



DESIGN REVIEW

Permit info: DSRFY 2024-0007
Application Date: 1/5/24 Rec'd by: CW
FOR OFFICE USE ONLY

6015 Glenwood Street ■ Garden City, ID 83714 ■ 208.472.2921

■ www.gardencityidaho.org ■ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Jorre Delgado	Name:
Company: JD Planning & Consulting	Company: KC Emerald Property Holdings
Address: 1111 E Bannock St	Address:
City: Boise	City:
State: ID Zip: 83712	State: Zip:
Tel.: 661-742-4967	Tel.:
E-mail: jorre@jdplanningandconsulting.com	E-mail:

PROPERTY AND DESIGN INFORMATION

This application is a request to: ☒ Construct New ☐ Addition ☐ Subdivision

Site Address: 5443 N. Glenwood, Garden City, ID 83714

Subdivision Name: Starwberry Glenn	Lot: 34	Block:
Tax Parcel Number: R8191508280	Zoning: C-2	Total Acres: 2
Proposed Use: multi-family development	Floodplain: Yes	<input checked="" type="radio"/> No

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?


Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 01/05/2024 _____
Signature of the Applicant (date) Signature of the Owner (date)

APPLICATION INFORMATION REQUIRED

Note:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent | <input checked="" type="checkbox"/> Affidavit of Legal Interest |
| <input checked="" type="checkbox"/> Neighborhood Map | <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input checked="" type="checkbox"/> Site Plan | see waiver |
| <input checked="" type="checkbox"/> Landscape Plan | |
| <input checked="" type="checkbox"/> Schematic Drawing | |
| <input type="checkbox"/> Lighting Plan see waiver | |
| <input checked="" type="checkbox"/> Topographic Survey | |
| <input checked="" type="checkbox"/> Grading Plan | |
| <input checked="" type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input type="checkbox"/> Ada County Approved Addresses see waiver | |
| <input checked="" type="checkbox"/> Waiver Request of Application Materials | |



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☐ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☐ Purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☐ 8 ½" x 11" size minimum
- ☐ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- ☐ Scale not less than 1" = 20', legend, and north arrow.
- ☐ Property boundary, dimensions, setbacks and parcel size.
- ☐ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☐ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☐ Adjacent public and private street right of way lines
- ☐ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☐ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☐ Driveways, access to public streets, parking with stalls, loading areas.
- ☐ Sidewalks, bike and pedestrian paths.
- ☐ Berms, walls, screens, hedges and fencing.
- ☐ Location and width of easements, canals, ditches, drainage areas.
- ☐ Location, dimensions and type of signs.
- ☐ Trash storage and mechanical equipment and screening.
- ☐ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☐ Log depicting square footage of impervious surface, building and landscaping
- ☐ Location and height of fences and exterior walls
- ☐ Location and dimensions of outdoor storage areas
- ☐ Location of utilities and outdoor serviced equipment and areas
- ☒ Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- ☐ Scale the same as the site plan.
- ☐ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☐ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☐ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- ☐ Cross section through any special features, berms, and retaining walls.
- ☐ A plant list of the variety, size, and quantity of all proposed vegetation
- ☐ Log of square footage of landscaping materials corresponding to location
- ☒ Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- ☐ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☐ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☐ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☐ Overall dimensions of all proposed structures
- ☐ Specifications on exterior surface materials and color
- ☒ Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- ☐ 11" x 17" size minimum
- ☐ Location, type, height, lumen output, and luminance levels of all exterior lighting
- ☐ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- ☐ Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- ☐ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- ☒ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- ☐ 11" x 17" size minimum
- ☐ Scale not less than one inch equals twenty feet (1" = 20')
- ☐ Two foot (2') contours for the entire proposal site
- ☐ One foot (1') contours for details, including all planimetric features
- ☐ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☐ Existing easement and utility locations
- ☐ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- ☐ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ☒ Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

***Required for developments of two or more buildings:**

- ☐ Location, elevations, and materials of proposed signage

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

***Required if irrigation canal/irrigation ditch runs through property or along property lines:**

- ☐ Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☒ Statement must include a list of the application materials to be waived and an explanation for the request.



Date: October 17th, 2023

To: Planning Staff & Design Review Committee
City of Garden City
6015 Glenwood Street
Garden City, Idaho 83714

RE: 5443 N. Glenwood, Garden City, ID 83714
Waiver Request of Application Materials

Planning Staff & Design Review Committee,

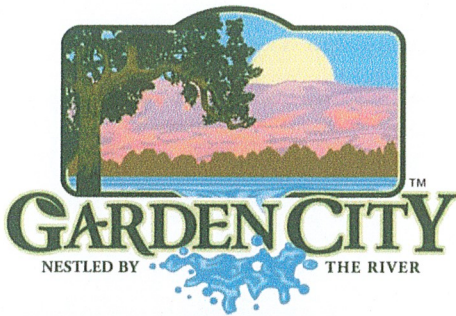
We are requesting a waiver for the following application items:

1. **Lighting Plan** - Lighting plan to be submitted as the development further develops to ensure the proper placement of lighting and proper electrical work.
2. **Ada County Approved Addresses** - Ada county approved addresses will be assigned after the number of units are confirmed on final entitlement documents.
3. **Sustainability Checklist** - Exempt

Thank you,

Jorre Delgado

Jorre Delgado / 661.742.4967
jorre@jdplanningandconsulting.com



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

August 14, 2023

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 5443 N Glenwood St

Fire hydrant serving this address: #8006

Fire flow Garden City is able to provide is 2000 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 50 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 2000 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File

Application Exhibit

To: Hanna Veal, City Reviewer

From: Amanda Bidwell, Architect, EVstudio

Wade Thomas, TNT

Jorre Delgado, JD Planning and Consulting

Date: 1/5/24

Project Name: Ironwood

Project Address: 5443 N. Glenwood Street, Garden City

Project Specific Details: The following is being provided for additional detailed information for the benefit of the Design Review Committee and Garden City.

1. **Site information:** The property currently consists of approximately 4.09 acres. Concurrently with this application, we will be submitting a minor land division request to split the property from east to west into two parcels. The proposed project site will be on the southerly portion of the current property and will consist of 2.00 acres. The remaining northern parcel will contain its current building and parking areas. Additionally, there are certain access easements on the property for the cell towers located on the Southwest and Northwest portions of the current property. Those easements are being realigned so that they will be in the middle of the current site. Once complete, there will be an easement on the northern edge of the proposed site to provide the cell tower owner and its agents access to the cell tower sites.
2. **Unit Summary:** See Sheet A100

1-Bedroom:	90 Units
2-Bedroom:	80 Units
Total:	170 Units
3. **Open Space Calculations:** See sheet A100
 - a. Common Open Space
 $250\text{SF/Units} - 501\text{sf} - 1,200\text{sf} \times 170 \text{ UNITS} = 42,500\text{SF required}$
Total common open space required = 42,500sf

Common open space provided = 42,800SF
 - b. Private Open Space: See sheet A103
Each unit has a balcony that is >80 SF and 6' in width at any one point.

4. **Parking Summary:** See sheet A100

a. Required:

1 Bedroom Unit (1 stall each):	90 stalls
2 Bedroom Unit (2 stalls each):	160 stalls
Guest (.5 first 10; .1 after)	<u>21</u> Stalls
Total:	271

b. Provided

Standard Stalls:	266 stalls
Accessible stalls:	<u>7</u> stalls
Total:	273

5. **Bike Parking:** See sheet A100

.5 for the first 10, .1 after	191 stalls (required and provided)
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6. **Provided amenities are as follows:**

Quality of Life:

Fitness Facilities - Located in second floor amenities

Enclosed Bike Storage - Located within the garage and on the west side of the site

Business Center - Located in first floor amenities

Open Space:

Community Garden - Located on roof deck

Recreation Amenities

Pool - located on podium deck (denoted as "amenity" on landscape plan)

Additional Requirements for Developments with 20 or More Units

Property Management Office - Located on first floor

Maintenance Storage Area - Located on first Floor

Central Mailbox Location - Located on first floor in leasing office area

Directory/Map - Located at main drive entry

Additional Amenities included:

Numerous open sitting areas and patios located throughout the site, some with fire pits and grills

Dog run located on the ground level

7. The mechanical equipment will be on the roof of the building, concealed by the parapets provided at the roof level of the building. See added "Mechanical Screening Exhibit" site plan sheet A311, which provides building cross section showing the actual height of the mounted equipment relative to the height of the parapet. No service areas or mechanical systems are proposed on the ground level.

8. Pedestrian connectivity through the first level building and to street frontages is shown on site plan sheet A100A. Additionally, pedestrian connectivity to the street frontage and at crossing areas within the parking area will be made of stamped concrete. Primary pedestrian access to Glenwood Street would be through the covered entry and drop off area on the east side of the building. Sheet A203
9. The trash enclosure is located on the north west side of the building and is located to provide convenient access for the residents while being fully contained and out of view from adjacent properties and public streets. Sheet A100.
10. On site bicycle parking is located within 50 feet of the building entrance. Bicycle parking is located within the parking structure on the first and second floors, as well as outside of the building in the northwest portion of the site. See site plan Sheet A100, A100A, A101 and A102.
11. The location and construction of fencing at the site perimeter is identified in the Landscape Plan Sheet L100 & L150 and will include 6' closed vision fencing on the west side of the site, as well as 4' black tube steel fencing surrounding the dog run. Existing fencing on the southside of the site will not be removed as such is located on the adjacent property and is designed as a security fence for that property.
12. 8-4B-4 Roof forms The roofline is designed such that the parapets vary in height around the building. The roofline at these areas is stepped down and provided with a shed roof over the 7th floor balcony. There is a taller parapet behind the shed roof to provide a place for transition from the shed roof back to the flat roof of the building, as well as add to the varied heights around the building. The elevations and 3D images are built with the same 3D BIM model and thus are coordinated to show the same information.
13. The parapets around the building are broken up by building elements that frame sections of the building to further break up the long façade. The overall appearance of the parapets is broken up by balcony projections that step the appearance of the building 'top' down a full story to break up the long facades. Parapet heights step up and down at key points of the building as well.
14. Gravity irrigation is located along the street frontage of Glenwood and an irrigation manhole is located on the proposed site.
15. There are no trees on site and thus no tree mitigation will be required.
16. There are no electric vehicle charging stations on site. With less than 0.25% of the state's overall vehicle ownership consisting of EV owners, the cost of installing electric vehicle charging stations is not currently supported by the demand.

