



DESIGN REVIEW

Permit info: DSRFY2024-0018

Application Date: 8/30/24

Rec'd by: CW

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: JULIE MILLER	Name: OZZY ALIC
Company: STUDIO H ARCHITECTS	Company: ALIC PROPERTIES, LLC
Address: 306 NE 2ND STREET	Address: 880 S ISLAND GLENN PL
City: MERIDIAN	City: EAGLE
State: ID Zip: 83642	State: ID Zip: 83616
Tel.: 208.996.0528	Tel.: 208.794.5176
E-mail: julie@studioharchitects.com	E-mail: ozzyalic00@gmail.com

PROPERTY AND DESIGN INFORMATION

This application is a request to: ☒ Construct New ☐ Addition ☐ Subdivision

Site Address:	112 W. 42ND STREET	
Subdivision Name:	Lot:	Block:
FAIRVIEW ACRES SUB NO 2	4	D
Tax Parcel Number: R2734510330	Zoning: C-2	Total Acres: 0.689
Proposed Use: VEHICLE SALES	Floodplain:	Yes <u>No</u>

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

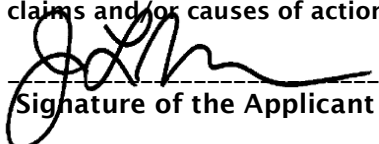
Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 08/30/2024 Asmir Alic 08/30/2024
Signature of the Applicant (date) Signature of the Owner (date)

APPLICATION INFORMATION REQUIRED

Note:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent | <input checked="" type="checkbox"/> Affidavit of Legal Interest |
| <input checked="" type="checkbox"/> Neighborhood Map | <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input checked="" type="checkbox"/> Site Plan | |
| <input checked="" type="checkbox"/> Landscape Plan | |
| <input checked="" type="checkbox"/> Schematic Drawing | |
| <input checked="" type="checkbox"/> Lighting Plan | |
| <input checked="" type="checkbox"/> Topographic Survey | |
| <input checked="" type="checkbox"/> Grading Plan | |
| <input checked="" type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input type="checkbox"/> Ada County Approved Addresses | |
| <input type="checkbox"/> Waiver Request of Application Materials | |



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- ☒ Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- ☒ Purpose, scope, and intent of project
- ☒ Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- ☒ 8 ½" x 11" size minimum
- ☒ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- ☒ Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- ☒ Scale not less than 1" = 20', legend, and north arrow.
- ☒ Property boundary, dimensions, setbacks and parcel size.
- ☒ Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- ☒ Building envelope dimensions with the center of the envelope location established in relation to the property lines
- ☒ Adjacent public and private street right of way lines
- ☒ Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- ☐ For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☒ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- ☒ Driveways, access to public streets, parking with stalls, loading areas.
- ☒ Sidewalks, bike and pedestrian paths.
- ☒ Berms, walls, screens, hedges and fencing.
- ☒ Location and width of easements, canals, ditches, drainage areas.
- ☒ Location, dimensions and type of signs.
- ☒ Trash storage and mechanical equipment and screening.
- ☒ Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- ☒ Log depicting square footage of impervious surface, building and landscaping
- ☒ Location and height of fences and exterior walls
- ☒ Location and dimensions of outdoor storage areas
- ☒ Location of utilities and outdoor serviced equipment and areas
- ☒ Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- ☒ Scale the same as the site plan.
- ☒ Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- ☒ Size, location and species of existing vegetation labeled to remain or to be removed.
- ☒ All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- ☒ Cross section through any special features, berms, and retaining walls.
- ☒ A plant list of the variety, size, and quantity of all proposed vegetation
- ☒ Log of square footage of landscaping materials corresponding to location
- ☒ Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- ☒ Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- ☒ Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- ☐ Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- ☒ Overall dimensions of all proposed structures
- ☒ Specifications on exterior surface materials and color
- ☐ Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- ☒ 11" x 17" size minimum
- ☒ Location, type, height, lumen output, and luminance levels of all exterior lighting
- ☒ Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- ☒ Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- ☒ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- ☒ If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- ☒ 11" x 17" size minimum
- ☒ Scale not less than one inch equals twenty feet (1" = 20')
- ☒ Two foot (2') contours for the entire proposal site
- ☒ One foot (1') contours for details, including all planimetric features
- ☒ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ☒ Existing easement and utility locations
- ☒ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- ☒ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ☒ Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

****Required for developments of two or more buildings:***

- ☐ Location, elevations, and materials of proposed signage

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

****Required if irrigation canal/irrigation ditch runs through property or along property lines:***

- ☐ Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- ☐ Statement must include a list of the application materials to be waived and an explanation for the request.



6015 Glenwood Street • Garden City, Idaho 83714
Phone 208 - 472-2921 • Fax 208 - 472-2926 •
www.gardencityidaho.org

Property Owner Permission (Affidavit of Legal Interest)

State of Idaho)
)SS
County of Ada)

I, Asmir Alic, 880 S Island Glenn PL
Name Address of Owner
(must be primary owner as noted in Ada County Assessor's records.
If the primary owner is a business write the business name)
Eagle ID 83616
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to Studio JJ Architects,
Name of Applicant 112 W. 42ND STREET
to submit the accompanying application pertaining to _____,
Garden City Idaho, 837 14 property. Address of Property Subject to this Affidavit
2. I agree to indemnify, defend, and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.
4. I acknowledge that all fees related to said applications and improvements are ultimately the property owner's responsibility.

Dated this 12th day of June, 2024

[Signature] Asmir Alic
Signature Printed Name
(must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written.

[Signature] TONYA NICOLE TENNEY
Notary Public for Idaho Notary Public - State of Idaho
Commission Number 20232289
My Commission Expires Jun 5, 2029
Residing at: 4213 W Chinden Blvd, Garden City, ID 83714
My Commission expires June 5th, 2029



Studio H Architects, PLLC.
306 NE 2nd St.
Meridian, ID 83642

Compliance Statement and Statement of Intent

August 30, 2024

Ozzy's Car Company
112 W. 42nd Street
Garden City, ID 83714

We are submitting for Design Review for a new vehicle sales building for Ozzy's Car Company. Conditional Use Permit number CUPFY2022-0009 was approved for an extension on July 22, 2024. The use of the subject building complies with standards of C-1 commercial zoning (Title 8) and follows the Future Land Use Plans of Garden City. The building will be constructed as a pre-engineered metal building totaling 2,880 square feet and used to support the main showroom at 4195 W. Chinden with additional space for vehicle sales. Large windows along W. 42nd street, blue corrugated metal siding with a four-foot-high CMU wainscot and standing seam metal roof complement the surrounding buildings. A new detached sidewalk along 42nd street as well as new landscaping throughout the property will bring the site into compliance with Garden City's current code.

Please don't hesitate to contact me with any questions.

Thank you,

Julie Miller, CID, NCIDQ – Project Manager

Julie@studioharchitects.com

208.996.0528



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714

Phone 208/472-2900 ■ Fax 208/472-2996

8 January 2022

Building Department
City of Garden City
6015 North Glenwood Street
Garden City, Idaho 83714

Subject: **112 West 42nd Street**
Parcel Number R2734510330
Lot 4, Block D, Fairview Acres Subdivision No. 2
Water and Sanitary Sewer Ability to Serve
ATSFY2022-0010

I am a consultant (employed by Centurion Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

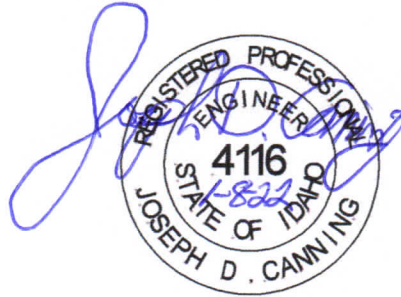
The city water system in the area provided a minimum fire flow of 1,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 20 August 2020 (fire hydrant 1044) from the Garden City Public Works Water Division. Said system is capable of providing fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. Any new sanitary mainline extensions or sewer service connections must be coordinated, reviewed and approved by the city prior to installation. The applicant must verify location and available grade to the city sewer system. Design and installation is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



J. D. Canning, PE/PLS
B & A Engineers, Inc.
Garden City Engineer

ec. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City

Mr. Chad Vaughn
Garden City Public Works Water Division



CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais
Boise Fire Department
333 Mark Stall Place
Boise, Idaho 83704-0644

January 6, 2022

Subject: Ability to Provide Fire Flows

Fire Flow Information:

Address fire flow requested for: 112 West 42nd Street

Fire hydrant serving this address: #1044

Fire flow Garden City is able to provide is 1000 gpm at 20 psi residual for 2 hours.

Sprinkler System Design Information:

Static pressure: 60 psi

Residual pressure: 20 psi

Minimum flow at residual pressure: 1000 gpm

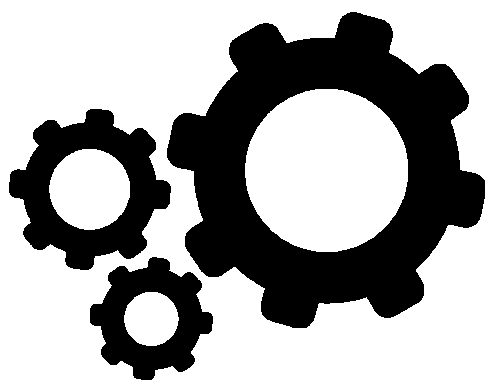
For questions please contact the Garden City permitting desk at 208-472-2921.

Sincerely,

Chad Vaughn

Garden City Public Works Water Division

cc:
Applicant
File



Studio H
ARCHITECTS
Architecture. Interiors. Planning.

306 NE 2nd Street
Meridian, ID 83642
208-649-8306
www.studioharchitects.com

STAMP:

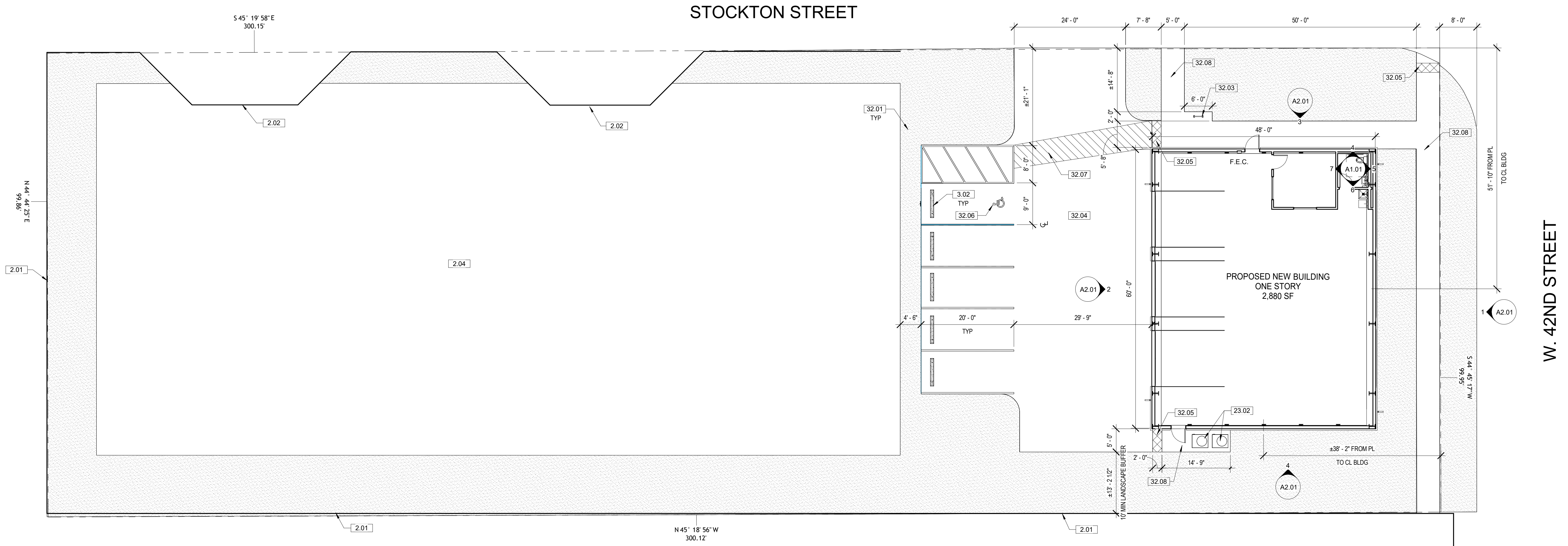
CONSULTANT:

