



DESIGN REVIEW

Permit info: DSRFY2024-0010

Application Date: 4/26/2024 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921

• www.gardencityidaho.org • building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: <u>Dale Binning</u>	Name: <u>Bill Luers</u>
Company: <u>Dale Binning Architect</u>	Company: <u>BC Holdings, LLC</u>
Address: <u>3535 N Verdant Place</u>	Address: <u>3886 Sage Creek Drive</u>
City: <u>Star</u>	City: <u>Boise</u>
State: <u>Idaho</u> Zip: <u>83669</u>	State: <u>Idaho</u> Zip: <u>83714-5501</u>
Tel.: <u>(208) 383-0209</u>	Tel.: <u>(208) 230-2801</u>
E-mail: <u>binningarchitects@gmail.com</u>	E-mail: <u>BJLUERS@msn.com</u>

PROPERTY AND DESIGN INFORMATION

This application is a request to: Construct New Addition Subdivision

Site Address: 10178 W Carlton Bay Drive, Garden City 83714

Subdivision Name: <u>Carlton Bay Subdivision</u>	Lot: <u>Lot 07</u>	Block: <u>01 TCA 06-3</u>
Tax Parcel Number: <u>R1292650130</u>	Zoning: <u>M</u>	Total Acres: <u>1.107</u>
Proposed Use: <u>Medical Office</u>	Floodplain: <u>Yes</u>	<u>X</u> <u>No</u>

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

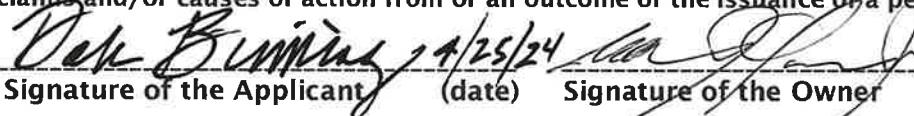
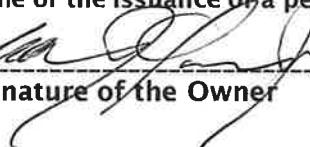
Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.


Derek Bunning 4/25/24 
Signature of the Applicant (date) Signature of the Owner (date) 4-25-24

APPLICATION INFORMATION REQUIRED

Note:

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

<input type="checkbox"/> Compliance Statement and Statement of Intent	<input type="checkbox"/> Affidavit of Legal Interest
<input type="checkbox"/> Neighborhood Map	<input type="checkbox"/> Sustainability Checklist *if applicable
<input type="checkbox"/> Site Plan	
<input type="checkbox"/> Landscape Plan	
<input type="checkbox"/> Schematic Drawing	
<input type="checkbox"/> Lighting Plan	
<input type="checkbox"/> Topographic Survey	
<input type="checkbox"/> Grading Plan	
<input type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request	
<input type="checkbox"/> Ada County Approved Addresses	
<input type="checkbox"/> Waiver Request of Application Materials	



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 1/2" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN: SEE SITE PLAN

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filling
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN: SEE SITE PLAN

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

**Required for developments of two or more buildings:*

- Location, elevations, and materials of proposed signage

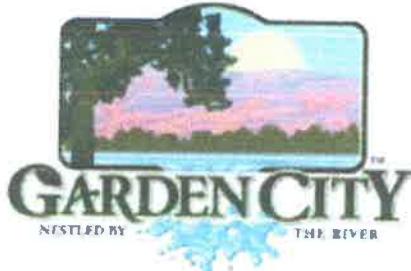
INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

**Required if irrigation canal/irrigation ditch runs through property or along property lines:*

- Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request.



11 Am

6015 Glenwood Street Garden City, Idaho 83714
 Phone 208-472-2921 Fax 208-472-2926
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)

ISS

County of Ada)

B C Holdings



1. Bill Luers Foothills Functional Medicine

3886 Sage Creek Drive

Name

Address

Boise

City

Idaho 83714

State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission

to Dale Binning, Architect

Name

3535 N Verdant Place Star, ID 83669

Address

to submit the accompanying application pertaining to that property.

2. I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Dated this 25 day of April, 2024

Signature

Subscribed and sworn to before me the day and year first above written

Notary Public for Idaho

Residing at

Boise, ID

My Commission expires

08/07/2024

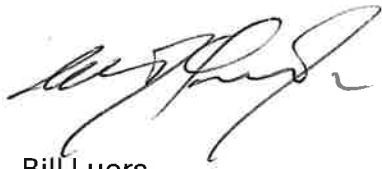

Compliance Statement and Statement of Intent

Applicant: Bill Luers

Property Owner of Record: BC Holdings LLC

Location of the Project is: 10178 W. Carlton Bay Drive, Garden City Idaho 83714

The applicant intends to construct a 3600 square foot medical office building. This building will be the future clinic for Foothills Functional Medicine, PLLC. Foothills Functional Medicine is a well-established medical office in Eagle Idaho. The owners would like to move their operation to Garden City. The building has been designed to blend in nicely with the surrounding buildings and compliment the neighborhood. The clinic operates a quiet, unobtrusive practice and typically accommodates less than 20 patients per day on average. The building design conforms with the standards established by Garden City.



Bill Luers

BC Holdings LLC

4/25/24



Escrow No.: 34601600400-KY

WARRANTY DEED

FOR VALUE RECEIVED

S & M Investments, LLC, an Idaho limited liability company

GRANTOR(S), does(do) hereby GRANT, BARGAIN, SELL AND CONVEY unto:

BC Holdings, L.L.C., an Idaho limited liability company

GRANTEE(S), whose current address is: **3886 Sage Creek Dr, Boise, ID 83714**

the following described real property in Ada County, Idaho, more particularly described as follows, to wit:

For APN/Parcel ID(s): R1292650120 and R1292650130

Lot 7 in Block 1 of Carlton Bay Subdivision, according to the official plat thereof, filed in Book 100 of Plats at Page(s) 12901 through 12905, records of Ada County, Idaho; and as amended by an Affidavit recorded March 1, 2010, as Instrument No. 110018434, official records of Ada County, Idaho.

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said heirs and assigns forever. And the said Grantor(s) does(do) hereby covenant to and with the said Grantee(s), that Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and general taxes and assessments, (including irrigation and utility assessments, if any) for the current year, which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

WARRANTY DEED

(continued)

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Effective this 5th day of August, 2016.

S & M Investments, LLC

BY: 

Sam G. Battaglia, Manager

BY: 

Marisa A. Battaglia, Manager

STATE OF Idaho, COUNTY OF Ada, -ss.

On this 5th day of August, 2016, before me, the undersigned, a Notary Public in and for said State, personally appeared Sam G. Battaglia and Marisa A. Battaglia, Managers, known or identified to me to be the persons whose names are subscribed to the within instrument, as the of S & M Investments, LLC, a Limited Liability Company and acknowledged to me that they executed the same as such.

Signature: Kimberly L. Hall

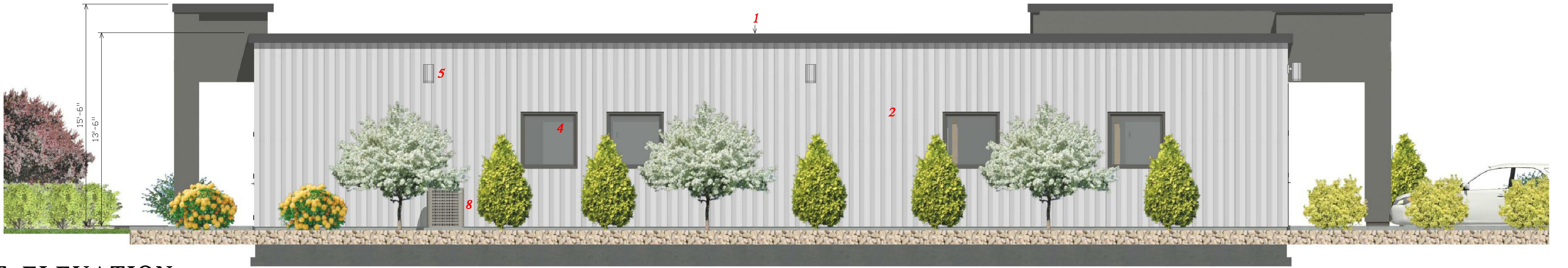
Name: Kimberly L. Hall

Residing at: Neudan, ID

My Commission Expires: 6/20/2019

(SEAL)





EAST ELEVATION

1/4"=1'-0"



WEST ELEVATION

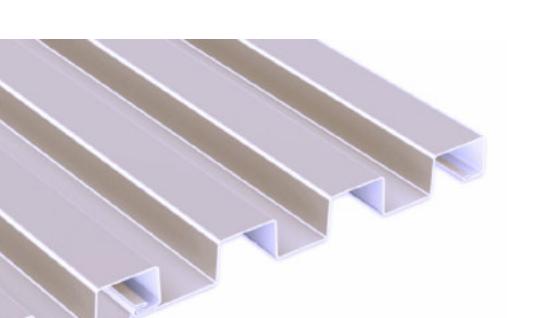
1/4"=1'-0"



SOUTH ELEVATION (carlton bay view)

1/4"=1'-0"

