



DESIGN REVIEW

Permit info: DSRFY2024-0013

Application Date: 6/14/2024

Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street ■ Garden City, ID 83714 ■ 208.472.2921

■ www.gardencityidaho.org ■ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Jeff Hatch	Name: Chris Taylor
Company: Hatch Design Architecture	Company: TSJ LLC
Address: 200 W. 36th Street	Address: 575 E. 42nd St
City: Garden City	City: Garden City
State: ID Zip: 83714	State: ID Zip: 83714
Tel.: 208-475-3204	Tel.: 208-484-5629
E-mail: jeff@hatchda.com	E-mail: ctaylor@fishers-tech.com

PROPERTY AND DESIGN INFORMATION

This application is a request to: ☒ Construct New ☐ Addition ☐ Subdivision

Site Address: 575 E. 42nd St

Subdivision Name: Fairview Acres 03	Lot: 25	Block: 16
Tax Parcel Number: R2734520952	Zoning: C-2	Total Acres: 2.62
Proposed Use: Storage, retail, and office	Floodplain: Yes	No x

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

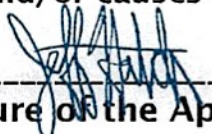
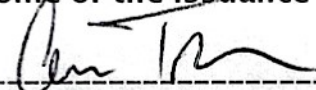
Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

	6-10-24		6/14/24
Signature of the Applicant	(date)	Signature of the Owner	(date)

APPLICATION INFORMATION REQUIRED

Note:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent | <input checked="" type="checkbox"/> Affidavit of Legal Interest |
| <input checked="" type="checkbox"/> Neighborhood Map | N/A <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input checked="" type="checkbox"/> Site Plan | |
| <input checked="" type="checkbox"/> Landscape Plan | |
| <input checked="" type="checkbox"/> Schematic Drawing | |
| <input checked="" type="checkbox"/> Lighting Plan | |
| <input type="checkbox"/> Topographic Survey Waiver requested | |
| <input type="checkbox"/> Grading Plan Waiver requested | |
| <input checked="" type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input type="checkbox"/> Ada County Approved Addresses Waiver requested | |
| <input checked="" type="checkbox"/> Waiver Request of Application Materials | |

PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☐ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☐ Purpose, scope, and intent of project
- ☐ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☐ 8 ½" x 11" size minimum
- ☐ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☐ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- ☐ Scale not less than 1" = 20', legend, and north arrow.
- ☐ Property boundary, dimensions, setbacks and parcel size.
- ☐ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☐ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☐ Adjacent public and private street right of way lines
- ☐ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☐ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☐ Driveways, access to public streets, parking with stalls, loading areas.
- ☐ Sidewalks, bike and pedestrian paths.
- ☐ Berms, walls, screens, hedges and fencing.
- ☐ Location and width of easements, canals, ditches, drainage areas.
- ☐ Location, dimensions and type of signs.
- ☐ Trash storage and mechanical equipment and screening.
- ☐ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☐ Log depicting square footage of impervious surface, building and landscaping
- ☐ Location and height of fences and exterior walls
- ☐ Location and dimensions of outdoor storage areas
- ☐ Location of utilities and outdoor serviced equipment and areas
- ☐ Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- ☐ Scale the same as the site plan.
- ☐ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☐ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☐ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- ☐ Cross section through any special features, berms, and retaining walls.
- ☐ A plant list of the variety, size, and quantity of all proposed vegetation
- ☐ Log of square footage of landscaping materials corresponding to location
- ☐ Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- ☐ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☐ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☐ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☐ Overall dimensions of all proposed structures
- ☐ Specifications on exterior surface materials and color
- ☐ Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- ☐ 11" x 17" size minimum
- ☐ Location, type, height, lumen output, and luminance levels of all exterior lighting
- ☐ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- ☐ Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- ☐ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- ☐ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- ☐ 11" x 17" size minimum
- ☐ Scale not less than one inch equals twenty feet (1" = 20')
- ☐ Two foot (2') contours for the entire proposal site
- ☐ One foot (1') contours for details, including all planimetric features
- ☐ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☐ Existing easement and utility locations
- ☐ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- ☐ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ☐ Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

***Required for developments of two or more buildings:**

- ☐ Location, elevations, and materials of proposed signage

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

***Required if irrigation canal/irrigation ditch runs through property or along property lines:**

- ☐ Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☐ Statement must include a list of the application materials to be waived and an explanation for the request.



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200 w. 36th st., boise, idaho 83714 • phone 208.475.3204 • fax 208.475.3205 • email info@hatchda.com

Compliance Statement and Statement of Intent

June 14, 2024

Planning & Zoning
Garden City
6015 Glenwood St.
Garden City, Idaho 83714

Re: **Design Review for Fischer's**
Located at: 575 E 42nd St., Garden City, ID 83714
Parcel Nos.: R2734520952

Dear Planning Staff,

The proposed project consists of one parcel, R2734520952. It is located at 575 E. 42nd St., approximately 720' Northwest of the intersection at E. 42nd St. and Adams St. The proposed development would create a building designed to be flexible on the interior to easily accommodate varying uses. Site amenities will include an office, retail space, club house, conference room and a rooftop patio and lounge. The interior storage spaces will be designed to easily convert into office or retail space.

The proposed development would be complimentary to the surrounding commercial and residential uses by creating a self-storage and mixed-use facility that could be utilized by local businesses and residents. This project aims to serve surrounding communities.

The site has been designed to minimize sprawl and maximize access. A pathway is provided around the building with connections to E 42nd Street on the West and East side of the building. This pathway design will allow for safe pedestrian access and minimize interactions with vehicular traffic.

The landscaped areas provide a sense of place within the site and allows for both private and communal engagement within. It also connects the neighboring buildings and softens harsh surfaces with the incorporation of vegetation.

This project would infill a currently empty lot with a quality building for storage and other mixed uses that would benefit both local businesses and residents.

Please contact our office with any questions you may have in reviewing the application materials.

Sincerely,

Jeff Hatch, AIA LEED AP
Hatch Design Architecture



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Design Review Application Narrative

June 14, 2024

Development Services, Planning Services
City of Garden City
6015 N Glenwood St.
Garden City, Idaho 83714

Re: **Design Review Applications for Fisher's
575 E 42nd St., Garden City, ID 83714
Parcel Nos.: R2734520952**

Dear Planning Staff,

The owner for the property located at 575 E 42nd St. is proposing the new construction of an approximately 89,092 S.F. storage facility. Site amenities will include an office, retail space, and a rooftop patio and lounge. Based on future demand, the building will be designed to easily convert storage to office or retail space

Per Garden City Code 8-4C:

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?

The design of the proposed structure enhances the street by creating an engaging building. The architecture will feature glazing, awnings, and a variety of materials. The roofline and façade are designed with a generous number of reliefs to break up the mass of the building. It will also engage the public through the addition of public art on the façade.

2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?

There are accessible routes throughout the site. Drive aisles are situated to flow traffic around the building and minimize congestion with pedestrians.

3. What are the building materials?

The proposed building materials will be a combination of architectural metal panels, wood-look metal panels, and stucco panels.

4. What are the existing notable site features and how does the design respect them?

The lot is currently home to Fisher's Technology's Headquarters. The proposed project will complement the existing building and take design cues from the surrounding neighborhood.



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5. Is the building consistent with the adopted streetscape?

The building will be consistent with the existing streetscape. The building's mass and street presence will be similar to the surrounding buildings.

6. Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts?

The site has been designed to prioritize the pedestrian and prevent congestion from vehicular circulation. The arrangement of the building and the parking lot creates a nearly unbroken pedestrian path around the building. This allows for pedestrians, likely employees of the adjacent office or local residents, to safely enter and leave the building on foot. Bicycle parking is also placed on the path to allow the same safety for cyclists.

7. Is there sidewalk?

There is existing sidewalk along 42nd street. The site will feature walkway around the perimeter of the building.

8. How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

The nearest transit facilities are approximately .75 miles away at the corner of 39th and Chinden.

9. Parking and parking lot standards: Is there a tree provided for every 5 parking stalls?

Yes, the proposed landscape plan incorporates the required trees.

10. Is there bike parking provided?

Yes, 12 spaces are provided.

11. Is the parking adequately screened from adjacent uses and the street?

Yes, the parking and access lanes are proposed to be screened by the use of the building as well as landscaping.

12. Is there any stall that is located more than 100' from a shade tree?

No, the intent is to minimize the urban heat island effect for the development.

13. Community Interaction: How does the development incorporate into the envisioned neighborhood?

The building will be similar in size to the surrounding building. The storage use will be conveniently located to serve the local neighborhood.



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14. How does the proposed project support a compact development pattern that enables intensification of development and changes over time?

The design and parking arrangements enables the structure to be used for a variety of business uses in the future. The floor area ratio is greater than one.

15. How does the proposed design support a development pattern in nodes rather than strip commercial along arterial corridors?

The proposed building exists separately from the neighboring buildings at a different orientation in order to engage the pedestrian. The design of the building stands out through the unique form and varied façade.

16. How does the project promote a place where people want to be?

The building design and public art walls will engage the public.

17. If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

The building is built at a floor area ratio of 1.5, exempting it from 8-4G sustainability.

18. Landscaping: Is there more than 5% of the site dedicated to landscaping?

Yes, the landscaping is approx. 5% of the overall site.

19. Is there one class II or III tree provided for every 50' of street frontage?

Yes, the site will be landscaped to meet or exceed the requirements of the Garden City Code.

20. Will any trees be removed from the site?

No existing trees will be removed from the site.

21. What kind of irrigation will be provided?

Pressurized irrigation will be provided for the site.

22. Is the landscaping compatible with local climatic conditions?

The landscaping is compatible with the southwest Idaho climatic conditions.

23. Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community?

The proposed design of the structure helps to create a sense of place and contributes to the uniqueness of the different districts and neighborhoods within the city by creating a complimentary structure to the surrounding businesses.



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24. What is the Floor to Area ratio?

The floor area ratio is 1.5.

25. Is there relief incorporated into facades and or rooflines greater than 50'?

Yes, there are change in material, roof height changes of 2' min. and changes in façade materials to create relief.

26. What are the setbacks?

The required setbacks are 5 feet from any property line. There is a minimum 10' landscape buffer along the streets.

27. How are the outdoor service and equipment areas screened?

The trash enclosure will be screened with landscaping. Mechanical equipment will be screen with the building parapet incorporated into the building's design.

28. If there are multiple structures, are the setbacks consistent?

Yes

29. Are there any "green building" concepts are incorporated into the project?

Yes, incorporating native compatible landscaping into the project.

Please contact our office with any questions you may have in reviewing the application materials.

