



## DESIGN REVIEW

Permit info: \_\_\_\_\_ DSRFY2024-0014 \_\_\_\_\_

Application Date: 07/29/2024 \_\_\_\_\_ Rec'd by: CW \_\_\_\_\_

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [building@gardencityidaho.org](mailto:building@gardencityidaho.org)

| APPLICANT                          | PROPERTY OWNER                       |
|------------------------------------|--------------------------------------|
| Name: Jeff Hatch                   | Name: Douglas Crafts                 |
| Company: Hatch Design Architecture | Company: Chinden Business Center LLC |
| Address: 200 W 36th St             | Address: PO Box 313                  |
| City: Boise                        | City: Los Gatos                      |
| State: ID Zip: 83714               | State: CA Zip: 95031                 |
| Tel.: 208-475-3204                 | Tel.: 208-947-0845                   |
| E-mail: Jeff@HatchDA.com           | E-mail: craftsmdoug@gmail.com        |

### PROPERTY AND DESIGN INFORMATION

This application is a request to: ☒ Construct New ☐ Addition ☐ Subdivision

Site Address: 5200 W Chinden Blvd

|   |                 |                    |
|---|-----------------|--------------------|
| Subdivision Name: 4N 2E 31                  | Lot: 3 & 4      | Block:             |
| Tax Parcel Number: S0631233600, S0631233601 | Zoning: C-2     | Total Acres: 0.680 |
| Proposed Use: Drive-thru coffee shop        | Floodplain: Yes | No X               |

#### OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?  
[See response in the Design Review Application Narrative.pdf.](#)
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?  
[See response in the Design Review Application Narrative.pdf.](#)
3. What are the building materials?  
[See response in the Design Review Application Narrative.pdf.](#)
4. What are the existing notable site features and how does the design respect them?  
[See response in the Design Review Application Narrative.pdf.](#)
5. Is the building consistent with the adopted streetscape?  
[See response in the Design Review Application Narrative.pdf.](#)

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

[See responses regarding bike and pedestrian use in the Design Review Application Narrative.pdf.](#)

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

[See responses regarding parking and parking lot standards in the Design Review Application Narrative.pdf.](#)

**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

[See responses regarding community interaction in the Design Review Application Narrative.pdf.](#)

**Landscaping:** Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

[See responses regarding landscaping in the Design Review Application Narrative.pdf.](#)

**Building Design:** How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

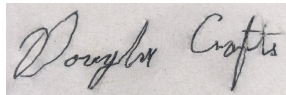
[See responses regarding building design in the Design Review Application Narrative.pdf.](#)

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.



07-26-2024

Signature of the Applicant (date)



07-26-2024

Signature of the Owner (date)

### APPLICATION INFORMATION REQUIRED

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent                            | <input checked="" type="checkbox"/> Affidavit of Legal Interest                    |
| <input checked="" type="checkbox"/> Neighborhood Map  | <input checked="" type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input checked="" type="checkbox"/> Site Plan   |  |
| <input checked="" type="checkbox"/> Landscape Plan  |  |
| <input checked="" type="checkbox"/> Schematic Drawing   |  |
| <input checked="" type="checkbox"/> Lighting Plan   |  |
| <input type="checkbox"/> Topographic Survey   |  |
| <input type="checkbox"/> Grading Plan   |  |
| <input checked="" type="checkbox"/> Will Serve Letter <b>**If required, must submit a Fire Flow Request</b> |  |
| <input type="checkbox"/> Ada County Approved Addresses  |  |
| <input checked="" type="checkbox"/> Waiver Request of Application Materials                                 |  |



## **PLEASE CHECK THE FOLLOWING:**

### **INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:**

- ☐ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☐ Purpose, scope, and intent of project
- ☐ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### **INFORMATION REQUIRED ON NEIGHBORHOOD MAP:**

- ☐ 8 ½" x 11" size minimum
- ☐ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☐ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

### **INFORMATION REQUIRED ON SITE PLAN:**

- ☐ Scale not less than 1" = 20', legend, and north arrow.
- ☐ Property boundary, dimensions, setbacks and parcel size.
- ☐ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☐ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☐ Adjacent public and private street right of way lines
- ☐ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☐ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☐ Driveways, access to public streets, parking with stalls, loading areas.
- ☐ Sidewalks, bike and pedestrian paths.
- ☐ Berms, walls, screens, hedges and fencing.
- ☐ Location and width of easements, canals, ditches, drainage areas.
- ☐ Location, dimensions and type of signs.
- ☐ Trash storage and mechanical equipment and screening.
- ☐ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☐ Log depicting square footage of impervious surface, building and landscaping
- ☐ Location and height of fences and exterior walls
- ☐ Location and dimensions of outdoor storage areas
- ☐ Location of utilities and outdoor serviced equipment and areas
- ☐ Location of any proposed public art, exterior site furniture, exterior lighting, signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- ☐ Scale the same as the site plan.
- ☐ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☐ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☐ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- ☐ Cross section through any special features, berms, and retaining walls.
- ☐ A plant list of the variety, size, and quantity of all proposed vegetation
- ☐ Log of square footage of landscaping materials corresponding to location
- ☐ Locations and dimensions of open space and proposed storm water systems

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- ☐ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☐ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☐ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☐ Overall dimensions of all proposed structures
- ☐ Specifications on exterior surface materials and color
- ☐ Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- ☐ 11" x 17" size minimum
- ☐ Location, type, height, lumen output, and luminance levels of all exterior lighting
- ☐ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- ☐ Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- ☐ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- ☐ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

**INFORMATION REQUIRED ON GRADING PLAN:**

- ☐ 11" x 17" size minimum
- ☐ Scale not less than one inch equals twenty feet (1" = 20')
- ☐ Two foot (2') contours for the entire proposal site
- ☐ One foot (1') contours for details, including all planimetric features
- ☐ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☐ Existing easement and utility locations
- ☐ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- ☐ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ☐ Proposed storm water systems



**INFORMATION REQUIRED MASTER SIGN PLAN:**

***\*Required for developments of two or more buildings:***

- ☐ Location, elevations, and materials of proposed signage

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

***\*Required if irrigation canal/irrigation ditch runs through property or along property lines:***

- ☐ Letter from company indicating approval

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

- ☐ Statement must include a list of the application materials to be waived and an explanation for the request.



State of Idaho )  
 )SS  
County of Ada )

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to Hatch Design Architecture,  
Name of Applicant  
to submit the accompanying application pertaining to 5200 W Chinden Blvd,  
Address of Property Subject to this Affidavit  
Garden City Idaho, 83714 property.
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 17<sup>TH</sup> day of JUNE, 2024

Signature Douglas Crafts Printed Name DOUGLAS CRAFTS  
(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

**Subscribed and sworn to before me the day and year first above written.**

Notary Public for Idaho

Residing at: \_\_\_\_\_

My Commission expires\_\_\_\_\_

# CALIFORNIA JURAT

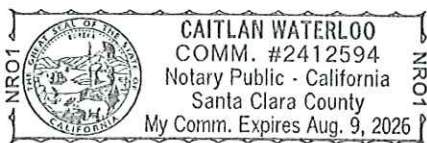
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )

County of Santa Clara )

Subscribed and sworn to (or affirmed) before me on this 17 day  
of JUNE, 20 24, by Douglas Edward  
Crafts —

proved to me on the basis of satisfactory evidence to be the person(s)  
who appeared before me.



(Seal)

Signature

## Optional Information

Although the information in this section is not required by law, it could prevent fraudulent removal and reattachment of this jurat to an unauthorized document and may prove useful to persons relying on the attached document.

### Description of Attached Document

This certificate is attached to a document titled/for the purpose of

Property Owner Permission  
Affidavit of Legal Interest —

containing 2 pages, and dated 06/17/2024.

### Additional Information

#### Method of Affiant Identification

Proved to me on the basis of satisfactory evidence:

☐ form(s) of identification ☐ credible witness(es)

Notarial event is detailed in notary journal on:

Page # \_\_\_\_\_ Entry # \_\_\_\_\_

Notary contact: \_\_\_\_\_

#### Other

☐ Affiant(s) Thumbprint(s) ☐ Describe: \_\_\_\_\_



## CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714  
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais  
Boise Fire Department  
333 Mark Stall Place  
Boise, Idaho 83704-0644

July 16, 2024

Subject: Ability to Provide Fire Flows

**Fire Flow Information:**

Address fire flow requested for: 5200 W Chinden Blvd

Fire hydrant serving this address: #3202

Fire flow Garden City is able to provide is 2000 gpm at 20 psi residual for 2 hours.