EXTERIOR MATERIALS	
①	METAL ROOFING PANELS: 26 GAUGE / CONCEALED FASTENERS. PRE-FINISHED PANELS WITH SLATE GRAY FINISH (VERIFY). INSTALL PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.
②	PREFINISHED METAL WALL PANELS: 24 GAUGE BOXED RIB PANELS WITH REFLECTIVE WHITE FINISH (VERIFY).
③	STOREFRONT SYSTEM: COMMERCIAL GRADE MEDIUM BRONZE FINISH MEDIUM BRONZE ALUMINUM FOR DOOR AND WINDOW FRAMING. SMOKE GRAY LOW-E INSULATED 1" GLASS WITH THERMAL BREAK.
④	EXTERIOR WINDOWS: COMMERCIAL GRADE VINYL 4.5" FRAMES. WINDOWS ARE FIXED LITE, INSULATED, WITH SMOKE GRAY GLASS.
⑤	WALL MOUNTED LIGHT FIXTURES - HORIZONTAL CUT-OFF. SEE ELECTRICAL PLANS FOR FIXTURE SPECIFICATIONS.
⑥	STUCCO (2) COAT SYSTEM: 3/4" CEMENT PLASTER APPLIED OVER STUCCO-WRAP OVER PLYWOOD WALL SHEATHING. INSTALL PER MANUFACTURER'S SPECS AND DETAILS. STUCCO HAS SAND FINISH AND INTEGRAL COLOR - VERIFY COLOR.
⑦	EXTERNAL ILLUMINATED SIGNS: 48" LED LIGHT BAR UP-LIGHT.
⑧	A/C CONDENSER ON CONCRETE PAD.
⑨	NOT USED
⑩	NOT USED



BOXED RIB
METAL WALL PANELS



NORTH ELEVATION (state street view)

1/4"=1'-0"

DESIGN REVIEW
APPLICATION



<div[](https://www.ams.org/amsdesignreviewapplication/amsdesignreviewapplication.pdf)

1'-0"

DALE BINNING ARCHITECT

3535 NORTH VERDANT PLACE • STAR, IDAHO • 83669

<div[](https://i.imgur.com/3Q5zJLw.png)

SERRI, LLC

B

DATE:

SHEET:

A-2A



DESIGN REVIEW
APPLICATION



VIEW FROM STATE STREET



VIEW FROM CARLTON BAY DRIVE



VIEW FROM CARLTON BAY DRIVE



VIEW FROM STATE STREET

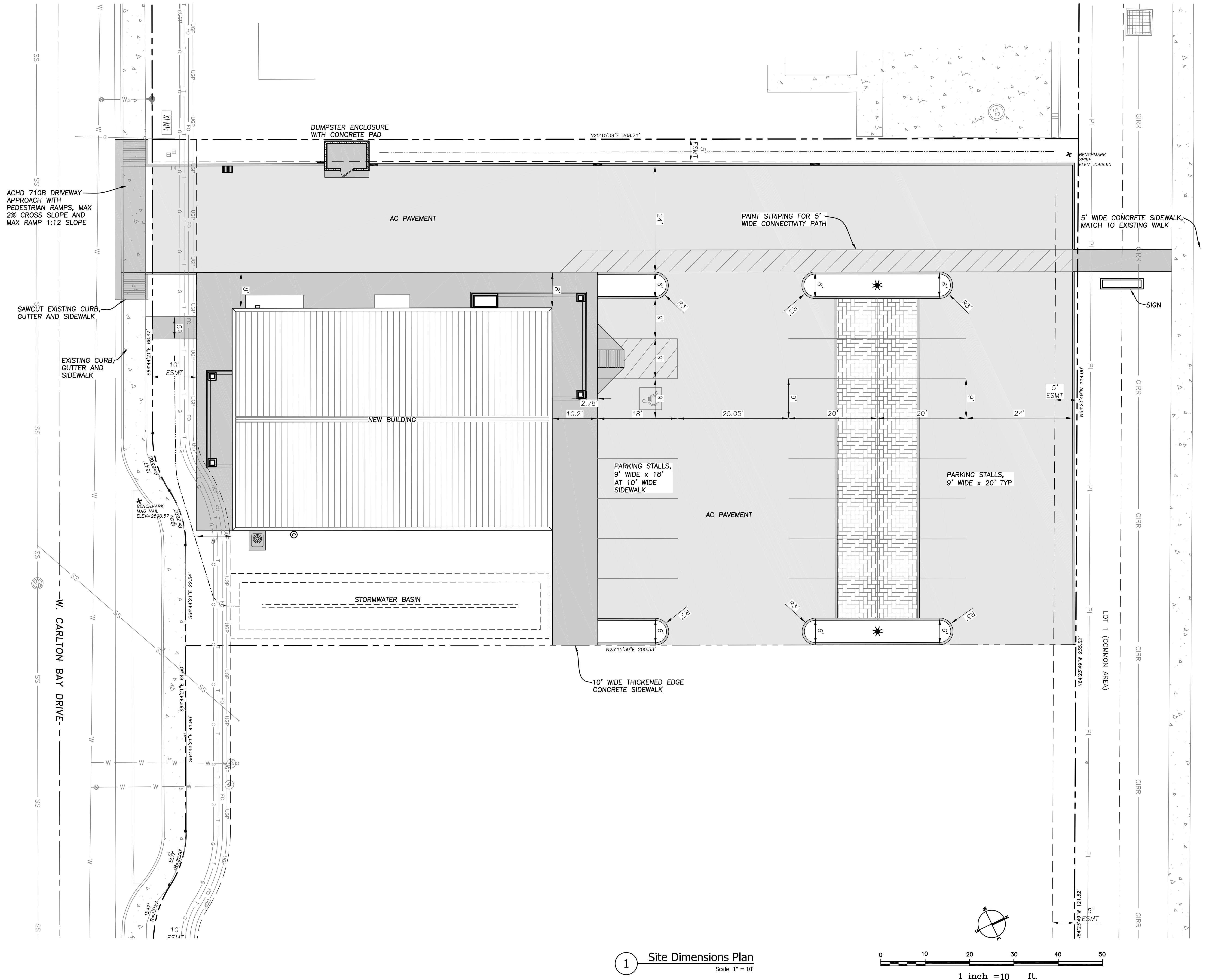
VICINITY MAP



LEGEND AND ABBREVIATIONS

EXISTING CONDITION SCREENED
WORK IN CONTRACT (U.N.O.)
PROPERTY LINE
BUILDING FOOTPRINT
— 2702 — EXISTING GRADE CONTOUR
— 2702 — FINISHED GRADE CONTOUR
— OHE — OVERHEAD ELECTRICAL
— UGP — UNDERGROUND ELECTRICAL POWER
— T — TELEPHONE
— G — UNDERGROUND GAS
— SS — SANITARY SEWER
— SD — STORM DRAIN
— W — WATER
— FS — FIRE SERVICE
— GIRR — GRAVITY IRRIGATION
— PI — PRESSURE IRRIGATION
— FENCE — FENCE
◆ 2633.27fg SPOT ELEVATION (◆ FINISH GRADE)
◆ FIRE HYDRANT
◆ CLEAN OUT TO GRADE
◆ WATER METER
◆ GAS METER
◆ BURIED VALVE
◆ SOIL TEST HOLE
◆ TR-1 AC ASPHALT PAVEMENT
◆ ff FINISH FLOOR ELEVATION
◆ fg FINISH GRADE ELEVATION
◆ ta TOP OF ASPHALT
◆ eg EXISTING GRADE ELEVATION
◆ GB GRADE BREAK
◆ tc TOP OF CONCRETE





NOTES

1. EXISTING SITE CONDITIONS ARE FROM TOPOGRAPHIC SURVEY BY PORTSIDE LAND SURVEYING APRIL 2024.
2. LOCATION OF EXISTING SITE IMPROVEMENTS AND UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE STARTING WORK. UNDERGROUND UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO EXCAVATION. THERE ARE CRITICAL GAS MAINS AND CRITICAL FIBEROPTIC LINES IN THE AREA. CALL DIGLINE 811.
3. UTILITIES COMPANIES SHALL BE NOTIFIED PRIOR TO ANY EXCAVATION WITHIN 5' FROM FIBEROPTIC LINES.
4. SEE GARDEN CITY STANDARD NOTES AND DETAILS.
5. SITE WORK SHALL CONFORM TO THE CURRENT EDITION OF IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC) AND GARDEN CITY STANDARD CONSTRUCTION SPECIFICATIONS, OSHA AND ALL OTHER APPLICABLE LOCAL, STATE AND NATIONAL REQUIREMENTS.
6. WORK SUBJECT TO APPROVAL BY THE DESIGN ENGINEER, ACHD, GARDEN CITY OR OTHER AGENCY MUST BE APPROVED PRIOR TO BACKFILLING TRENCHES FOR PIPE, PLACING OF AGGREGATE BASE, PLACING OF CONCRETE AND PLACING OF ASPHALT PAVING.
7. CONTRACTOR SHALL HAVE A GARDEN CITY APPROVED SET OF PLANS AT THE WORKSITE DURING CONSTRUCTION.
8. PROPOSED FIELD CHANGES MUST BE APPROVED BY GARDEN CITY AND THE ENGINEER PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL PROVIDE RECORD DRAWING INFORMATION TO THE DESIGN ENGINEER OF ANY FIELD MODIFICATIONS NOT SHOWN ON THE APPROVED PLANS.
10. NON POTABLE PIPELINES, SUCH AS SEWER, STORMDRAIN AND IRRIGATION, SHALL BE LOCATED AT LEAST 10 FEET FROM WATER PIPELINES. STORMWATER INFILTRATION BASINS SHALL BE LOCATED AT LEAST 25 FEET FROM WATER PIPELINES.
11. PROTECT EXISTING AND NEW DRAIN INLETS AND STORMWATER FACILITIES FROM SEDIMENT DURING CONSTRUCTION, USE FIBER WATTLES OR INSERT SUCH AS SILT SACK.
12. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND PUBLIC RIGHT OF WAY FROM DAMAGE DURING CONSTRUCTION.
13. PAINT PARKING STALLS AND HANDICAP MARKINGS PER ADA AND MUTCD STANDARDS.
14. SEE ARCHITECTURAL SITE PLAN, LANDSCAPING PLAN AND ELECTRICAL DESIGN FOR ADDITIONAL SITE INFORMATION.