Sincerely,

Jeff Hatch, AIA LEED AP
HATCH DESIGN ARCHITECTURE



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

April 11, 2024

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 575 E 42nd St

Fire hydrant serving this address: #3012

Fire flow Garden City is able to provide is 1500 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 1500 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714

Phone 208/472-2900 ■ Fax 208/472-2996

12 April 2024

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **575 East 42nd Street**
Water and Sanitary Sewer Ability to Serve
ATSFY2024-0011

I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

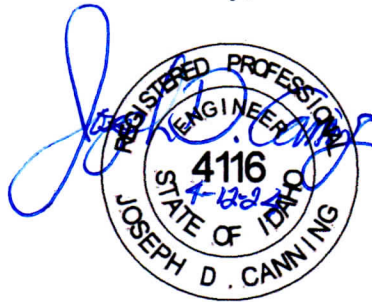
The city water system in the area provided a minimum fire flow of 1,500 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 11 April 2024 (fire hydrant #3012) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. Any new sewer mainline extension, sewer service connections, changes to connections and discharges to Garden City sewer lines to serve the facility must be coordinated, reviewed and approved by Garden City Public Works. Verification of grade, design and installation to connect to the sewer system is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,

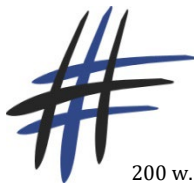


J. D. Canning, PE/PLS
Centurion Engineers, Inc.
Garden City Engineer

ec. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Chad Vaughn
Garden City Water Manager
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City



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Waiver Request of Application Materials

June 13, 2024

Planning & Zoning
Garden City
6015 Glenwood St.
Garden City, Idaho 83714

RE: Design Review for Fisher's

Located at: 575 E 42nd St., Garden City, ID 83714
Parcel Nos.: R2734520952

Dear Garden City Staff Planning & Zoning,

Below is a list of the application materials we are requesting to be waived at the Design Review application.

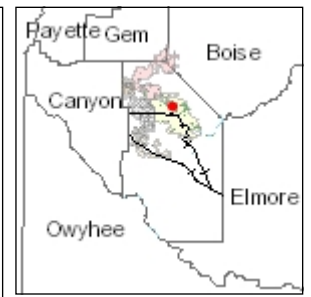
1. Grading Plan
2. Topographic Survey
3. Ada County Approved Addresses

Please contact our office with any questions you may have in reviewing the application materials.

Sincerely,

Jeff Hatch, AIA LEED AP
Hatch Design Architecture

NEIGHBORHOOD MAP



Legend

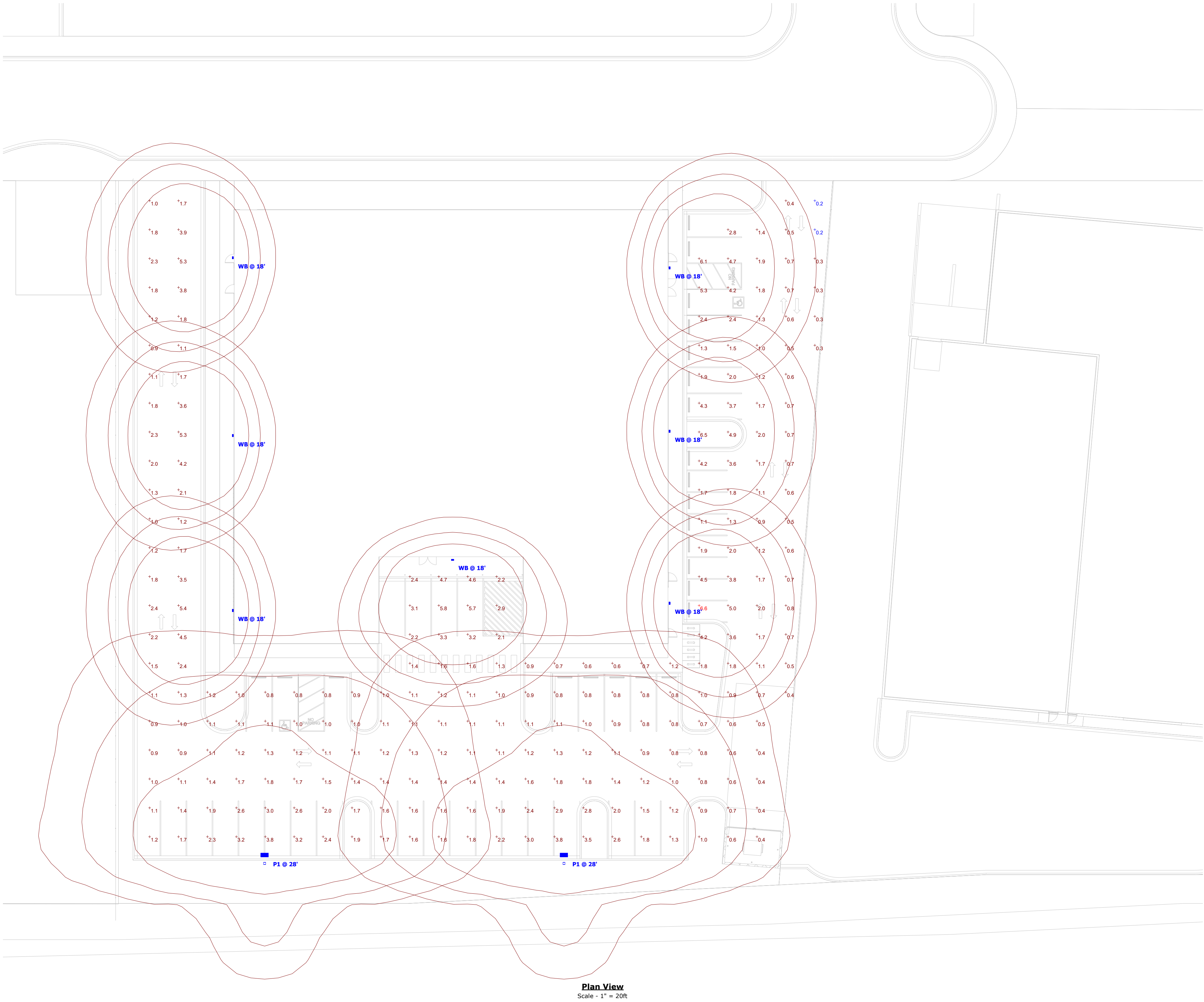
- + Railroad
- Roads (<2,000 scale)
 - <all other values>
 - Interstate
 - Ramp
 - Principal Arterial
 - Collector
 - Minor Arterial
 - Local
- Parks
 - Parks
- Water
 - Alley
 - Driveway
- Address
 - Condos
 - Parcels
- raster.DBO.AdaOrthos2022_3in
- Red: Band_1
- Green: Band_2
- Blue: Band_3

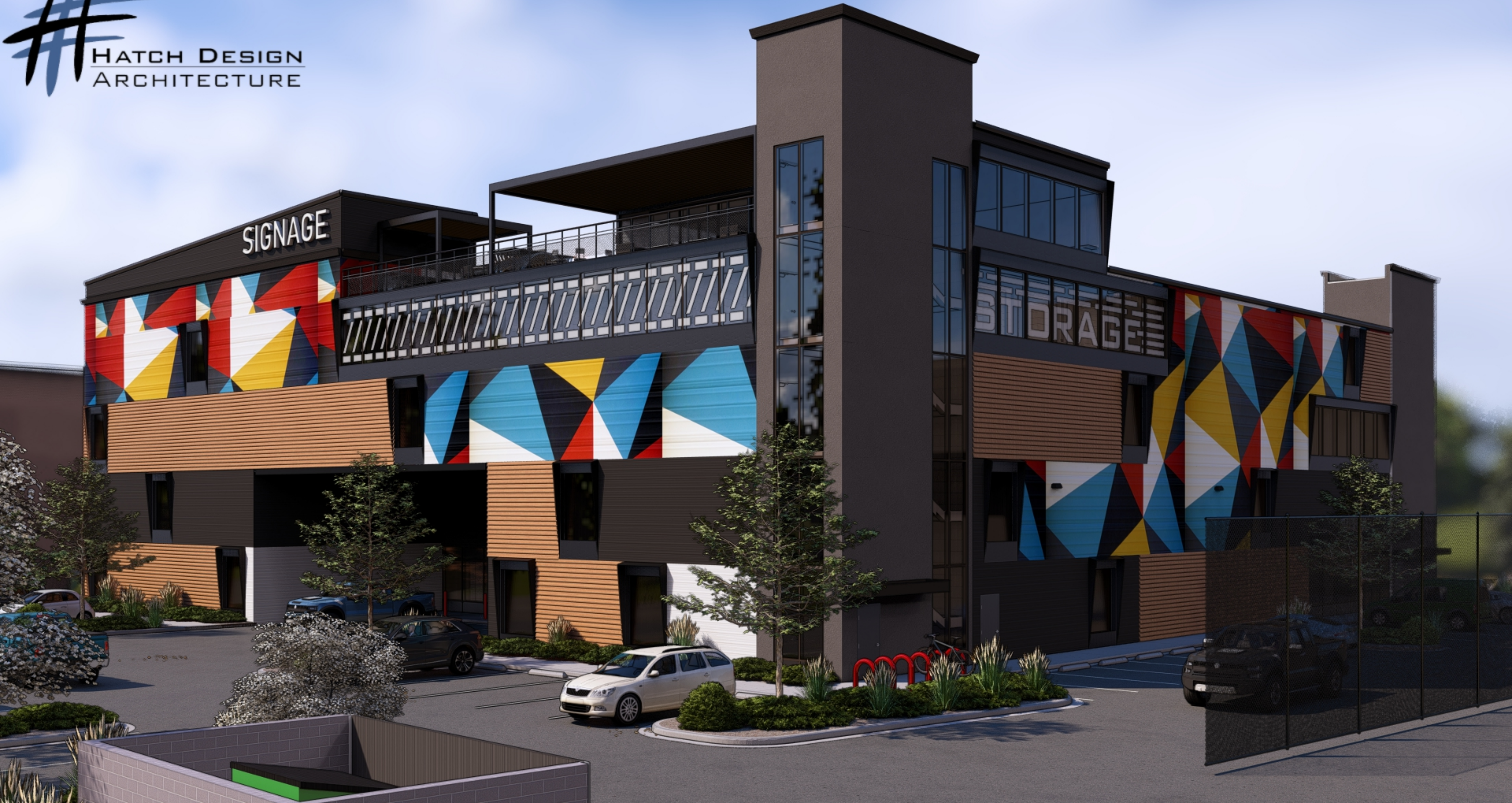
Map Scale: 1,800.00

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
<div><div></div><div></div></div>	P1	2	Lithonia Lighting	RSX1 LED P3 40K R4	RSX Area Fixture Size 1 P3 Lumen Package 4000K CCT Type R4 Distribution	1	14206	1	109.44
<div><div></div><div></div></div>	WB	7	Lithonia Lighting	ARC2 LED P5 40K	ARC2 LED WITH P5 - PERFORMANCE PACKAGE, 4000K	1	6615	1	51.2609