**Sprinkler System Design Information:**

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 2000 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

*Chad Vaughn*

Garden City Public Works Water Division

cc:  
Applicant  
File



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**Compliance Statement and Statement of Intent**

July 26th, 2024

Planning & Zoning  
Garden City  
6015 Glenwood St.  
Garden City, Idaho 83714

Re: **Design Review for Starbucks 52<sup>nd</sup> Street**  
**Located at: 5200 W Chinden Blvd, Garden City, ID 83714**  
**Parcel Nos.: S0631233600, S0631233601**

Dear Planning Staff,

The scope of this project is to add a new drive-thru coffee shop with indoor and outdoor seating to an undeveloped site in Garden City, thereby creating a neighborhood destination and gathering place with a welcoming environment meant to encourage community connections. The proposed project meets all applicable city, state, and national building codes.

The proposed tenant is Starbucks, the drive-thru and plaza sits on approximately 0.70 acres. The site consists of two parcels S0631233600, S0631233601. It is located at 5200 W Chinden Blvd, on the north corner of the Chinden Boulevard and 52<sup>nd</sup> Street intersection. The proposed site will include 16 standard parking stalls, 1 compact parking stall, 1 ADA parking stall, and 8 bicycle parking spaces. The site has been designed with safety and comfort in mind by ensuring unobstructed views in the parking lot, while also having clear signage alerting drivers to pedestrian pathways and drive-thru entrances/exit on the site. The site is also compatible with the surrounding commercial zones.

The landscaped areas provide a sense of place within the site and allow for both private and communal engagement within. They also soften harsh surfaces with the incorporation of vegetation. The outdoor seating is located on the corner of the site furthest away from neighboring parcels, and the light toward Chinden Blvd from the headlights of cars waiting for the drive-thru window will be obstructed by architectural screens and vegetation.

Please contact our office with any questions you may have in reviewing the application materials.

Sincerely,

Jeff Hatch, AIA LEED AP  
**Hatch Design Architecture**



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July 3rd, 2024

**Design Review Application Narrative**

Planning & Zoning  
Garden City  
6015 Glenwood St.  
Garden City, Idaho 83714

Re: **Design Review for Starbucks 52<sup>nd</sup> Street**  
**Located at: 5200 W Chinden Blvd, Garden City, ID 83714**  
**Parcel Nos.: S0631233600, S0631233601**

Dear Planning Staff,

**Overview:**

The proposed project is a Starbucks drive-thru with a plaza and indoor seating on approximately 0.7 acres. The site consists of two parcels S0631233600 and S0631233601; it is located at 5200 W Chinden Boulevard, on the north corner of the Chinden Boulevard and East 52nd Street intersection. The proposed site will provide 16 standard parking stalls, 1 compact parking stall, 1 ADA parking stall, and 8 bicycle parking spaces.

**Objectives:**

- 1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?**

The structure has been efficiently designed to connect to both pedestrians and drivers along Chinden Boulevard by creating intrigue through the use of glazing and modern materials and colors. The building and plaza exceed the 60% frontage coverage requirement for Chinden Boulevard as set forth by Garden City. A combination of glazed building frontage and outdoor plaza seating engages the street and the pedestrian with landscaped areas and comfortable access to seating, food, and drinks, providing a community third space.

- 2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?**

The site is well connected and creates pedestrian pathways throughout which connect to the existing public sidewalks. The proposed layout will create a safe pedestrian connection between East 52<sup>nd</sup> Street and the neighboring business complex to the west. All parking is off-street and in designated parking areas. The parking areas will be screened by the building frontage, landscaping, and architectural features to mitigate the negative effects of vehicle headlights and glare, and to provide pedestrians a feeling of separation, safety, and peace along Chinden Boulevard. The proposed site parking is unobstructed by the drive-thru on site, increasing user ease and safety.





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**3. What are the building materials?**

The building materials will consist of a combination of composite metal paneling and EIFS. The roof will be a metal material. The site screening will combine gabion features with weathered Corten.

**4. What are the existing notable site features and how does the design respect them?**

The site's prominent location on Chinden Boulevard and East 52<sup>nd</sup> Street is its most notable feature. Because of the outstanding location, it is important that this project brings an architecturally interesting building to Chinden Boulevard. The design proposed showcases Garden City's goal to improve the walkability of Chinden by providing a comfortable pedestrian plaza, creating an architecturally significant, and distinct frontage, and providing safe access to the café and drive-thru for Chinden commuters.

**5. Is the building consistent with the adopted streetscape?**

The street landscaping and frontage will meet or exceed the standards set forth in GCC 8-4I-4(B) and GCC 8-4C-2, as well as the streetscape plan agreed upon by ITD and Garden City on March 8<sup>th</sup>, 2024. The building and site will be designed to engage the public along the street frontage. This will be accomplished with architectural features, such as gabion and Corten screen walls, which will create a consistent streetscape and design language along Chinden, as there are other materially similar site features throughout the length of Chinden Boulevard going through Garden City. Pedestrian paths, landscaping, and patron seating along Chinden Boulevard and East 52<sup>nd</sup> Street will also help to reinforce the desired design language that Garden City is working to achieve by creating a more walkable boulevard.

**Bike and Pedestrian:**

***How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts?***

Bike and pedestrian circulation are arranged to respect adjacent facilities internal circulation, and potential vehicular conflicts by incorporating clear visuals and signage alerting drivers of pedestrian use.

***Is there a sidewalk?***

Yes, the site plan proposes a sidewalk that will tie into the existing sidewalk along East 52<sup>nd</sup> Street, and provide a new sidewalk with landscaping along the site's frontage on Chinden Boulevard.



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**Bike and Pedestrian, continued:**

***How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?***

The site features sidewalks throughout which provide connection to multiple green spaces and access to public sidewalks along Chinden Boulevard and East 52<sup>nd</sup> Street. Pathways that cross drive aisles will be clearly defined with pavement markings and signage where needed.

Pedestrians and bicycle riders can access the greenbelt at the intersection of Remington Street and East 52<sup>nd</sup> Street. This access is approximately 0.5 miles from the proposed site. The project is proposing to provide 8 bicycle parking spaces to accommodate bicycle riders.

Pedestrians and bicycle riders can also access the bus stop nearby at West Chinden Boulevard and North Kent Lane, which is approximately .3 miles northwest of the site, and the bus stop at West Chinden Boulevard and West Murray Street, which is approximately .5 miles southeast of the project site.

**Parking and parking lot standards:**

***Is there a tree provided for every 5 parking stalls?***

At least one tree per every 5 parking stalls will be provided.

***Is there bike parking provided?***

Yes, there will be 8 bicycle parking spaces provided on site.

***Is the parking adequately screened from adjacent uses and the street?***

Yes, on-site parking is located behind the building and plaza which creates a visual buffer between Chinden Boulevard and the provided parking. The parking will also be screened by landscaping and architectural features which are designed to be an adequate height to screen unwanted glare and headlights from parked vehicles and vehicles queued in the drive-thru.

***Is there any stall that is located more than 100' from a shade tree?***

There is no parking stall that is located more than 100' from a shade tree.





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**Community Interaction:**

***How does the development incorporate into the envisioned neighborhood?***

The proposed project would create a neighborhood destination for the surrounding residential districts as well as the neighboring businesses.

***How does the proposed project support a compact development pattern that enables intensification of development and changes over time?***

The project supports an intensification of development and changes over time by providing new development on a vacant property in a location that is accessible by bus, vehicle, and the Greenbelt.

***How does the proposed design support a development pattern in nodes rather than strip commercial along arterial corridors?***

This project supports development pattern in nodes by incorporating landscape screening from arterial roadways.

***How does this project promote a place where people want to be?***

The proposed building would be complimentary to the surrounding commercial districts. It aims to bring more services to Garden City by creating a comfortable meeting spot with food and beverage service, all while adding to the evolving aesthetics of Chinden Boulevard.

***If not exempt, 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?***

The project is required to provide 12 sustainability points per Garden City's Sustainability Checklist, the project surpasses this by 2 points, for a total of 14 points.



