



DESIGN REVIEW

Permit info: DSRFY2024-0011

Application Date: 5/14/2024 Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921

▪ www.gardencityidaho.org • building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Chad Weltzin	Name: Mike Talbott
Company: erstad Architects	Company: Parlay Investments LLC
Address: 310 N 5th Street	Address: 750 W Bannock Street, #1743
City: Boise	City: Boise
State: ID Zip: 83702	State: ID Zip: 83702
Tel.: 208.331.9031	Tel.: 702.430.7022
E-mail: cweltzin@erstadarchitects.com	E-mail: mike@vidaprop.com

PROPERTY AND DESIGN INFORMATION

This application is a request to: Construct New Addition Subdivision

Site Address: 508 E 40th Street, Garden City, ID

Subdivision Name: Fairview Acres Sub No 7	Lot: 17/18	Block: 2
Tax Parcel Number: R2734560160	Zoning: C-2/DA	Total Acres: 0.640
Proposed Use: Parking	Floodplain: Yes	No

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.



05.14.2024

Signature of the Applicant



05.14.2024

Signature of the Owner

APPLICATION INFORMATION REQUIRED

Note:

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent | <input checked="" type="checkbox"/> Affidavit of Legal Interest |
| <input checked="" type="checkbox"/> Neighborhood Map | <input type="checkbox"/> Sustainability Checklist *if applicable |
| <input checked="" type="checkbox"/> Site Plan | |
| <input checked="" type="checkbox"/> Landscape Plan | |
| <input type="checkbox"/> N/A Schematic Drawing no building - see site plan for layout | |
| <input checked="" type="checkbox"/> Lighting Plan | |
| <input type="checkbox"/> Topographic Survey waiver requested | |
| <input checked="" type="checkbox"/> Grading Plan | |
| <input checked="" type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input checked="" type="checkbox"/> Ada County Approved Addresses | |
| <input checked="" type="checkbox"/> Waiver Request of Application Materials | |



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 1/2" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- N/A Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- N/A Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- N/A For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- N/A Location, dimensions and type of signs.
- N/A Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- N/A Location and dimensions of outdoor storage areas
- N/A Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- Scale the same as the site plan.
 - Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
 - Size, location and species of existing vegetation labeled to remain or to be removed.
 - All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- N/A Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location see site plan
- Locations and dimensions of open space and proposed storm water systems see site plan

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filling
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- 11" x 17" size minimum
 - Location, type, height, lumen output, and luminance levels of all exterior lighting
 - Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- N/A Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- N/A If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

N/A INFORMATION REQUIRED MASTER SIGN PLAN:

**Required for developments of two or more buildings:*

- Location, elevations, and materials of proposed signage

N/A INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

**Required if irrigation canal/irrigation ditch runs through property or along property lines:*

- Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request.



6015 Glenwood Street • Garden City, Idaho 83714
Phone 208 - 472-2921 • Fax 208 - 472-2926 •
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS
County of Ada)

I, Michael S Talbott, Parlay Investments LLC, 750 W Bannock Street, #1743
Name Address of Owner
(must be primary owner as noted in Ada County Assessor's records.
If the primary owner is a business write the business name)

Boise, **ID, 83702**
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to erstad Architects,
Name of Applicant
to submit the accompanying application pertaining to 508 east 40th street,
Garden City Idaho, 837 14 property. Address of Property Subject to this Affidavit
 2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
 3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
 4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 8th day of September, 2023

Signature _____ Printed Name _____
(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written.

SYNTHIA WALDEN
NOTARY PUBLIC - STATE OF IDAHO
COMMISSION NUMBER 20181534
MY COMMISSION EXPIRES 8-16-2024

Notary Public for Idaho

Residing at:

My Commission expires

10/2023



508 E 40th Street

COMPLIANCE STATEMENT & STATEMENT OF INTENT

2024-05-14

We are pleased to submit this Design Review Application for a public parking area at 508 E 40th Street. With the growth of the area and the pull of the Greenbelt just north of the site we feel that providing a public parking lot will help to not only increase access but also to minimize the quantity of visitors parking along residential streets.

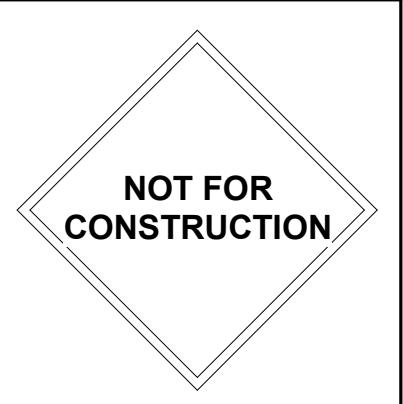
The parking lot is designed to encourage pedestrian traffic through the dedicated walkway at the east side of the Boardwalk building, which links to the greenbelt and the retail/restaurant area at the north side of the building. The lot can accommodate 65 visitors, including 3 accessible parking stalls. Lighting is dispersed throughout the lot to maintain safety and increased low-level bollard and recessed wall lights at the west side of the lot provide wayfinding directing users to the stairs and accessible ramp toward the greenbelt and neighboring retail, rather than back out onto the street.

The area adjacent Veterans Memorial Parkway, between 40th and 44th streets, is identified as a Neighborhood/Destination Activity Node in the Comprehensive plan map. Within this area there are few dedicated public parking lots which are not directly associated with a business or apartment use.

Existing fencing at the north and south sides of the parcel will remain. A 10' landscape buffer will be provided between the southmost parking stalls and the fence line of the adjacent R-2 zoned residential use. A similar 10' landscape buffer is provided at the front of the site to soften the lots' appearance onto the street.

