



DESIGN REVIEW

Permit info: DSRFY2024-0011

Application Date: 5/14/2024 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Chad Weltzin	Name: Mike Talbott
Company: erstad Architects	Company: Parlay Investments LLC
Address: 310 N 5th Street	Address: 750 W Bannock Street, #1743
City: Boise	City: Boise
State: ID Zip: 83702	State: ID Zip: 83702
Tel.: 208.331.9031	Tel.: 702.430.7022
E-mail: cweltzin@erstadarchitects.com	E-mail: mike@vidaprop.com

PROPERTY AND DESIGN INFORMATION

This application is a request to: ☒ Construct New ☐ Addition ☐ Subdivision

Site Address: 508 E 40th Street, Garden City, ID		
Subdivision Name: Fairview Acres Sub No 7	Lot: 17/18	Block: 2
Tax Parcel Number: R2734560160	Zoning: C-2/DA	Total Acres: 0.640
Proposed Use: Parking	Floodplain: Yes	No

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

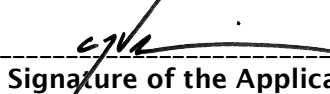
Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

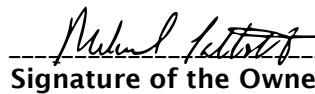
pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 05.14.2024
Signature of the Applicant (date)

 05.14.2024
Signature of the Owner (date)

APPLICATION INFORMATION REQUIRED

Note:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent | <input checked="" type="checkbox"/> Affidavit of Legal Interest |
| <input checked="" type="checkbox"/> Neighborhood Map | <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input checked="" type="checkbox"/> Site Plan | |
| <input checked="" type="checkbox"/> Landscape Plan | |
| <input type="checkbox"/> Schematic Drawing <i>no building - see site plan for layout</i> | |
| <input checked="" type="checkbox"/> Lighting Plan | |
| <input type="checkbox"/> Topographic Survey <i>waiver requested</i> | |
| <input checked="" type="checkbox"/> Grading Plan | |
| <input checked="" type="checkbox"/> Will Serve Letter <i>**If required, must submit a Fire Flow Request</i> | |
| <input checked="" type="checkbox"/> Ada County Approved Addresses | |
| <input checked="" type="checkbox"/> Waiver Request of Application Materials | |



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☒ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☒ Purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☒ 8 ½" x 11" size minimum
- ☒ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- ☒ Scale not less than 1" = 20', legend, and north arrow.
- ☒ Property boundary, dimensions, setbacks and parcel size.
- ☒ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- N/A ☐ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☒ Adjacent public and private street right of way lines
- N/A ☐ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- N/A ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☒ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☒ Driveways, access to public streets, parking with stalls, loading areas.
- ☒ Sidewalks, bike and pedestrian paths.
- ☒ Berms, walls, screens, hedges and fencing.
- ☒ Location and width of easements, canals, ditches, drainage areas.
- N/A ☐ Location, dimensions and type of signs.
- N/A ☐ Trash storage and mechanical equipment and screening.
- ☒ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☒ Log depicting square footage of impervious surface, building and landscaping
- ☒ Location and height of fences and exterior walls
- N/A ☐ Location and dimensions of outdoor storage areas
- N/A ☐ Location of utilities and outdoor serviced equipment and areas
- ☒ Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- ☒ Scale the same as the site plan.
- ☐ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☐ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☒ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- N/A ☐ Cross section through any special features, berms, and retaining walls.
- ☒ A plant list of the variety, size, and quantity of all proposed vegetation
- ☐ Log of square footage of landscaping materials corresponding to location [see site plan](#)
- ☐ Locations and dimensions of open space and proposed storm water systems [see site plan](#)

N/A INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- ☐ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☐ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☐ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☐ Overall dimensions of all proposed structures
- ☐ Specifications on exterior surface materials and color
- ☐ Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- ☒ 11" x 17" size minimum
- ☒ Location, type, height, lumen output, and luminance levels of all exterior lighting
- ☒ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- N/A ☐ Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- ☒ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- N/A ☐ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- ☒ 11" x 17" size minimum
- ☒ Scale not less than one inch equals twenty feet (1" = 20')
- ☒ Two foot (2') contours for the entire proposal site
- ☒ One foot (1') contours for details, including all planimetric features
- ☒ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☒ Existing easement and utility locations
- ☒ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- ☒ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ☒ Proposed storm water systems

N/A **INFORMATION REQUIRED MASTER SIGN PLAN:**

***Required for developments of two or more buildings:**

N/A ☐ Location, elevations, and materials of proposed signage

N/A **INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

***Required if irrigation canal/irrigation ditch runs through property or along property lines:**

N/A ☐ Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☒ Statement must include a list of the application materials to be waived and an explanation for the request.



6015 Glenwood Street • Garden City, Idaho 83714
Phone 208 - 472-2921 • Fax 208 - 472-2926 •
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS
County of Ada)

I, Michael S Talbott, Parlay Investments LLC, 750 W Bannock Street, #1743
Name Address of Owner
(must be primary owner as noted in Ada County Assessor's records.
If the primary owner is a business write the business name)
Boise ID, 83702
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to erstad Architects,
Name of Applicant
to submit the accompanying application pertaining to 508 east 40th street,
Garden City Idaho, 83714 property. Address of Property Subject to this Affidavit
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 8th day of September, 2023

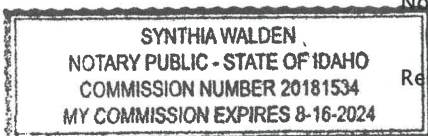
Michael S Talbott
Signature Printed Name
(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written.

Synthia Walden
Notary Public for Idaho

Residing at: 310 N 6th St, Boise ID 83702

My Commission expires 03/16/2024





508 E 40th Street

COMPLIANCE STATEMENT & STATEMENT OF INTENT

2024-05-14

We are pleased to submit this Design Review Application for a public parking area at 508 E 40th Street. With the growth of the area and the pull of the Greenbelt just north of the site we feel that providing a public parking lot will help to not only increase access but also to minimize the quantity of visitors parking along residential streets.

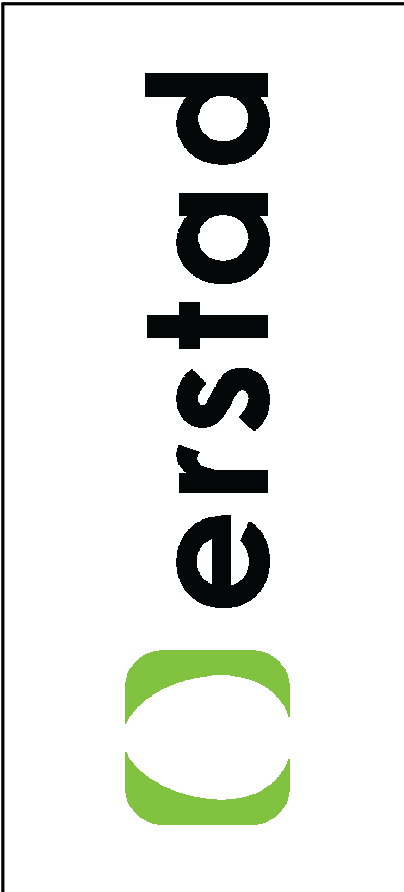
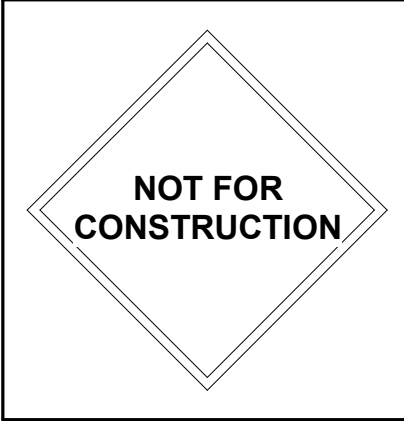
The parking lot is designed to encourage pedestrian traffic through the dedicated walkway at the east side of the Boardwalk building, which links to the greenbelt and the retail/restaurant area at the north side of the building. The lot can accommodate 65 visitors, including 3 accessible parking stalls. Lighting is dispersed throughout the lot to maintain safety and increased low-level bollard and recessed wall lights at the west side of the lot provide wayfinding directing users to the stairs and accessible ramp toward the greenbelt and neighboring retail, rather than back out onto the street.