Foothills Functional Medicine
10178 W. Carlton Bay Drive
Garden City, Idaho

PRELIMINARY DRAWING NOT FOR CONSTRUCTION



**CALL
WORKING
DAYS
BEFORE
YOU DIG!
DIGLINE
842-1585
OR
811**

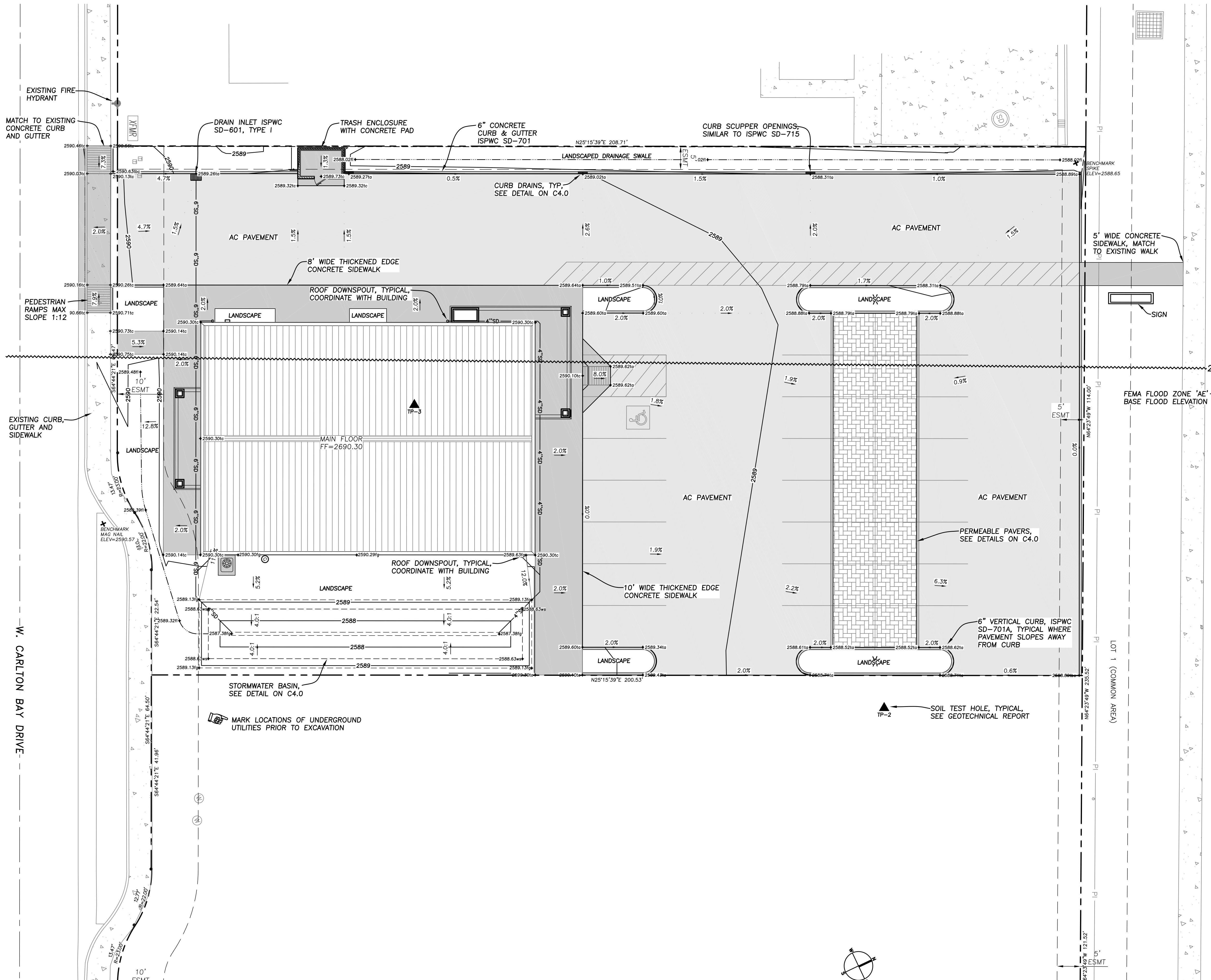


SITE DIMENSIONS PLAN

C2.0

Focus Engineering

Civil-Geotechnical-Environmental-Structural
5140 West Catalpa Court, Boise, Idaho 83703
(208) 395-1979
focusboise@gmail.com



NOTES

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- UTILITIES COMPANIES SHALL BE NOTIFIED PRIOR TO ANY EXCAVATION WITHIN 5' FROM FIBEROPTIC LINES.
- SEE GARDEN CITY STANDARD NOTES AND DETAILS.
- SITE WORK SHALL CONFORM TO THE CURRENT EDITION OF IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC) AND GARDEN CITY STANDARD CONSTRUCTION SPECIFICATIONS, OSHA AND ALL OTHER APPLICABLE LOCAL, STATE AND NATIONAL REQUIREMENTS.
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- PROPOSED FIELD CHANGES MUST BE APPROVED BY GARDEN CITY AND THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE RECORD DRAWING INFORMATION TO THE DESIGN ENGINEER OF ANY FIELD MODIFICATIONS NOT SHOWN ON THE APPROVED PLANS.
- NON POTABLE PIPELINES, SUCH AS SEWER, STORMDRAIN AND IRRIGATION, SHALL BE LOCATED AT LEAST 10 FEET FROM WATER PIPELINES. STORMWATER INFILTRATION BASINS SHALL BE LOCATED AT LEAST 25 FEET FROM WATER PIPELINES.
- PROTECT EXISTING AND NEW DRAIN INLETS AND STORMWATER FACILITIES FROM SEDIMENT DURING CONSTRUCTION, USE FIBER WATTLES OR INSERT SUCH AS SILT SACK.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND PUBLIC RIGHT OF WAY FROM DAMAGE DURING CONSTRUCTION.
- PAINT PARKING STALLS AND HANDICAP MARKINGS PER ADA AND MUTCD STANDARDS.
- SEE ARCHITECTURAL SITE PLAN, LANDSCAPING PLAN AND ELECTRICAL DESIGN FOR ADDITIONAL SITE INFORMATION.

GRADING NOTES

- CONCRETE WALKS, PAVEMENT AND SITE GRADING SHALL BE CONSTRUCTED WITH SLOPE TO ALLOW DRAINAGE AWAY FROM THE BUILDING. STORMWATER RUNOFF SHALL HAVE AN UNBLOCKED PATH TO THE STORMWATER DRAINAGE FACILITY. LOCAL LOW SPOTS AND PONDING ARE NOT ACCEPTABLE.
- SITE EARTHWORK AND UTILITY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), GARDEN CITY DESIGN STANDARDS, INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL PLUMBING CODE (IPC), OSHA AND ALL OTHER APPLICABLE LOCAL, STATE AND NATIONAL REQUIREMENTS.
- SITE EARTHWORK EXCAVATION AND FILL, DRIVEWAY AND PARKING LOT CONSTRUCTION, CONCRETE SLAB ON GRADE AND BUILDING FOUNDATION PREPARATION SHALL FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND THE CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC).
- EARTH PREPARATION FOR BUILDING FOUNDATIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT. COMPACTION TESTING SHALL BE PERFORMED BY AN INDEPENDENT CERTIFIED LABORATORY. COMPACTION TEST REPORTS SHALL BE PROVIDED TO OWNER, CONTRACTOR AND FOCUS ENGINEERING.
- NATIVE SOIL AT NEW PAVEMENT AREAS SHALL BE APPROVED BY A CERTIFIED TESTING AGENCY PRIOR TO PLACING IMPORTED FILL, CONCRETE OR AC PAVEMENT.
- EXCAVATION AND EARTHWORK SHOULD BE SCHEDULED AS CLOSE AS POSSIBLE TO SCHEDULED BUILDING AND SITE CONSTRUCTION DATES. NATIVE VEGETATION SHOULD BE LEFT IN PLACE AS LONG AS POSSIBLE TO HELP PREVENT EROSION. DISTURBED EARTH CUT AND FILL AREAS SHALL BE LANDSCAPED OR REVEGETATED TO PREVENT EROSION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND PUBLIC RIGHT OF WAY FROM DAMAGE DURING CONSTRUCTION.
- AUTOCAD DRAWING IS AVAILABLE FOR CONSTRUCTION STAKING.