REVISIONS

No.	Description	Date

SHEET NOTES - SITE PLAN
1. SLOPE AWAY FROM BUILDING MIN. 2% 2. CONTRACTOR TO VERIFY ALL SETBACKS AND EASEMENTS.
ZONING INFORMATION
SITE: 0.689 ACRES PARCEL #: RZ734510330 ZONING: C-2 MAX. HEIGHT: NONE INDICATED SETBACKS: 5' ON ALL SIDES
PARKING CALCULATIONS
PARKING: 9'x20' STALLS, 24' DRIVE AISLE LOW PARKING DEMAND (VEHICLE SALES) 1 SPACE PER EVERY 2,000 GSF 2,880 SF / 2,000 = 1.44 = 1 SPACE REQUIRED NOTE: 5 PARKING SPACES REQ'D PER CUPFY2022-0009 BICYCLE PARKING: MEDIUM PARKING DEMAND (VEHICLE SALES) 1 SPACE PER 4,000 SF 2,880 SF / 4,000 = 0.72 = 1 SPACE REQUIRED PROVIDED: 4 STANDARD SPACES 1 ACCESSIBLE SPACE TOTAL: 5 STALLS 1 BICYCLE SPACE

KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
2.01	EXISTING FENCE TO REMAIN, REPAIR AS REQUIRED PER NEW CONSTRUCTION.
2.02	EXISTING GATE, REPAIR AS REQUIRED PER NEW CONSTRUCTION.
2.04	EXISTING GRAVEL PARKING LOT TO REMAIN.
3.02	EXTERIOR CONCRETE SLAB ON GRADE, RE: CIVIL DWGS.
23.02	MECHANICAL EQUIPMENT, EXTEND CONCRETE 8" PAST UNIT, VIF, RE: MECH DWGS.
32.01	LANDSCAPING, RE: LANDSCAPE PLAN.
32.03	BIKE RACK
32.04	ASPHALT PARKING LOT SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.
32.05	DETECTABLE WARNINGS.
32.06	ACCESSIBLE PARKING AND ACCESS AISLE, RE: CIVIL DWGS.
32.07	ACCESSIBLE PATH OF TRAVEL, RE: CIVIL DWGS.
32.08	EXTERIOR SLAB ON GRADE, SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.



1 SITE PLAN
3/32" = 1'-0"

OWNER: ALIC PROPERTIES, LLC
PROJECT: NEW VEHICLE SALES SUPPORT BUILDING
PROJECT ADDRESS: 112 W 42ND STREET
GARDEN CITY, ID 83714

SHEET NAME: ARCHITECTURAL SITE PLAN

PROJECT NUMBER	24-34
SHEET ISSUE DATE	08/30/24
SUBMITTAL	DESIGN REVIEW

SHEET

A1.00

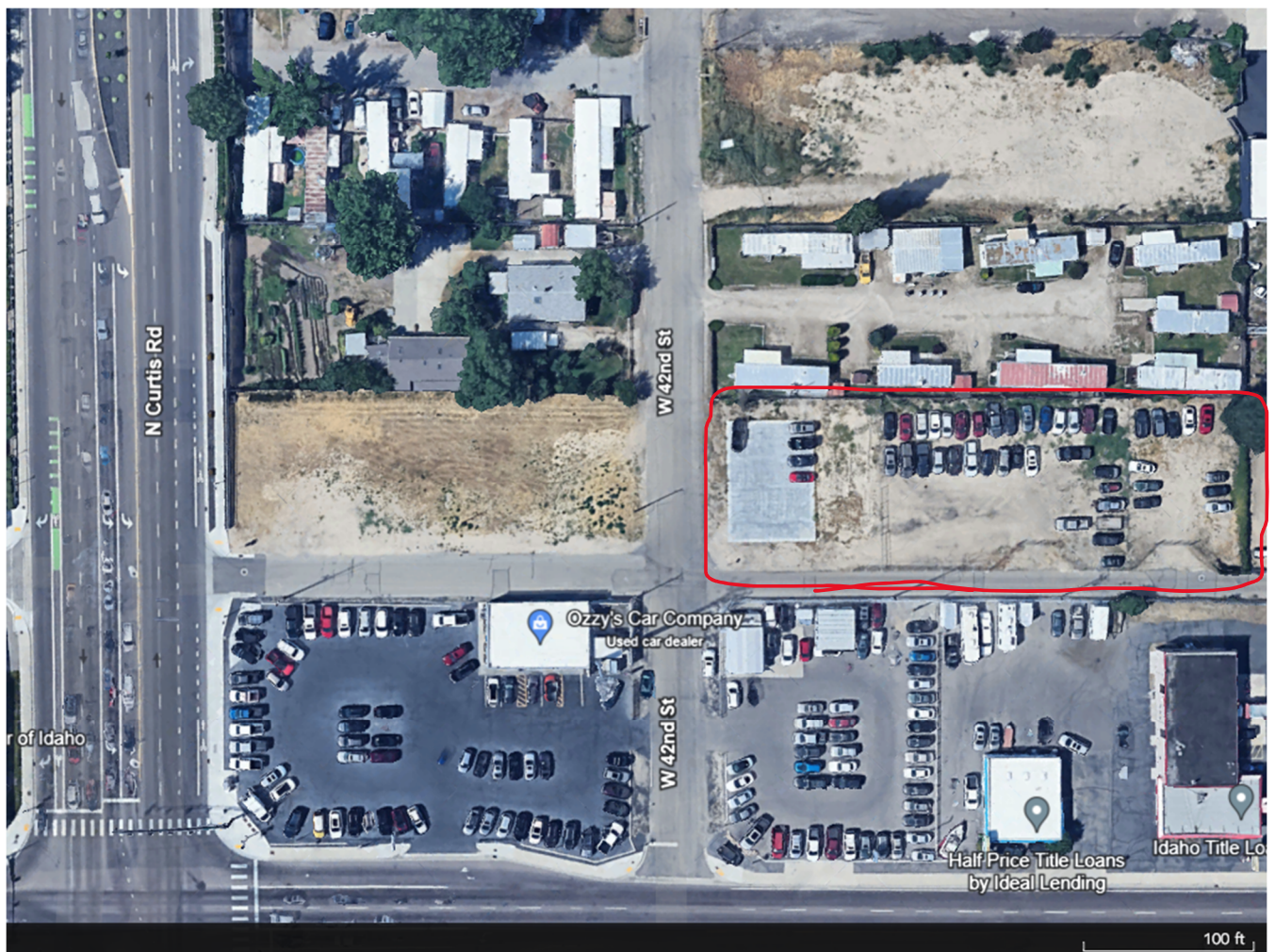


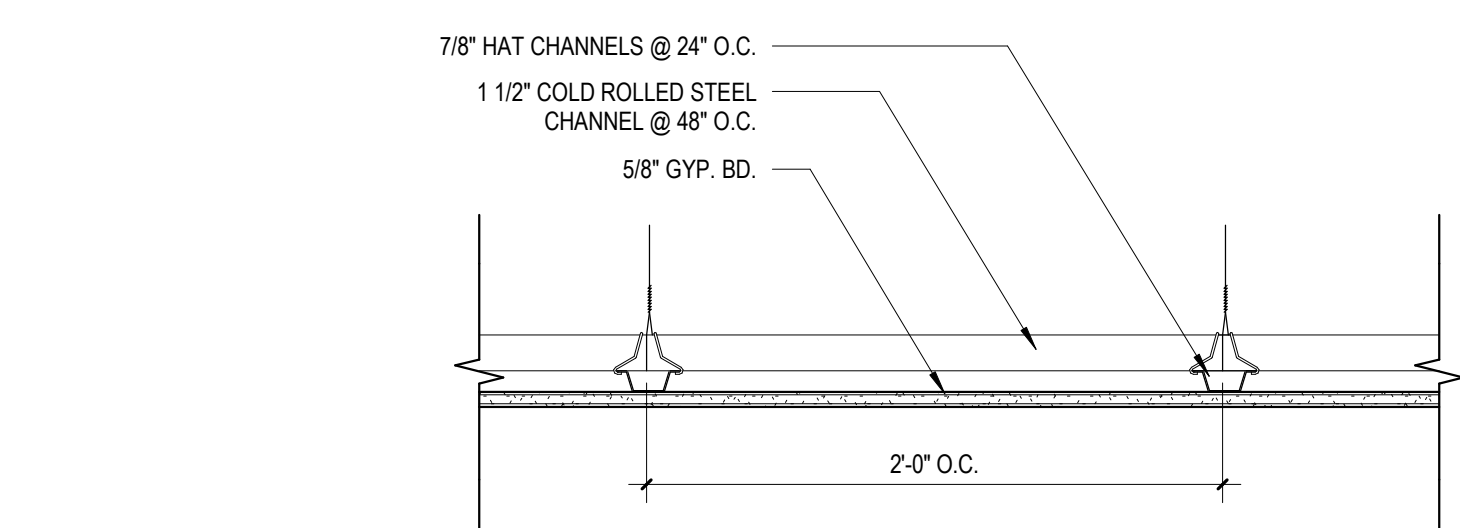
Studio H Architects, PLLC.
306 NE 2nd St.
Meridian, ID 83642

Neighborhood Map

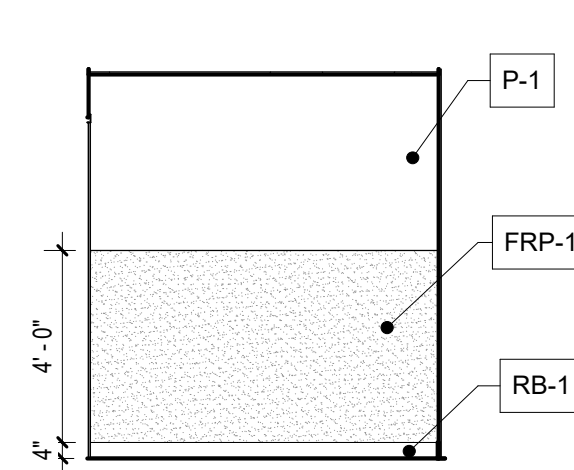
June 14, 2024

Ozzy's Car Company
112 W. 42nd Street
Garden City, ID 83714

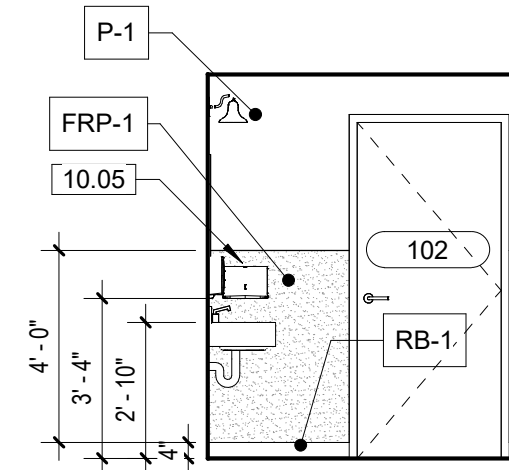




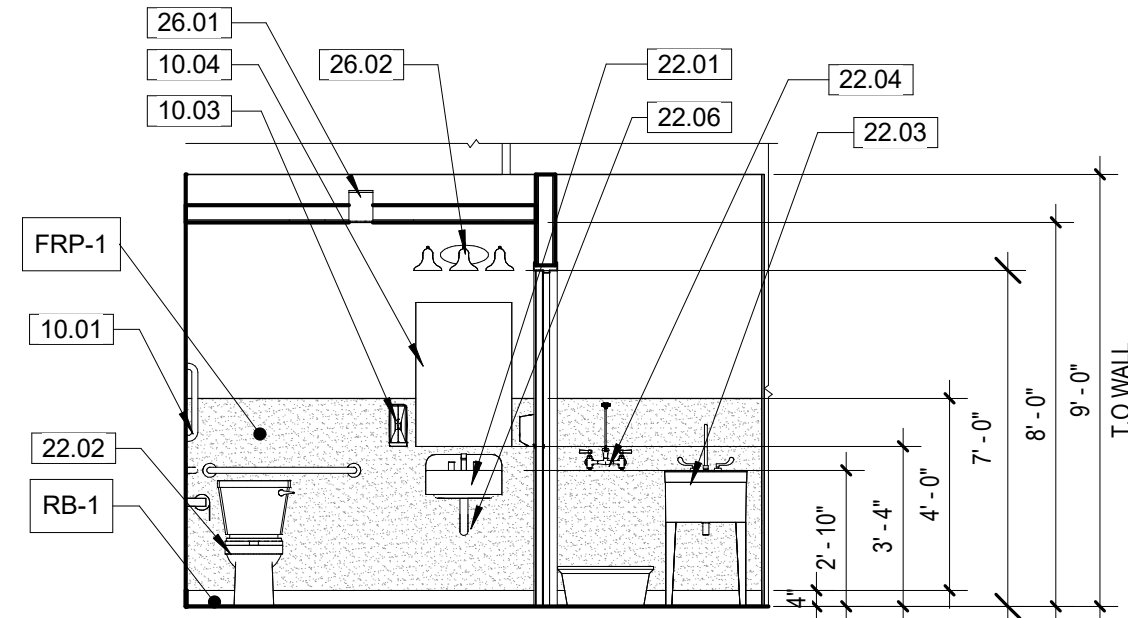
8 SUSPENDED GYP CEILING DTL
3" = 1'-0"