The area adjacent Veterans Memorial Parkway, between 40th and 44th streets, is identified as a Neighborhood/Destination Activity Node in the Comprehensive plan map. Within this area there are few dedicated public parking lots which are not directly associated with a business or apartment use.

Existing fencing at the north and south sides of the parcel will remain. A 10' landscape buffer will be provided between the southmost parking stalls and the fence line of the adjacent R-2 zoned residential use. A similar 10' landscape buffer is provided at the front of the site to soften the lots' appearance onto the street.

508 E 40th Street

Garden City, Idaho, 83714



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508 E 40th Street
Garden City, Idaho, 83714

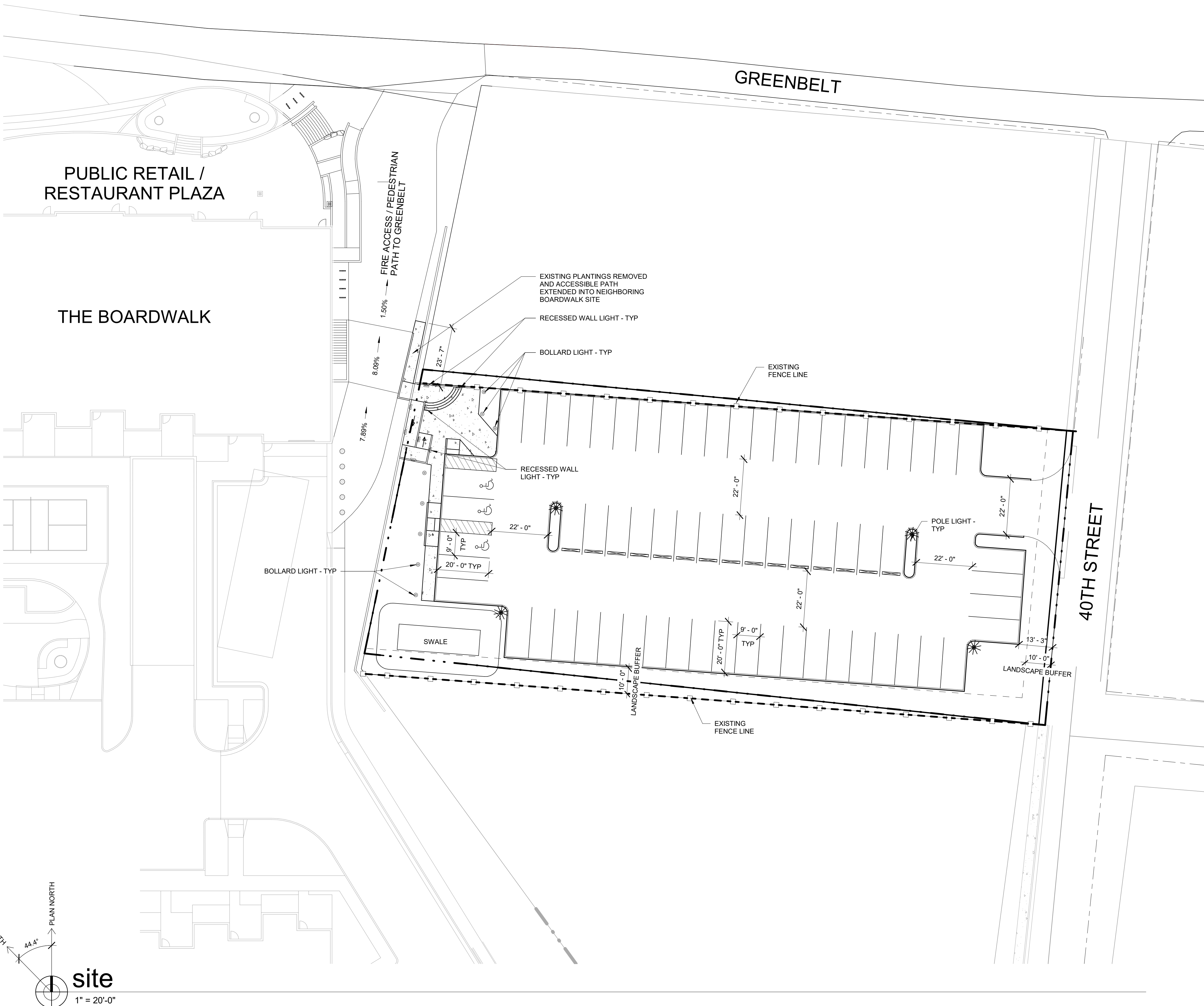
revision:		
no.	desc.	date

project: 230309
date: 05.14.2024

CUP / DR

**cover sheet
+ site plan**

A0.0



SITE DATA

use:	parking		
site zoning:	C-2 (General Commercial)		
site size:	0.68 acre site		
description:	surface parking area for use in conjunction with adjacent retail + greenbelt functions		
land use:	impervious area:	23,429 sf	78.8%
	landscape area:	6,310 sf	21.2%
parking:	65 total parking spaces		
	3 ada spaces		
	62 standard spaces		