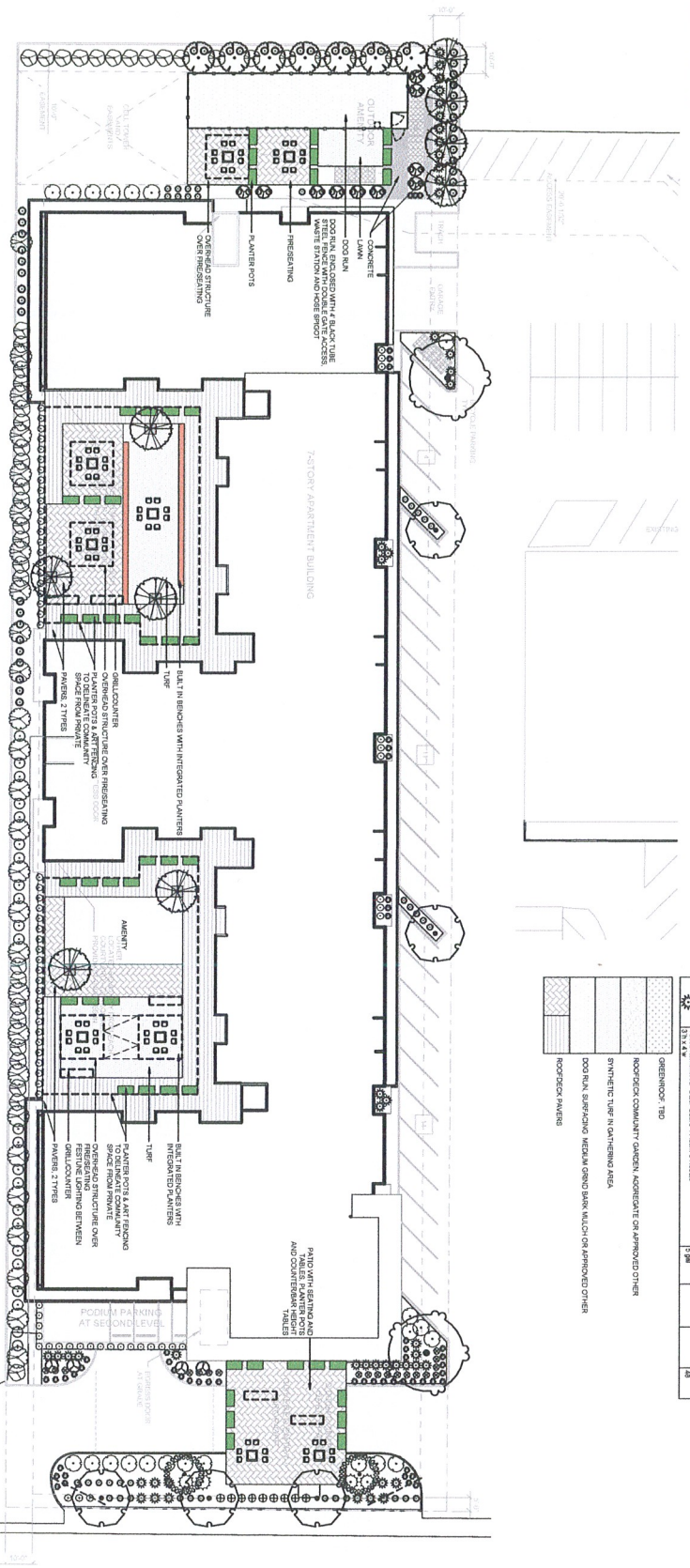
Traffic

1. ACHD has indicated that no traffic studies are required for this site. Applicant is working with ITD to scope and prepare a traffic impact analysis for this site.

LANDSCAPE REQUIREMENTS.

SCALE: RECOMMENDED 1" = 10' (1" = 10')

STREET ADDRESS	TRACT NAME	TRACT AREA	TRACT PERCENT
5443 N. GLENWOOD ST	IRONWOOD	1.00 AC	100%
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PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
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IRONWOOD
5443 N. GLENWOOD ST
GARDEN CITY, IDAHO



STACK ROCK
ARCHITECTURE
300 N. GLENWOOD ST
GARDEN CITY, IDAHO 83401
509.333.7242
www.stackrock.com

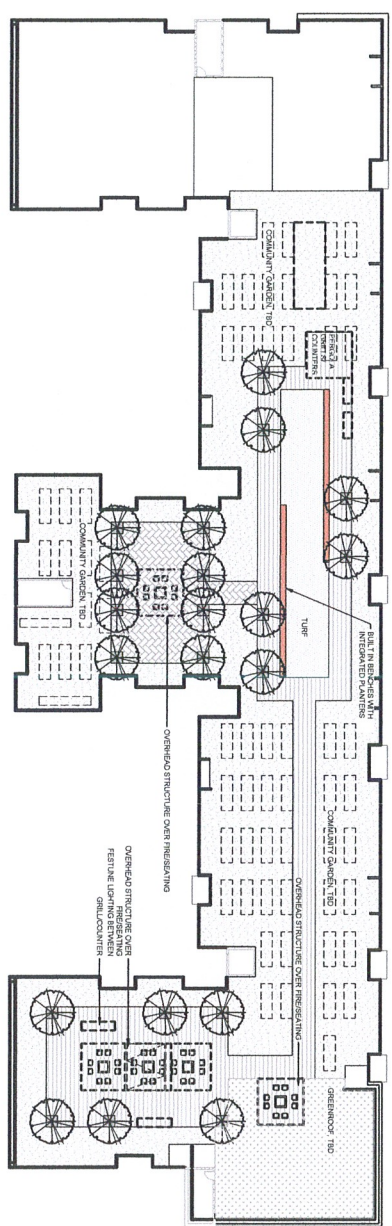
OWNER:

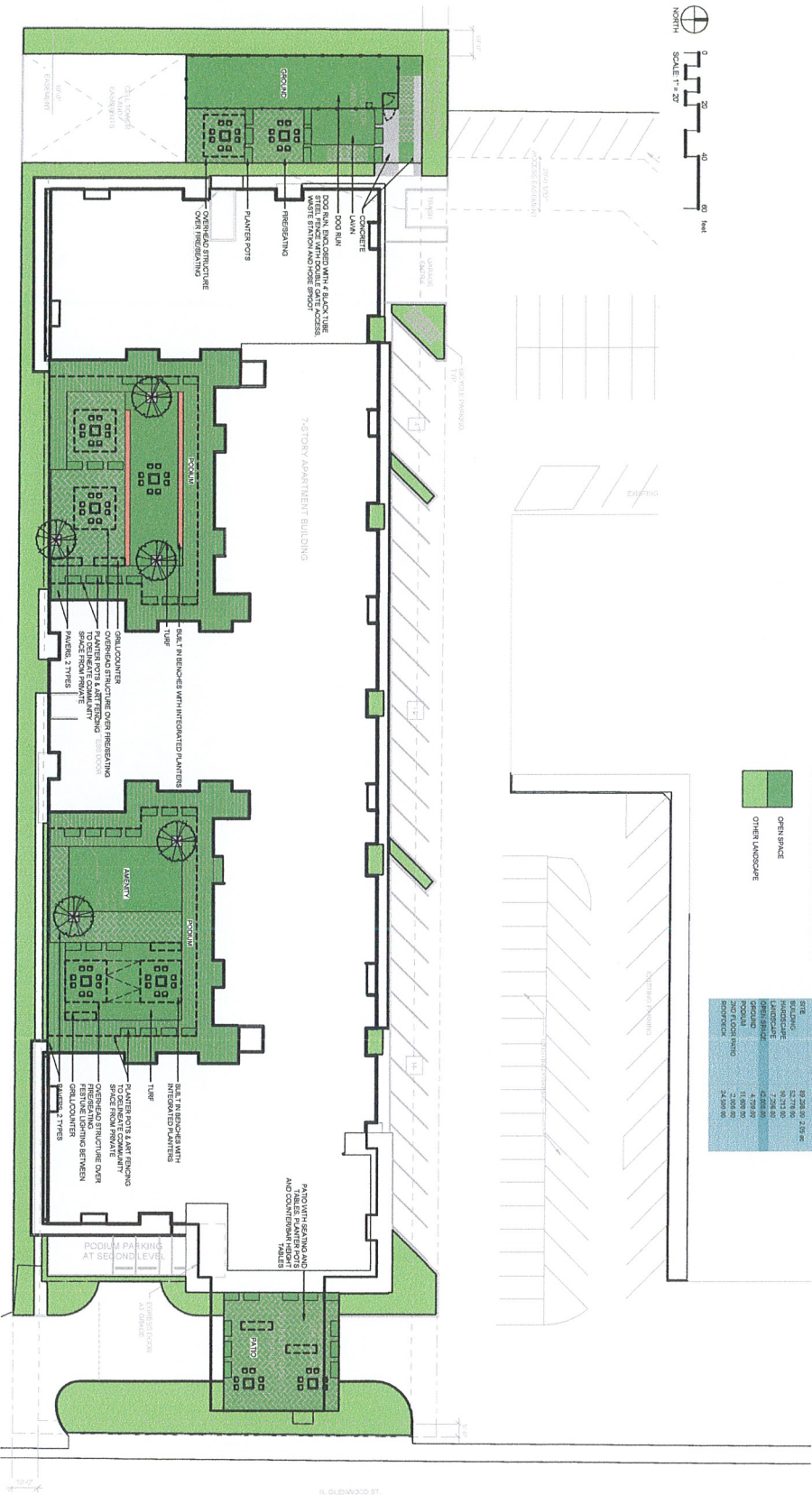
EVstudio
Denver, CO
Meriden, ID
Austin, TX
Main Office: 303.670.7242
inspector@evstudio.com
www.evstudio.com



