



Studio H Architects, PLLC.  
306 NE 2<sup>nd</sup> St.  
Meridian, ID 83642

## **Responses to Design Review Report and Decision**

January 29, 2025

DSRFY2024-0018  
Ozzy's Car Company  
112 W. 42<sup>nd</sup> Street  
Garden City, ID 83714

### **Comment:**

Based on the resubmittals received on 12/03/2024

The applicant plans to place a trash enclosure on the northern site border for alley service, screened by a 6' tall metal fence. Clarifications needed.

All on-site service areas for waste, recycling, or trash; and equipment areas for transformer and utility vaults shall be located in an area not visible from a public street or adjoining property, or shall be screened from view from a public street and adjoining property with a privacy fence.

Privacy fence is a fence that is constructed of solid or opaque materials through which no views can be seen.

HVAC equipment, trash dumpsters, recycling, trash compaction, and other service functions shall be incorporated into the overall design of buildings and landscaping so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets.

### **Response:**

Trash enclosure for carts relocated to rear of parking lot with privacy fencing.

### **Comment:**

Based on the resubmittals received on 12/03/2024

Pressurized irrigation shall be provided.

According to GIS data, there is an open Fairview Acres ditch along the southwestern property boundary line. The submitted grading, drainage, and utility plan identifies the existing gravity irrigation, and proposes to protect and retain it.

Code does not require fencing along irrigation ditches. The southern boundary of the property currently has a wooden fence, and the applicant's new plans do not propose replacing it with open vision fencing. The fence along the irrigation ditch is only allowed to be open vision fencing; privacy fencing is prohibited.

As a review note:

Irrigation ditches, laterals, canals, and drains shall be left open and used as a water amenity or linear open space unless it can be demonstrated to the design review consultant(s) and the planning official by the process set forth in section 8-6B-3 that:

- a. The maintenance of the irrigation ditch, lateral, canal, or drain with any associated easement encumbers more than fifty percent (50%) of the property; or
- b. The irrigation ditch, lateral, canal, or drain is located on the property in such a manner that a use of the property is infeasible; or
- c. The irrigation ditch, lateral, canal, or drain is enclosed on both ends adjacent to the property, and the adjacent properties are fully developed in a manner that future opening of the enclosed irrigation ditch, lateral, canal, or drain is infeasible.

For any irrigation or drainage ditch, piping or alteration of the ditch shall not impede the movement of the amount of water crossing the property prior to development or the amount of water delivered to downstream properties.

In no circumstances shall structures be built over irrigation ditches, laterals, canals and drains or within their dedicated easements.

**Response:**

The existing wood fencing screens the residential mobile home park adjacent to the site. Open fencing is not part of the project and would require the adjacent property owner to provide new open fencing.

**Comment:**

**Based on the resubmittals received on 12/03/2024**

**The applicant has revised the proposal to replace the prefabricated structure with a traditionally wood-framed building. The main entrance now faces W. 42nd Street, enhanced with an awning and additional windows for a pedestrian-friendly design. A second story has been added to meet section 8-4C-3 requirements.**

First floor facades visible from a public street should include surfaces in windows, showcases, displays, or pedestrian access elements as follows: for retail uses at least fifty percent (50%), **for all other uses at least fifteen percent (15%).**

**Not enough information**

**Response:**

Refer to updated Exterior Elevations. The façade along W. 42<sup>nd</sup> Street is approximately 1,024 SF. 15% of façade is approximately 154 SF. Windows and trellises account for approximately 252 SF.

**Comment:**

The building side facing the public right of way of 42nd Street is 60' long.

Facades longer than fifty feet (50') (measured horizontally along the facade) should incorporate relief to perceived building mass through such features as wall projections or recesses, projecting windows, entrances, or other visual relief. The doorways on buildings abutting or within three feet (3') of the sidewalk should be recessed in order to avoid conflicts with pedestrians.