LIGHTING SYMBOL LEGEND
*FIXTURE COLORS TO BE DETERMINED

RECESSED WALL LIGHT
BEGA STEP AND WALL LIGHT
WL-LED100F
5.9W, 342L
24" MOUNTING HEIGHT

INTERNAL POLE LIGHT
LITHONIA AREA LUMINAIRE
RSX2 LED
147W LED, 21.737L
10' POST HEIGHT

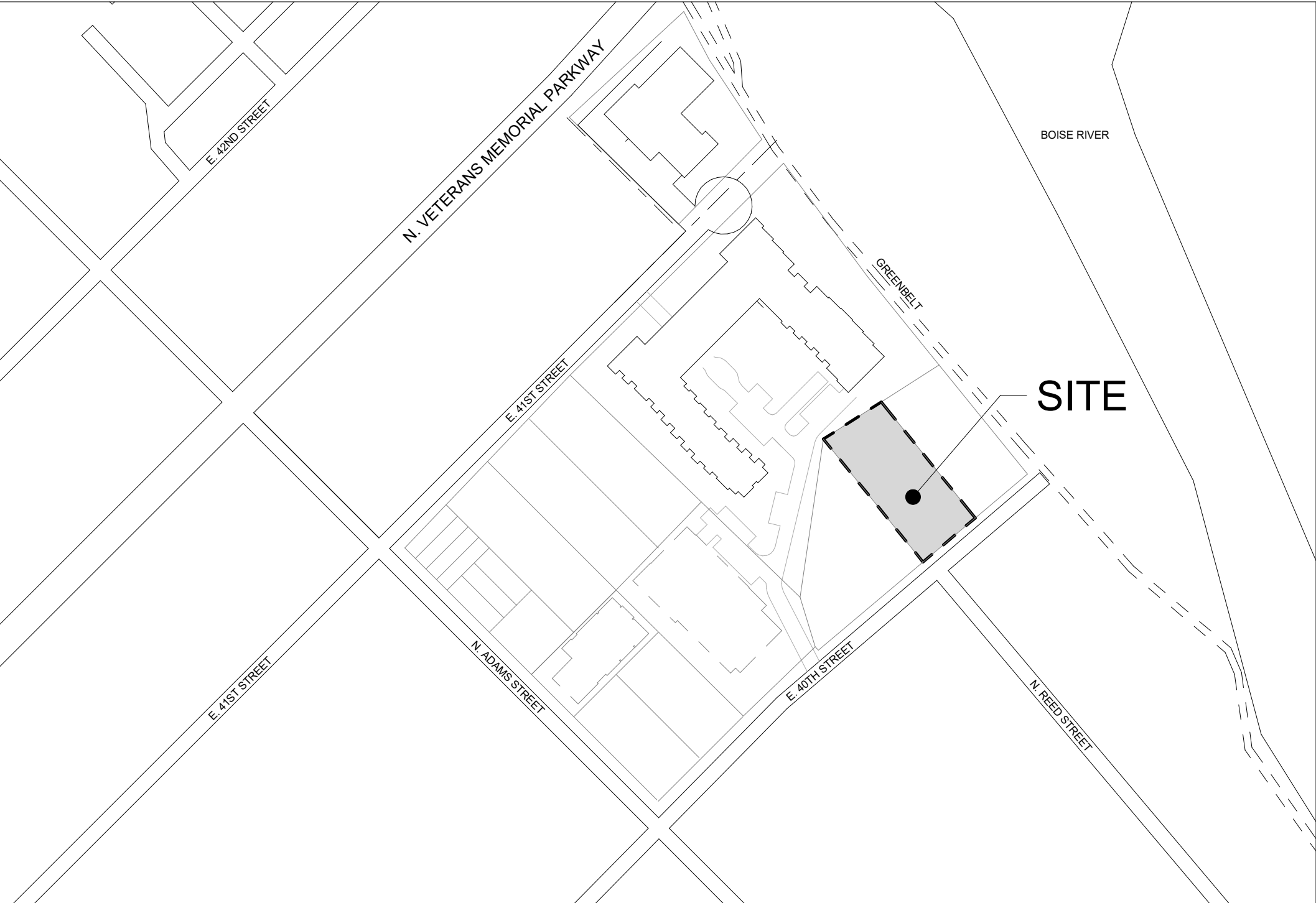
BOLLARD LIGHT
RADEAN BOLLARD
RADB LED P4 35K SYM MVOLT BTS BCC
18W, 1568L
36" BOLLARD HEIGHT

LIGHTING GENERAL NOTES

- ALL SITE LIGHTING TO BE DIRECTED INTERNALLY. NO LIGHT TO EXTEND ACROSS SHARED PROPERTY LINES

VICINITY MAP

NOT TO SCALE

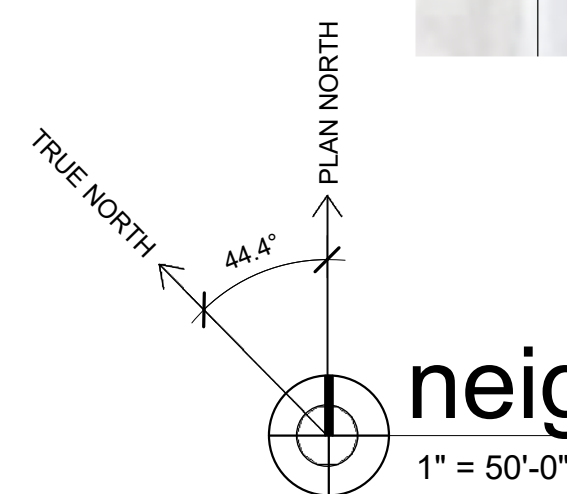


PROJECT TEAM

DEVELOPER Vida Properties 750 W Bannock St Suite 1743 Boise, ID 83702	ARCHITECT erstad ARCHITECTS Chad Weltzin 310 N. 5th Street Boise, ID 83702 208-331-9031	CIVIL Civil Site Works LLC Corinne Graham PO Box 6059 Boise, ID 83707 208-946-3874	LANDSCAPE Stack Rock Group Will Howard 404 S. 8th Street, #154 Boise, ID 83702 208-345-0500
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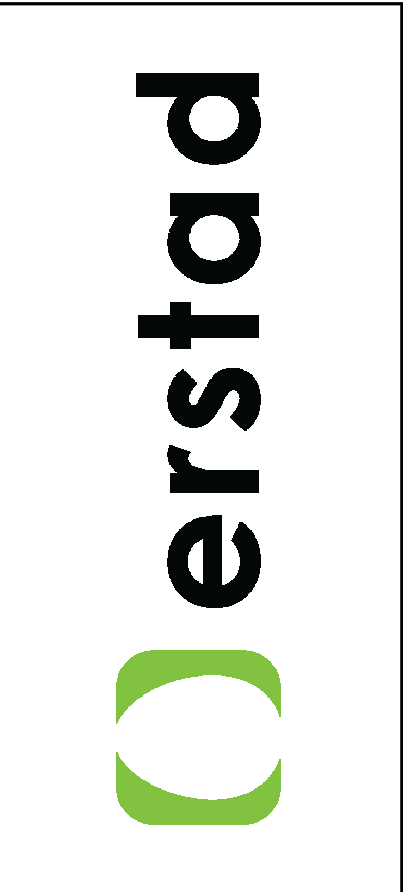
SHEET LIST

A0.0	cover sheet + site plan
A0.1	neighborhood map
sp1.0	civil site plan
grd1.0	grading + drainage plan
L100	landscape notes & details
L101	landscape plan



