



Studio H Architects, PLLC.
306 NE 2nd St.
Meridian, ID 83642

Responses to Design Review Report and Decision

January 29, 2025

DSRFY2024-0018
Ozzy's Car Company
112 W. 42nd Street
Garden City, ID 83714

Comment:

Based on the resubmittals received on 12/03/2024

The applicant plans to place a trash enclosure on the northern site border for alley service, screened by a 6' tall metal fence. Clarifications needed.

All on-site service areas for waste, recycling, or trash; and equipment areas for transformer and utility vaults shall be located in an area not visible from a public street or adjoining property, or shall be screened from view from a public street and adjoining property with a privacy fence.

Privacy fence is a fence that is constructed of solid or opaque materials through which no views can be seen.

HVAC equipment, trash dumpsters, recycling, trash compaction, and other service functions shall be incorporated into the overall design of buildings and landscaping so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets.

Response:

Trash enclosure for carts relocated to rear of parking lot with privacy fencing.

Comment:

Based on the resubmittals received on 12/03/2024

Pressurized irrigation shall be provided.

According to GIS data, there is an open Fairview Acres ditch along the southwestern property boundary line. The submitted grading, drainage, and utility plan identifies the existing gravity irrigation, and proposes to protect and retain it.

Code does not require fencing along irrigation ditches. The southern boundary of the property currently has a wooden fence, and the applicant's new plans do not propose replacing it with open vision fencing. The fence along the irrigation ditch is only allowed to be open vision fencing; privacy fencing is prohibited.

As a review note:

Irrigation ditches, laterals, canals, and drains shall be left open and used as a water amenity or linear open space unless it can be demonstrated to the design review consultant(s) and the planning official by the process set forth in section 8-6B-3 that:

- a. The maintenance of the irrigation ditch, lateral, canal, or drain with any associated easement encumbers more than fifty percent (50%) of the property; or
- b. The irrigation ditch, lateral, canal, or drain is located on the property in such a manner that a use of the property is infeasible; or
- c. The irrigation ditch, lateral, canal, or drain is enclosed on both ends adjacent to the property, and the adjacent properties are fully developed in a manner that future opening of the enclosed irrigation ditch, lateral, canal, or drain is infeasible.

For any irrigation or drainage ditch, piping or alteration of the ditch shall not impede the movement of the amount of water crossing the property prior to development or the amount of water delivered to downstream properties.

In no circumstances shall structures be built over irrigation ditches, laterals, canals and drains or within their dedicated easements.

Response:

The existing wood fencing screens the residential mobile home park adjacent to the site. Open fencing is not part of the project and would require the adjacent property owner to provide new open fencing.

Comment:

Based on the resubmittals received on 12/03/2024

The applicant has revised the proposal to replace the prefabricated structure with a traditionally wood-framed building. The main entrance now faces W. 42nd Street, enhanced with an awning and additional windows for a pedestrian-friendly design. A second story has been added to meet section 8-4C-3 requirements.

First floor facades visible from a public street should include surfaces in windows, showcases, displays, or pedestrian access elements as follows: for retail uses at least fifty percent (50%), **for all other uses at least fifteen percent (15%)**.

Not enough information

Response:

Refer to updated Exterior Elevations. The façade along W. 42nd Street is approximately 1,024 SF. 15% of façade is approximately 154 SF. Windows and trellises account for approximately 252 SF.

Comment:

The building side facing the public right of way of 42nd Street is 60' long.

Facades longer than fifty feet (50') (measured horizontally along the facade) should incorporate relief to perceived building mass through such features as wall projections or recesses, projecting windows, entrances, or other visual relief. The doorways on buildings abutting or within three feet (3') of the sidewalk should be recessed in order to avoid conflicts with pedestrians.

Rooflines exceeding fifty feet (50'), should incorporate relief to the perceived building mass by providing roofline variation. Roofline variation should be achieved using one or more of the following methods: a) vertical offset in ridgeline; b) horizontal offset in ridgeline; c) variations in roof pitch; d) gables; and e) dormers. **Not Compliant**

Pedestrian plaza is not provided.

Response:

Per Design Review meeting on January 6th, a Pedestrian Plaza is not required. Refer to the updated Site Plan and SD Drawings. The building has been redesigned to incorporate the vision triangle and provide additional pedestrian friendly elements (larger walkways, automotive themed sculpture, landscaping, etc.). Trellises, windows, storefront entrance and awnings have been added to enhance the pedestrian experience.

Comment:

Based on the resubmittals received on 12/03/2024

A minimum of five percent (5%) of the gross site area shall be landscaped areas, excluding areas for setback or perimeter landscaping.

Response:

Refer to the updated Landscape Plan for updated calculations and additional trees.

Please don't hesitate to contact me with any questions.

Thank you,



Julie Miller, CID, NCIDQ – Project Manager

Julie@studioharchitects.com

208.996.0528



Mary May, President
Alexis Pickering, Vice-President
Jim D. Hansen, 2nd Vice President
Kent Goldthorpe, Commissioner
Dave McKinney, Commissioner

July 29th, 2022

To: Asmir Alic
880 S Island Glenn Place
Eagle, ID 83616

Subject: GC22-0004/ CUPFY2022-0009
112 W 42nd Street
Ozzy's Car Company Storage Shed

The applicant is requesting approval of a conditional use permit to allow for the construction of a storage shed to store cars for a nearby auto sales lot.

A. Findings of Fact

1. 42nd Street

a. **Existing Conditions:** 42nd Street is improved with 2-travel lanes, 33-feet of pavement, and no curb, gutter, or sidewalk abutting the site. There is 50-feet of right-of-way for 42nd Street (23-feet from centerline).

b. **Policy:**

Local Roadway Policy: District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

Standard Urban Local Street—33-foot Street Section and Right-of-way Policy: District Policy 7207.5.2 states that the standard street section shall be 33-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 47-feet of right-of-way.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant

may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

- c. **Applicant's Proposal:** The applicant has not proposed any roadway improvements to 42nd Street abutting the site.
- d. **Staff Comments/Recommendations:** The applicant should be required to construct curb, gutter, and 5-foot wide detached concrete sidewalk on 42nd Street abutting the site consistent with District policy and as required by Garden City.

The applicant should be required to dedicate additional right-of-way to total 2-feet behind the back of sidewalk or provide a permanent sidewalk easement extending from the right-of-way line to 2-feet behind the back of sidewalk. The sidewalk should be located wither wholly within the right-of-way or wholly within the easement.

2. Named Alley – Stockton Street

- a. **Existing Conditions:** There is a named alley, Stockton Street, abutting the north side of the site that is improved with 15-feet of pavement within 15-feet of right-of-way. Stockton Street runs east/west between 42nd Street and 43rd Street.

- b. **Policy:**

Existing Alley Policy: District Policy 7210.2 states that if a proposed development abuts an existing alley, the dedication of additional right-of-way to obtain a minimum width from the centerline of the alley of 8-feet for residential uses and 10-feet for non-residential or commercial uses may be required. Each development will be reviewed by the District on a case-by-case basis. If the proposed development takes access from an alley, the developer will be required to pave the entire width of the right-of-way from the nearest public street to and abutting the development.

Alley Length Policy: District Policy 7210.3.2 states that alleys shall be no longer than 700-feet in length. If the lead land use agency having jurisdiction requires a shorter block length, the alley shall be no longer than the agency's required block length.

Alley Parking & Setbacks Policy: District Policy 7210.3.3 states that parking within the alley right-of-way is prohibited. "No Parking" signs are required to be installed by the developer. The signs should be located at the alley/street intersections. Parking which is entered from the alley shall be designed so the minimum clear distance from the back of the parking stall to the opposite side of the alley is 20-feet for all perpendicular parking.

Setbacks for structures taking access from the alley should be closely coordinated with the lead land use agency. The setbacks shall either discourage parking within the alley (where it may partially block or occur within the right-of-way) or allow adequate area for one perpendicular parking pad. In order to discourage parking, building setbacks shall be minimal from the alley right-of-way line, while still

achieving the required 20-feet of back-up space from a garage or other parking structure to the opposite side of the alley (i.e. 4-foot setback + 16-foot alley= 20-feet for back-up space).

Alley Intersections and Offsets Policy: District policy 7210.3.7 states that alleys should intersect public streets at each end. In specific circumstances as outlined in the policies below, the District may consider allowing an alley to intersect a public street at only one end. A 90-degree angle of intersection shall be designed where practical. In no case shall the intersecting angle be less than 75-degrees, as measured from centerline of intersecting street. An access to an alley shall be located a minimum of 50-feet from the nearest street (measured centerline to centerline).