LANDSCAPE
DESIGNED BY
CHECKED BY
DATE: 10/10/2023

L100





SITE TABULATION:

OPEN SPACE	89,208.00	2.89 ac
OTHER LANDSCAPE	86,212.00	2.82 ac
TOTAL	175,420.00	5.71 ac

LOT AREA	175,420.00	5.71 ac
LANDSCAPE	89,208.00	2.89 ac
PODIUM	86,212.00	2.82 ac
PODIUM FLOOR	15,000.00	0.44 ac
PODIUM FLOOR	15,000.00	0.44 ac
PODIUM FLOOR	15,000.00	0.44 ac

EVstudio
 Denver, CO
 Meriden, ID
 Austin, TX
 Main Office: 303.670.7242
 info@evstudio.com
 www.evstudio.com



STACK ROCK GROUP
 ARCHITECTURAL
 5443 N. GLENWOOD ST.
 GARDEN CITY, IDAHO 83403
 208.333.1111
 www.stackrockgroup.com

IRONWOOD
 5443 N. GLENWOOD ST
 GARDEN CITY, IDAHO



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OPEN SPACE
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 CHECKED BY: [Name]

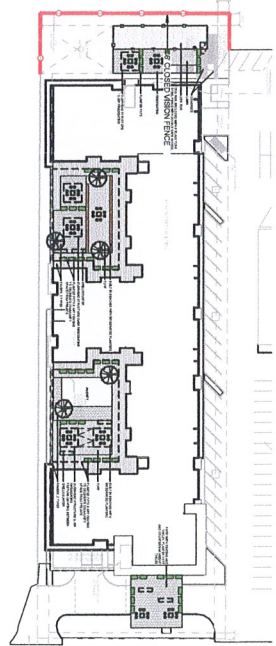
LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
 - 1.1. All construction shall be in accordance with ISPCO (Idaho State Planning Commission) standards and regulations.
 - 1.2. City of GARDEN CITY, IDaho standards and regulations.
 - 1.3. All utilities shall be located prior to construction and protected. Any damage to existing utilities or structures will be repaired at contractor's expense.
 - 1.4. All utilities shall be located prior to construction and protected. Any damage to existing utilities or structures will be repaired at contractor's expense.
 - 1.5. All utilities shall be located prior to construction and protected. Any damage to existing utilities or structures will be repaired at contractor's expense.
 - 1.6. All utilities shall be located prior to construction and protected. Any damage to existing utilities or structures will be repaired at contractor's expense.
 - 1.7. All utilities shall be located prior to construction and protected. Any damage to existing utilities or structures will be repaired at contractor's expense.
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 - 1.9. All utilities shall be located prior to construction and protected. Any damage to existing utilities or structures will be repaired at contractor's expense.
 - 1.10. All utilities shall be located prior to construction and protected. Any damage to existing utilities or structures will be repaired at contractor's expense.
2. GRADING & SITE PREPARATION
 - 2.1. Grading shall be in accordance with ISPCO standards and regulations.
 - 2.2. Grading shall be in accordance with ISPCO standards and regulations.
 - 2.3. Grading shall be in accordance with ISPCO standards and regulations.
 - 2.4. Grading shall be in accordance with ISPCO standards and regulations.
 - 2.5. Grading shall be in accordance with ISPCO standards and regulations.
 - 2.6. Grading shall be in accordance with ISPCO standards and regulations.
 - 2.7. Grading shall be in accordance with ISPCO standards and regulations.
 - 2.8. Grading shall be in accordance with ISPCO standards and regulations.
 - 2.9. Grading shall be in accordance with ISPCO standards and regulations.
 - 2.10. Grading shall be in accordance with ISPCO standards and regulations.
3. FENCING
 - 3.1. Fencing shall be in accordance with ISPCO standards and regulations.
 - 3.2. Fencing shall be in accordance with ISPCO standards and regulations.
 - 3.3. Fencing shall be in accordance with ISPCO standards and regulations.
 - 3.4. Fencing shall be in accordance with ISPCO standards and regulations.
 - 3.5. Fencing shall be in accordance with ISPCO standards and regulations.
 - 3.6. Fencing shall be in accordance with ISPCO standards and regulations.
 - 3.7. Fencing shall be in accordance with ISPCO standards and regulations.
 - 3.8. Fencing shall be in accordance with ISPCO standards and regulations.
 - 3.9. Fencing shall be in accordance with ISPCO standards and regulations.
 - 3.10. Fencing shall be in accordance with ISPCO standards and regulations.
4. PLANTING
 - 4.1. Planting shall be in accordance with ISPCO standards and regulations.
 - 4.2. Planting shall be in accordance with ISPCO standards and regulations.
 - 4.3. Planting shall be in accordance with ISPCO standards and regulations.
 - 4.4. Planting shall be in accordance with ISPCO standards and regulations.
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 - 4.6. Planting shall be in accordance with ISPCO standards and regulations.
 - 4.7. Planting shall be in accordance with ISPCO standards and regulations.
 - 4.8. Planting shall be in accordance with ISPCO standards and regulations.
 - 4.9. Planting shall be in accordance with ISPCO standards and regulations.
 - 4.10. Planting shall be in accordance with ISPCO standards and regulations.

FENCING REFERENCE IMAGE:



FENCING EXHIBIT:

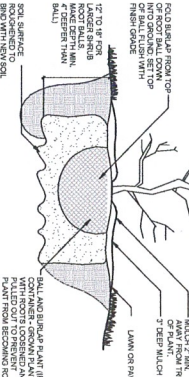
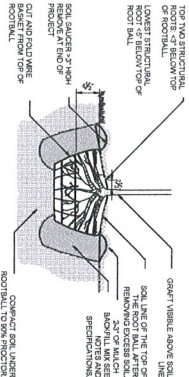


NOTES:

1. DO NOT DAMAGE OR CUT EXISTING ROOTS. ROOTS SHALL BE PROTECTED BY INSTALLING TREE GUARDS.
2. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR.
3. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR.
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5. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR.
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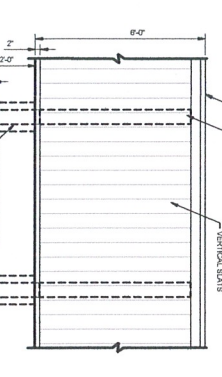
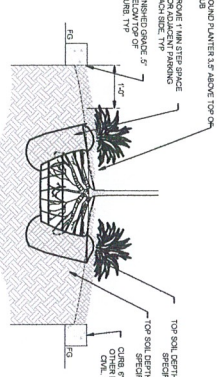
NOTES:

1. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR.
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6. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR. EXISTING ROOTS SHALL BE CUT BY THE CONTRACTOR.



1 BALL & BURLAP TREE PLANTING

2 SHRUB PLANTING



3 PLANTER ISLAND DETAIL

4 CLOSED VISION FENCE

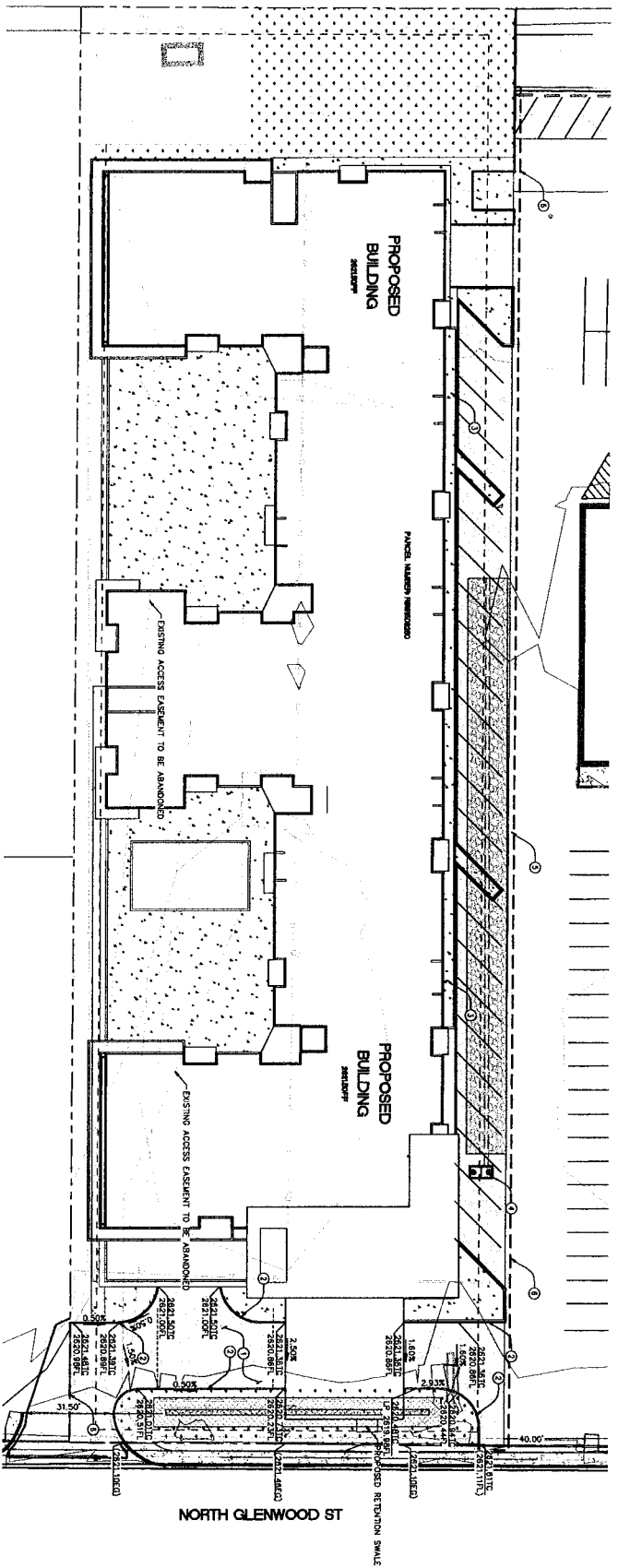
IRONWOOD APARTMENTS

5443 N. GLENWOOD ST.
 GARDEN CITY, ID 83714
 AG23011

NOT FOR
 REGULATORY
 PERMITTING OR
 CONSTRUCTION

CONCEPTUAL GRADING PLAN
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: [Date]

