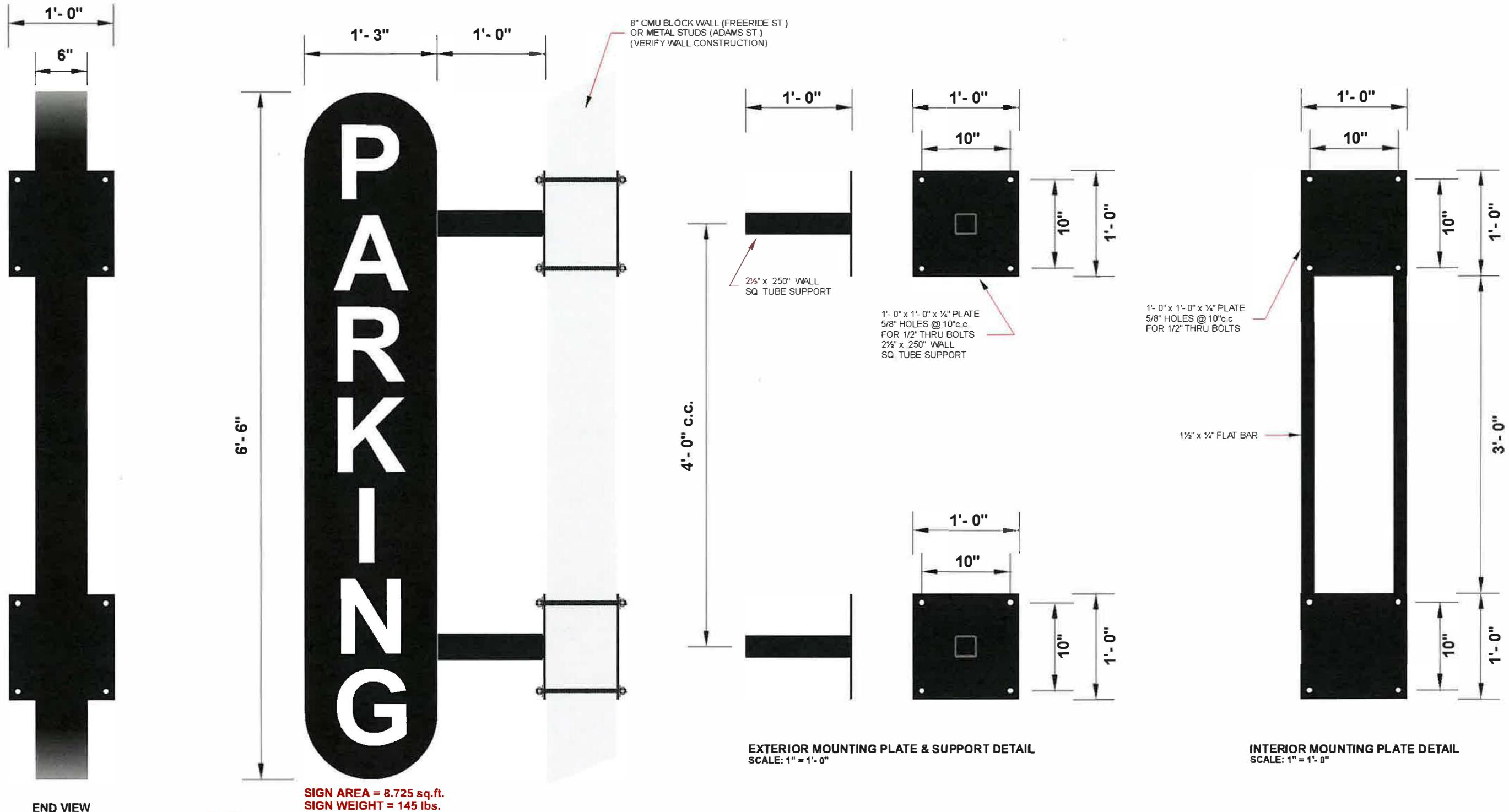
A-2 FRONT ELEVATION @ INDIVIDUAL (NON-ILLUMINATED) REVERSE PAN CHANNEL LETTERS
SCALE: 3/4" = 1'- 0"

INDIVIDUAL (NON-ILLUMINATED) 24" REVERSE PAN CHANNEL "CROSSHATCH" LETTERS WITH 2" RETURNS
LETTER FACES AND RETURNS PAINTED SEMI-GLOSS BLACK
LETTERS ARE FLUSH MOUNTED ONTO FASCIA USING CONCEALED STUDS