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**Landscaping:**

***Is there more than 5% of the site dedicated to landscaping?***

At least 5% of the site is proposed to be dedicated to landscaping. The site will be landscaped per the standards set forth in GCC 8-4I.

***Is there one class II or class III tree provided for every 50' of street frontage?***

There is at least one class II or III tree per every 50' of street frontage.

***Will any trees be removed from the site?***

Yes, there are three trees on site that will be removed. An arborist will determine the health of the trees and those that are healthy will be mitigated for.

***What kind of irrigation will be provided?***

Automatic irrigation compatible with the requirements of the landscaping will be provided on site.

***Is the landscaping compatible with local climactic conditions?***

The landscape proposed is compatible with local climate conditions and is readily available at most local nurseries.

**Building Design:**

***How does the building provide visual interest and positively contribute to the overall urban fabric of the community?***

The building provides visual interest with its proximity to Chinden, as its frontage prioritizes glazing, this provides passers-by a view of a bustling community hub. The proposed project will help strengthen the urban fabric by providing users an effective third space which utilizes landscape design elements to connect users to existing pathways and other community centers.

***What is the floor to area ratio?***

30,636 SF (site total)/ 2,300 SF (building total) = 13.32

***Is there relief incorporated into facades and or rooflines greater than 50'?***

Relief will not be required in the roof line or façade as the building will not be taller than 50'.



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**Building Design, continued:**

***What are the setbacks?***

The setback requirements are 5' in the front, rear, and sides of the property.

***How are the outdoor service and equipment areas screened?***

The outdoor equipment areas are proposed to be screened by architectural screen walls that will be used throughout the site as screening for parked and queued vehicles, creating a consistent design language.

***If there are multiple structures, are the setbacks consistent?***

There is only one structure proposed on site.

***Are there any "green building" concepts are incorporated into this project?***

*Yes, the design demonstrates green building concepts by integrating drought tolerant landscaping with native plants, providing users access to natural light, and a comfortable green space in an area that is lacking access to green spaces which are able to serve multiple functions, in the way that the proposed project will.*

Please contact our office with any questions you may have in reviewing the application materials.

Sincerely,

Jeff Hatch, AIA LEED AP  
**HATCH DESIGN ARCHITECTURE**



**HATCH  
DESIGN  
ARCHITECTURE**

200 w 36<sup>th</sup> street, Garden City, Idaho 83714 • phone 208.475.3204 • fax 208.475.3205 • email info@hatchda.com

**Waiver Request of Application Materials**

July 3rd, 2024

Planning & Zoning  
Garden City  
6015 Glenwood St.  
Garden City, Idaho 83714

Re: **Design Review for Starbucks Drive-Thru Located at:  
5200 W Chinden Blvd, Garden City, ID 83714**

Dear Planning Staff,

Below is a list of the application materials requested to be waived for the Design Review Application which will be provided with the building permit application.

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1. Grading Plan
2. Topographic Survey
3. ADA County Approved Addresses

Please contact our office with any questions you may have in reviewing the application materials.

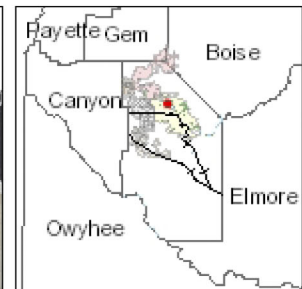
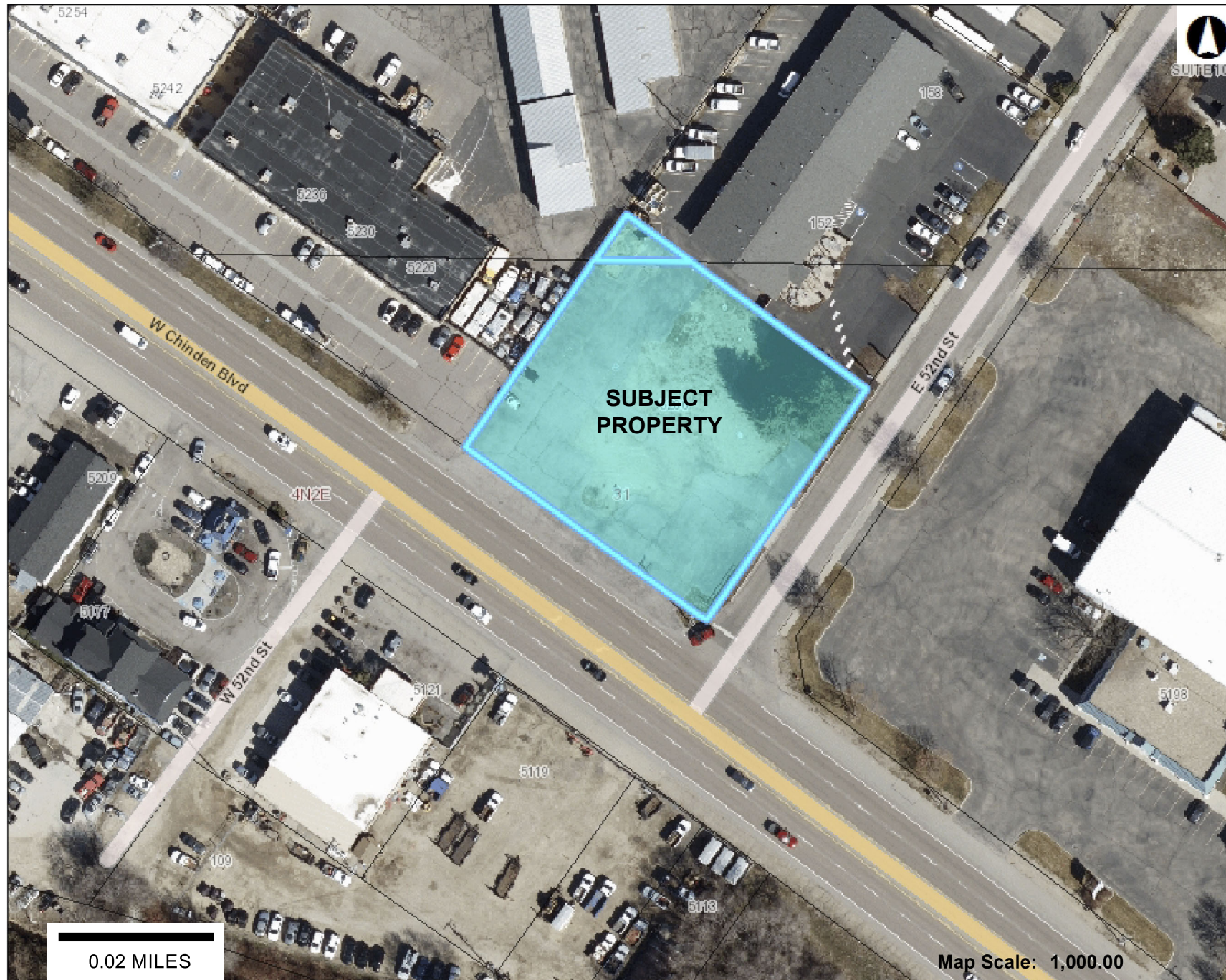
Sincerely,

Jeff Hatch, AIA LEED AP  
**HATCH DESIGN ARCHITECTURE**



## Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



### Legend

- +— Railroad
- Roads (<2,000 scale)
  - <all other values>
  - Interstate
  - Ramp
  - Principal Arterial
  - Collector
  - Minor Arterial
  - Local
  - Parks
  - Alley
  - Driveway
- Parks
- Address
- Townships
- Sections
- Condos
- Parcels

raster.DBO.AdaOrthos:

- Red: Band\_1
- Green: Band\_2
- Blue: Band\_3

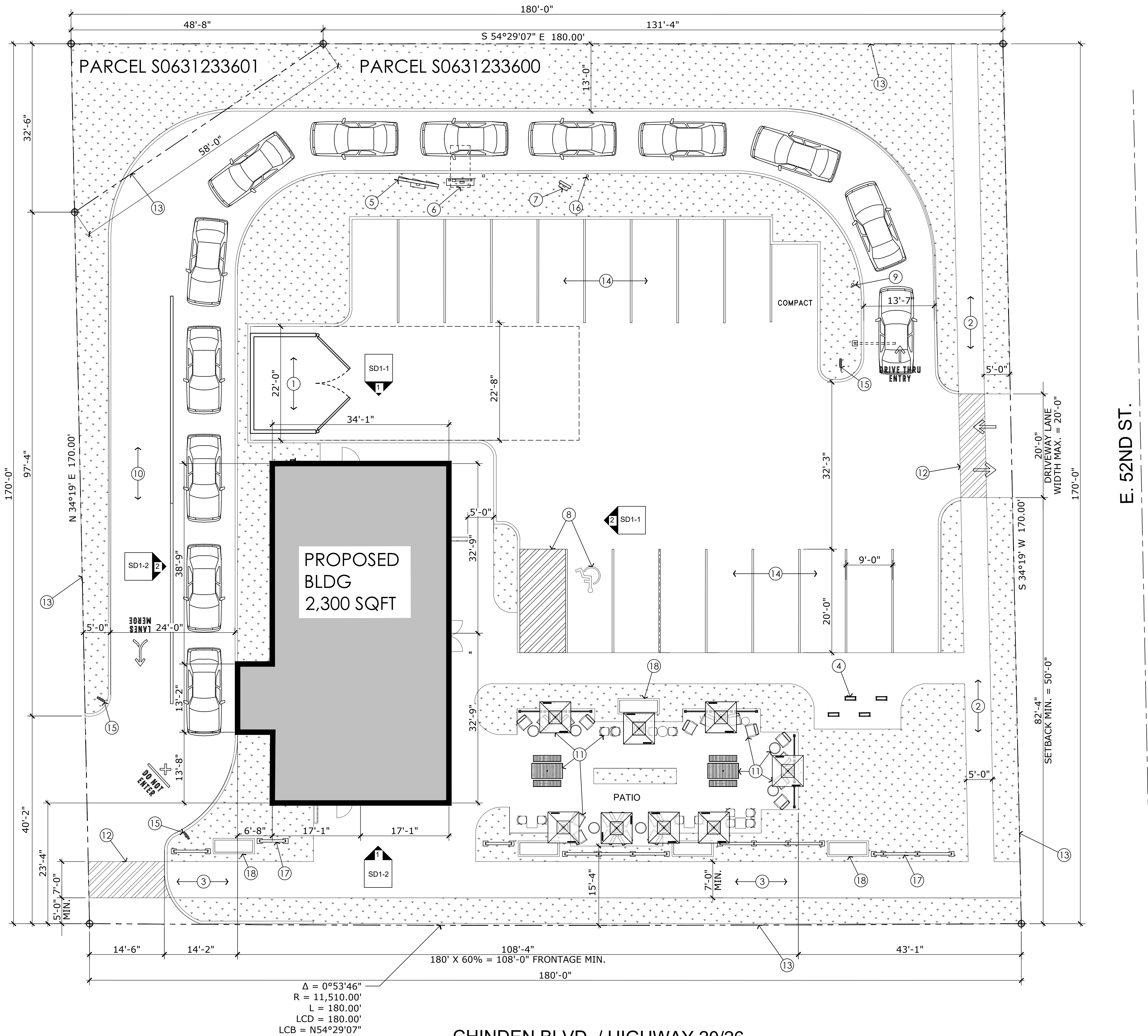
raster.DBO.AdaOrthos:

- Red: Band\_1
- Green: Band\_2
- Blue: Band\_3

Map Scale: 1,000.00

6/18/2024





## SITE RECAP

|  |                         |
|--|-------------------------|
| <b>ZONING:</b><br>C-2   GENERAL COMMERCIAL |                         |
| <b>TOTAL PROJECT SITE:</b>                 |                         |
| PARCEL S0631233600                         | 29,844 SF (±0.68 ACRES) |
| PARCEL S0631233601                         | 792 SF (±0.02 ACRES)    |
| TOTAL                                      | 30,636 SF (±.70 ACRES)  |

|                                     |               |
|-------------------------------------|---------------|
| <b>PROPOSED BUILDING FOOTPRINT:</b> |               |
| PROPOSED BUILDING                   | 2,300 SF      |
| TOTAL                               | 2,300 SF (8%) |

|                               |                  |
|-------------------------------|------------------|
| <b>INTERNAL LOT COVERAGE:</b> |                  |
| PROPOSED BUILDING             | 2,300 SF (8%)    |
| IMPERVIOUS SURFACE            | 19,424 SF (63%)  |
| LANDSCAPING                   | 8,912 SF (29%)   |
| TOTAL                         | 30,636 SF (100%) |

|                  |              |              |
|------------------|--------------|--------------|
| <b>SETBACKS:</b> |              |              |
| FRONT - 5'-0"    | SIDE - 5'-0" | REAR - 5'-0" |

|                              |  |
|------------------------------|--|
| <b>PARKING:</b>              |  |
| REQUIRED: 1 SPACE PER 500 SF |  |
| 1 SPACE PER 500 SF (BICYCLE) |  |
| 2,300 SF / 500 SF = 5 SPACES |  |
| HC ACCESSIBLE - 1 SPACE      |  |
| BICYCLE - 5 SPACES           |  |

|                         |           |
|-------------------------|-----------|
| PROVIDED: HC ACCESSIBLE | 1 SPACE   |
| STANDARD                | 16 SPACES |
| COMPACT                 | 1 SPACE   |
| TOTAL                   | 18 SPACES |
| BICYCLE                 | 8 SPACES  |

STACKING SPACES BEFORE ORDER BOX:

4 SPACES MIN.  
6 SPACES PROVIDED

STACKING SPACES FROM ORDER BOX TO PICK UP WINDOW:

7 SPACES PREFERRED BY STARBUCKS  
7 SPACES PROVIDED

## KEYNOTES

- TRASH ENCLOSURE
- PROPOSED 5' WIDE CONCRETE SIDEWALK
- PROPOSED 7' WIDE CONCRETE SIDEWALK
- BIKE RACK, SEE DETAIL 5/L-1.1
- MENU BOARD
- DIGITAL ORDER SCREEN WITH CANOPY
- PRE-MENU BOARD
- ACCESSIBLE PARKING STALL WITH ACCESS AISLE
- IDLE-FREE SIGNAGE, PER GCMC 8.2C.13
- DRIVE THRU ESCAPE LANE
- OUTDOOR SEATING WITH PATIO UMBRELLAS
- PEDESTRIAN CROSSING SIGNAGE
- PROPERTY BOUNDARY LINE
- PARKING STALLS
- WAYFINDING DIRECTIONAL SIGNAGE
- METAL BOLLARD
- 4'-6" HIGH MAX. GABION WALL SITE SCREENING, SEE DETAILS ON SHEET L-1.1
- PLANTER BOX, SEE DETAIL 6/L-1.1

HATCH DESIGN  
ARCHITECTURE  
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ARCHITECT: J. CHANDLER  
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NEW CONSTRUCTION FOR:

STARBUCKS

5200 W CHINDEN BLVD, GARDEN CITY, IDAHO 83714

DATE: DATE

DATE: JULY 2024  
DRAWN BY: SK, RRI  
CHECKED BY: JKH  
JOB NUMBER: MKT24

SHEET TITLE

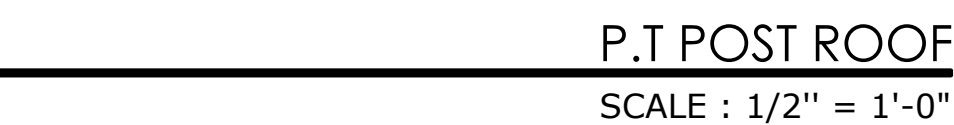
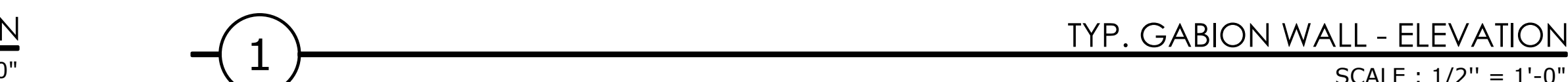
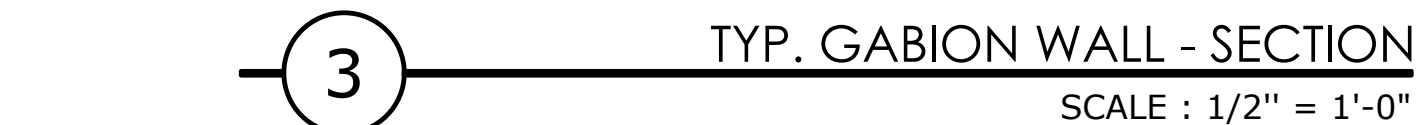
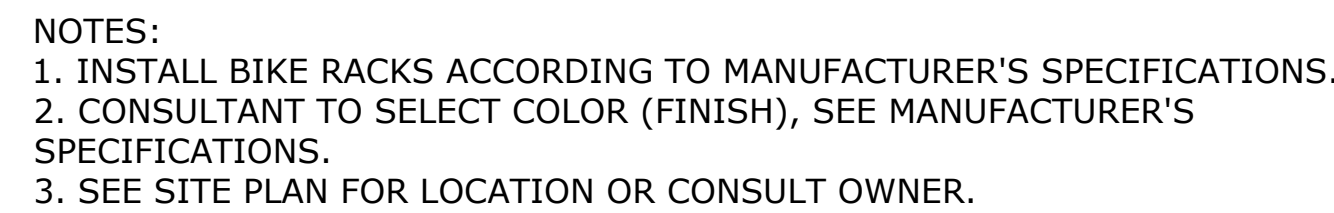
SITE PLAN

SHEET NUMBER

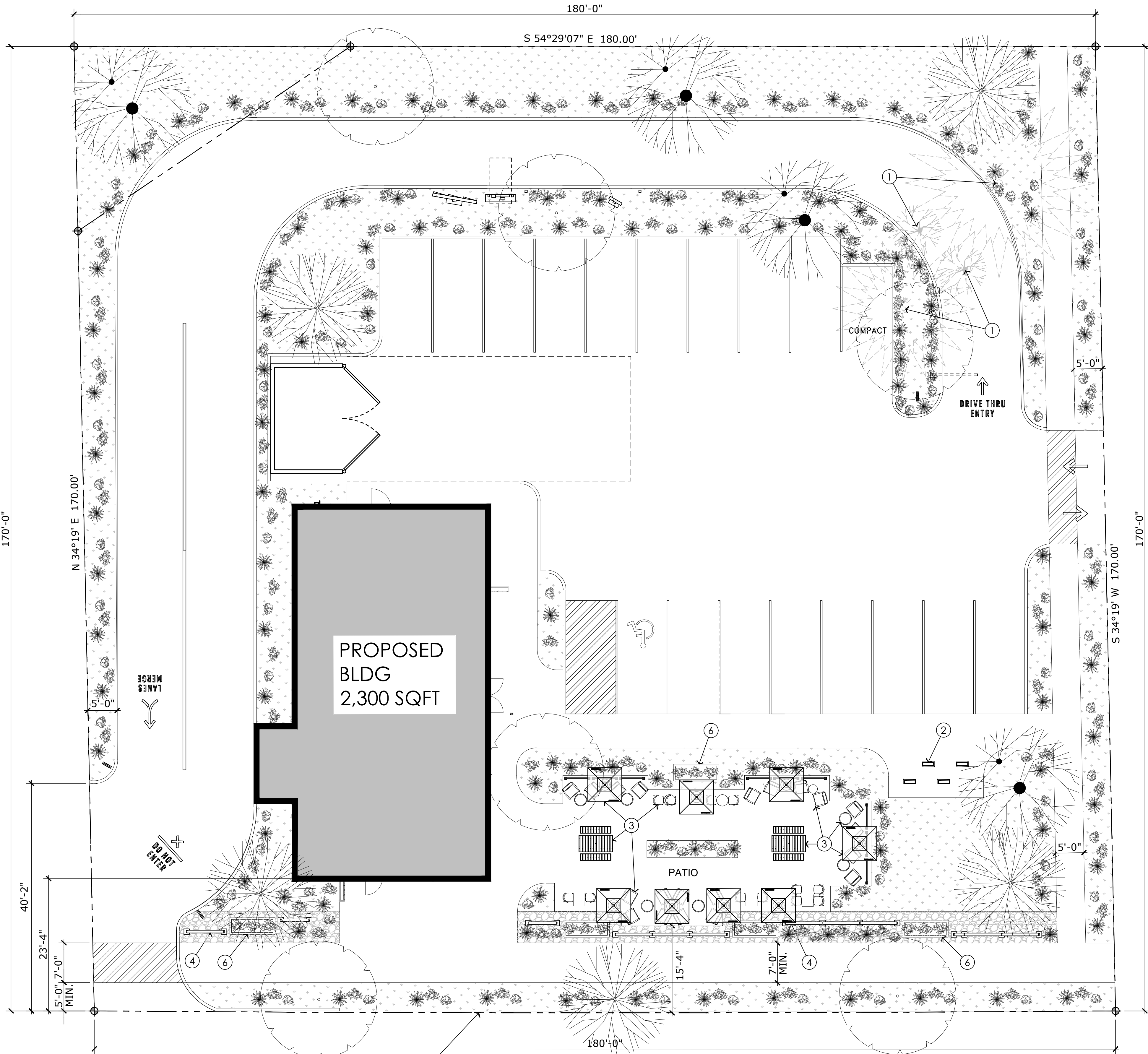
A-1.0

SHEET









$\Delta = 0^\circ 53' 46''$   
 $R = 11,510.00'$   
 $L = 180.00'$   
 $LCD = 180.00'$   
 $LCB = N54^\circ 29' 07''$

CHINDEN BLVD. / HIGHWAY 20/26

PROPOSED LANDSCAPE PLAN

SCALE: 1"=10'-0"

LANDSCAPE SCHEDULE

| DECIDUOUS TREES | SYMBOL | BOTANICAL NAME                 | SIZE        | MATURE SIZE H&W | CLASS    | QTY        |
|-----------------|--------|--------------------------------|-------------|-----------------|----------|------------|
|                 |        | AMUR MAPLE                     | 2" CAL. B&B | 20' x 20'       | CLASS I  | 6          |
|                 |        | STAGHORN SUMAC                 | 2" CAL. B&B | 25' x 15'       | CLASS I  | 5          |
|                 |        | TURKISH FILBERT                | 2" CAL. B&B | 50' x 30'       | CLASS II | 4          |
| GROUND COVERS   |        | BOTANICAL NAME                 | SIZE        | MATURE SIZE H&W |          | QTY        |
|                 |        | LANDSCAPING                    |             |                 |          | 8,390 S.F. |
|                 |        | PERMAPARK                      |             |                 |          | 492 S.F.   |
| SHRUBS          |        | BOTANICAL NAME                 | SIZE        | MATURE SIZE H&W |          | QTY        |
|                 |        | WHITE FLOWER CARPET ROSE       | 2 GAL       | 3' x 3'         |          | 131        |
|                 |        | OTTO LUYKEN ENGLISH LAUREL     | 5 GAL       | 3' x 6'         |          | 117        |
|                 |        | HIDECOTE BLUE ENGLISH LAVENDER | 1 GAL       | 3' x 3'         |          | 124        |

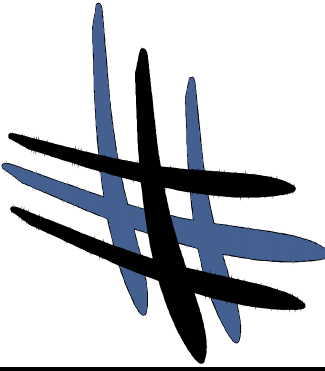
KEYNOTES

- EXISTING TREES TO BE REMOVED
- PROPOSED PUBLIC BIKE RACK,SEE DETAIL 5/L-1.1
- PROPOSED OUTDOOR SEATING WITH PATIO UMBRELLAS
- 4'-6" HIGH MAX. GABION WALL SITE SCREENING, SEE DETAILS ON SHEET L-1.1
- PLANTER BOX, SEE DETAIL 6/L-1.1