508 E 40th Street

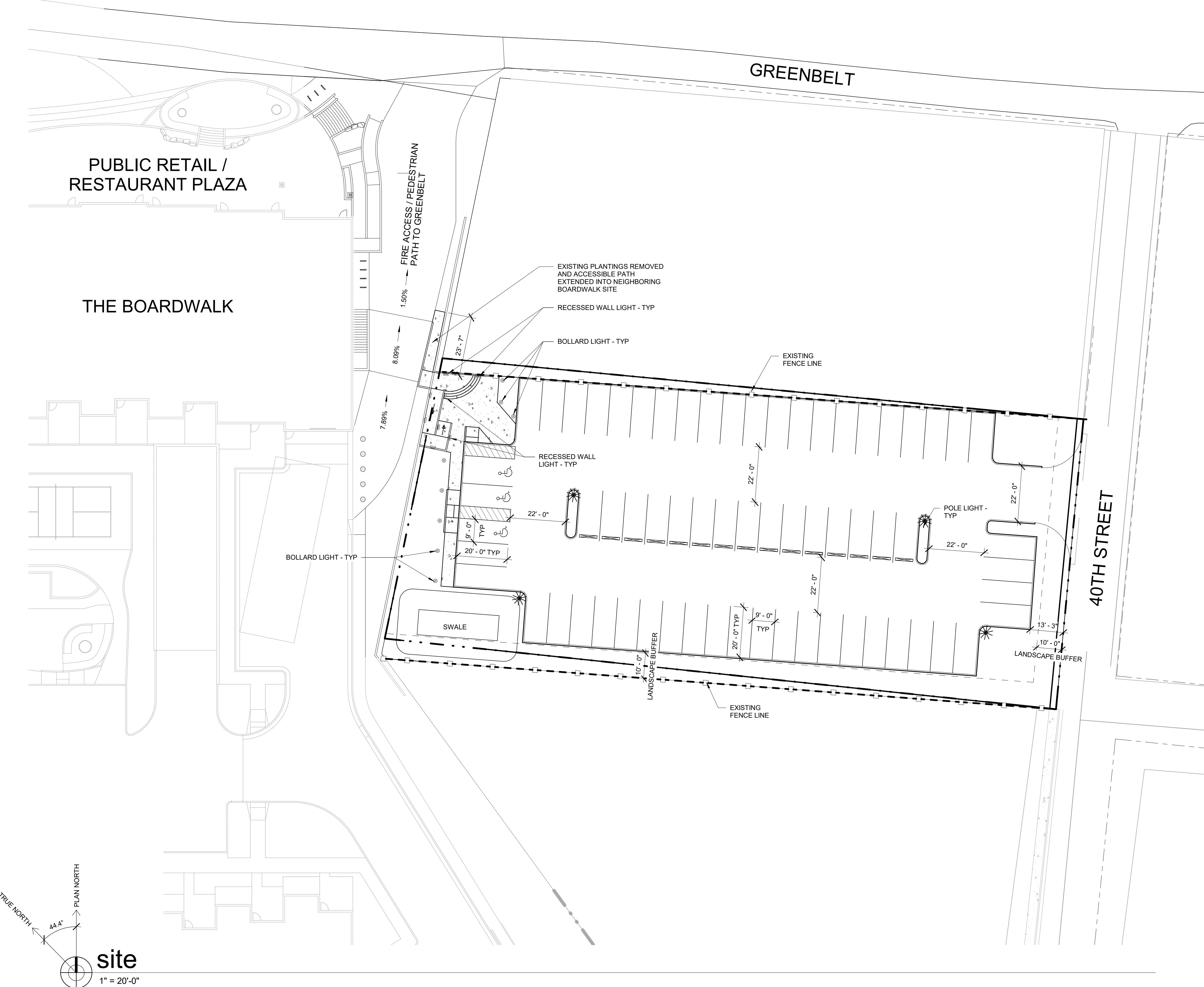
Garden City, Idaho, 83714



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508 E 40th Street
Garden City, Idaho, 83714



PROJECT TEAM

DEVELOPER
Vida Properties
750 W Bannock St
Suite 1743
Boise, ID 83702

ARCHITECT
erstad ARCHITECTS
Chad Weltzin
310 N. 5th Street
Boise, ID 83707
208-331-9031

CIVIL
Civil Site Works LLC
Corinne Graham
PO Box 6059
Boise, ID 83702
208-946-3874

LANDSCAPE
Stack Rock Group
Will Howard
404 S. 8th Street, #154
Boise, ID 83702
208-345-0500

SHEET LIST

A0.0
A0.1
sp1.0
grd1.0
L100
L101
cover sheet + site plan
neighborhood map
civil site plan
grading + drainage plan
landscape notes & details
landscape plan

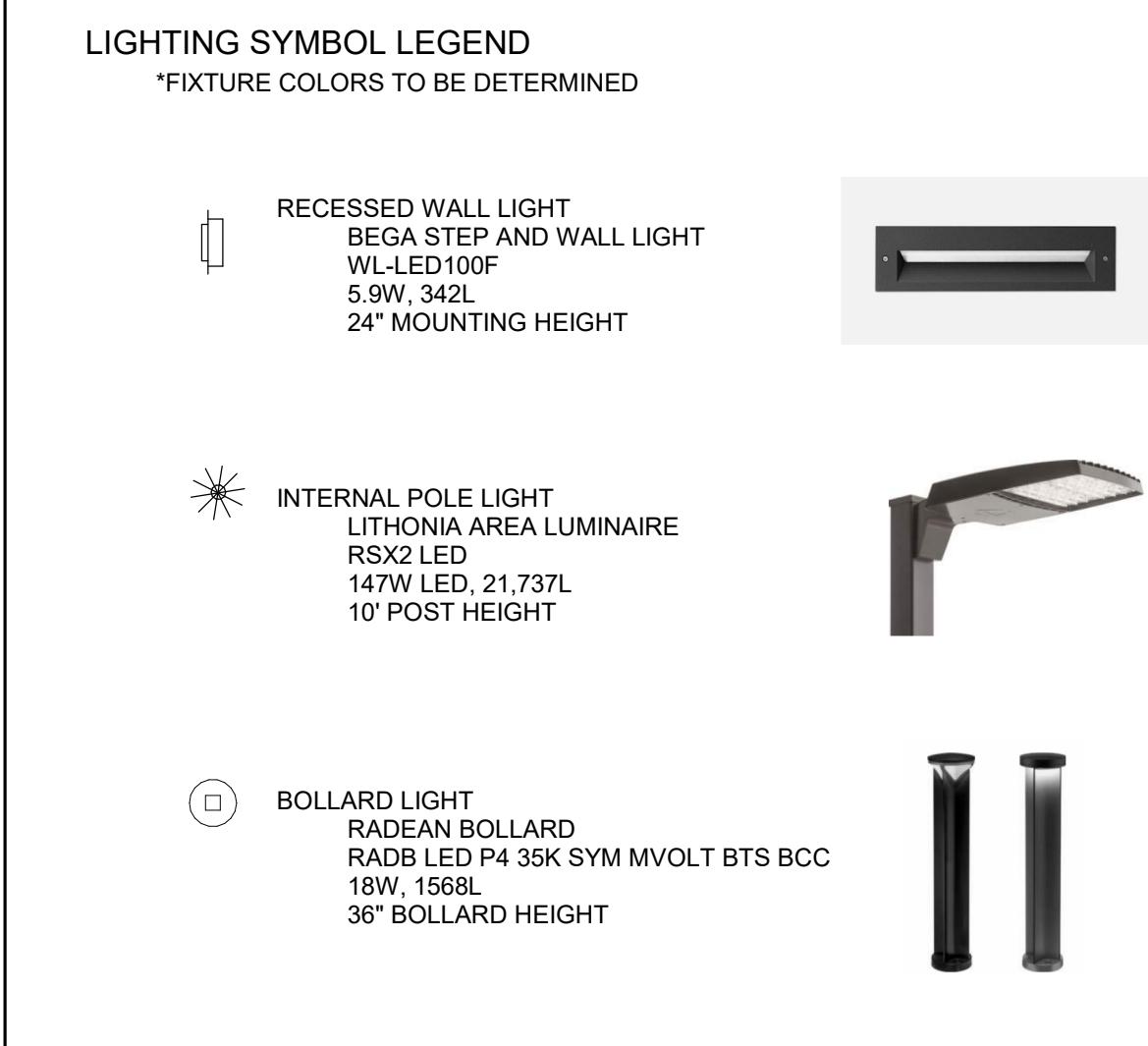
SITE DATA

use: parking
site zoning: C-2 (General Commercial)
site size: 0.68 acre site

description: surface parking area for use in conjunction with adjacent retail + greenbelt functions