RENDERS ARE TO APPROXIMATE SCALE ONLY







END VIEW

E-3 FRONT ELEVATION @ D/F (NON-ILLUMINATED) FLAGMOUNT SIGN
SCALE: 1" = 1'-0"

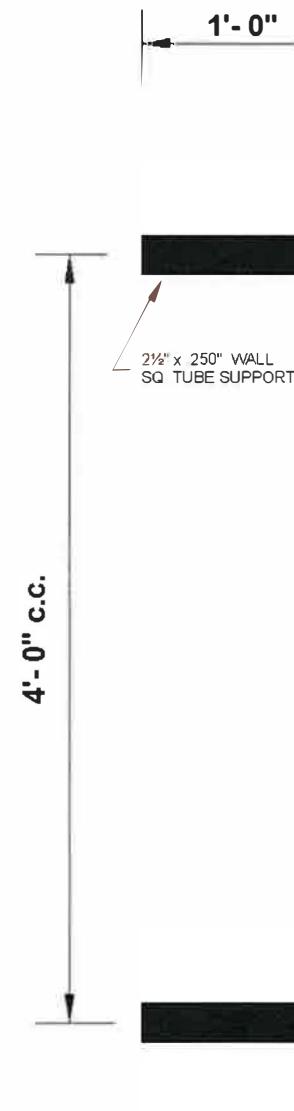
(2 REQ'D) DOUBLE FACE (NON-ILLUMINATED) FLAG MOUNT "PARKING" SIGNS
.080 ALUMINUM FACES & 20ga METAL RETURNS PAINTED SEMI-GLOSS BLACK
"PARKING" COPY TO BE REFLECTIVE WHITE #280-10 VINYL OVERLAYS
MOUNTING PLATES & SUPPORTS PAINTED SEMI-GLOSS BLACK

