

DESIGN REVIEW

Permit info: DSRFY 2024-0007
Application Date: 11/5/23 Rec'd by: CW
FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921
▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Jorre Delgado	Name:
Company: JD Planning & Consulting	Company: KC Emerald Property Holdings
Address: 1111 E Bannock St	Address:
City: Boise	City:
State: ID Zip: 83712	State: Zip:
Tel.: 661-742-4967	Tel.:
E-mail: jorre@jdplanningandconsulting.com	E-mail:

PROPERTY AND DESIGN INFORMATION

This application is a request to: Construct New Addition Subdivision

Site Address: 5443 N. Glenwood, Garden City, ID 83714

Subdivision Name: Starwberry Glenn	Lot: 34	Block:
Tax Parcel Number: R8191508280	Zoning: C-2	Total Acres: 2
Proposed Use: multi-family development	Floodplain: Yes	<input checked="" type="radio"/> No

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.



01/05/2024

Signature of the Applicant

(date)

Signature of the Owner

(date)

APPLICATION INFORMATION REQUIRED

Note:

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

<input checked="" type="checkbox"/> Compliance Statement and Statement of Intent	<input checked="" type="checkbox"/> Affidavit of Legal Interest
<input checked="" type="checkbox"/> Neighborhood Map	<input type="checkbox"/> Sustainability Checklist * <i>if applicable</i>
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> see waiver
<input checked="" type="checkbox"/> Landscape Plan	
<input checked="" type="checkbox"/> Schematic Drawing	
<input type="checkbox"/> Lighting Plan <small>see waiver</small>	
<input checked="" type="checkbox"/> Topographic Survey	
<input checked="" type="checkbox"/> Grading Plan	
<input checked="" type="checkbox"/> Will Serve Letter ** <i>If required, must submit a Fire Flow Request</i>	
<input type="checkbox"/> Ada County Approved Addresses <small>see waiver</small>	
<input checked="" type="checkbox"/> Waiver Request of Application Materials	



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filling
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

***Required for developments of two or more buildings:**

- Location, elevations, and materials of proposed signage

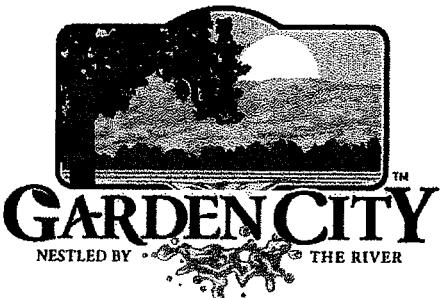
INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

***Required if irrigation canal/irrigation ditch runs through property or along property lines:**

- Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request.



6015 Glenwood Street Garden City, Idaho 83714
Phone 208 - 472-2921 Fax 208 - 472-2926
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to Jorre Delgado,
Name of Applicant
to submit the accompanying application pertaining to 5443 N. Glenwood,
Garden City Idaho, 83714 property. Address of Property Subject to this Affidavit
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated, this 27th day of October, 2023.

Signature

Printed Name

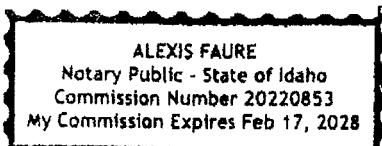
Printed Name (must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

(Name of primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written.

Notary Public for Idaho

Residing at: **MACAU BR 134**





Date: October 17th, 2023

To: Planning Staff & Design Review Committee
City of Garden City
6015 Glenwood Street
Garden City, Idaho 83714

RE: 5443 N. Glenwood, Garden City, ID 83714
Waiver Request of Application Materials

Planning Staff & Design Review Committee,

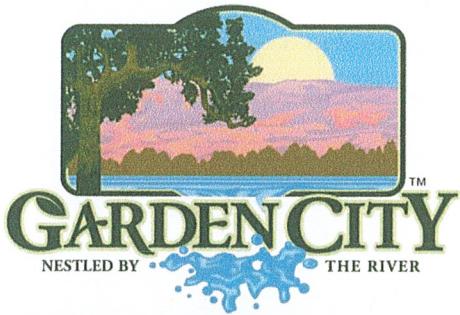
We are requesting a waiver for the following application items:

1. **Lighting Plan** - Lighting plan to be submitted as the development further develops to ensure the proper placement of lighting and proper electrical work.
2. **Ada County Approved Addresses** - Ada county approved addresses will be assigned after the number of units are confirmed on final entitlement documents.
3. **Sustainability Checklist** - Exempt

Thank you,

A handwritten signature in black ink that reads 'Jorre Delgado'.

Jorre Delgado



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

August 14, 2023

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 5443 N Glenwood St

Fire hydrant serving this address: #8006

Fire flow Garden City is able to provide is 2000 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 50 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 2000 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File

Application Exhibit

To: **Hanna Veal, City Reviewer**
From: **Amanda Bidwell, Architect, EVstudio**
Wade Thomas, TNT
Jorre Delgado, JD Planning and Consulting

Date: **1/5/24**

Project Name: **Ironwood**

Project Address: **5443 N. Glenwood Street, Garden City**

Project Specific Details: The following is being provided for additional detailed information for the benefit of the Design Review Committee and Garden City.

1. **Site information:** The property currently consists of approximately 4.09 acres. Concurrently with this application, we will be submitting a minor land division request to split the property from east to west into two parcels. The proposed project site will be on the southerly portion of the current property and will consist of 2.00 acres. The remaining northern parcel will contain its current building and parking areas. Additionally, there are certain access easements on the property for the cell towers located on the Southwest and Northwest portions of the current property. Those easements are being realigned so that they will be in the middle of the current site. Once complete, there will be an easement on the northern edge of the proposed site to provide the cell tower owner and its agents access to the cell tower sites.
2. **Unit Summary:** See Sheet A100

1-Bedroom:	90 Units
2-Bedroom:	80 Units
Total:	170 Units
3. **Open Space Calculations:** See sheet A100
 - a. **Common Open Space**
250SF/Units - 501sf - 1,200sf * 170 UNITS = 42,500SF required
Total common open space required = 42,500sf

Common open space provided = 42,800SF
 - b. **Private Open Space:** See sheet A103
Each unit has a balcony that is >80 SF and 6' in width at any one point.

