



PLANNED UNIT DEVELOPMENT APPLICATION

Permit info: DSRFY2024-0013

Application Date: 6/14/2024

Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Jeff Hatch	Name: Chris Taylor
Company: Hatch Design Architecture	Company: TSJ LLC
Address: 200 W. 36th Street	Address: 575 E. 42nd St
City: Garden City	City: Garden City
State: ID Zip: 83714	State: ID Zip: 83714
Tel.: 208-475-3204	Tel.: 208-484-5629
E-mail: jeff@hatchda.com	E-mail: ctaylor@fisherstech.com

PROPERTY INFORMATION

Site address: 575 E. 42nd St

Subdivision Name: Fairview Acres 03	Lot: 25	Block: 16
Tax Parcel Number: R2734520952	Zoning: C-2	Total Acres: 2.62
Proposed Use: Storage, retail, and office	Floodplain: YES	NO x

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

Signature of the Applicant (date)

Signature of the Owner (date)

Please see application narrative.

APPLICATION INFORMATION

If an application for a final plat, has there been any changes since the preliminary plat?
Y/ N

Number of residential lots_____ Number of commercial lots_____ Number of mixed
use lots_____ Number of common lots_____
Square feet of common open space_____
Are any improvements planned within the common open space area? If so, specify.

What public services and facilities are required for this development? _____Fire
Protection _____Police Protection _____Water _____Sewer _____Drainage
_____Streets _____Schools

What housing types are proposed? MARK ALL THAT APPLY
Single Family_____ Condos_____ Townhomes_____ Live/Work_____
Manufactured/ Mobile Homes_____ N/A_____

Describe how this application provides a maximum choice of living environments by
allowing a variety of housing and building types, and permitting an increased density
per acre and a reduction in lot dimensions, yards, building setbacks and area
requirements

Is this plat a portion of a larger land holding intended for subsequent development? If
yes, please explain.

Is the project within the Floodplain?

Are there any proposed uses not allowed in the zoning district where the project is
located? If so, specify. If so, what is the gross land area devoted to such uses?

What is the effect of this site development on roadways and traffic conditions?

Are there new roads proposed/required?

Are there new ingress/egress being proposed?

How has off-street parking and loading been arranged and sized to prevent traffic
congestion?

How has vehicular and pedestrian circulation been arranged with respect to
adjacent facilities and internal circulation?

Has there been connection to or access provided for future connections to bicycle
and pedestrian pathways or regional transit?

What is the effect of this site development on the adequacy of storm and surface
water facilities?

How does this application use land more efficiently than is generally achieved
through conventional development resulting in substantial savings through shorter
utilities and streets?

How does this project create a more useful pattern of open space and recreation areas; and, if proposed as part of the project, more convenience in the location of accessory commercial uses, industrial uses and services?

How will the design create a sense of place (usable open space, public art, visual focus points)?

How does this application develop a land pattern in harmony with land use density, transportation, and community facilities objectives of the comprehensive plan?

What neighborhood characteristics exist or are planned which make this development compatible with the neighborhood and adjoining properties?

How does this application establish a development pattern which preserves and utilizes natural topography and geologic features, scenic vistas, trees and other vegetation and prevents the disruption of natural drainage patterns?

How has landscaping been used to protect existing trees, utilize existing features, create harmony with adjacent development and prevent erosion and dust?

What type of water will be used for landscaping? _____ Irrigation - Non-Potable
_____ Irrigation - Potable _____ City Water System

Have native or drought resistant plants been utilized in the landscaping plan? If so what types and what percentage of the overall landscape is dedicated to these plants?

What sustainable concepts have been incorporated into the design?

APPLICATION INFORMATION REQUIRED

NOTE:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

FOUR (1) HARD COPIES OF EACH CHECKLIST ITEM REQUIRED

<input checked="" type="checkbox"/>	Preliminary Title Report	<input checked="" type="checkbox"/>	Lighting Plan
<input checked="" type="checkbox"/>	Neighborhood Map	<input type="checkbox"/>	Neighborhood Meeting Verification
<input type="checkbox"/>	Subdivision Map	<input type="checkbox"/>	Approved Addresses Waiver requested
<input checked="" type="checkbox"/>	Compliance Statement	<input type="checkbox"/>	Covenants and Deed Restrictions Waiver requested
<input checked="" type="checkbox"/>	Statement of Intent	<input checked="" type="checkbox"/>	Legal Description
<input checked="" type="checkbox"/>	Ability to Serve/Will Serve Letter	<input type="checkbox"/>	Irrigation/Ditch Company Information Form
<input checked="" type="checkbox"/>	Affidavit of Legal Interest	<input type="checkbox"/>	Affidavit of Posting and Photos (Due 10 days before the hearing)
<input type="checkbox"/>	Master Plan		
<input checked="" type="checkbox"/>	Site Plan		
<input checked="" type="checkbox"/>	Landscape Plan		
<input checked="" type="checkbox"/>	Schematic Drawings		
<input type="checkbox"/>	Topographic Survey Waiver requested		
<input type="checkbox"/>	Grading Plan Waiver requested		
<input type="checkbox"/>	Hydrology Report Waiver requested		
<input type="checkbox"/>	Natural Hazard and Resources Analysis Waiver requested		

PLEASE CHECK THE FOLLOWING:

INFORMATION FOR PRELIMINARY TITLE REPORT:

- ☐ Document confirming property has been purchased contingent to approvals by city and other agencies
- ☐ Document should confirm if there are liens on property and if there are other issues with title
- ☐ Document typically generated by lender or title company

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☐ 8 ½" x 11" size minimum
- ☐ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☐ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SUBDIVISION MAP:

- ☐ 30" x 42" minimum size
- ☐ Scale no less than one inch (1") to one hundred feet (100')
- ☐ The names, addresses, and telephone numbers of the planners, engineers, surveyors or other persons who designed the subdivision and prepared the plat
- ☐ The legal description of the proposed subdivision, and a topographical map showing the proposed subdivision at a scale of not less than one inch (1") to one hundred feet (100')
- ☐ The intended use of the lot such as: residential single-family, duplex, townhouse and multiple housing, commercial, industrial or recreational;
- ☐ A proposed building envelope shall be designated and dimensioned on each lot to demonstrate that a building can comply with the required setbacks. This building footprint is not binding on future building on the lot.
- ☐ Streets and public rights of way, including proposed street names and dimensions
- ☐ Blocks, if any, building envelopes and lot lines as required by subsection 10-4-4F of this Title, showing the dimensions and numbers of each. In addition to providing this information on the plat or supporting addenda, the applicant shall stake the perimeters of each lot and the center of its building envelope sufficiently to permit the Commission to locate the same when inspecting the site of the proposed subdivision
- ☐ Contour lines, shown at two foot (2') intervals, reference to an established bench mark, including location and elevation
- ☐ Location of any proposed or existing utilities, including, but not limited to, domestic water supply, storm and sanitary sewers, irrigation laterals, ditches, drainages, bridges, culvers, water mains, fire hydrants, and their respective profiles
- ☐ Location of bicycle parking
- ☐ Location of existing and proposed street lights
- ☐ Location of existing and proposed pedestrian and bicycle pathways

INFORMATION REQUIRED ON MASTER PLAN:

- ☐ The master plan is a plan that includes narrative information and illustrations about the proposal
- ☐ The required narrative information shall be as follows:

- a. Description of the vision for the Master Plan area, including design guidelines, land uses and phasing of development
- b. A range of square footage, density, site coverage, and locational distribution of land uses;
- c. Description of a circulation plan for autos, bicycles, transit, and pedestrians within the site and to other off site systems including the Boise River Greenbelt and other waterways
- d. Description of the amenities within the site including both natural and manmade
- e. Description of the general mass, scale, and character of the buildings
- f. Summary of general public facility requirements to serve the development; and
- g. Proposal for incorporation of existing structures in future development plans
- ☐ The required illustrative plans shall be as follows:
 - a. A map showing property dimensions and legal description
 - b. A map showing existing and proposed building footprints
 - c. A map showing the circulation system including streets, alleys, parking, pedestrian walkways and linkages both within and outside the district.
 - d. A diagram showing development parcels, maximum unit densities, site ingress and egress, and relationship of development to public amenities, public facilities, and/or open site area
- ☐ A section showing the relationship of the buildings, public spaces and the street edge to adjacent properties

INFORMATION REQUIRED ON SITE PLAN:

- ☐ 24" x 36" size minimum
- ☐ Scale not less than 1" = 20', legend, and north arrow.
- ☐ Property boundary, dimensions, setbacks and parcel size.
- ☐ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☐ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☐ Adjacent public and private street right of way lines
- ☐ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☐ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☐ Driveways, access to public streets, parking with stalls, loading areas.
- ☐ Sidewalks, bike and pedestrian paths.
- ☐ Berms, walls, screens, hedges and fencing.
- ☐ Location and width of easements, canals, ditches, drainage areas.
- ☐ Location, dimensions and type of signs.
- ☐ Trash storage and mechanical equipment and screening.
- ☐ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☐ Log depicting square footage of impervious surface, building and landscaping
- ☐ Location and height of fences and exterior walls
- ☐ Location and dimensions of outdoor storage areas
- ☐ Location of utilities and outdoor serviced equipment and areas
- ☐ Location of any proposed public art

- ☐ Location of any proposed exterior site furniture
- ☐ Location of any exterior lighting
- ☐ Location of any existing or proposed signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- ☐ 24" x 36" size minimum
- ☐ Scale the same as the site plan.
- ☐ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☐ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☐ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- ☐ Cross section through any special features, berms, and retaining walls.
- ☐ A plant list of the variety, size, and quantity of all proposed vegetation
- ☐ Log of square footage of landscaping materials corresponding to location
- ☐ Proposed storm water systems
- ☐ Locations and dimensions of open space

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS :

- ☐ 11" x 17" size minimum
- ☐ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☐ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☐ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☐ Overall dimensions of all proposed structures
- ☐ Specifications on exterior surface materials and color
- ☐ Sample materials (as determined by the staff)

INFORMATION FOR TOPOGRAPHIC SURVEY:

- ☐ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20'). If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site.

INFORMATION REQUIRED ON GRADING PLAN:

- ☐ 11" x 17" size minimum
- ☐ Scale not less than one inch equals twenty feet (1" = 20')
- ☐ Two foot (2') contours for the entire proposal site
- ☐ One foot (1') contours for details, including all planimetric features
- ☐ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☐ Existing easement and utility locations
- ☐ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surfaces

- ☐ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ☐ Proposed storm water systems

INFORMATION FOR HYDROLOGY REPORT:

- ☐ Prepared by a licensed engineer
- ☐ Description of the hydrological conditions existing within the proposed site, the adequacy of the existing conditions for the proposed project and the design criteria for any recommended corrective measures
- ☐ Map or drawing showing existing surface drainage patterns in the proposed site and identifying any anticipated changes in those patterns due to the project development
- ☐ For preliminary plat: Preliminary plans and approximate locations of all surface and subsurface drainage devices or other devices to be employed in controlling drainage water within the project site, including proposed, existing, and natural drainage swales, culverts, catch basins, and subsurface drain piping
- ☐ For final plat: A storm drainage plan shall be submitted showing compliance with the standards of section 8-4B-1. The storm drainage plan shall include:
 - a. A map indicating the on-site and off-site drainage applicable to the site
 - b. Detailed engineering plans of all subsurface drainage improvements to be constructed as a part of the proposed development
 - c. Location of all drainage easements, or drainage rights of way
- ☐ For a subdivision within a floodplain, documentation shall be provided that will show and explain at the following to demonstrate conformance with Chapter 3, Article B. Flood Hazard. Location of all planned improvements:
 - a. The location of the floodway and the floodway fringe per engineering practices as specified by the Army Corp of Engineers
 - b. The location of the present water channel
 - c. Any planned re-routing of waterways
 - d. All major drainage ways
 - e. Areas of frequent flooding
 - f. Means of flood proofing buildings, and means of insuring loans for improvements within the floodplain

INFORMATION FOR NATURAL HAZARD AND RESOURCES ANALYSIS:

- ☐ Prepared by a licensed engineer
- ☐ The natural hazards and resources analysis shall provide an inventory and recommendation regarding natural conditions existing on the site.
- ☐ The analysis shall include: significant natural resources existing on the site shall be identified including vegetation; fish and wildlife habitat; and water, including streams and riparian zones. A plan for preservation and/or mitigation of significant resources should be prepared by a qualified professional.
- ☐ For subdivisions within a floodplain: Detailed information on the nature, source, and extent of the hazard and the proposed actions to minimize or eliminate danger to public health, safety or property. The analysis shall include the following information:
 - a. The location of existing water channels and drainage ways, floodway, flood plain and base flood elevation
 - b. The location of all planned improvements including dams, dikes, and similar structures

- c. All planned diversions, alterations or rerouting of channels and drainage ways.

INFORMATION FOR DEDICATIONS AND EASEMENTS:

- ☐ The statement of intent for dedications and/or easements shall include the location, size, dimensions, and purpose.

INFORMATION FOR COVENANTS AND DEED RESTRICTIONS:

- ☐ The draft of any proposed covenants and deed restrictions to be recorded with the plat or plat amendment.

INFORMATION FOR WILL SERVE LETTER:

- ☐ A document from the City Engineer certifying that a property has adequate access to city services.

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☐ Statement must include a list of the application materials to be waived and an explanation for the request.

INFORMATION REQUIRED ON COMPLIANCE STATEMENT:

- ☐ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application

INFORMATION FOR STATEMENT OF INTENT:

- ☐ Should include purpose, scope, and intent of project
☐ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION FOR LEGAL DESCRIPTION:

- ☐ A document legally describing the property.
☐ Must have Ada County instrument number or county seal inscribed.