project name & location

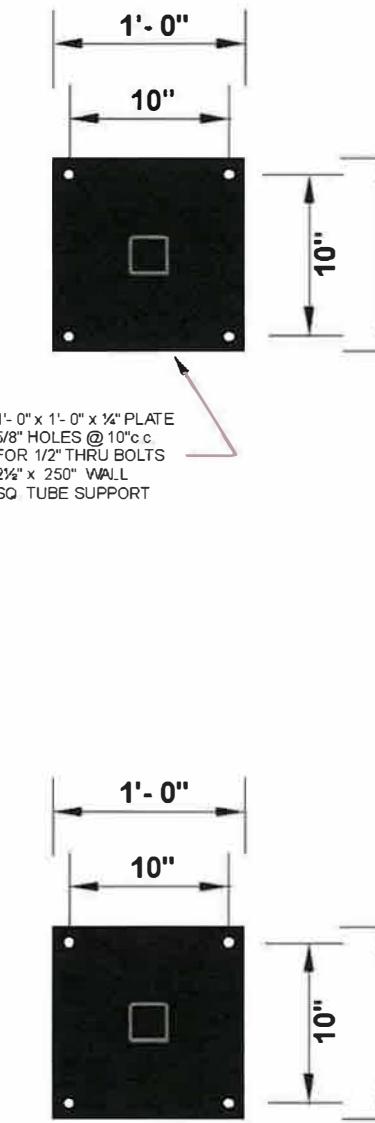
Crosshatch
Garden City, Idaho

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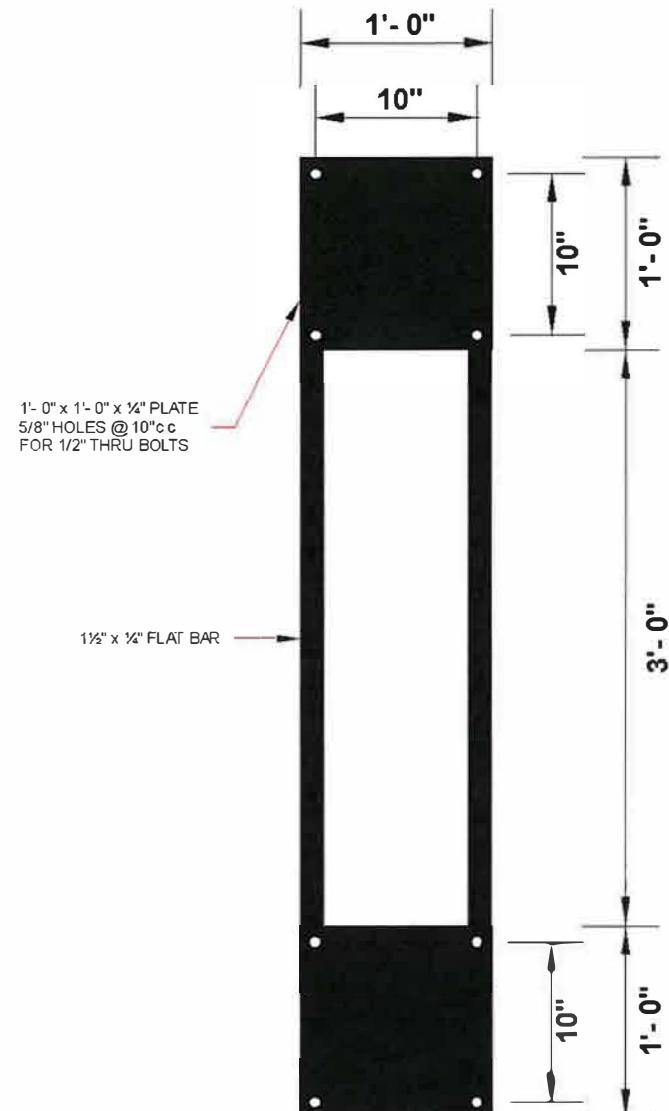
8" CMU BLOCK WALL (FREERIDE ST)
OR METAL STUDS (ADAMS ST)
(VERIFY WALL CONSTRUCTION)



EXTERIOR MOUNTING PLATE & SUPPORT DETAIL
SCALE: 1" = 1'-0"



1'-0" x 1'-0" x 1/4" PLATE
5/8" HOLES @ 10" c.c.
FOR 1/2" THRU BOLTS
2'5" x 250" WALL
SQ TUBE SUPPORT



INTERIOR MOUNTING PLATE DETAIL
SCALE: 1" = 1'-0"

SIGN AREA = 8.725 sq.ft.
SIGN WEIGHT = 145 lbs.

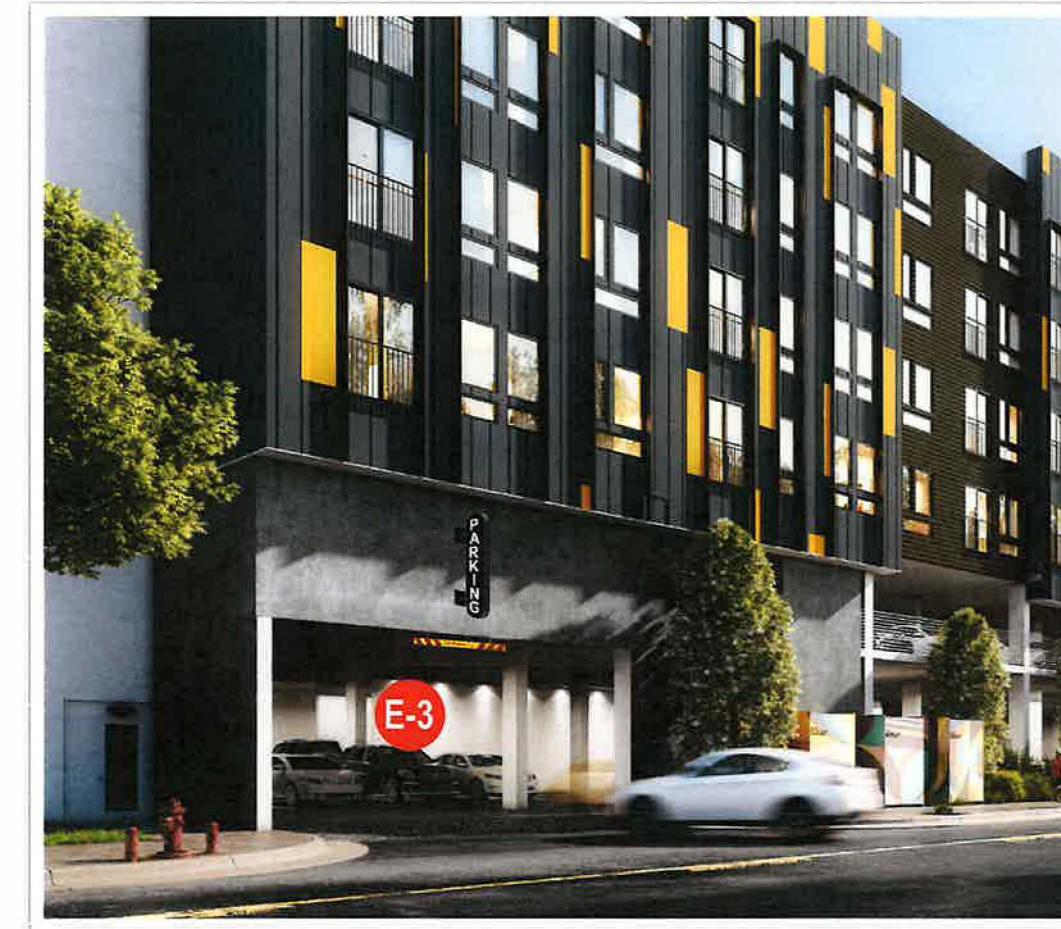
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| | |
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| designer | bachman |
| complete date | 12/12/2023 |
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design number
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RENDERS ARE TO APPROXIMATE SCALE ONLY