Alley/Local Street Intersections Policy: District Policy 7210.3.7.2 states that alleys may intersect all types of local streets including minor local streets. Alleys shall generally be designed with a curb cut type approach when intersecting a local street. Alleys shall generally intersect streets in the middle of the block equally offsetting the intersecting streets. Alleys shall either align with alley/street intersections or provide a minimum 100-foot offset (measured centerline to centerline) from other local street intersections. For alley intersections with local streets, the District may consider a reduced offset if the lead land use agency's required lot size allows for shorter buildable lots.

- c. **Applicant's Proposal:** The applicant has not proposed any improvements to Stockton Street abutting the site.
- d. **Staff Comments/Recommendations:** Stockton Street abutting the site is fully improved. Therefore, no additional improvements or right-of-way dedication is required with this development.

3. Driveways – 42nd Street

- a. **Existing Conditions:** There is an existing unimproved driveway from the site on to 42nd Street located 80-feet south of Stockton Street.

- b. **Policy:**

Driveway Location Policy: District policy 7207.4.1 requires driveways near intersections to be located a minimum of 75-feet (measured centerline-to-centerline) from the nearest local street intersection, and 150-feet from the nearest collector or arterial street intersection.

Successive Driveways: District Policy 7207.4.1 states that successive driveways away from an intersection shall have no minimum spacing requirements for access points along a local street, but the District does encourage shared access points where appropriate.

Driveway Width Policy District policy 7207.4.3 states that where vertical curbs are required, residential driveways shall be restricted to a maximum width of 20-feet and may be constructed as curb-cut type driveways.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7207.4.3, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway.

- c. **Applicant's Proposal:** The applicant has proposed to close the existing driveway with landscaping.
- d. **Staff Comments/Recommendations:** The applicant should be required to close the existing driveway with curb, gutter, and 5-foot wide concrete sidewalk to match the roadway improvements installed on 42nd Street required with this application.

B. Site Specific Conditions of Approval

1. Improve 42nd Street abutting the site with curb, gutter, and 5-foot wide detached concrete sidewalk as required by Garden City.
2. Dedicate additional right-of-way for 42nd Street to total 2-feet behind the back of sidewalk or provide a permanent right-of-way easement for sidewalk located outside of the dedicated right-of-way.
3. Dedicate additional right-of-way for Stockton Street to total 10-feet from centerline and pave it its entire width following the right-of-way dedication.
4. Close the existing driveway on to 42nd Street with curb, gutter, and 5-foot wide concrete sidewalk to match the improvements installed on 42nd Street.
5. A Traffic Impact Fee may be assessed by ACHD and will be due prior to issuance of a building permit. Please contact the ACHD Planner (see below) for information regarding impact fees.
6. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
7. Comply with the Standard Conditions of Approval as noted below.

C. Traffic Information

Trip Generation

This development is estimated to generate less than 10 additional vehicle trips per day based on the Institute of Transportation Engineers Trip Generation Manual, 11th edition.

Condition of Area Roadways: *Traffic Count is based on Vehicles per hour (VPH)*

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
**Chinden Boulevard	0-feet	Principal Arterial	1,720	N/A
42 nd Street	100-feet	Local	N/A	N/A
Stockton Street	300-feet	Local	N/A	N/A

** ACHD does not set level of service thresholds for State Highways.

Average Daily Traffic Count (VDT): *Average daily traffic counts are based on ACHD's most current traffic counts*

- The average daily traffic count for Chinden Boulevard west of Curtis Road was 36,689 on 03/27/19.
- There are no traffic counts for this section of 42nd Street.
- There are no current traffic counts for Stockton Street.

D. Attachments

1. Vicinity Map
2. Site Plan
3. Standard Conditions of Approval
4. Appeal Guidelines

If you have any questions, please feel free to contact me at (208) 387-6132.