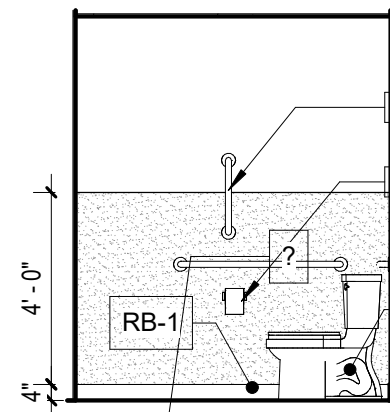
7 RESTROOM WEST ELEVATION
1/4" = 1'-0"



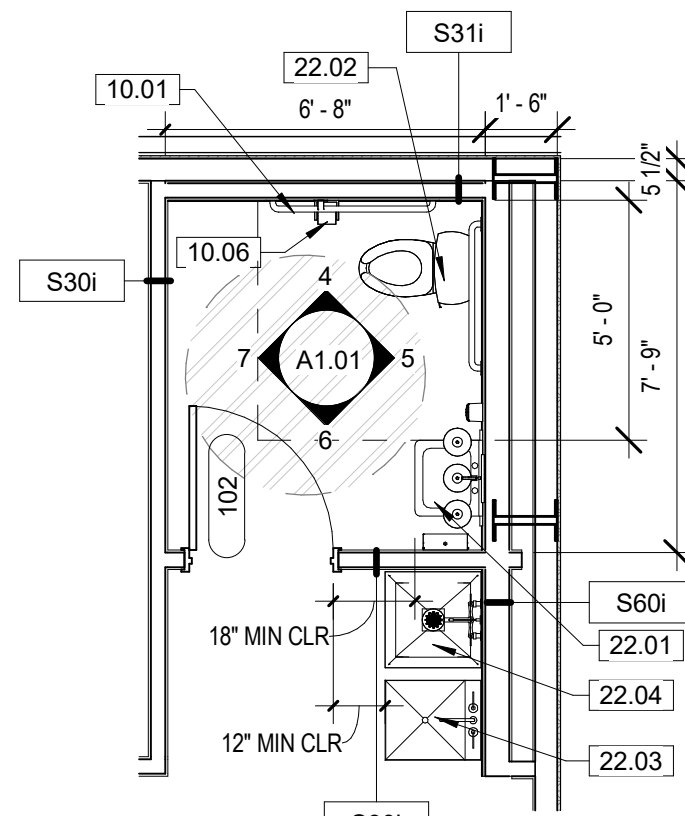
6 RESTROOM SOUTH ELEVATION
1/4" = 1'-0"



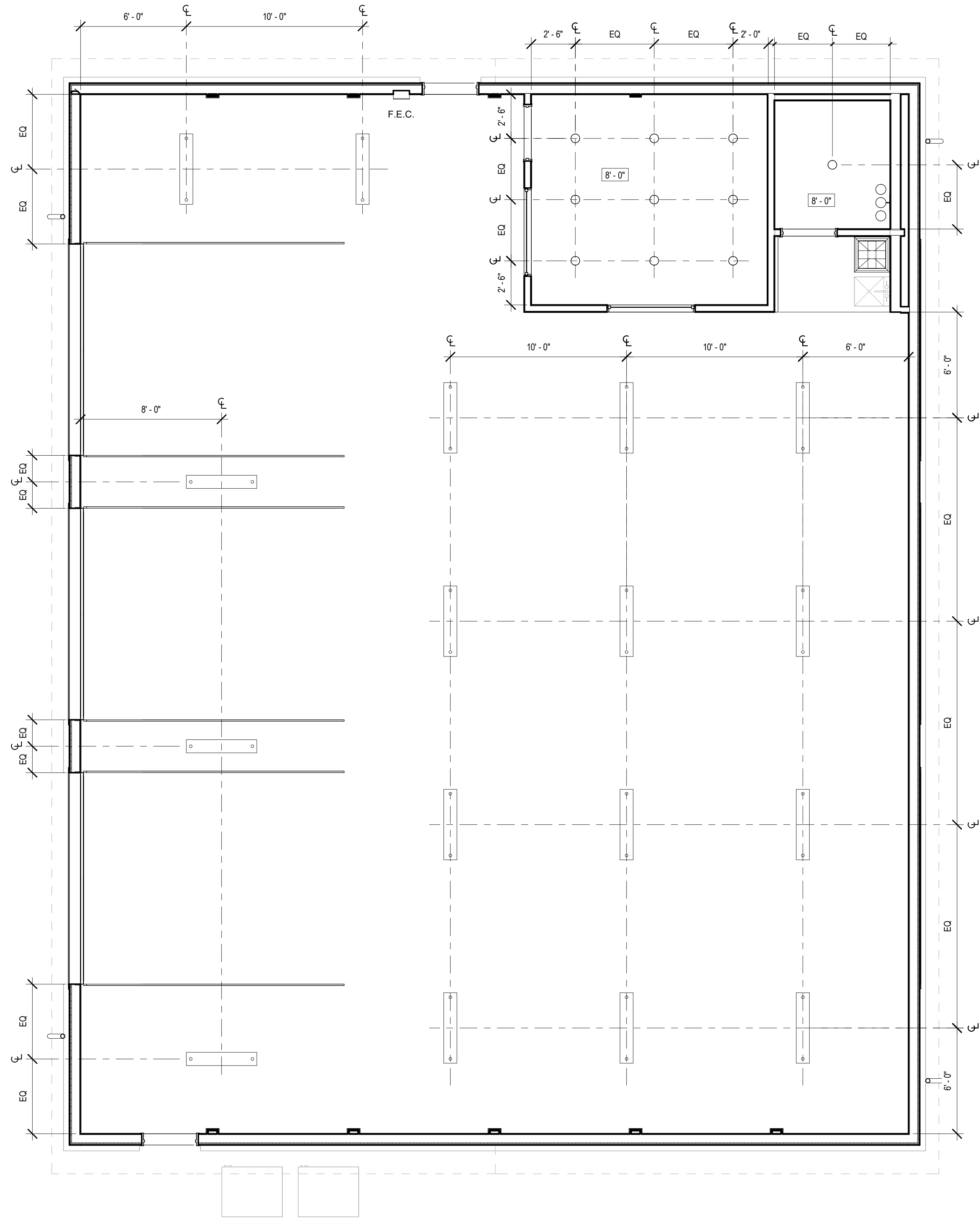
5 RESTROOM & UTILITY AREA EAST ELEVATION
1/4" = 1'-0"



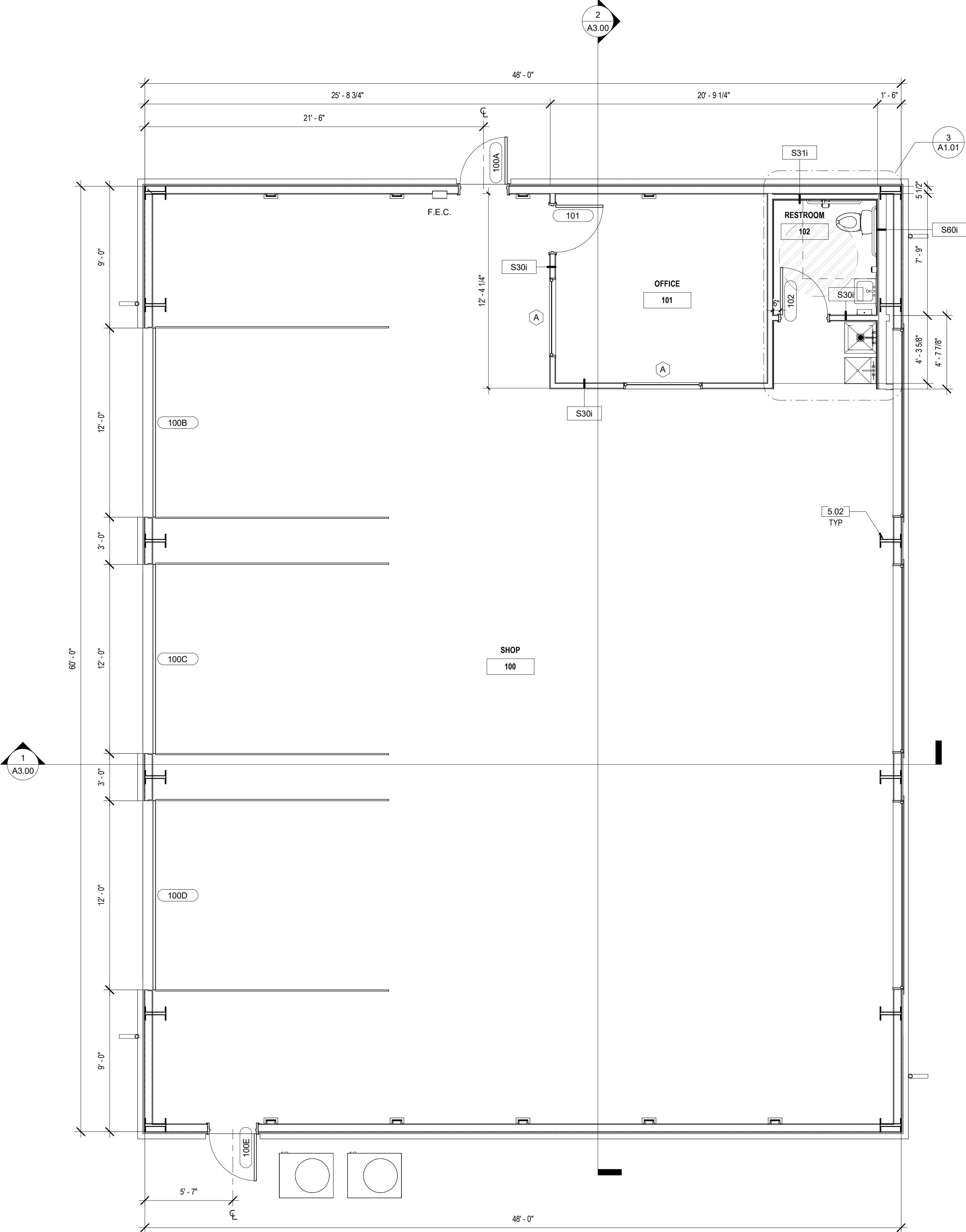
4 RESTROOM NORTH ELEVATION
1/4" = 1'-0"



3 ENLARGED FLOOR PLAN
1/4" = 1'-0"



2 REFLECTED CEILING PLAN
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"

SHEET NOTES - FLOOR PLAN

- ALL DIMENSIONS ARE TO STRUCTURAL GRID, FACE OF MASONRY/CONCRETE, OR FACE OF STUD. UNO
- RE- CODE AND OCCUPANCY PLANS FOR REQUIRED FIRE RATINGS AND SMOKE PARTITIONS
- CONTRACTOR TO VERIFY ALL COLUMN AND ROOF DRAIN FURR OUTS IN FIELD PROVIDE BRICKING AND/OR SUPPORTS AT ALL WALL MOUNTED CABINETRY, EQUIPMENT, FIXTURES, ETC.
- AT ALL WALLS WITH SOUND ATTENUATION, SEAL TOP OF WALL AT STRUCTURE AND BOTTOM OF WALL WITH SOUND SEALANT.
- AT ALL WALLS THAT EXTEND TO STRUCTURE, PROVIDE DEFLECTION TRACK. SEE WALL DETAILS FOR TYPICAL CONDITION.
- FOR ALL WET CONDITIONS, PROVIDE WATER RESISTANT BACKER BOARD IN LIEU OF GYPSUM BOARD.
- UNLESS NOTED OTHERWISE, ALL GWB WALLS SHALL HAVE 8" STUD FRAME RETURN AT ALL DOOR JAMBS.