GENERAL NOTES

- A. REQUIRED LANDSCAPING AREAS SHALL BE AT LEAST SEVENTY PERCENT (70%) COVERED WITH VEGETATION AT MATURITY, WITH MULCH USED UNDER OR AROUND THE PLANTS.
- B. ALL PLANT MATERIAL INSTALLED SHALL MEET OR EXCEED THE MINIMUM FEDERAL STANDARD FOR NURSERY STOCK.
- C. ALL TREES, SHRUBS, AND OTHER PLANT MATERIAL SHALL BE PLANTED USING ACCEPTED NURSURY STANDARDS AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (LATEST EDITION) INCLUDING HOLE SIZE, BACKFILLING, AND FERTILIZATION.
- D. ALL REQUIRED LANDSCAPING SHALL BE PROVIDED WITH AN AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM IN CONFORMANCE WITH THE BEST MANAGEMENT PRACTICES FOR AUTOMATIC IRRIGATION SYSTEMS SET FORTH IN THE "GARDEN CITY DESIGN AND CONSTRUCTION GUIDE," (ORD. 898-08, 9-8-2008).
- E. REQUIRED TREES MUST BE IDENTIFIED IN THE MOST CURRENT VERSION OF THE "TREE SELECTION GUIDE FOR STREET AND LANDSCAPED THROUGHOUT IDAHO" BY BOISE PARKS AND RECREATION DEPARTMENT OR CERTIFIED BY A LISCENCED LANDSCAPE ARCHITECT TO BE APPROPRIATE TO THE PROPOSED LOCATION.
- F. ALL STORM WATER TO BE RETAINED ON SITE WITH RETAINING BASINS.

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NEW CONSTRUCTION FOR:

STARBUCKS

5200 W CHINDEN BLVD, GARDEN CITY, IDAHO 83714

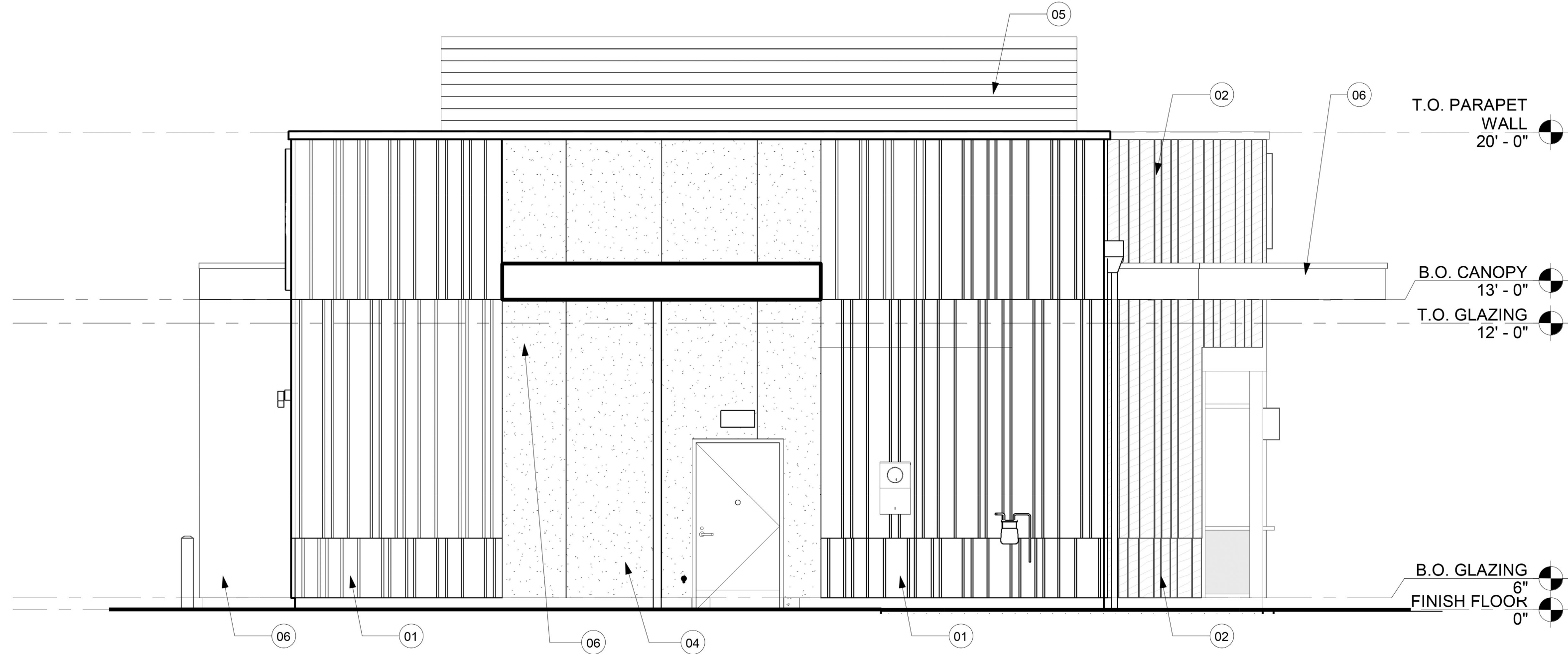
| DATE | DESCRIPTION | COMMENTS |
|------|-------------|----------|
|      |             |          |

DATE: JULY 2024  
DRAWN BY: SK, RNI  
CHECKED BY: JLN  
JOB NUMBER: MKT24

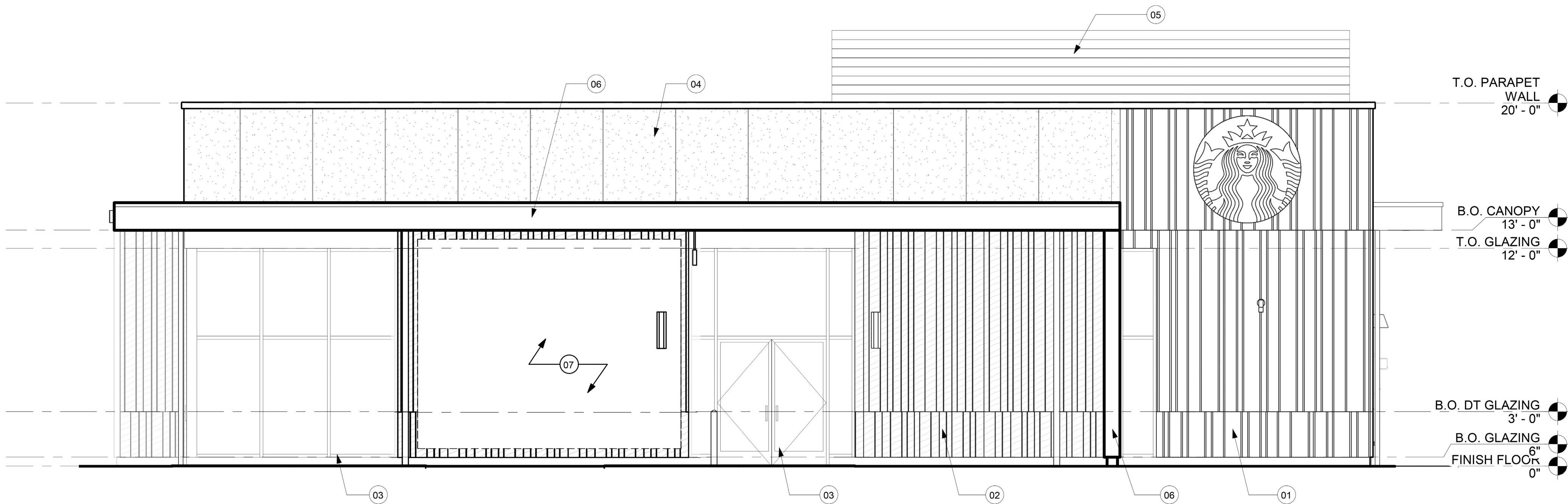
SHEET TITLE  
LANDSCAPE  
PLAN

SHEET NUMBER  
L-1.0  
SHEET





1 NORTH ELEVATION  
Scale: 1/4" = 1'-0"



2 EAST ELEVATION  
Scale: 1/4" = 1'-0"

## KEYED NOTES

1. METAL PANELS, MANUFACTURER: METALTECH GLOBAL (BASIS OF DESIGN), COLOR: ANTHRACITE GREY
2. WOOD PANELS - VARYING WIDTHS, T&G, MANUFACTURER: ACCOYA (BASIS OF DESIGN), COLOR: WATSON 1C
3. METAL STOREFRONT, COLOR: BLACK
4. EIFS, COLOR: TO MATCH METAL PANELS
5. METAL ROOF SCREEN, COLOR: TO MATCH METAL PANELS
6. METAL TRIM, COLOR TO MATCH METAL PANELS
7. EXTERIOR MURAL