5'- 0"



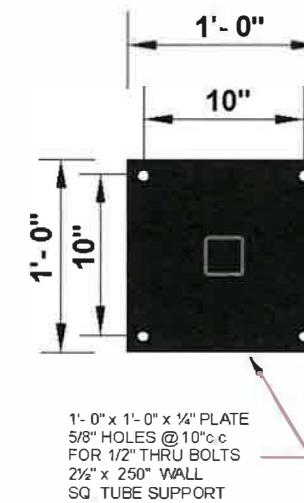
F FRONT ELEVATION @ TYPICAL HANGING CLEARANCE BOLLARDS
SCALE: 3/4" = 1'- 0" (3 REQ'D)

(3) TYPICAL HANGING "CLEARANCE" BOLLARDS
(1) @ EACH ENTRANCE & (1) @ SHORTER LEVEL 2 (VERIFY ALL HEIGHT COPY REQ'D)
HANGING BARS ARE 4" DIAM. PVC PIPE WITH ENDS
PAINT SEMI-GLOSS BRIGHT YELLOW TO MATCH PMS 116
VINYL COPY & STRIPE OVERLAYS ARE REFLECTIVE RED #280-72 (VERIFY HEIGHT COPY)
BOLLARDS ARE TO BE MOUNTED USING CHAINS (VERIFY LENGTH REQ'D)
NOTE: USE 1/4" DROPPIN ATTACHEMENT WITH SMART BIT (BOLLARD WEIGHT IS 18lbs)