SHEET NOTES - CEILING PLAN

- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL ITEMS TO BE PROVIDED AT THE CEILING PLANE AND IN THE WORK.
- CENTER ALL LIGHT FIXTURES AND SPRINKLER HEADS IN THEIR RESPECTIVE CEILING PANEL UNO.
- ALL SOFFIT DIMENSIONS SHOWN ARE TO FACE OF FINISH.
- SUSPENSION SYSTEMS FOR GYPSUM BOARD CEILINGS SHALL BE INSTALLED PER ASTM C754.

FLOOR PLAN LEGEND

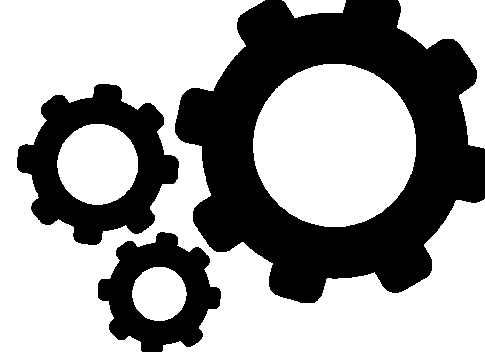
- NEW CONSTRUCTION
- DOOR TAG
- WINDOW TAG
- STOREFRONT TAG
- WALL TAG, RE: ASSEMBLIES

CEILING PLAN LEGEND

- GYP. BD CEILING
- OPEN TO STRUCTURE
- RECESSED LED DOWNLIGHT
- 1x4 SUSPENDED LED
- WALL MOUNTED VANITY LIGHT

KEYNOTE LEGEND

NO.	KEYNOTE / REFERENCE NOTE
5.02	PRE-ENGINEERED METAL BUILDING, REF: PEMB DWGS.
10.01	INSTALL ADA GRAB BARS, REF: ADA DETAILS ON A1.01 SHEET
10.03	SOAP DISPENSER
10.04	MIRROR
10.05	PAPER TOWEL DISPENSER
10.06	TOILET PAPER DISPENSER
22.01	SINK, RE: PLUMBING DWGS.
22.02	TOILET, RE: PLUMBING DWGS.
22.03	UTILITY SINK, RE: PLUMBING DWGS.
22.04	MOP SINK, RE: PLUMBING DWGS.
22.05	INSULATED PIPE COVER PER CABO-ANSI
26.01	LIGHTING, RE: ELECTRICAL DWGS.
26.02	VANITY LIGHT FIXTURE CENTERED ABOVE SINK, RE: ELECTRICAL DWGS.



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208-649-8306
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STAMP:

CONSULTANT:

REVISIONS

No.	Description	Date

OWNER
ALIC PROPERTIES, LLC

PROJECT

NEW VEHICLE SALES SUPPORT BUILDING

PROJECT ADDRESS

112 W 42ND STREET
GARDEN CITY, ID 83714

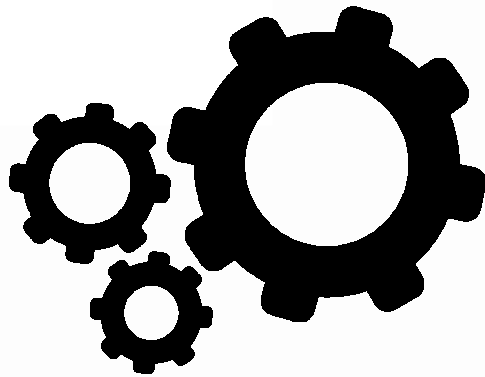
SHEET NAME

FLOOR PLAN & RCP

PROJECT NUMBER	24-34
SHEET ISSUE DATE	08/30/24
SUBMITTAL	DESIGN REVIEW

SHEET

A1.01



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KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
4.01	CMU VENEER WAINSCOT.
5.01	STANDING SEAM METAL ROOF, MBCI DOUBLE-LOK TUNDRA OR EQUAL.
5.02	PRE-ENGINEERED METAL BUILDING, REF: PEMB DWGS.
5.03	29 GA. CORRUGATED STEEL PANELS, MBCI CORRUGATED METAL SIDING HARBOR BLUE OR EQUAL.
7.01	METAL DOWNSPOUT, COLOR TO MATCH BUILDING.
7.02	PREFINISHED METAL GUTTER.
23.02	MECHANICAL EQUIPMENT, EXTEND CONCRETE & PAST UNIT, VF, RE: MECH DWGS.
32.03	BIKE RACK.
32.04	ASPHALT PARKING LOT SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.
32.08	EXTERIOR SLAB ON GRADE, SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.



STANDING SEAM METAL ROOF
MBCI DOUBLE-LOK TUNDRA OR EQUAL



CORRUGATED METAL PANELS
MBCI HARBOR BLUE OR EQUAL



SPLIT FACE CMU WAINSCOT
BASALITE 695 GREY OR EQUAL

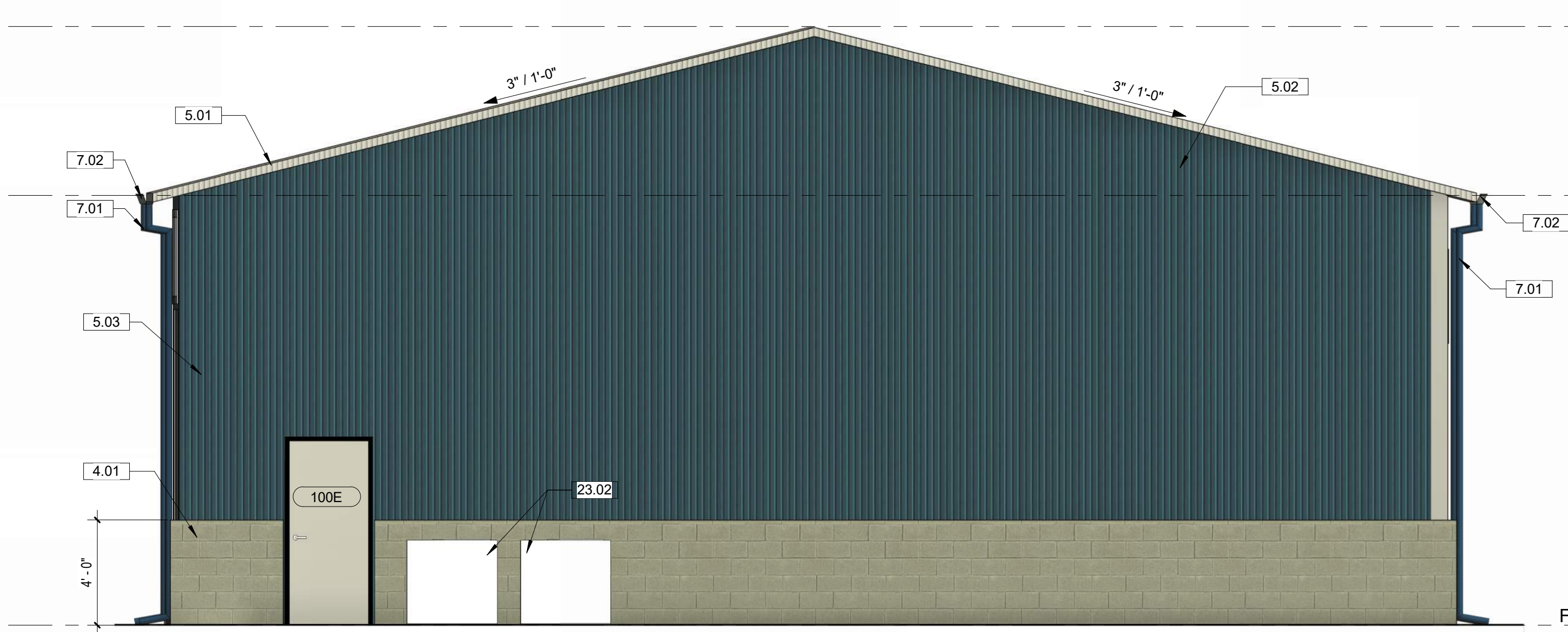
EXTERIOR FINISHES
1/2" = 1'-0"

STAMP:

CONSULTANT:

REVISIONS

No.	Description	Date



4 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

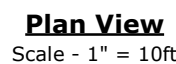
OWNER
ALIC PROPERTIES, LLC
PROJECT
NEW VEHICLE SALES SUPPORT BUILDING
PROJECT ADDRESS
112 W 42ND STREET
GARDEN CITY, ID 83714




SHEET NAME
EXTERIOR ELEVATIONS

PROJECT NUMBER 24-34
SHEET ISSUE DATE 08/30/24
SUBMITTAL DESIGN REVIEW

SHEET

A2.01



Schedule											
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	W1		7	Lithonia Lighting	WPLD LED ADR PHD	WPLD LED recessed 5000K ADRX color temperature 120-277 volt	1	5090	0.9	47.71	



Front View				Side View		
Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8 kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7 kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0 kg)

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	1,550 Lumens, 11W ¹	30K 3000K	MYOUT 120V - 277V	DDBRZ Dark bronze
WPX1 LED P2	2,900 Lumens, 24W	40K 4000K	347 347V ¹	DWHDG White
WPX2 LED	6,000 Lumens, 47W	50K 5000K	E4WH Emergency battery backup, CEC compliant (400,0°C min) ²	DBLGO Black
WPX3 LED	9,300 Lumens, 69W		E14WH Emergency battery backup, CEC compliant (140V, -20°C min) ²	Note: For other options, consult factory.
			PE Phoscel ³	

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTE

1. All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection.
Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
2. Battery pack options only available on WPX1 and WPX2.
3. Battery pack options not available with 347V or PE options.

INTENDED USE
The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection).

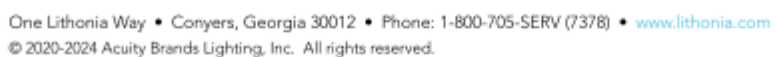
Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DQL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



WPX LED
Rev. 07/01/20

1 of 1

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
- 1.1. All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2021 (or most recent published); and City of Garden City, ID codes, standards and state and local regulations.
2. EXISTING CONDITIONS
- 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
- 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
- 2.3. See Engineer's plans for information about existing features.
- 2.3.1. Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
3. GRADING & SITE PREPARATION
- 3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
- 3.2. All gravel overprep to be removed and disposed of off site.
- 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
- 3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
- 3.5. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
- 3.6. No pooling or standing water will be accepted per industry standards.
4. SOILS
- 4.1. Lawn areas shall receive 12" min depth of screened topsoil.
- 4.2. All planter beds shall receive 18" min depth of screened topsoil.
- 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
- 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
- 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
- 4.3.3. Topsoil shall have a pH of 6.5 to 8.0.
- 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving on-site topsoil per the approval of the project manager.
- 4.4. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
- 4.5. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.
- 4.6. Amend all new plantings with 2 parts topsoil, 1 part compost.
5. LAWN AREAS
- 5.1. Sodded lawn to be tall turf-type fescue, or approved other.
- 5.2. Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
- 5.3. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
- 5.4. Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
- 5.5. All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
- 5.6. Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
- 5.6.1. Install 3" chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
- 5.7. Provide tree rings with a minimum 3' diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.
6. PLANTER BED MULCH
- 6.1. All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
7. PLANTS
- 7.1. All plant material shall be installed per industry standards.
- 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
- 7.3. All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail.
- 7.4. Trees and shrubs over 30" shall not be planted within clear vision triangles.
- 7.5. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
8. IRRIGATION
- 8.1. Irrigation system shall be built to the following specifications:
- 8.2. Adhere to city codes when connecting to city water.
- 8.3. All irrigation material to be new with manufacturers' warranty fully intact.
- 8.4. Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
- 8.4.1. Controller to have On/Off rain switch or rain shut off device that does not alter program.
- 8.5. All remote control valves (including master control valve) to have flow control device.
- 8.6. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
- 8.7. All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, 22, 11.
- 8.8. Use common trenching where possible.
- 8.9. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
- 8.10. All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
- 8.11. Connect mainline to point of connection in approximate location shown on plan.
- 8.12. Contractor is responsible complying with all codes and paying all permits necessary.
- 8.13. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
- 8.14. All drip irrigation to be buried 2" below finished grade.
- 8.15. Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
- 8.16. Install all irrigation per irrigation drawings. utilize material specified or approved equal.
- 8.17. Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
- 8.18. If any discrepancies are found, then local codes shall prevail.
9. CONTRACTOR RESPONSIBILITIES
- 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
- 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
- 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20" scale are turned in and approved by owner's representative.
10. In the event of a discrepancy, notify the Landscape Architect immediately.