INFORMATION FOR SKETCH PLAT:

- ☐ A plat preliminary to the preparation of a preliminary plat that show the basic outline of the plat, including lots, roads, and dedicated sites.
☐ Required for subs with 4 or more proposed lots

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☐ 8 ½" x 11" size minimum
☐ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
☐ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON LIGHTING PLAN:

- ☐ 11" x 17" size minimum
☐ Location, type, height, lumen output, and luminance levels of all exterior lighting
☐ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements

- ☐ Location of municipal street lights

INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION:

- ☐ Copy of notice sent to property owners within 300' of an applicable property
- ☐ List of notice recipients with names and addresses
- ☐ Sign-up sheet from meeting

INFORMATION FOR AFFIDAVIT OF LEGAL INTEREST:

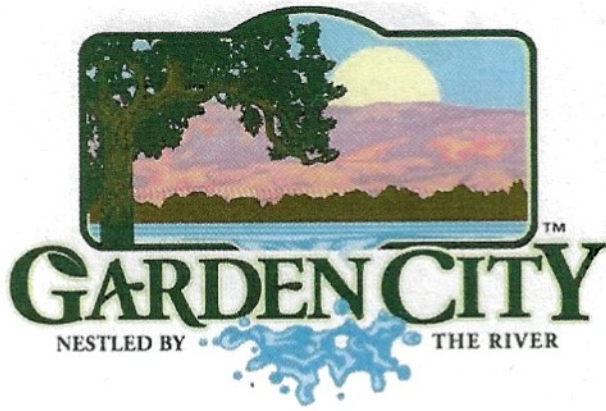
- ☐ A signed affidavit indicating legal interest in a property and application

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

- ☐ Required if irrigation canal/irrigation ditch runs through property or along property lines

INFORMATION FOR AFFIDAVIT OF PROPERTY POSTING AND PHOTOS:

- ☐ A signed affidavit affirming that the required sign has been posted on the property ten (10) days before the hearing
- ☐ Photos (digital or print) of posted sign
- ☐ Photos of posted sign must be clear enough to read the text



6015 Glenwood Street • Garden City, Idaho 83714
Phone 208 - 472-2921 • Fax 208 - 472-2926
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS
County of Ada)

I, Chris Taylor, 575 E 42nd Street
Name Address
Garden City, ID 83714
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission

to Jeff Hatch - Hatch Design Architecture, 200 W. 36th Street, Garden City, ID 83714
Name Address

to submit the accompanying application pertaining to that property.

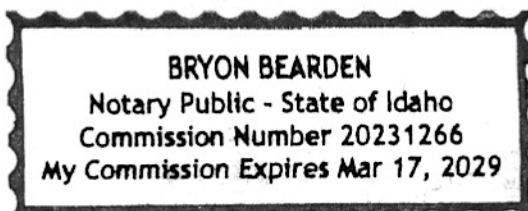
2. I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Dated this 11th day of June, 2024

[Signature]
Signature

Subscribed and sworn to before me the day and year first above written



[Signature]
Notary Public for Idaho

Residing at: Boise, ID

My Commission expires March 17, 2029

WHEN RECORDED, MAIL TO:

Judson B. Montgomery
Givens Pursley LLP
601 W. Bannock Street
Boise, Idaho 83702

AT 139198

SPECIAL WARRANTY DEED

FOR VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, MR Investments, LLC, an Idaho limited liability company ("Grantor"), does hereby convey to TSJ LLC, an Idaho limited liability company ("Grantee"), whose address is 575 E. 42nd Street, Garden City, Idaho, the real property ("Property") situated in the County of Ada, State of Idaho, more particularly described in Exhibit A attached to this Deed.

TOGETHER with all tenements, appurtenances, interests, privileges and easements appurtenant thereto including, without limitation, any and all water rights and mineral rights, and any and all improvements located thereon.

SUBJECT TO current taxes and assessments, patent reservations, all covenants, conditions, restrictions, reservations, easements and declarations or other matters of record (collectively "Permitted Exceptions").

Grantor warrants that it is the owner in fee simple of the Property, that the Grantor has not conveyed any interest in the Property to any person other than Grantee, and that the Property is free from all encumbrances created or suffered by Grantor, except the Permitted Exceptions, and that Grantor will warrant and defend the same against all lawful claims of all persons claim by, through or under Grantor.

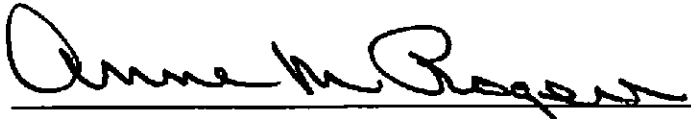
[signature page follows]

IN WITNESS WHEREOF, Grantor has executed this Special Warranty Deed as of the 8th day of June, 2012.

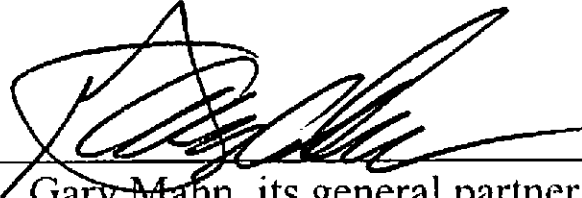
GRANTOR:

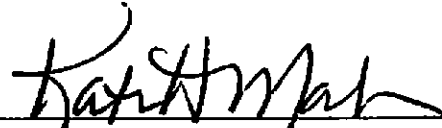
MR Investments, LLC, an Idaho limited liability company

By: Rogers Limited Partnership, its member

By: 
Anne M. Rogers, its general partner

By: Mahn Investments, L.P., its member

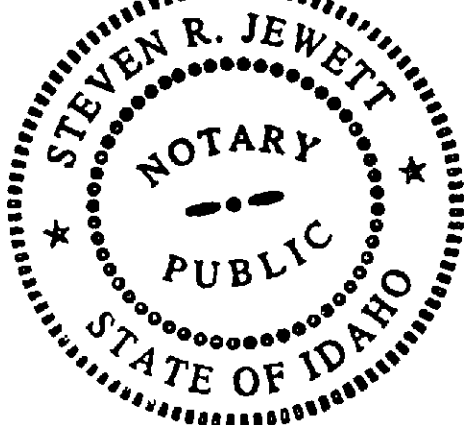
By: 
Gary Mahn, its general partner

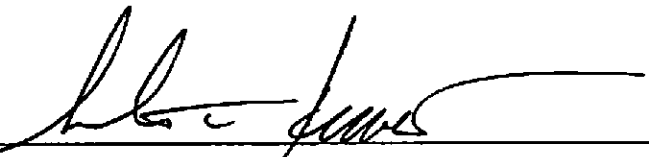
By: 
Kathleen Mahn, its general partner

STATE OF IDAHO)
) ss.
County of Ada)

On this 8th day of June, 2012, before me, Steven R. Jewett, a Notary Public in and for said State, personally appeared Anne M. Rogers, known or identified to me to be the general partner of Rogers Limited Partnership, an Idaho limited partnership, a member of MR Investments, LLC, an Idaho limited liability company, the member or one of the members who subscribed said the limited liability company name to the foregoing instrument, and acknowledged to me that such limited partnership executed the same in said limited liability company name.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

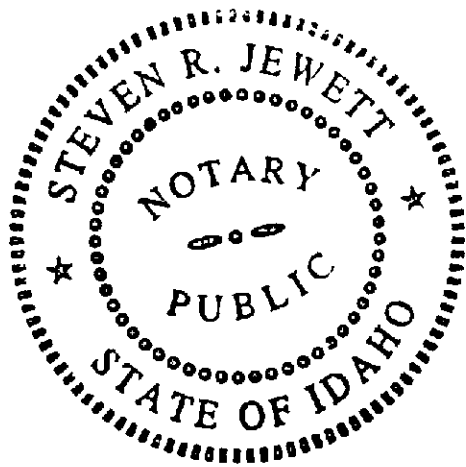



Notary Public for Idaho
Residing at Boise
My commission expires 11/5/2016

STATE OF IDAHO)
) ss.
County of Ada)

On this 8th day of June, 2012, before me, Steven R. Jewett, a Notary Public in and for said State, personally appeared Gary Mahn and Kathleen Mahn, known or identified to me to be the general partners of Mahn Investments L.P., an Idaho limited partnership, a member of MR Investments, LLC, an Idaho limited liability company, the member or one of the members who subscribed said the limited liability company name to the foregoing instrument, and acknowledged to me that such limited partnership executed the same in said limited liability company name.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



[Signature]
Notary Public for Idaho
Residing at Boise
My commission expires 11/5/2016

EXHIBIT A TO SPECIAL WARRANTY DEED

LEGAL DESCRIPTION OF PROPERTY

A parcel of land being all of Lot 25 and part of Lot 26, Block 16, Fairview Acres No. 3 Subdivision and an adjoining unplatted parcel all being in U.S. Government Lot 8 in the Southwest 1/4 of Section 32, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, and as shown on Record of Survey No. 3867, Instrument No. 97035505, in the Ada County Recorder's Office more particularly described as follows:

Commencing at a point marking the section corner common to Sections 31 and 32 in T.4N., R.2E., B.M., and Sections 5 and 6 in T.3N., R.2E., B.M.; thence,
South 89°00'30" East 2663.32 feet to a brass cap marking the 1/4 section corner common to said Sections 32 and 5; thence,
South 68°48'30" West, 524.85 feet to a found 1" square steel pin at the intersection of the centerline of East 41st Street and Adams Street; thence along the centerline of Adams Street,
North 45°44'00" West 650.04 feet to a found 1" square steel pin at the intersection of East 42nd Street and Adams Street centerlines; thence along the centerline of East 42nd Street,
North 44°15'59" East, 625.00 feet to a point; thence leaving said centerline,
South 45°44'01" East, 25.00 feet to an iron pin on the Southeasterly right-of-way line of East 42nd Street; thence along said right-of-way line
North 44°15'59" East, 246.94 feet to a point being the REAL POINT OF BEGINNING;
thence continuing,
North 44°15'59" East, 268.06 feet to a point on the Southwesterly bank of the Boise River;
thence, leaving said bank,
South 1°42'24" East, 87.84 feet to an iron pin; thence,
South 27°17'53" East, 186.41 feet to an iron pin on the Northwesterly right-of-way line of the proposed Adams Street/Stilson Road connecting River Crossing; thence along said right-of-way line,
South 44°15'59" West, 95.00 feet to an iron pin; thence
South 41°24'14" West, 71.74 feet to a point; thence,
North 41°22'11" West, 244.39 feet to the REAL POINT OF BEGINNING.

EXCEPT that portion described in Disclaimer of Interest recorded May 13th, 1997 as Instrument No.: 97037111, being a portion of Government Lot 8 lying in the Southeast Quarter of the Southwest Quarter of Section 32, Township 4 North, Range 2 East of the Boise Meridian, Garden City, Idaho, being more particularly described as follows:

Commencing at an iron pin marking the intersection of Adams Street and East 42nd Street; thence along the centerline of said East 42nd Street
North 44°15'59" East 625.00 feet to a point; thence leaving said centerline,
South 45°44'01" East 25.00 feet to a point on the Southerly right-of-way of said East 42nd Street, said point also marking the Northwest corner of Lot 28 of Block 16 of Fairview Acres No. 3 Subdivision, recorded in Book 11 of Plats at Page 617 lying in the Southeast Quarter of the Southwest Quarter of said Section 32; thence along said Southerly right-of-way,
North 44°15'59" East 509.39 feet to an iron pin on the South Bank of the Boise River as established by the Idaho Department of Lands, said pin being the REAL POINT OF BEGINNING; thence continued,
North 44°15'59" East 5.61 feet into the Boise River to a point on the original 1868 survey of the meander line of the Boise River; thence,

South 1°42'24" East 10.83 feet along said meander line to a point on the South bank of the Boise River; thence,
North 31°50'48" West 8.02 feet along said South bank of the Boise River returning to the REAL POINT OF BEGINNING.

AND

A parcel of land previously being public right-of-way created by the plat of Fairview Acres Subdivision No. 3, located in the Southwest 1/4 of Section 32, Township 4 North, Range 2 East of the Boise Meridian, Garden City, Ada County, Idaho, being more particularly described as follows:

Commencing at the Southwest corner of Lot 9, Block 17, Fairview Acres Subdivision No. 3 as recorded in Book 11 of Plats at Page 617, Ada County Recorder's Office, thence N 44°16'00" E, 123.78 feet along the Northwesterly right-of-way of East 42nd Street to a point; thence 39.27 feet along a curve to the right, said curve having a radius of 25.00 feet, a central angle of 90°00'00", a tangent of 25.00 feet and a chord of 35.36 feet which bears N 89°16'00" E to a point on the centerline of E. 42nd Street, the REAL POINT OF BEGINNING of this description; thence
N 44°16'00" E, 165.53 feet along said centerline to a point on the Southerly bank of the Boise River; thence,
S 34°38'52" E, 7.82 feet along said bank to a point; thence,
S 31°50'48" E, 17.85 feet along said bank to a point on the Southeasterly right-of-way of East 42nd Street; thence,
S 44°16'00" W, 184.74 feet along said right-of-way to a point on a curve; thence 39.27 feet along a curve to the left, said curve having a radius of 25.00 feet, a central angle of 90°00'00", a tangent of 25.00 feet and a chord of 35.36 feet which bears N 0°44'00" W to the REAL POINT OF BEGINNING of this description.

AND

A parcel of land being parts of Lots 26, 27, and 28, Block 16, Fairview Acres No. 3 Subdivision all being in Government Lot 8, in the Southwest 1/4 of Section 32, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho; more particularly described as follows:

Beginning at a point marking the Section Corner common to Sections 31 and 32 in T.4N., R.2E., B.M.; and Sections 5 and 6 in T.3N., R.2E., B.M.; thence,
S 89°00'30" E, 2663.32 feet to a Brass Cap marking the 1/4 Section Corner common to said Sections 32 and 5; thence,
S 66°48'30" W, 524.85 feet to a found 1" square steel pin at the intersection of the centerline of East 41st Street and Adams Street; thence, along the centerline of Adams Street,
N 45°44'01" W, 650.04 feet to a found 1" square steel pin at the intersection of East 42nd Street and Adams Street centerlines; thence, along the centerline of East 42nd Street,
N 44°15'59" E, 625.00 feet to a point; thence, leaving said centerline,
S 45°44'01" E, 25.00 feet to an Iron Pin on the Southeasterly right-of-way line of East 42nd Street, also being the Southwesterly Corner of said Lot 28, marking the REAL POINT OF BEGINNING; thence, along said right-of-way line,
N 44°15'59" E, 246.94 feet to a point; thence, leaving said right-of-way line,

S 41°22'10" E, 244.29 feet to a point on the Northwesterly right-of-way line of the proposed Adams Street / Stilson Road connecting river crossing; thence, along said right-of-way line, S 41°24'14" W, 128.51 feet to an Iron Pin; thence, S 44°15'59" W, 100.00 feet to an Iron Pin at the intersection of said right-of-way line and the Southwesterly boundary of said Lot 28; thence, along said lot line, N 45°44'01" W, 250.02 feet to the REAL POINT OF BEGINNING.