land use: impervious area: 23,429 sf 78.8%
landscape area: 6,310 sf 21.2%

parking: 65 total parking spaces
3 ada spaces
62 standard spaces

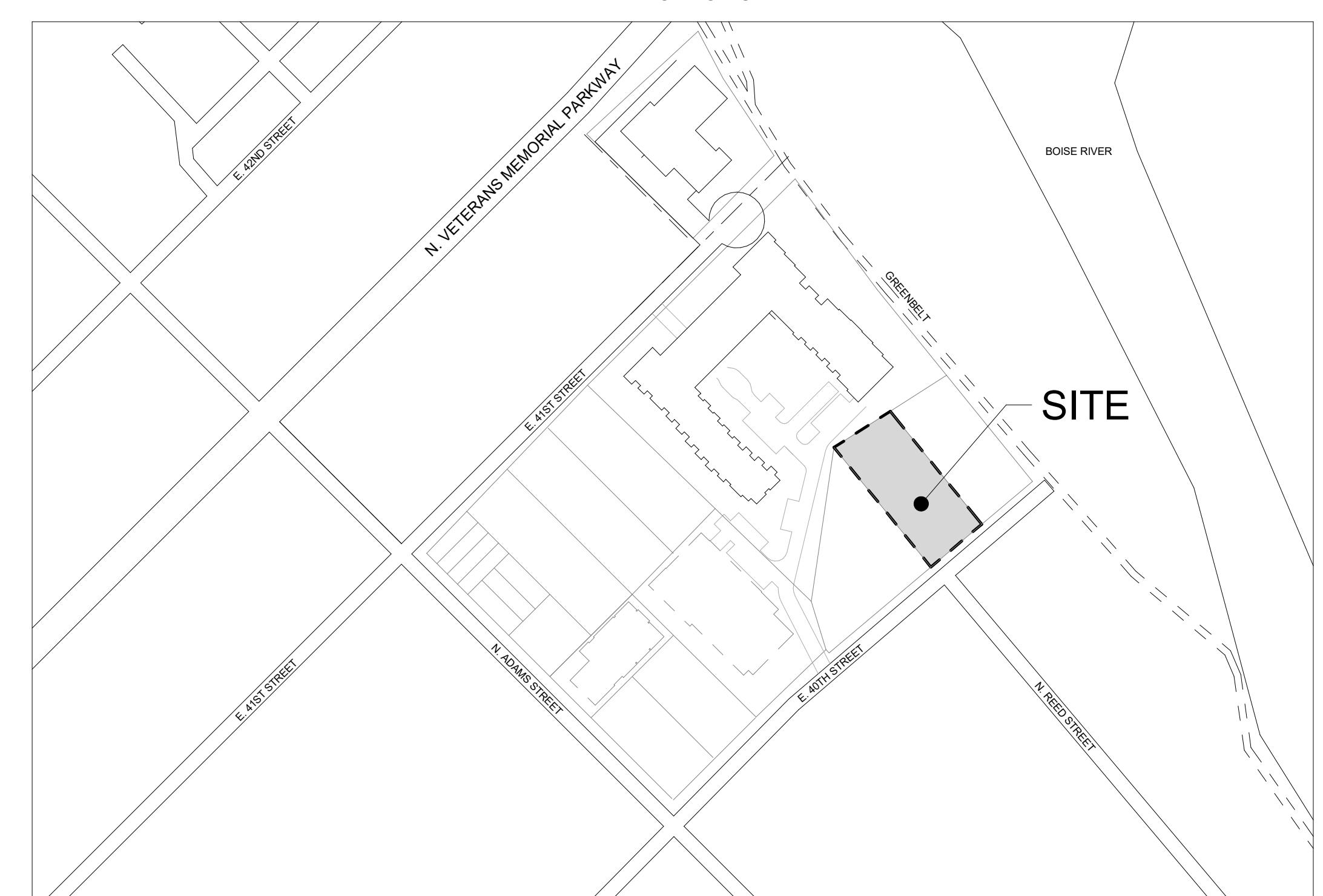


LIGHTING GENERAL NOTES

- ALL SITE LIGHTING TO BE DIRECTED INTERNALLY. NO LIGHT TO EXTEND ACROSS SHARED PROPERTY LINES

VICINITY MAP

NOT TO SCALE



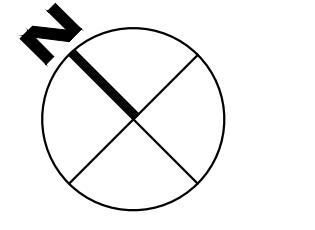
revision: no. desc. date

project: 230309
date: 05.14.2024

CUP / DR

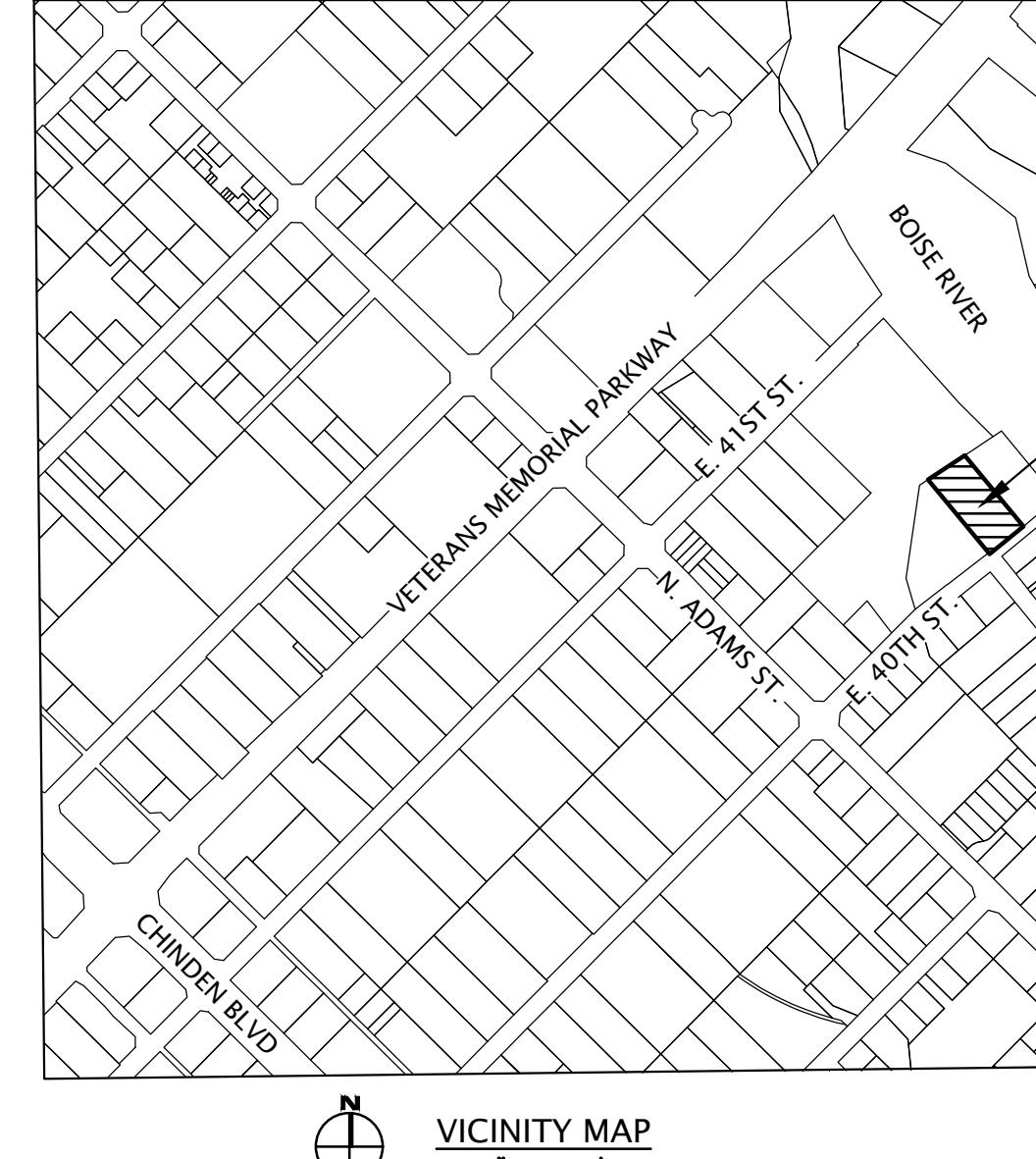
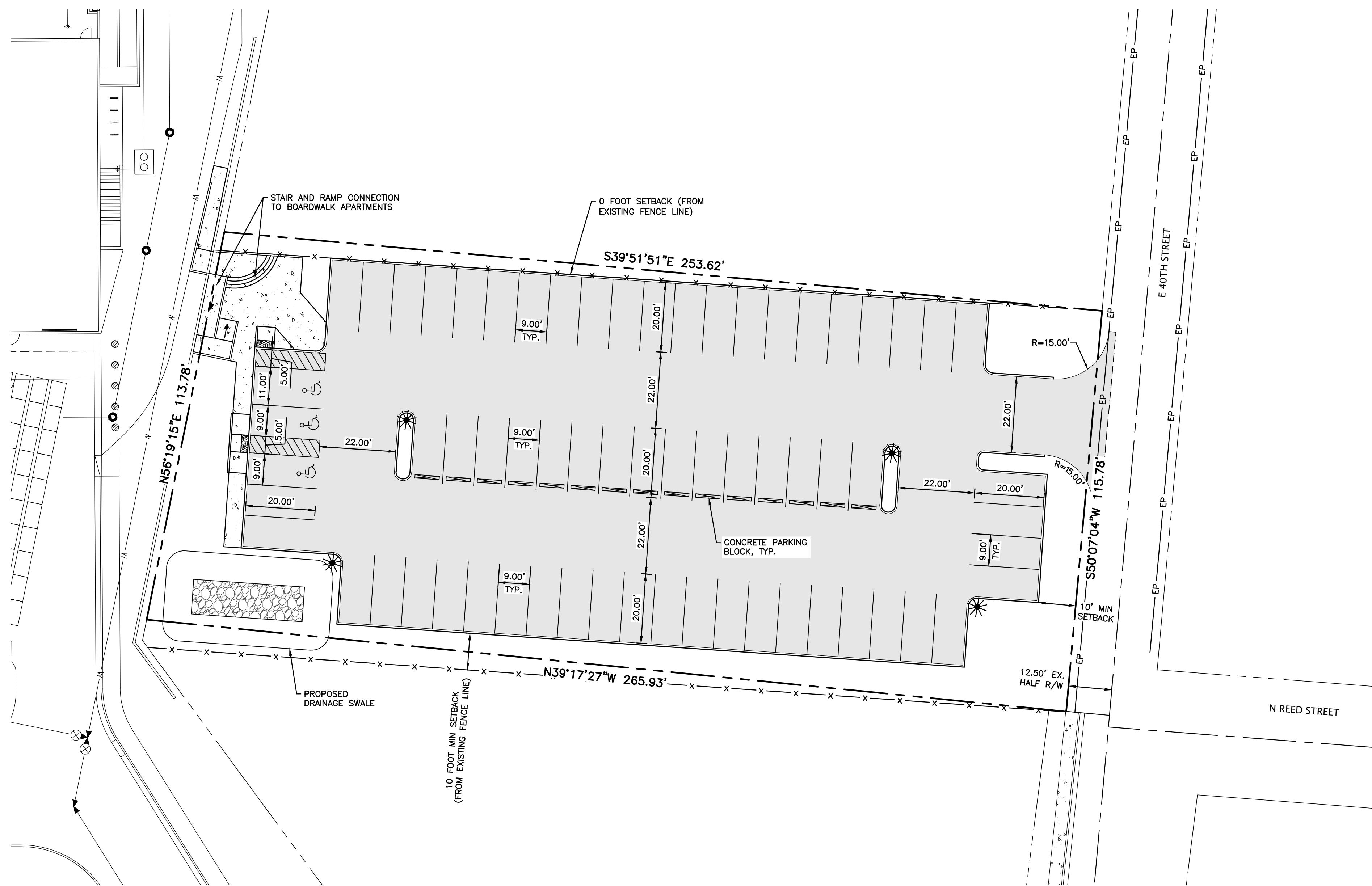
cover sheet + site plan

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DESIGN REVIEW SITE PLAN FOR
WISEMAN TEMPORARY PARKING LOT