LANDSCAPE REQUIREMENTS

CODE REQUIREMENTS PER GARDEN CITY CODE

PROPERTY: 30,000 SF

BUILDING AREA: 2,880 SF

PROJECT LANDSCAPE: 8,047 SF

VEGETATIVE COVERAGE:

*5% MIN PROJECT SITE TO BE LANDSCAPE

* (1) TREE PER 1000SF & (1) SHRUB PER 150 SF OF REQUIRED LANDSCAPE AREA

* PLANTER BED TO HAVE 75% VEGETATIVE COVERAGE AT MATURITY (SHRUBS)

REQUIRED LANDSCAPE AREA	TREES/SHRUBS REQUIRED	TREES/SHRUBS PROVIDED
1,500 SF / 8,047 SF PROVIDED	2 / 10	18 / 80

PARKING LOT	TREES REQUIRED	TREES PROVIDED
1 FOR EVERY ISLAND	2	2

STREET BUFFER:

*1 CLASS II TREE PER 50LF

STREET NAME	LENGTH (LF)	TREES REQUIRED	TREES PROVIDED
W. 42ND ST.	100'	2	2
STOCKTON ST.	300'	6	6

PERIMETER BUFFER:

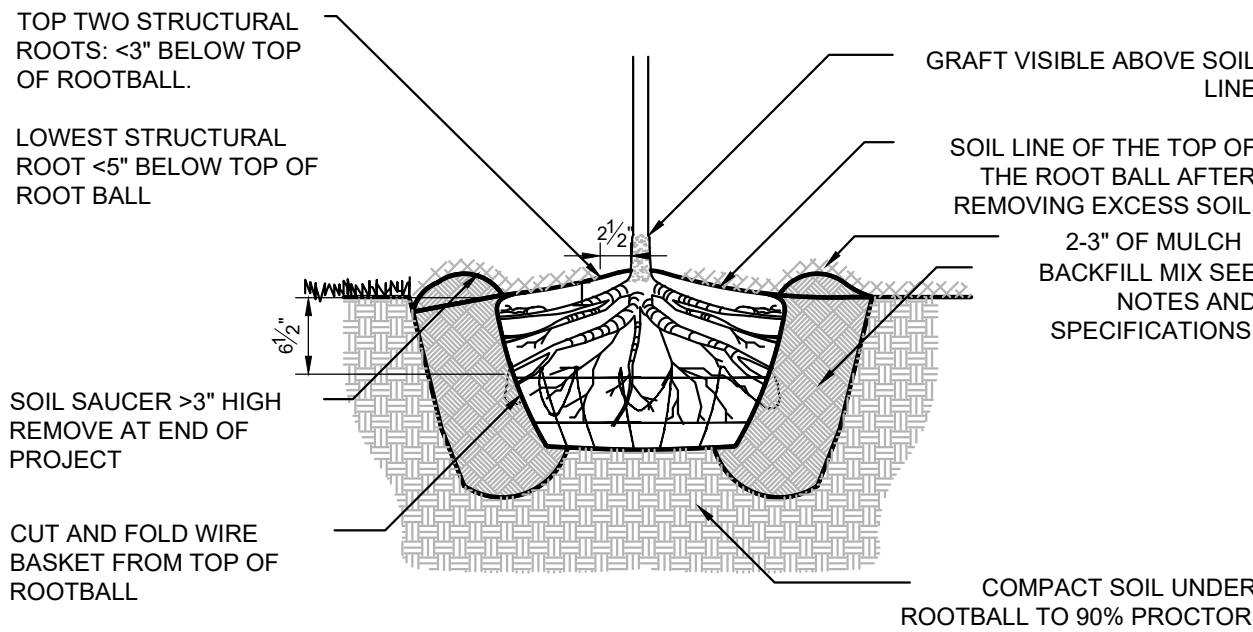
10' W VEGETATIVE BUFFER AT ALL ADJACENT PROPERTIES

MINIMUM PLANT SIZES:

PLANT TYPE	MINIMUM SIZE
*EVERGREEN TREES:	6'-0" HT. MIN.
*ORNAMENTAL TREES:	2" CALIPER MIN.
*SHADE TREES:	2" CALIPER MIN.
*WOODY SHRUBS:	2 GAL. MIN.

NOTES:

- DO NOT DAMAGE OR CUT LEADER.
- DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
- TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
- REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP 1/4 OF THE ROOTBALL.
- 5" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



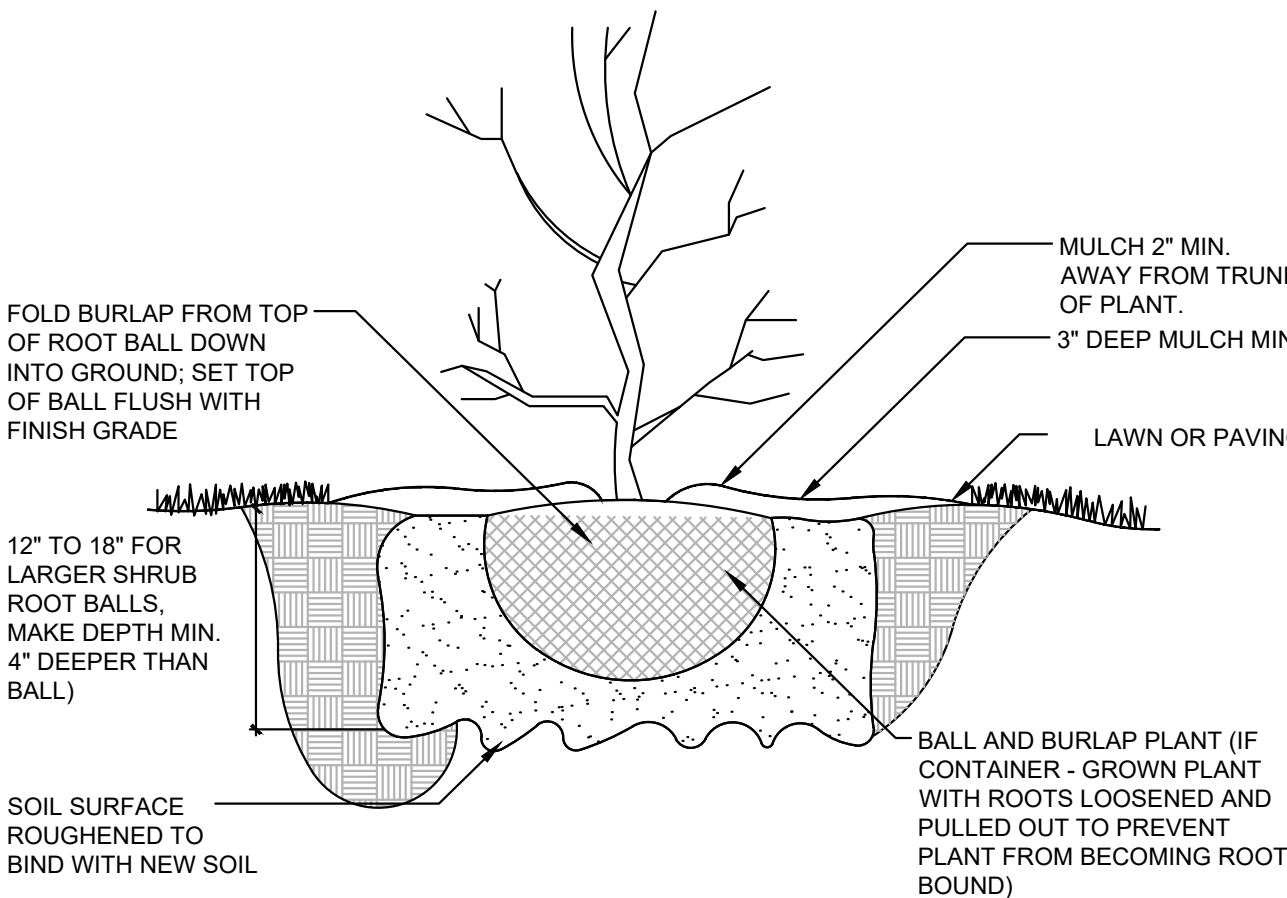
1 BALL & BURLAP TREE PLANTING

3/4" = 1'-0"

3293-01

NOTE:
REMOVE ALL TAGS, TWINE OR
OTHER NON BIODEGRADABLE
MATERIALS ATTACHED TO PLANT OR
ROOT MASS.

BACKFILL SHALL BE 100% TOPSOIL.
WATER SETTLE ALL PLANTINGS TO
ENSURE PLANT ROOTBALL.
MAINTAINS 3" HEIGHT ABOVE
EXISTING SOILS WHEN COMPLETE.

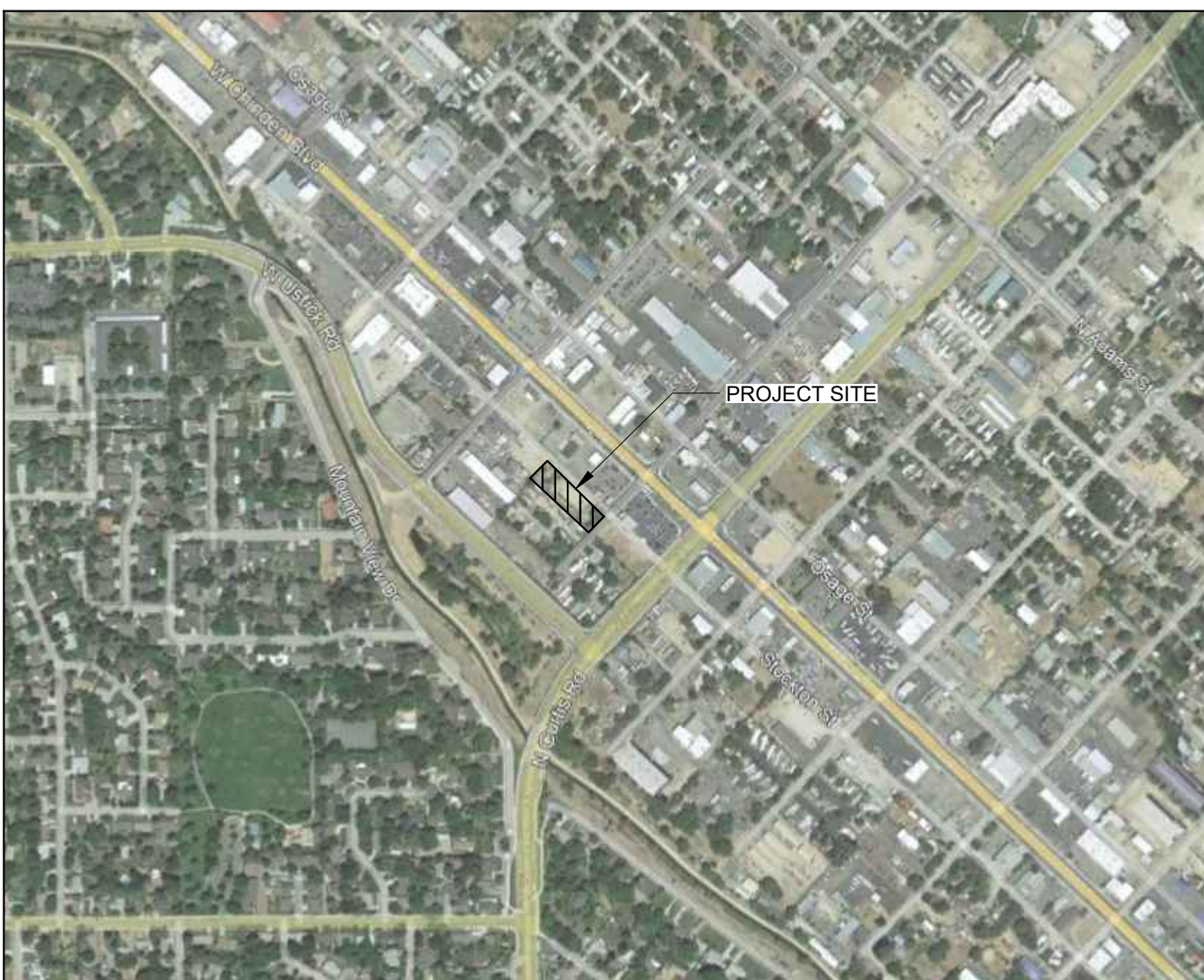


2 SHRUB PLANTING

1" = 1'-0"