neighborhood map + parcel information

NOT FOR
CONSTRUCTION



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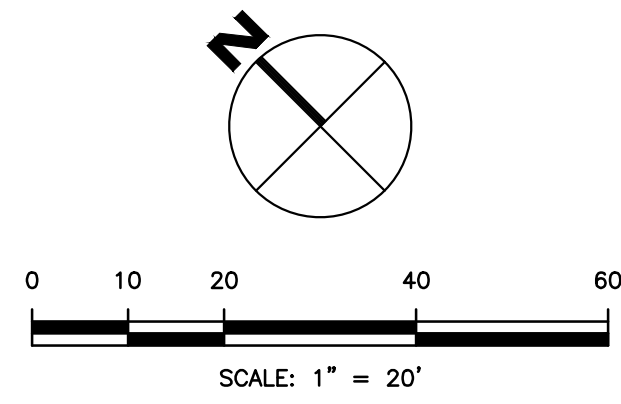
508 E 40th Street
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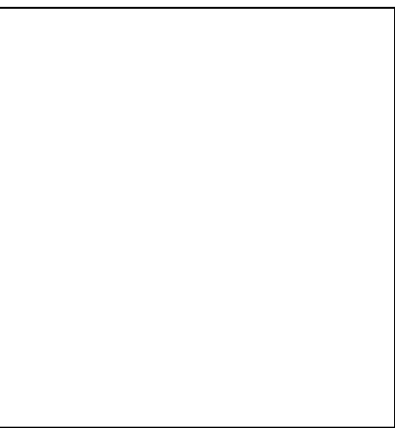
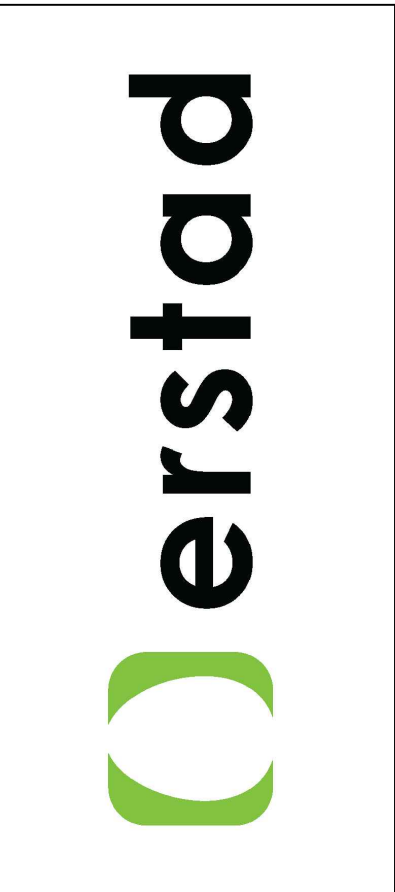
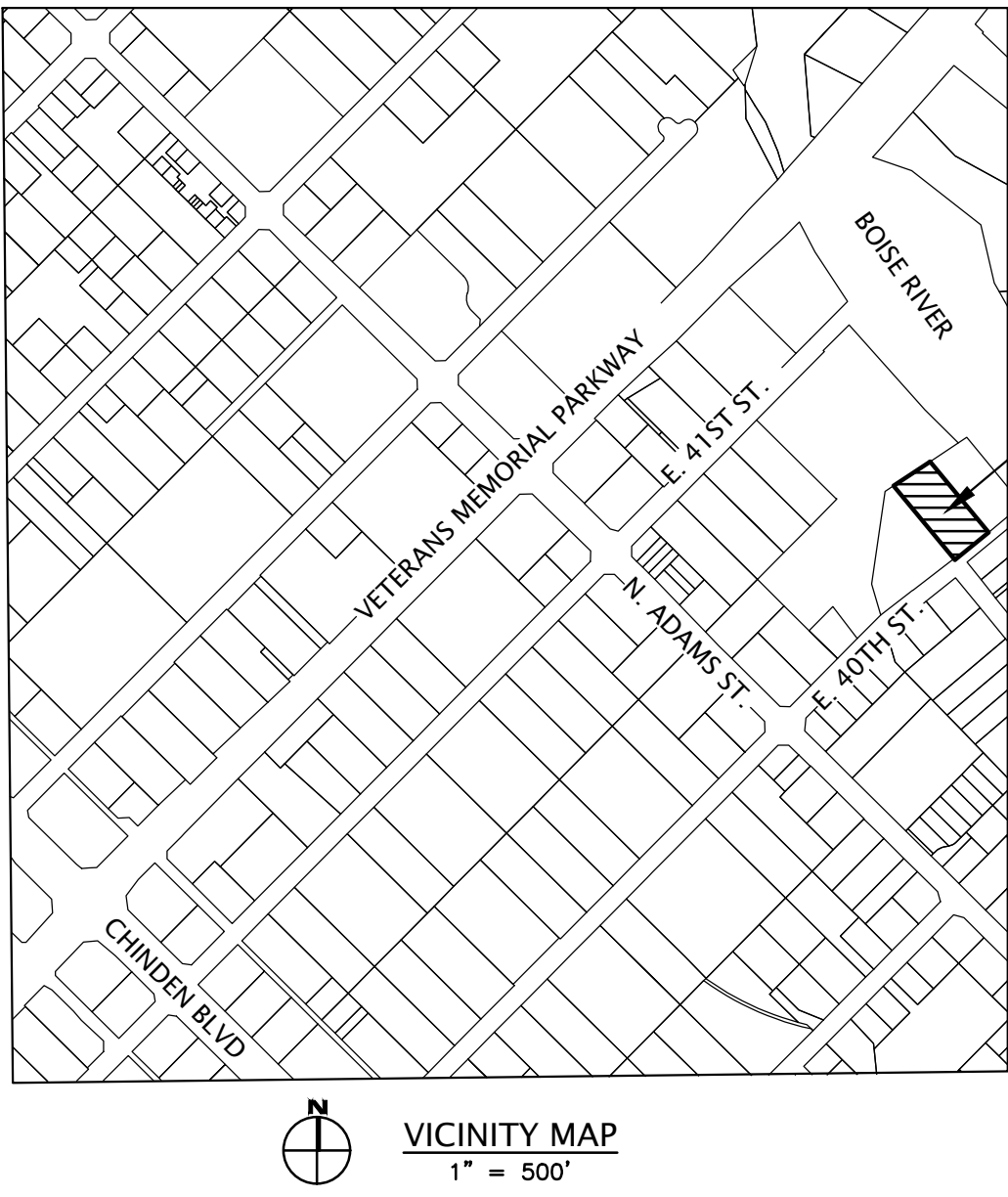
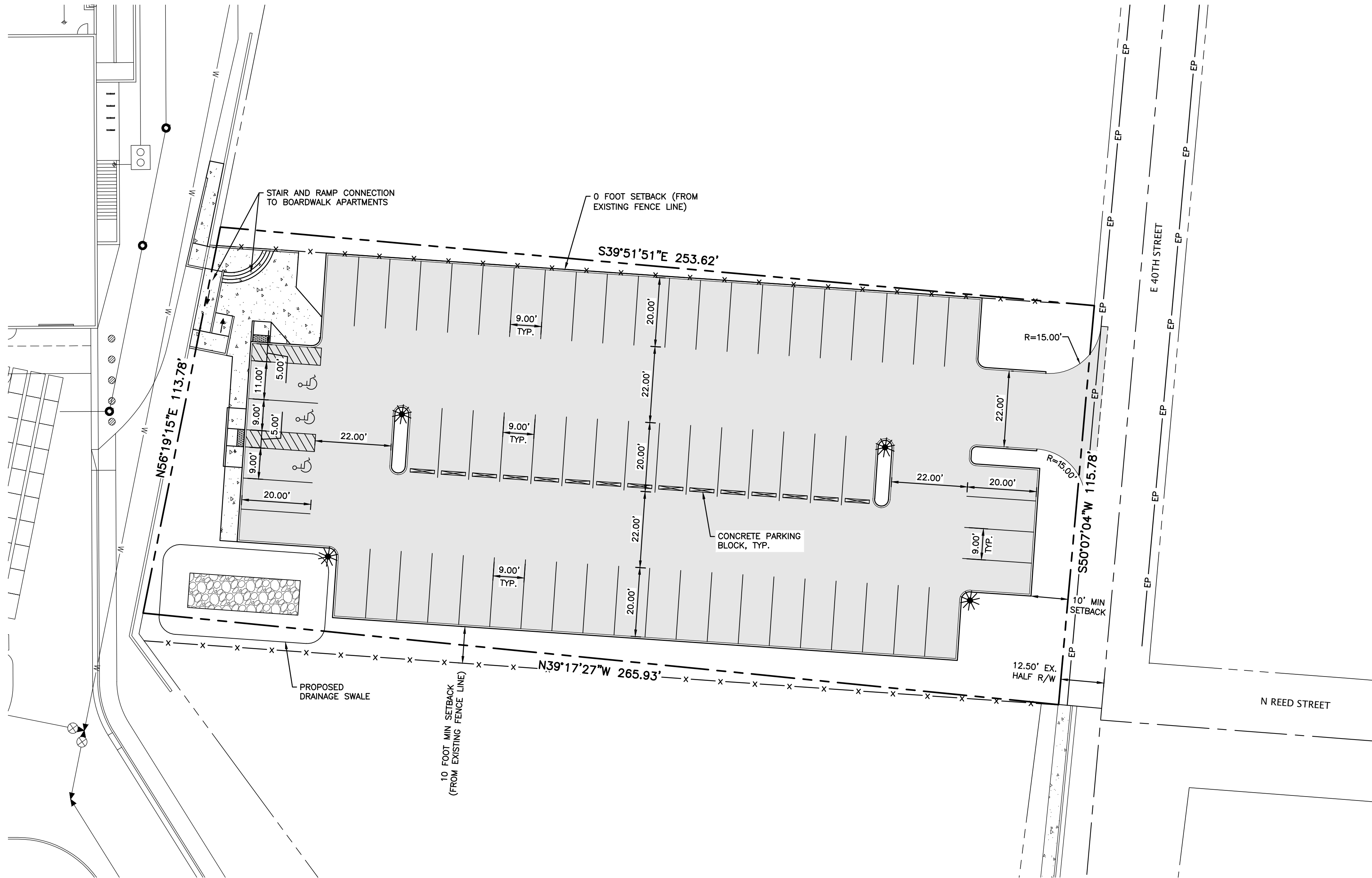
project: 230309
date: 05.14.2024