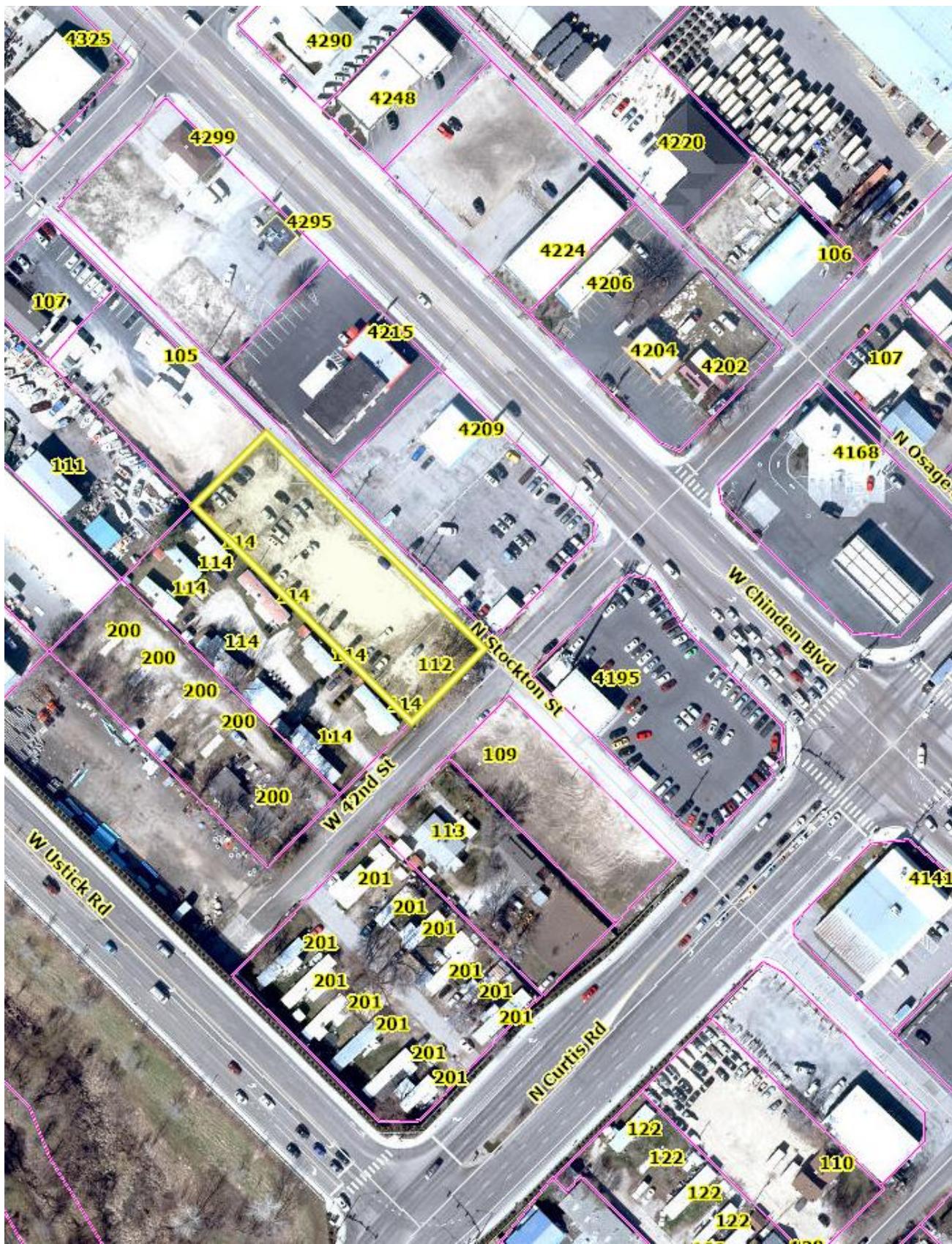
Sincerely,



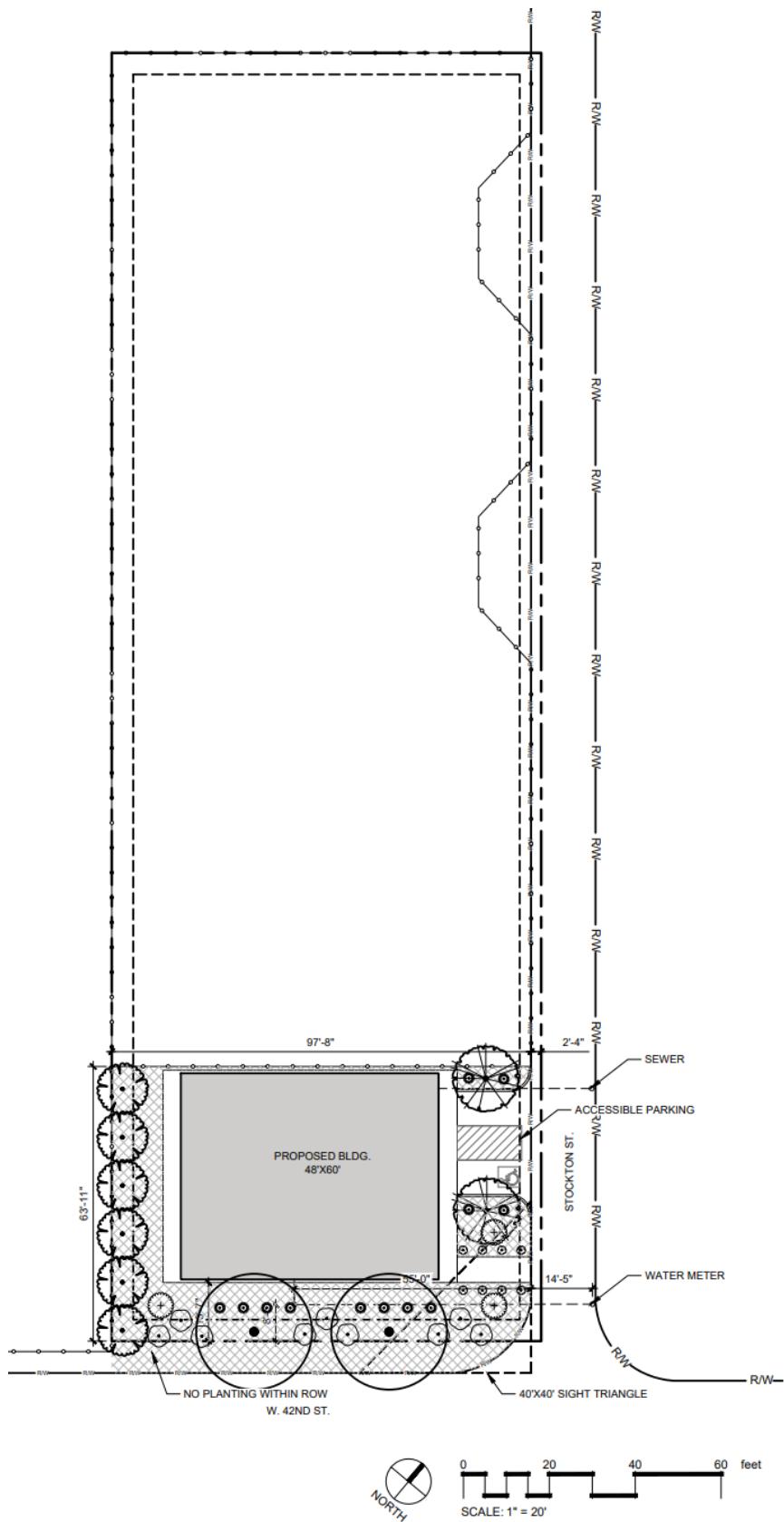
Kelly Bruner
Planner
Development Services

cc: City of Garden City (Hanna Veal, via email)

VICINITY MAP



SITE PLAN



Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.



Julie Miller <julie@studioarchitects.com>

RE: Impact Fee - Ozzy's Car Co

1 message

Matt Pak <mpak@achdidaho.org>
 To: Julie Miller <julie@studioarchitects.com>

Tue, Dec 3, 2024 at 11:35 AM

Hi Julie!

Yes, Stockton Street is classified as an alley, not a "street".

Thanks for checking in, and hope you are well!

Matt Pak

Planner | Planning Review

Ada County Highway District (ACHD)

1301 N. Orchard Street, Suite 200, Boise, ID 83706

Phone: (208)387-6171

www.achdidaho.org

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From: Julie Miller <julie@studioarchitects.com>

Sent: Tuesday, December 3, 2024 11:15 AM

To: Matt Pak <mpak@achdidaho.org>

Subject: Re: Impact Fee - Ozzy's Car Co

Caution: This is an external email and has a suspicious subject or content. Please take care when clicking links or opening attachments. When in doubt, contact your IT Department

Hi Matt - just left you a voicemail.

Please confirm that Stockton Street is indeed classified as an alley and not a "street"

be located within wholly within the right-of-way or wholly within the easement.

2. Named Alley – Stockton Street

a. **Existing Conditions:** There is a named alley, Stockton Street, abutting the north side of the site that is improved with 15-feet of pavement within 15-feet of right-of-way. Stockton Street runs east/west between 42nd Street and 43rd Street.

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Setbacks for structures taking access from the alley should be closely coordinated with the lead land use agency. The setbacks shall either discourage parking within the alley (where it may partially block or occur within the right-of-way) or allow adequate area for one perpendicular parking pad. In order to discourage parking, building setbacks shall be minimal from the alley right-of-way line, while still

Thank you for your assistance!

Best Regards,

Julie Miller, CID, NCIDQ Project Manager

O: 208-649-8306

C: 208-996-0528



On Wed, Sep 25, 2024 at 1:29 PM Matt Pak <mpak@achdidaho.org> wrote:

Not a problem!

Thank you, you as well.

Matt Pak

Planner | Planning Review

Ada County Highway District (ACHD)

1301 N. Orchard Street, Suite 200, Boise, ID 83706

Phone: (208)387-6171

www.achdidaho.org

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From: Julie Miller <julie@studioharchitects.com>

Sent: Wednesday, September 25, 2024 1:28 PM

To: Matt Pak <mpak@achdidaho.org>

Subject: Re: Impact Fee - Ozzy's Car Co

Caution: This is an external email and has a suspicious subject or content. Please take care when clicking links or opening attachments. When in doubt, contact your IT Department

Hi Matt - thanks for the clarification!

I'll reach out to the Impact Fee department.

Have a great day!

Julie Miller, CID, NCIDQ Project Manager

O: 208-649-8306

C: 208-996-0528

A: 306 NE 2nd St | Meridian, ID 83642

Studio H Architects

Architecture | Interior Design | Planning



On Wed, Sep 25, 2024 at 1:26 PM Matt Pak <mpak@achdidaho.org> wrote:

Hi Julie,

I was out on lunch when you called; just got your voicemail!

Typically our staff letters/reports include a condition that states that a traffic impact fee may be assessed by ACHD prior to the issuance of a building permit from the City.

However, given the application for Ozzy's Car Company has the same conditions of approval as the last application for this site (back in 2022), we only issued a "Comply With" letter which refers you back to the conditions of approval for the original application.

I just noticed you weren't the original applicant, and that Mr. Alic was the recipient of that letter we issued back in '22. I have attached the original ACHD letter that contains the conditions for approval for your reference, which states an impact fee may be assessed by ACHD. My apologies for this.

You will need to contact ACHD's Impact Fee department to have your fee assessed and collected, if applicable. You can call our main line **(208)387-6100** and ask to speak with the Impact Fee department OR you can email them at impactfees@achdidaho.org with your current application number and request to have your impact fee assessed and paid for.

Let me know if there is anything else you need from me!

Thank you,

Matt Pak

Planner | Planning Review

Ada County Highway District (ACHD)

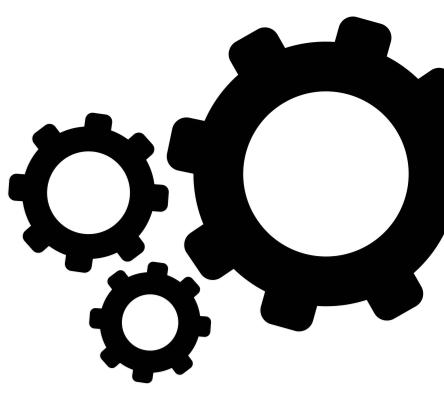
1301 N. Orchard Street, Suite 200, Boise, ID 83706