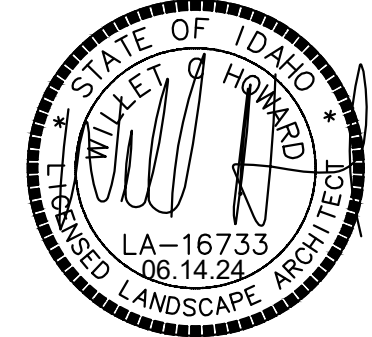
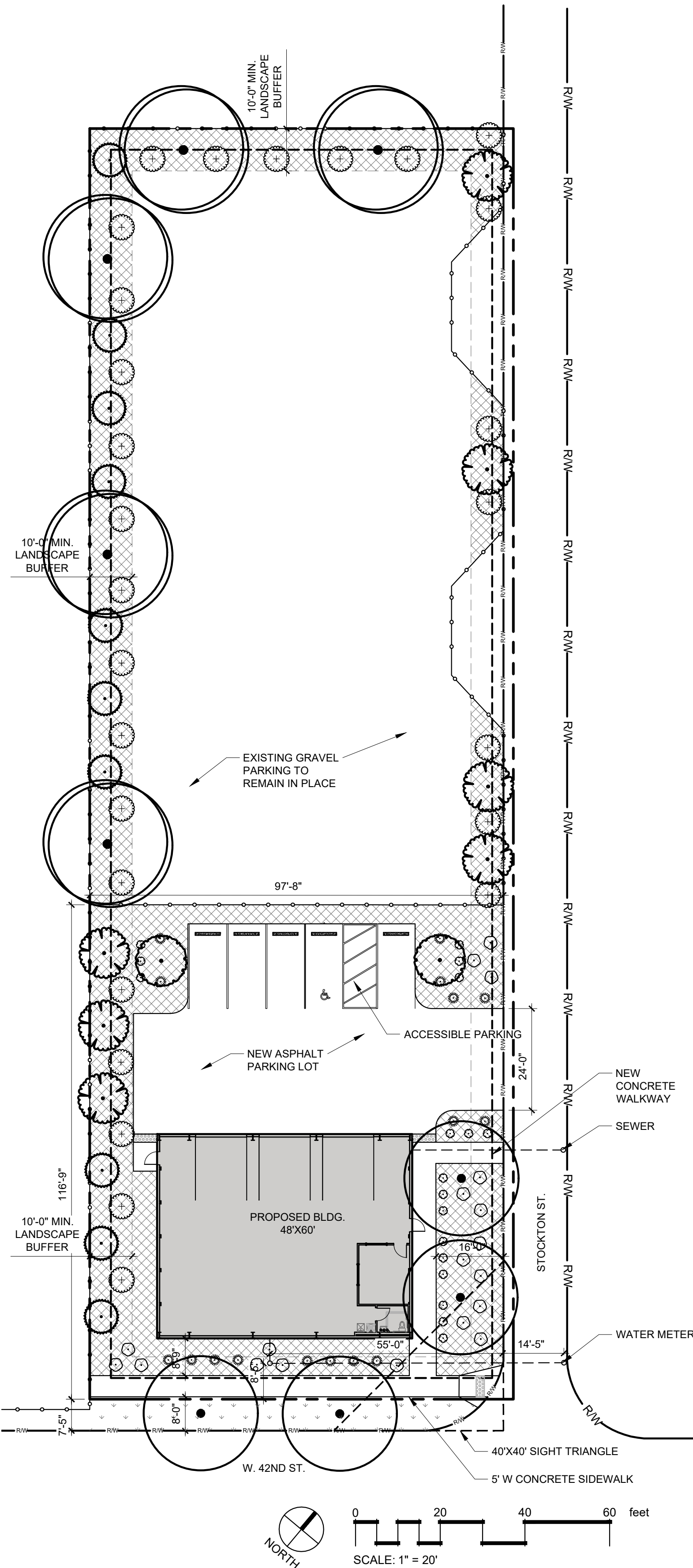
329333-03

VICINITY MAP



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	3"		7
	Gleditsia triacanthos inermis 'Skyline' TM / Skyline Honey Locust	B&B	2"		5
	Juniperus scopulorum 'Moonglow' / Moonglow Juniper	B&B		6'-8" H	10
	Malus x 'Indian Magic' / Indian Magic Crabapple	B&B	2"		2
	Tilia americana 'Sentry' / American Linden	B&B	2"		4
SHRUBS					
	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Japanese Barberry	2 gal			19
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	2 gal			16
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	2 gal			27
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			18
	PLANTER BED, SHRUBS & ROCK MULCH SHRUBS TO HAVE 75% VEGETATIVE COVERAGE AT MATURITY, XERIC / NATIVE PLANTINGS				
	TURF GRASS - DROUGHT TOLERANT FESCUE BLEND				



REVISIONS		
MRK	DATE	Description
△	5/13/22	CITY COMMENTS
△	5/24/22	CITY COMMENTS

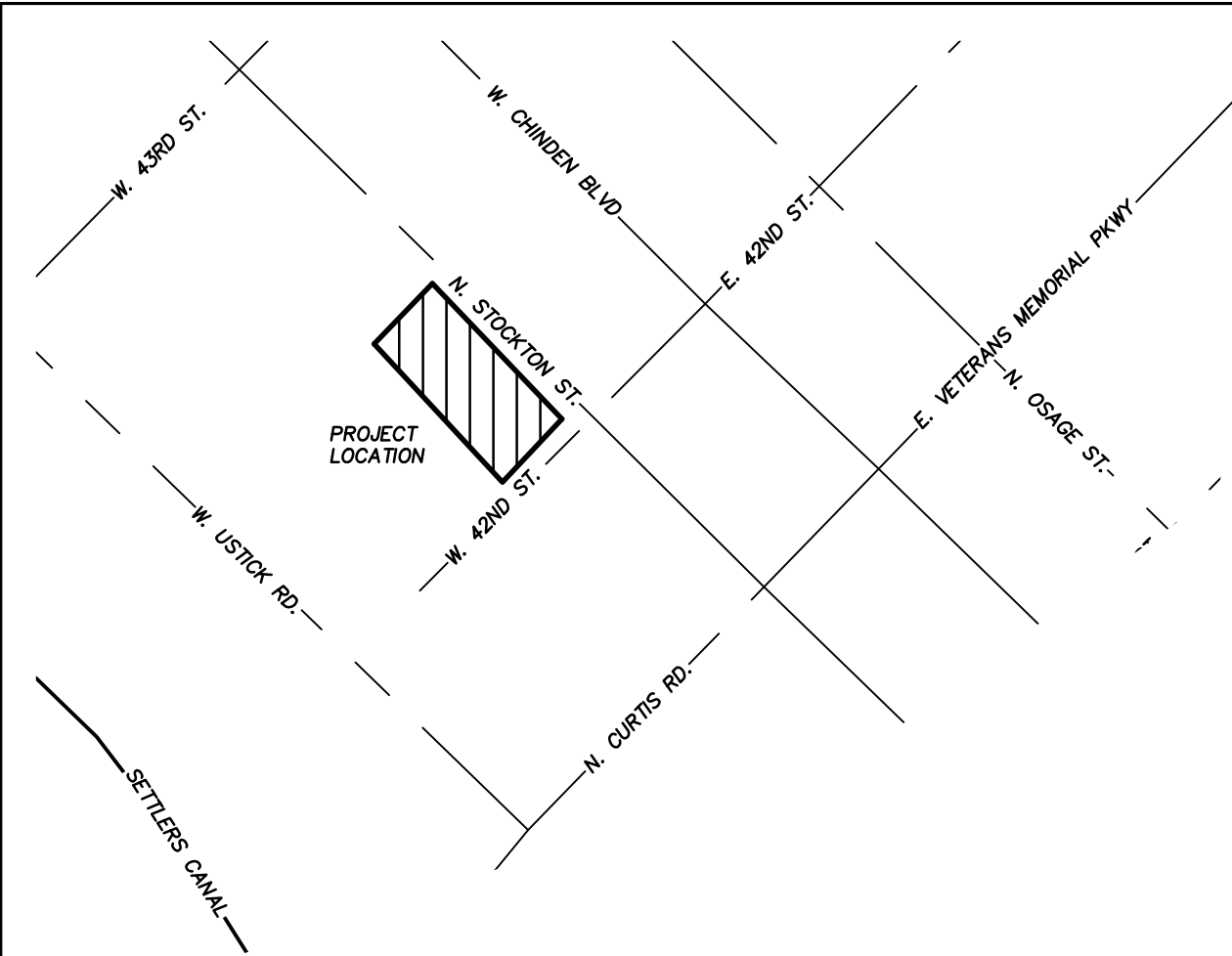
JOB NO:	22-2326
DATE:	06.14.2024
DRAWN BY:	EV
CHECKED BY:	WH

DRAWING TITLE

LANDSCAPE
PLAN

SHEET NUMBER

L100



VICINITY MAP
SCALE: 1"=250'

GARDEN CITY
STANDARD CONSTRUCTION NOTES FOR PROJECTS
THAT CONTAIN PUBLIC WATER, PUBLIC SEWER, NON-ACHD
DRAINAGE, PRIVATE ROADS AND/OR PERMEABLE PAVERS

AUGUST 2022

Notes Applicable to All Construction

- Compliance with the Idaho Department of Environmental Quality (IDEQ) requirements for protection from erosion by storm water is required for this project. A Responsible Party (RP) shall be responsible to comply with the IDEQ requirements. If the owner has not designated a RP, the contractor shall be required to provide a RP. The RP is required to prepare, file and comply with the Storm Water Pollution Prevention Plan (SWPPP) for this project. The RP is responsible to file a Notice of Intent (NOI) to construct with IDEQ. IDEQ must officially accept the NOI prior to beginning any site disturbance activities. The SWPPP is a document/plan that is required to be updated and amended to best fit the site as construction occurs. The RP is responsible to keep the plan current. At completion of all construction activities and after the project site is stabilized for erosion control, the RP is required to prepare and submit a Notice of Termination of the SWPPP with IDEQ.
- or, for sites under one acre—
- The contractor shall comply with the City of Garden City's approved Erosion and Sediment Control Plan (ESCP) for this project. A Responsible Party (RP) shall be responsible to comply with the ESCP requirements. If the owner has not designated a RP, the contractor shall be required to provide a RP. The RP is required to comply with the City of Garden City's ordinance for control for erosion from this construction site. The ESCP is a document/plan that is required to be updated and amended to best fit the site as construction occurs. The RP is responsible to keep the plan current. At completion of all construction activities and after the project site is stabilized for erosion control, the ESCP is terminated.
- All construction, materials, appurtenances and testing shall comply with the requirements of the 2020 edition of the Idaho Standards for Public Works Construction (ISPMC), unless specifically modified by these construction documents.
- The contractor, all applicable sub-contractors, developer/owner, utility company representatives, a Garden City Department of Public Works representative and an Ada County Highway District representative shall attend a pre-construction conference prior to commencement of construction.
- The contractor shall obtain a construction permit from the Ada County Highway District at least 24 hours prior to commencing construction of any of the improvements shown hereon located within public right-of-way.
- Construction inspection shall be performed by the project engineer, the Ada County Highway District and/or the Garden City Department of Public Works. Inspection by the Garden City Department of Public Works will be for Department purposes only to spot check work compliance with the city's requirements. It is the project engineer's responsibility to assure compliance with the project plans and specifications.
- The contractor shall verify site conditions and dimensions prior to beginning work. Any deviations, omissions or errors shall be presented to the project engineer for resolution. Any changes to the plans and specifications shall be submitted to and approved by the Garden City Department of Public Works prior to implementation of the change. Said change may also need to be submitted to the Idaho Department of Environmental Quality for approval.
- The contractor shall contact Digline (811) and other appropriate utility providers for utility locations at least 72 hours prior to beginning any excavation.
- Any waters created by dewatering shall not be permitted to directly discharge to any existing surface water facility. Prior to discharging to waters of the state of Idaho, the contractor shall secure a short-term activity exemption from the applicable regional office of the Idaho Department of Environmental Quality.
- Horizontal and vertical separation of potable and non-potable pipelines shall meet the requirements of ISPMC Section 405 and ISPMC Drawing No. 407.