LEGEND

- 20.50eg EXISTING GRADE
- 22.45ta TOP OF ASPHALT
- 21.33tc TOP OF CONCRETE
- 21.41tbc TOP BACK OF CURB
- 21.50fg FINISH GRADE
- 20.16fl SWALE FLOW LINE

PRELIMINARY
DRAWING
NOT FOR CONSTRUCTION



GRADING AND DRAINAGE PLAN

C3.0

Foothills Functional Medicin
10178 W. Carlton Bay Drive
Garden City, Idaho

Focus Engineering
Civil-Geotechnical-Environmental-Structural
5149 W. 5th Ct., Suite 100, Boise, Idaho 83703
(208) 395-1979
focuseng@gmail.com

04/25/24 3:59 pm

STORMWATER SUMMARY

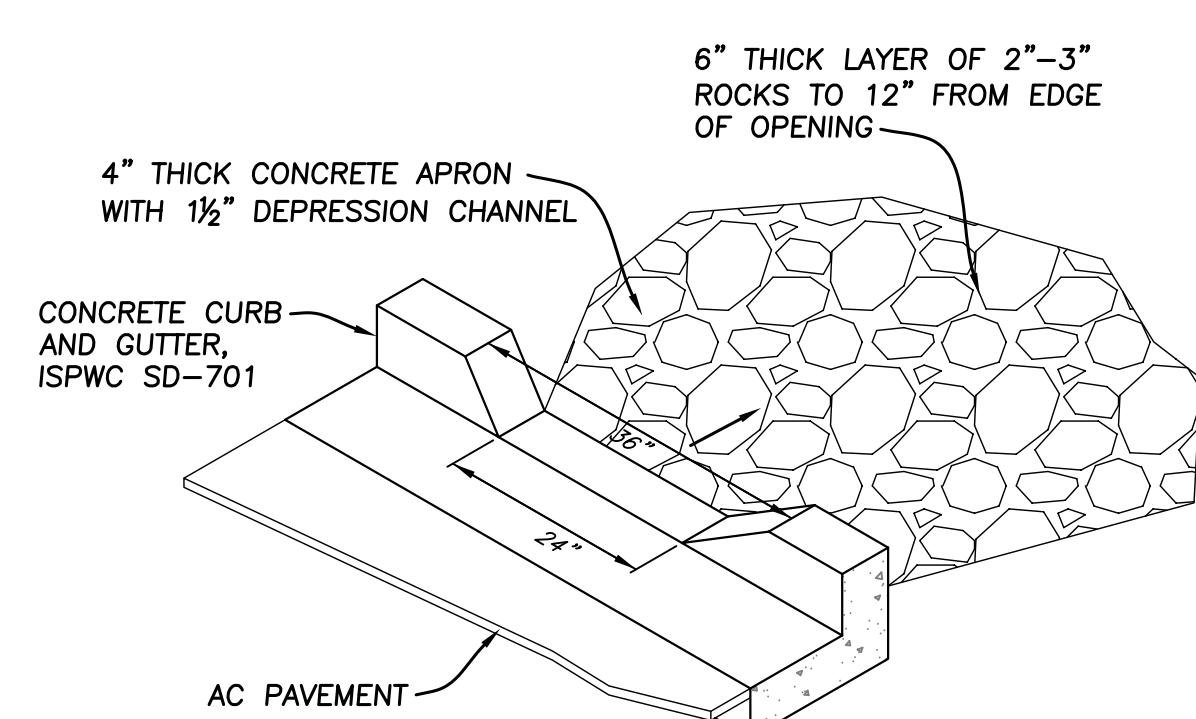
AREA DESCRIPTION	AREA (sf)	AREA (ac)	RUNOFF COEFFICIENT	VOLUME V ₁₀₀ (cf)	Q ₁₀₀ (cfs)
BUILDING ROOF	3,991	0.092	0.95	278	0.077
PAVEMENT & CONCRETE	13,346	0.306	0.95	930	0.256
LANDSCAPE	4,813	0.110	0.20	71	0.019
PERMEABLE PAVERS	1,296	0.030	0.00	0.00	0.00
TOTAL	23,446	0.538		1,278	0.352

NOTES:

1. STORMWATER MANAGEMENT SYSTEM SHALL CONFORM TO GARDEN CITY REQUIREMENTS AND BOISE CITY STORMWATER DESIGN MANUAL.
2. SEE SEPARATE STORMWATER CALCULATIONS.
3. SEE PROJECT GEOTECHNICAL REPORT B170662g AND SOIL TEST HOLE LOGS BY MTI.

STORMWATER SUMMARY

N.T.S.

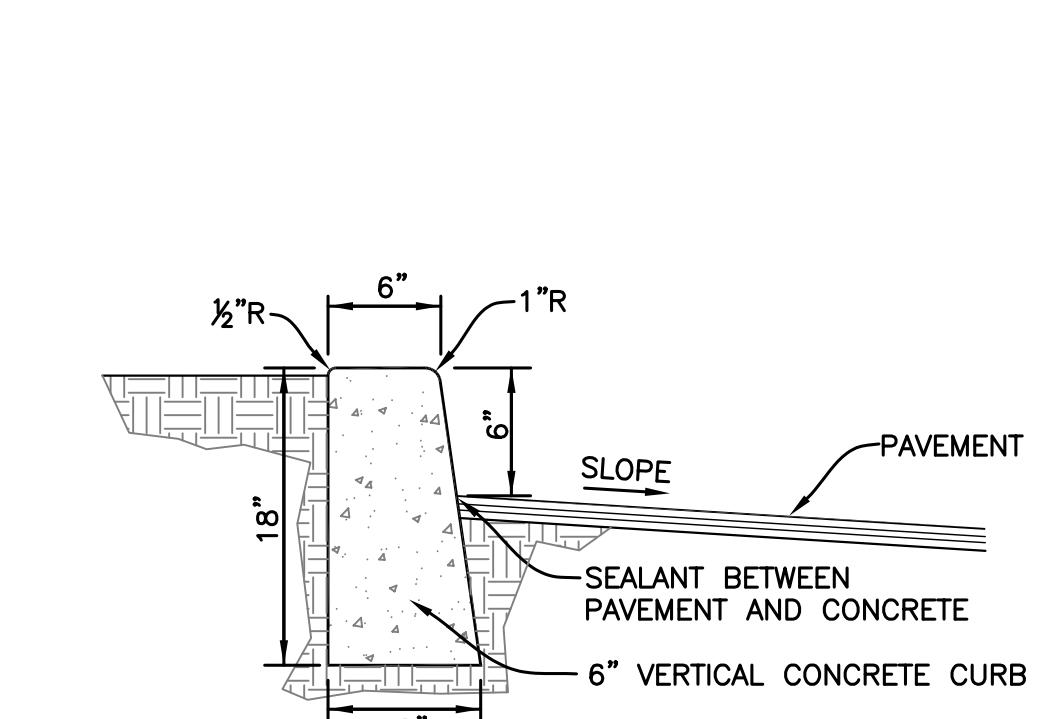


NOTES:

1. CURB DRAIN SIMILAR TO ISPWC SD-715.
2. SLOPE PAVEMENT AND CUTTERS TOWARDS CURB OPENINGS
3. PROVIDE SMOOTH PATH FOR FLOW OF STORMWATER TO STORMWATER BASIN WITHOUT PONDING OR OBSTRUCTIONS INCLUDING GRASS AND OTHER VEGETATION.

CURB DRAIN DETAIL

N.T.S.

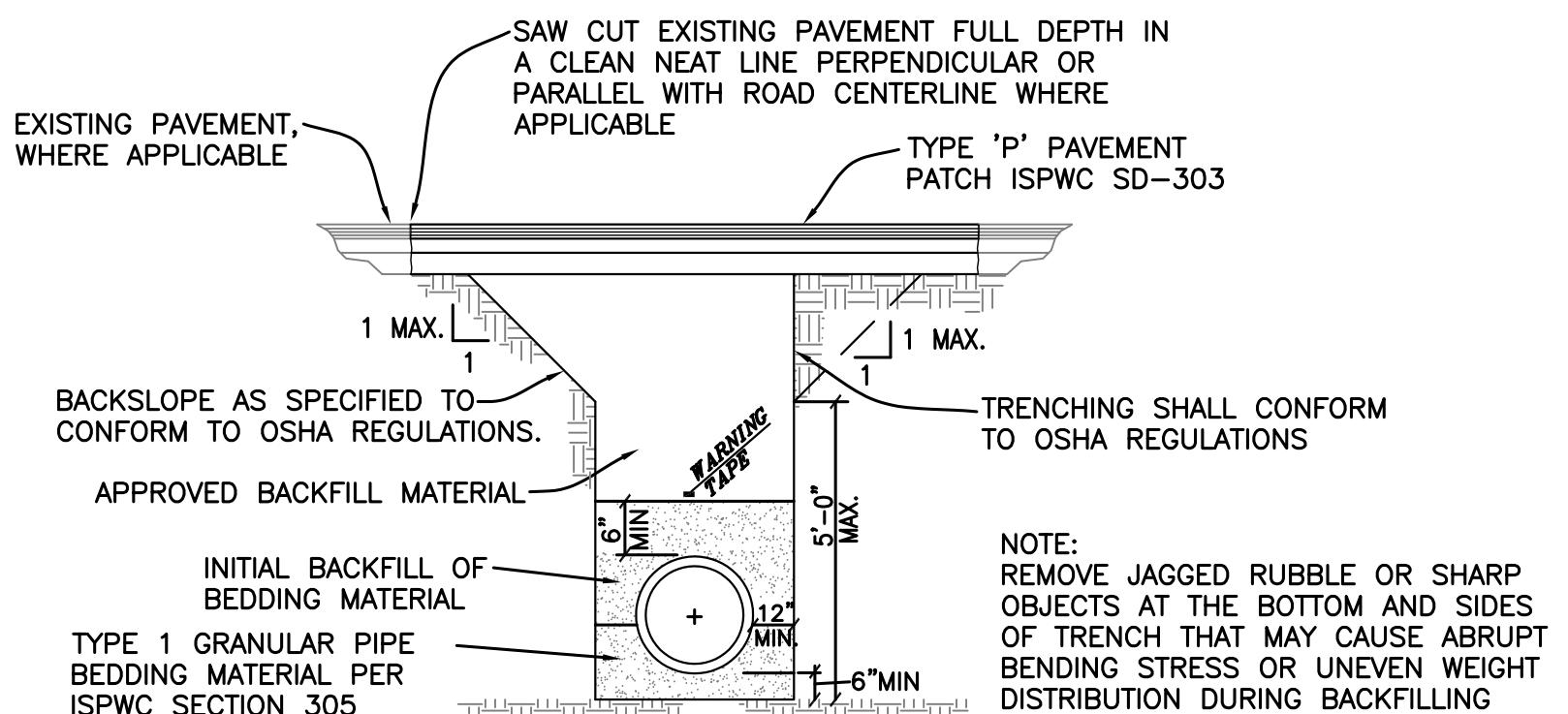


NOTES:

1. REFERENCE ISPWC SD-701A.
2. USED ONLY WHERE PAVEMENT SLOPES AWAY FROM CURB.
3. MAY USE STANDARD CURB AND GUTTER WITH REVERSE SLOPE IN GUTTER PAN IN PLACE OF VERTICAL CURB.