AND

A portion of Government Lot 8 lying in the Southwest Quarter of the Southwest Quarter (SW1/4SW1/4) of Section 32, Township 4 North, Range 2 East, Boise Meridian, Garden City, Idaho, and more particularly described as follows:

Commencing at an iron pin marking the intersection of Adams Street and East 42nd Street; thence along the centerline of said East 42nd Street, North 44°15'59" East, 625.00 feet to a point; thence leaving said centerline, South 45°44'01" East, 25.00 feet to a point on the Southerly right-of-way of said East 42nd, said point also marking the Southwest corner of Lot 28 of Block 16 of Fairview Acres No. 3 Subdivision, lying in the Southwest Quarter (SW1/4) of said Section 32, as filed for record in the office of the Ada County Recorder, Boise, Idaho in Book 11 of Plats at Page 617; thence along said Southerly right-of-way, North 44°15'59" East, 509.39 feet to an iron pin on the South bank of the Boise River as established by the Idaho Department of Lands; thence along said South bank of the Boise River the following courses and distances to iron pins: thence leaving said Southerly right-of-way, South 31°50'48" East, 8.02 feet to a point, said point being the REAL POINT OF BEGINNING; thence continuing, South 31°50'48" East, 50.67 feet; thence, South 32°09'30" East, 53.90 feet; thence, South 23°00'49" East, 85.25 feet; thence, South 16°48'37" East 59.40 feet; thence leaving said South bank of the Boise River, South 44°15'59" West, 26.00 feet to an iron pin; thence, North 27°17'53" West, 186.41 feet to an iron pin; thence, North 1°42'24" West, 77.01 feet returning to the REAL POINT OF BEGINNING.

EXHIBIT A TO SPECIAL WARRANTY DEED

LEGAL DESCRIPTION OF PROPERTY

A parcel of land being all of Lot 25 and part of Lot 26, Block 16, Fairview Acres No. 3 Subdivision and an adjoining unplatted parcel all being in U.S. Government Lot 8 in the Southwest 1/4 of Section 32, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, and as shown on Record of Survey No. 3867, Instrument No. 97035505, in the Ada County Recorder's Office more particularly described as follows:

Commencing at a point marking the section corner common to Sections 31 and 32 in T.4N., R.2E., B.M., and Sections 5 and 6 in T.3N., R.2E., B.M.; thence, South 89°00'30" East 2663.32 feet to a brass cap marking the 1/4 section corner common to said Sections 32 and 5; thence, South 68°48'30" West, 524.85 feet to a found 1" square steel pin at the intersection of the centerline of East 41st Street and Adams Street; thence along the centerline of Adams Street, North 45°44'00" West 650.04 feet to a found 1" square steel pin at the intersection of East 42nd Street and Adams Street centerlines; thence along the centerline of East 42nd Street, North 44°15'59" East, 625.00 feet to a point; thence leaving said centerline, South 45°44'01" East, 25.00 feet to an iron pin on the Southeasterly right-of-way line of East 42nd Street; thence along said right-of-way line North 44°15'59" East, 246.94 feet to a point being the REAL POINT OF BEGINNING; thence continuing, North 44°15'59" East, 268.06 feet to a point on the Southwesterly bank of the Boise River; thence, leaving said bank, South 1°42'24" East, 87.84 feet to an iron pin; thence, South 27°17'53" East, 186.41 feet to an iron pin on the Northwesterly right-of-way line of the proposed Adams Street/Stilson Road connecting River Crossing; thence along said right-of-way line, South 44°15'59" West, 95.00 feet to an iron pin; thence South 41°24'14" West, 71.74 feet to a point; thence, North 41°22'11" West, 244.39 feet to the REAL POINT OF BEGINNING.

EXCEPT that portion described in Disclaimer of Interest recorded May 13th, 1997 as Instrument No.: 97037111, being a portion of Government Lot 8 lying in the Southeast Quarter of the Southwest Quarter of Section 32, Township 4 North, Range 2 East of the Boise Meridian, Garden City, Idaho, being more particularly described as follows:

Commencing at an iron pin marking the intersection of Adams Street and East 42nd Street; thence along the centerline of said East 42nd Street North 44°15'59" East 625.00 feet to a point; thence leaving said centerline, South 45°44'01" East 25.00 feet to a point on the Southerly right-of-way of said East 42nd Street, said point also marking the Northwest corner of Lot 28 of Block 16 of Fairview Acres No. 3 Subdivision, recorded in Book 11 of Plats at Page 617 lying in the Southeast Quarter of the Southwest Quarter of said Section 32; thence along said Southerly right-of-way, North 44°15'59" East 509.39 feet to an iron pin on the South Bank of the Boise River as established by the Idaho Department of Lands, said pin being the REAL POINT OF BEGINNING; thence continued, North 44°15'59" East 5.61 feet into the Boise River to a point on the original 1868 survey of the meander line of the Boise River; thence,

South 1°42'24" East 10.83 feet along said meander line to a point on the South bank of the Boise River; thence,
North 31°50'48" West 8.02 feet along said South bank of the Boise River returning to the REAL POINT OF BEGINNING.

AND

A parcel of land previously being public right-of-way created by the plat of Fairview Acres Subdivision No. 3, located in the Southwest 1/4 of Section 32, Township 4 North, Range 2 East of the Boise Meridian, Garden City, Ada County, Idaho, being more particularly described as follows:

Commencing at the Southwest corner of Lot 9, Block 17, Fairview Acres Subdivision No. 3 as recorded in Book 11 of Plats at Page 617, Ada County Recorder's Office, thence N 44°16'00" E, 123.78 feet along the Northwesterly right-of-way of East 42nd Street to a point; thence 39.27 feet along a curve to the right, said curve having a radius of 25.00 feet, a central angle of 90°00'00", a tangent of 25.00 feet and a chord of 35.36 feet which bears N 89°16'00" E to a point on the centerline of E. 42nd Street, the REAL POINT OF BEGINNING of this description; thence
N 44°16'00" E, 165.53 feet along said centerline to a point on the Southerly bank of the Boise River; thence,
S 34°38'52" E, 7.82 feet along said bank to a point; thence,
S 31°50'48" E, 17.85 feet along said bank to a point on the Southeasterly right-of-way of East 42nd Street; thence,
S 44°16'00" W, 184.74 feet along said right-of-way to a point on a curve; thence 39.27 feet along a curve to the left, said curve having a radius of 25.00 feet, a central angle of 90°00'00", a tangent of 25.00 feet and a chord of 35.36 feet which bears N 0°44'00" W to the REAL POINT OF BEGINNING of this description.

AND

A parcel of land being parts of Lots 26, 27, and 28, Block 16, Fairview Acres No. 3 Subdivision all being in Government Lot 8, in the Southwest 1/4 of Section 32, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho; more particularly described as follows:

Beginning at a point marking the Section Corner common to Sections 31 and 32 in T.4N., R.2E., B.M.; and Sections 5 and 6 in T.3N., R.2E., B.M.; thence,
S 89°00'30" E, 2663.32 feet to a Brass Cap marking the 1/4 Section Corner common to said Sections 32 and 5; thence,
S 66°48'30" W, 524.85 feet to a found 1" square steel pin at the intersection of the centerline of East 41st Street and Adams Street; thence, along the centerline of Adams Street,
N 45°44'01" W, 650.04 feet to a found 1" square steel pin at the intersection of East 42nd Street and Adams Street centerlines; thence, along the centerline of East 42nd Street,
N 44°15'59" E, 625.00 feet to a point; thence, leaving said centerline,
S 45°44'01" E, 25.00 feet to an Iron Pin on the Southeasterly right-of-way line of East 42nd Street, also being the Southwesterly Corner of said Lot 28, marking the REAL POINT OF BEGINNING; thence, along said right-of-way line,
N 44°15'59" E, 246.94 feet to a point; thence, leaving said right-of-way line,

S 41°22'10" E, 244.29 feet to a point on the Northwestern right-of-way line of the proposed Adams Street / Stilson Road connecting river crossing; thence, along said right-of-way line, S 41°24'14" W, 128.51 feet to an Iron Pin; thence, S 44°15'59" W, 100.00 feet to an Iron Pin at the intersection of said right-of-way line and the Southwesterly boundary of said Lot 28; thence, along said lot line, N 45°44'01" W, 250.02 feet to the REAL POINT OF BEGINNING.

AND

A portion of Government Lot 8 lying in the Southwest Quarter of the Southwest Quarter (SW1/4SW1/4) of Section 32, Township 4 North, Range 2 East, Boise Meridian, Garden City, Idaho, and more particularly described as follows:

Commencing at an iron pin marking the intersection of Adams Street and East 42nd Street; thence along the centerline of said East 42nd Street, North 44°15'59" East, 625.00 feet to a point; thence leaving said centerline, South 45°44'01" East, 25.00 feet to a point on the Southerly right-of-way of said East 42nd, said point also marking the Southwest corner of Lot 28 of Block 16 of Fairview Acres No. 3 Subdivision, lying in the Southwest Quarter (SW1/4) of said Section 32, as filed for record in the office of the Ada County Recorder, Boise, Idaho in Book 11 of Plats at Page 617; thence along said Southerly right-of-way, North 44°15'59" East, 509.39 feet to an iron pin on the South bank of the Boise River as established by the Idaho Department of Lands; thence along said South bank of the Boise River the following courses and distances to iron pins: thence leaving said Southerly right-of-way, South 31°50'48" East, 8.02 feet to a point, said point being the REAL POINT OF BEGINNING; thence continuing, South 31°50'48" East, 50.67 feet; thence, South 32°09'30" East, 53.90 feet; thence, South 23°00'49" East, 85.25 feet; thence, South 16°48'37" East 59.40 feet; thence leaving said South bank of the Boise River, South 44°15'59" West, 26.00 feet to an iron pin; thence, North 27°17'53" West, 186.41 feet to an iron pin; thence, North 1°42'24" West, 77.01 feet returning to the REAL POINT OF BEGINNING.



**HATCH
DESIGN
ARCHITECTURE**

200 w. 36th st., boise, idaho 83714 • phone 208.475.3204 • fax 208.475.3205 • email info@hatchda.com

Compliance Statement and Statement of Intent

June 14, 2024

Planning & Zoning
Garden City
6015 Glenwood St.
Garden City, Idaho 83714

Re: **PUD for Fischer's**
Located at: 575 E 42nd St., Garden City, ID 83714
Parcel Nos.: R2734520952

Dear Planning Staff,

The proposed project consists of one parcel, R2734520952. It is located at 575 E. 42nd St., approximately 720' Northwest of the intersection at E. 42nd St. and Adams St. The proposed development would create a building designed to be flexible on the interior to easily accommodate varying uses. Site amenities will include an office, retail space, club house, conference room and a rooftop patio and lounge. The interior storage spaces will be designed to easily convert into office or retail space.

The proposed development would be complimentary to the surrounding commercial and residential uses by creating a self-storage and mixed-use facility that could be utilized by local businesses and residents. This project aims to serve surrounding communities.

The site has been designed to minimize sprawl and maximize access. A pathway is provided around the building with connections to E 42nd Street on the West and East side of the building. This pathway design will allow for safe pedestrian access and minimize interactions with vehicular traffic.

The landscaped areas provide a sense of place within the site and allows for both private and communal engagement within. It also connects the neighboring buildings and softens harsh surfaces with the incorporation of vegetation.

This project would infill a currently empty lot with a quality building for storage and other mixed uses that would benefit both local businesses and residents.

Please contact our office with any questions you may have in reviewing the application materials.

Sincerely,

Jeff Hatch, AIA LEED AP
Hatch Design Architecture



**HATCH
DESIGN
ARCHITECTURE**

200 w. 36th st., boise, idaho 83714 • phone 208.475.3204 • fax 208.475.3205 • email info@hatchda.com

April 25, 2024

PUD Application Narrative

Planning & Zoning
Garden City
6015 Glenwood St.
Garden City, Idaho 83714

Re: **Rezone Review for Fisher's**
Located at: 575 E 42nd St., Garden City, ID 83714
Parcel Nos.: R2734520952

Dear Planning Staff,

1. **Describe how this application provides a maximum choice of living environments by allowing a variety of housing and building types, and permitting an increased density per acre and a reduction in lot dimensions, yards, building setbacks and area requirements.**

NA

2. **Is this plat a portion of a larger land holding intended for subsequent development? If yes, please explain.**

No

3. **Is the project within the Floodplain?**

The project is in a Zone X. (FEMA map number 16001c0276J eff. 6/19/2020)

4. **Are there any proposed uses not allowed in the zoning district where the project is located? If so, specify. If so, what is the gross land area devoted to such uses?**

We are proposing that the building be used partially for storage. The building uses a modular design for the interior, allowing for the storage spaces to be converted into office or retail spaces.

5. **What is the effect of this site development on roadways and traffic conditions?**

There will be two accesses added to serve as entrances to the parking lot. The use of the storage from the surrounding neighborhoods is so infrequent that there will be very little impact on traffic.

6. **Are there new roads proposed/required?**

No

7. **Are there new ingress/egress being proposed?**

There are two new ingress/egress accesses being proposed for the North side of the site.



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ARCHITECTURE**

200 w. 36th st., boise, idaho 83714 • phone 208.475.3204 • fax 208.475.3205 • email info@hatchda.com

8. How has off-street parking and loading been arranged and sized to prevent traffic congestion?

Both off-street parking and loading has been placed on the opposite end of the building from the street, preventing any congestion due to the building.

9. How has vehicular and pedestrian circulation been arranged with respect to adjacent facilities and internal circulation?

The site has been designed to prioritize the pedestrian and prevent congestion from vehicular circulation. The arrangement of the building and the parking lot creates a nearly unbroken pedestrian path around the building. This allows for pedestrians, likely employees of the adjacent office or local residents, to safely enter and leave the building on foot. Bicycle parking is also placed on the path to allow the same safety for cyclists.

10. Has there been connection to or access provided for future connections to bicycle and pedestrian pathways or regional transit?

The existing sidewalk will not be changed, so it will still be available for a future connection to bicycle and pedestrian pathways or regional transit. There will also be 12 bicycle parking spaces in order to encourage the use of bikes.

11. What is the effect of this site development on the adequacy of storm and surface water facilities?

Site will be designed to retain all stormwater onsite.

12. How does this application use land more efficiently than is generally achieved through conventional development resulting in substantial savings through shorter utilities and streets?

The building is located directly alongside the sidewalk, reducing the distance that utilities will have to travel.

13. How does this project create a more useful pattern of open space and recreation areas; and, if proposed as part of the project, more convenience in the location of accessory commercial uses, industrial uses and services?