4. Parking Summary: See sheet A100

a. Required:

1 Bedroom Unit (1 stall each):	90 stalls
2 Bedroom Unit (2 stalls each):	160 stalls
Guest (.5 first 10; .1 after)	<u>21</u> Stalls
Total:	271

b. Provided

STandard Stalls: 266 stalls
Accessible stalls: 7 stalls
Total: 273

5. Bike Parking: See sheet A100

.5 for the first 10, .1 after 191 stalls (required and provided)

6. Provided amenities are as follows:

Quality of Life:

Fitness Facilities - Located in second floor amenities

Enclosed Bike Storage - Located within the garage and on the west side of the site

Business Center - Located in first floor amenities

Open Space:

Community Garden - Located on roof deck

Recreation Amenities

Pool - located on podium deck (denoted as "amenity" on landscape plan)

Additional Requirements for Developments with 20 or More Units

Property Management Office - Located on first floor

Maintenance Storage Area - Located on first Floor

Central Mailbox Location - Located on first floor in leasing office area

Directory/Map - Located at main drive entry

Additional Amenities included:

Numerous open sitting areas and patios located throughout the site, some with fire pits and grills

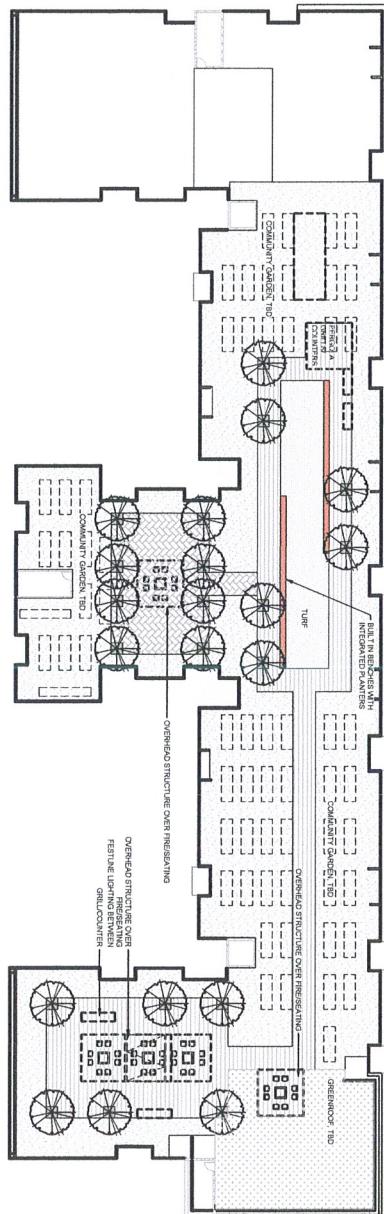
Dog run located on the ground level

7. The mechanical equipment will be on the roof of the building, concealed by the parapets provided at the roof level of the building. See added "Mechanical Screening Exhibit" site plan sheet A311, which provides building cross section showing the actual height of the mounted equipment relative to the height of the parapet. No service areas or mechanical systems are proposed on the ground level.

8. Pedestrian connectivity through the first level building and to street frontages is shown on site plan sheet A100A. Additionally, pedestrian connectivity to the street frontage and at crossing areas within the parking area will be made of stamped concrete. Primary pedestrian access to Glenwood Street would be through the covered entry and drop off area on the east side of the building. Sheet A203
9. The trash enclosure is located on the north west side of the building and is located to provide convenient access for the residents while being fully contained and out of view from adjacent properties and public streets. Sheet A100.
10. On site bicycle parking is located within 50 feet of the building entrance. Bicycle parking is located within the parking structure on the first and second floors, as well as outside of the building in the northwest portion of the site. See site plan Sheet A100, A100A, A101 and A102.
11. The location and construction of fencing at the site perimeter is identified in the Landscape Plan Sheet L100 & L150 and will include 6' closed vision fencing on the west side of the site, as well as 4' black tube steel fencing surrounding the dog run. Existing fencing on the southside of the site will not be removed as such is located on the adjacent property and is designed as a security fence for that property.
12. 8-4B-4 Roof forms The roofline is designed such that the parapets vary in height around the building. The roofline at these areas is stepped down and provided with a shed roof over the 7th floor balcony. There is a taller parapet behind the shed roof to provide a place for transition from the shed roof back to the flat roof of the building, as well as add to the varied heights around the building. The elevations and 3D images are built with the same 3D BIM model and thus are coordinated to show the same information.
13. The parapets around the building are broken up by building elements that frame sections of the building to further break up the long façade. The overall appearance of the parapets is broken up by balcony projections that step the appearance of the building 'top' down a full story to break up the long facades. Parapet heights step up and down at key points of the building as well.
14. Gravity irrigation is located along the street frontage of Glenwood and an irrigation manhole is located on the proposed site.
15. There are no trees on site and thus no tree mitigation will be required.
16. There are no electric vehicle charging stations on site. With less than 0.25% of the state's overall vehicle ownership consisting of EV owners, the cost of installing electric vehicle charging stations is not currently supported by the demand.

Traffic

1. ACHD has indicated that no traffic studies are required for this site. Applicant is working with ITD to scope and prepare a traffic impact analysis for this site.



IRONWOOD

5443 N. GLENWOOD ST.
GARDEN CITY, IDAHO

DATE: Project 9406
DRAWN BY: 10/20/2003
CHECKED BY: JG



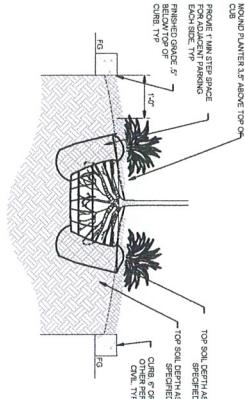
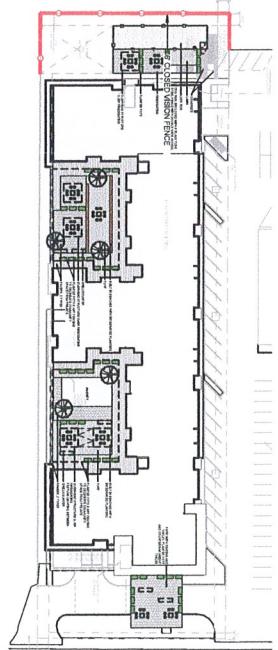
Estudio
Main Office: 303.570.7242
inspections@estudiostudio.com
www.estudiostudio.com
Austin, TX
Evergreen, CO
Merdien, ID
Denver, CO
Contact: [Contact Us](#)