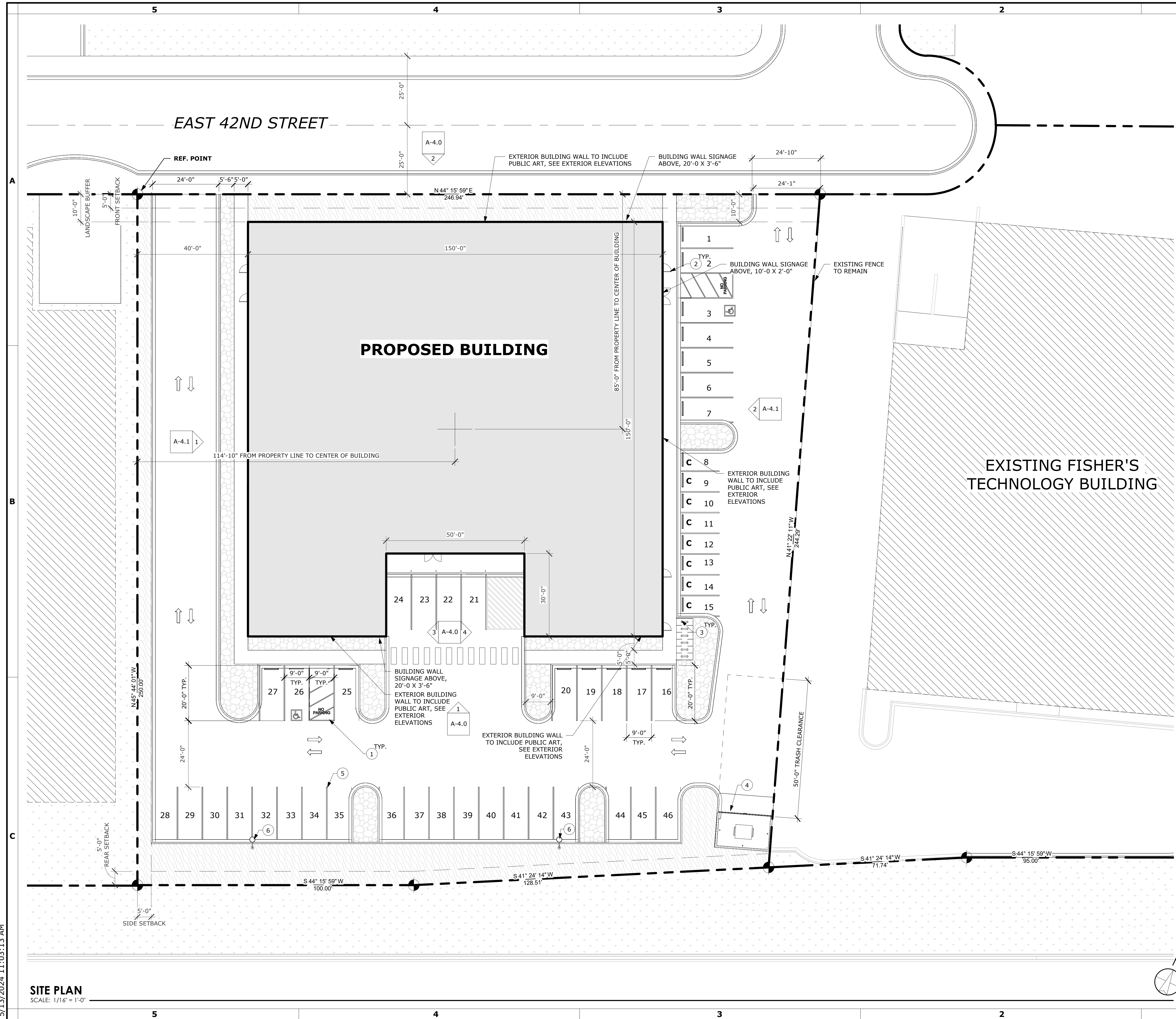
Luminaire Locations										
Location								Aim		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
2	P1	17.50	14.00	28.00	28.00	0.00	0.00	17.50	14.97	0.00
1	WB	-97.00	223.50	18.00	18.00	270.00	0.00	-97.00	223.50	0.00
2	WB	-97.00	162.00	18.00	18.00	270.00	0.00	-97.00	162.00	0.00
3	WB	-97.00	101.50	18.00	18.00	270.00	0.00	-97.00	101.50	0.00
4	WB	54.00	104.00	18.00	18.00	90.00	0.00	54.00	104.00	0.00
5	WB	54.00	163.50	18.00	18.00	90.00	0.00	54.00	163.50	0.00
6	WB	54.00	220.00	18.00	18.00	90.00	0.00	54.00	220.00	0.00
7	WB	-21.00	119.00	18.00	18.00	180.00	0.00	-21.00	119.00	0.00
1	P1	-86.00	14.00	28.00	28.00	0.00	0.00	-86.00	14.97	0.00

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.7 fc	6.6 fc	0.2 fc	33.0:1	8.5:1









SITE RECAP

ZONING
CURRENT: L-OD/DA

PARCEL NUMBERS
R2734520952

TOTAL PROPERTY SIZE
ACRES: 2.62 ACRES (114,127.2 SF)

SETBACKS
FRONT: 10'-0" MIN./35'-0" MAX.
REAR: 15'-0"
SIDES: 15'-0"

PARKING SPACES PROVIDED:

VEHICLE PARKING:

STANDARD: 36 (9'X20')

ADA: 2 (9'X20')

COMPACT: 8 (7'-6"X20')

TOTAL: 46 VEHICLE PARKING SPACES

BIKE PARKING: 12 SPACES

SURFACE REGARD

SURFACE RECAP:
BUILDING 31 200

BUILDING: 21,000 SF
IMPERVIOUS: 20,610 SF

IMPERVIOUS: 30,619 S
LANDSCAPE: 2010 CF

GENERAL NOTE

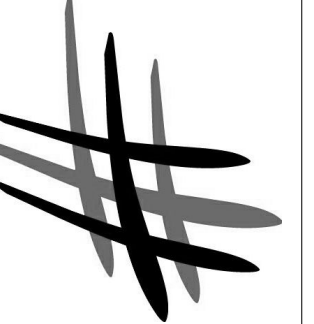
- | | |
|----|---|
| A. | MECHANICAL EQUIPMENT TO BE SCREENED BY BUILDING WALLS |
| B. | PUBLIC ART/MURAL LOCATION SHOWN ON EXTERIOR ELEVATION |

AREA RECAP

NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

REMARKS	
##	DESCRIPTION
1	ADA ACCESSIBLE PARKING STALL, W/ 4" PAINTED WHITE STRIPES, AND ACCESS AISLE
2	MAN DOOR WITH ADA THRESHOLD, SEE DOOR SCHEDULE
3	BICYCLE RACKS, SEE SITE DETAILS
4	TRASH ENCLOSURE, SEE TRASH ENCLOSURE DETAILS
5	STANDARD PARKING STALL, W/ 4" PAINTED WHITE STRIPES
6	EXTERIOR POLE LIGHT FIXTURE, SEE ELECTRICAL/LIGHTING DRAWINGS

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NEW CONSTRUCTION FOR:

GOVERNMENT

5/5 E 42ND ST., GARDEN CITY, ID 83714

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DRAWN BY:	WE
CHECKED BY:	JH

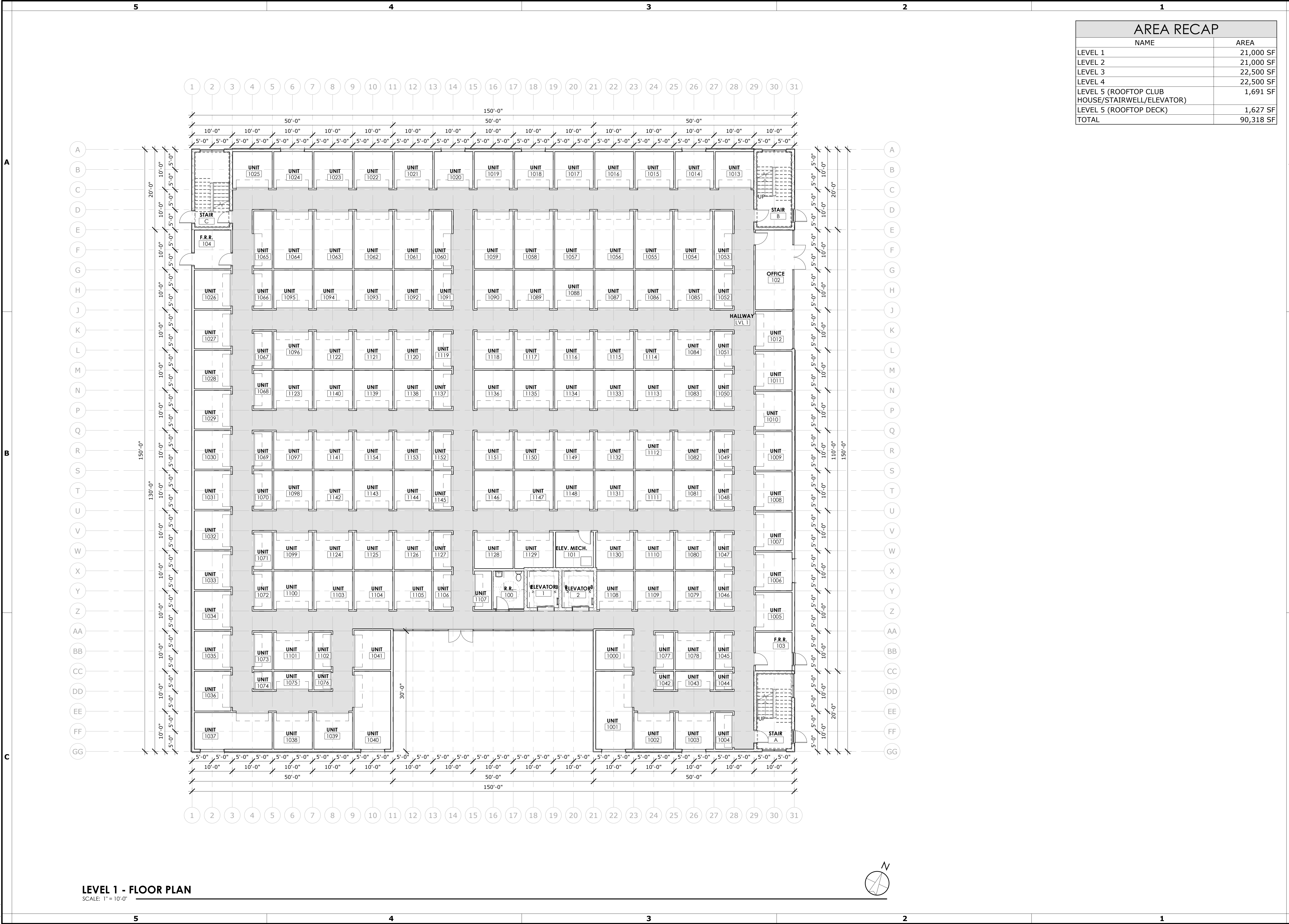
HEET TITLE:

SITE PLAN

HEET NUMBER:

A-1.0

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AREA RECAP	
NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

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NEW CONSTRUCTION FOR:
FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

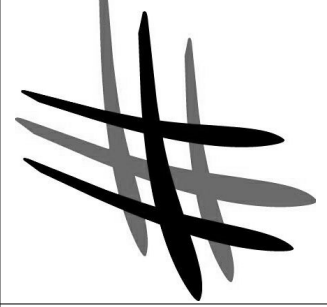
DATE	DESCRIPTION	COMMENTS
DATE:	MAY 2024	
DRAWN BY:	WE	
CHECKED BY:	JH	
JOB NUMBER:	23142	
SHEET TITLE:		