The project creates an open space for a loading area and an increased area for parking. It also provides efficient storage for the surrounding residential and commercial zones.

14. How will the design create a sense of place (usable open space, public art, visual focus points)?

The design of the proposed structure enhances the street by creating an engaging building. The architecture will feature glazing, awnings, and a variety of materials. The roofline and façade are designed with a generous number of reliefs to break up the mass of the building. It will also engage the public through the addition of public art on the façade.



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15. How does this application develop a land pattern in harmony with land use density, transportation, and community facilities objectives of the comprehensive plan?

The land pattern developed by the project is in harmony with the objectives of the comprehensive plan by providing a denser commercial space that is centrally located and provides easy public access.

16. What neighborhood characteristics exist or are planned which make this development compatible with the neighborhood and adjoining properties?

The lot is currently home to Fisher's Technology Headquarters. The proposed building will complement the existing building and take design cues from the surrounding neighborhood. The building will be consistent with the existing streetscape. The building's mass and street presence will be similar to the surrounding buildings.

17. How does this application establish a development pattern which preserves and utilizes natural topography and geologic features, scenic vistas, trees and other vegetation and prevents the disruption of natural drainage patterns?

The application does not require the removal of any existing vegetation. Drainage patterns will be maintained.

18. How has landscaping been used to protect existing trees, utilize existing features, create harmony with adjacent development and prevent erosion and dust?

No existing trees will be removed from the site.

19. Have native or drought resistant plants been utilized in the landscaping plan? If so what type and what percentage of the overall landscape is dedicated to these plants?

Native and drought-resistant plants have been utilized in the landscaping plan. This includes ornamental grass, deciduous trees, and shrubs.

20. What sustainable concepts have been incorporated into the design?

The site prioritizes the pedestrian and provides landscaping for native and drought-resistant plants.

Please contact our office with any questions you may have in reviewing the application materials.

Sincerely,

Jeff Hatch, AIA LEEP AP
Hatch Design Architecture



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

April 11, 2024

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 575 E 42nd St

Fire hydrant serving this address: #3012

Fire flow Garden City is able to provide is 1500 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 1500 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714

Phone 208/472-2900 ■ Fax 208/472-2996

12 April 2024

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **575 East 42nd Street**
Water and Sanitary Sewer Ability to Serve
ATSFY2024-0011

I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 1,500 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 11 April 2024 (fire hydrant #3012) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. Any new sewer mainline extension, sewer service connections, changes to connections and discharges to Garden City sewer lines to serve the facility must be coordinated, reviewed and approved by Garden City Public Works. Verification of grade, design and installation to connect to the sewer system is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



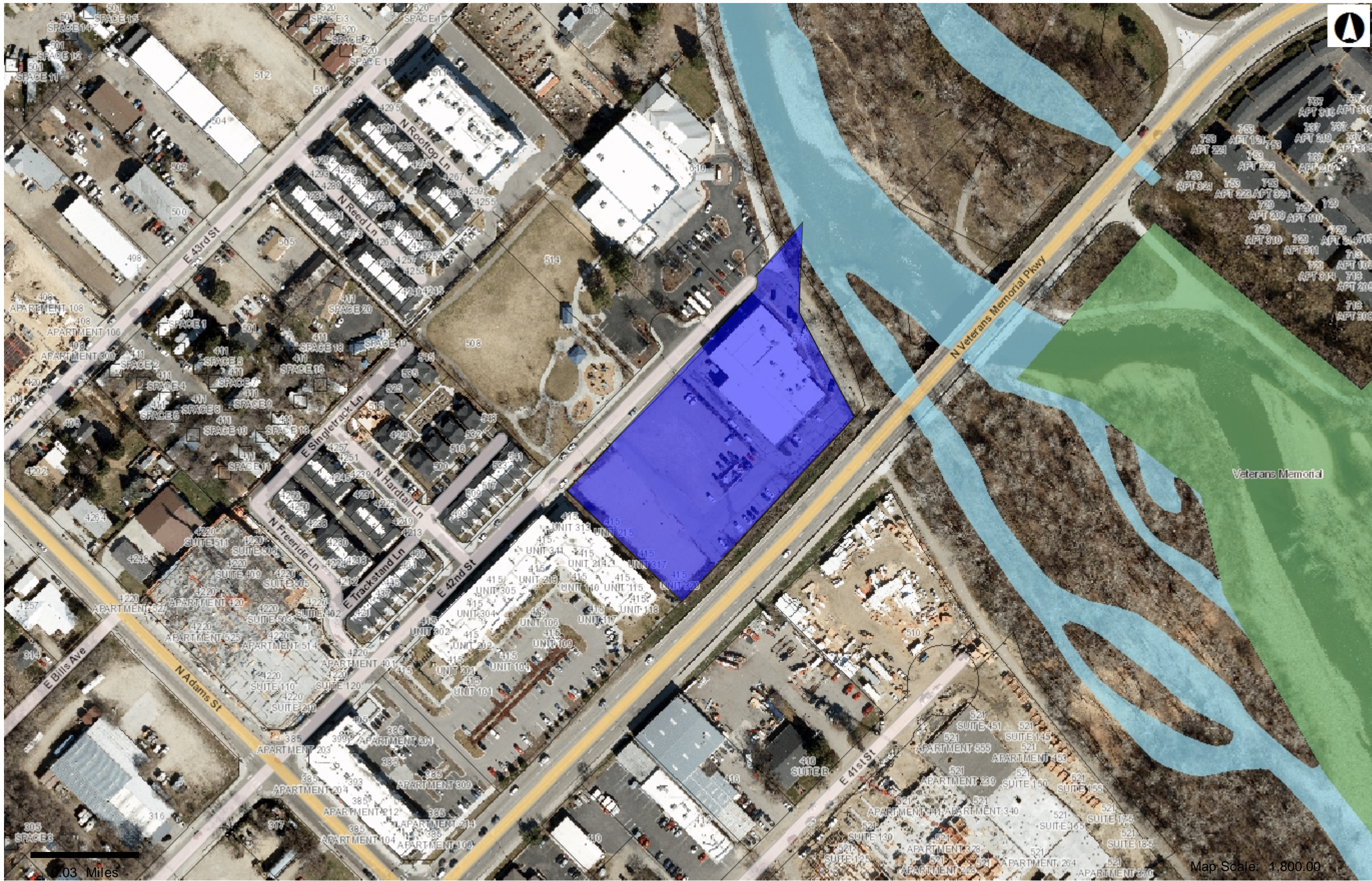
J. D. Canning, PE/PLS
Centurion Engineers, Inc.
Garden City Engineer

ec. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Chad Vaughn
Garden City Water Manager
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City

NEIGHBORHOOD MAP



Legend

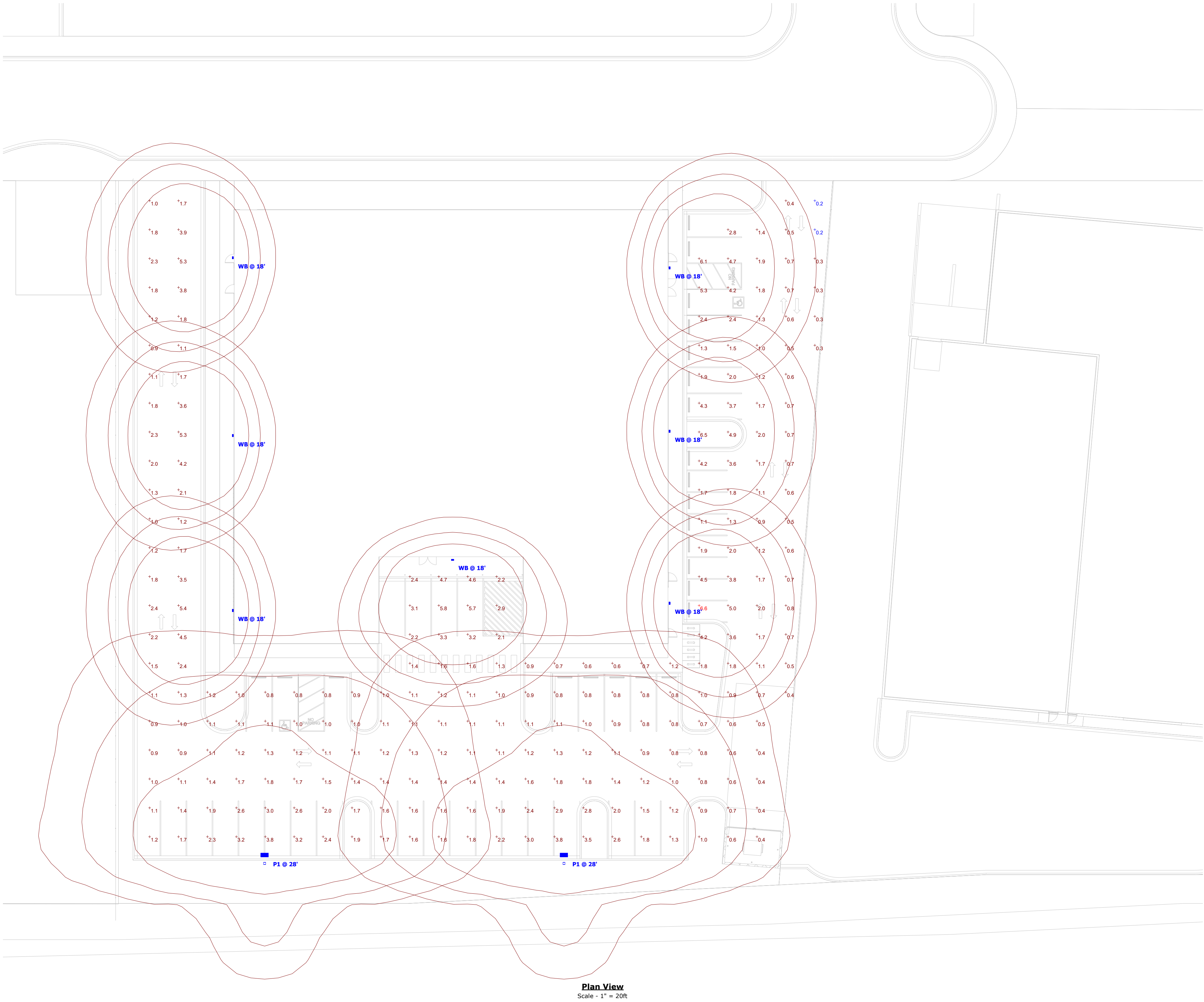
- + Railroad
- Roads (<2,000 scale)
 - <all other values>
 - Interstate
 - Ramp
 - Principal Arterial
 - Collector
 - Minor Arterial
 - Local
- Parks
 - Parks
- Water
 - Alley
 - Driveway
- Address
 - Condos
 - Parcels
- raster.DBO.AdaOrthos2022_3in
- Red: Band_1
- Green: Band_2
- Blue: Band_3

Map Scale: 1,800.00

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
<div><div></div><div></div></div>	P1	2	Lithonia Lighting	RSX1 LED P3 40K R4	RSX Area Fixture Size 1 P3 Lumen Package 4000K CCT Type R4 Distribution	1	14206	1	109.44
<div><div></div><div></div></div>	WB	7	Lithonia Lighting	ARC2 LED P5 40K	ARC2 LED WITH P5 - PERFORMANCE PACKAGE, 4000K	1	6615	1	51.2609

Luminaire Locations										
Location								Aim		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
2	P1	17.50	14.00	28.00	28.00	0.00	0.00	17.50	14.97	0.00
1	WB	-97.00	223.50	18.00	18.00	270.00	0.00	-97.00	223.50	0.00
2	WB	-97.00	162.00	18.00	18.00	270.00	0.00	-97.00	162.00	0.00
3	WB	-97.00	101.50	18.00	18.00	270.00	0.00	-97.00	101.50	0.00
4	WB	54.00	104.00	18.00	18.00	90.00	0.00	54.00	104.00	0.00
5	WB	54.00	163.50	18.00	18.00	90.00	0.00	54.00	163.50	0.00
6	WB	54.00	220.00	18.00	18.00	90.00	0.00	54.00	220.00	0.00
7	WB	-21.00	119.00	18.00	18.00	180.00	0.00	-21.00	119.00	0.00
1	P1	-86.00	14.00	28.00	28.00	0.00	0.00	-86.00	14.97	0.00

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.7 fc	6.6 fc	0.2 fc	33.0:1	8.5:1



Plan View
Scale - 1" = 20ft



Designer

Date

03/28/2024

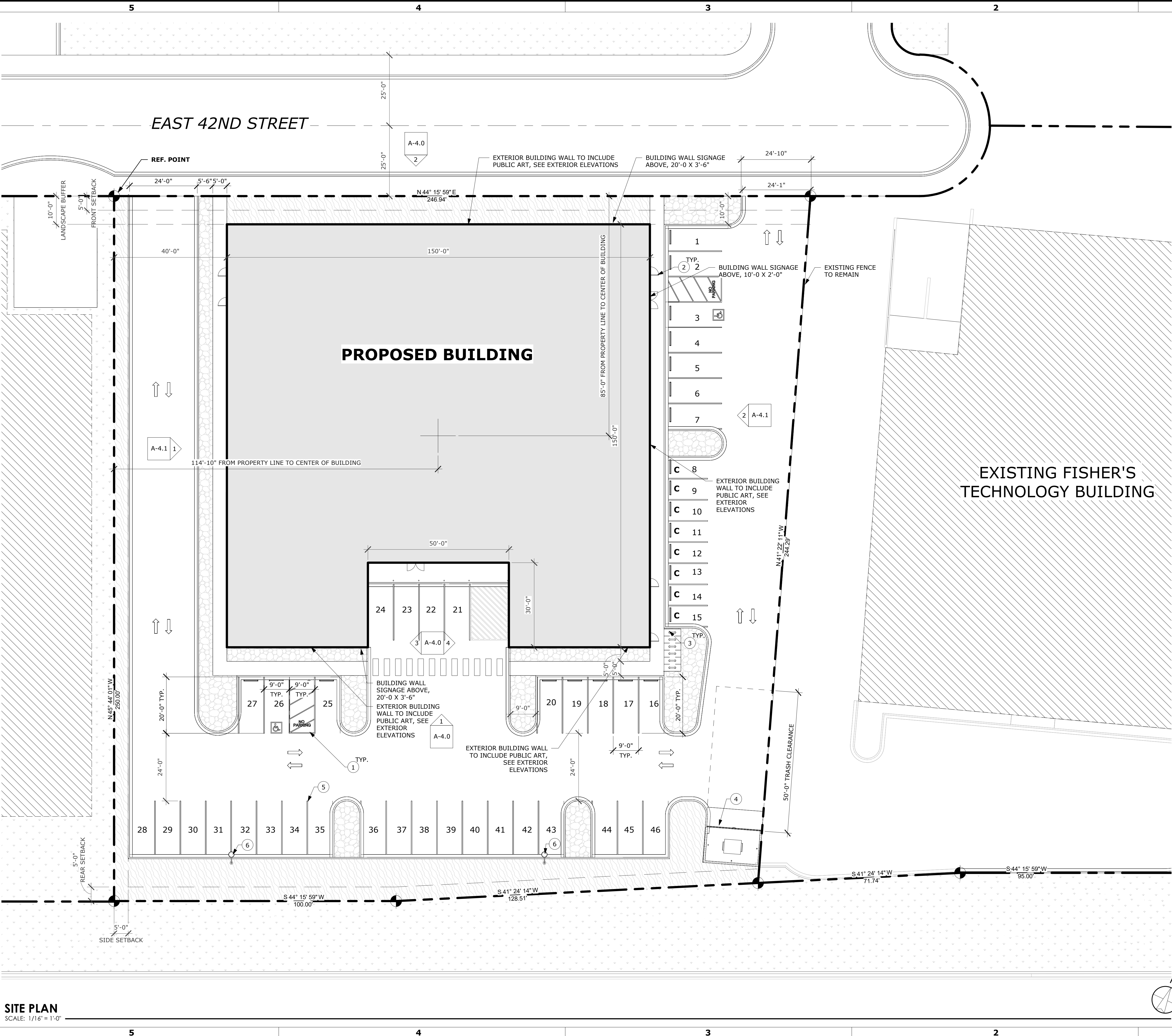
Scale

Not to Scale

Drawing No.