LOTS 17 AND 18 BLOCK 2 FAIRVIEW ACRES SUB NO. 7
TOWNSHIP 3 NORTH, RANGE 2 EAST, BOISE MERIDIAN
ADA COUNTY, IDAHO

SCALE: 1" = 20'



VICINITY MAP

SITE DATA

SITE AREA = 29,739 SF (± 0.68 ACRES)

EXISTING:

IMPERVIOUS AREA	23,429 SF
LANDSCAPE AREA	6,310 SF

SETBACKS

FRONT SETBACK	3 FEET	10 FEET
SIDE SETBACK	5 FEET	0/10 FEET
REAR SETBACK	5 FEET	10 FEET

PARKING ANALYSIS

STANDARD SPACES	62
ADA SPACES	<u>3</u>
TOTAL PARKING SPACES	65

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Garden City, Idaho, 83714

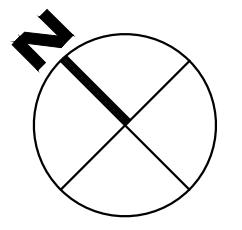
on:

project: 230309
date: 05.10.2024

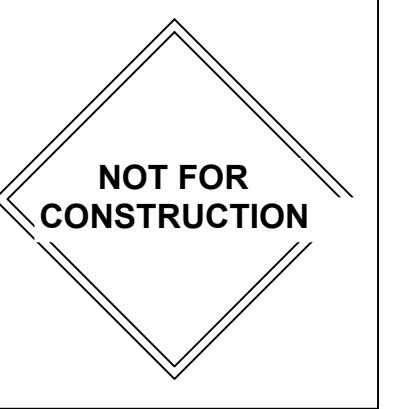
UP / DR

dr / cup site plan

sp1.0



SCALE: 1" = 20'