FLOOR PLAN
- LEVEL 1

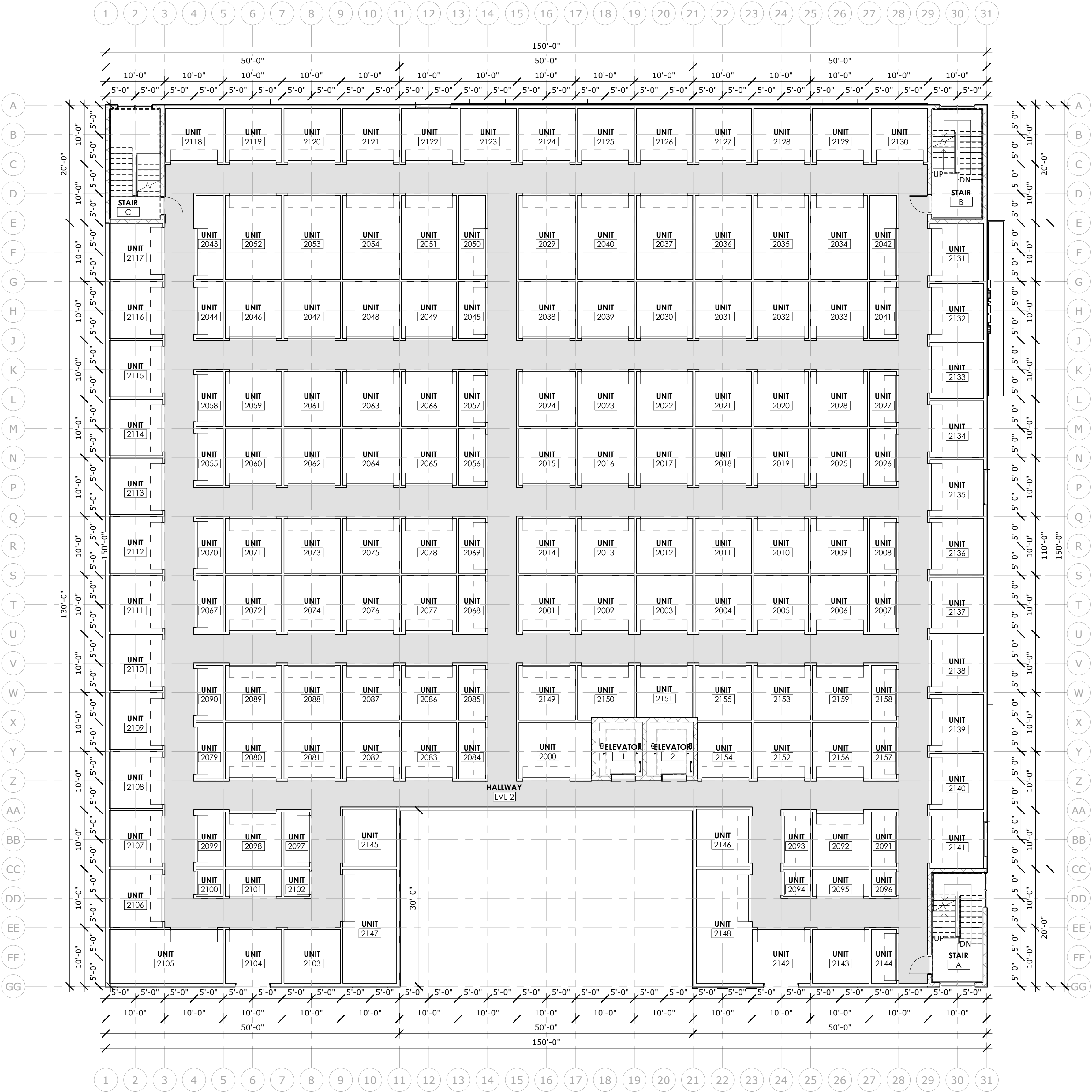
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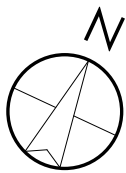


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AREA RECAP	
NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

LEVEL 2 - FLOOR PLAN
SCALE: 1" = 10'-0"



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DATE:	MAY 2024	
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JOB NUMBER:	23142	
SHEET TITLE:		

FLOOR PLAN
- LEVEL 2

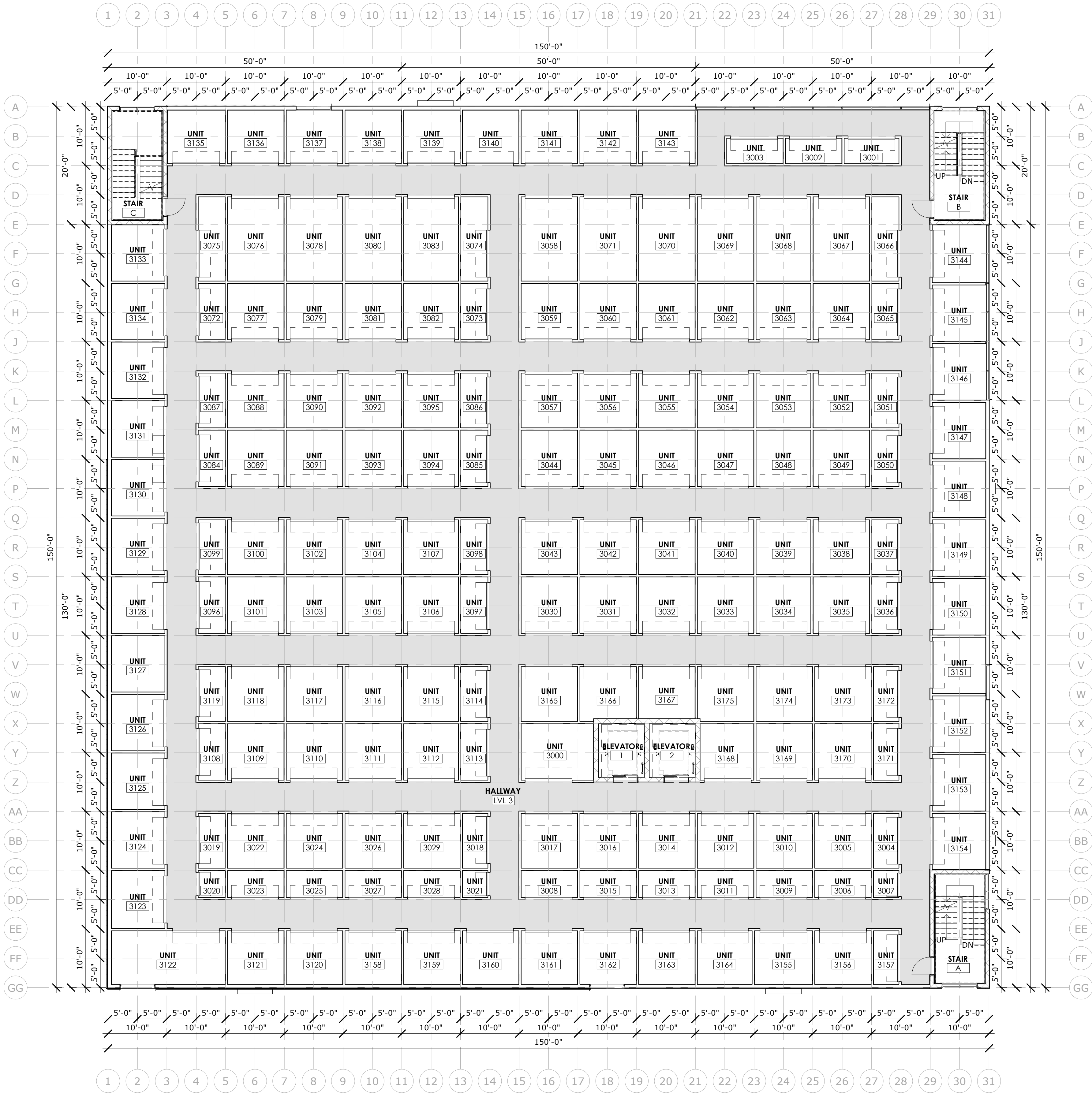
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LEVEL 3 - FLOOR PLAN
SCALE: 1" = 10'-0"



AREA RECAP	
NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

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SHEET TITLE:		

FLOOR PLAN
- LEVEL 3

SHEET NUMBER:

A-2.2

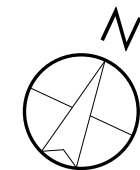
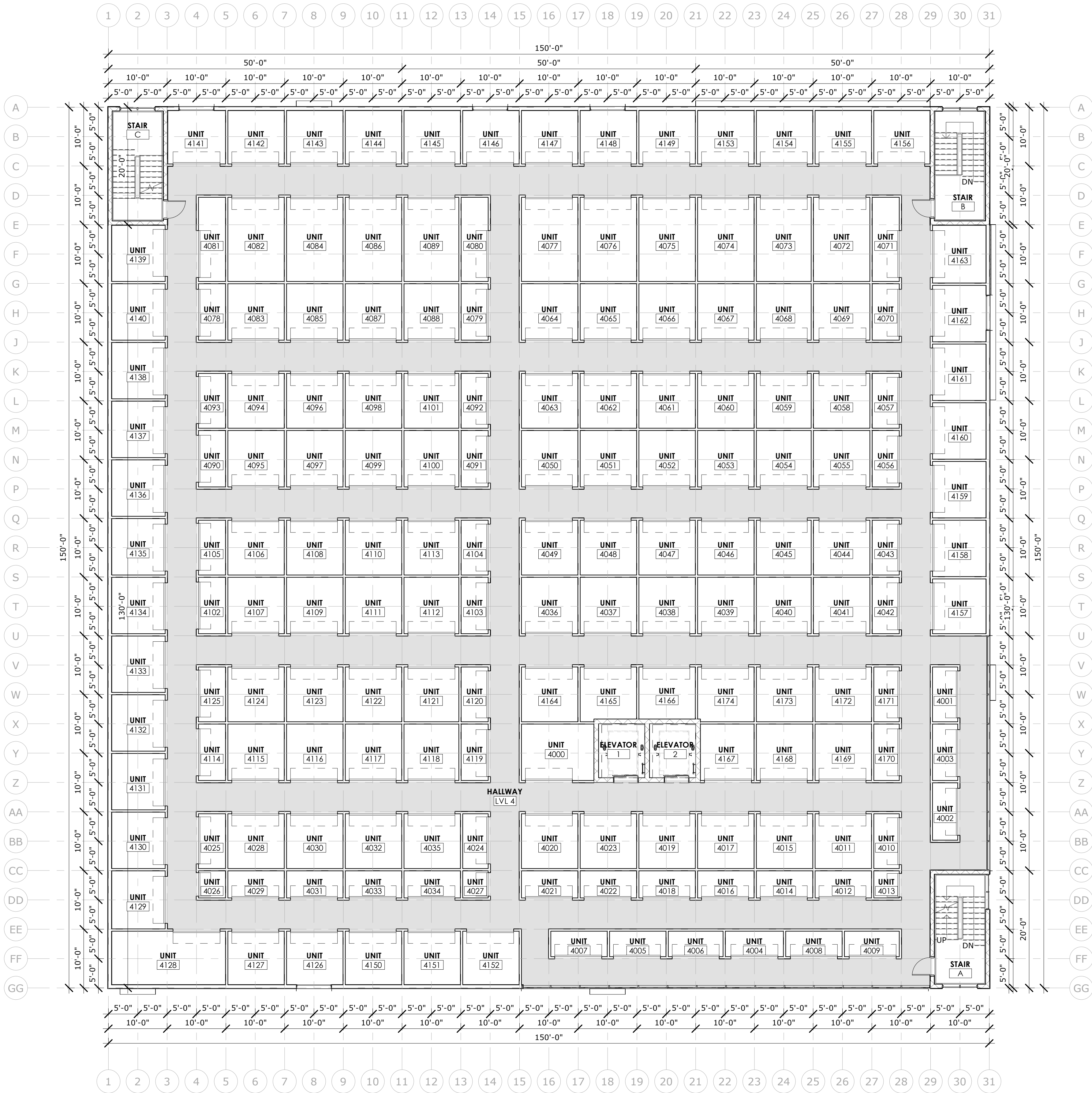
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LEVEL 4 - FLOOR PLAN