CONCEPTUAL
 GRADING PLAN
C1.0



LEGEND

- PROPERTY LINE
- SETBACK
- CENTERLINE
- AC PAVEMENT
- STORM DRAIN LINE
- SAND AND GRAVEL TRAP
- SEEPAGE BED

CIVIL ENGINEER

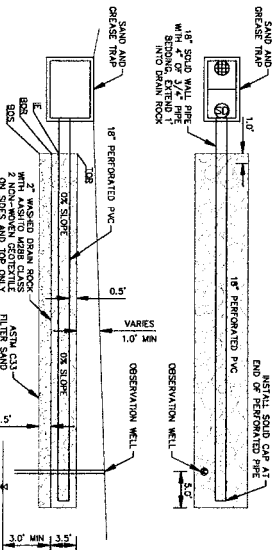
CHRYSTOPHER, JR.
 1109 W MAIN STREET, SUITE 314
 BOISE, IDAHO 83702
 (208) 338-4659

LAND SURVEYOR

MOORE & FENNELL, P.C.
 THE LAND GROUP, INC.
 BOISE, IDAHO 83702
 (208) 338-4641

CONSTRUCTION NOTES

1. INSTALL NEW AC PAVEMENT AND BASE PER GEOTECHNICAL RECOMMENDATION.
2. INSTALL 6" VERTICAL CURB AND GUTTER PER ISPC 30-701.
3. INSTALL CONCRETE SIDEWALK PER ISPC 30-708, 30-714 AND 30-714B.
4. INSTALL SAND AND GRAVEL TRAP DRAINAGE FROM BUILDING TO BE ROUTED TO THIS LOCATION VIA BUILDING DRAINAGE SYSTEM AND ROOF DRAINAGE.
5. INSTALL SEEPAGE BED PER DETAIL ON THIS SHEET.
6. SANITARY REMOVE AND REPLACE EXISTING AC PAVEMENT SECTION, NEW AC PAVEMENT AND BASE TO MATCH EXISTING.



SEEPAGE BED
 NOT TO SCALE



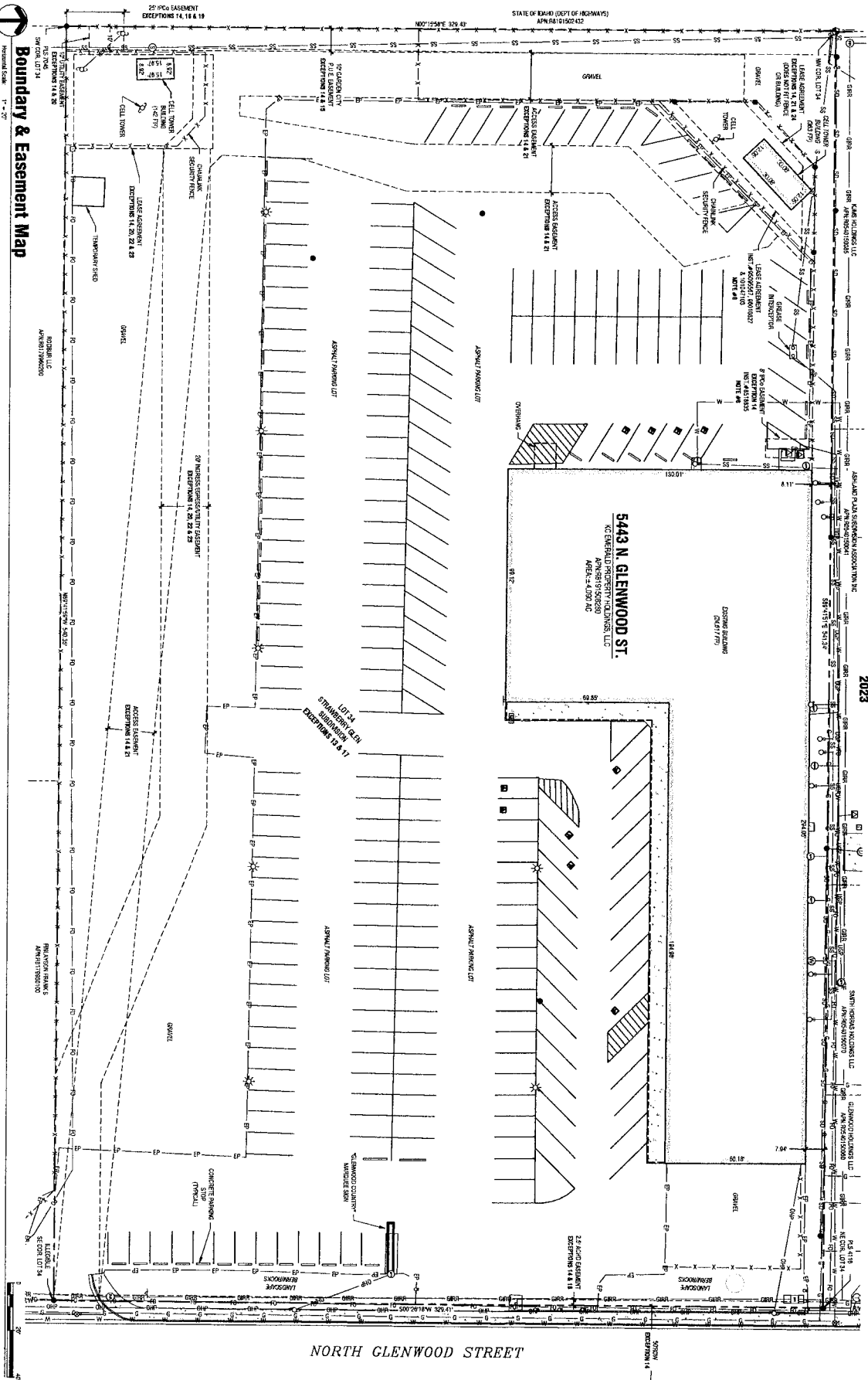
ALTA/NSPS Land Title Survey

for
TNT Enterprises, LLC

Being Lot 34 of Strawberry Glenn Subdivision, Situate in the NW 1/4 of the SE 1/4 of Section 25, Township 4 North, Range 1 East,
Boise Meridian, City of Garden City, Ada County, Idaho
2023

Sheet Index:

SHEET 1 - BOUNDARY, PLANNING MAP & EASEMENT MAP
SHEET 2 - EXISTING, DESCRIBING, WHITE, LEGEND & CORRELATION



ALTA/NSPS Land Title Survey TNT Enterprises, LLC

5443 North Glenwood Street
Garden City, ID 83714



Title Commitment File No.: 831579

THE FOLLOWING EXCEPTIONS ARE AS REPORTED AND ARE IN ACCORDANCE WITH THE TITLE INSURANCE COMMITMENT FOR TITLE INSURANCE BY POSENER TITLE COMPANY. COMMITMENT FILE NUMBER 831572 DATED MAY 5, 2023. EXCEPTIONS ARE WILDERDEED AND THESE WILDERDEES CORRESPOND WITH THE ABOVE-REFERENCED TITLE COMMITMENT. SCHEDULE B - PART 1. EXCEPTIONS, NUMBERS 1-25, EXCEPTIONS ARE NOTED AS, AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED AND SHOWN HEREON ON MAPS. THE SUBJECT PROPERTY BUT CANNOT BE PLOTTED HEREON.

ALTA/NSPS Land Title Survey
for
TNT Enterprises, LLC

Being Lot 34 of Strawberry Glen Subdivision, Situate in the NW 1/4 of the SE 1/4 of Section 25 Township 4 North, Range 1 East, Boise Meridian, City of Garden City, Ada County, Idaho 2023

Notes:

- [illegible]

Referenced Survey Table:

RECORD OF SURVEY No. 5574, INSTRUMENT # 14019464, RECORDS OF ADA COUNTY.
RECORD OF SURVEY No. 5668, INSTRUMENT # 140135014, RECORDS OF ADA COUNTY.
PLAT SHOWING EITCHWOOD PARK SUBDIVISION, BOOK 7, PAGE 8347, INSTRUMENT # 8906454, RECORDS OF ADA COUNTY.
PLAT # STRAWBERRY GLEN, BOOK 6, PAGE 356, INSTRUMENT # 47878, RECORDS OF ADA COUNTY.
PLAT SHOWING GLENWOOD SUBDIVISION, BOOK 71, PAGE 2278, INSTRUMENT # 89028971, RECORDS OF ADA COUNTY.