Summary

5/13/2024 11:03:13 AM



SITE PLAN
SCALE: 1/16" = 1'-0"

SITE RECAP

ZONING
CURRENT: L-OD/DA

PARCEL NUMBERS
R2734520952

TOTAL PROPERTY SIZE
ACRES: 2.62 ACRES (114,127.2 SF)

SETBACKS
FRONT: 10'-0" MIN./35'-0" MAX.
REAR: 15'-0"
SIDES: 15'-0"

PARKING SPACES PROVIDED:

VEHICLE PARKING:

STANDARD: 36 (9'X20')

ADA: 2 (9'X20')

COMPACT: 8 (7'-6"X20')

TOTAL: 46 VEHICLE PARKING SPACES

BIKE PARKING: 12 SPACES

SURFACE RECAP:

BUILDING: 21,000 SF

IMPERVIOUS: 30,619 SF

LANDSCAPE: 9010 SF

GENERAL NOTE

- A. MECHANICAL EQUIPMENT TO BE SCREENED BY BUILDING WALLS
B. PUBLIC ART/MURAL LOCATION SHOWN ON EXTERIOR ELEVATION

AREA RECAP

NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

KEYNOTE

##	DESCRIPTION
1	ADA ACCESSIBLE PARKING STALL, W/ 4" PAINTED WHITE STRIPES, AND ACCESS AISLE
2	MAN DOOR WITH ADA THRESHOLD, SEE DOOR SCHEDULE
3	BICYCLE RACKS, SEE SITE DETAILS
4	TRASH ENCLOSURE, SEE TRASH ENCLOSURE DETAILS
5	STANDARD PARKING STALL, W/ 4" PAINTED WHITE STRIPES
6	EXTERIOR POLE LIGHT FIXTURE, SEE ELECTRICAL/LIGHTING DRAWINGS

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NEW CONSTRUCTION FOR:

FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

DELTA DATE DESCRIPTION COMMENTS

DATE: MAY 2024
DRAWN BY: WE
CHECKED BY: JH
JOB NUMBER: 23142

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-1.0



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FISHER'S GOLF

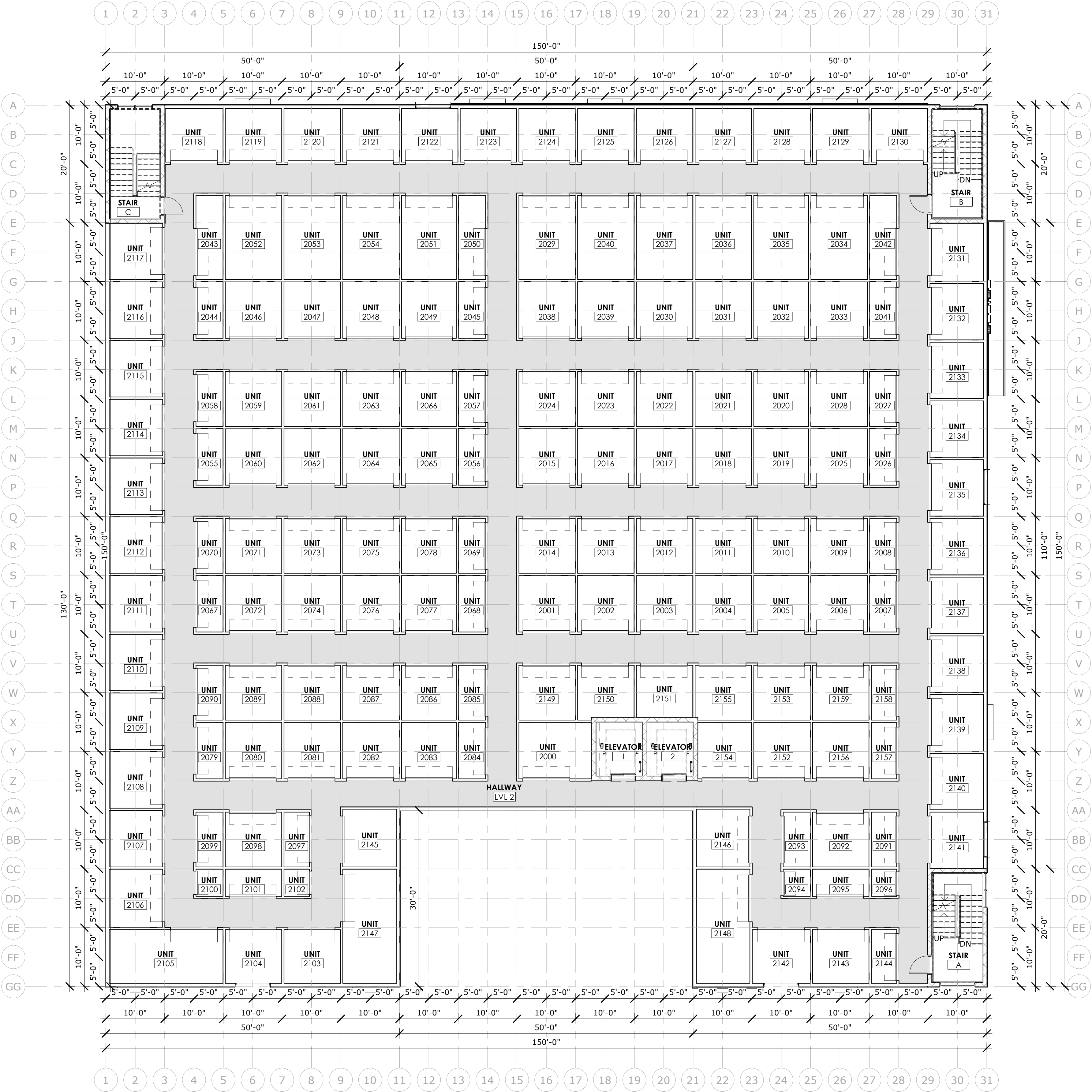
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DATE:		MAY 2024
DRAWN BY:		WE
CHECKED BY:		JH
JOB NUMBER:		23142
SHEET TITLE:		

FLOOR PLAN
- LEVEL 1

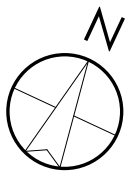
SHEET NUMBER

A-2.0



AREA RECAP	
NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

LEVEL 2 - FLOOR PLAN
SCALE: 1" = 10'-0"



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DATE:	MAY 2024	
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JOB NUMBER:	23142	
SHEET TITLE:		

FLOOR PLAN
- LEVEL 2

SHEET NUMBER:

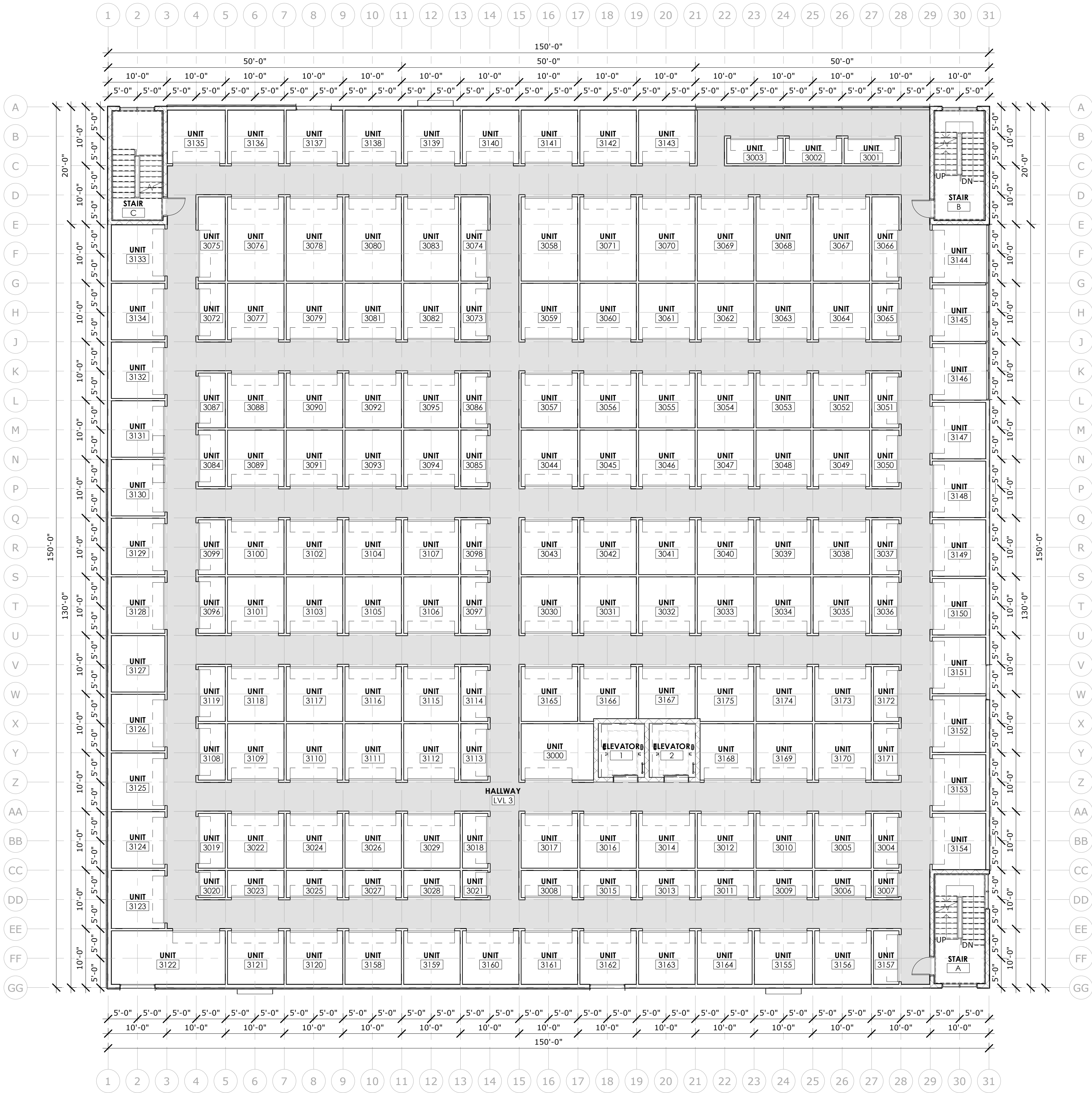
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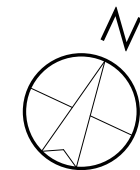
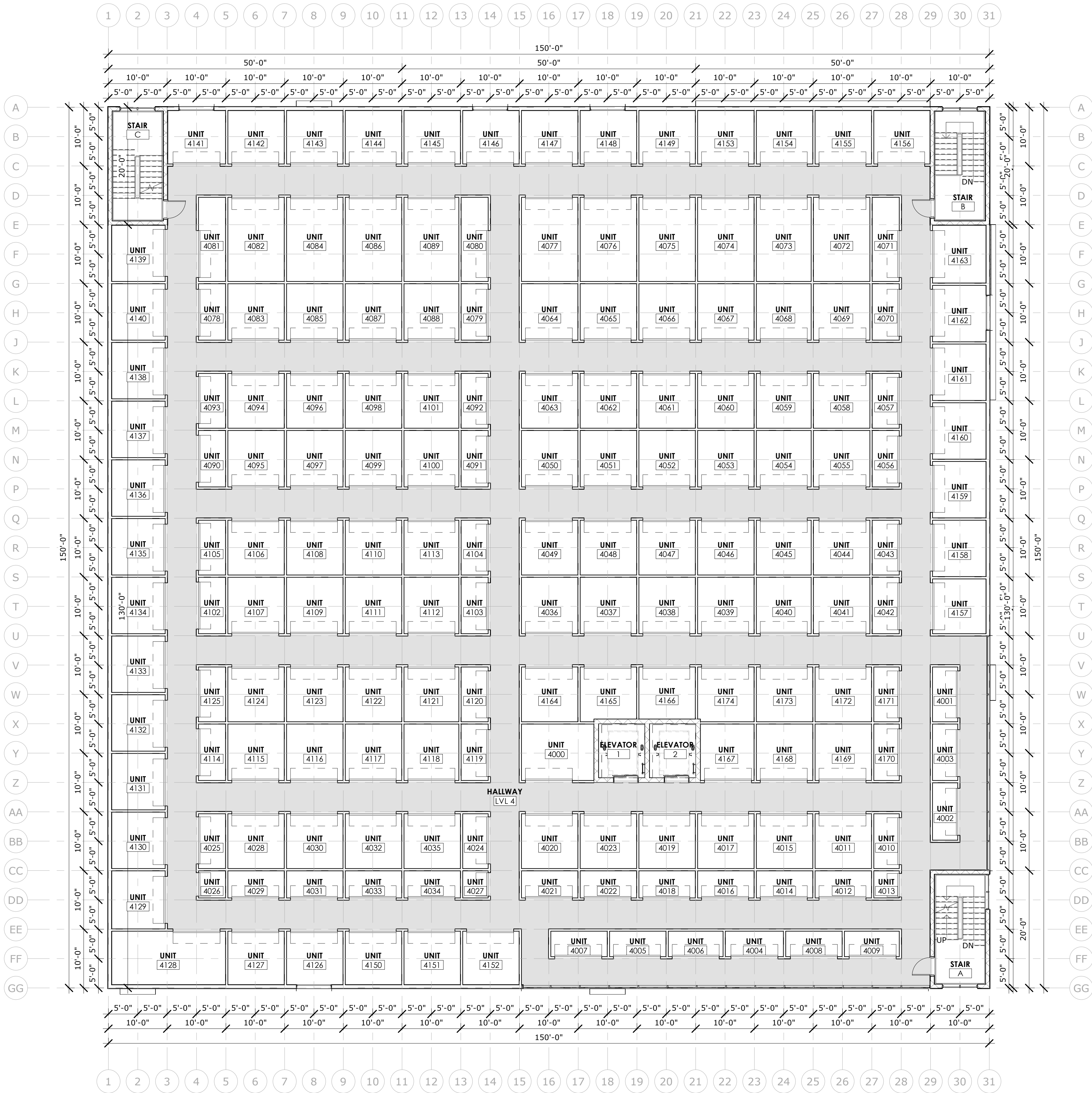
LEVEL 3 - FLOOR PLAN
SCALE: 1" = 10'-0"