OZZY'S CAR COMPANY CIVIL IMPROVEMENT DRAWINGS

A PART OF THE NW 1/4, NW 1/4, SECTION 5, T. 3N, R. 2E, B.M. LOT
4 BLOCK D OF FAIRVIEW ACRES SUBDIVISION NO. 2
GARDEN CITY, ADA COUNTY, IDAHO
2024

Sanitary Sewer Notes

- All sewer pipe and fittings with cover greater than 3 feet, shall be Polyvinyl Chloride (PVC) conforming to the requirements of ASTM D-3034, SDR-35 for sizes 4-inch through 15-inch; ASTM F-679, SDR-35, T-1 wall for sizes 18-inch through 27-inch; or ASTM F-794, T-46 for sizes 18-inch through 36-inch. The minimum cover for all PVC sewer lines shall be 3 feet. Sewer pipe and fittings with cover less than 3 feet shall be Ductile Iron (DI) conforming to ANSI A-21.51 or AWWA C-151, minimum Class 50.
- Sanitary sewer manholes shall be constructed of reinforced precast concrete per the ISPMC with a maximum of 12 inches of concrete grade rings, a 24-inch diameter cast iron ring and cover and a concrete collar per ISPMC drawings SD-501, SD-505, SD-507, SD-508, SD-509. Manholes shall not have steps. The sewer contractor shall field verify that no more than 12-inches of grade rings are necessary to adjust the manhole to final grade. Grade rings, ring and covers shall be provided by the sewer contractor. Manhole cones shall be eccentric for all manholes 4 feet and deeper. The vertical wall of the cone shall be placed upstream and rotated 45°. Concentric cones shall be used for manholes less than 4 feet deep.
- Manufactured compression boots shall be used in manholes where pipelines enter and leave the manhole.
- Sewer service lines shall be ISPMC type "A" or "B" and constructed and marked per ISPMC Drawing SD-511A. Services shall not be deeper than 5 feet at the property line, unless specifically approved by the city. Services shall extend horizontally 10 feet beyond the property line. Service lines shall include an inspection cleanout placed directly adjacent to and inside public street right-of-way or the sewer easement line. The cleanout shall conform to SD-506A & SD-506B (bolt down cover option) with the riser being the same size as the service line.
- Service line connections to new mainlines shall use a full-service tee. Service line connections to existing mainlines that are concrete or a concrete derivative shall use a tapping saddle. Service connections to existing mainlines that are not concrete or a concrete derivative shall use an Insert-a-Tee or a prior approved equal.
- All sewer mains and services shall be bedded per the requirements of Type I bedding, except that bedding material shall be select ¾-inch maximum crushed gravel chips. All bedding shall be thoroughly shovel-sliced under the pipe.
- Groundwater levels shall be maintained below the trench bottom at all times during construction. Groundwater shall not be permitted to enter the pipeline system during construction. As soon as possible the contractor shall install a removable watertight plug in the new pipeline at the point of connection to the existing sewer system.
- Sewers shall be cleaned and tested after all utilities are installed and prior to paving. Material cleaned from the construction shall not be permitted to discharge to the downstream receiving pipeline. All installed sewer pipes shall be tested in accordance with Division 500 of the ISPMC. A representative of the city must be present must observe the testing. Mainline pipeline testing shall include air pressure, deflection and closed-circuit television (CCTV) visual inspection. Service line testing shall include air pressure and closed-circuit television (CCTV). The CCTV report shall be in the form of a VHS videotape or DVD and a written log. Manholes shall be vacuum or hydrostatically tested for leakage. The sewer system shall not accept any flows until the city issues an initial acceptance of the system.
- The contractor shall guarantee all work for a period of at least a one-year following the city's initial acceptance.
- Waterline Notes
- All water mains shall be Polyvinyl Chloride (PVC) conforming to the requirements of AWWA C-900, Class 235, DR-18. All fittings shall be mechanical joint or flanged ductile iron conforming to the requirements of AWWA C-110. All plastic pipe shall be installed with a #12 direct burial tracer wire placed along the north and east side of the main. The tracer wire will not be extended up in to or along valve boxes, but shall continue along the mainline, uninterrupted. Minimum burial depths for water mains shall be 4 feet from finish grade to the top of the pipe.
- Individual or dual water service connections 1-inch or smaller shall be Polyethylene pipe conforming to AWWA C-901, Class 200, DR-7.3. Services shall be constructed conforming to the Garden City standard drawing. Service pipelines shall be a minimum 1-inch, unless otherwise noted.
- Individual water service connections larger than 1-inch shall be Polyethylene pipe conforming to AWWA C-901, Class 200, DR-7.3. Services shall be constructed conforming to the ISPMC SD-402. Service pipelines shall be a minimum 2-inch, unless otherwise noted.
- Water valves shall be resilient-seat gate valves conforming to AWWA C-509 or AWWA C-515. All water valves shall be installed with a standard 5-1/4 inch diameter, two piece adjustable cast iron valve box, Tyler/Union series 6855, or equal. The cast iron cover shall be marked with the word "Water" as an integral part of the cover.
- Fire hydrants shall conform to AWWA C-502 and ISPMC Drawing SD-404. The pumper nozzle outlet shall be equipped with a "Storz" adapter.

- All water mains and services shall be bedded per the requirements of Type I bedding, except that bedding material shall be select ¾-inch maximum crushed gravel chips for water mains and 3/8-inch maximum crushed gravel chips for service lines. All bedding shall be thoroughly shovel-sliced under the pipe.
- All installed water lines shall be tested for leakage in accordance with Section 401.3.6 of the ISPMC following installation of all utilities and prior to paving. Each meter setter shall be opened to be sure that the service corporation stop is open and the service is functional prior to paving. A representative of the city must be present must observe the testing. All installed water lines shall be flushed, disinfected and tested for bacteria in accordance with Section 401.3.9 of the ISPMC. The water system shall not be opened to the city system until the city issues an initial acceptance of the system.
- The contractor shall guarantee all work for a period of at least a one-year following the city's initial acceptance.

Drainage Notes

- All inspections shall require a 24-hour notice prior to the requested inspection time. Call the inspection hot line at 208-472-2920.
- Prior to any earthwork a 24-hour notice to begin construction is required. Call Inspection hot line at 208-472-2920.
- Drainage inspections shall be conducted at any given time or upon request, during construction, verifying compliance with the city requirements and construction activities are followed as per the approved plans.
- All drainage construction observations must be performed by the applicant's design engineer.
 - Submit to the Garden City Environmental Division the following documentation prior signature of the city on a final subdivision plat or prior to the final inspection for a Certificate of Occupancy, whichever occurs first:
 - The design engineer's drainage construction observation reports.
 - A signed, written statement from the design engineer that all drainage structures and appurtenances were constructed in accordance to the approved plans.
- The drainage system and any filter fabric shall not be covered prior to inspection. Call the inspection hot line at 208-472-2920.
- The size and location of the drainage system shall correspond with the approved drainage system plan and shall be inspected.
- Final inspection of the storm drainage system shall be conducted following the paving and final landscaping.
- All drainage conveyance access points shall be stenciled or marked with identifying statement for the public "Do Not Dump -System Drains to Groundwater" or "River", whichever is relevant to the system disposal design.
- Traffic rated manhole lids shall be used.
- All parking lot grades shall be at least 1% for asphaltic-concrete and 0.4% for concrete.

Roadway Construction Notes

- Manhole grade rings, cast iron rings and covers shall be provided by the sewer contractor. The road contractor shall install the sewer grade rings, cast iron rings, covers and concrete collars to finish grade. Water valve boxes and covers shall be provided by the water contractor. The road contractor shall install the water valve boxes covers and concrete collars to finish grade.

Permeable Paver Notes (when applicable)

- Garden City will not repair permeable paver surfaces or their base sections when city infrastructure (water mains, water services, sewer mains and sewer manholes) is located beneath them. The city will maintain the water/sewer facilities noted, but will not repair the storm drain facilities above them. Said repair is the responsibility of the private party owning/operating/maintaining the storm drain facilities.
- Sanitary sewer services from the connection to the mainline to the point of use will be private under permeable pavers. Ownership and repair of said private services will be the responsibility of the private party owning operating and maintaining the storm drain facilities.
- Permeable paver ownership/maintenance responsibilities shall be stated in an appropriate document (i.e. maintenance agreement, Covenants, Conditions and Restrictions, Final Plat).
- All water main lines under and within ten (10) feet of permeable pavers shall be ductile iron pipe.

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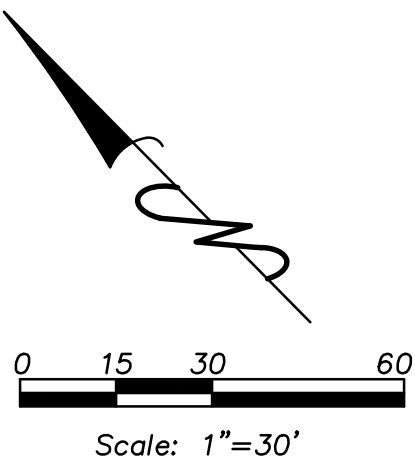
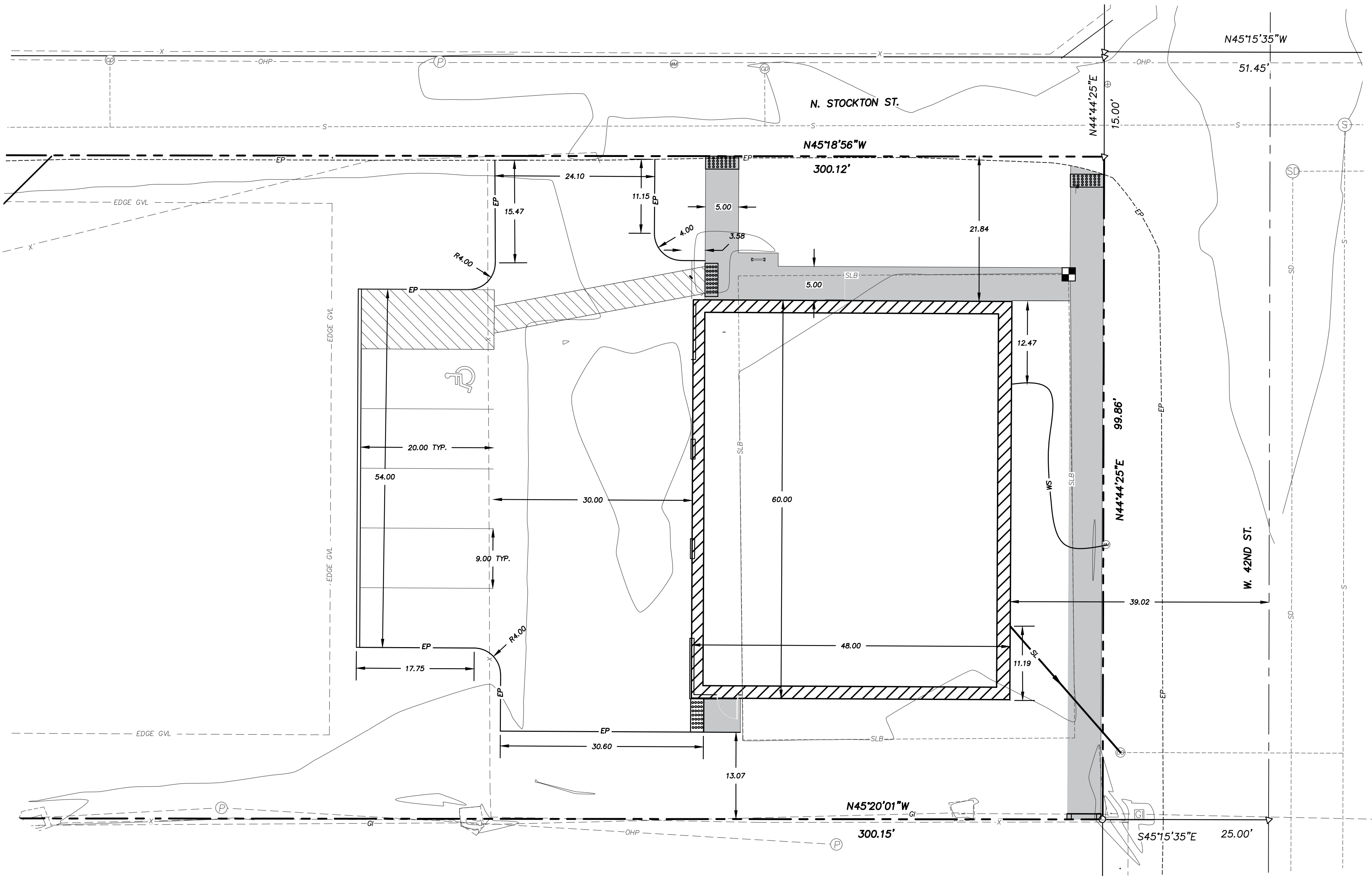
SHEET INDEX