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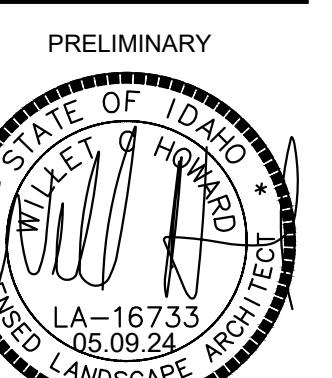
on:

ct: 230309
05.10.2024

UP / DR

trading + image plan

└ DRAINAGE SWALE WITH ROCK INFILTRATION TRENCH
TOP AREA=26'x48'
BOTTOM AREA=10'x32'
SWALE DEPTH=2.0'
ROCK DEPTH=3.0'
50-YR STORAGE VOL=1952 C

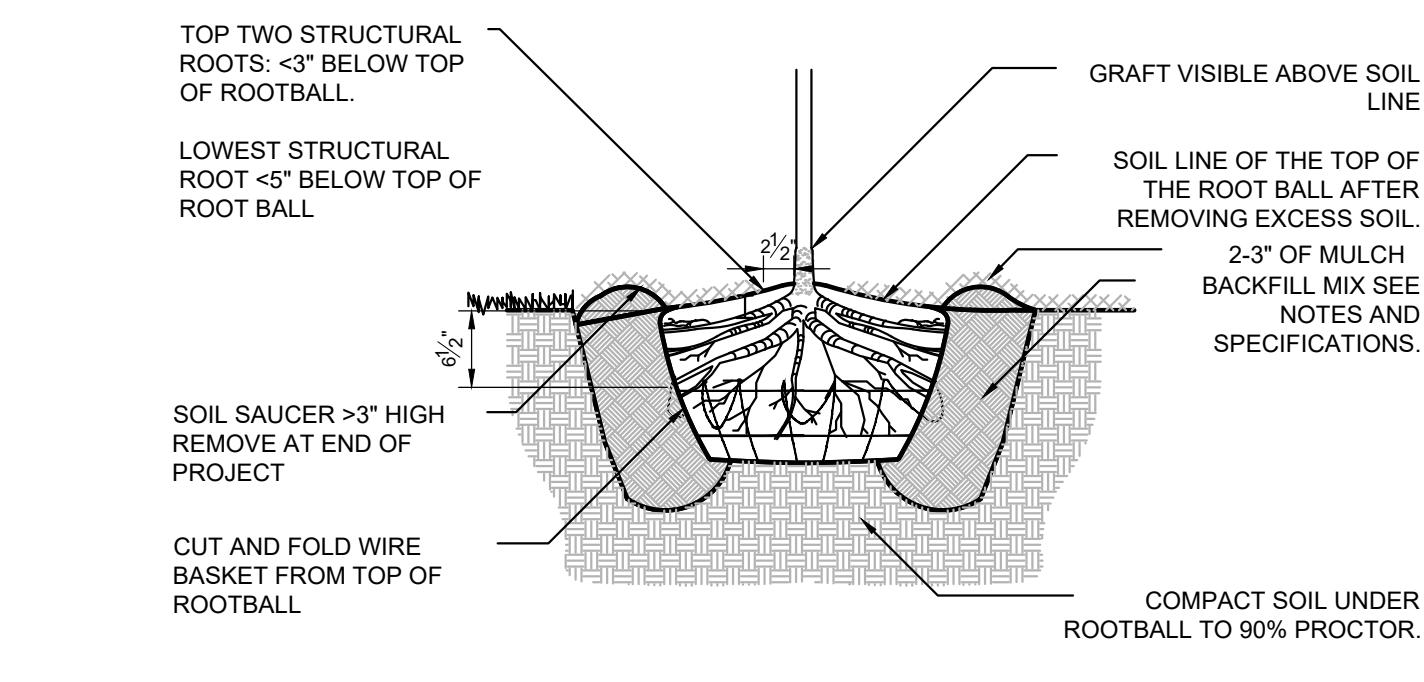


NOT FOR CONSTRUCTION

Landscape Notes:

- REGULATIONS & STANDARDS
 - All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2020 (or most recent published); and City of Garden City, ID codes, standards and state and local regulations.
- EXISTING CONDITIONS
 - All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - See Engineer's plans for information about existing features.
 - Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
- GRADING & SITE PREPARATION
 - Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - All gravel overprep to be removed and disposed of off site.
 - Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - Fine grade lawn areas to elevations set by Engineer's plans with proper drainage away from structures.
 - Refer to Engineer's plans for grading information & all drainage pipes and locations. Protect and retain drainage at all times.
 - No pooling or standing water will be accepted per industry standards.
- SOILS
 - Lawn areas shall receive 12" min depth of screened topsoil.
 - All planter beds shall receive 18" min depth of screened topsoil.
 - Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
 - Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - Topsoil shall have a pH of 6.5 to 8.0.
 - If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
 - If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not

NOTES:
 1. DO NOT DAMAGE OR CUT LEADER.
 2. DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
 3. TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR, HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
 4. WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
 5. REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP $\frac{1}{2}$ OF THE ROOTBALL.
 6. 5" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



1 BALL & BURLAP TREE PLANTING

3293-01

1" = 1'-0"

Landscape Requirements:

CODE REQUIREMENTS PER GARDEN CITY, ID

INTERNAL PARKING LOT REQUIREMENTS:

* 1 TREE FOR EVERY PARKING LOT ISLAND ROW

PARKING ISLANDS (SINGLE)	TREES REQUIRED	TREES PROVIDED
7	7	7

PERIMETER LANDSCAPE REQUIREMENTS:

* (1) TREE FOR EVERY 15 LF OF PERIMETER LENGTH (OR AS APPROPRIATE TO THE SELECTED SPECIES) TO QUICKLY ESTABLISH CONTINUOUS CANOPY COVERAGE.

PERIMETER AREA - LENGTH (LF)	TREES REQUIRED (PER XX LF)	TREES PROVIDED
SOUTHWEST PERIMETER - 266'	18	18
SOUTHEAST PERIMETER - 64' (MINUS CURB CUTS)	4	4

BIODIVERSITY REQUIREMENTS:

* 5-10: 2 SPECIES REQ, 11-30: 3 SPECIES REQ, 31-50: 4 SPECIES REQ, 50+: 5 SPECIES REQ.