5/13/2024 11:03:26 AM

LEVEL 4 - FLOOR PLAN

SCALE: 1" = 10'-0"



AREA RECAP

NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

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DATE:	MAY 2024
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SHEET TITLE:	

FLOOR PLAN
- LEVEL 4

SHEET NUMBER:

A-2.3

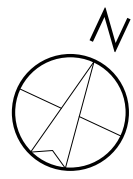
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LEVEL 5 - ROOFTOP DECK - FLOOR PLAN

SCALE: 1" = 10'-0"



AREA RECAP	
NAME	AREA
LEVEL 1	21,000 SF
LEVEL 2	21,000 SF
LEVEL 3	22,500 SF
LEVEL 4	22,500 SF
LEVEL 5 (ROOFTOP CLUB HOUSE/STAIRWELL/ELEVATOR)	1,691 SF
LEVEL 5 (ROOFTOP DECK)	1,627 SF
TOTAL	90,318 SF

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DATE	DESCRIPTION - COMMENTS
DATE:	MAY 2024
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FLOOR PLAN
- LEVEL 5

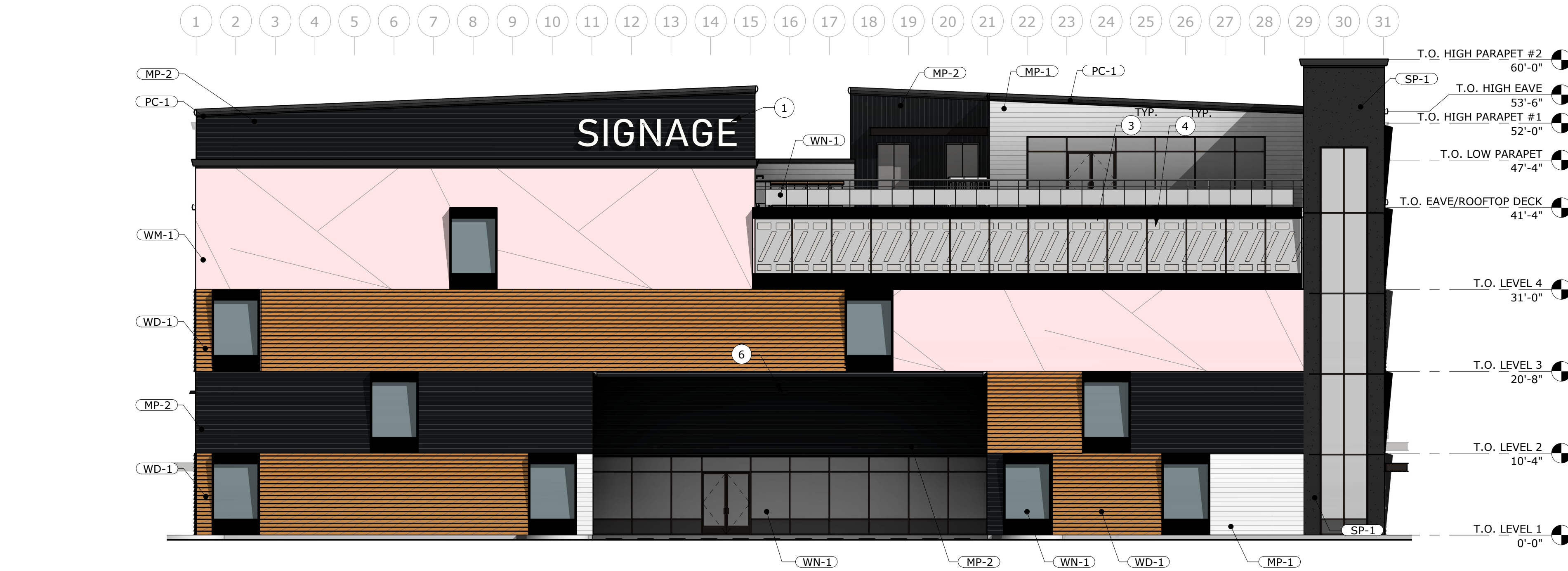
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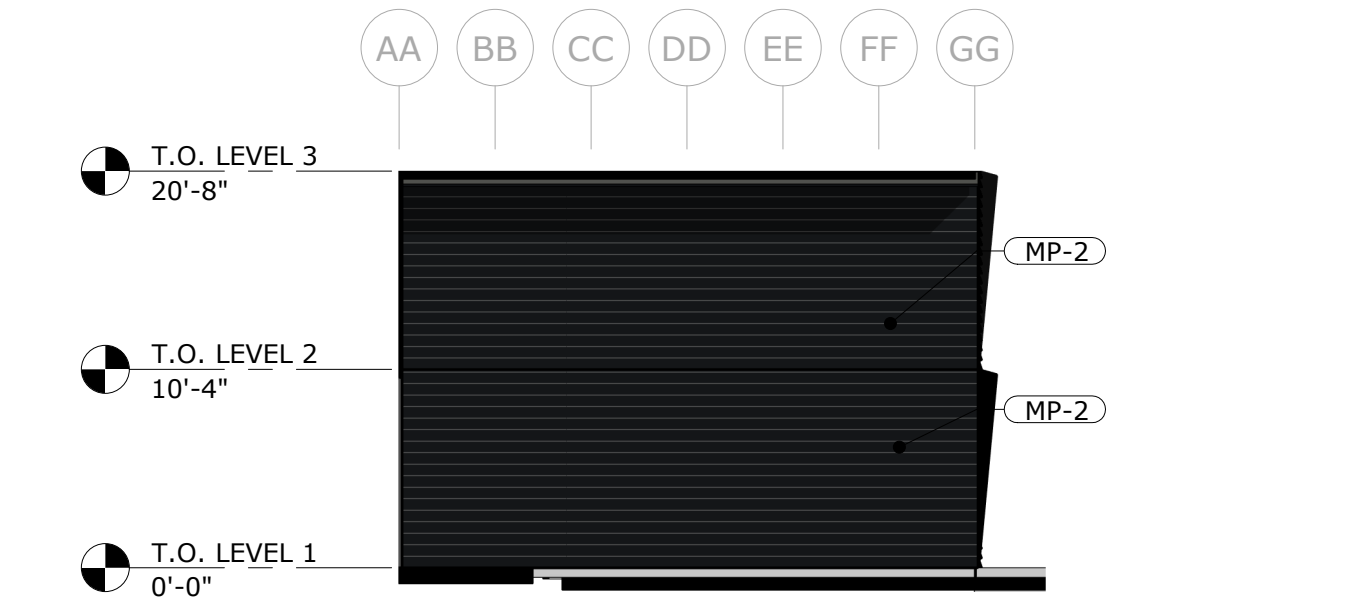
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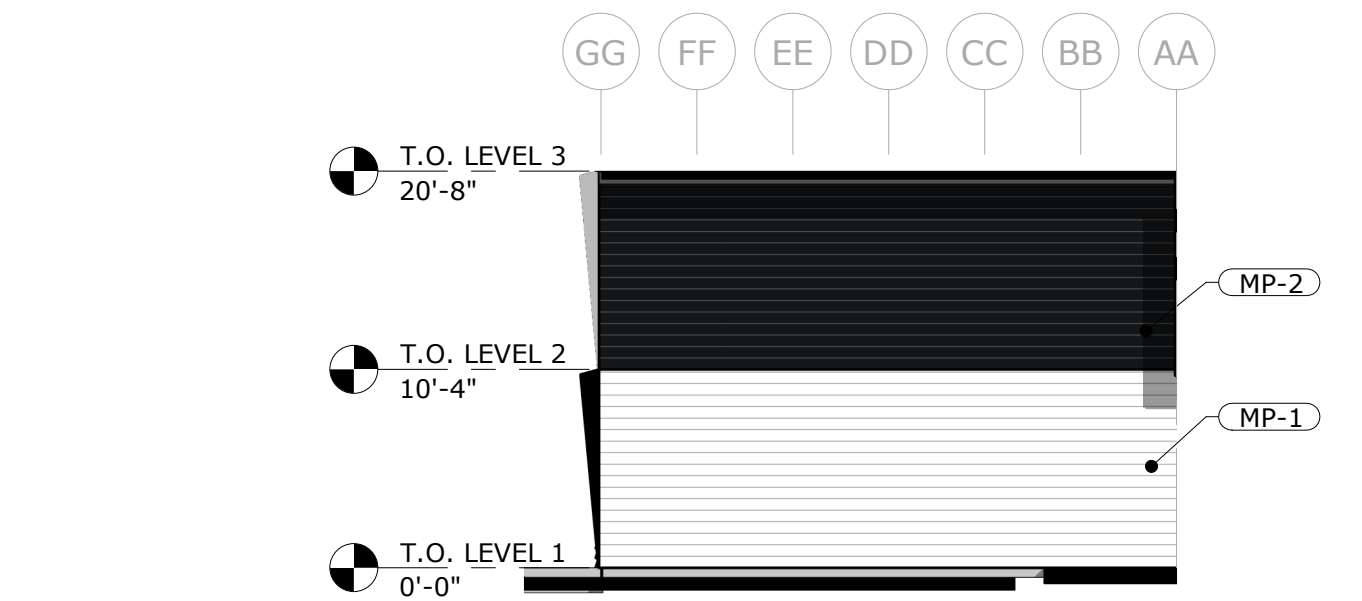
1 SOUTH EXTERIOR ELEVATION
SCALE: 1" = 10'-0"



2 NORTH EXTERIOR ELEVATION
SCALE: 1" = 10'-0"



4 LOADING BAY - WEST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"



3 LOADING BAY - EAST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"

EXT. FINISH SPECIFICATIONS

PC-1 - PARAPET CAP, GUTTER, DOWNSPOUT, SIDEWALL FLASHING:
COLOR: COAL BLACK
MANUFACTURER: MBCI® OR APPROVED EQUAL

MP-1 - HORIZONTAL METAL PANELS:
COLOR: SOLAR WHITE
PROFILE: FW-120
MANUFACTURER: MBCI®

MP-2 - HORIZONTAL METAL PANELS:
COLOR: COAL BLACK
PROFILE: FW-120
MANUFACTURER: MBCI®

WD-1 - HORIZONTAL WOOD TEXTURED CLADDING:
COLOR: DARK CHERRY
PROFILE: TONGUE & GROOVE
MANUFACTURER: LONGBOARD COMPANY®

SP-1 - STUCCO PANEL:
COLOR: DARK GRAY
FINISH: PAREX ARMOURWALL 300 (3) COAT
SYSTEM - ELASTOMERIC FINISH COAT OVER PAREX PRIMER.
MANUFACTURER: PAREX®

RP-1 - METAL ROOF PANELS
FINISH/COLOR: GALVALUME
PROFILE: ULTRA-DEK
MANUFACTURER: MBCI®

SF-1 - METAL SOFFIT PANELS
COLOR: COAL BLACK
PROFILE: 7.2 PANELS
MANUFACTURER: MBCI®

DR-1 - EXTERIOR MAN DOORS
COLOR: DARK GRAY
MANUFACTURER: CURRIES COMPANY OR APPROVED EQUAL

DR-2 - INTERIOR OVERHEAD DOORS
COLOR: GRAY
MANUFACTURER: C.H.I. OR APPROVED EQUAL

DR-4 - INTERIOR MAN DOORS
COLOR: WHITE
MANUFACTURER: C.H.I. OR APPROVED EQUAL

WN-1 - STOREFRONT SYSTEM/WINDOWS
*NOTE: SEE WINDOW SCHEDULE

AW-1 - METAL AWNINGS
COLOR: BLACK

WM-1 - PUBLIC ART/WALL MURAL AREA

KEYNOTE

##	DESCRIPTION
1	BUILDING SIGNAGE, WALL MOUNTED, SEE EXTERIOR DETAILS
2	BUILDING ADDRESS SIGNAGE, WALL MOUNTED, SEE EXTERIOR DETAILS
3	STOREFRONT SYSTEM, SEE WINDOW SCHEDULE
4	WINDOW GRAPHIC, SEE WINDOW DETAILS
5	PARAPET CAP, SEE ROOF DETAILS
6	LED EXTERIOR LIGHTING, SEE ELECTRICAL DRAWINGS.