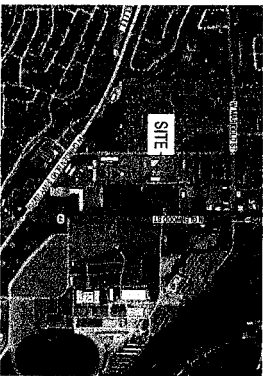
Surveyor's Certification:

TO: THE ESTATE, LUCAS EMBLE PROPERTY HOLDINGS, LLC, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY & POWER TITLE COMPANY.

THIS IS TO CERTIFY THAT THE MAP ON PLAT AND THE SURVEY THEREON (THIS IS MAILED HEREIN IN ACCORDANCE WITH THE 2021 MINNESOTA STANDARD SETBACK REQUIREMENTS FOR ALTERNATE LAND TITLE SURVEYS) JOINTLY ESTABLISHED AND ACCEPTED BY ALTA AND MERS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 OF TABLE 1 THEREOF. THE FIELD WORK WAS COMPLETED ON DATE 1, 2021.



Vicinity Map:



Exceptions, Description & Certifications

- [illegible]

Property Description File No.: 831579

LEGAL DESCRIPTION FROM TITLE COMMITMENT:

LOT 34 OF STRAWBERRY GLEN, ACCORDING TO THE PLAT THEREOF, FILED IN BOOK 5 OF PLATS AT PAGE 255, RECORDS OF ADA COUNTY, IDAHO.

Legend:

- [illegible]

SITE ANALYSIS

DATE: 02/15/2024
 DRAWN BY: J. BOWEN
 CHECKED BY: J. BOWEN
 PROJECT NO: 2024-01742

SITE DATA
 SITE AREA: 2.29 ACRES
 SETBACKS: 5'-0"
 REAR: 5'-0"
 SIDE: 5'-0"
 SETBACKS BETWEEN BUILDINGS SHALL BE 10'-0"

SITE BUILDING FOOTPRINT
 BUILDING SF: 42,300 SF
 LANDSCAPE SF: 17,200 SF
 TOTAL: 59,500 SF

UNIT BREAKDOWN
 1-BEDROOM: 90 UNITS
 2-BEDROOM: 10 UNITS
 TOTAL: 100 UNITS

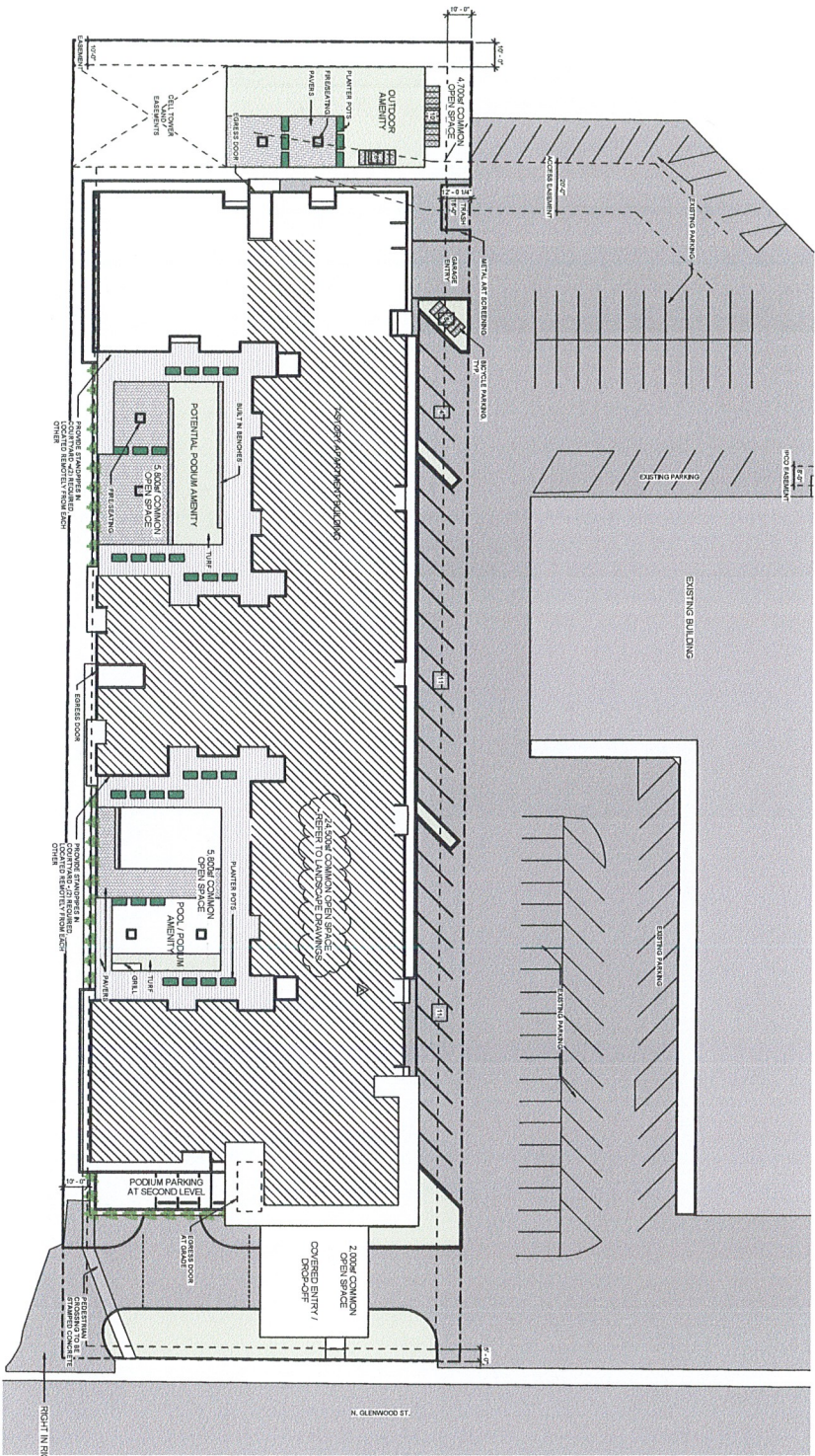
POOLING
 1-BEDROOM (1 STALL EA)
 2-BEDROOM (2 STALLS EA)
 TOTAL: 211 STALLS

PROVIDED STALLS
 ACCESSIBLE STALLS: 7 STALLS
 BIKE PARKING: 19 STALLS
 TOTAL: 24 STALLS

OPEN SPACE
 PROVIDED: 4,200 SF
 REQUIRED: 4,200 SF
 TOTAL: 8,400 SF

BUILDING SF BY LEVEL
 LEVEL 1: 42,300 SF
 LEVEL 2: 1,200 SF
 LEVEL 3: 1,200 SF
 LEVEL 4: 1,200 SF
 LEVEL 5: 1,200 SF
 LEVEL 6: 1,200 SF
 LEVEL 7: 1,200 SF

UNIT BREAKDOWN
 TYPE: #
 1-BED 1 BATH TYPE 1: 40
 1-BED 1 BATH TYPE 2: 40
 1-BED 1 BATH TYPE 3: 40
 1-BED 1 BATH TYPE 4: 40
 1-BED 1 BATH TYPE 5: 40
 1-BED 1 BATH TYPE 6: 40
 1-BED 1 BATH TYPE 7: 40
 TOTAL: 280



1 SITE PLAN

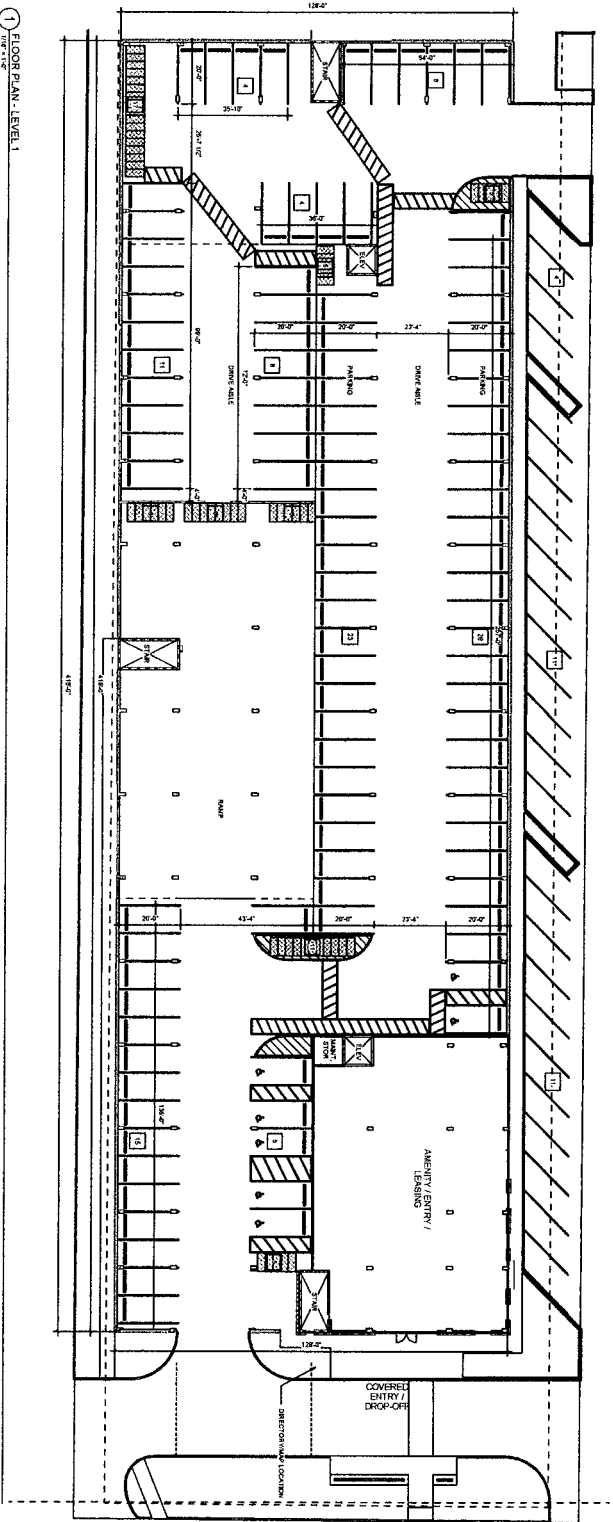
ARCHITECTURAL
 SITE PLAN
A100

TNT - IRONWOOD
 5443 N. Glenwood St.
 Garden City, ID 83709
 AG23011



CONTRACT 2024
 1. SITE PLAN
 2. CONCEPT DESIGN
 3. PRELIMINARY DESIGN
 4. PERMITTING
 5. CONSTRUCTION

DATE: 02/15/2024
 DRAWN BY: J. BOWEN
 CHECKED BY: J. BOWEN



1 FLOOR PLAN - LEVEL 1
1/8" = 1'-0"

TNT - IRONWOOD
AG23011
5443 N. Glenwood St.
Garden City, ID 83709



DATE: 01/07/2023
DRAWN BY: [Name]
CHECKED BY: [Name]