TOTAL TREES ON SITE	NUMBER OF SPECIES REQUIRED	NUMBER OF SPECIES PROVIDED
29	3	4

MINIMUM PLANT SIZES:

PLANT TYPE: MINIMUM SIZE

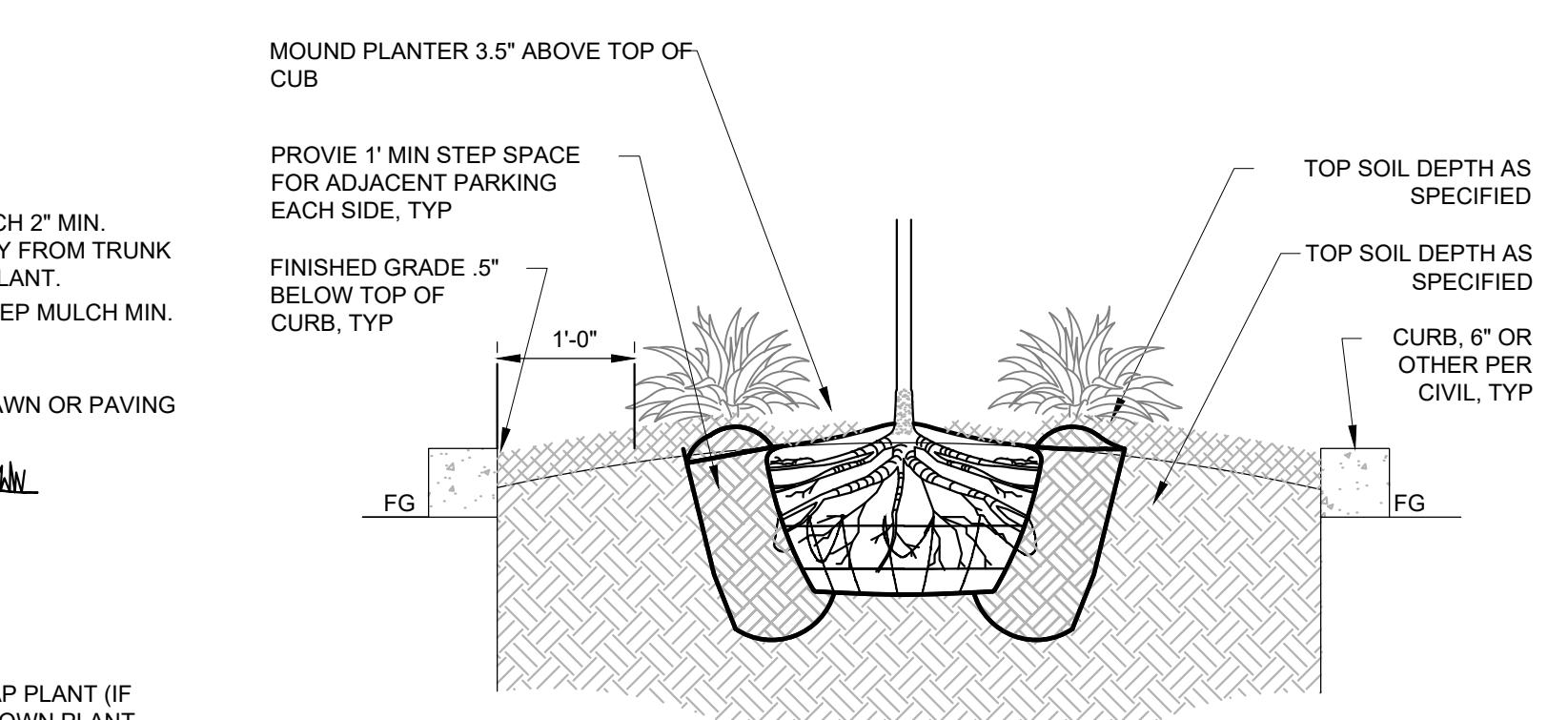
* EVERGREEN TREES: 6' 0" HT. MIN.

* ORNAMENTAL TREES: 2" CALIPER MIN.

* SHADE TREES: 2" CALIPER MIN.

* WOODY SHRUBS: 2 GAL. MIN.

NOTE:
 *CURB & ADJACENT PAVEMENT PER CIVIL OR HARDSCAPE PLANS
 *TREE & SHRUB TO BE INSTALLED PER RESPECTIVE DETAILS
 *PLANTS & MULCH PER PLAN



3 PLANTER ISLAND DETAIL

3293-03

BOARDWALK APARTMENTS TEMPORARY PARKING LOT

508 E. 40TH STREET

REVISIONS		
MRK	DATE	Description

JOB NO:	24-295
DATE:	05.09.2024
DRAWN BY:	DW
CHECKED BY:	WH

DRAWING TITLE

LANDSCAPE NOTES & DETAILS

SHEET NUMBER

L100



LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

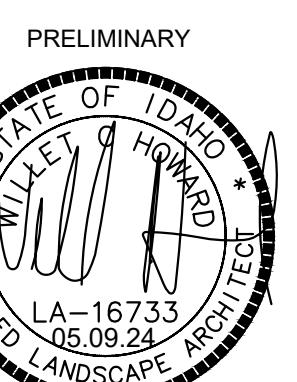
(208) 345-0500
404 S 8th St. #300A1
Boise, ID 83702
StackRockGroup.com

WILLET C HOWARD, PLA
OFFICE: (208) 345-0500 EMAIL:
WILL@STACKROCKGROUP.COM
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NOT FOR CONSTRUCTION