Phone: (208)387-6171

www.achdidaho.org

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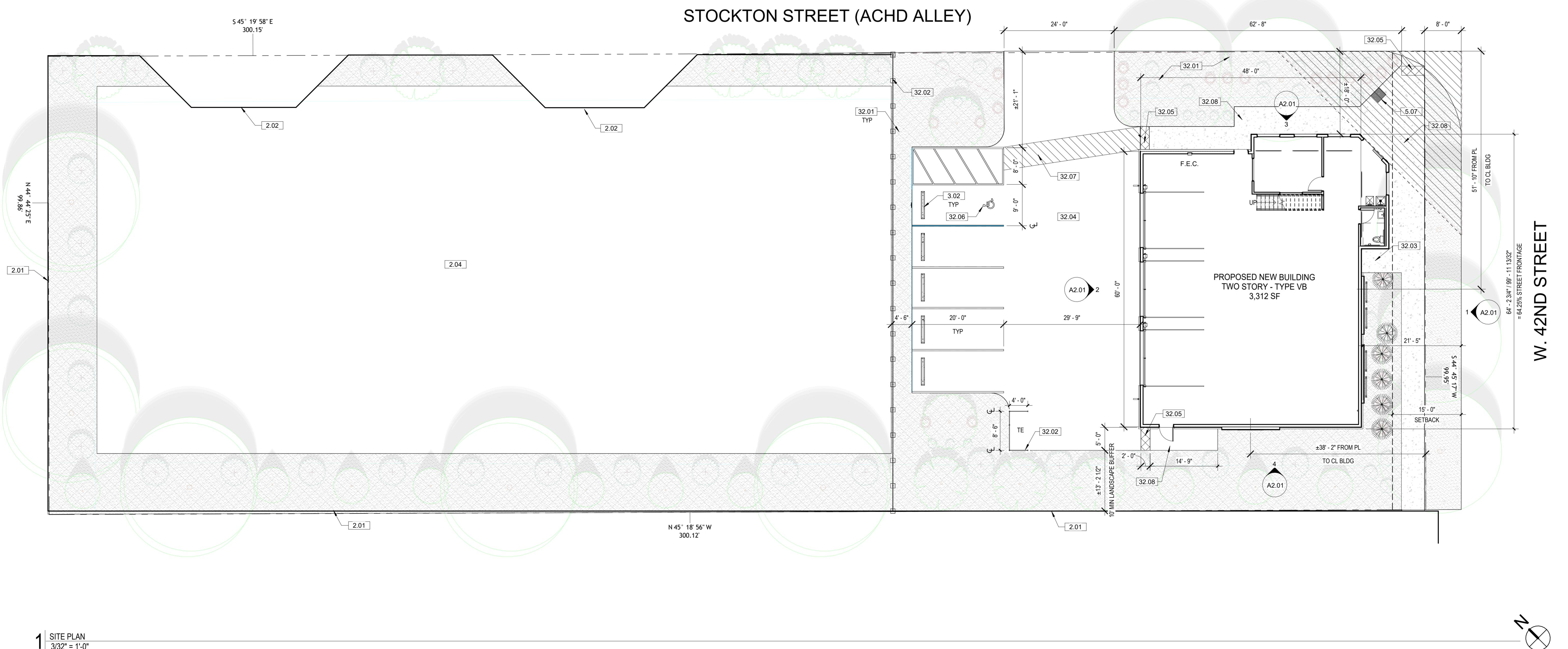


Studio H A R C H I T E C T S

306 NE 2nd Street
Meridian, ID 83642
208-649-8306
www.studioharchitects.com

SHEET NOTES - SITE PLAN	
SLOPE AWAY FROM BUILDING MIN. 2% CONTRACTOR TO VERIFY ALL SETBACKS AND EASEMENTS.	
ZONING INFORMATION	
<u>SIZE:</u> 0.689 ACRES	<u>ACEL #:</u> R2734510330
<u>ZONE:</u> C-2	
<u>MAX. HEIGHT:</u> NONE INDICATED	
<u>SETBACKS:</u> 5' ON ALL SIDES	
PARKING CALCULATIONS	
<u>PARKING:</u> 9'x20' STALLS, 24' DRIVE AISLE	
PARKING DEMAND (VEHICLE SALES) SPACE PER EVERY 2,000 GSF	
2 SF / 2,000 = 1.66 = 2 SPACE REQUIRED	
RE: 5 PARKING SPACES REQ'D PER FY2022-0009	
<u>CYCLE PARKING:</u>	
MEDIUM PARKING DEMAND (VEHICLE SALES) SPACE PER 4,000 SF	
2 SF / 4,000 = 0.83 - 1 SPACE REQUIRED	
<u>PROVIDED:</u>	
4 STANDARD SPACES	
<u>1 ACCESSIBLE SPACE</u>	
TOTAL: 5 STALLS	
1 BICYCLE SPACE	

KEYNOTE LEGEND	
O.	KEYNOTE / REFERENCE NOTE
	EXISTING FENCE TO REMAIN, REPAIR AS REQUIRED PER NEW CONSTRUCTION. NOTE: CHAIN LINK FENCING TO BE REMOVED AND REPLACED WITH NEW COMPLIANT FENCING WITHIN TWO YEARS OF DR APPROVAL PER CUPFY2022-0009 EXTENSION 2 07222024.
	EXISTING GATE, REPAIR AS REQUIRED PER NEW CONSTRUCTION.
	EXISTING GRAVEL PARKING LOT TO REMAIN.
	EXTERIOR CONCRETE SLAB ON GRADE, RE: CIVIL DWGS.
	CUSTOM AUTOMOTIVE THEMED SCULPTURE.
	LANDSCAPING, RE: LANDSCAPE PLAN.
2	NEW 6'H METAL FENCING.
3	BIKE RACK.
4	ASPHALT PARKING LOT SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.
5	DETECTABLE WARNINGS.
6	ACCESSIBLE PARKING AND ACCESS AISLE, RE: CIVIL DWGS.
7	ACCESSIBLE PATH OF TRAVEL, RE: CIVIL DWGS.
8	EXTERIOR SLAB ON GRADE, SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.



NEW VEHICLE SALES SUPPORT BUILDING

ALIC PROPERTIES, LLC

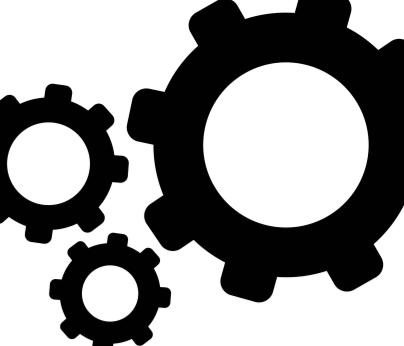
OWNER
PROJECT

PROJECT ADDRESS
12 W 42ND STREET

12125 S. 100 E.
GARDEN CITY, ID 83714

PROJECT NUMBER	24-34
SHEET ISSUE DATE	11/21/24
SUBMITTAL	DR REVISIONS#2

A1.00



Studio H
ARCHITECTS
Architecture Interiors Planning

306 NE 2nd Street
Meridian, ID 83642
208-649-8306
www.studioarchitects.com

STAMP:

SHEET NOTES - FLOOR PLAN	
1.	ALL DIMENSIONS ARE TO STRUCTURAL FACE OF MASONRY/CONCRETE, OR FACE OF STUD, UNLESS OTHERWISE NOTED.
2.	REFLECTED CEILING PLANS ARE FOR OCCUPANCY PLANS FOR REQUIRED FIRE RATINGS AND SMOKE PARTITIONS.
3.	CONTRACTOR TO VERIFY ALL COLUMN AND ROOF PLATES ARE IN FIELD.
4.	PROVIDE BRACING AND/OR SUPPORTS AT ALL WALL MOUNTED CABINETS, EQUIPMENT, FIXTURES, ETC.
5.	AT ALL WALLS WITH SOUNDS, ATTACH TO TOP OF WALL AT STRUCTURE AND BOTTOM OF WALL WITH SOUND SEALANT.
6.	AT ALL WALLS THAT EXTEND TO STRUCTURE, PROVIDE DEFLECTION TRACK. SEE WALL DETAILS FOR TYPICAL CONDITION.
7.	FOR ALL WET CONDITIONS, PROVIDE VAPOR RETARDER BOARD IN LIEU OF GYPSUM BOARD. UNLESS NOTED OTHERWISE, ALL GYB WALLS SHALL HAVE 6" STUD FRAME RETURN. ALL DOORS SHALL BE PRE-PAINTED AND GYB CEILING SHERWIN WILLIAMS SW 7056 DESERVED WHITE, EGGHELL FINISH.
8.	ALL SOFT DIMENSIONS SHOWN ARE TO FINISHED FINISH.
9.	SUSPENSION SYSTEMS FOR GYPSUM BOARD CEILINGS SHALL BE INSTALLED PER ASTM C754.

SHEET NOTES - CEILING PLAN	
1.	COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL ITEMS TO BE PROVIDED AT THE CEILING PLANE AND OVERALL LIGHT FIXTURES AND SPRINKLER HEADS IN THEIR RESPECTIVE CEILING PANEL UNO.
2.	ALL SOFT DIMENSIONS SHOWN ARE TO FINISHED FINISH.
3.	SUSPENSION SYSTEMS FOR GYPSUM BOARD CEILINGS SHALL BE INSTALLED PER ASTM C754.