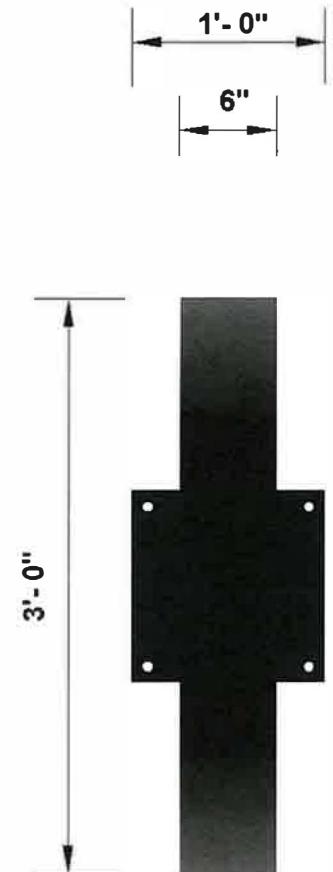
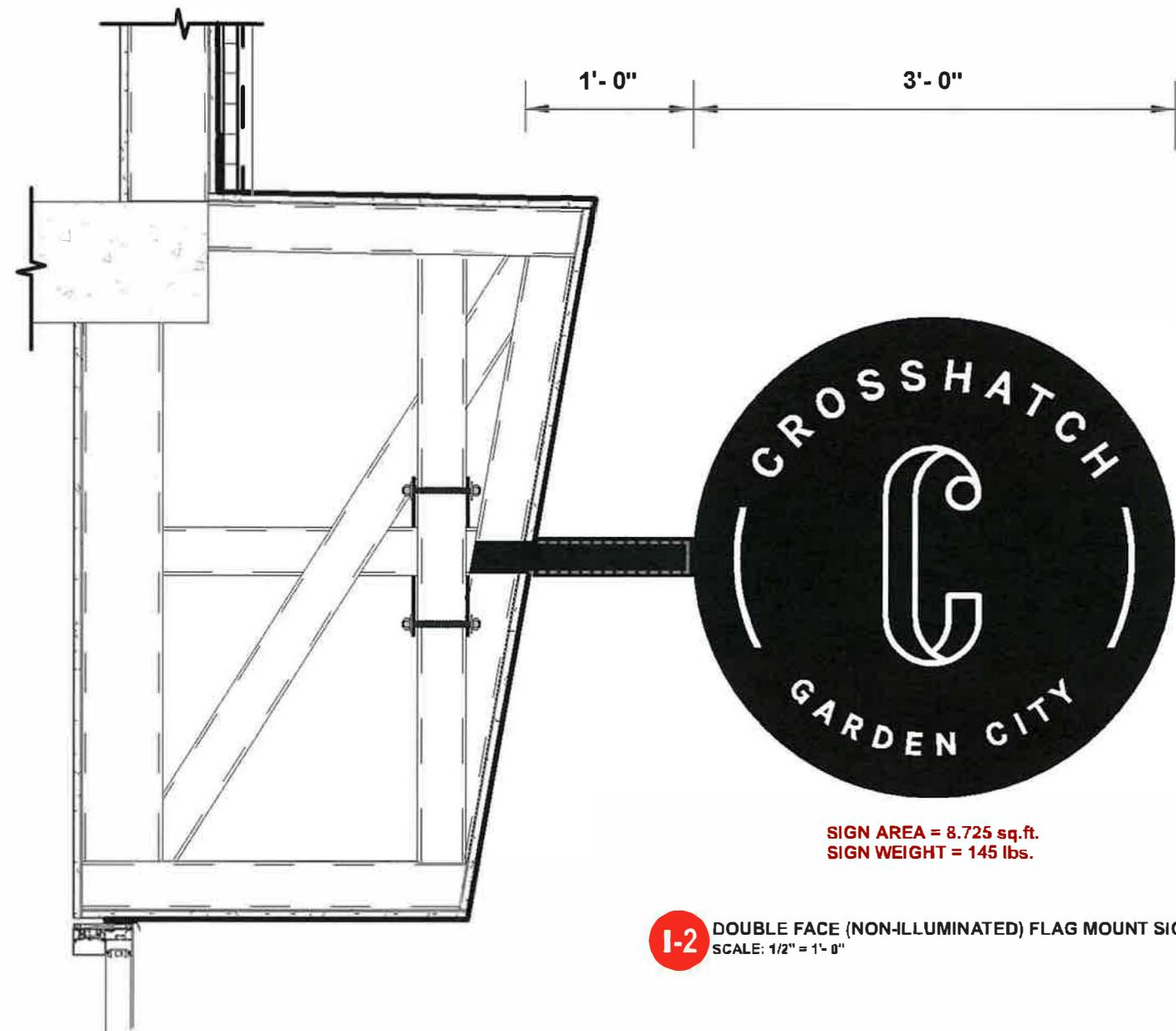




INTERIOR PLATE DETAIL
SCALE: 1" = 1'-0"



EXTERIOR PLATE & SUPPORT DETAIL
SCALE: 1" = 1'-0"



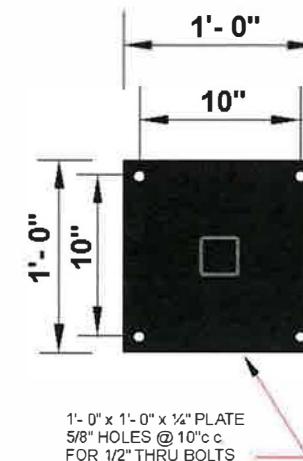
DOUBLE FACE (NON-ILLUMINATED) FLAG MOUNT "LOGO" SIGN
.080 ALUMINUM FACES & 20ga METAL RETURNS PAINTED SEMI-GLOSS BLACK
ALL COPY & GRAPHICS ARE REFLECTIVE WHITE #280-10 VINYL OVERLAYS
MOUNTING PLATES & SUPPORTS PAINTED SEMI-GLOSS BLACK