SCALE: 1" = 10'-0"



AREA RECAP

NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

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FLOOR PLAN
- LEVEL 4

SHEET NUMBER:

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LEVEL 5 - ROOFTOP DECK - FLOOR PLAN

SCALE: 1" = 10'-0"

AREA RECAP	
NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

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NEW CONSTRUCTION FOR:
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FLOOR PLAN
- LEVEL 5

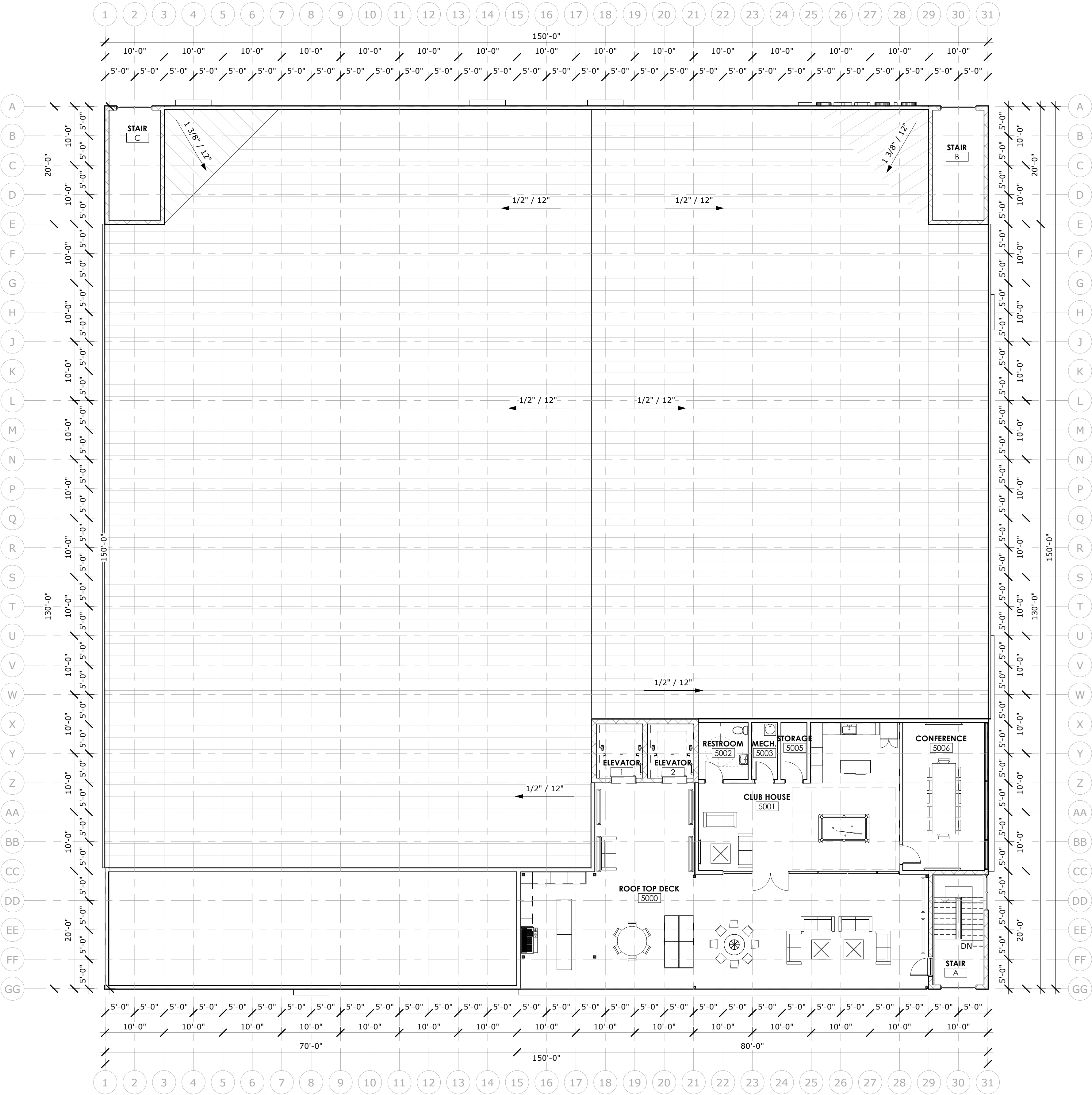
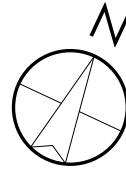
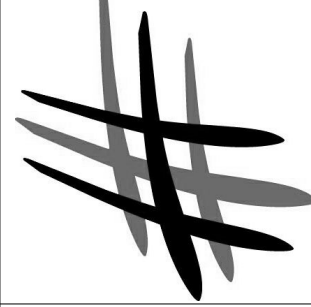
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A-2.4

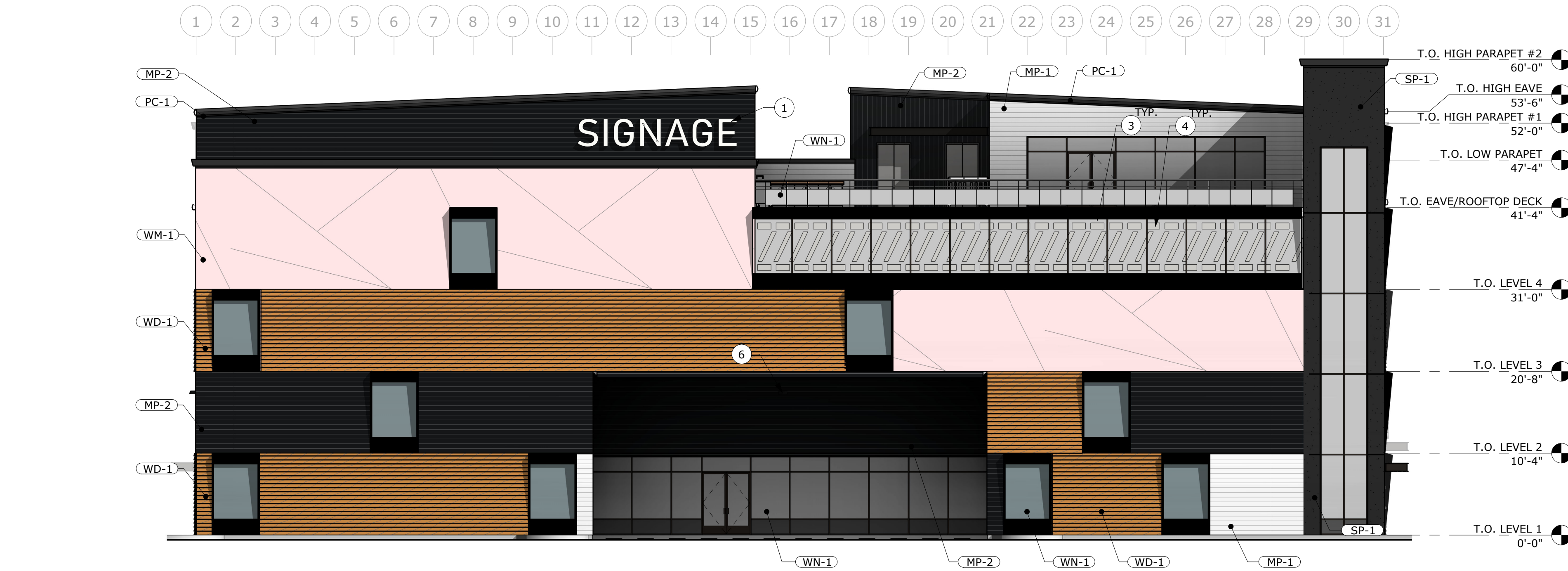
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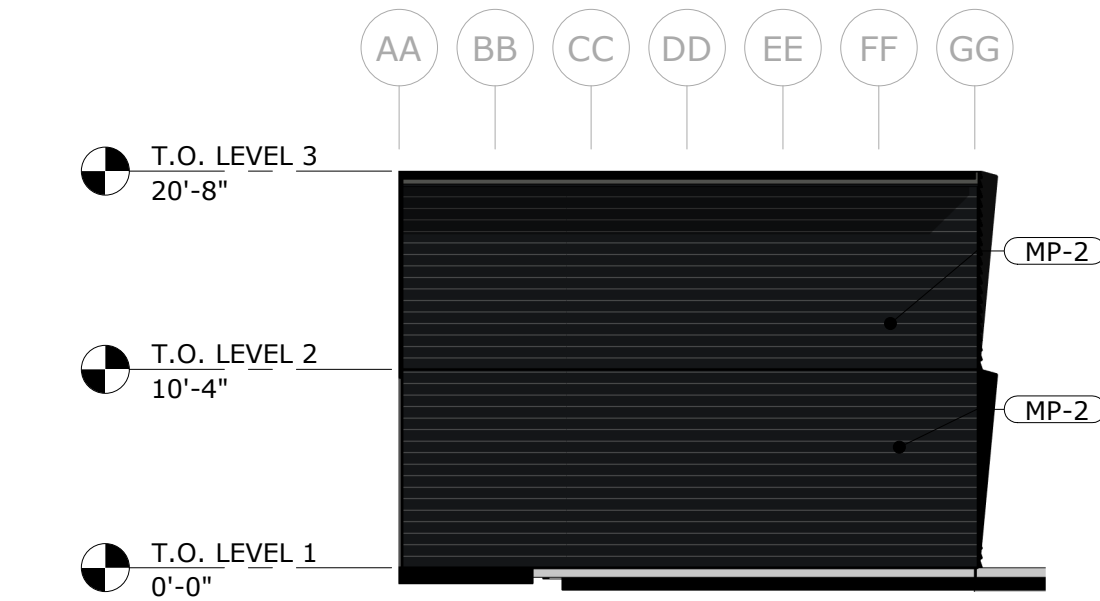
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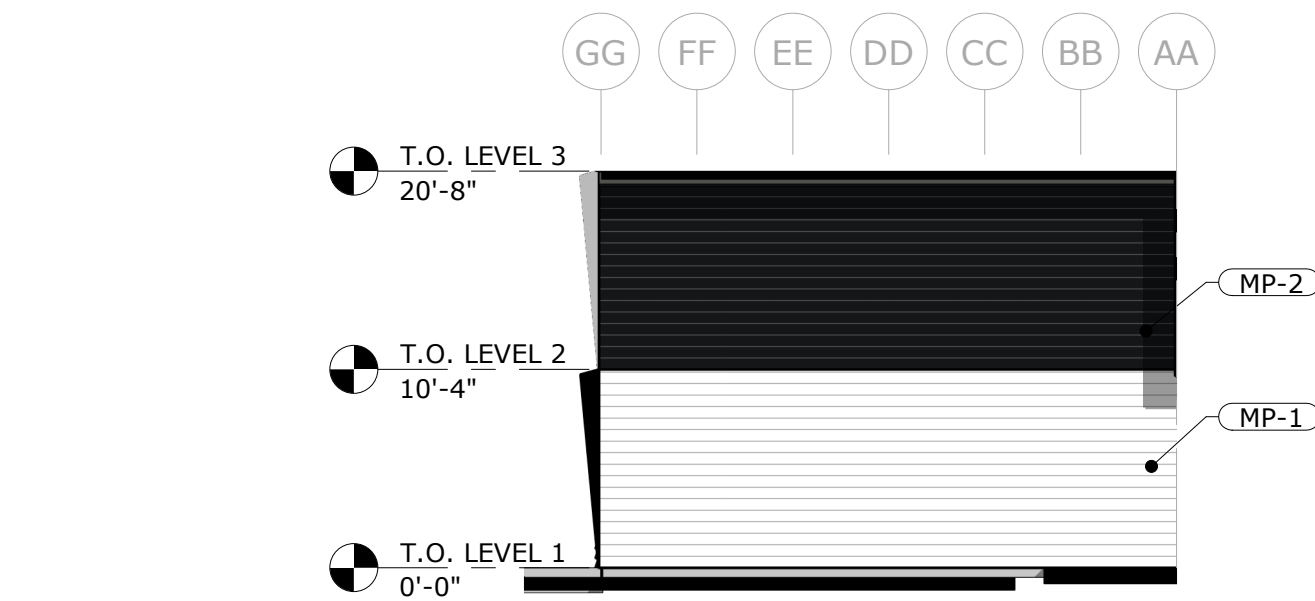
1 SOUTH EXTERIOR ELEVATION
SCALE: 1" = 10'-0"