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NEW CONSTRUCTION FOR:

**STARBUCKS**

5200 W CHINDEN BLVD, GARDEN CITY, IDAHO 83714

| DATE | DESCRIPTION | COMMENTS |
|------|-------------|----------|
|      |             |          |

DATE: JULY 2024  
DRAWN BY: SK, RN  
CHECKED BY: J.L.H.  
JOB NUMBER: MKT24

SHEET TITLE  
ELEVATIONS

SHEET NUMBER  
A-4.0  
SHEET





1. METAL PANELS, MANUFACTURER: METALTECH GLOBAL (BASIS OF DESIGN), COLOR: ANTHRACITE GREY
2. WOOD PANELS - VARYING WIDTHS, T&G, MANUFACTURER: ACCOYA (BASIS OF DESIGN), COLOR: WATSON 1C
3. METAL STOREFRONT, COLOR: BLACK
4. EIFS, COLOR: TO MATCH METAL PANELS
5. METAL ROOF SCREEN, COLOR: TO MATCH METAL PANELS
6. METAL TRIM, COLOR TO MATCH METAL PANELS

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NEW CONSTRUCTION FOR:

**STARBUCKS**

5200 W CHINDEN BLVD, GARDEN CITY, IDAHO 83714

[illegible]



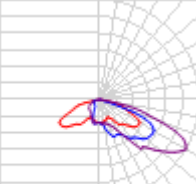
|             |           |
|-------------|-----------|
| DATE:       | JULY 2024 |
| DRAWN BY:   | SK, RN    |
| CHECKED BY: | JLH       |
| JOB NUMBER: | MKT24     |

SHEET TITLE

## ELEVATIONS

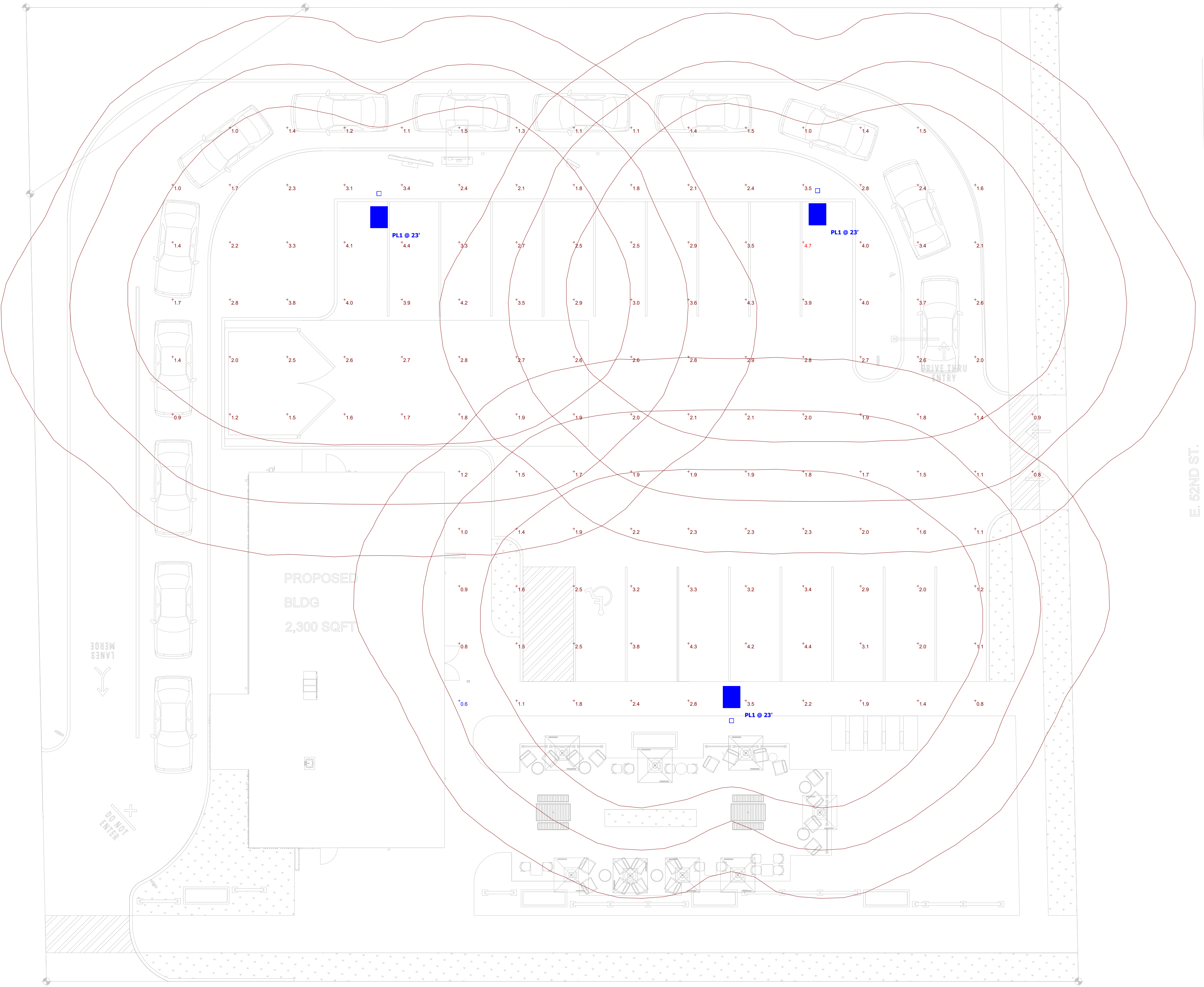
SHEET NUMBER

A-4.1

| Schedule   |       |   |   |                   |                    |   |              |             |     |             |
|--|-------|---|---|-------------------|--------------------|---|--------------|-------------|-----|-------------|
| Symbol   | Label | Image   | QTY   | Manufacturer      | Catalog            | Description   | Number Lamps | Lamp Output | LLF | Input Power |
|  | PL1   |  | 3   | Lithonia Lighting | ESX1 LED P2 40K R3 | ESX LED Area Luminaire Size 1 P2 Lumen Package 4000K CCT Type R3 Distribution | 1            | 13917       | 1   | 97.59       |
|  |       |   |  |                   |                    |   |              |             |     |             |
|  |       |   | Max: 7940cd   |                   |                    |   |              |             |     |             |

| Statistics   |        |        |        |        |         |         |
|--------------|--------|--------|--------|--------|---------|---------|
| Description  | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
| Calc Zone #2 | +      | 2.3 fc | 4.7 fc | 0.6 fc | 7.8:1   | 3.8:1   |

| Luminaire Locations |       |        |        |       |       |             |      |        |        |      |  |  |
|---------------------|-------|--------|--------|-------|-------|-------------|------|--------|--------|------|--|--|
| Location            |       |        |        |       |       |             |      |        |        | Aim  |  |  |
| No.                 | Label | X      | Y      | Z     | MH    | Orientation | Tilt | X      | Y      | Z    |  |  |
| 3                   | PL1   | 134.50 | 138.00 | 23.00 | 23.00 | 180.00      | 0.00 | 134.50 | 136.63 | 0.00 |  |  |
| 4                   | PL1   | 119.50 | 45.50  | 23.00 | 23.00 | 0.00        | 0.00 | 119.50 | 46.88  | 0.00 |  |  |
| 1                   | PL1   | 58.00  | 137.50 | 23.00 | 23.00 | 180.00      | 0.00 | 58.00  | 136.13 | 0.00 |  |  |



CHINDEN BLVD. / HIGHWAY 20/26

Plan View  
Scale - 1" = 10ft



Designer

Date

06/18/2024

Scale

Not to Scale

Drawing No.

Summary





## SUSTAINABILITY CHECKLIST

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921  
 ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [building@gardencityidaho.org](mailto:building@gardencityidaho.org)

Compliance with 8-4G is required for all new non-residential structures, new additions over 5,001 sq. ft. to existing non-residential structures, and all new residential developments over 4 units. This is accomplished through a point system. For more details, consult 8-4G of the Garden City Code.