CUP / DR

neighborhood
map
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DESIGN REVIEW SITE PLAN FOR
WISEMAN TEMPORARY PARKING LOT
LOTS 17 AND 18 BLOCK 2 FAIRVIEW ACRES SUB NO. 7
TOWNSHIP 3 NORTH, RANGE 2 EAST, BOISE MERIDIAN
ADA COUNTY, IDAHO



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OWNER/APPLICANT
PARLAY INVESTMENTS LLC

ARCHITECT
CHAD WELTZIN
ERSTAD ARCHITECTS
310 N 5TH STREET
BOISE, ID 83702
(208) 331-9031

CIVIL ENGINEER
CORINNE GRAHAM, PE
CIVIL SITE WORKS LLC
PO BOX 6059
BOISE, ID 83707
(208) 946-3874

SITE DATA

SITE AREA = 29,739 SF (±0.68 ACRES)

LAND USE ZONE

EXISTING: C-2 (GENERAL COMMERCIAL)

IMPERVIOUS AREA	23,429 SF	78.8%
LANDSCAPE AREA	6,310 SF	21.2%

SETBACKS

	C-2 ZONE	PROPOSED
FRONT SETBACK	5 FEET	10 FEET
SIDE SETBACK	5 FEET	0/10 FEET
REAR SETBACK	5 FEET	10 FEET

PARKING ANALYSIS

STANDARD SPACES	62
ADA SPACES	3
TOTAL PARKING SPACES	65

508 E 40th Street
Garden City, Idaho, 83714

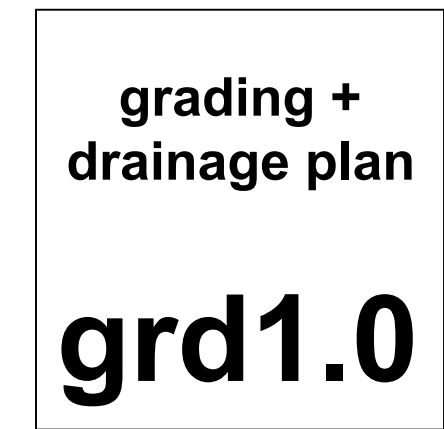
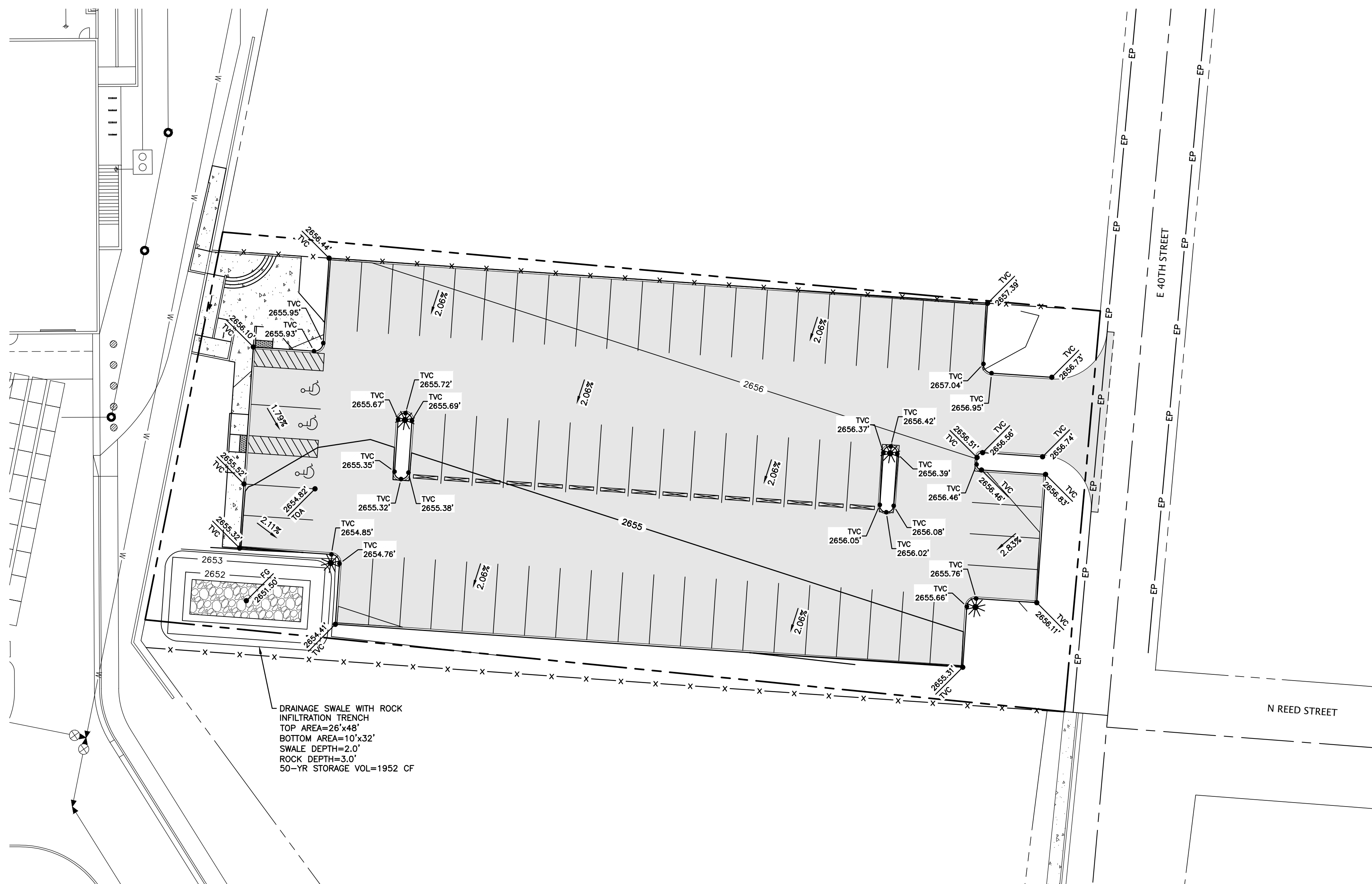
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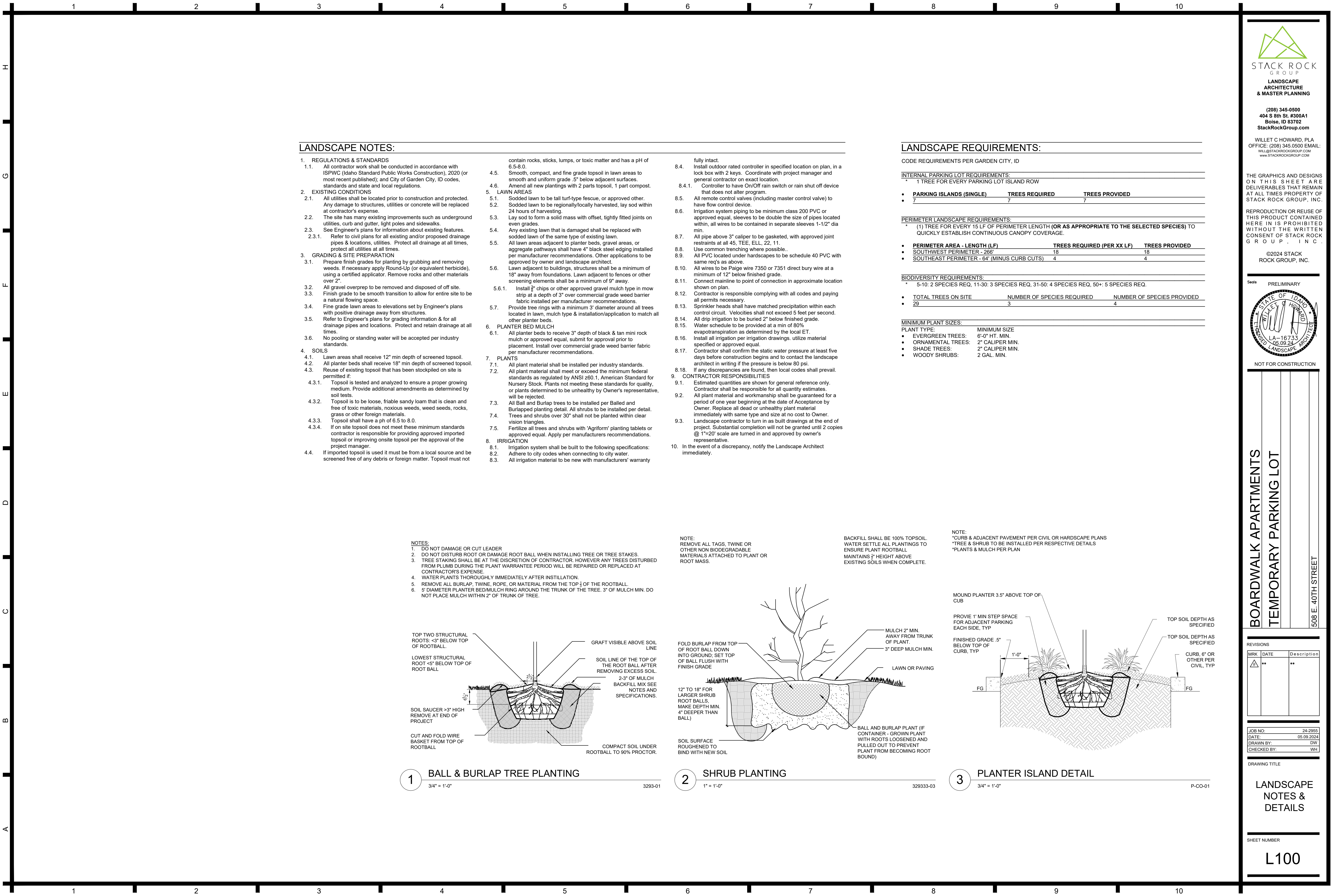
project: 230309
date: 05.10.2024









CUP / DR

dr / cup
site plan

sp1.0

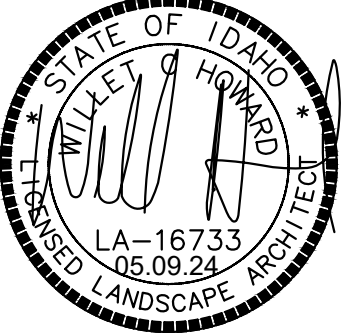
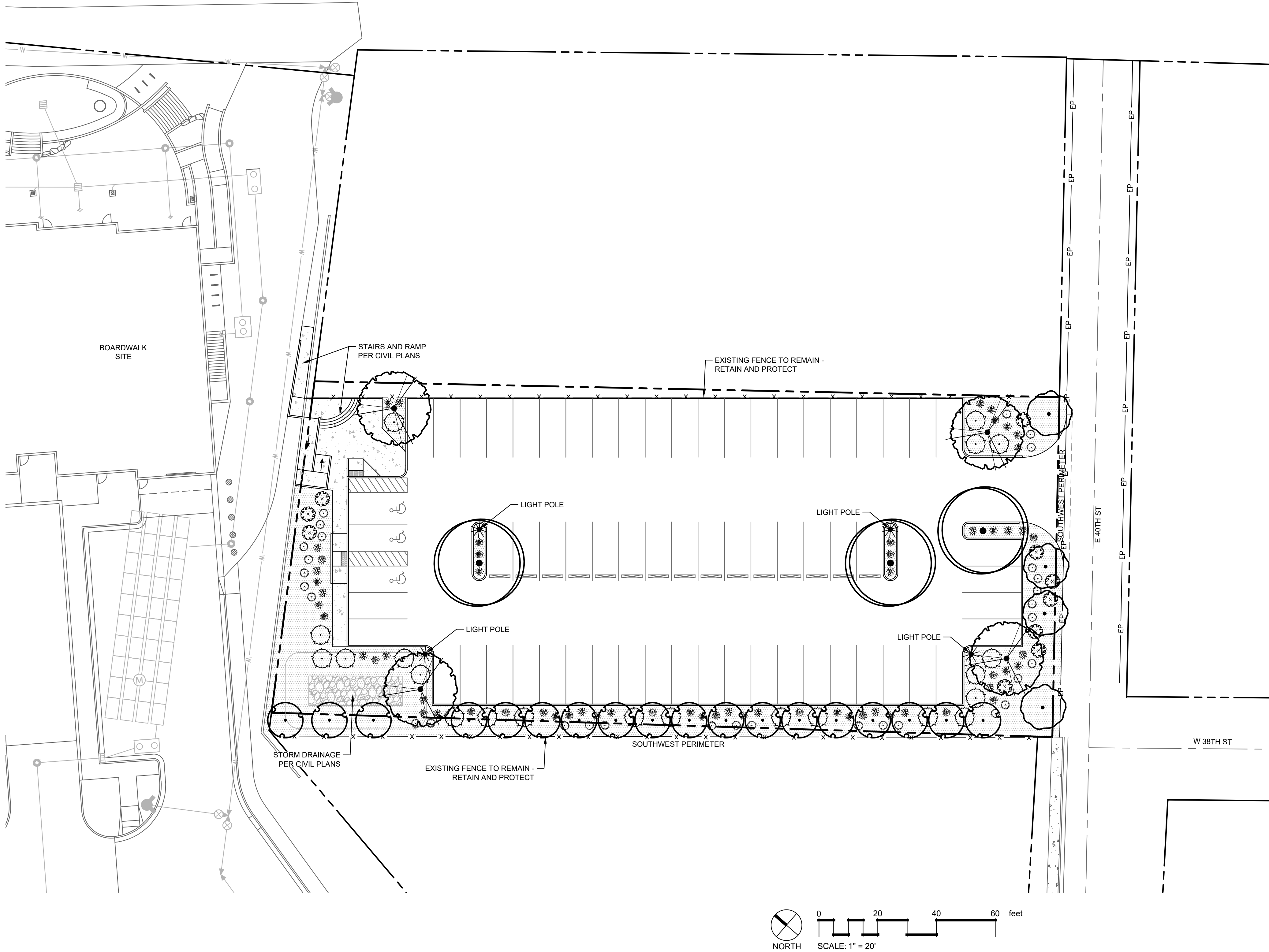