2 NORTH EXTERIOR ELEVATION
SCALE: 1" = 10'-0"



4 LOADING BAY - WEST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"



3 LOADING BAY - EAST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"

EXT. FINISH SPECIFICATIONS

PC-1 - PARAPET CAP, GUTTER, DOWNSPOUT, SIDEWALL FLASHING:
COLOR: COAL BLACK
MANUFACTURER: MBCI® OR APPROVED EQUAL

MP-1 - HORIZONTAL METAL PANELS:
COLOR: SOLAR WHITE
PROFILE: FW-120
MANUFACTURER: MBCI®

MP-2 - HORIZONTAL METAL PANELS:
COLOR: COAL BLACK
PROFILE: FW-120
MANUFACTURER: MBCI®

WD-1 - HORIZONTAL WOOD TEXTURED CLADDING:
COLOR: DARK CHERRY
PROFILE: TONGUE & GROOVE
MANUFACTURER: LONGBOARD COMPANY®

SP-1 - STUCCO PANEL:
COLOR: DARK GRAY
FINISH: PAREX ARMOURWALL 300 (3) COAT
SYSTEM - ELASTOMERIC FINISH COAT OVER PAREX PRIMER.
MANUFACTURER: PAREX®

RP-1 - METAL ROOF PANELS
FINISH/COLOR: GALVALUME
PROFILE: ULTRA-DEK
MANUFACTURER: MBCI®

SF-1 - METAL SOFFIT PANELS
COLOR: COAL BLACK
PROFILE: 7.2 PANELS
MANUFACTURER: MBCI®

DR-1 - EXTERIOR MAN DOORS
COLOR: DARK GRAY
MANUFACTURER: CURRIES COMPANY OR APPROVED EQUAL

DR-2 - INTERIOR OVERHEAD DOORS
COLOR: GRAY
MANUFACTURER: C.H.I. OR APPROVED EQUAL

DR-4 - INTERIOR MAN DOORS
COLOR: WHITE
MANUFACTURER: C.H.I. OR APPROVED EQUAL

WN-1 - STOREFRONT SYSTEM/WINDOWS
*NOTE: SEE WINDOW SCHEDULE

AW-1 - METAL AWNINGS
COLOR: BLACK

WM-1 - PUBLIC ART/WALL MURAL AREA

KEYNOTE

##	DESCRIPTION
1	BUILDING SIGNAGE, WALL MOUNTED, SEE EXTERIOR DETAILS
2	BUILDING ADDRESS SIGNAGE, WALL MOUNTED, SEE EXTERIOR DETAILS
3	STOREFRONT SYSTEM, SEE WINDOW SCHEDULE
4	WINDOW GRAPHIC, SEE WINDOW DETAILS
5	PARAPET CAP, SEE ROOF DETAILS
6	LED EXTERIOR LIGHTING, SEE ELECTRICAL DRAWINGS.

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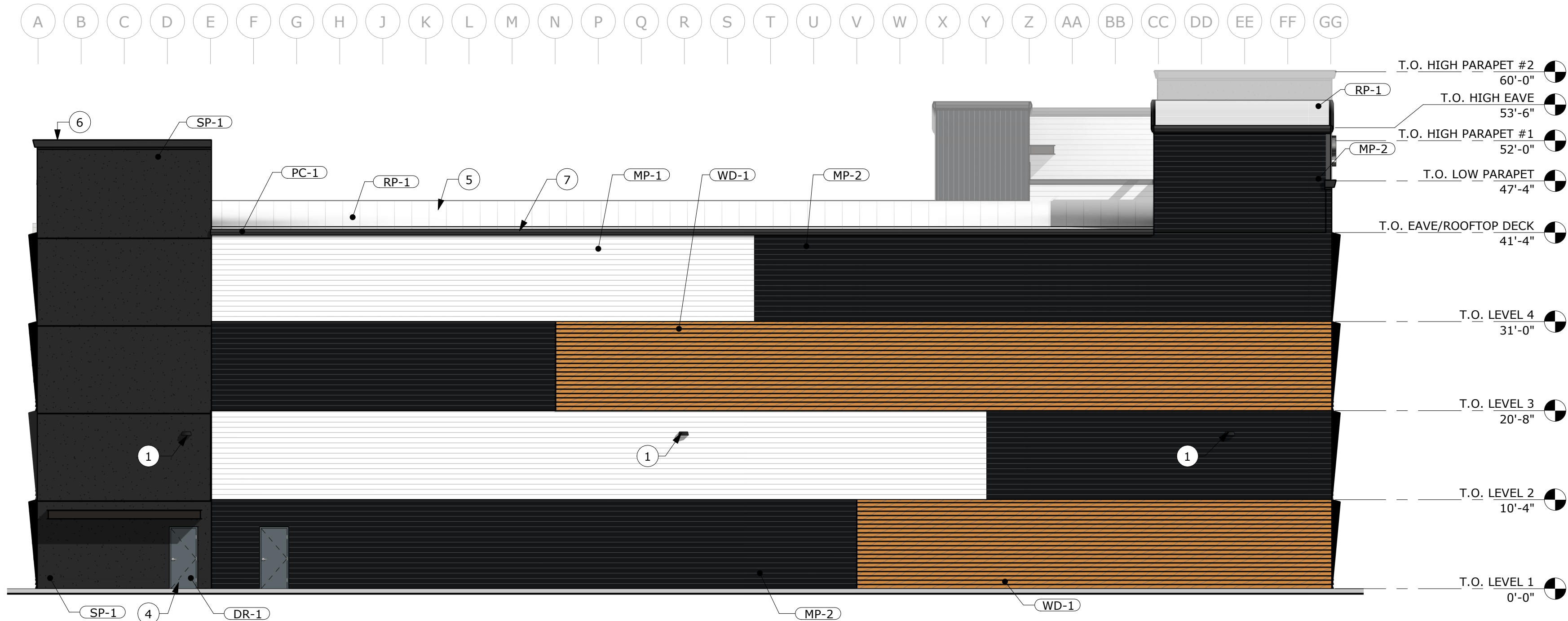
NEW CONSTRUCTION FOR:
FISHER'S GC
575 E 42ND ST., GARDEN CITY, ID 83714

DATE	DESCRIPTION	COMMENTS
DATE:	MAY 2024	
DRAWN BY:	WE	
CHECKED BY:	JH	
JOB NUMBER:	23142	
SHEET TITLE:		

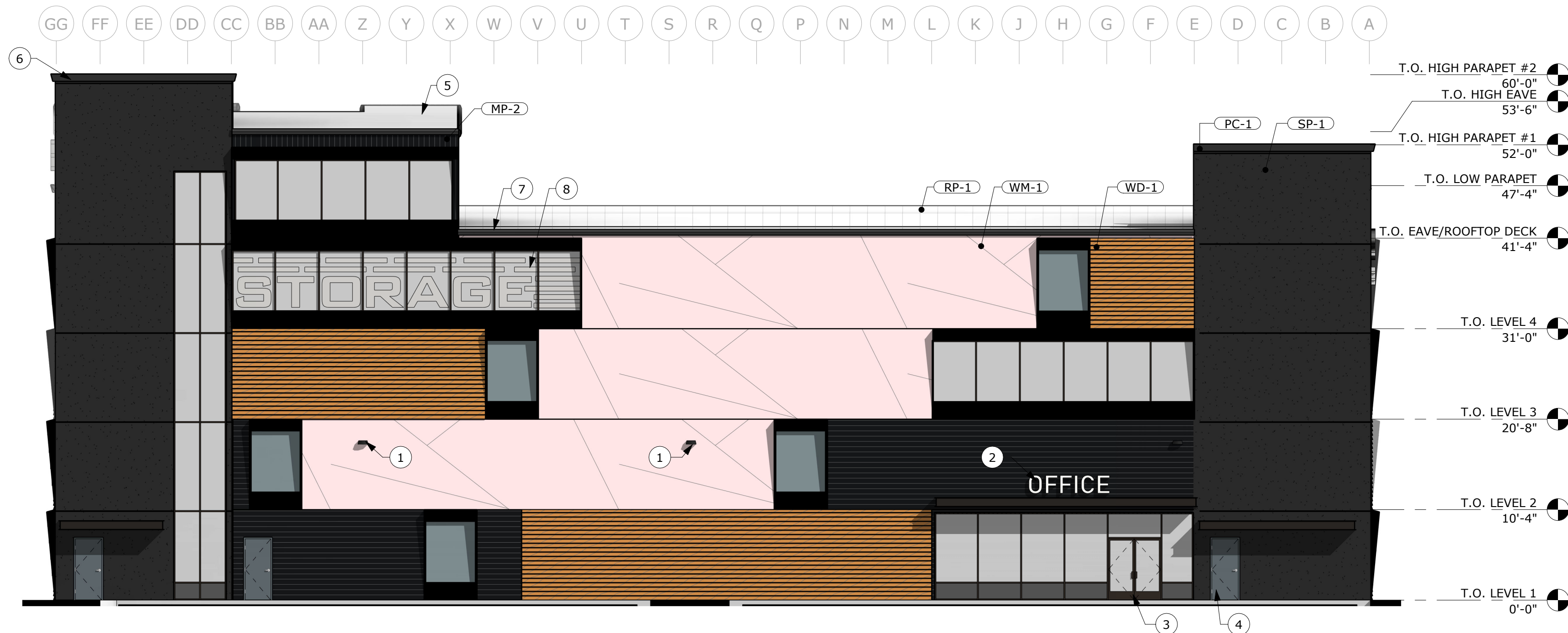
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A-4.0



1 WEST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"



2 EAST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"

EXT. FINISH SPECIFICATIONS

PC-1 - PARAPET CAP, GUTTER, DOWNSPOUT, SIDEWALL FLASHING:
COLOR: COAL BLACK
MANUFACTURER: MBCI® OR APPROVED EQUAL

MP-1 - HORIZONTAL METAL PANELS:
COLOR: SOLAR WHITE
PROFILE: FW-120
MANUFACTURER: MBCI®

MP-2 - HORIZONTAL METAL PANELS:
COLOR: COAL BLACK
PROFILE: FW-120
MANUFACTURER: MBCI®

WD-1 - HORIZONTAL WOOD TEXTURED CLADDING:
COLOR: DARK CHERRY
PROFILE: TONGUE & GROOVE
MANUFACTURER: LONGBOARD COMPANY®

SP-1 - STUCCO PANEL:
COLOR: DARK GRAY
FINISH: PAREX ARMOURWALL 300 (3) COAT
SYSTEM -ELASTOMERIC FINISH COAT OVER PAREX PRIMER.
MANUFACTURER: PAREX®