Rooflines exceeding fifty feet (50'), should incorporate relief to the perceived building mass by providing roofline variation. Roofline variation should be achieved using one or more of the following methods: a) vertical offset in ridgeline; b) horizontal offset in ridgeline; c) variations in roof pitch; d) gables; and e) dormers. **Not Compliant**

**Pedestrian plaza is not provided.**

**Response:**

Per Design Review meeting on January 6<sup>th</sup>, a Pedestrian Plaza is not required. Refer to the updated Site Plan and SD Drawings. The building has been redesigned to incorporate the vision triangle and provide additional pedestrian friendly elements (larger walkways, automotive themed sculpture, landscaping, etc.). Trellises, windows, storefront entrance and awnings have been added to enhance the pedestrian experience.

**Comment:**

**Based on the resubmittals received on 12/03/2024**

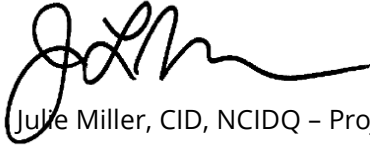
A minimum of five percent (5%) of the gross site area shall be landscaped areas, excluding areas for setback or perimeter landscaping.

**Response:**

Refer to the updated Landscape Plan for updated calculations and additional trees.

Please don't hesitate to contact me with any questions.

Thank you,

A handwritten signature in black ink, appearing to read 'Julie Miller', with a stylized, flowing script.

Julie Miller, CID, NCIDQ – Project Manager

[Julie@studioharchitects.com](mailto:Julie@studioharchitects.com)

208.996.0528





Mary May, President  
Alexis Pickering, Vice-President  
Jim D. Hansen, 2<sup>nd</sup> Vice President  
Kent Goldthorpe, Commissioner  
Dave McKinney, Commissioner

July 29<sup>th</sup>, 2022

To: Asmir Alic  
880 S Island Glenn Place  
Eagle, ID 83616

Subject: GC22-0004/ CUPFY2022-0009  
112 W 42<sup>nd</sup> Street  
Ozzy's Car Company Storage Shed

*The applicant is requesting approval of a conditional use permit to allow for the construction of a storage shed to store cars for a nearby auto sales lot.*

## A. Findings of Fact

### 1. 42<sup>nd</sup> Street

- a. **Existing Conditions:** 42<sup>nd</sup> Street is improved with 2-travel lanes, 33-feet of pavement, and no curb, gutter, or sidewalk abutting the site. There is 50-feet of right-of-way for 42<sup>nd</sup> Street (23-feet from centerline).

b. **Policy:**

**Local Roadway Policy:** District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

**Street Section and Right-of-Way Policy:** District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

**Standard Urban Local Street—33-foot Street Section and Right-of-way Policy:** District Policy 7207.5.2 states that the standard street section shall be 33-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 47-feet of right-of-way.

**Sidewalk Policy:** District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant

may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

- c. **Applicant's Proposal:** The applicant has not proposed any roadway improvements to 42<sup>nd</sup> Street abutting the site.
- d. **Staff Comments/Recommendations:** The applicant should be required to construct curb, gutter, and 5-foot wide detached concrete sidewalk on 42<sup>nd</sup> Street abutting the site consistent with District policy and as required by Garden City.

The applicant should be required to dedicate additional right-of-way to total 2-feet behind the back of sidewalk or provide a permanent sidewalk easement extending from the right-of-way line to 2-feet behind the back of sidewalk. The sidewalk should be located wither wholly within the right-of-way or wholly within the easement.

## 2. Named Alley – Stockton Street

- a. **Existing Conditions:** There is a named alley, Stockton Street, abutting the north side of the site that is improved with 15-feet of pavement within 15-feet of right-of-way. Stockton Street runs east/west between 42<sup>nd</sup> Street and 43<sup>rd</sup> Street.

- b. **Policy:**

**Existing Alley Policy:** District Policy 7210.2 states that if a proposed development abuts an existing alley, the dedication of additional right-of-way to obtain a minimum width from the centerline of the alley of 8-feet for residential uses and 10-feet for non-residential or commercial uses may be required. Each development will be reviewed by the District on a case-by-case basis. If the proposed development takes access from an alley, the developer will be required to pave the entire width of the right-of-way from the nearest public street to and abutting the development.