LANDSCAPE NOTES:

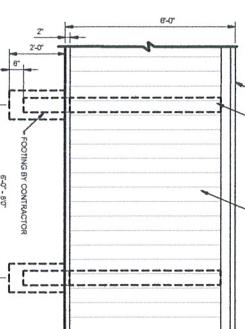
FENCING REFERENCE IMAGE:



FENCING EXHIBIT:

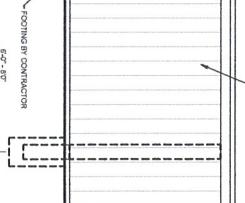


NOTE:
* CURB & ADJACENT PAVEMENT PER CM11 OR HARDCOKE PLANS
* TREE SHRUB TO BE INSTALLED PER RESPECTIVE DETAILS
* PLANTS & MULCH PER PLAN



NOTE
*POSTS, CONNECTIONS, SLATS & FOOTINGS BY CONTRACTOR

The diagram illustrates a section of a temporary fence. It features a vertical post on the left and a horizontal rail at the top. The fence is composed of vertical slats. A dashed line indicates a section of the fence, with dimensions of 6'-4" and 6'-7" shown. Labels include 'POST BY CONTRACTOR' for the vertical post, 'RAIL BY CONTRACTOR' for the top rail, and 'VERTICAL SLATS' for the fence panels. A legend on the left defines the line styles: a solid line for 'POST BY CONTRACTOR', a dashed line for 'RAIL BY CONTRACTOR', and a dotted line for 'VERTICAL SLATS'.



TENURE BY CONTRACTOR

IRONWOOD



ALTA/NSPS Land Title Survey

TNT Enterprises LLC

Being Lot 34 of Strawberry Glenn Subdivision, Situate in the NW 1/4 of the SE 1/4 of Section 25, Township 4 North, Range 1 East, Boise Meridian, City of Garden City, Ada County, Idaho

SHEET 1 - BOUNDARY PLANNING MAP & EASEMENT MAP
SHEET 2 - EXCEPTIONS, DESCRIPTION, NOTES, LEGEND & CERTIFICATION

THE
LAND
GROUP

**ALTA/NSPS Land Title Survey
TNT Enterprises, LLC**



ALTA/NSPS Land Title Survey

for

Being Lot 34 of Strawberry Glenn Subdivision, Situate in the NW 1/4 of the SE 1/4 of Section 25, Township 4 North, Range 1 East, Boise Meridian, City of Garden City, Ada County, Idaho

2023

SEASON

1. AT THE TIME OF PURCHASE, THE BUILDING IS CLASSIFIED AS A GENERAL COMMERCIAL, CLOTHING, FURNITURE, CLASSIFICATION. BUILDING OWNERSHIP IS HIGH AND NO DOWNTIME PERIODS ARE NOT REQUIRED BY THE LEASE.

2. THE PROPERTY OWNED BY THE LANDLORD IS LOCATED ON THE PROPERTY IN A DOWNTOWN AREA, AS SPECIFIED IN THE LEASE AGREEMENT.

3. UNDERSTANDING THAT THE PROPERTY IS OWNED BY AN INDEPENDENT PERSON, THE LANDLORD MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OR DESCRIPTION STATED.

4. MARKS AND LOGOS OF THE LEASER, LANDLORD, AND SUBLEASER.

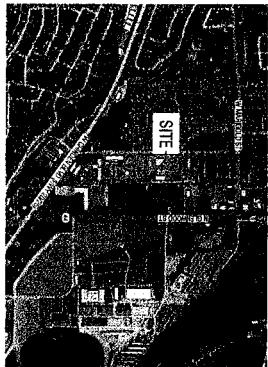
5. THE TITLE AND SEALS OF THE LEASER, LANDLORD, AND SUBLEASER.

Surveyor's Certification:
TO THE ENTERPRISE LIFE INSURANCE COMPANY: WE, THE SURVEYORS WHO PREPARED THE SURVEY MAP AND THE SURVEY OWNERSHIP RECORDS WHICH WERE MADE IN ACCORDANCE WITH THE 1972 NATIONAL SURVEYING STANDARDS PUBLISHED BY THE NATIONAL SURVEYORS ASSOCIATION, DO HEREBY CERTIFY THAT THE SURVEY MAP AND THE SURVEY OWNERSHIP RECORDS ARE TRUE AND CORRECT AS TO THE INFORMATION CONTAINED THEREIN AND ARE SUBMITTED IN ACCORDANCE WITH THE 1972 NATIONAL SURVEYING STANDARDS PUBLISHED BY THE NATIONAL SURVEYORS ASSOCIATION.

Vicinity Map:



Vicinity Map:



Legende

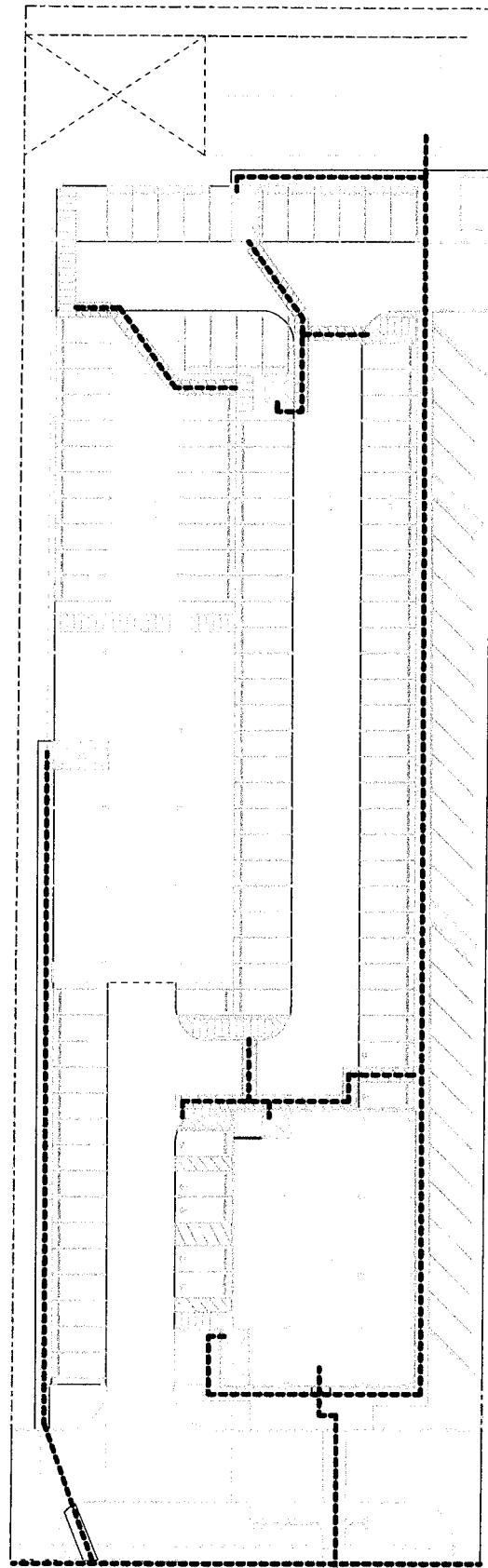
Property Description File No.: 831579

LOT 34 OF STRAWBERRY GLEN, ACCORDING TO THE PLAT THEREOF, FILED IN BOOK 5 OF PLATS AT PAGE 255, RECORDS OF ADA COUNTY, IDAHO.

Exceptions, Description & Certifications

A100A

1 FLOOR PLAN - LEVEL 1
10'0" x 15'0"

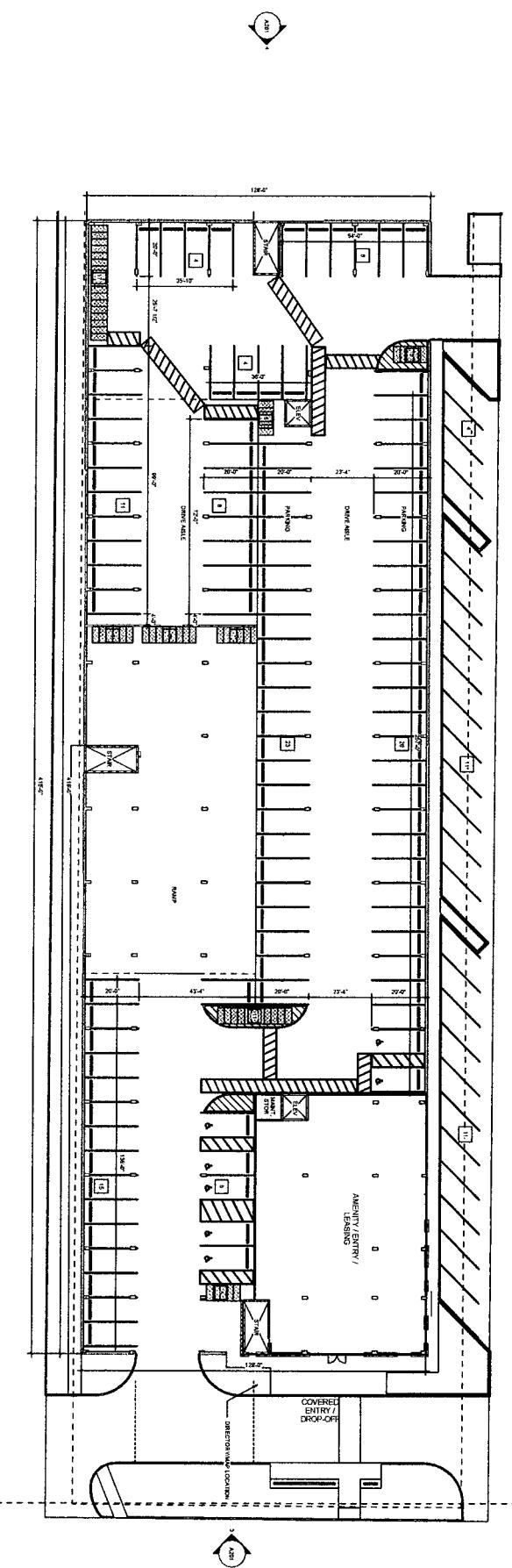


TNT - IRONWOOD
5443 N. Glenwood St.
Garden City, ID 83709

SITE PLAN EXPORT
DATE 03-OCT-2013
DRAWN Author
CHECKED Checker

El studio

Mail Office 303.670.7242
Inspections@EvStudio.com
Design@EvStudio.com
www.EvStudio.com



ACC TNT - IRONWOOD

5443 N. Glenwood St.
Garden City, ID 83709

A101
WELL

LEVEL 1

DATE 03 OCT 2023
DRAWN Author
CHECKED Chaper

REVISION: **CONFIDENTIAL**

54
G
AG23011

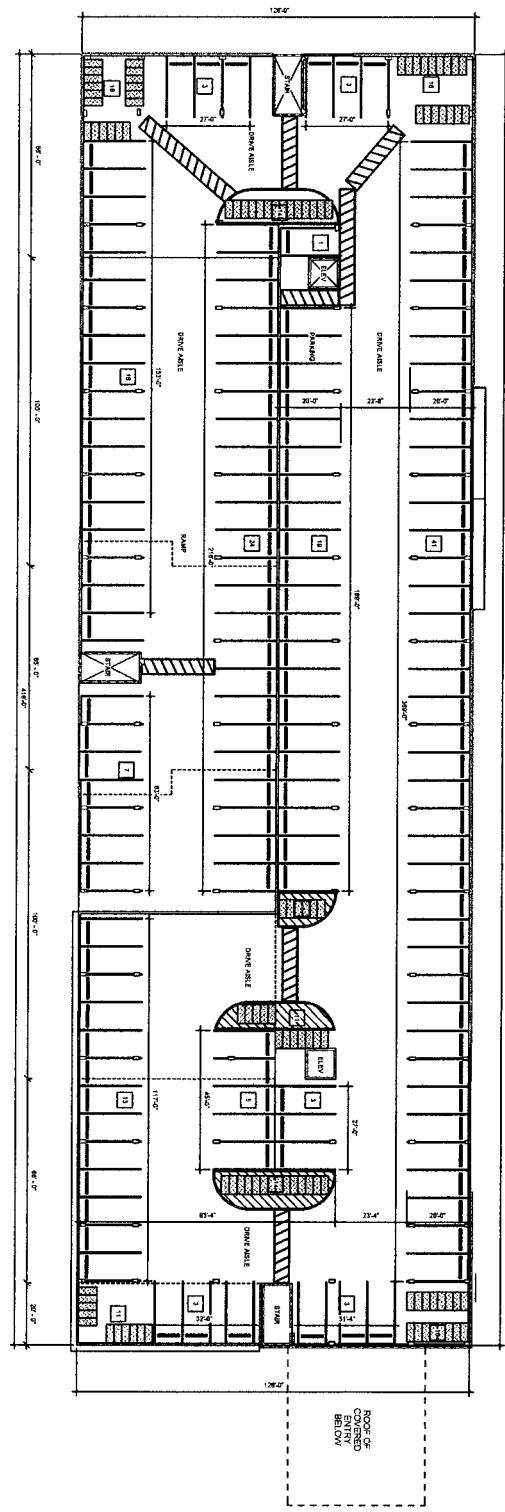
NT - IRONWOOD

Main Office: 303.670.7242
InspectioneeringStudio.com:
design@elevestudio.com
www.elevestudio.com