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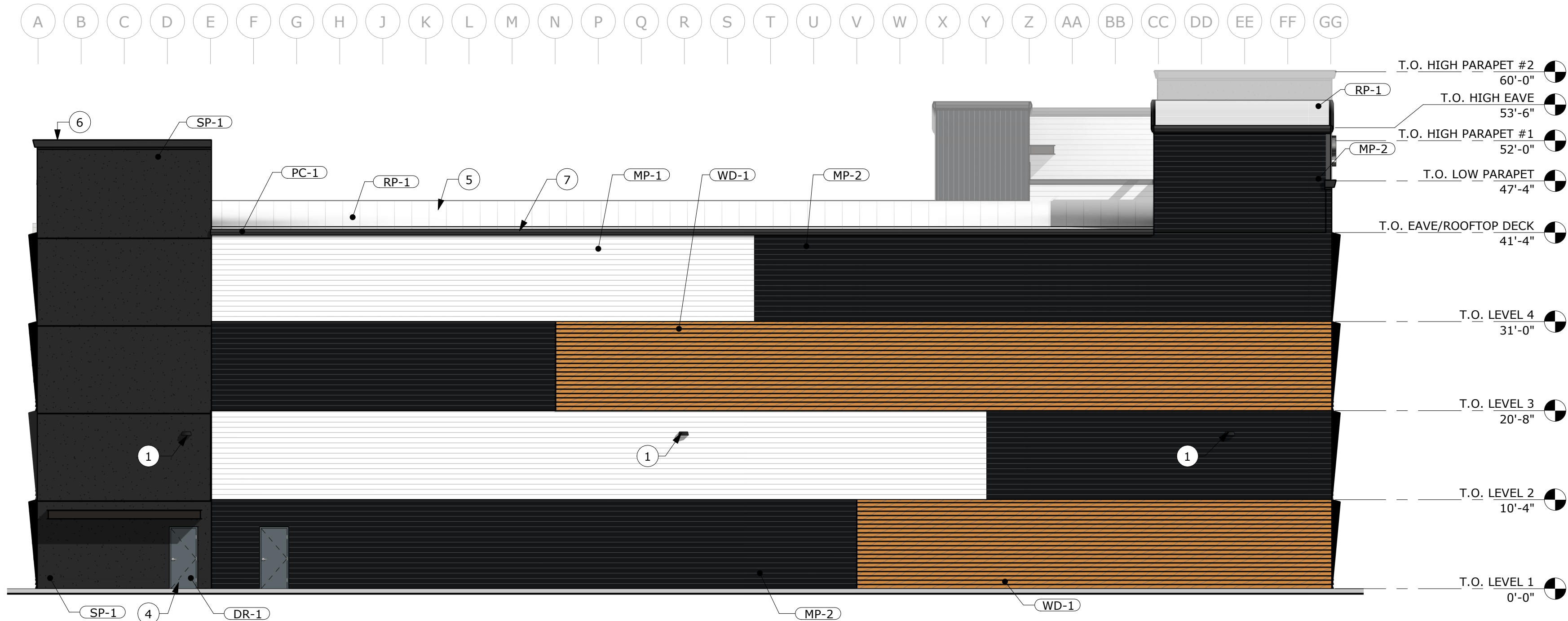
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NEW CONSTRUCTION FOR:
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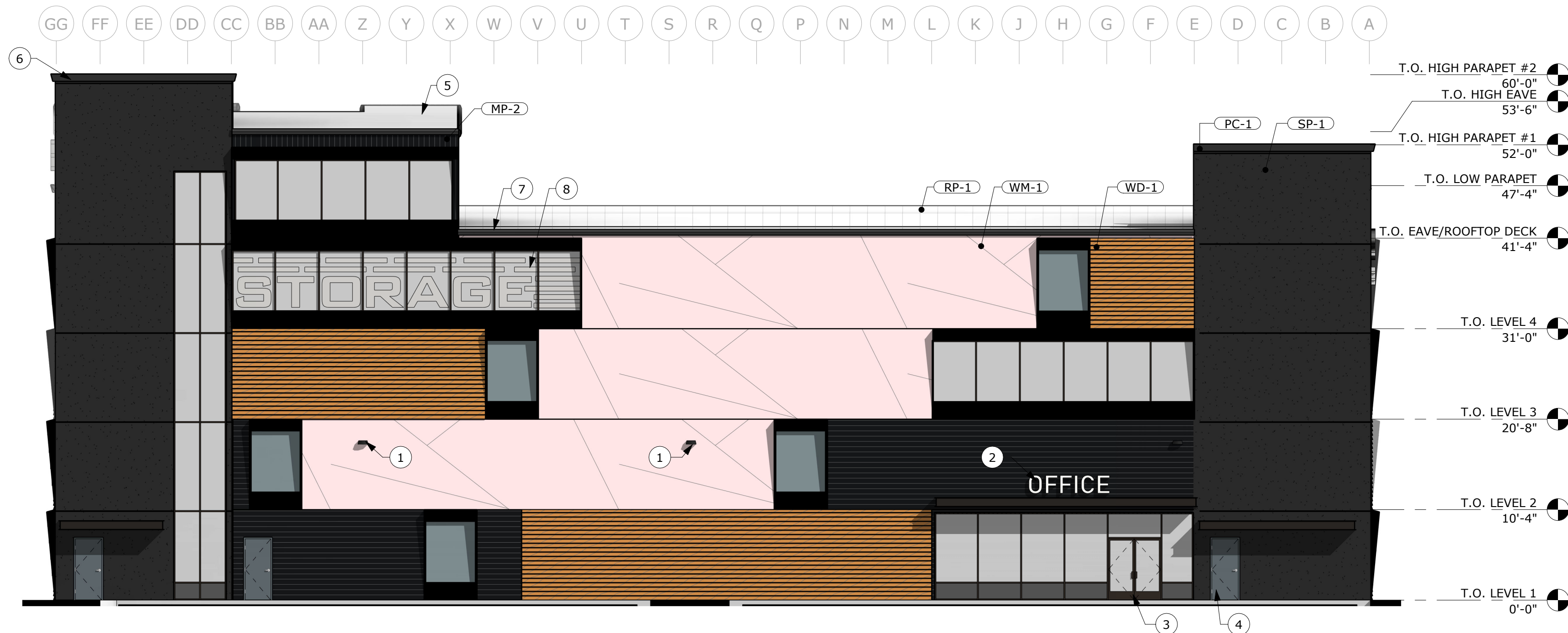
DATE	DESCRIPTION	COMMENTS
DATE:	MAY 2024	
DRAWN BY:	WE	
CHECKED BY:	JH	
JOB NUMBER:	23142	
SHEET TITLE:		

EXTERIOR ELEVATIONS

SHEET NUMBER:
A-4.0



1 WEST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"



2 EAST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"

EXT. FINISH SPECIFICATIONS

PC-1 - PARAPET CAP, GUTTER, DOWNSPOUT, SIDEWALL FLASHING:
COLOR: COAL BLACK
MANUFACTURER: MBCI® OR APPROVED EQUAL

MP-1 - HORIZONTAL METAL PANELS:
COLOR: SOLAR WHITE
PROFILE: FW-120
MANUFACTURER: MBCI®

MP-2 - HORIZONTAL METAL PANELS:
COLOR: COAL BLACK
PROFILE: FW-120
MANUFACTURER: MBCI®

WD-1 - HORIZONTAL WOOD TEXTURED CLADDING:
COLOR: DARK CHERRY
PROFILE: TONGUE & GROOVE
MANUFACTURER: LONGBOARD COMPANY®

SP-1 - STUCCO PANEL:
COLOR: DARK GRAY
FINISH: PAREX ARMOURWALL 300 (3) COAT
SYSTEM -ELASTOMERIC FINISH COAT OVER PAREX PRIMER.
MANUFACTURER: PAREX®

RP-1 - METAL ROOF PANELS
FINISH/COLOR: GALVALUME
PROFILE: ULTRA-DEK
MANUFACTURER: MBCI®

SF-1 - METAL SOFFIT PANELS
COLOR: COAL BLACK
PROFILE: 7.2 PANELS
MANUFACTURER: MBCI®

DR-1 - EXTERIOR MAN DOORS
COLOR: DARK GRAY
MANUFACTURER: CURRIES COMPANY OR APPROVED EQUAL

DR-2 - INTERIOR OVERHEAD DOORS
COLOR: GRAY
MANUFACTURER: C.H.I. OR APPROVED EQUAL

DR-4 - INTERIOR MAN DOORS
COLOR: WHITE
MANUFACTURER: C.H.I. OR APPROVED EQUAL

WN-1 - STOREFRONT SYSTEM/WINDOWS
*NOTE: SEE WINDOW SCHEDULE

AW-1 - METAL AWNINGS
COLOR: BLACK

WM-1 - PUBLIC ART/WALL MURAL AREA

KEYNOTE

##	DESCRIPTION
1	LED EXTERIOR LIGHTING, SEE ELECTRICAL DRAWINGS.
2	BUILDING SIGNAGE, WALL MOUNTED, SEE EXTERIOR DETAILS
3	DOUBLE MAN DOOR WITH ADA THRESHOLD, SEE DOOR SCHEDULE
4	MAN DOOR WITH ADA THRESHOLD, SEE DOOR SCHEDULE
5	METAL PANEL ROOFING, SEE ROOF PLAN
6	PARAPET CAP, SEE ROOF DETAILS
7	GUTTER, SEE ROOF DETAILS
8	WINDOW GRAPHIC, SEE WINDOW DETAILS

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NEW CONSTRUCTION FOR:

FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

DELTA	DATE	DESCRIPTION - COMMENTS

DATE: MAY 2024
DRAWN BY: WE
CHECKED BY: JH
JOB NUMBER: 23142

SHEET TITLE:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A-4.1

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LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

5

4

3

2

1

EAST 42ND STREET

PROPOSED BUILDING

115'-0"

82'-10"

25'-0" TYP.

10'-0" LANDSCAPE BUFFER

5'-0" FRONT SETBACK

5'-0" REAR SETBACK

5'-0" SIDE SETBACK

PLANTING SCHEDULE

##	COUNT	STANDARD NAME	BOTANICAL NAME	MATURE H x W	CLASS	PLANTING SIZE
DECIDUOUS						
FP-1	7	Pear, Flowering	Pyrus calleryana	35'-45' H X 20'-30' W	II	N/A
HC-1	8	Hackberry, Common	Celtis occidentalis	40'-60' H X 40'-60' W	II	N/A
HO-1	7	Oak, Hybrids	Quercus robur x alba	35'-45' H X 12'-15' W	III	N/A
ORNAMENTAL GRASSES						
SG-1	55	Heavy Metal Switch Grass	Panicum virgatum	3' H x 3' W	N/A	1 gal.
SHRUBS						
BR-1	29	Blue Rug Juniper	Juniperus horizontalis 'Wiltonii'	.5' H X 3' W	N/A	2 gal.
ID-1	55	Ivory Halo Dogwood	Cornus alba 'Bailhalo'	5' H X 5' W	N/A	5 gal.
TOTAL: 161						

GROUND COVERAGE RECAP

##	NAME	AREA	NOTES
MC-1	SUNBURST RED MULCH	5901 SF	LANDSCAPING
RR-1	3/4" ROUND ROCK	3110 SF	LANDSCAPING

GENERAL NOTES

- NO EXISTING TREES, SHRUBS, SIDEWALKS, CURBS, LIGHTING, OR PARKING TO NOTE ON SITE.
- PROJECT OWNER TO BE RESPONSIBLE FOR LANDSCAPE CARE & MAINTENANCE, OWNER WILL FOLLOW REQ'D MIN. OF LANDSCAPE CARE PER THE CITY'S REQUIREMENTS.
- TREES TO BE SPACED NO CLOSER THAN 80% OF THEIR AVERAGE CANOPY WIDTH.
- ALL LANDSCAPED AREAS SHALL HAVE AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.

SYMBOL LEGEND

- FP # PLANTING TAG, SEE PLANTING SCHEDULE
- FP FLOOR TAG, SEE GROUND COVERAGE RECAP

PLANTING LEGEND

- ORNAMENTAL GRASS, SEE PLANTING SCHEDULE
- DECIDUOUS TREE, SEE PLANTING SCHEDULE
- SHRUB, SEE PLANTING SCHEDULE
- 3/4" ROUND ROCK, SEE GROUND COVERAGE RECAP
- MULCH, SEE GROUND COVERAGE RECAP

NEW CONSTRUCTION FOR:

FISHER'S GC

575 E 42ND ST., GARDEN CITY, ID 83714

DATE: MAY 2024

DRAWN BY: RH

CHECKED BY: JLH

JOB NUMBER: 23142

SHEET TITLE:

LANDSCAPE SITE PLAN

SHEET NUMBER:

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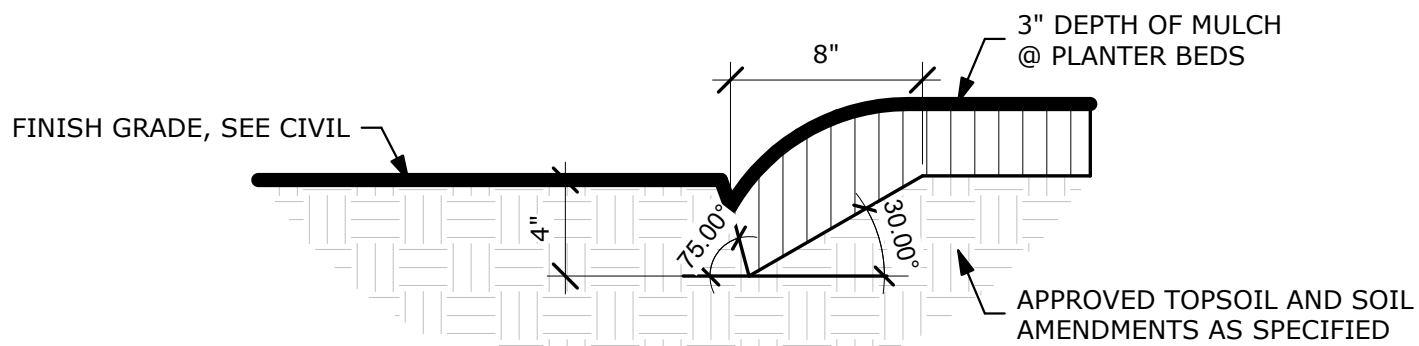
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LANDSCAPING NOTES:

1. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
2. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
3. COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
4. COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.].
7. IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
8. ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 3" MINUS BARK MULCH. SUBMIT SAMPLE FOR APPROVAL.
9. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
10. FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE CIVIL GRADING PLAN.
11. AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
12. FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
13. ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
14. REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL AND HAVE A PH OF 5.5 TO 7.0. IF ONSITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
A) PROVIDE APPROVED IMPORTED TOPSOIL, OR:
B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
15. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH:
A) OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES:
B) REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION.
ACIDITY/ALKALINITY RANGE - PH. 5.5 TO 7.6.
16. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
17. TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
18. STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
19. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