PLANT SCHEDULE				
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
TREES				
	Celtis occidentalis 'JFS-KSU1' TM / Prairie Sentinel Common Hackberry 45'h x 12'w, Class II	B&B	2"	18
	Celtis occidentalis 'Magnifica' / Magnifica Hackberry 50'h x 40'w, Class II	B&B	2"	3
	Tilia americana 'Boulevard' / Boulevard American Linden 50'h x 25'w, Class II	B & B	2"	4
	Tilia cordata 'Corzam' / Corinthian® Littleleaf Linden 45'H X 15'W	B&B	2"	4
SYMBOL	BOTANICAL / COMMON NAME	CONT	FIELD2	QTY
SHRUBS				
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper 6'h x 7' w	5 gal		21
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass 3'h x 3' w	2 gal		61
	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem 3'h x 3' w	2 gal		31
	Spiraea douglasii / Western Spirea 5'h x 5'w	5 gal		10

LANDSCAPE MATERIALS LEGEND:

 LANDSCAPE MULCH -
SEE NOTE 6/L100



BOARDWALK APARTMENTS
TEMPORARY PARKING LOT
508 E. 40TH STREET

REVISIONS		
MRK	DATE	Description
△	**	**

JOB NO: 24-2955
DATE: 05.09.2024
DRAWN BY: DW
CHECKED BY: WH

DRAWING TITLE

LANDSCAPE
PLAN

SHEET NUMBER

L101



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

April 30, 2024

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 508 E 40th St.

Fire hydrant serving this address: #2114

Fire flow Garden City is able to provide is 1500 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 1500 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714

Phone 208/472-2900 ■ Fax 208/472-2996

11 May 2024

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **508 East 40th Street**
Parcel Number R2734560160
Parking Lot Only
Water and Sanitary Sewer Ability to Serve
ATSFY2024-0013

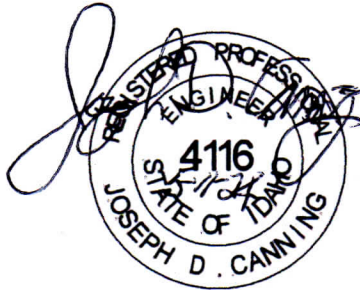
I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 1,500 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 30 April 2024 (fire hydrant #2114) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

No sanitary service is expected to be necessary to serve a parking lot. Any special uses on the site may require pretreatment of wastewater, if any, based upon review of use by Garden City Environmental.

Sincerely,



J. D. Canning, PE/PLS
Centurion Engineers, Inc.
Garden City Engineer

ec. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Chad Vaughn
Garden City Water Manager
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City



508 E 40th Street

WAIVER REQUEST

We request a waiver for the Topographic Survey requirement. The topographic survey has been started but is not ready at this time. A preliminary grading and drainage plan was created from known topography at the street and adjacent Boardwalk site and will be revised with the final survey information for Building Permit.

Thank you,

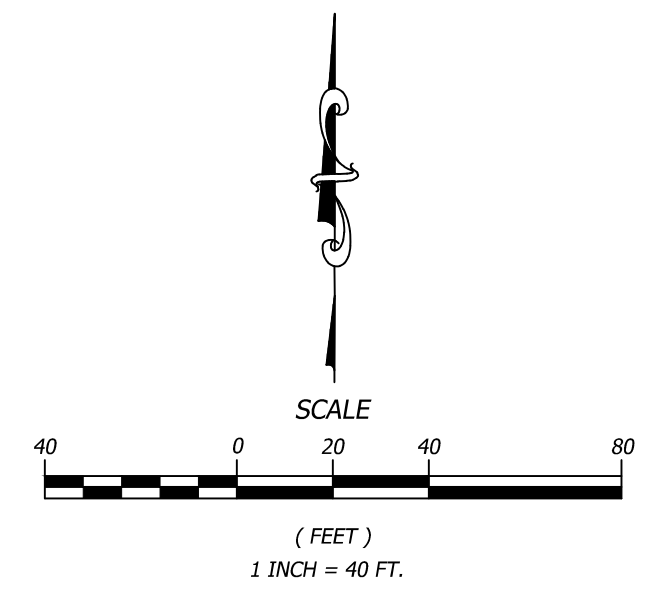
Courtney Matranga
erstad Architects

RECORD OF SURVEY
FOR JERRY WISEMAN
LOTS 17 & 18, BLOCK 2, FAIRVIEW ACRES SUBDIVISION NO. 7
LOCATED IN SECTION 5, T. 3 N., R. 2 E., B.M.
AND SECTION 32, T. 4 N., R. 2 E., B.M.
GARDEN CITY, ADA COUNTY, IDAHO, 2023