**Alley Length Policy:** District Policy 7210.3.2 states that alleys shall be no longer than 700-feet in length. If the lead land use agency having jurisdiction requires a shorter block length, the alley shall be no longer than the agency's required block length.

**Alley Parking & Setbacks Policy:** District Policy 7210.3.3 states that parking within the alley right-of-way is prohibited. "No Parking" signs are required to be installed by the developer. The signs should be located at the alley/street intersections. Parking which is entered from the alley shall be designed so the minimum clear distance from the back of the parking stall to the opposite side of the alley is 20-feet for all perpendicular parking.

Setbacks for structures taking access from the alley should be closely coordinated with the lead land use agency. The setbacks shall either discourage parking within the alley (where it may partially block or occur within the right-of-way) or allow adequate area for one perpendicular parking pad. In order to discourage parking, building setbacks shall be minimal from the alley right-of-way line, while still

achieving the required 20-feet of back-up space from a garage or other parking structure to the opposite side of the alley (i.e. 4-foot setback + 16-foot alley= 20-feet for back-up space).

**Alley Intersections and Offsets Policy:** District policy 7210.3.7 states that alleys should intersect public streets at each end. In specific circumstances as outlined in the policies below, the District may consider allowing an alley to intersect a public street at only one end. A 90-degree angle of intersection shall be designed where practical. In no case shall the intersecting angle be less than 75-degrees, as measured from centerline of intersecting street. An access to an alley shall be located a minimum of 50-feet from the nearest street (measured centerline to centerline).

**Alley/Local Street Intersections Policy:** District Policy 7210.3.7.2 states that alleys may intersect all types of local streets including minor local streets. Alleys shall generally be designed with a curb cut type approach when intersecting a local street. Alleys shall generally intersect streets in the middle of the block equally offsetting the intersecting streets. Alleys shall either align with alley/street intersections or provide a minimum 100-foot offset (measured centerline to centerline) from other local street intersections. For alley intersections with local streets, the District may consider a reduced offset if the lead land use agency's required lot size allows for shorter buildable lots.

- c. **Applicant's Proposal:** The applicant has not proposed any improvements to Stockton Street abutting the site.
- d. **Staff Comments/Recommendations:** Stockton Street abutting the site is fully improved. Therefore, no additional improvements or right-of-way dedication is required with this development.

### 3. Driveways – 42<sup>nd</sup> Street

- a. **Existing Conditions:** There is an existing unimproved driveway from the site on to 42<sup>nd</sup> Street located 80-feet south of Stockton Street.

- b. **Policy:**

**Driveway Location Policy:** District policy 7207.4.1 requires driveways near intersections to be located a minimum of 75-feet (measured centerline-to-centerline) from the nearest local street intersection, and 150-feet from the nearest collector or arterial street intersection.

**Successive Driveways:** District Policy 7207.4.1 states that successive driveways away from an intersection shall have no minimum spacing requirements for access points along a local street, but the District does encourage shared access points where appropriate.

**Driveway Width Policy** District policy 7207.4.3 states that where vertical curbs are required, residential driveways shall be restricted to a maximum width of 20-feet and may be constructed as curb-cut type driveways.

**Driveway Paving Policy:** Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7207.4.3, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway.

- c. **Applicant's Proposal:** The applicant has proposed to close the existing driveway with landscaping.
- d. **Staff Comments/Recommendations:** The applicant should be required to close the existing driveway with curb, gutter, and 5-foot wide concrete sidewalk to match the roadway improvements installed on 42<sup>nd</sup> Street required with this application.

## B. Site Specific Conditions of Approval

1. Improve 42<sup>nd</sup> Street abutting the site with curb, gutter, and 5-foot wide detached concrete sidewalk as required by Garden City.
2. Dedicate additional right-of-way for 42<sup>nd</sup> Street to total 2-feet behind the back of sidewalk or provide a permanent right-of-way easement for sidewalk located outside of the dedicated right-of-way.
3. Dedicate additional right-of-way for Stockton Street to total 10-feet from centerline and pave it its entire width following the right-of-way dedication.
4. Close the existing driveway on to 42<sup>nd</sup> Street with curb, gutter, and 5-foot wide concrete sidewalk to match the improvements installed on 42<sup>nd</sup> Street.
5. A Traffic Impact Fee may be assessed by ACHD and will be due prior to issuance of a building permit. Please contact the ACHD Planner (see below) for information regarding impact fees.
6. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
7. Comply with the Standard Conditions of Approval as noted below.