BOARDWALK APARTMENTS TEMPORARY PARKING LOT

508 E. 40TH STREET

REVISIONS		
MRK	DATE	Description
⚠	**	**

JOB NO: 24-2955
DATE: 05.09.2024
DRAWN BY: DW
CHECKED BY: WH

DRAWING TITLE

LANDSCAPE PLAN

SHEET NUMBER

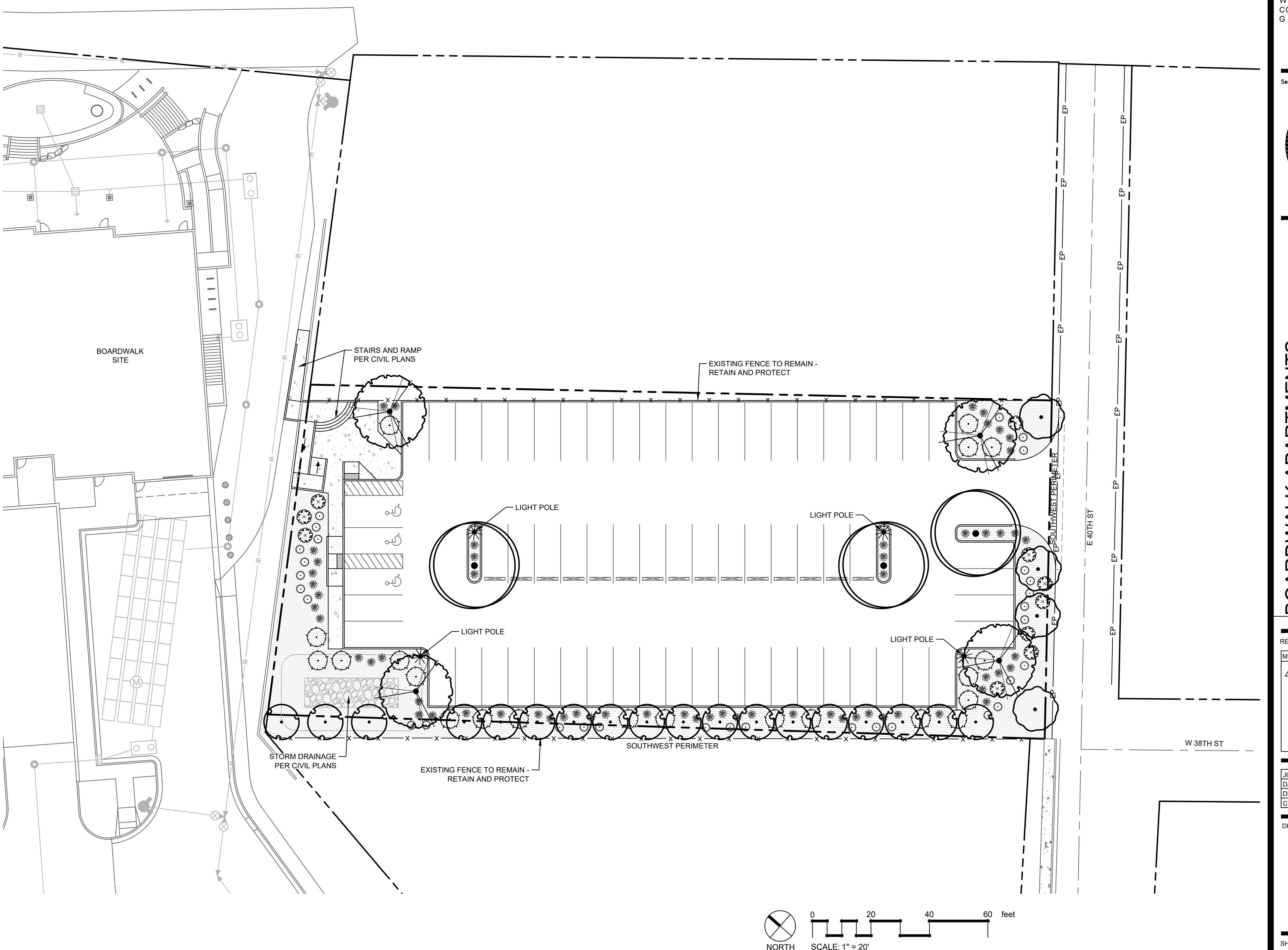
L101

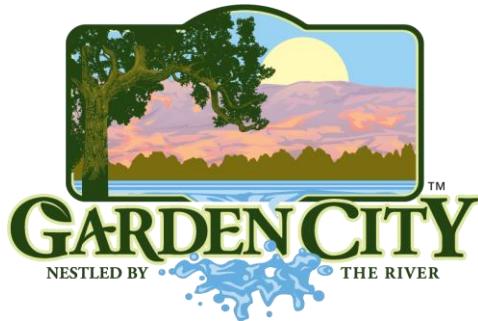
PLANT SCHEDULE				
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
TREES				
	Celtis occidentalis 'JFS-KSU1' TM / Prairie Sentinel Common Hackberry 45'h x 12'w, Class II	B&B	2"	18
	Celtis occidentalis 'Magnifica' / Magnifica Hackberry 50'h x 40'w, Class II	B&B	2"	3
	Tilia americana 'Boulevard' / Boulevard American Linden 50'h x 23'w, Class II	B & B	2"	4
	Tilia cordata 'Corzam' / Corinthian® Littleleaf Linden 45'H X 15W	B&B	2"	4
SHRUBS				
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper 6'h x 7'w	5 gal		21
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass 3'h x 3'w	2 gal		61
	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem 3'h x 3'w	2 gal		31
	Spirea douglasii / Western Spirea 5'h x 5'w	5 gal		10

LANDSCAPE MATERIALS LEGEND:



LANDSCAPE MULCH -
SEE NOTE 6L100





CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

April 30, 2024

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 508 E 40th St.

Fire hydrant serving this address: #2114

Fire flow Garden City is able to provide is 1500 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 1500 gpm

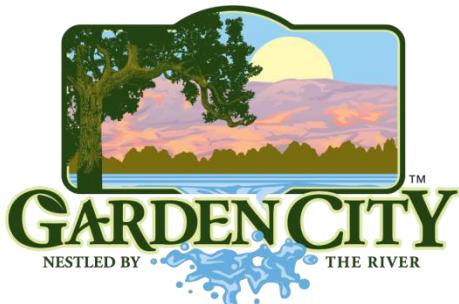
For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File



CITY OF GARDEN CITY

6015 Glenwood Street ▪ Garden City, Idaho 83714
Phone 208/472-2900 ▪ Fax 208/472-2996

11 May 2024

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **508 East 40th Street**
Parcel Number R2734560160
Parking Lot Only
Water and Sanitary Sewer Ability to Serve
ATSFY2024-0013

I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 1,500 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 30 April 2024 (fire hydrant #2114) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

No sanitary service is expected to be necessary to serve a parking lot. Any special uses on the site may require pretreatment of wastewater, if any, based upon review of use by Garden City Environmental.

Sincerely,



J. D. Canning, PE/PLS
Centurion Engineers, Inc.
Garden City Engineer

cc. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Chad Vaughn
Garden City Water Manager
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City



508 E 40th Street

WAIVER REQUEST

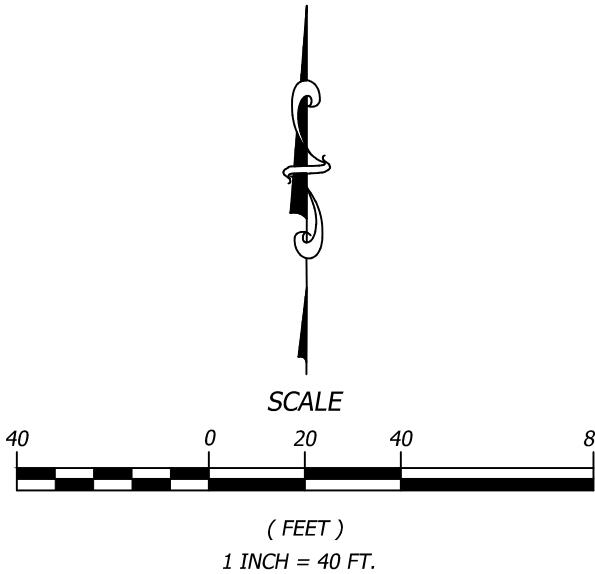
We request a waiver for the Topographic Survey requirement. The topographic survey has been started but is not ready at this time. A preliminary grading and drainage plan was created from known topography at the street and adjacent Boardwalk site and will be revised with the final survey information for Building Permit.