CERTIFICATE OF COUNTY RECORDER

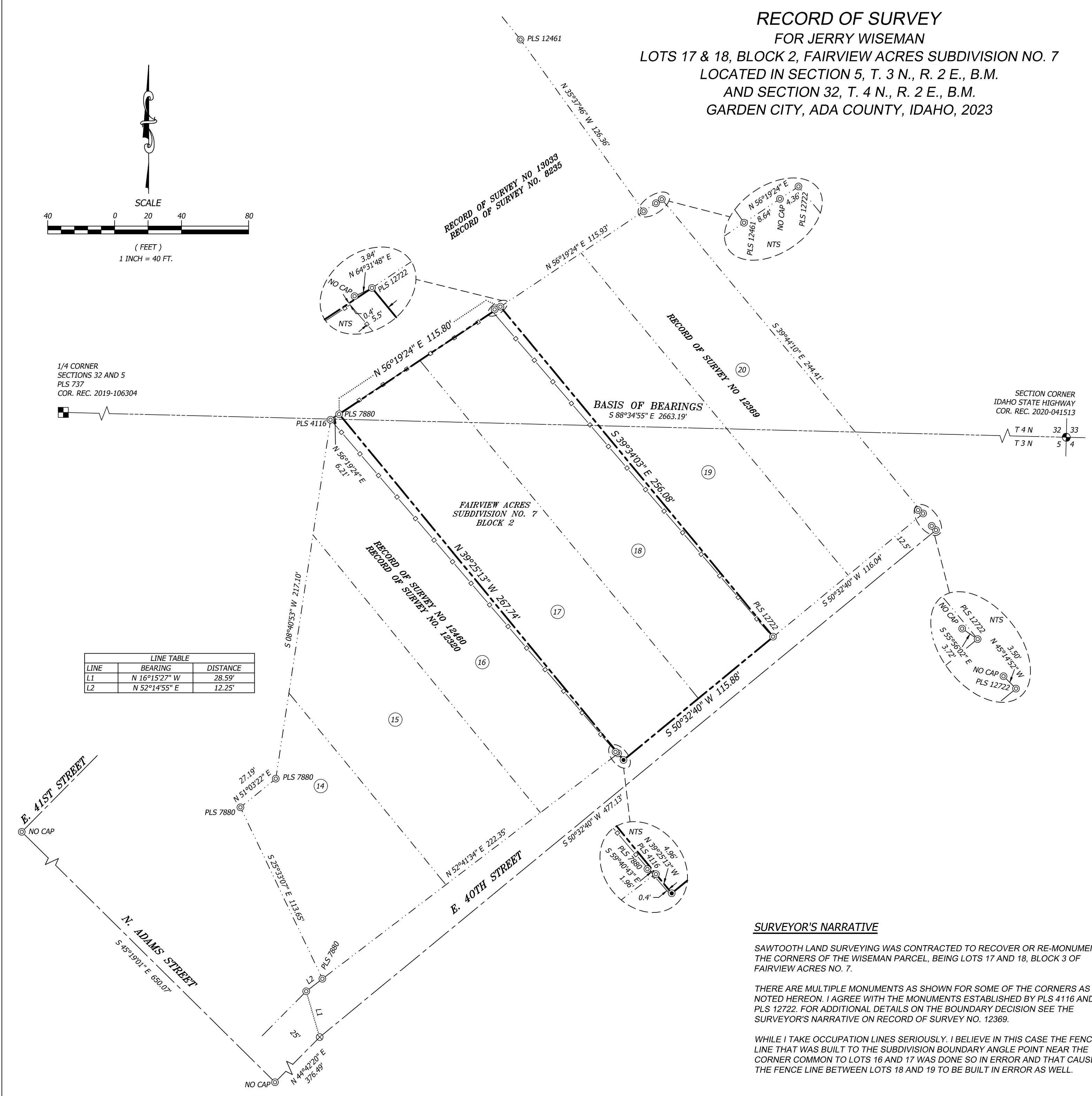
INSTRUMENT NO. _____
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS RECORDED AT THE REQUEST OF
SAWTOOTH LAND SURVEYING, AT _____ MINUTES PAST _____ O'CLOCK __M., THIS
DAY OF _____, IN THE YEAR _____.

DEPUTY _____ EX-OFFICIO RECORDER _____
FEE: \$ _____



1/4 CORNER
SECTIONS 32 AND 5
PLS 737
COR. REC. 2019-106304

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 16°15'27" W	28.59'
L2	N 52°14'55" E	12.25'



- LEGEND
- PROPERTY BOUNDARY LINE
 - OTHER DEED LINE
 - SECTIONAL LINE
 - EXISTING WOOD FENCE
 - CENTERLINE
 - FOUND BRASS CAP MONUMENT
 - FOUND ALUMINUM CAP MONUMENT
 - FOUND 1" IRON BAR
 - FOUND 5/8" REBAR AS NOTED
 - SET 5/8" REBAR/CAP PLS 11574
 - CALCULATED POINT

REFERENCES:

R1) FAIRVIEW ACRES SUBDIVISION NO. 3, BOOK 11, PAGE 617
R2) FAIRVIEW ACRES SUBDIVISION NO. 7, BOOK 12, PAGE 686
R3) RECORD OF SURVEY NO. 12369
R4) RECORD OF SURVEY NO. 12460
R5) RECORD OF SURVEY NO. 12320
R6) RECORD OF SURVEY NO. 8235
R7) RECORD OF SURVEY NO. 13033

CERTIFICATE OF SURVEYOR

I, JEFF BEAGLEY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR,
LICENSED BY THE STATE OF IDAHO, AND THAT THIS MAP WAS DRAWN FROM AND
ACTUAL SURVEY ON THE GROUND UNDER MY DIRECT SUPERVISION, AND ACCURATELY
REPRESENTS THE POINTS MAPPED HEREON, AND IS IN CONFORMITY WITH THE STATE
OF IDAHO CODE RELATING TO PLATS, SURVEYS, AND THE CORNER PERPETUATION AND
FILING ACT, IDAHO CODE.

JEFF BEAGLEY

PROFESSIONAL LAND SURVEYOR
LICENSED
11574
STATE OF IDAHO
JEFF BEAGLEY

P.L.S. 11574

SURVEYOR'S NARRATIVE

SAWTOOTH LAND SURVEYING WAS CONTRACTED TO RECOVER OR RE-MONUMENT
THE CORNERS OF THE WISEMAN PARCEL, BEING LOTS 17 AND 18, BLOCK 3 OF
FAIRVIEW ACRES NO. 7.

THERE ARE MULTIPLE MONUMENTS AS SHOWN FOR SOME OF THE CORNERS AS
NOTED HEREON. I AGREE WITH THE MONUMENTS ESTABLISHED BY PLS 4116 AND
PLS 12722. FOR ADDITIONAL DETAILS ON THE BOUNDARY DECISION SEE THE
SURVEYOR'S NARRATIVE ON RECORD OF SURVEY NO. 12369.

WHILE I TAKE OCCUPATION LINES SERIOUSLY, I BELIEVE IN THIS CASE THE FENCE
LINE THAT WAS BUILT TO THE SUBDIVISION BOUNDARY ANGLE POINT NEAR THE
CORNER COMMON TO LOTS 16 AND 17 WAS DONE SO IN ERROR AND THAT CAUSED
THE FENCE LINE BETWEEN LOTS 18 AND 19 TO BE BUILT IN ERROR AS WELL.

SURVEY INDEX NO. 321-5-0-0-12-686
SURVEY INDEX NO. 421-32-0-0-12-686

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EMMETT, ID 83617
(208) 398-8104
FAX (208) 398-8105

SAWTOOTH
Land Surveying, LLC
WWW.SAWTOOTHLS.COM

SHEET:	DATE:	DRAWN BY:	CHECKED BY:	JOB#:
1 OF 1	5/2023	JB	AR	123052

DWG#: 123052-ROS