EY studio

EStudio

Douglas, CO
Engineering CO
McMinnville, OR
Albuquerque, NM
Main Office: 970.510.7442
www.esstudio.com
CO: RANDI RIVETTE
Albuquerque: randi@esstudio.com
208.384.1924



TNT - IRONWOOD

5443 N. Glenwood St.
Garden City, ID 83709

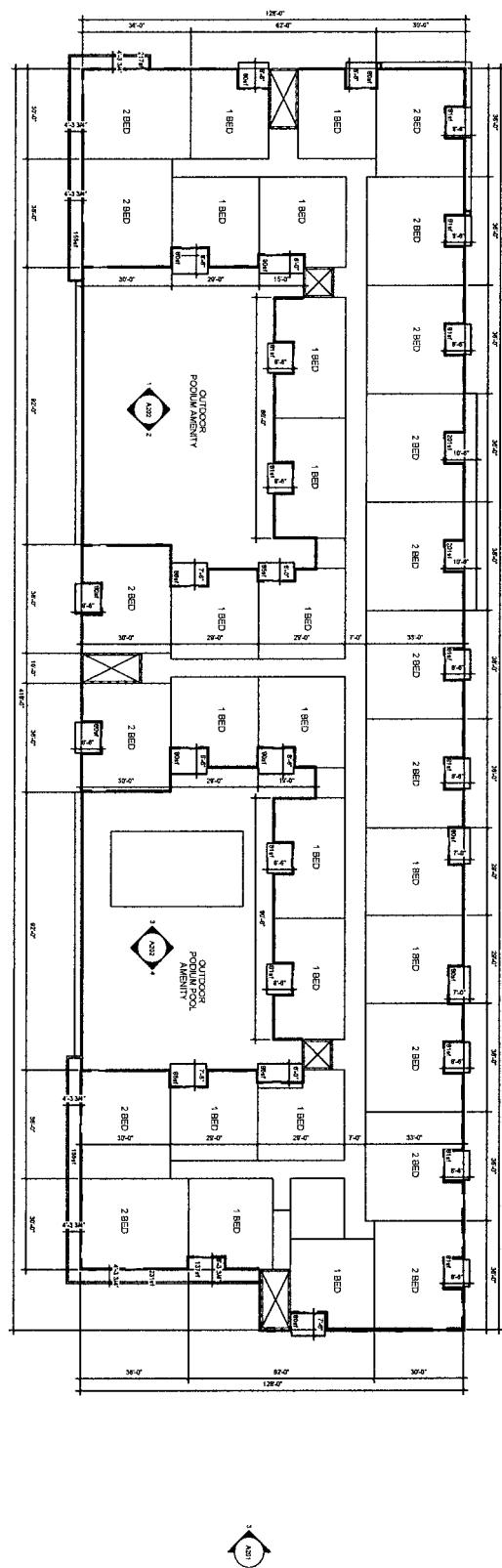
AG23011



1
LEVEL 2

FLOOR PLAN -
LEVEL 2

A102



TNT - IRONWOOD

5443 N. Glenwood St.
Garden City, ID 83709

AG23011

REVISIONS

DATE: SEPTEMBER 2020
SHEET PLAN NUMBER: 0100
CHIEF CLOTHED: [Signature]

FLOOR PLAN -
LEVELS 3-7
A103

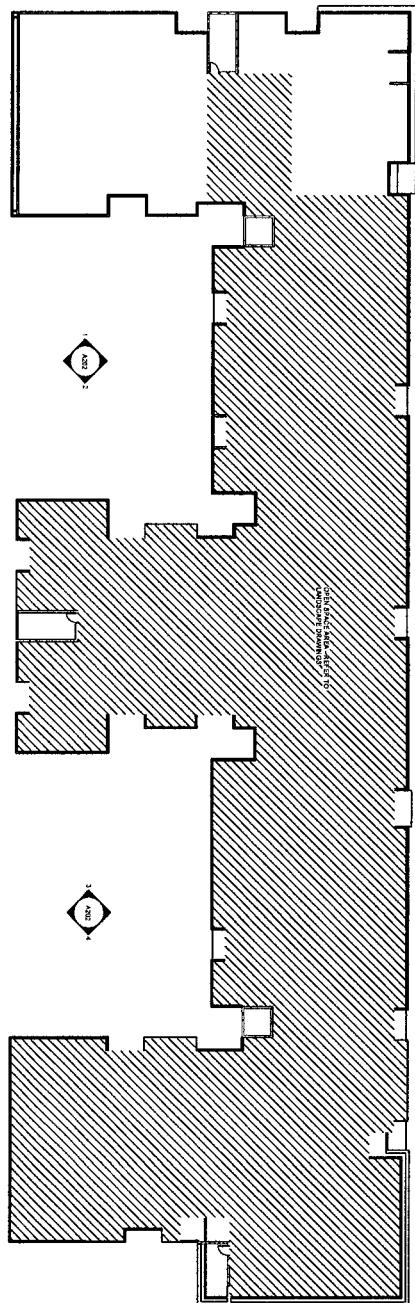
① LEVEL 3

EStudio

Owner: CO
Engineering Co
He
Austin, TX
Main Office: 363-0172/24
info@engineeringco.com
www.engineeringco.com
Ward: CO
Owner: CO
Engineering Co
He
Austin, TX
Main Office: 363-0172/24
info@engineeringco.com
www.engineeringco.com
Contact: BRIAN
BRIAN@E-STUDIO.COM
205-384-2624