## C. Traffic Information

### Trip Generation

This development is estimated to generate less than 10 additional vehicle trips per day based on the Institute of Transportation Engineers Trip Generation Manual, 11<sup>th</sup> edition.

### Condition of Area Roadways: *Traffic Count is based on Vehicles per hour (VPH)*

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
**Chinden Boulevard	0-feet	Principal Arterial	1,720	N/A
42 <sup>nd</sup> Street	100-feet	Local	N/A	N/A
Stockton Street	300-feet	Local	N/A	N/A

\*\* ACHD does not set level of service thresholds for State Highways.

### Average Daily Traffic Count (VDT): *Average daily traffic counts are based on ACHD's most current traffic counts*

- The average daily traffic count for Chinden Boulevard west of Curtis Road was 36,689 on 03/27/19.
- There are no traffic counts for this section of 42<sup>nd</sup> Street.
- There are no current traffic counts for Stockton Street.

## D. Attachments

1. Vicinity Map
2. Site Plan
3. Standard Conditions of Approval
4. Appeal Guidelines

If you have any questions, please feel free to contact me at (208) 387-6132.

Sincerely,

A handwritten signature in cursive script, appearing to read "Kelly Bruner".

Kelly Bruner  
Planner  
Development Services

cc: City of Garden City (Hanna Veal, via email)