FLOOR PLAN LEGEND	
NEW CONSTRUCTION	
101A	DOOR TAG
A1	WINDOW TAG
A1	STOREFRONT TAG
\$60.ID	WALL TAG, RE: ASSEMBLIES

CEILING PLAN LEGEND	
GYB BD CEILING	OPEN TO STRUCTURE
	RECESSED LED DOWNLIGHT
	1x4 SUSPENDED LED
	WALL MOUNTED VANITY LIGHT

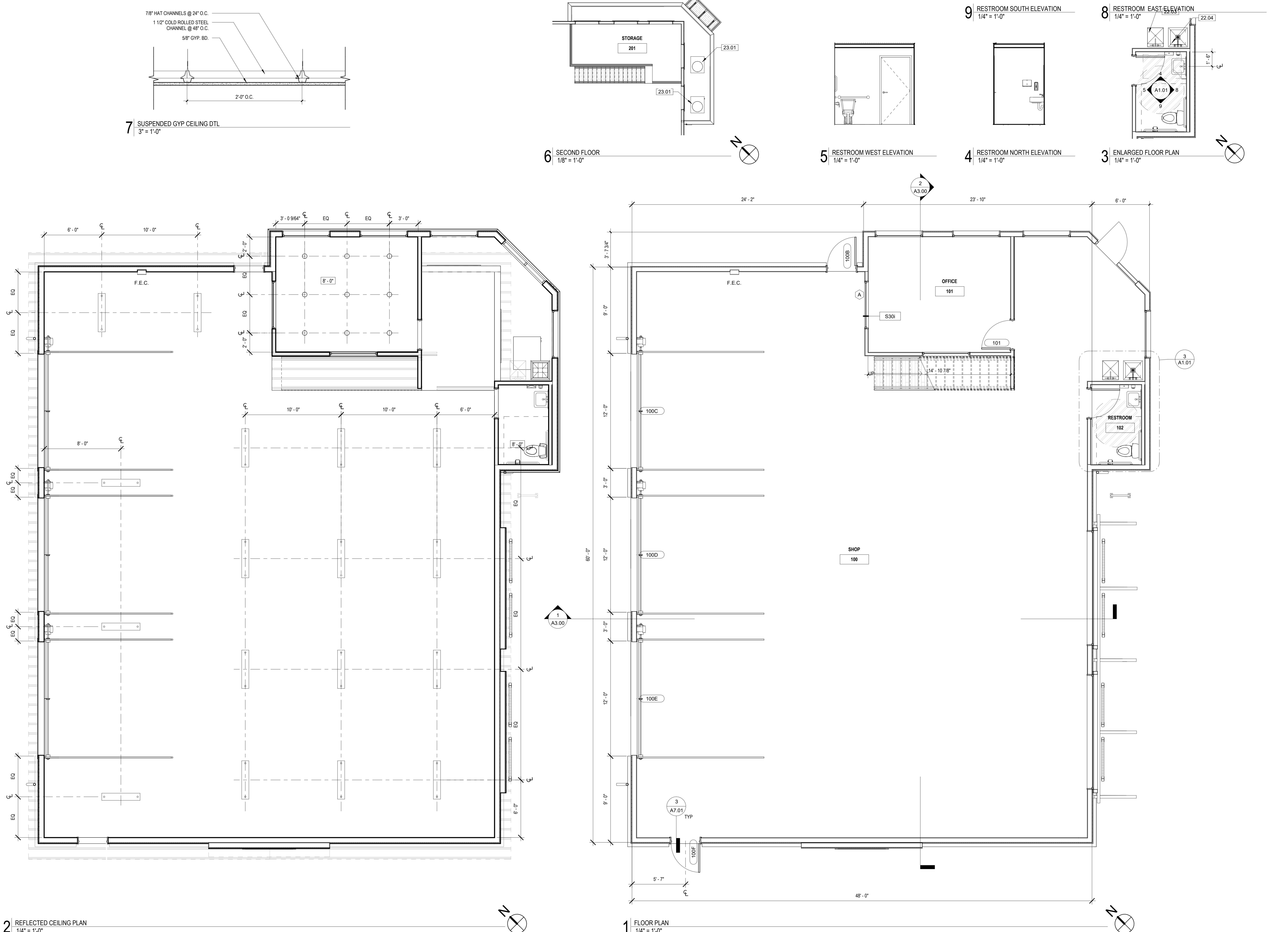
KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
22.03	UTILITY SINK, RE: PLUMBING DWGS.
22.04	MOP SINK, RE: PLUMBING DWGS.
23.01	ROOFTOP EQUIPMENT, COORDINATE WITH MECHANICAL DRAWINGS.

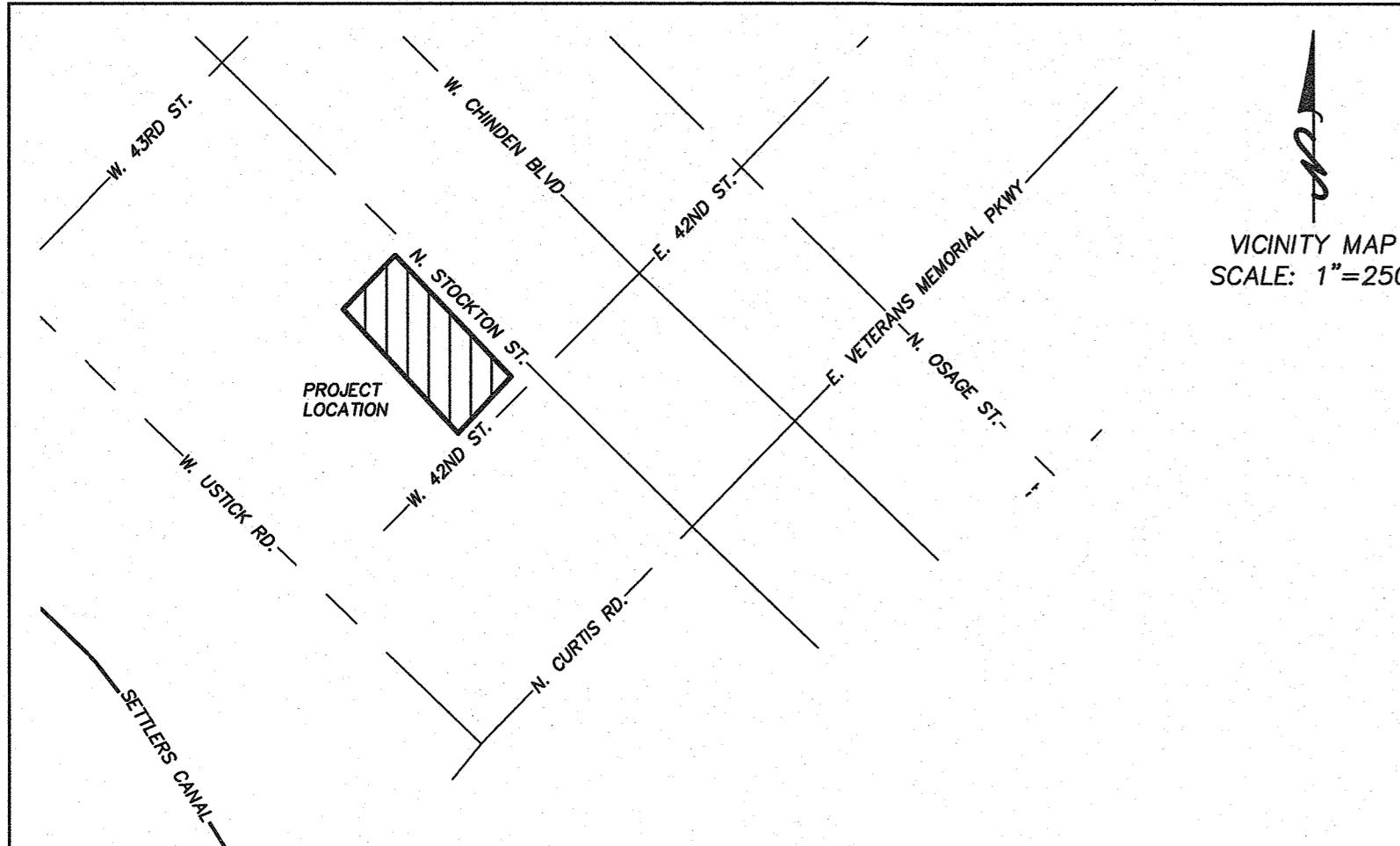
OWNER
ALIC PROPERTIES, LLC
PROJECT ADDRESS
112 W 22ND STREET
GARDEN CITY, ID 83714

PROJECT NUMBER
24-34
SHEET ISSUE DATE
11/21/24
SUBMITTAL
DR REVISIONS2

FLOOR PLAN & RCP

A1.01





GARDEN CITY
STANDARD CONSTRUCTION NOTES FOR PROJECTS
THAT CONTAIN PUBLIC WATER, PUBLIC SEWER, NON-ACHD
DRAINAGE, PRIVATE ROADS AND/OR PERMEABLE PAVERS