A105
ROOF PLAN

① ROOF BEARING

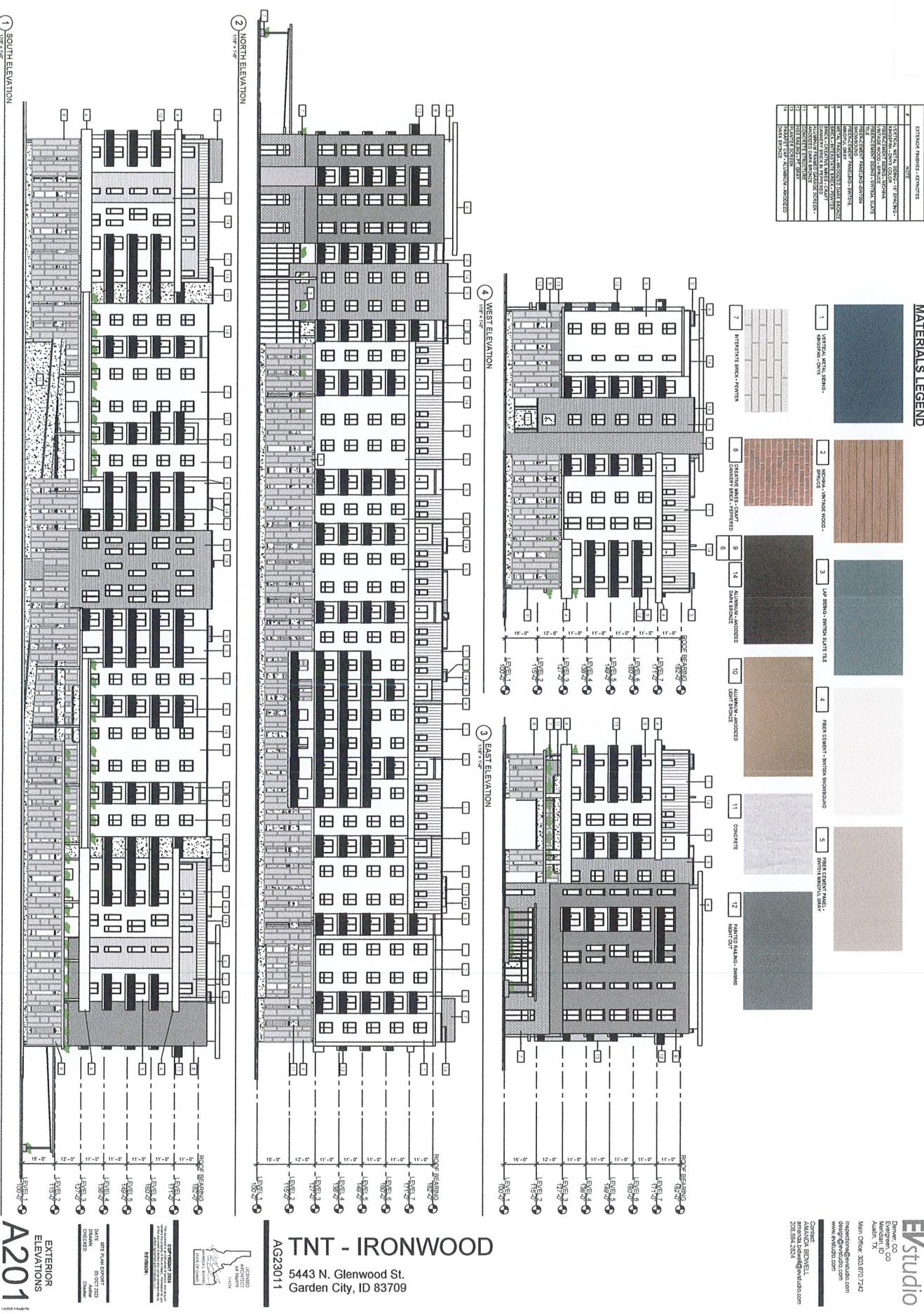


TNT - IRONWOOD
AG23011
5443 N. Glenwood St.
Garden City, ID 83709

DATE: 07/26/2023
TIME: 10:00 AM
DRAWN BY: [Signature]
CHECKED BY: [Signature]

ELstudio
Doveco, CO
Engineering CO
Boise, ID
Architect ID
Main Office: 503.670.7422
Inspections@elstudio.com
www.elstudio.com
Contact us for a free estimate
C. D. ANDREW BOWELL
Architectural Inspections@elstudio.com
208.364.4224