DATE: 01/07/2023
DRAWN BY: [Name]
CHECKED BY: [Name]

FLOOR PLAN -
LEVEL 1
A101

AG23011



DATE 03 OCT 2022
DRAWN Author
CHECKED Classifier

FLOOR PLAN -
LEVELS 3-7
A103





TNT - IRONWOOD

5443 N. Glenwood St.
 Garden City, ID 83709

AG23011



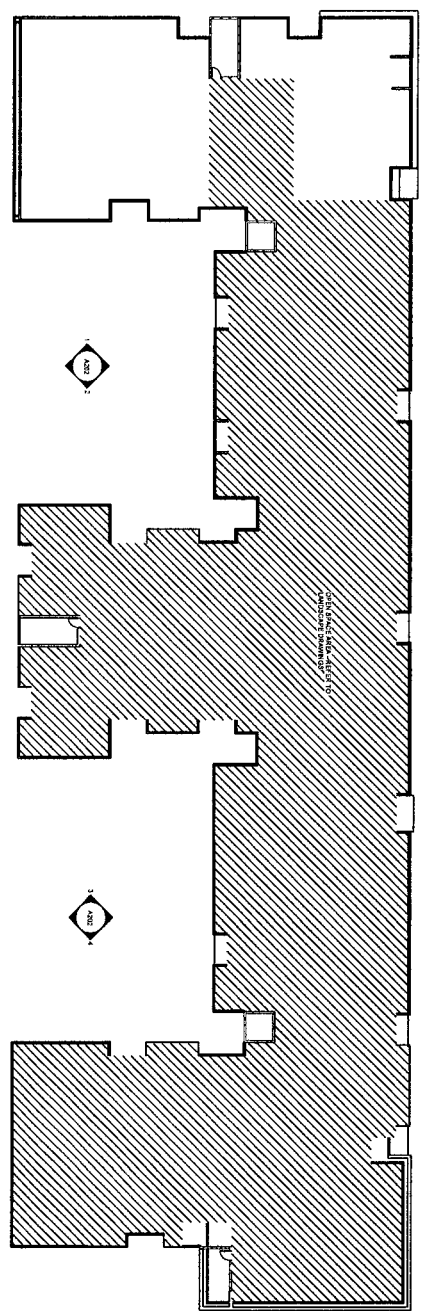
COMMENTS:
 1. This drawing is for informational purposes only.
 2. The owner is responsible for obtaining all necessary permits.
 3. The owner is responsible for providing all necessary information.

DATE: 01/01/2023
BY: [Signature]
CHECKED: [Signature]
OWNER: [Signature]

ROOF PLAN

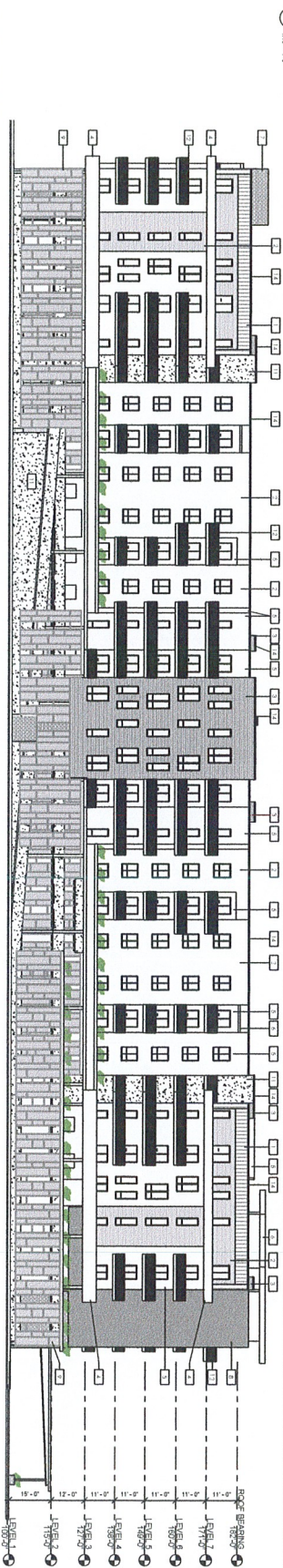
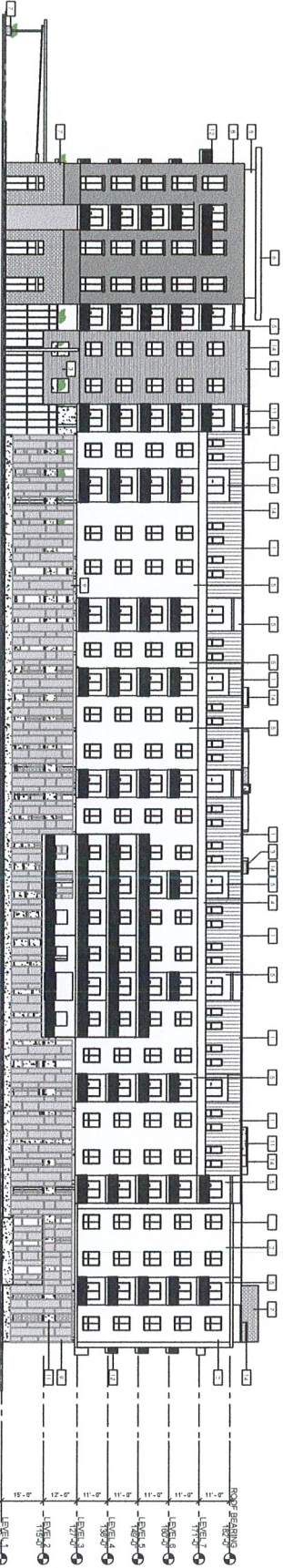
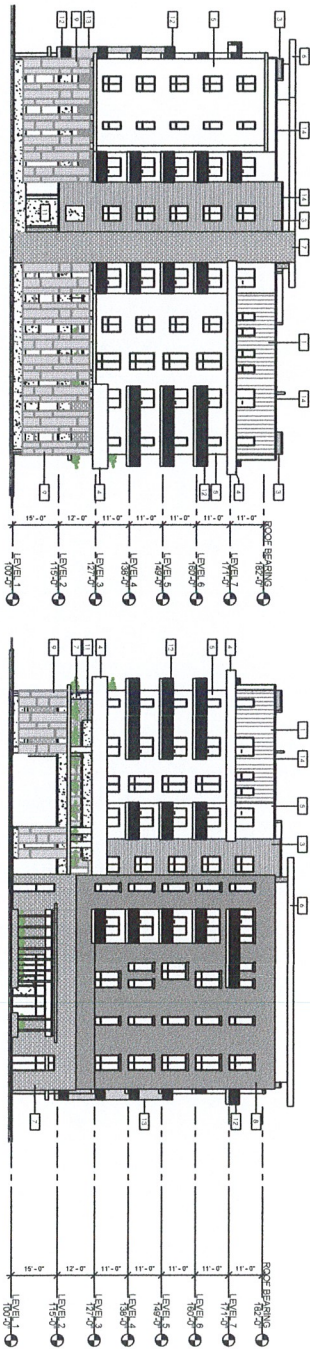
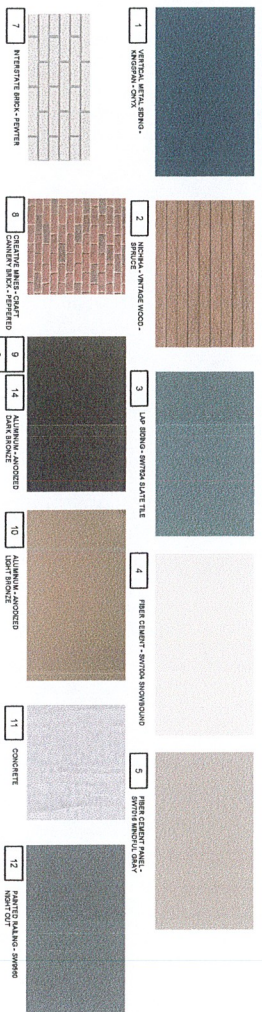
A105