AUGUST 2022

Notes Applicable to All Construction

- Compliance with the Idaho Department of Environmental Quality (IDEQ) requirements for protection from erosion by storm water is required for this project. A Responsible Party (RP) shall be responsible to comply with the IDEQ requirements. If the owner has not designated a RP, the contractor shall be required to provide a RP. The RP is required to prepare, file and comply with the Storm Water Pollution Prevention Plan (SWPPP) for this project. The RP is responsible to file a Notice of Intent (NOI) to construct with IDEQ. IDEQ must officially accept the NOI prior to beginning any site disturbance activities. The SWPPP is a document/plan that is required to be updated and amended to best fit the site as construction occurs. The RP is responsible to keep the plan current. At completion of all construction activities and after the project site is stabilized for erosion control, the RP is required to prepare and submit a Notice of Termination of the SWPPP with IDEQ.
- for sites under one acre-
- The contractor shall comply with the City of Garden City's approved Erosion and Sediment Control Plan (ESCP) for this project. A Responsible Party (RP) shall be responsible to comply with the ESCP requirements. If the owner has not designated a RP, the contractor shall be required to provide a RP. The RP is required to comply with the City of Garden City's ordinance for control for erosion from this construction site. The ESCP is a document/plan that is required to be updated and amended to best fit the site as construction occurs. The RP is responsible to keep the plan current. At completion of all construction activities and after the project site is stabilized for erosion control, the ESCP is terminated.
- All construction, materials, appurtenances and testing shall comply with the requirements of the 2020 edition of the Idaho Standards for Public Works Construction (ISPWC), unless specifically modified by these construction documents.
- The contractor, all applicable sub-contractors, developer/owner, utility company representatives, a Garden City Department of Public Works representative and an Ada County Highway District representative shall attend a pre-construction conference prior to commencement of construction.
- The contractor shall obtain a construction permit from the Ada County Highway District at least 24 hours prior to commencing construction of any of the improvements shown hereon located within public right-of-way.
- Construction inspection shall be performed by the project engineer, the Ada County Highway District and/or the Garden City Department of Public Works. Inspection by the Garden City Department of Public Works will be for Department purposes only to spot check work compliance with the city's requirements. It is the project engineer's responsibility to assure compliance with the project plans and specifications.
- The contractor shall verify site conditions and dimensions prior to beginning work. Any deviations, omissions or errors shall be presented to the project engineer for resolution. Any changes to the plans and specifications shall be submitted to and approved by the Garden City Department of Public Works prior to implementation of the change. Said change may also need to be submitted to the Idaho Department of Environmental Quality for approval.
- The contractor shall contact Digline (811) and other appropriate utility providers for utility locations at least 72 hours prior to beginning any excavation.
- Any waters created by dewatering shall not be permitted to directly discharge to any existing surface water facility. Prior to discharging to waters of the state of Idaho, the contractor shall secure a short-term activity exemption from the applicable regional office of the Idaho Department of Environmental Quality.
- Horizontal and vertical separation of potable and non-potable pipelines shall meet the requirements of ISPWC Section 405 and ISPWC Drawing No. 407.

**OZZY'S CAR COMPANY
CIVIL IMPROVEMENT DRAWINGS**

A PART OF THE NW 1/4, NW 1/4, SECTION 5, T. 3N, R. 2E, B.M. LOT
4 BLOCK D OF FAIRVIEW ACRES SUBDIVISION NO. 2
GARDEN CITY, ADA COUNTY, IDAHO
2025

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Sanitary Sewer Notes

- All sewer pipe and fittings with cover greater than 3 feet, shall be Polyvinyl Chloride (PVC) conforming to the requirements of ASTM D-3034, SDR-35 for sizes 4-inch through 15-inch; ASTM F-679, SDR-35, T-1 wall for sizes 18-inch through 27-inch; or ASTM F-794, T-46 for sizes 18-inch through 36-inch. The minimum cover for all PVC sewer lines shall be 3 feet. Sewer pipe and fittings with cover less than 3 feet shall be Ductile Iron (DI) conforming to ANSI A-21.51 or AWWA C-151, minimum Class 50.
- Sanitary sewer manholes shall be constructed of reinforced precast concrete per the ISPWC with a maximum of 12 inches of concrete grade rings, a 24-inch diameter cast iron ring and cover and a concrete collar per ISPWC drawings SD-501, SD-505, SD-507, SD-508, SD-509. Manholes shall not have steps. The sewer contractor shall field verify that no more than 12-inches of grade rings are necessary to adjust the manhole to final grade. Grade rings, ring and covers shall be provided by the sewer contractor. Manhole cones shall be eccentric for all manholes 4 feet and deeper. The vertical wall of the cone shall be placed upstream and rotated 45°. Concentric cones shall be used for manholes less than 4 feet deep.
- Manufactured compression boots shall be used in manholes where pipelines enter and leave the manhole.
- Sewer service lines shall be ISPWC type "A" or "B" and constructed and marked per ISPWC Drawing SD-511A. Services shall not be deeper than 5 feet at the property line, unless specifically approved by the city. Services shall extend horizontally 10 feet beyond the property line. Service lines shall include an inspection cleanout placed directly adjacent to and inside public street right-of-way or the sewer easement line. The cleanout shall conform to SD-506A & SD-506B (bolt down cover option) with the riser being the same size as the service line.
- Service line connections to new mainlines shall use a full-service tee. Service line connections to existing mainlines that are concrete or a concrete derivative shall use a tapping saddle. Service connections to existing mainlines that are not concrete or a concrete derivative shall use an Inserta-Tee or a prior approved equal.
- All sewer mains and services shall be bedded per the requirements of Type I bedding, except that bedding material shall be select $\frac{3}{4}$ -inch maximum crushed gravel chips. All bedding shall be thoroughly shovel-sliced under the pipe.
- Groundwater levels shall be maintained below the trench bottom at all times during construction. Groundwater shall not be permitted to enter the pipeline system during construction. As soon as possible the contractor shall install a removable watertight plug in the new pipeline at the point of connection to the existing sewer system.
- Sewers shall be cleaned and tested after all utilities are installed and prior to paving. Material cleaned from the construction shall not be permitted to discharge to the downstream receiving pipeline. All installed sewer pipes shall be tested in accordance with Division 500 of the ISPWC. A representative of the city must be present to observe the testing. Mainline pipeline testing shall include air pressure, deflection and closed-circuit television (CCTV) visual inspection. Service line testing shall include air pressure and closed-circuit television (CCTV). The CCTV report shall be in the form of a VHS videotape or DVD and a written log. Manholes shall be vacuum or hydrostatically tested for leakage. The sewer system shall not accept any flows until the city issues an initial acceptance of the system.
- The contractor shall guarantee all work for a period of at least a one-year following the city's initial acceptance.
- Waterline Notes
- All water mains shall be Polyvinyl Chloride (PVC) conforming to the requirements of AWWA C-900, Class 235, DR-18. All fittings shall be mechanical joint or flanged ductile iron conforming to the requirements of AWWA C-110. All plastic pipe shall be installed with a #12 direct burial tracer wire placed along the north and east side of the main. The tracer wire will not be extended up to or along valve boxes, but shall continue along the mainline, uninterrupted. Minimum burial depths for water mains shall be 4 feet from finish grade to the top of the pipe.
- Individual or dual water service connections 1-inch or smaller shall be Polyethylene pipe conforming to AWWA C-901, Class 200, DR-7.3. Services shall be constructed conforming to the Garden City standard drawing. Service pipelines shall be a minimum 1-inch, unless otherwise noted.
- Individual water service connections larger than 1-inch shall be Polyethylene pipe conforming to AWWA C-901, Class 200, DR-7.3. Services shall be constructed conforming to the ISPWC SD-402. Service pipelines shall be a minimum 2-inch, unless otherwise noted.
- Water valves shall be resilient-seat gate valves conforming to AWWA C-509 or AWWA C-515. All water valves shall be installed with a standard 5-1/4 inch diameter, two piece adjustable cast iron valve box, Tyler/Union series 6855, or equal. The cast iron cover shall be marked with the word "Water" as an integral part of the cover.
- Fire hydrants shall conform to AWWA C-502 and ISPWC Drawing SD-404. The pumper nozzle outlet shall be equipped with a "Storz" adapter.