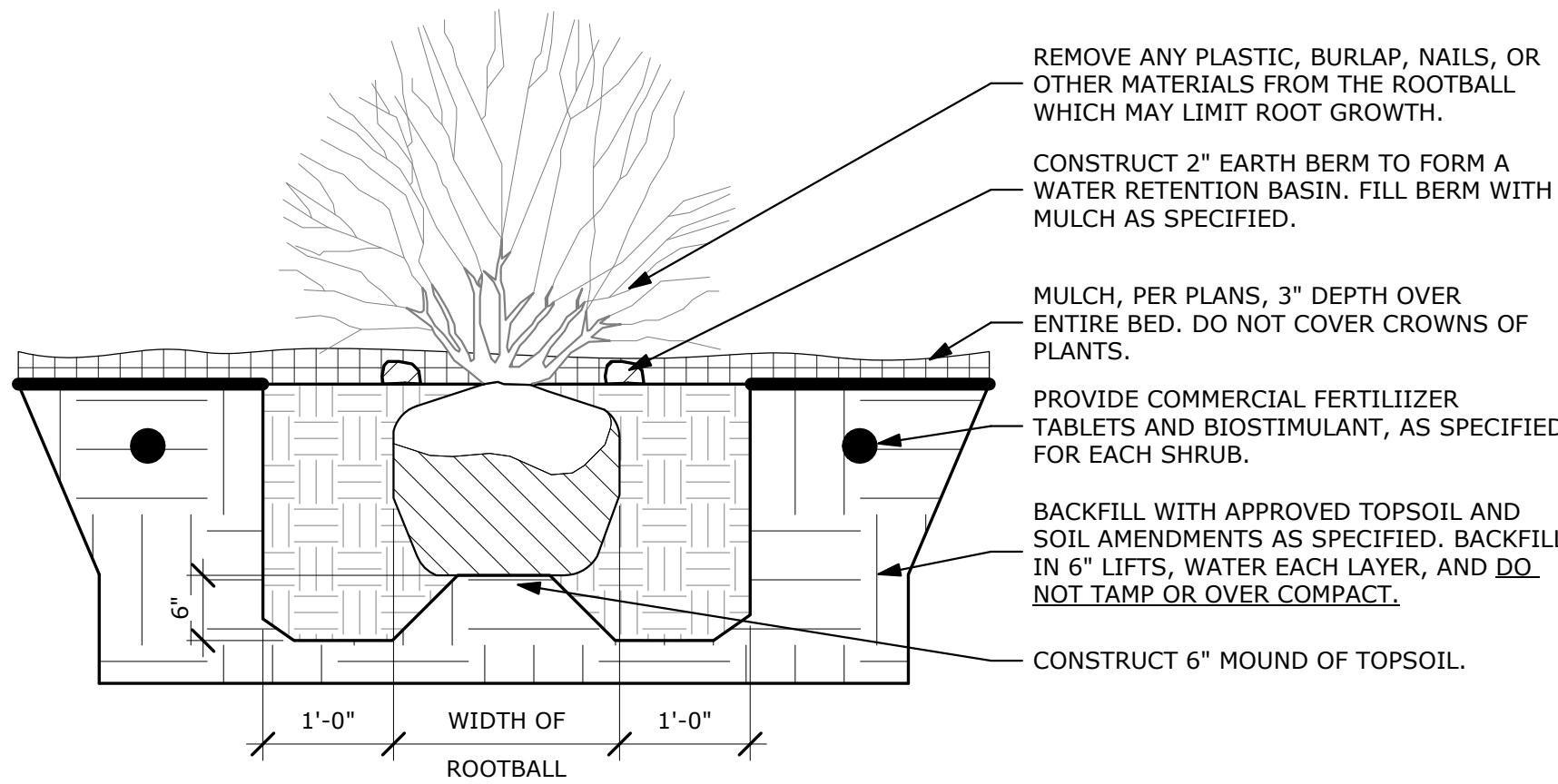
TOPSOIL NOTES:

1. TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7, FOUR PERCENT ORGANIC MATERIAL MINIMUM, FREE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
2. TOPSOIL SOURCE: STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS REQUIREMENT.
3. REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET. NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION.
4. PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED. PLACE TOPSOIL DURING DRY WEATHER. PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
5. COMPACTED TOPSOIL THICKNESS AT THE FOLLOWING AREAS:
A) LAWN AREAS: 9 INCHES MINIMUM OR AS NECESSARY TO ACHIEVE EVEN GRADES WITH SURROUNDING LAWN AREAS.
B) PLANTER BEDS: 18 INCHES MINIMUM
6. FINE GRADE TOPSOIL TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES. FINISH GRADE OF TOPSOIL SHALL BE 2" BELOW FINISH GRADE OF PAVEMENTS AREAS FOR SOD AND 1" FOR SEED.
7. TOPSOIL STOCKPILE LOCATIONS TO BE COVERED COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.
8. ALL GRAVEL, SUBBASE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL ONLY BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS. NO GRAVEL OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.



1 PLANTER BED CUT EDGE

SCALE: 1 1/2" = 1'-0"

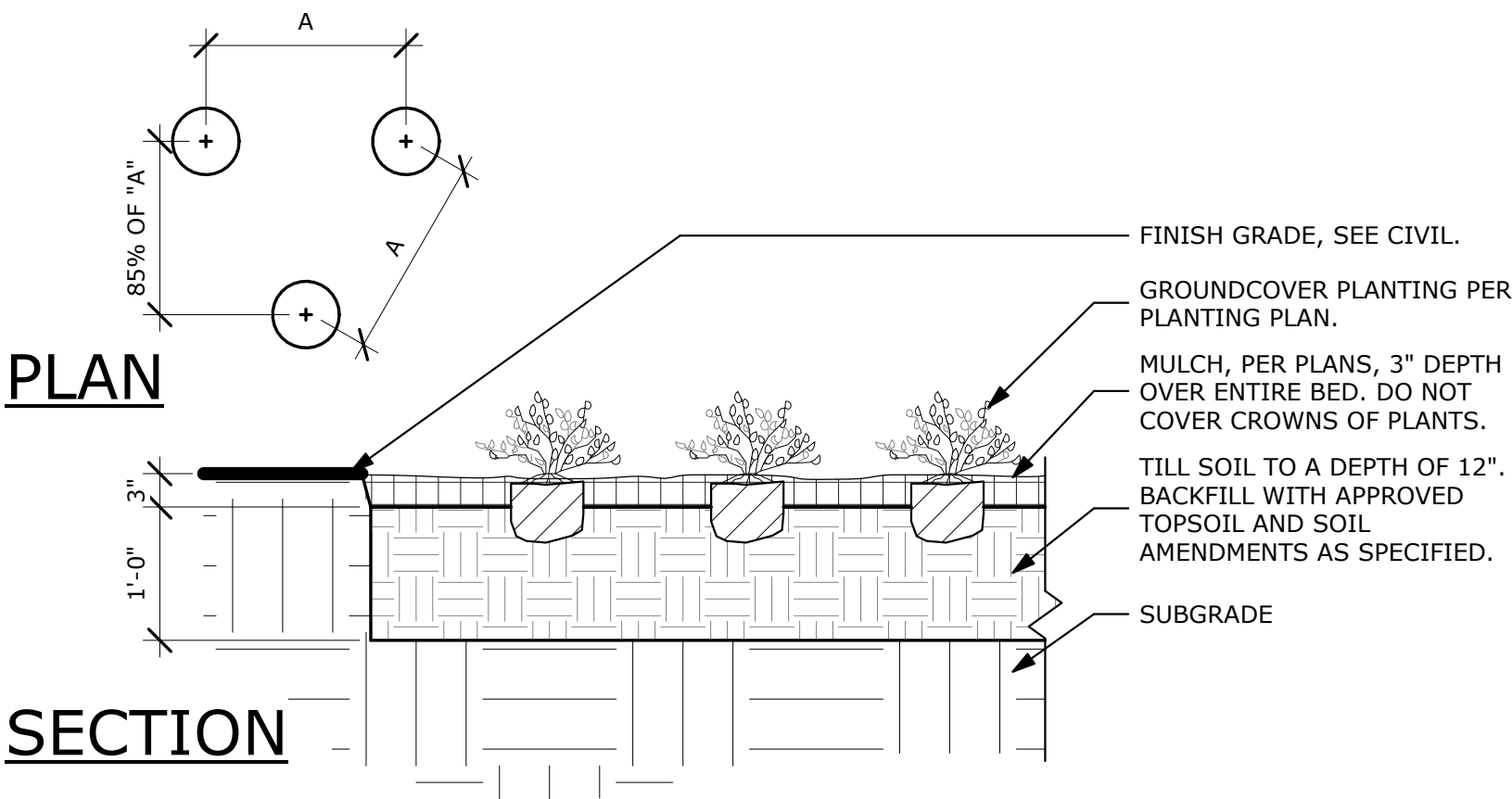


NOTES:

1. SHRUB SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT DID IN NURSERY.
2. WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
3. THIN BRANCHES AND FOLIAGE BY 1/3.
4. DO NOT CUT LEADERS TO RETAIN NATURAL SHRUB SHAPE.
5. FOR CONTAINER GROAN PLANTS THAT ARE ROOTBOUND SPLIT THE ROOTBALL WITH 3

2 SHRUB PLANTING/ERTICAL CUTS.

SCALE: 3/4" = 1'-0"



SECTION

NOTES:

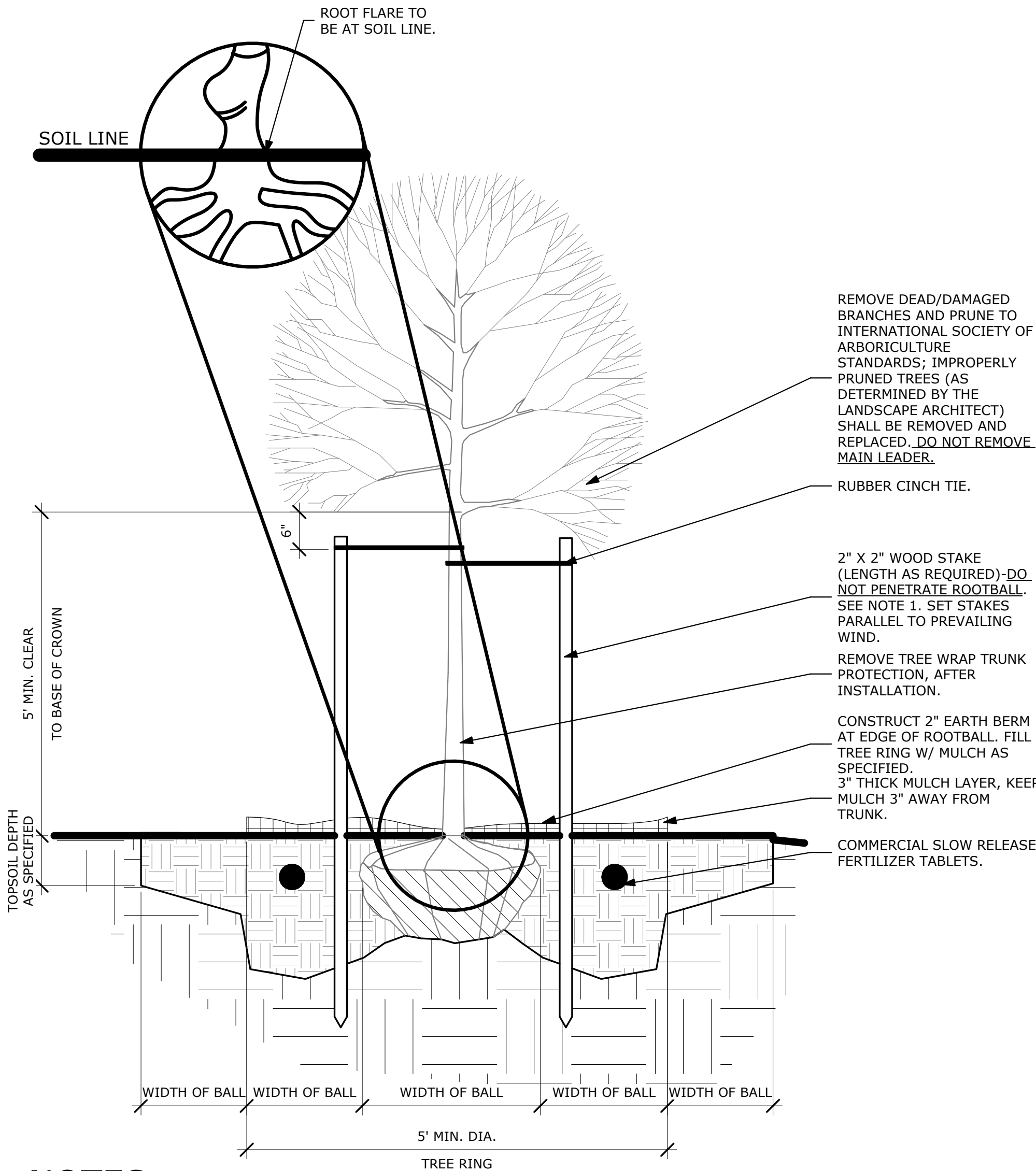
1. ALL GROUND COVER PLANTS TO BE PLANTED ON CENTER IN A TRIANGULAR PATTERN.
2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S

3 GROUND COVER PLANTING IS TO ALL GROUND COVER BEDS.

SCALE: 3/4" = 1'-0"

IRRIGATION NOTES:

1. GROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ANNUALS, PERENNIALS GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP SPRAY SYSTEM. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
A) PRECISE INDIVIDUAL STATION TIMING.
B) RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES.
C) AT LEAST ONE PROGRAM FOR EACH HYDROZONE.
D) SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF.
E) POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
6. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
8. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.



NOTES:

1. REMOVE BURLAP, TWINE, AND WIRE BASKET FROM TOP 2/3 OF ROOTBALL. REMOVE ALL NAILS, TIES, AND PLASTIC FROM ROOTBALL. IF SYNTHETIC BURLAP IS UTILIZED TO WRAP THE ROOTBALL, IT SHALL BE COMPLETELY REMOVED. ONLY BIODEGRADABLE BURLAP SHALL BE LEFT ON THE BOTTOM OF THE ROOTBALL.
2. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
3. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
5. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
6. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
7. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
8. FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8'-0" IN WIDTH, PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR

4 DECIDUOUS TREE PLANTING

SCALE: 3/4" = 1'-0"

WEED ABATEMENT NOTES:

1. ALL AREAS TO BE PLANTED OR HYDROSEEDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
2. CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH "ROUND-UP" (CONTACT HERBICIDE) OR APPROVED EQUAL.
3. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
4. CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
5. APPLY SECOND APPLICATION OF "ROUND-UP" TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
6. IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
8. AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.