1 ROOF BEARINGS
 1/2" = 1'-0"



ITEM	DESCRIPTION
1	CONCRETE
2	PAINTED BRICK - WHITE
3	PAINTED BRICK - RED
4	PAINTED BRICK - BROWN
5	PAINTED BRICK - BLACK
6	PAINTED BRICK - GREY
7	PAINTED BRICK - WHITE
8	PAINTED BRICK - RED
9	PAINTED BRICK - BROWN
10	PAINTED BRICK - BLACK
11	PAINTED BRICK - GREY
12	PAINTED BRICK - WHITE
13	PAINTED BRICK - RED
14	PAINTED BRICK - BROWN
15	PAINTED BRICK - BLACK
16	PAINTED BRICK - GREY
17	PAINTED BRICK - WHITE
18	PAINTED BRICK - RED
19	PAINTED BRICK - BROWN
20	PAINTED BRICK - BLACK
21	PAINTED BRICK - GREY
22	PAINTED BRICK - WHITE
23	PAINTED BRICK - RED
24	PAINTED BRICK - BROWN
25	PAINTED BRICK - BLACK
26	PAINTED BRICK - GREY
27	PAINTED BRICK - WHITE
28	PAINTED BRICK - RED
29	PAINTED BRICK - BROWN
30	PAINTED BRICK - BLACK
31	PAINTED BRICK - GREY
32	PAINTED BRICK - WHITE
33	PAINTED BRICK - RED
34	PAINTED BRICK - BROWN
35	PAINTED BRICK - BLACK
36	PAINTED BRICK - GREY
37	PAINTED BRICK - WHITE
38	PAINTED BRICK - RED
39	PAINTED BRICK - BROWN
40	PAINTED BRICK - BLACK
41	PAINTED BRICK - GREY
42	PAINTED BRICK - WHITE
43	PAINTED BRICK - RED
44	PAINTED BRICK - BROWN
45	PAINTED BRICK - BLACK
46	PAINTED BRICK - GREY
47	PAINTED BRICK - WHITE
48	PAINTED BRICK - RED
49	PAINTED BRICK - BROWN
50	PAINTED BRICK - BLACK
51	PAINTED BRICK - GREY
52	PAINTED BRICK - WHITE
53	PAINTED BRICK - RED
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55	PAINTED BRICK - BLACK
56	PAINTED BRICK - GREY
57	PAINTED BRICK - WHITE
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59	PAINTED BRICK - BROWN
60	PAINTED BRICK - BLACK
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62	PAINTED BRICK - WHITE
63	PAINTED BRICK - RED
64	PAINTED BRICK - BROWN
65	PAINTED BRICK - BLACK
66	PAINTED BRICK - GREY
67	PAINTED BRICK - WHITE
68	PAINTED BRICK - RED
69	PAINTED BRICK - BROWN
70	PAINTED BRICK - BLACK
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72	PAINTED BRICK - WHITE
73	PAINTED BRICK - RED
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76	PAINTED BRICK - GREY
77	PAINTED BRICK - WHITE
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83	PAINTED BRICK - RED
84	PAINTED BRICK - BROWN
85	PAINTED BRICK - BLACK
86	PAINTED BRICK - GREY
87	PAINTED BRICK - WHITE
88	PAINTED BRICK - RED
89	PAINTED BRICK - BROWN
90	PAINTED BRICK - BLACK
91	PAINTED BRICK - GREY
92	PAINTED BRICK - WHITE
93	PAINTED BRICK - RED
94	PAINTED BRICK - BROWN
95	PAINTED BRICK - BLACK
96	PAINTED BRICK - GREY
97	PAINTED BRICK - WHITE
98	PAINTED BRICK - RED
99	PAINTED BRICK - BROWN
100	PAINTED BRICK - BLACK

MATERIALS LEGEND



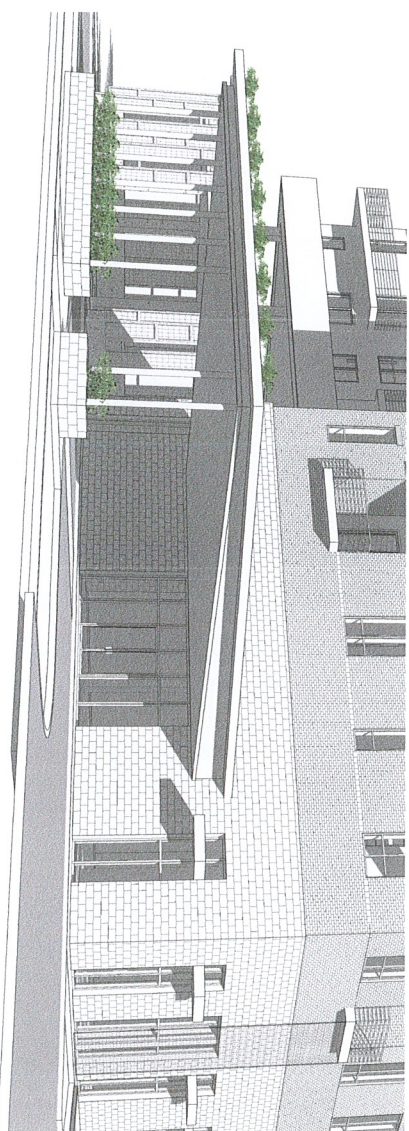
EVstudio
 208.984.2024
 evstudio.com
 208.984.2024

TNT - IRONWOOD
 5443 N. Glenwood St.
 Garden City, ID 83709
 AG23011

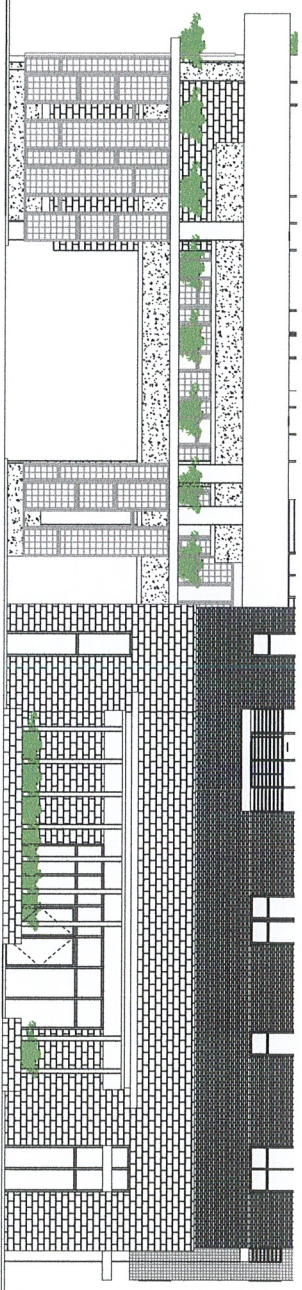
1 SOUTH ELEVATION
 1/8" = 1'-0"

A201
 EXTERIOR
 ELEVATIONS

COMPONENT DATA
 DATE: 01/01/2020
 DRAWN: 01/01/2020
 CHECKED: 01/01/2020



① Entry



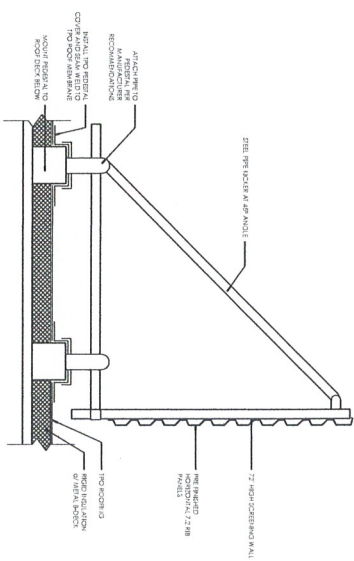
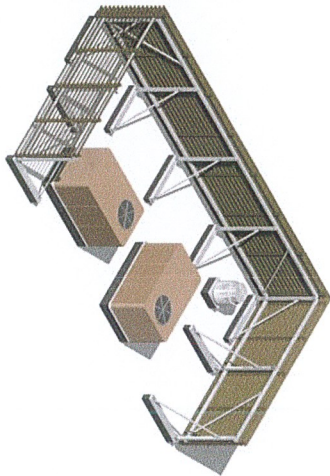
② East
1/8" = 1'-0"