VERTICAL CURB ISPWC SD-701A DETAIL

N.T.S.

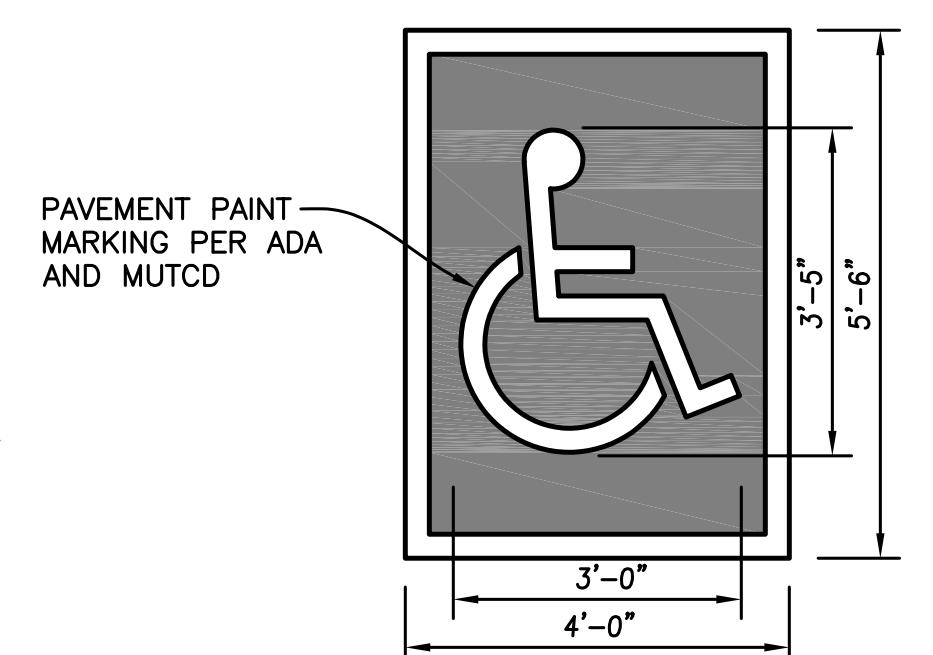


NOTES:

1. TRENCHING, PIPE BEDDING AND BACKFILL SHALL BE CONSTRUCTED IN ACCORDANCE ISPWC DIVISION 300 AND SD-301 FOR TRENCHING.
2. DEWATERING OF UTILITY TRENCHES SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
3. SOFT OR OTHERWISE UNSUITABLE SOILS AT PIPE SUPPORT AREAS SHALL BE OVEREXCAVATED AND REPLACED PER ISPWC SECTION 304. REMOVE ALL STONES WITHIN 6" FROM THE BOTTOM OF THE PIPE.
4. INSTALL MYLAR WARNING TAPE ABOVE PIPES.
5. RECONSTRUCT AGGREGATE BASE AND PATCH PAVEMENT WHERE TRENCH INTERSECTS EXISTING PAVEMENT. SUBBASE, BASE AND PAVEMENT THICKNESS SHALL MATCH EXISTING PAVEMENT OR AS OTHERWISE REQUIRED BY AUTHORITY HAVING JURISDICTION.

TYPICAL UTILITY TRENCH DETAIL

N.T.S.

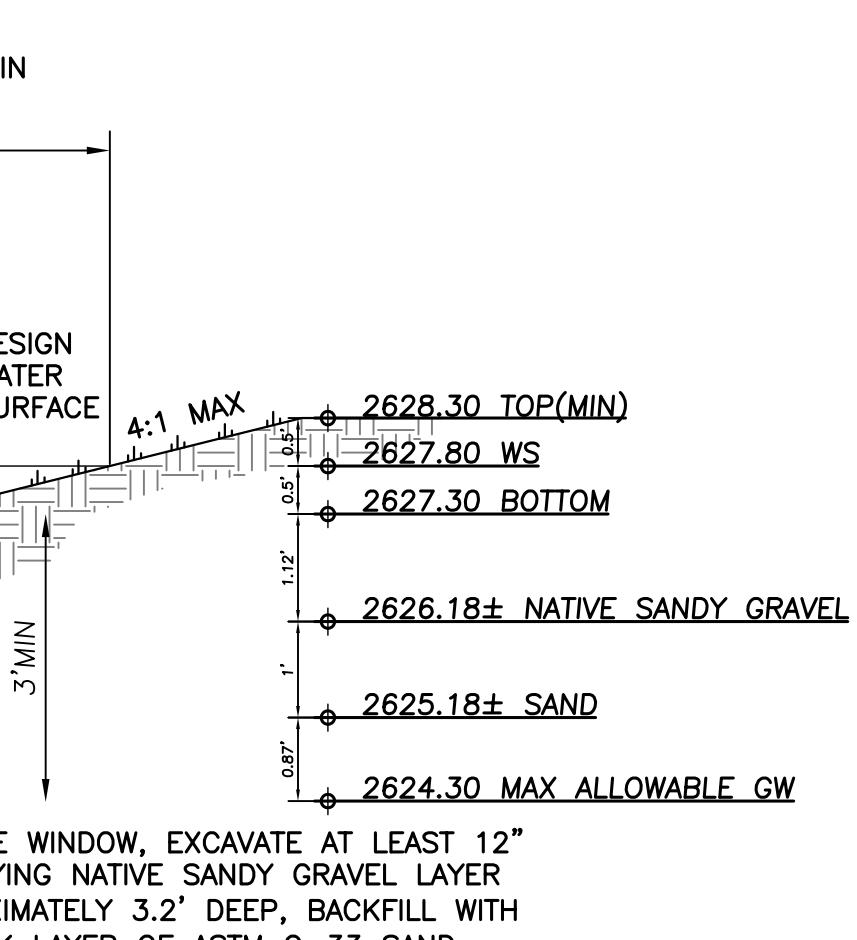


NOTES:

1. REFERENCE MUTCD FIGURE 3B-19.
2. PAINT WHITE LINES AND BORDER WITH BLUE BACKGROUND.
3. PAINT STROKE WIDTH 3" MINIMUM.

HANDICAP PARKING STALL SYMBOL

N.T.S.

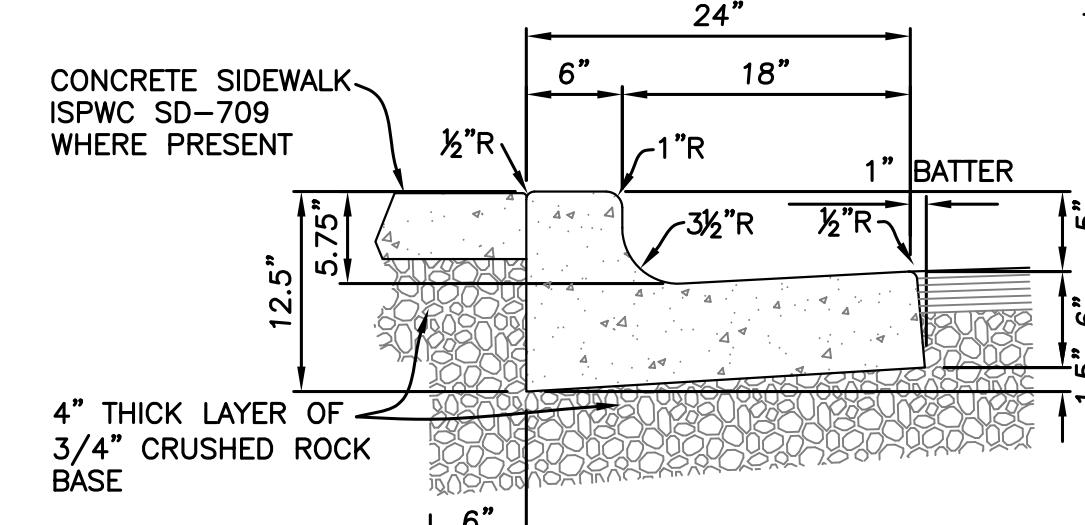


NOTES:

1. SEE PLAN FOR BASIN LOCATION AND SIZE.
2. BIORETENTION SOIL MIX (BSM) SHALL CONFORM TO BOISE CITY STORMWATER DESIGN MANUAL APPENDIX C. BSM SHALL BE 85%-90% SAND, 10% MAX SILT AND 5% MAX CLAY, AND SHALL HAVE AN INFILTRATION RATE OF AT LEAST 8" PER HOUR.
3. PROVIDE 2"-3" STONE AT PIPE AND SWALE INLETS TO PREVENT EROSION.
4. SOD NOT ALLOWED AT STORMWATER BASIN.