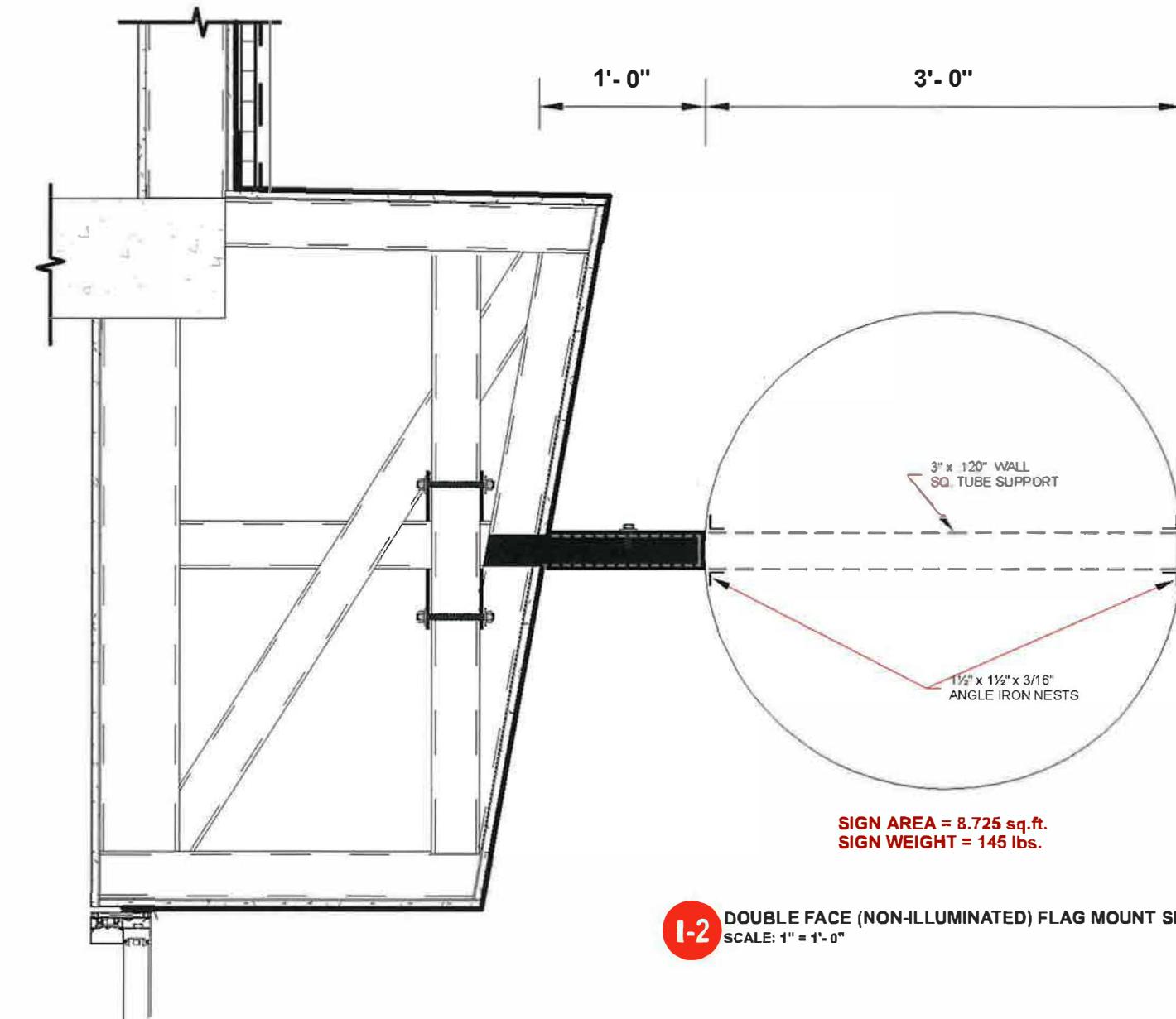
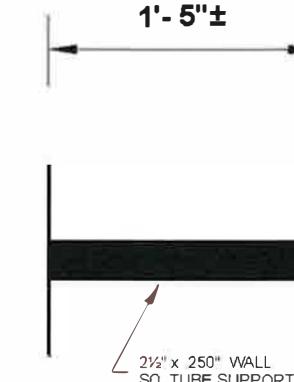
design number
6661-23



INTERIOR PLATE DETAIL
SCALE: 1" = 1'- 0"



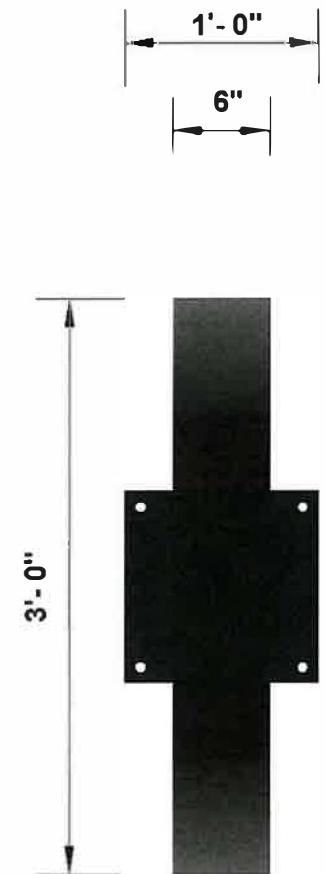
EXTERIOR PLATE & SUPPORT DETAIL
SCALE: 1" = 1'- 0"