Thank you,

Courtney Matranga
erstad Architects

RECORD OF SURVEY

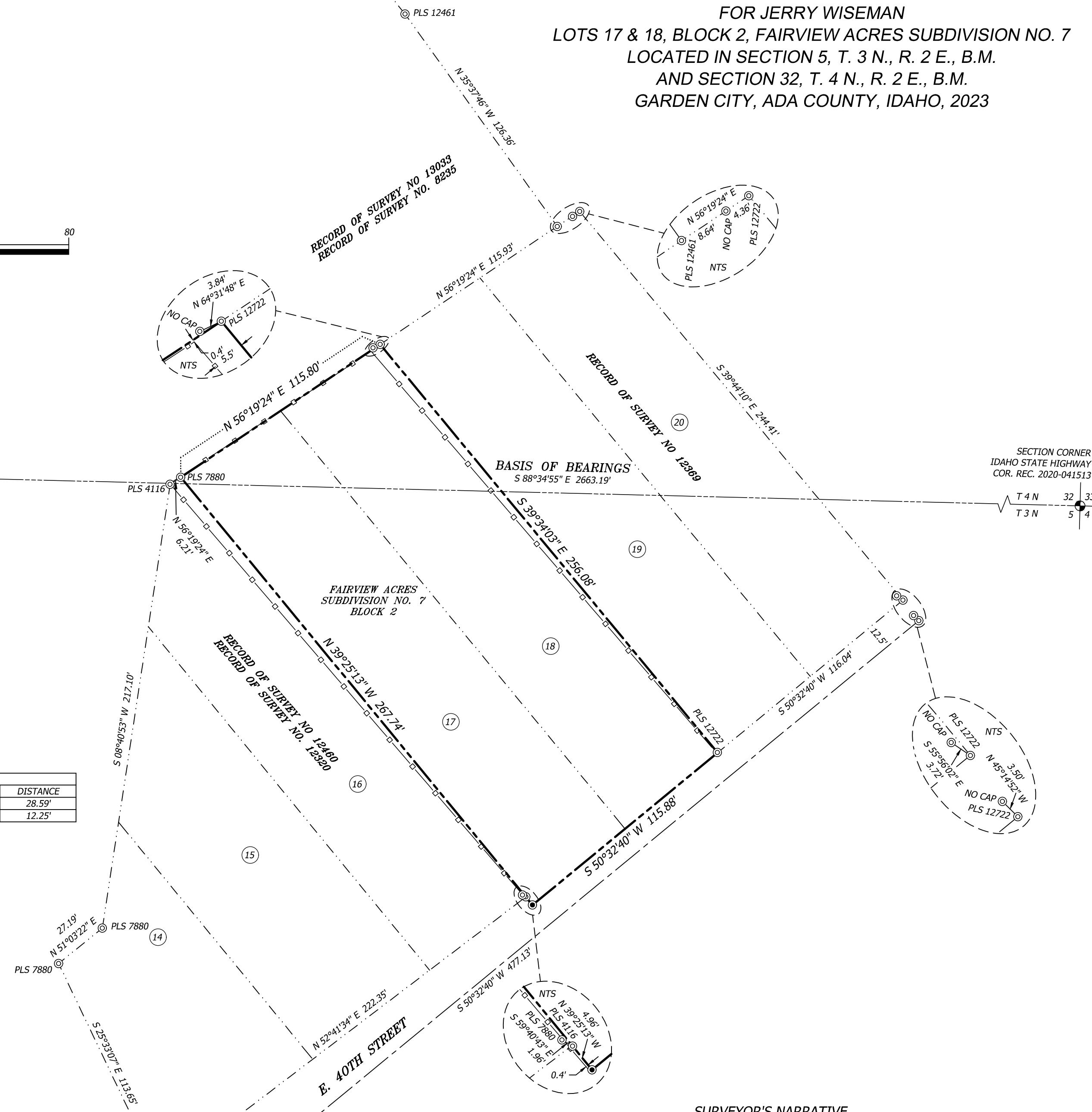
FOR JERRY WISEMAN
 LOTS 17 & 18, BLOCK 2, FAIRVIEW ACRES SUBDIVISION NO. 7
 LOCATED IN SECTION 5, T. 3 N., R. 2 E., B.M.
 AND SECTION 32, T. 4 N., R. 2 E., B.M.
 GARDEN CITY, ADA COUNTY, IDAHO, 2023



1/4 CORNER
 SECTIONS 32 AND 5
 PLS 737
 COR. REC. 2019-106304

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 16°15'27" W	28.59'
L2	N 52°14'55" E	12.25'

E. 41ST STREET
 N. ADAMS STREET
 S 45°19'01" E 650.07'



SURVEYOR'S NARRATIVE

SAWTOOTH LAND SURVEYING WAS CONTRACTED TO RECOVER OR RE-MONUMENT THE CORNERS OF THE WISEMAN PARCEL, BEING LOTS 17 AND 18, BLOCK 3 OF FAIRVIEW ACRES NO. 7.

THERE ARE MULTIPLE MONUMENTS AS SHOWN FOR SOME OF THE CORNERS AS NOTED HEREON. I AGREE WITH THE MONUMENTS ESTABLISHED BY PLS 4116 AND PLS 12722. FOR ADDITIONAL DETAILS ON THE BOUNDARY DECISION SEE THE SURVEYOR'S NARRATIVE ON RECORD OF SURVEY NO. 12369.

WHILE I TAKE OCCUPATION LINES SERIOUSLY, I BELIEVE IN THIS CASE THE FENCE LINE THAT WAS BUILT TO THE SUBDIVISION BOUNDARY ANGLE POINT NEAR THE CORNER COMMON TO LOTS 16 AND 17 WAS DONE SO IN ERROR AND THAT CAUSED THE FENCE LINE BETWEEN LOTS 18 AND 19 TO BE BUILT IN ERROR AS WELL.

CERTIFICATE OF COUNTY RECORDER

INSTRUMENT NO. _____
 I HEREBY CERTIFY THAT THIS INSTRUMENT WAS RECORDED AT THE REQUEST OF SAWTOOTH LAND SURVEYING, AT _____ MINUTES PAST _____ O'CLOCK _____ M., THIS DAY OF _____, IN THE YEAR _____.

DEPUTY

EX-OFFICIO RECORDER

FEE: \$

LEGEND

- — — PROPERTY BOUNDARY LINE
- · · · · OTHER DEED LINE
- — SECTIONAL LINE
- — □ EXISTING WOOD FENCE
- — — CENTERLINE
- FOUND BRASS CAP MONUMENT
- FOUND ALUMINUM CAP MONUMENT
- ×
- FOUND 1" IRON BAR
- FOUND 5/8" REBAR AS NOTED
- SET 5/8" REBAR/CAP PLS 11574
- △ CALCULATED POINT

REFERENCES:

- R1) FAIRVIEW ACRES SUBDIVISION NO. 3, BOOK 11, PAGE 617
- R2) FAIRVIEW ACRES SUBDIVISION NO. 7, BOOK 12, PAGE 686
- R3) RECORD OF SURVEY NO. 12369
- R4) RECORD OF SURVEY NO. 12460
- R5) RECORD OF SURVEY NO. 12320
- R6) RECORD OF SURVEY NO. 8235
- R7) RECORD OF SURVEY NO. 13033

CERTIFICATE OF SURVEYOR

I, JEFF BEAGLEY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS MAP WAS DRAWN FROM AND ACTUAL SURVEY ON THE GROUND UNDER MY DIRECT SUPERVISION, AND ACCURATELY REPRESENTS THE POINTS MAPPED HEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS, SURVEYS, AND THE CORNER PERPETUATION AND FILING ACT, IDAHO CODE.



SURVEY INDEX NO. 321-5-0-0-12-686
 SURVEY INDEX NO. 421-32-0-0-12-686

	2030 S. WASHINGTON AVE. EMMETT, ID 83617 (208) 398-8104 FAX (208) 398-8105				
	WWW.SAWTOOTHLS.COM SHEET: 1 OF 1 DATE: 5/2023 DRAWN BY: JB CHECKED BY: AR JOB#: 123052				