RP-1 - METAL ROOF PANELS
FINISH/COLOR: GALVALUME
PROFILE: ULTRA-DEK
MANUFACTURER: MBCI®

SF-1 - METAL SOFFIT PANELS
COLOR: COAL BLACK
PROFILE: 7.2 PANELS
MANUFACTURER: MBCI®

DR-1 - EXTERIOR MAN DOORS
COLOR: DARK GRAY
MANUFACTURER: CURRIES COMPANY OR APPROVED EQUAL

DR-2 - INTERIOR OVERHEAD DOORS
COLOR: GRAY
MANUFACTURER: C.H.I. OR APPROVED EQUAL

DR-4 - INTERIOR MAN DOORS
COLOR: WHITE
MANUFACTURER: C.H.I. OR APPROVED EQUAL

WN-1 - STOREFRONT SYSTEM/WINDOWS
*NOTE: SEE WINDOW SCHEDULE

AW-1 - METAL AWNINGS
COLOR: BLACK

WM-1 - PUBLIC ART/WALL MURAL AREA

KEYNOTE

##	DESCRIPTION
1	LED EXTERIOR LIGHTING, SEE ELECTRICAL DRAWINGS.
2	BUILDING SIGNAGE, WALL MOUNTED, SEE EXTERIOR DETAILS
3	DOUBLE MAN DOOR WITH ADA THRESHOLD, SEE DOOR SCHEDULE
4	MAN DOOR WITH ADA THRESHOLD, SEE DOOR SCHEDULE
5	METAL PANEL ROOFING, SEE ROOF PLAN
6	PARAPET CAP, SEE ROOF DETAILS
7	GUTTER, SEE ROOF DETAILS
8	WINDOW GRAPHIC, SEE WINDOW DETAILS

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NEW CONSTRUCTION FOR:

FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

DELTA | DATE | DESCRIPTION | COMMENTS

DATE: MAY 2024
DRAWN BY: WE
CHECKED BY: JH
JOB NUMBER: 23142

SHEET TITLE:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A-4.1

5/13/2024 11:03:23 AM

LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

EAST 42ND STREET

PROPOSED BUILDING

PLANTING SCHEDULE						
##	COUNT	STANDARD NAME	BOTANICAL NAME	MATURE H x W	CLASS	PLANTING SIZE
DECIDUOUS						
FP-1	7	Pear, Flowering	Pyrus calleryana	35'-45' H X 20'-30' W	II	N/A
HC-1	8	Hackberry, Common	Celtis occidentalis	40'-60' H X 40'-60' W	II	N/A
HO-1	7	Oak, Hybrids	Quercus robur x alba	35'-45' H X 12'-15' W	III	N/A
ORNAMENTAL GRASSES						
SG-1	55	Heavy Metal Switch Grass	Panicum virgatum	3' H x 3' W	N/A	1 gal.
SHRUBS						
BR-1	29	Blue Rug Juniper	Juniperus horizontalis 'Wiltonii'	.5' H X 3' W	N/A	2 gal.
ID-1	55	Ivory Halo Dogwood	Cornus alba 'Bailhalo'	5' H X 5' W	N/A	5 gal.
TOTAL: 161						

GROUND COVERAGE RECAP			
##	NAME	AREA	NOTES
MC-1	SUNBURST RED MULCH	5901 SF	LANDSCAPING
RR-1	3/4" ROUND ROCK	3110 SF	LANDSCAPING

- ### GENERAL NOTES
- NO EXISTING TREES, SHRUBS, SIDEWALKS, CURBS, LIGHTING, OR PARKING TO NOTE ON SITE.
 - PROJECT OWNER TO BE RESPONSIBLE FOR LANDSCAPE CARE & MAINTENANCE, OWNER WILL FOLLOW REQ'D MIN. OF LANDSCAPE CARE PER THE CITY'S REQUIREMENTS.
 - TREES TO BE SPACED NO CLOSER THAN 80% OF THEIR AVERAGE CANOPY WIDTH.
 - ALL LANDSCAPED AREAS SHALL HAVE AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.

- ### SYMBOL LEGEND
- FP # PLANTING TAG, SEE PLANTING SCHEDULE
 - FP FLOOR TAG, SEE GROUND COVERAGE RECAP

- ### PLANTING LEGEND
- ORNAMENTAL GRASS, SEE PLANTING SCHEDULE
 - DECIDUOUS TREE, SEE PLANTING SCHEDULE
 - SHRUB, SEE PLANTING SCHEDULE
 - 3/4" ROUND ROCK, SEE GROUND COVERAGE RECAP
 - MULCH, SEE GROUND COVERAGE RECAP

NEW CONSTRUCTION FOR:

FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

DATE: MAY 2024

DRAWN BY: RH

CHECKED BY: JLH

JOB NUMBER: 23142

SHEET TITLE:

LANDSCAPE
SITE PLAN

SHEET NUMBER:

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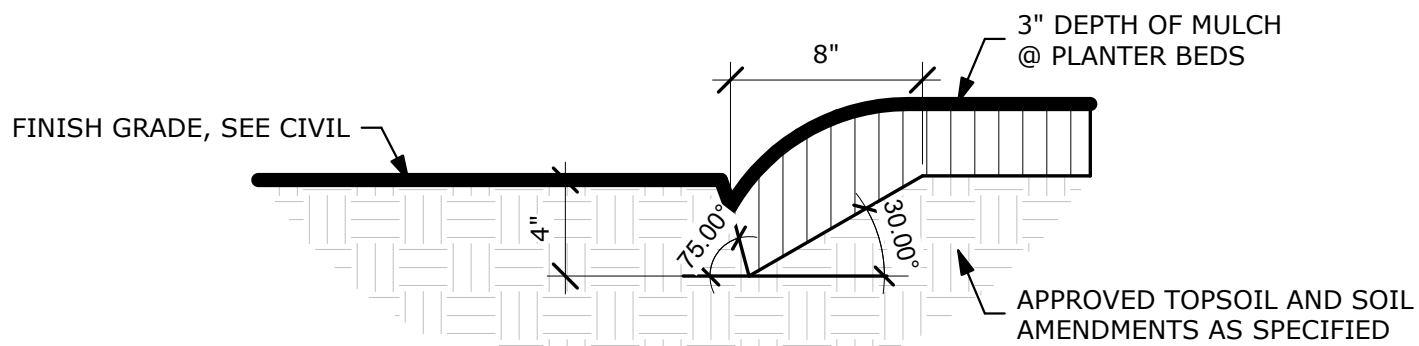
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LANDSCAPING NOTES:

1. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
2. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
3. COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
4. COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.].
7. IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
8. ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 3" MINUS BARK MULCH. SUBMIT SAMPLE FOR APPROVAL.
9. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
10. FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE CIVIL GRADING PLAN.
11. AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
12. FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
13. ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
14. REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL AND HAVE A PH OF 5.5 TO 7.0. IF ONSITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
A) PROVIDE APPROVED IMPORTED TOPSOIL, OR:
B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
15. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH:
A) OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES:
B) REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION.
ACIDITY/ALKALINITY RANGE - PH. 5.5 TO 7.6.
16. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
17. TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
18. STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
19. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

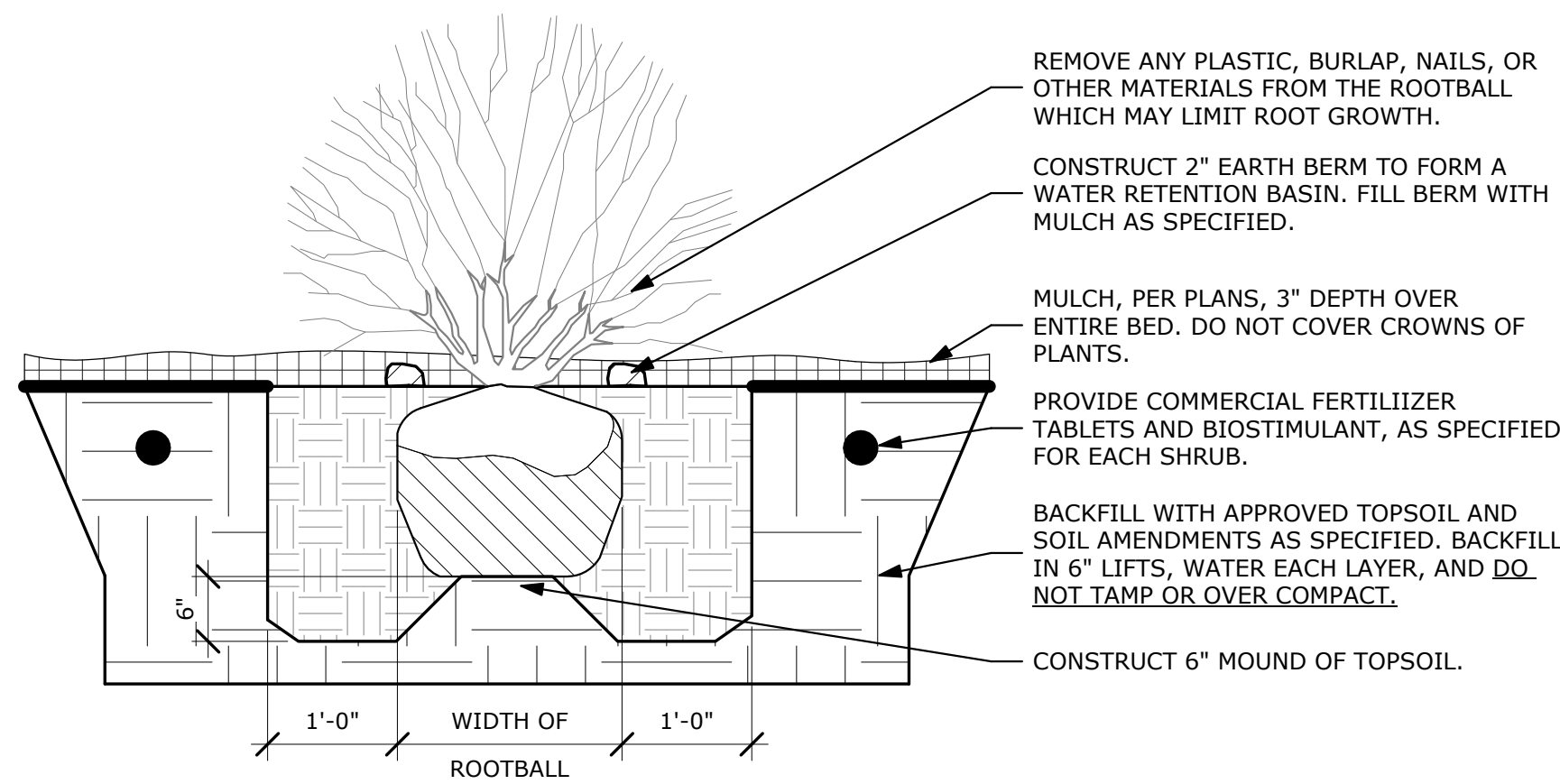
TOPSOIL NOTES:

1. TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7, FOUR PERCENT ORGANIC MATERIAL MINIMUM, FREE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
2. TOPSOIL SOURCE: STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS REQUIREMENT.
3. REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET. NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION.
4. PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED. PLACE TOPSOIL DURING DRY WEATHER. PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
5. COMPACTED TOPSOIL THICKNESS AT THE FOLLOWING AREAS:
A) LAWN AREAS: 9 INCHES MINIMUM OR AS NECESSARY TO ACHIEVE EVEN GRADES WITH SURROUNDING LAWN AREAS.
B) PLANTER BEDS: 18 INCHES MINIMUM
6. FINE GRADE TOPSOIL TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES. FINISH GRADE OF TOPSOIL SHALL BE 2" BELOW FINISH GRADE OF PAVEMENTS AREAS FOR SOD AND 1" FOR SEED.
7. TOPSOIL STOCKPILE LOCATIONS TO BE COVERED COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.
8. ALL GRAVEL, SUBBASE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL ONLY BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS. NO GRAVEL OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.