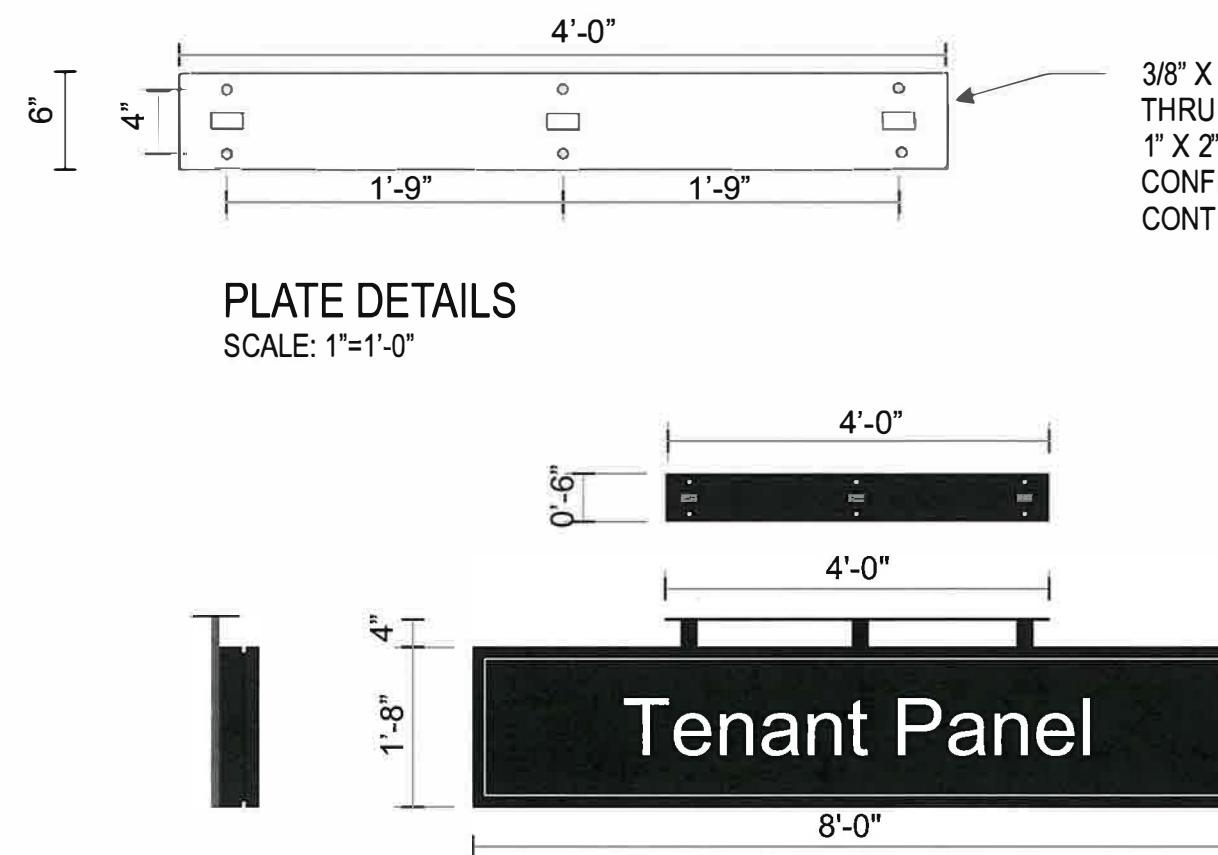
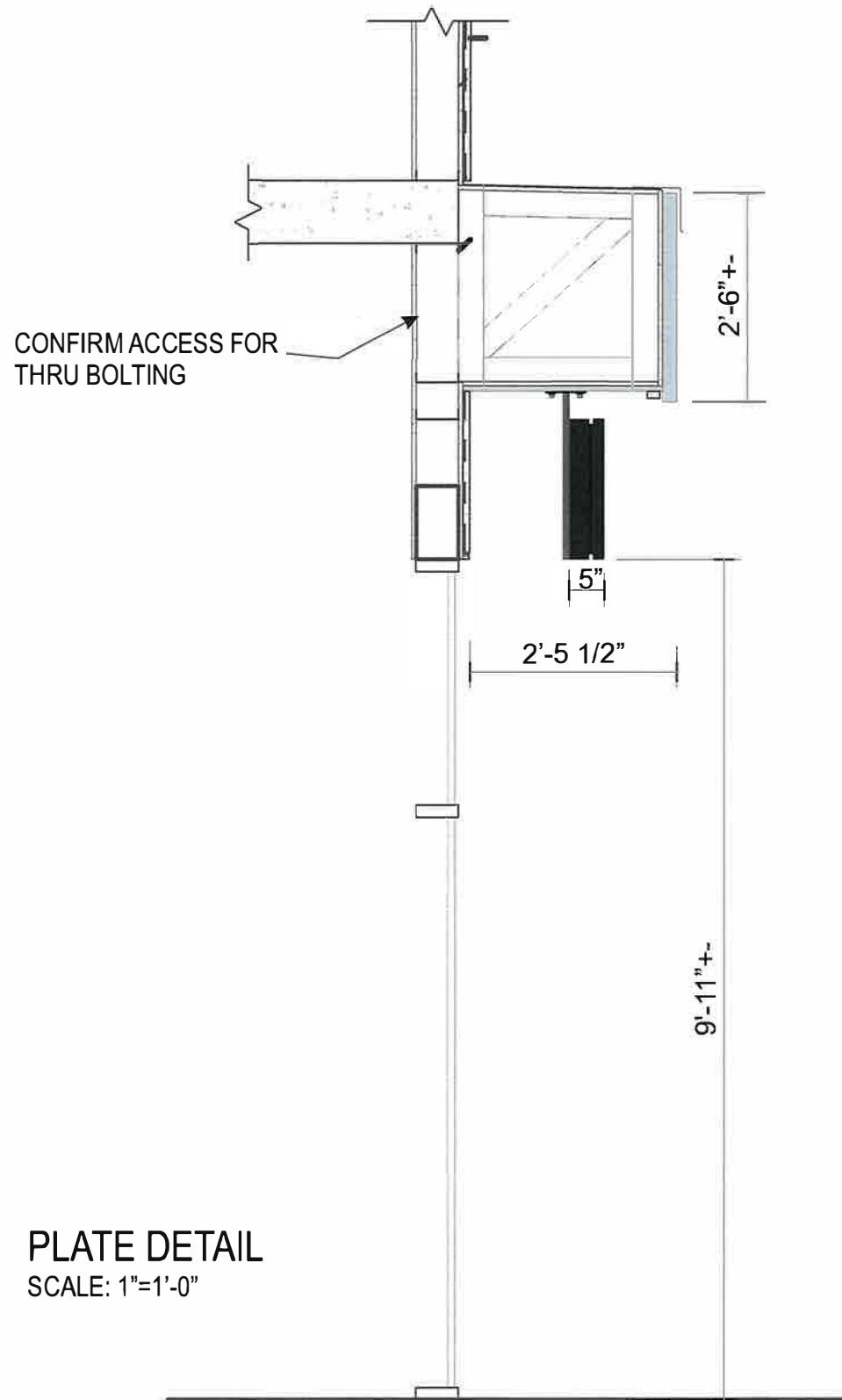
SIGN AREA = 8.725 sq.ft.
SIGN WEIGHT = 145 lbs.