ELstudio

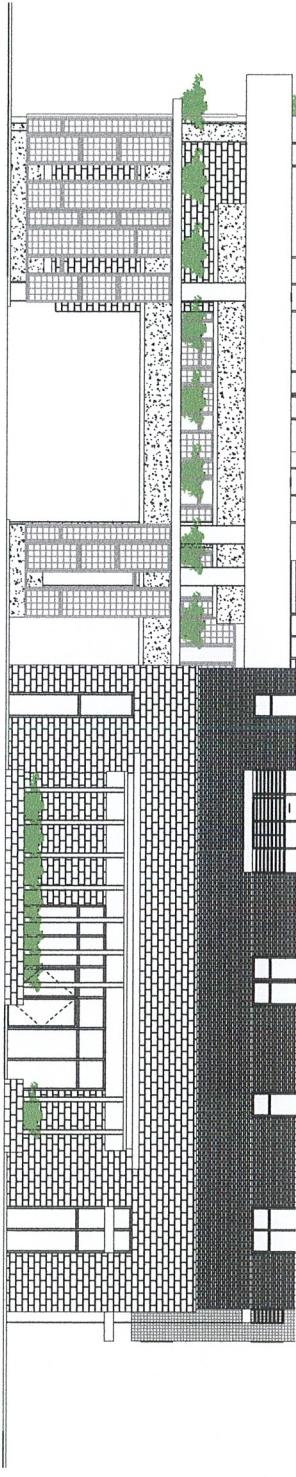


A201 ELEVATIONS

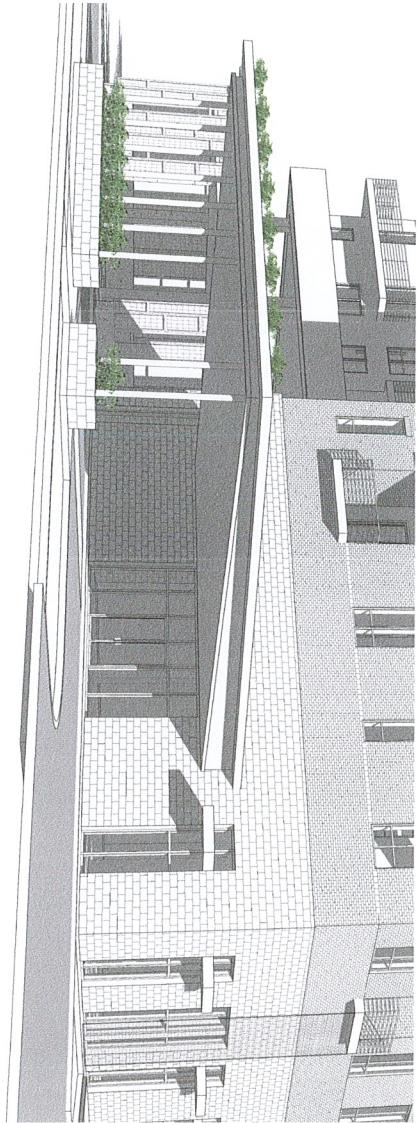
AG TNT - IRONWOOD

5443 N. Glenwood St.
Garden City, ID 83709

EV studio



1



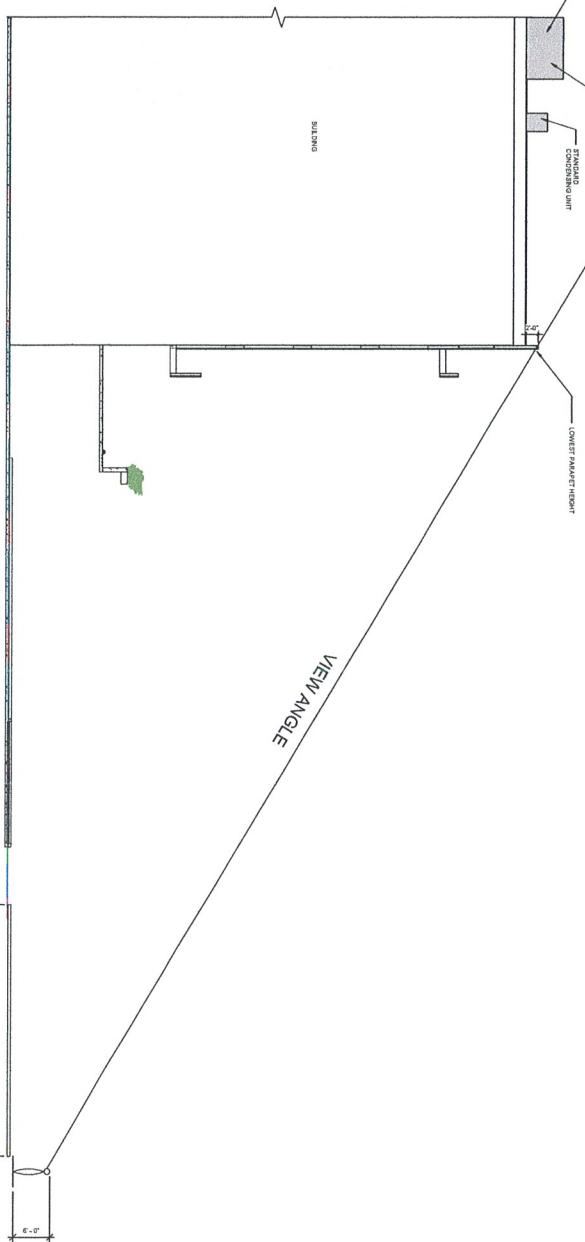
AGC TNT - IRONWOOD

5443 N. Glenwood St.
Garden City, ID 83709

A203
ENLARGED
ELEVATIONS
1AC203-4447.PN

ENLARGED
ELEVATIONS

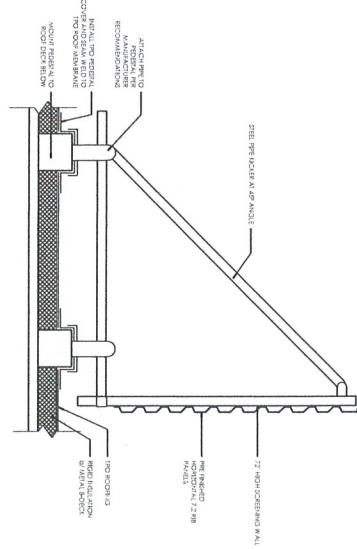
EV studio



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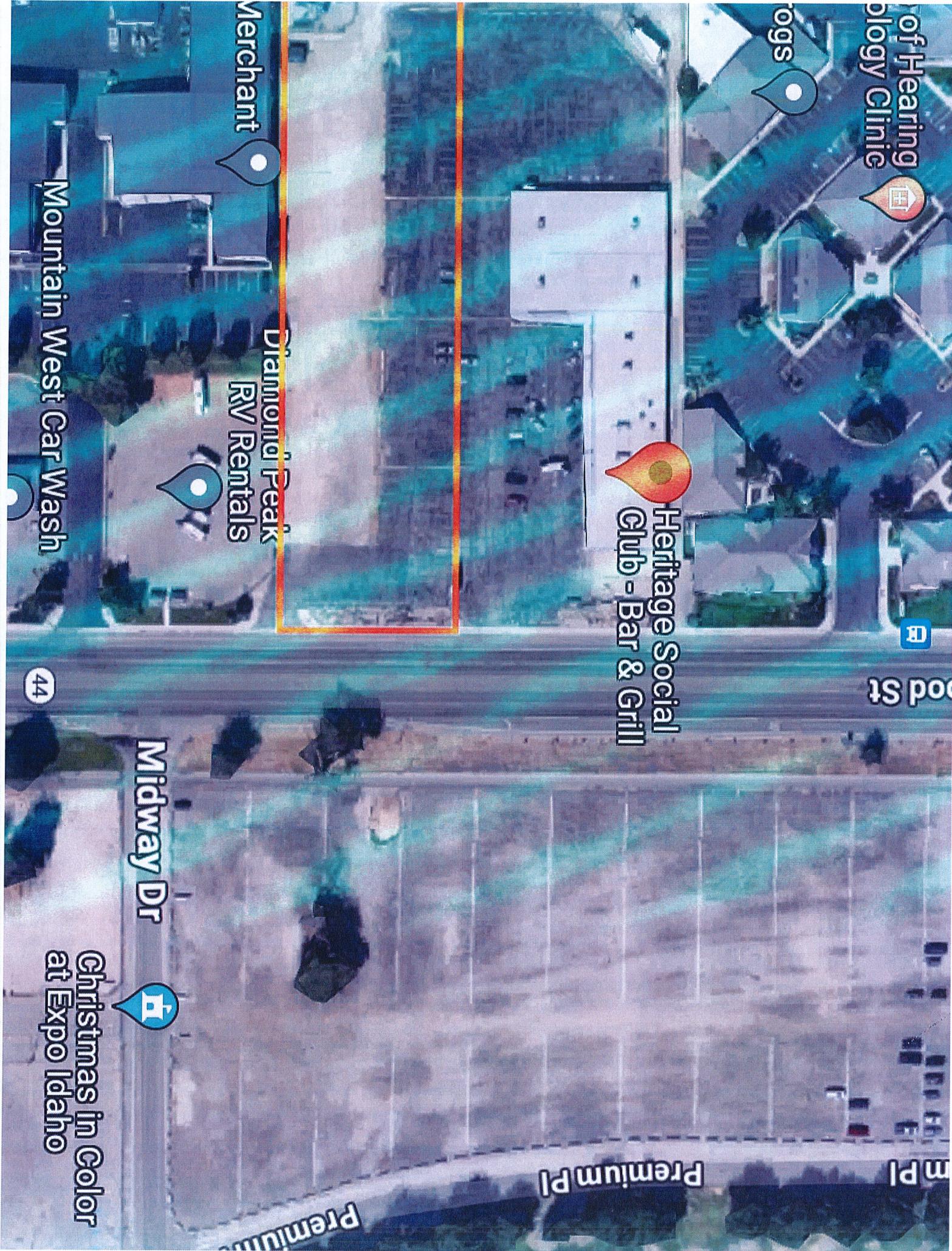
TNT - IRONWOOD