TNT - IRONWOOD
AG23011
5443 N. Glenwood St.
Garden City, ID 83709

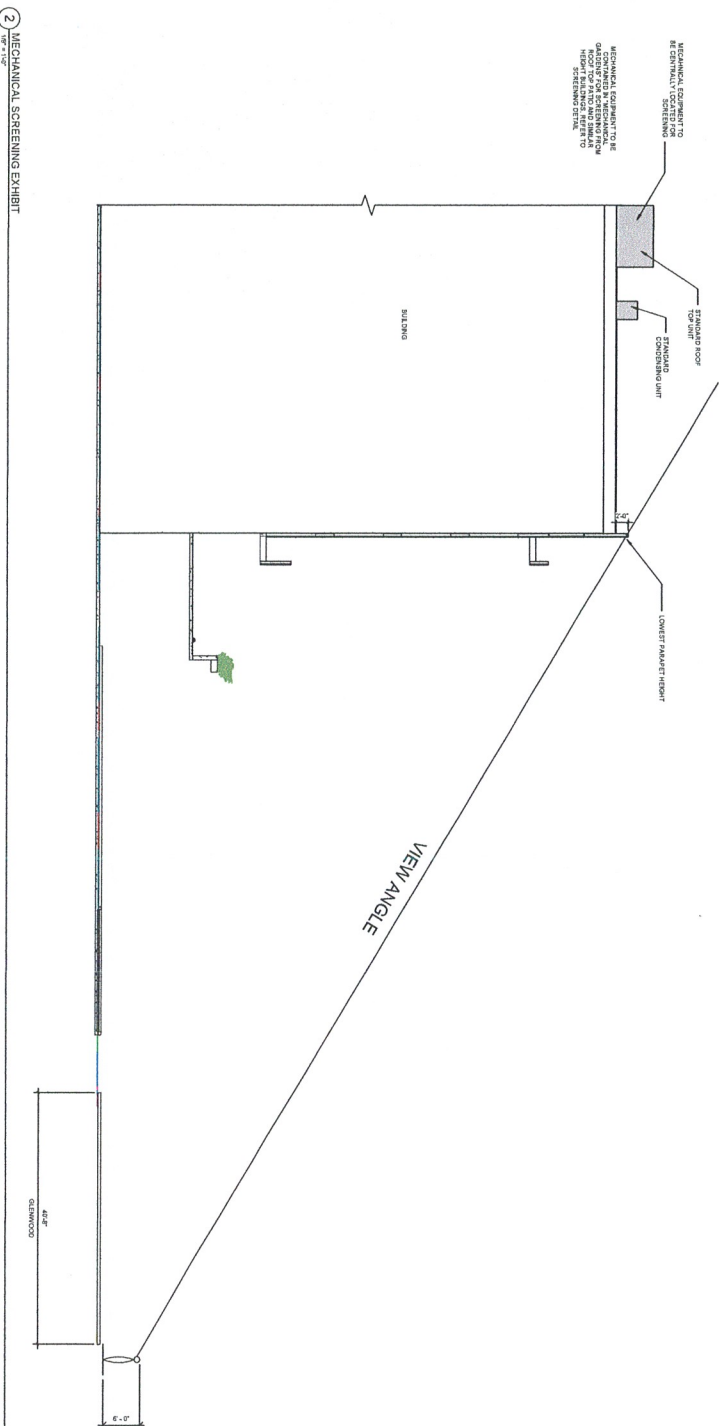


ESTUDIO
209.964.2024
www.estudio.com
www.951studio.com

DATE: 08.01.2024
DRAWN: 08.01.2024
CHECKED: 08.01.2024

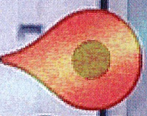


1 MECHANICAL SCREEN
1 1/2" x 1/4"



of Hearing
ology Clinic

ogs



Heritage Social
Club - Bar & Grill

Merchant



Diamond Peak
RV Rentals



Mountain West Car Wash

ood St

44

Midway Dr



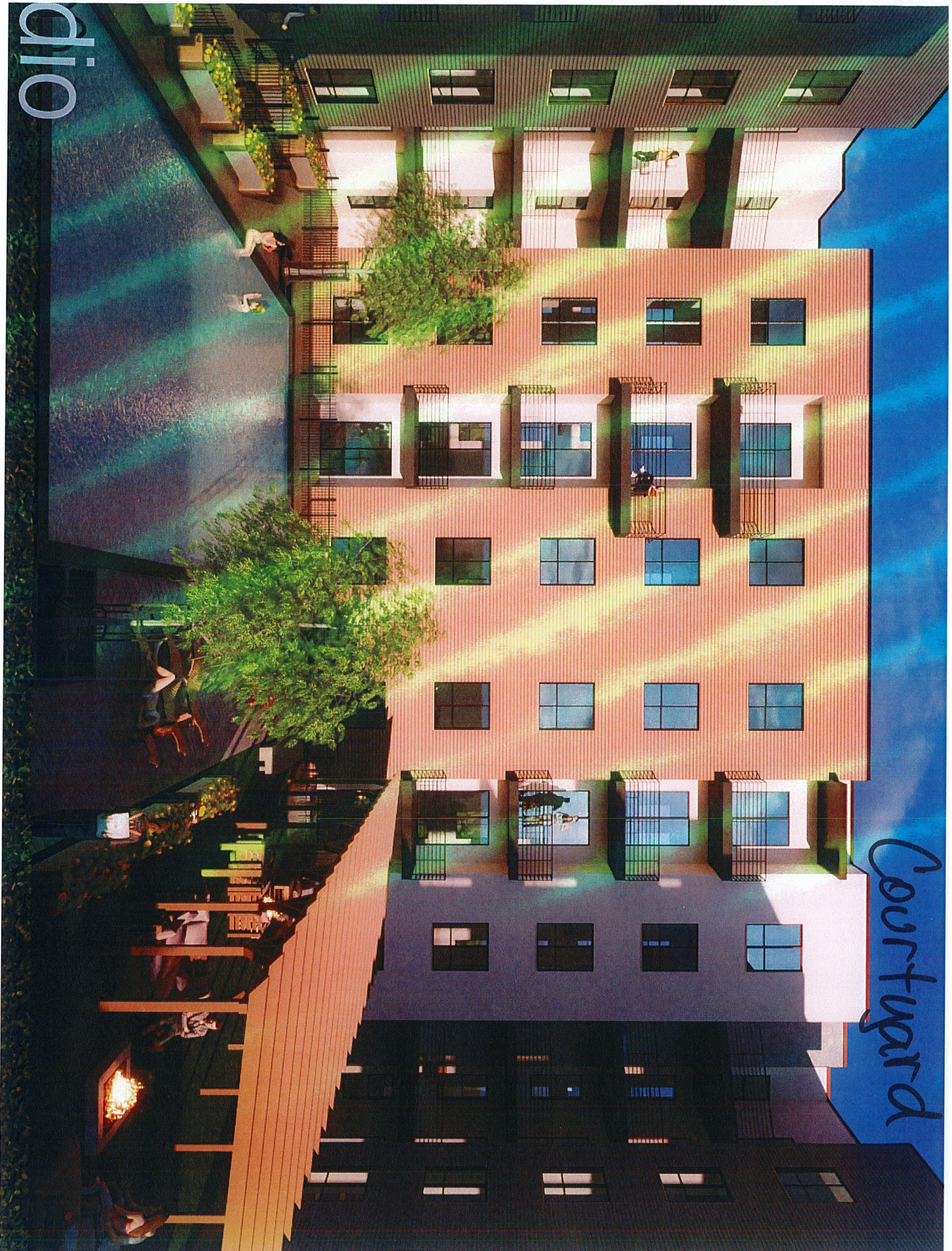
Christmas in Color
at Expo Idaho

Premium Pl

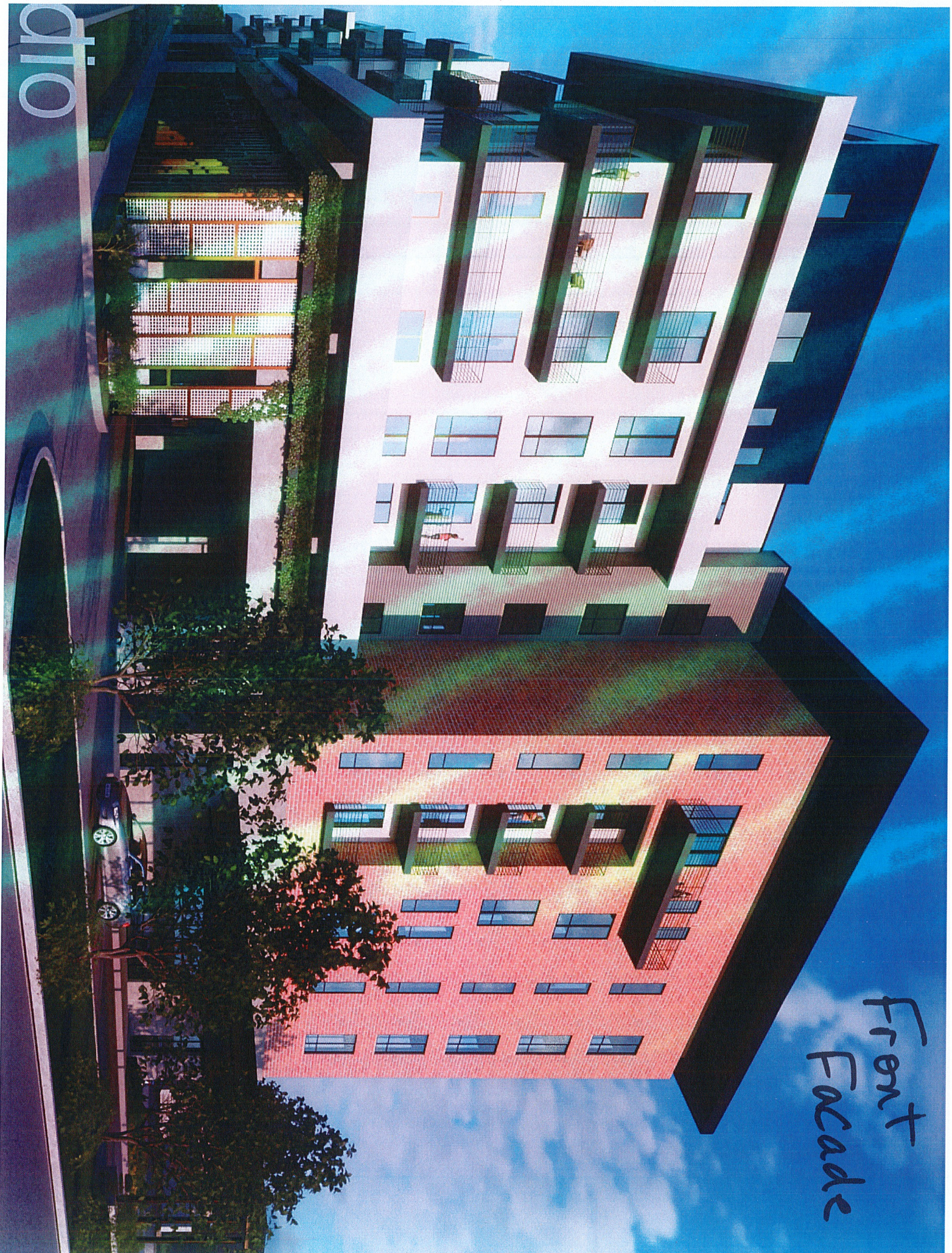
m Pl

Courtyard

dio



Front
Facade



Front
Facade 2



otio

*Rear
Facade*

dio