I-2 DOUBLE FACE (NON-ILLUMINATED) FLAG MOUNT SIGN
SCALE: 1" = 1'- 0"

DOUBLE FACE (NON-ILLUMINATED) FLAG MOUNT "LOGO" SIGN
.080 ALUMINUM FACES & 20ga METAL RETURNS PAINTED SEMI-GLOSS BLACK
ALL COPY & GRAPHICS ARE REFLECTIVE WHITE #280-10 VINYL OVERLAYS
MOUNTING PLATES & SUPPORTS PAINTED SEMI-GLOSS BLACK



END VIEW



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SUSPENDED UNDER CANOPY TENANT SIGN:
SINGLE FACE EXTRUDED ALUMINUM CABINET SIGN PAINTED SATIN BLACK
HINGED FOR SERVICE

BACKGROUND FACE .177 THICKNESS WHITE SG ACRYLIC
TENANT DECORATION TO BE 3M VINYL 3630 SERIES
TENANT LOGO AND COPY (UNKNOWN AT THIS TIME)

INTERNAL WHITE LED ILLUMINATION 2.0 AMPS AT 120 VAC

3/8" X 6" X 4'-0" PLATE WITH 1" X 2" SUPPORTS AS SHOWN PAINTED SATIN BLACK

FINAL SIGN LAYOUT SUBJECT TO LANDLORD APPROVAL

TENANT SIGN DETAILS

SCALE: 1/2"=1'-0"