5443 N. Glenwood St.
Garden City, ID 83709

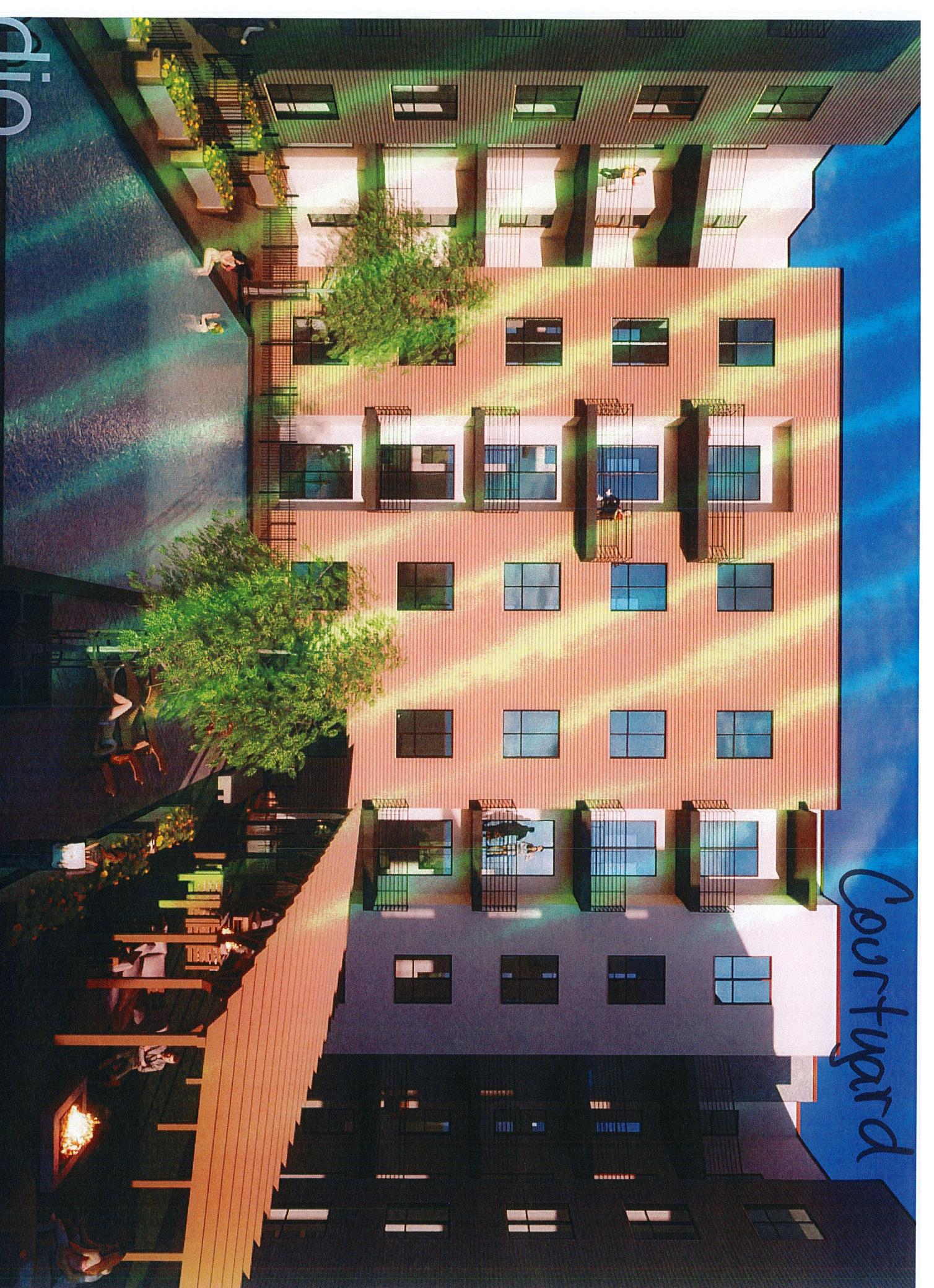
An architectural drawing of a foundation or wall section, featuring a signature and a stamp. The stamp includes the text 'MANHATTAN ENGINEERS', 'STATE OF IDAHO', 'ARCHITECTURE', 'AR 908779', and the date '11/4/24'.

SITE PLAN EXPORT
DATE 03 OCT 2023
DRAWN Author
CHECKED Checker

A311
ЕХНІВІ



diO



Courtyard



Front
Facade



Front
Facade 2

etio



Rear
Facade