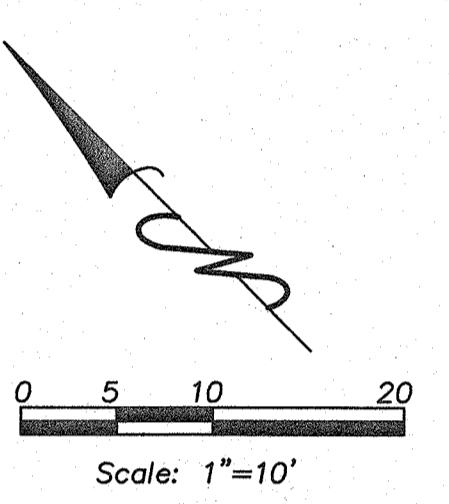
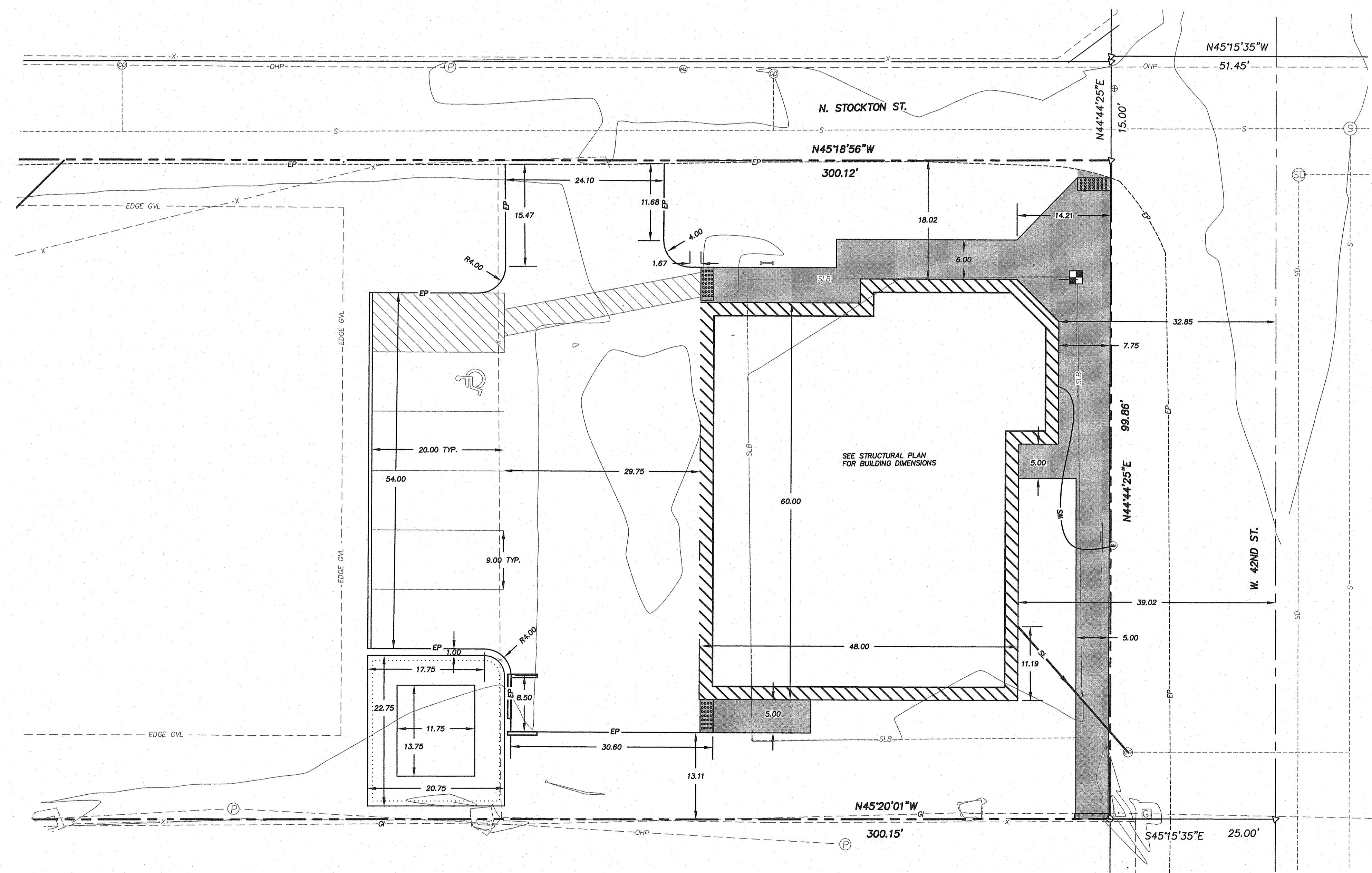
SHEET INDEX

C1: COVER SHEET
C2: DIMENSION SHEET
C3: GRADING, DRAINAGE UTILITY SHEET

DRAWING TITLE:	JOB NO.	CLIENT:
OZZY'S CAR COMPANY	JN0224	STUDIO H ARCHITECTS
	JN0224-01	306 NE 2ND ST.
		MERIDIAN, ID. 83642
COVER SHEET		(208) 649-8306
		(208) 283-4553
SHEET NO. CI OF C3	Rev	FIELD BOOK NO.

WILLIAM J. MASON	PROFESSIONAL ENGINEER LICENCED STATE OF IDAHO 9212
January 15, 2025	2025-01-15

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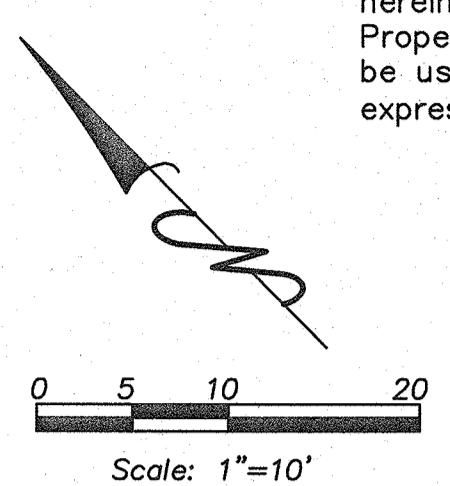


Line Table		
Line #	Direction	Length
L1	S8013'11"E	20.53

DRAWING TITLE: OZZY'S CAR COMPANY		JOB NO. JN0224	CLIENT: STUDIO H ARCHITECTS	Mason & Associates	DESCRIPTION
DWG NO. JN0224.02	SCALE: N/A	306 NE 2ND ST.	WILLIAM J. MASON	Professional Engineers, Land Surveyors & Planners	REVISIONS
Vert: 1"=10'	Horz: (208) 639-8306	Meridian, ID, 83642	9212	203 3rd St. Suite D (208) 639-8306	DESIGNED BY: SAP 8/24
		(208) 283-4583	W.M. 8/24	DRAWN BY: SAP 8/24	CHECKED BY: W.M. 8/24
				APPROVED BY:	
FIELD BOOK NO.	Rev	SHEET NO. 02 OF 03 SHEETS			

W. J. MASON
PROFESSIONAL ENGINEER
LICENSED IN IDAHO
9212
STATE OF IDAHO
WILLIAM J. MASON
January 15, 2025

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LEGEND

PROJECT BENCHMARKS

BM #1
OUND 2" ALUMINUM CAP MONUMENT "ACHD R.O.W.
31+19.30 62.50' RT. 2001 PLS 5617" 6.6' SOUTH
STOP SIGN FOR CHINDEN BLVD. AND W. 42ND
T. AND 7' NORTHWEST OF EXTRUDED CURB FOR
ARKING LOT OF OZZY'S CAR COMPANY.
AVD88 ELEVATION=2653.76

BM #3
HISELED "X" IN THE EAST CORNER OF A
CONCRETE SLAB 13.6' NORTHWEST OF NORTHWEST
EDGE OF PAVEMENT FOR 42ND ST. AND 16.5'
SOUTHWEST OF SOUTHWEST EDGE OF PAVEMENT OF
STOCKTON ST.
AVD88 ELEVATION=2653.03

PROFESSIONAL ENGINEER
LICENSED IN THE STATE OF IDAHO
WILLIAM J. MASON
9212

January 15, 2025

DRAWING TITLE: OZZY'S CAR COMPANY 112 W. 42ND ST. GRADING, DRAINAGE AND UTILITY PLAN		JOB NO. JN0224	CLIENT: STUDIO H ARCHITECTS
		DWG NO. JN0224 03	306 NE 2ND ST. MERIDIAN, ID, 83642 (208) 649-8306 (208) 283-4593
		SCALE: Vert: N/A Horz: 1" = 10'	
		DESIGNED BY: SAP	8/24
		DRAWN BY: SAP	8/24
		CHECKED BY: WJM	8/24
		APPROVED BY:	
SHEET NO. 03 OF 03 SHEETS		Rev <input checked="" type="radio"/>	FIELD BOOK NO.
REVISIONS Professional Engineers, Land Surveyors & Planners 224 3rd St. South, Nampa, ID 83651 (208) 454-0256			

**Storm Drainage Master
for
Ozzy's Car Company
112 W 42nd Street
Garden City**

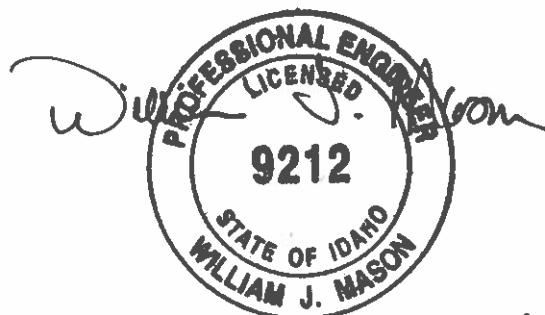
**Client: Studio H Architects
306 NE 2nd Street
Meridian, ID 83642**



Professional Engineers, Land Surveyors and Planners
924 3rd St. So., Suite B, Nampa, ID 83651
Ph (208) 454-0256

Job No. JN0224

Date: September 30, 2024



CALCULATION METHODOLOGY

FLOW CALCULATIONS

Flow for the basin areas are calculated using the Rational Method. The "C" coefficient used in the calculations is based on weighted values as shown. Conveyance facilities are designed for a 50-year return frequency storm and the worst case condition between 10 minutes and 1 hour. The worst case storm for flow is the 10-minute duration. Design storm volume is percolated and/or discharged at predevelopment flowrate. Time to disappate is calculated using the volume of the worst case design storm minus percolation and discharge during and after the design event.