STORMWATER INFILTRATION SWALE DETAIL

N.T.S.

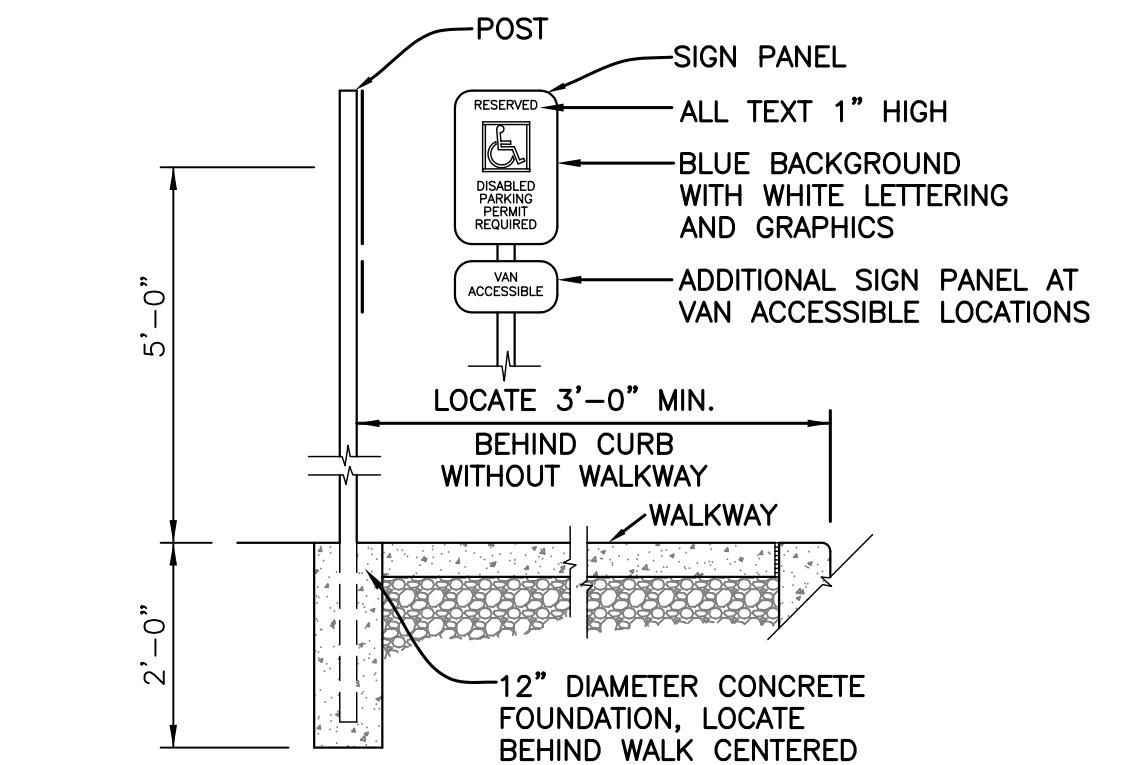


NOTES:

1. 6" VERTICAL CURB AND GUTTER PER ADA COUNTY HIGHWAY DISTRICT SUPPLEMENTAL SPECIFICATIONS ACHD SD-701.
2. BASE COURSE SHALL BE COMPAKTED TO 95% RELATIVE MAXIMUM DENSITY AND SHALL BE APPROVED BY ACHD PRIOR TO PLACING CONCRETE.
3. GRADE AND ALIGNMENT SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACING CONCRETE.
4. INSTALL 1/2" EXPANSION JOINT MATERIAL AT CURVE RADII.
5. CONSTRUCT CONTROL JOINT SCORING AT MAXIMUM 10' SPACING.

STANDARD CURB AND GUTTER ACHD SD-701 DETAIL

N.T.S.



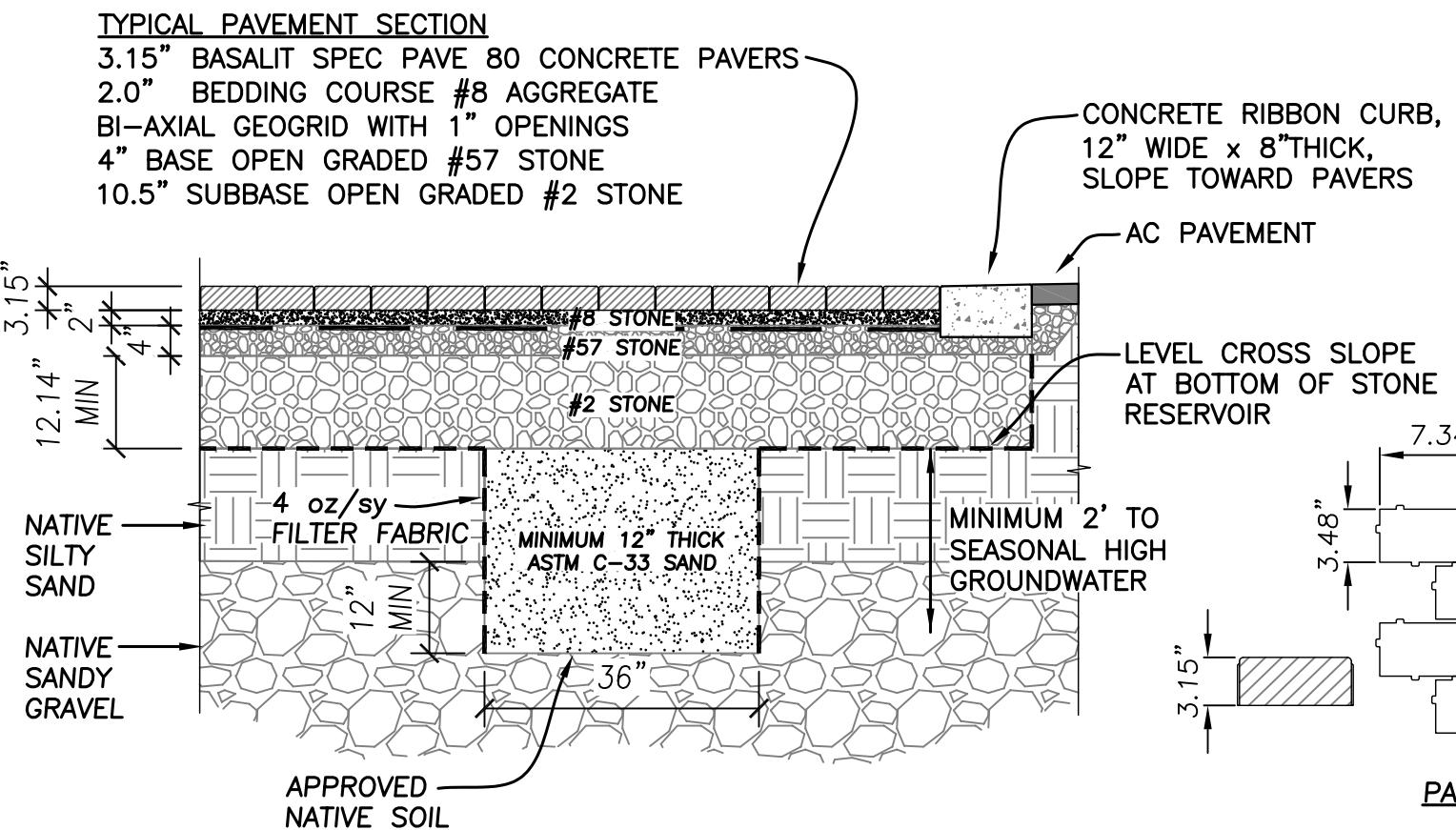
NOTES:

1. NEW POST NOT REQUIRED IF SIGNS ARE MOUNTED ON BUILDING OR EXISTING POST.
2. SIGN SHALL BE MOUNTED AT THE FRONT OF THE PARKING SPACE IN A LOCATION THAT IS NOT OBSCURED BY THE PARKED VEHICLE AND IS VISIBLE FROM A DRIVER'S SEAT.

HANDICAP PARKING STALL SIGN

N.T.S.