SHEET 1: COVER SHEET
SHEET 2: DIMENSION SHEET
SHEET 3: GRADING, DRAINAGE UTILITY SHEET

DRAWING TITLE	JOB NO.	DWG NO.	SCALE:	FIELD BOOK NO.	SHEETS	Rev	DESCRIPTION
OZZY'S CAR COMPANY 112 W. 42ND ST. COVER SHEET	JN0224	JN0224 01	N/A	N/A	1	3	
Professional Engineers, Land Surveyors & Planners Mason & Associates 801 S. 1st St. Suite 100 (208) 644-0356	CLIENT:	STUDIO H ARCHITECTS 306 NE 2ND ST. MERIDIAN, ID. 83642 (208) 649-8306 (208) 283-4593	DESIGNED BY: SAP 8/24	NO	BY	DATE	DESCRIPTION
			DRAWN BY: SAP 8/24	REVISIONS			
			CHECKED BY: WJM 8/24				
			APPROVED BY:				

PRELIMINARY

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Line Table		
Line #	Direction	Length
L1	S80°13'11"E	20.53

PRELIMINARY

DRAWING TITLE:
OZZY'S CAR COMPANY
112 W. 42ND ST.
DIMENSION SHEET

SHEET NO. 2 OF 3 SHEETS

JOB NO. JN0224
DWG NO. JN0224 02
SCALE:
Vert: N/A
Horz: 1"=10'

FIELD BOOK NO.

CLIENT:
STUDIO H ARCHITECTS
306 NE 2ND ST.
MERIDIAN, ID 83642
(208) 649-8306
(208) 283-4593

Professional Engineers,
Land Surveyors
& Planners
890 1st S. Suite 100
(208) 644-0356

Mason & Associates

DESIGNED BY: SAP
DRAWN BY: SAP
CHECKED BY: WJM
APPROVED BY:

8/24
8/24
8/24

NO. BY DATE

REVISIONS

DESCRIPTION

	Benchmark (TBM)
	Calculated Point
	Found Aluminum Cap Monument
	Found Brass Cap Monument
	Found 5/8" Iron Pin
	Found 1/2" Iron Pin
	Existing Power Pole
	Existing Sanitary Sewer Manhole
	Existing Sign
	Existing Signal Box
	Existing Cleanout
	Existing Mail Box
	Existing Street Light
	Existing Sign Pole
	Existing Electric Meter
	Found Standpipe
	Existing Faucet
	Existing Catch Basin
	Existing Gate Valve
	Existing Water Meter
	Existing Sprinkler Box
	Existing A/C
	Existing Gas Valve/Meter
	Existing 4" ø Catch basin
	Guy Anchor
	Existing Gravity Irrigation Box
	Existing Bollard
	Property Boundary Line
	Lot Line
	Centerline
	Natural Ground Contour Line
	Existing Back of Walk
	Existing Concrete
	Existing Edge of Pavement
	Existing Face of Walk
	Existing Fence
	Existing Lip of Gutter
	Existing Overhead Power
	Existing Slab
	Existing Top Back Rolled Curb
	Existing Top Back Vertical Curb
	Existing Top of Wall

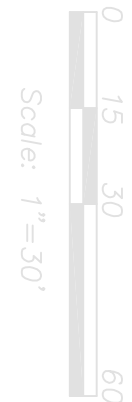
TBM #1 2" ALUMINUM CAP MONUMENT "ACHD R.O.W. 1131+19.30 62.50' RT. 2001 PLS 5617" 6.6' SOUTH OF STOP SIGN FOR CHINDEN BLVD. AND W. 42ND ST. AND 7' NORTHWEST OF EXTRUDED CURB FOR PARKING LOT OF OZZY'S CAR COMPANY.
NAVD88 ELEVATION=2653.76

TBM #3 CHISELED "X" IN THE EAST CORNER OF A CONCRETE SLAB 136' NORTHWEST OF NORTHWEST EDGE OF PAVEMENT FOR 42ND ST. AND 16.5' SOUTHWEST OF SOUTHWEST EDGE OF PAVEMENT OF STOCKTON ST.
NAVD88 ELEVATION=2653.03

OZZY'S CAR COMPANY
TOPOGRAPHIC SURVEY

A PART OF THE NW 1/4, NW 1/4, SECTION 5, T. 3N, R. 2E, B.M. LOT
4 BLOCK D OF FAIRVIEW ACRES SUBDIVISION NO. 2
GARDEN CITY, ADA COUNTY, IDAHO
2024

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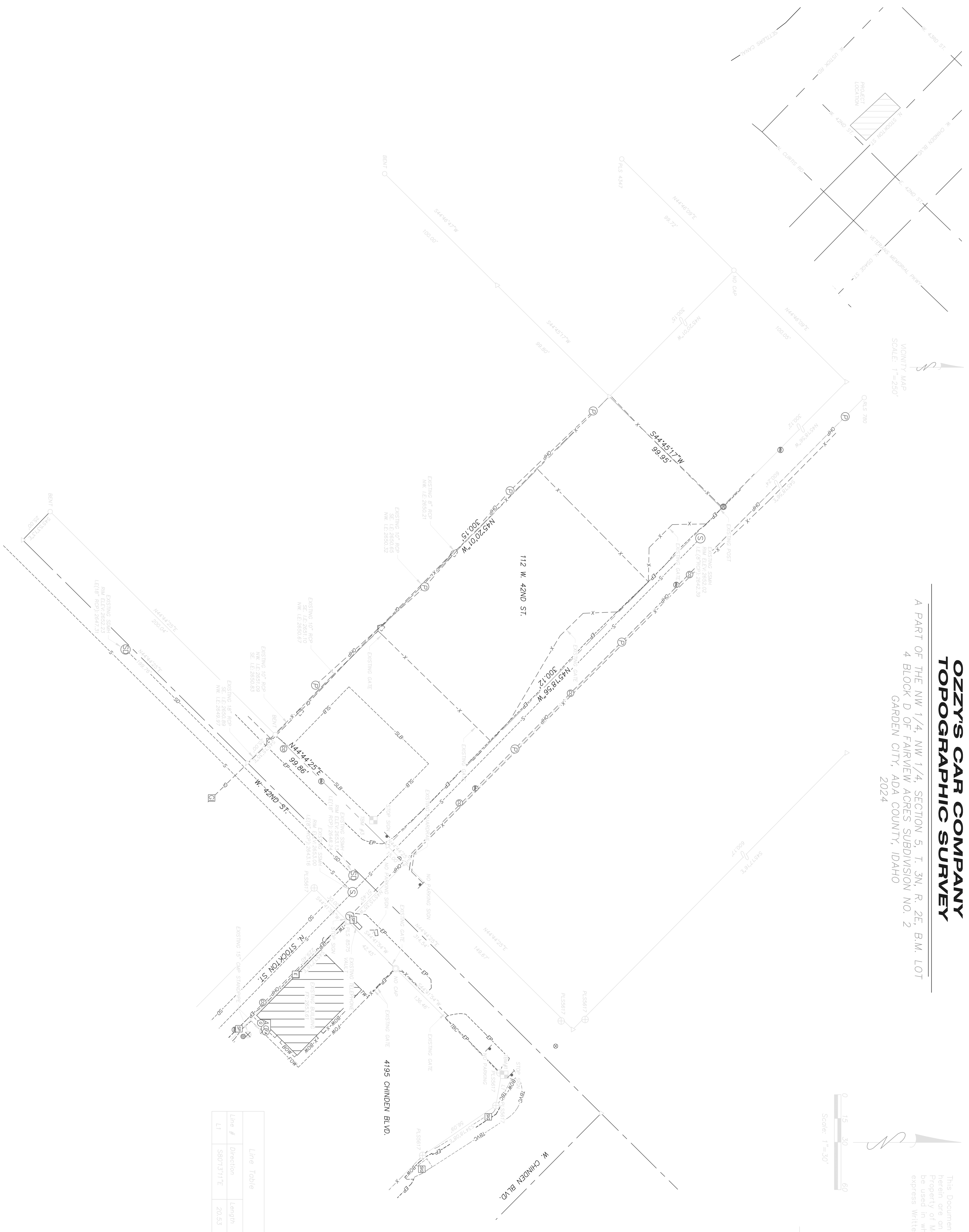
LEGEND

- Benchmark (TBM)
- Calculated Point
- Found Aluminum Cap Monument
- Found Brass Cap Monument
- Found 5/8" Iron Pin
- Found 1/2" Iron Pin
- Existing Power Pole
- Existing Sanitary Sewer Manhole
- Existing Sign
- Existing Signal Box
- Existing Overcoat
- Existing Mail Box
- Existing Street Light
- Existing Sign Pole
- Existing Electric Meter
- Found Stompipe
- Existing Faucet
- Existing Catch Basin
- Existing Gate Valve
- Existing Water Meter
- Existing Sprinkler Box
- Existing A/C
- Existing Gas Valve/Meter
- Existing 4" Catch basin
- Guy Anchor
- Existing Gravity Ingestion Box
- Existing Bulbud
- Property Boundary Line
- Lot Line
- Centerline
- Natural Ground Contour Line
- Existing Back of Walk
- Existing Concrete
- Existing Edge of Pavement
- Existing Face of Walk
- Existing Fence
- Existing Lip of Gutter
- Existing Overhead Power
- Existing Slab
- Existing Top Back Rolled Curb
- Existing Top Back Vertical Curb
- Existing Top of Wall
- Existing Top of Wall

PROJECT BENCHMARKS

TBM #1
FOUND 2" ALUMINUM CAP MONUMENT "ACHD R.O.W.
FOUND 5/8" IRON PIN FOUND 1/2" IRON PIN
O STATION 0+00 CHANDEN BLVD. 42ND ST.
ST. AND 7" NORTHWEST OF EXTRUDED CURB FOR
PARKING LOT OF OZZY'S CAR COMPANY.
NAVD88 ELEVATION=2653.76

TBM #2
CONCRETE "X" IN THE EAST CORNER OF A
CONCRETE SLAB 13.6' NORTHWEST OF NORTHWEST
EDGE OF PAVEMENT FOR 42ND ST. AND 16.5'
SOUTHWEST OF SOUTHWEST EDGE OF PAVEMENT OF
STOCKTON ST.
NAVD88 ELEVATION=2653.03



DRAWING TITLE:
OZZY'S CAR COMPANY
112 W. 42ND ST.
TOPOGRAPHIC SURVEY

JOB NO. JN0224
DWG NO. JN0224TOP0
SCALE:
Vert: N/A
Horz: 1"=30'
FIELD BOOK NO.

CLIENT:
STUDIO H ARCHITECTS
306 NE 2ND ST.
MERIDIAN, ID, 83642
(208) 649-8306
(208) 283-4593

Mason & Associates
Professional Engineers,
Land Surveyors
& Planners
824 3rd St. South, Nampa, ID 83851
(208) 454-0256

DESIGNED BY:
DRAWN BY: BP
CHECKED BY:
APPVD BY:

NO	BY	DATE	DESCRIPTION
1	BP	6/24	DESIGNED
2			
3			
4			
5			

SHEET NO. 1 OF 1 SHEETS

Rev