HYDRAULIC GRADE CALCULATIONS

These calculations employ the Manning Equation. The hydraulic grade is based on calculated flow.

EQUATIONS USED IN CALCULATIONS

RATIONAL METHOD

$$Q=CiA$$

where: Q = Runoff Rate, cfs
C = Runoff Coefficient
i = Storm Intensity, in./hr.
A = Basin Area(s), acres

MANNING EQUATION

$$V=1.49R^{2/3}S^{1/2} / n$$

where: V = Velocity, fps
R = Hydraulic Radius, ft.
S = Channel Slope, ft./ft.
n = Manning Roughness Coefficient

PERCOLATION VOLUME (SCS TRIANGULAR UNIT HYDROGRAPH METHOD)

$$V=(\text{Area})(\text{Perc. rate})(t) / (12)(60)$$

where: V = Volume, cu. ft.
Area = Infiltration bed area, sf
Perc. rate = percolation rate, in/hr
t = worst-case duration, min.

ORIFICE EQUATION

$$Q=(\text{Coefficient})(3.1416 \times \text{Radius}^2)(64.4 \times \text{Head})^{1/2}$$

where: Head=W.S.E. - Center of Orifice

OTHER EQUATIONS USED

$$Q=VA$$

where: Q = Flow, cfs
V = Velocity, fps
A = Cross Sectional Area, sq. ft.

RETENTION BASIN AREA 1
WORST CASE STORM VOLUME, 100-yr

BASIN AREA	0.14	acres
RUNOFF COEFFICIENT (C)	0.78	weighted "c" factor
PERCOLATION RATE	8.00	in/hr
PERCOLATION AREA	284	sf
VOID VOLUME	0	cf
SWALE VOLUME	355	cf
OFFSITE DISCHARGE	0	cfs

Runoff Coefficient	c	Area (sf)	Area (ac)	weighted Area
Roof=	0.95	1422	0.03	0.03
Concrete/Asphalt=	0.9	3643	0.08	0.08
Landscape=	0.2	1184	0.03	0.01
		Total=	0.14	0.11
			weighted "c" factor=	0.78

DURATION (min)	DURATION (hrs)	INTENSITY* (in/hr)	100 YR FLOW (cfs)	PEAK		1.15 X		BASIN		SWALE & ADDITIONAL		
				PEAK DISCH. (cfs)	LESS DISCH. (cfs)	FLOW VOLUME (cf)	FLOW VOLUME (cf)	PERC VOLUME (cf)	NECESSARY VOLUME (cf)	VOID VOLUME (cf)	SWALE VOLUME (cf)	ADDITIONAL VOLUME (cf)
10	0.17	3.10	0.346	0.346	0.346	208	239	32	207	355	0	
15	0.25	2.60	0.290	0.290	0.290	261	301	47	253	355	0	
30	0.50	1.80	0.201	0.201	0.201	362	416	95	322	355	0	
60	1.00	1.10	0.123	0.123	0.123	442	509	189	319	355	0	
120	2.00	0.63	0.070	0.070	0.070	507	583	379	204	355	0	
180	3.00	0.46	0.051	0.051	0.051	555	638	568	70	355	0	
360	6.00	0.26	0.029	0.029	0.029	627	722	1136	0	355	0	
720	12.00	0.15	0.017	0.017	0.017	724	833	2272	0	355	0	
1440	24.00	0.084	0.009	0.009	0.009	811	932	4544	0	355	0	

* Intensity based on Exhibit A, Nampa Stormwater Policy

RETENTION BASIN AREA 1
RETENTION FACILITY SIZING 100 yr STORM EVENT

TOTAL STORAGE REQ'D=
 WORST CASE STORM DURATION
 PERCOLATION
 OFFSITE DISCHARGE

416	cf (worst case design flow + 15%)
30	minutes
8.00	in/hr
0.00	cfs

SWALE VOLUME CALCULATION

SWALE TOP WATER AREA=
 SWALE BOTTOM AREA=
 SWALE INFILTRATION AREA AVE.=
 SWALE DEPTH=

407	sf
161	sf
284	sf
1.25	ft

SWALE STORAGE = 355 cf
 SWALE INFILTRATION = 95 cf

PIPE VOLUME CALCULATION

PIPE AREA 24" DIA=
 PIPE LENGTH=
 PIPE BARRELS=

3.14	sf
15	ft
0.00	

PIPE STORAGE = 0 cf

INFILTRATION BED CALCULATION

INFILTRATION AREA =
 ROCK BED DEPTH =
 SAND BED DEPTH =
 VOID SPACE IN SAND=
 VOID SPACE IN DRAIN ROCK=
 PERCOLATION RATE =

0	sf
0	ft
3	ft
0%	
40%	
8.00	in/hr

ROCK
SAND

W	L
0	0
0	0

VOLUME IN VOIDS = 0 cf
 PERCOLATION VOLUME = 0 cf

INFILTRATION BED STORAGE = 0 cf

TOTAL STORED VOLUME = 450 cf
 > 416 cf

THEREFORE STORAGE IS ADEQUATE

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0 15 30 60
Scale: 1"=30'

LEGEND

REVISIONS	DESIGNED BY: SAP	NO BY: 8/24	DATE: 8/24	DESCRIPTION
				Benchmark (TBM)
				Calculated Point
				Found Aluminum Cap Monument
				Found Brass Cap Monument
				Found 5/8" Iron Pin
				Found 1/2" Iron Pin
				Existing Power Pole
				Existing Sanitary Sewer Manhole
				Existing Sign
				Existing Signal Box
				Existing Cleanout
				Existing Mail Box
				Existing Street Light
				Existing Sign Pole
				Existing Electric Meter
				Found Standpipe
				Existing Faucet
				Existing Catch Basin
				Existing Gate Valve
				Existing Water Meter
				Existing Sprinkler Box
				Existing A/C
				Existing Gas Valve/Meter
				Existing 4" Ø Catch basin
				Guy Anchor
				Existing Gravity Irrigation Box
				Existing Bollard
				Property Boundary Line
				Lot Line
				Centerline
				Natural Ground Contour Line
				Existing Back of Walk
				Existing Concrete
				Existing Edge of Pavement
				Existing Face of Walk
				Existing Fence
				Existing Lip of Gutter
				Existing Overhead Power
				Existing Slab
				Existing Top Back Rolled Curb
				Existing Top Back Vertical Curb
				Existing Top of Wall

PROJECT BENCHMARKS

TBM #1
FOUND 2" ALUMINUM CAP MONUMENT "ACHD R.O.W.
1131+19.30 62.50' RT. 2001 PLS 5617" 6.6' SOUTH
OF STOP SIGN FOR CHINEN BLVD. AND W. 42ND
ST. AND 7' NORTHWEST OF EXTRUDED CURB FOR
PARKING LOT OF OZZY'S CAR COMPANY.
NAVD88 ELEVATION=2653.76

TBM #3
CHISELED "X" IN THE EAST CORNER OF A
CONCRETE SLAB 13.6' NORTHWEST OF NORTHWEST
EDGE OF PAVEMENT FOR 42ND ST. AND 16.5'
SOUTHWEST OF SOUTHWEST EDGE OF PAVEMENT OF
STOCKTON ST.
NAVD88 ELEVATION=2653.03

DRAWING TITLE: OZZY'S CAR COMPANY
112 W. 42ND ST.
STORM DRAIN AREA MAP
SHEET NO. 1 OF 1 SHEETS
Rev ○