1 PLANTER BED CUT EDGE

SCALE: 1 1/2" = 1'-0"

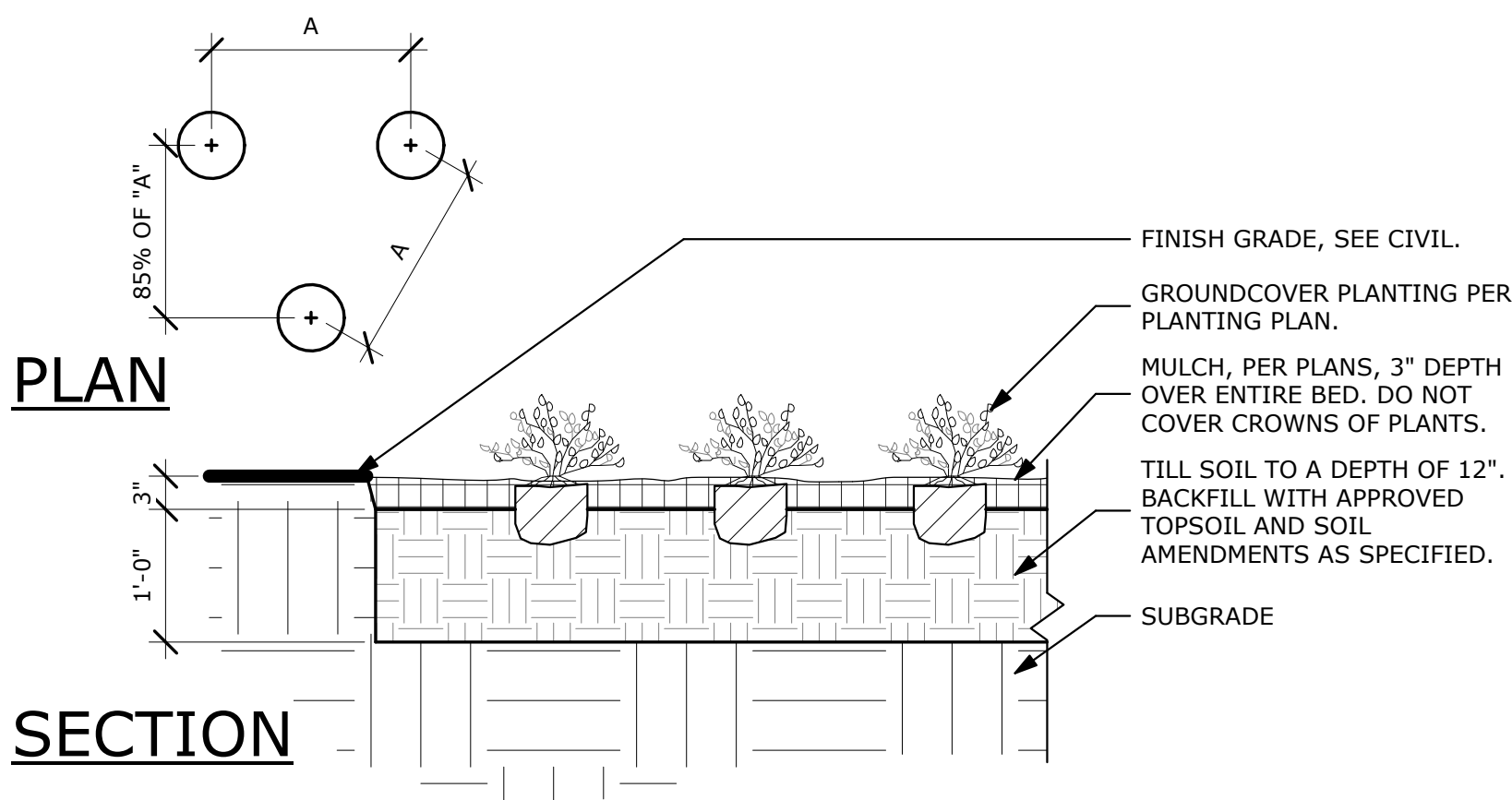


NOTES:

1. SHRUB SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT DID IN NURSERY.
2. WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
3. THIN BRANCHES AND FOLIAGE BY 1/3.
4. DO NOT CUT LEADERS TO RETAIN NATURAL SHRUB SHAPE.
5. FOR CONTAINER GROAN PLANTS THAT ARE ROOTBOUND SPLIT THE ROOTBALL WITH 3 SHRUB PLANTING/ERTICAL CUTS.

2 SHRUB PLANTING/ERTICAL CUTS

SCALE: 3/4" = 1'-0"



PLAN

SECTION

NOTES:

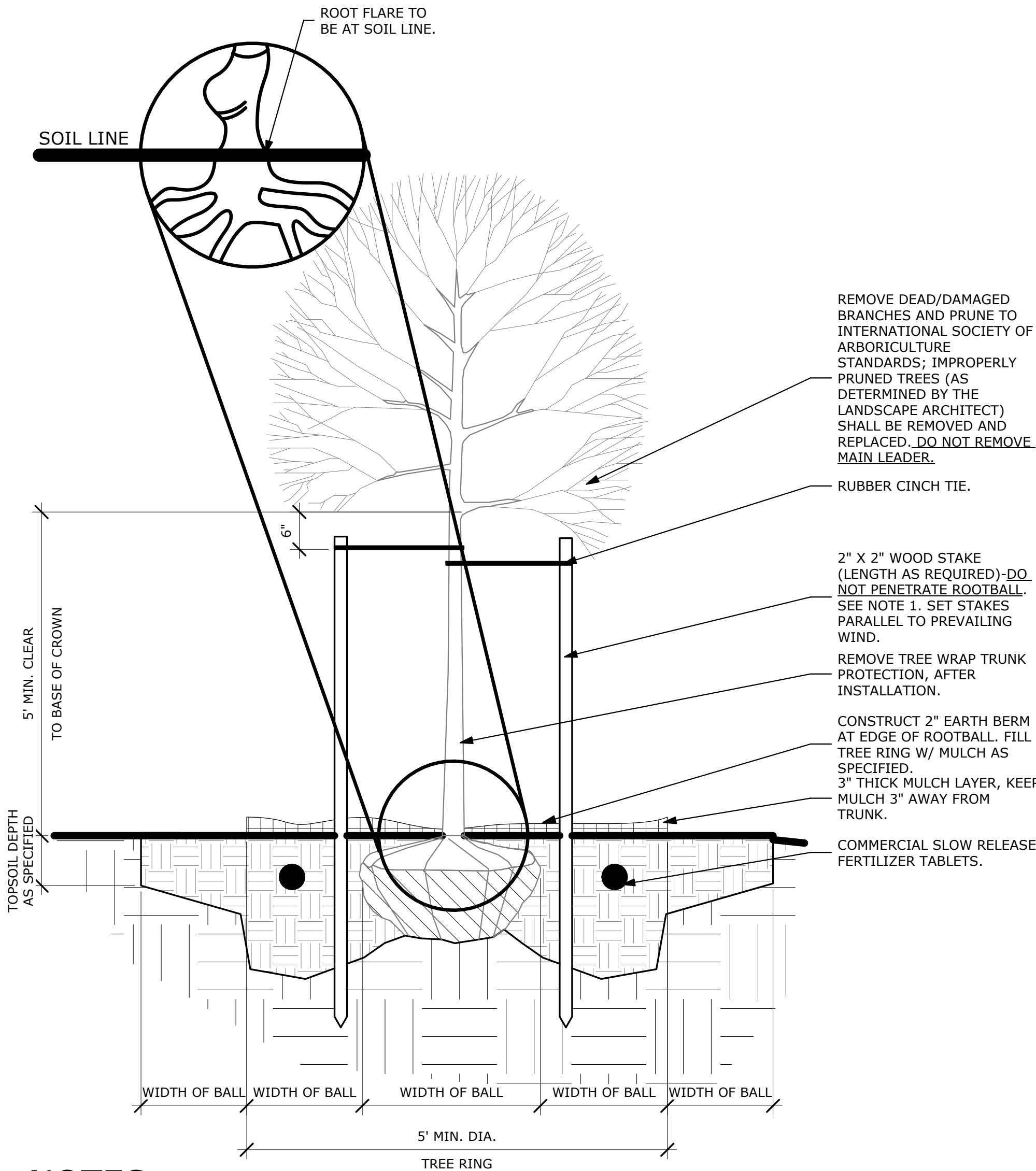
1. ALL GROUND COVER PLANTS TO BE PLANTED ON CENTER IN A TRIANGULAR PATTERN.
2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S

3 GROUND COVER PLANTING IS TO ALL GROUND COVER BEDS.

SCALE: 3/4" = 1'-0"

IRRIGATION NOTES:

1. GROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ANNUALS, PERENNIALS GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP SPRAY SYSTEM.
5. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
A) PRECISE INDIVIDUAL STATION TIMING.
B) RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES.
C) AT LEAST ONE PROGRAM FOR EACH HYDROZONE.
D) SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF.
E) POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
6. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
8. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.



NOTES:

1. REMOVE BURLAP, TWINE, AND WIRE BASKET FROM TOP 2/3 OF ROOTBALL. REMOVE ALL NAILS, TIES, AND PLASTIC FROM ROOTBALL. IF SYNTHETIC BURLAP IS UTILIZED TO WRAP THE ROOTBALL, IT SHALL BE COMPLETELY REMOVED. ONLY BIODEGRADABLE BURLAP SHALL BE LEFT ON THE BOTTOM OF THE ROOTBALL.
2. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
3. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
5. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
6. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
7. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
8. FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8'-0" IN WIDTH, PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR

4 DECIDUOUS TREE PLANTING

SCALE: 3/4" = 1'-0"

WEED ABATEMENT NOTES:

1. ALL AREAS TO BE PLANTED OR HYDROSEEDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
2. CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH "ROUND-UP" (CONTACT HERBICIDE) OR APPROVED EQUAL.
3. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
4. CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
5. APPLY SECOND APPLICATION OF "ROUND-UP" TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
6. IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
8. AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.

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NEW CONSTRUCTION FOR:

FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

DATE: MAY 2024
DRAWN BY: RH
CHECKED BY: JHL
JOB NUMBER: 23142
SHEET TITLE: LANDSCAPE DETAILS
SHEET NUMBER: L-1.1