The following projects are exempt from the requirements of 8-4G:

1. A project that can be certified by a nationally or regionally recognized program for green building construction and/or development.
2. A residential or non-residential development that will be:
  - a. Built to the maximum density or a floor area ratio of 1.0;
  - b. Located on a site that was previously developed with at least 50% site coverage;
  - c. Located within ¼ mile of a residential zone with an average density of (10) unites per acres net;
  - d. Located within ¼ mile walking distance of at least two of the following basic services:
    - i. Restaurant
    - ii. Church or Place of Religious Worship
    - iii. Food Store
    - iv. Day Care
    - v. Dry Cleaning Establishment
    - vi. Personal or Professional Services
    - vii. Health Care and Social Services
    - viii. Post Office
    - ix. School
    - x. Health Club
3. A mixed use project in compliance with the requirements as set forth in Article 8-3G of this title.

Place a "x" next to the development that applies to your project.

| <b>X</b> | <b>Type of Development</b>                               | <b>Points required</b> |
|----------|--|------------------------|
|          | New residential development over 4 units                 | 6 pts. per unit        |
| X        | New Non-residential development: 5,000 sq. ft. or less   | 12 pts.                |
|          | New Non-residential development: 5,001 – 15,000 sq. ft.  | 18 pts.                |
|          | New Non-residential development: 15,001 – 30,000 sq. ft. | 24 pts.                |
|          | New Non-residential development: Over 30,000 sq. ft.     | 32 pts.                |
|          | Non-residential additions: 5,001 – 15,000 sq. ft.        | 12                     |
|          | Non-residential additions: 15,001 – 30,000 sq. ft.       | 18                     |
|          | Non-residential additions: Over 30,000 sq. ft.           | 24 pts                 |

Using the checklist below, place an "x" next to the sustainable criteria utilized in the project. Usage of each criteria will need to be shown on the site plan and/or landscaping plan or other appropriate plan. Failure to meet the requirements of 8-4G may result in the denial of the project.

| <b>X</b> | <b>Sustainable Criteria</b>  | <b>Development Type</b>                         | <b>Points</b>          |
|----------|--|---|------------------------|
| X        | Project located within ¼ walking distance of one or more stops of a TOD or established public transit line usable by building occupants  | ALL   | 4                      |
|          | Shower and changing facilities for employees who may walk or bike to work are provided   | Non-residential                                 | 2                      |
|          | A board or computer is located in a public space that provides the following information for both employees and customers<br>A. Information on carpooling programs<br>B. Transit trip planning assistance<br>C. Transit Maps<br>D. Maps of preferred bike routes and the location(s) of secure bicycle parking, lockers and showers, if provided | Non-residential                                 | 1                      |
|          | Employees are provided at no cost membership in a car-share or van-pool program in which (1) the contract is for at least 2 years, and (2) preferred parking is provided for shared parking, and (3) it is demonstrated that these cars are capable of servicing 5% of the employees   | Non-residential                                 | 1                      |
|          | Incentives are provided for employees who carpool or use alternative transportation to get to work. Potential incentives may include guaranteed ride home programs, preferred parking, or transit pass subsidies.  | Non-residential                                 | 1                      |
| X        | Bike parking is provided that exceeds the standard set forth in Section XX of this code  | Non-residential                                 | 2                      |
| X        | Pedestrian pathway or bike trails are dedicated for public use   |   | 4                      |
| X        | An easily accessible area is provided that serves the entire building and is dedicated to the collection and storage of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, and metals   | ALL   | 1                      |
|          | In re-construction of existing sites, at least fifty (50) percent of non-hazardous construction and demolition debris is recycled and/or salvaged  | ALL   | 3                      |
|          | At least fifty (50) percent (based on surface area) of the existing building structure is incorporated or reused in the new structure.   | ALL   | 2                      |
|          | A minimum of fifty (50) percent of the parking spaces is provided under cover, including under deck or under roof.   | Non-residential                                 | 3                      |
|          | Parking is provided underground or below, habitable space.   | Non-residential;<br>multi-family<br>residential | 1 per<br>two<br>spaces |

|   |  |   |   |
|---|--|---|---|
|   | Any combination of the following for fifty (50) percent of the side hardscape including roads, sidewalks, courtyards, and parking lots is provided:<br>A. Shade (within 5 years of occupancy)<br>B. Paving materials with a Solar Reflectance Index (SRI) of at least 29<br>C. Open grid pavement system | Non-residential;<br>multi-family<br>residential | 3 |
|   | A vegetated roof for at least fifty (50) percent of the roof area is provided  | ALL   | 3 |
|   | Use of alternate sources of energy   |   |   |
|   | Solar collectors are an allowed structure in the CC&R's  | Residential                                     | 2 |
|   | Only captured rain water, recycled wastewater, recycled gray water, or water treated is used for non-potable uses for irrigation   | ALL   | 4 |
|   | Landscaping is provided that does not require permanent irrigation systems. Temporary irrigation systems used for plant establishment are allowed only if removed within one year of installation  | ALL   | 3 |
| X | If irrigation is provided, a drip irrigation system is used.   | ALL   | 2 |
|   | Alternative surfaces (e.g., vegetated roofs, pervious pavement or grid pavers) and nonstructural techniques (e.g., rain gardens, vegetated swales, disconnection of imperviousness, rainwater recycling) are used to reduce imperviousness and promote infiltration thereby reducing pollutant loadings  | ALL   | 3 |
|   | Storm water volumes generated from the site are reused for non-potable uses such as landscape irrigation, toilet and urinal flushing and custodial uses.   | ALL   | 3 |
| X | A storm water infiltration and retention system is provided on the site.   | ALL   | 1 |
|   | Vegetated open space areas are provided adjacent to the building that is equal to the building footprint   | Non-residential                                 | 2 |
|   | The project design restores surface water systems, including streams and wetlands.   | ALL   | 4 |
|   | The project design retains all trees on the site that are four (4) inch caliper or greater in size.  | ALL   | 3 |
|   | The development footprint is located in the footprint of a previous building or impervious surface area.   | ALL   | 2 |
|   | Land is dedicated for conservation of habitat or wetlands  | ALL   | 4 |
|   | An area of ten (10) percent of the project site is dedicated for community gardens.  | ALL   | 3 |
|   | A minimum of one acres of land is dedicated for permanent agriculture use.   | ALL   | 4 |

**Total Points Required for Project:** 12

**Total Points From Checklist** 14





1 NE CORNER  
Scale: 1/8" = 1'-0"



2 SW CORNER  
Scale: 1/8" = 1'-0"

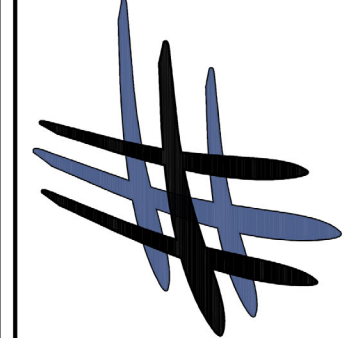


3 SE CORNER  
Scale: 1/8" = 1'-0"



4 NW CORNER  
Scale: 1/8" = 1'-0"

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NO PART OF THIS DESIGN SHALL BE REPRODUCED  
OR TRANSMITTED IN ANY FORM OR BY ANY  
MEANS, INCLUDING PHOTOCOPYING, RECORDING,  
OR BY ANY INFORMATION STORAGE AND  
RETRIEVAL SYSTEM, WITHOUT PERMISSION IN  
WRITING FROM HATCH DESIGN ARCHITECTURE.  
TO THIS PROJECT, THE DESIGNER AND THE DESIGNER'S  
OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE  
AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

NEW CONSTRUCTION FOR:  
**STARBUCKS**  
5200 W CHINDEN BLVD, GARDEN CITY, IDAHO 83714

| DATE | DESCRIPTION | COMMENTS |
|------|-------------|----------|
|      |             |          |

|             |           |
|-------------|-----------|
| DATE:       | JULY 2024 |
| DRAWN BY:   | SK, RN    |
| CHECKED BY: | JLH       |
| JOB NUMBER: | MKT24     |

SHEET TITLE  
**BUILDING  
RENDERS**

SHEET NUMBER  
**A-0.1**  
SHEET