IMPORTANT:
PROTECT PEROUS PAVEMENT AREA AND NATIVE SOIL INFILTRATIVE SURFACE FROM SEDIMENT DURING CONSTRUCTION



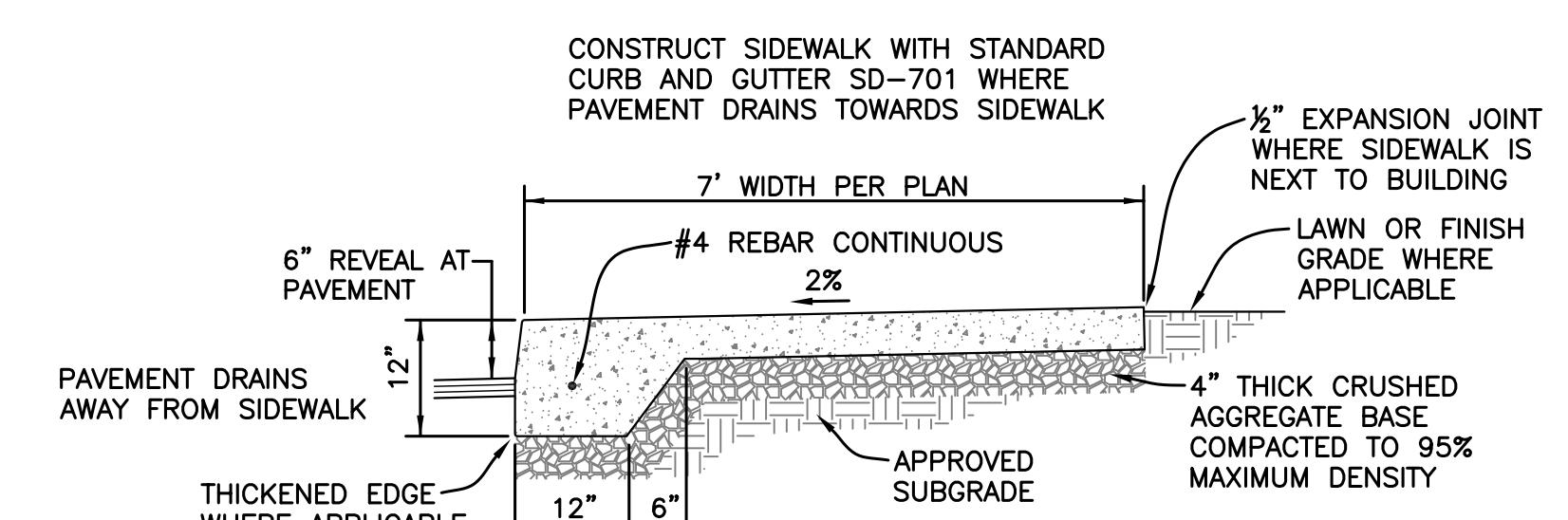
PAVER DIMENSIONS

NOTES:

1. AGGREGATE MATERIALS AND CONSTRUCTION SHALL CONFORM TO GARDEN CITY REQUIREMENTS, BOISE CITY STORMWATER MANAGEMENT DESIGN MANUAL AND THE CURRENT EDITION OF ISPWC.
2. PERMEABLE PAVERS AND AGGREGATE BASE SHALL BE CONSTRUCTED FOLLOWING SECTION 3.2.G OF THE BOISE CITY STORMWATER MANAGEMENT DESIGN MANUAL.
3. BOTTOM OF #2 STONE LAYER AT INFILTRATIVE SURFACE SHOULD BE CONSTRUCTED WITH LEVEL CROSS SLOPE, LONGITUDINAL SLOPE IS ALLOWED TO SLOPE 0.50% MAXIMUM TO FOLLOW THE PAVEMENT SURFACE PROFILE.
4. NATIVE SOIL AT INFILTRATIVE SURFACE SHALL BE APPROVED BY THE ENGINEER OR AN APPROVED TESTING AGENCY PRIOR TO PLACING IMPORTED AGGREGATE OR SAND. NOTIFY GARDEN CITY PUBLIC WORKS WHEN INSPECTION IS SCHEDULED.
5. EXCAVATION AND PLACEMENT OF ASTM C-33 SAND AT DRAINAGE WINDOW SHALL BE MADE DURING LOW GROUNDWATER CONDITIONS, IF ANY GROUNDWATER IS PRESENT THE EXCAVATION SHALL BE DE-WATERED PRIOR TO PLACING SAND.
6. BASE AGGREGATES SHALL BE COMPACTED TO MINIMUM 95% RELATIVE MAXIMUM DENSITY ASTM D-698 STANDARD PROCTOR.
7. THE PERMEABLE PAVER AREA AND THE BOTTOM OF INFILTRATIVE SURFACE SHALL BE CAREFULLY PROTECTED FROM SEDIMENT DURING CONSTRUCTION AND UNTIL BARE SOIL AREAS AT THE SITE ARE COVERED WITH PERMANENT VEGETATION OR PAVEMENT. ANY ACCUMULATED SEDIMENT, DUST, OR DEBRIS SHALL BE REMOVED IMMEDIATELY.
8. SIGNS SHALL BE POSTED NEAR THE PERMEABLE PAVERS INDICATING PERMEABLE PAVERS ARE IN USE AT THE PARKING LOT AND THAT PRECAUTIONS SHOULD BE TAKEN TO PREVENT SEDIMENT, DEBRIS, STORAGE OF SOIL MATERIALS AND CHEMICAL SPILLS ONTO THE PERMEABLE PAVER AREAS.

PERMEABLE PAVER DETAIL

N.T.S.

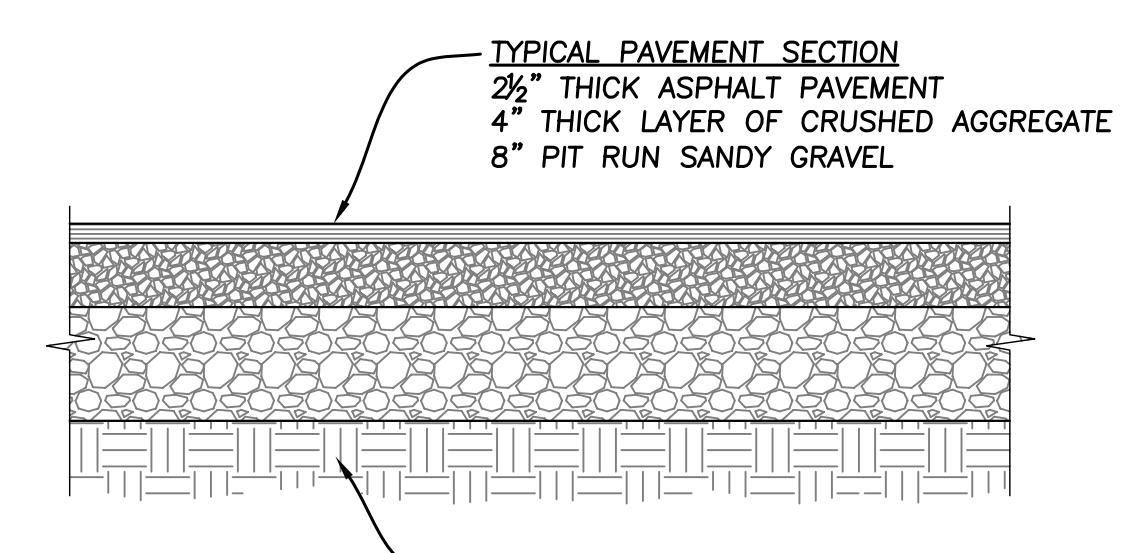


NOTES:

2. SIDEWALK PER ISPWC SD-709.
3. 4" THICK CONCRETE.
4. PROVIDE SIDEWALK SCORED CONTROL JOINTS AT MAXIMUM 5' SPACING.
5. PROVIDE 1/2" EXPANSION JOINT FILLER WHERE SIDEWALK IS CONSTRUCTED NEXT TO BUILDING FOUNDATION OR AT PERPENDICULAR SIDEWALK.

SIDEWALK WITH THICKENED EDGE DETAIL

N.T.S.



NOTES:

1. NATIVE SUBGRADE SOIL SHALL BE STRIPPED OF VEGETATION AND PROOF ROLLED WITH HEAVY EQUIPMENT, ALLOWABLE DEFLECTION 3/4".
2. NATIVE SUBGRADE SOIL SHALL BE APPROVED BY THE ENGINEER OR APPROVED TESTING AGENCY PRIOR TO PLACEMENT OF IMPORTED SOIL FILL.
3. SOFT AREAS WITH MORE THAN 3/4" DEFLECTION SHALL HAVE THE TOP 12" COMPACTED TO 95% RELATIVE MAXIMUM DENSITY PER ASTM D-698.
4. SOFT AREAS OR UNSUITABLE SOIL UNABLE TO ACHIEVE COMPACTION SHALL BE OVEREXCAVATED AND BACKFILLED WITH COMPACTED GRANULAR MATERIAL.
5. IMPORTED FILL SOIL SHALL BE COMPACTED IN MAXIMUM 9" LIFTS TO 95% RELATIVE MAXIMUM DENSITY PER ASTM D-698 STANDARD PROCTOR.
6. ASPHALT PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC).
7. ALTERNATE PAVEMENT SECTION 2 1/2" ASPHALT PAVEMENT, 11" THICK CRUSHED AGGREGATE, NO PIT RUN.

TYPICAL ASPHALT PAVEMENT SECTION

N.T.S.

PRELIMINARY
DRAWING
NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER
REGISTERED
STATE OF IDAHO
CARL A. GEIGER
8036

SITE DETAILS

C4.0
04/25/24



PRELIMINARY
NOT FOR CONSTRUCTION

DESIGN REVIEW
APPLICATION

SITE INFORMATION - LOT "A"

PERCENTAGE OF SITE DEVOTED TO BUILDING:	15.32%	3,600 SF
PERCENTAGE OF SITE DEVOTED TO ON-SITE LANDSCAPING:	17.75%	4,170 SF
PERCENTAGE OF SITE DEVOTED TO CONCRETE & ASPHALT PAVING:	57.95%	13,614 SF
PERCENTAGE OF SITE DEVOTED TO SIDEWALKS & CONCRETE PADS:	8.98%	2,106 SF
TOTAL SITE AREA:		100.0% 23,490 SF

PARKING CALCULATION

MEDICAL OFFICE BUILDING FLOOR AREA:	3,600 SF
3,600 SF / 500 SF PER SPACE = 7.2 (8 SPACES)	
PARKING PROVIDED:	23 SPACES

Site Plan

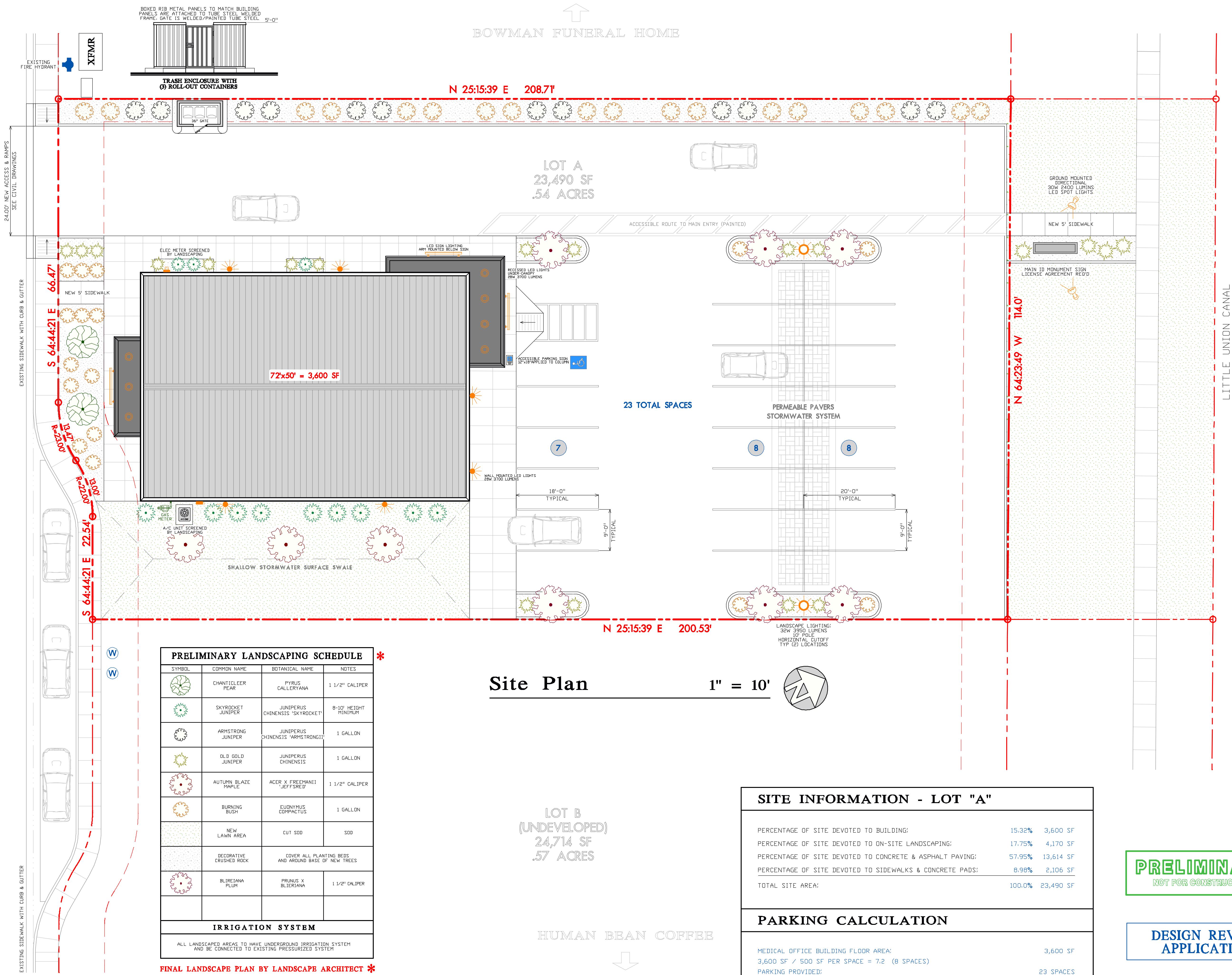
1" = 10'

LOT B
(UNDEVELOPED)
24,714 SF
.57 ACRES

HUMAN BEAN COFFEE

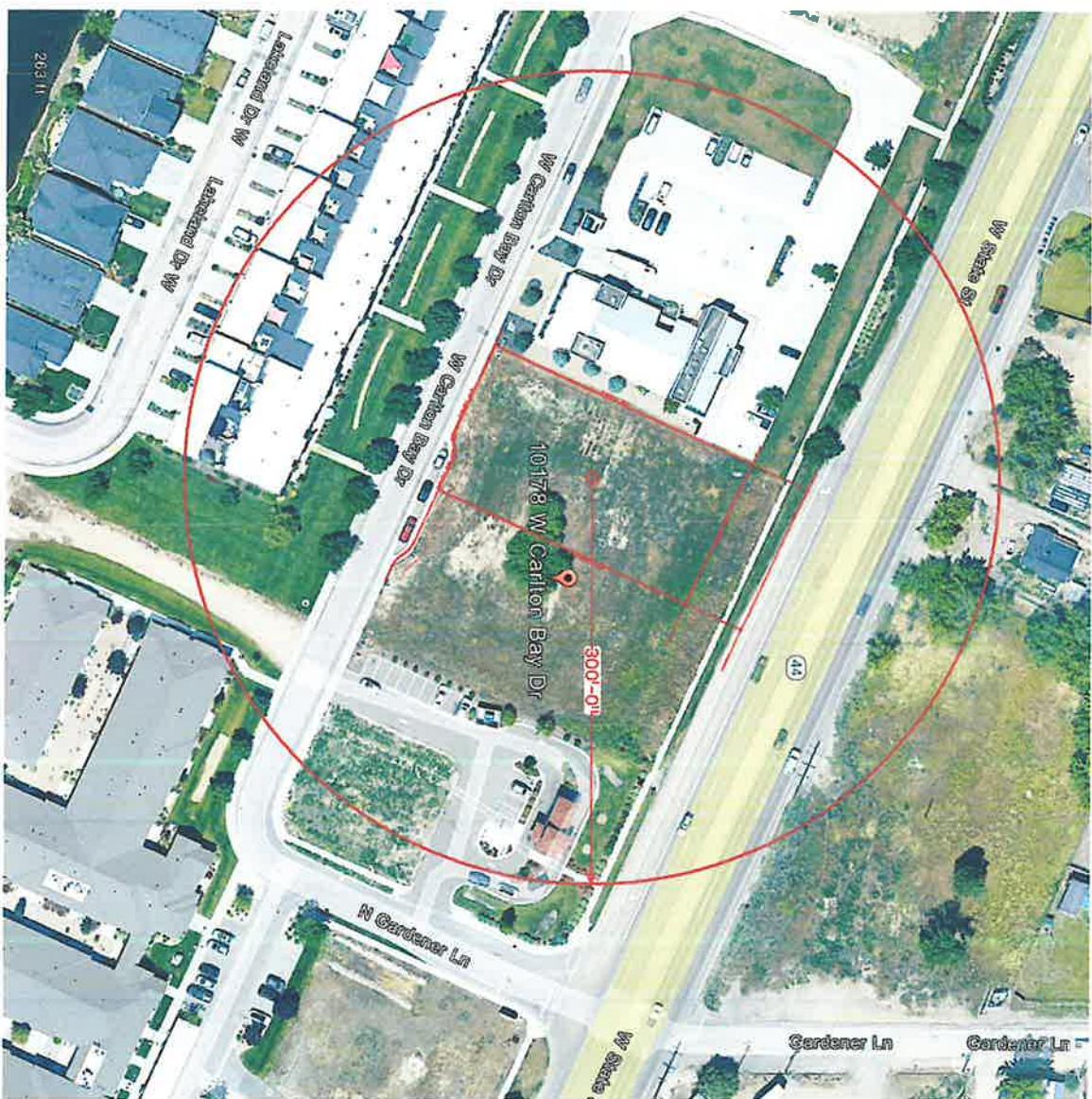


PRELIMINARY LANDSCAPING SCHEDULE			
SYMBOL	COMMON NAME	BOTANICAL NAME	NOTES
	CHANTICLEER PEAR	PYRUS CALLERYANA	1 1/2" CALIPER
	SKYROCKET JUNIPER	JUNIPERUS CHINENSIS "SKYROCKET"	8-10' HEIGHT MINIMUM
	ARMSTRONG JUNIPER	JUNIPERUS CHINENSIS "ARMSTRONGI"	1 GALLON
	OLD GOLD JUNIPER	JUNIPERUS CHINENSIS	1 GALLON
	AUTUMN BLAZE MAPLE	ACER X FREEMANII "JEFFREYI"	1 1/2" CALIPER
	BURNING BUSH	EUONYMUS COMPACTUS	1 GALLON
	NEW LAWN AREA	CUT SOD	SOD
	DECORATIVE CRUSHED ROCK	COVER ALL PLANTING BEDS AND AROUND BASE OF NEW TREES	
	BILBERRY PLUM	PRUNUS X BILBERRY	1 1/2" CALIPER
IRRIGATION SYSTEM			
ALL LANDSCAPED AREAS TO HAVE UNDERGROUND IRRIGATION SYSTEM AND BE CONNECTED TO EXISTING PRESSURIZED SYSTEM			
FINAL LANDSCAPE PLAN BY LANDSCAPE ARCHITECT *			



NEIGHBORHOOD MAP

0 50 100 200 300



MAP

DATE
APR 22, 2024

SECT:



BASERRI, LLC

Greg T. Borchert
President
Professional Land Surveyor
IDB#1914375

04/22/2024
04/22/2024



Foothills
Functional
Medicine

DALE BINNING
ARCHITECT

208-363-0209
3635 NORTH VERDANT PLACE • STAR, IDAHO • 83669