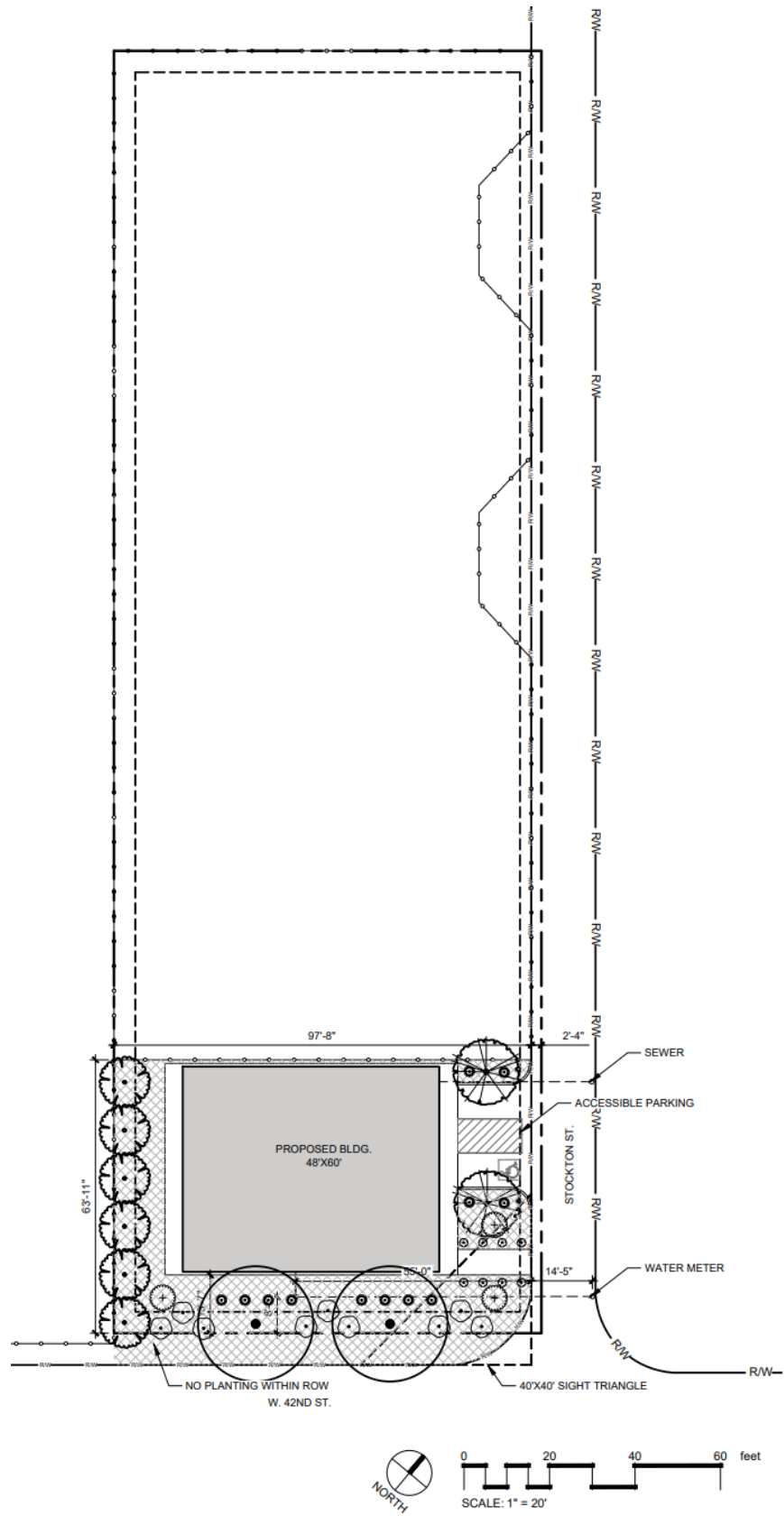


VICINITY MAP





## SITE PLAN



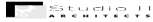
## Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPMC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.



## Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
  - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
  - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
  - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
  - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
  - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

**RE: Impact Fee - Ozzy's Car Co**

1 message

**Matt Pak** <mpak@achdidaho.org>  
To: Julie Miller <julie@studioharchitects.com>

Tue, Dec 3, 2024 at 11:35 AM

Hi Julie!

Yes, Stockton Street is classified as an alley, not a "street".

Thanks for checking in, and hope you are well!

**Matt Pak**

Planner | Planning Review

Ada County Highway District (ACHD)

1301 N. Orchard Street, Suite 200, Boise, ID 83706

**Phone:** (208)387-6171[www.achdidaho.org](http://www.achdidaho.org)

Connect with us on social! @achdidaho

**From:** Julie Miller <julie@studioharchitects.com>**Sent:** Tuesday, December 3, 2024 11:15 AM**To:** Matt Pak <mpak@achdidaho.org>**Subject:** Re: Impact Fee - Ozzy's Car Co

**Caution:** This is an external email and has a suspicious subject or content. Please take care when clicking links or opening attachments. When in doubt, contact your IT Department

Hi Matt - just left you a voicemail.

Please confirm that Stockton Street is indeed classified as an alley and not a "street"

be located wither wholly within the right-of-way or wholly within the easement.

**2. Named Alley – Stockton Street**

- a. **Existing Conditions:** There is a named alley, Stockton Street, abutting the north side of the site that is improved with 15-feet of pavement within 15-feet of right-of-way. Stockton Street runs east/west between 42<sup>nd</sup> Street and 43<sup>rd</sup> Street.

b. **Policy:**

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Thank you for your assistance!

Best Regards,

**Julie Miller, CID, NCIDQ** Project Manager

O: 208-649-8306

C: 208-996-0528

A: 306 NE 2nd St | Meridian, ID 83642

Studio H Architects

Architecture | Interior Design | Planning



On Wed, Sep 25, 2024 at 1:29 PM Matt Pak <[mpak@achdidaho.org](mailto:mpak@achdidaho.org)> wrote:

Not a problem!

Thank you, you as well.

**Matt Pak**

Planner | Planning Review

Ada County Highway District (ACHD)

1301 N. Orchard Street, Suite 200, Boise, ID 83706

**Phone:** (208)387-6171

[www.achdidaho.org](http://www.achdidaho.org)

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**From:** Julie Miller <[julie@studioharchitects.com](mailto:julie@studioharchitects.com)>

**Sent:** Wednesday, September 25, 2024 1:28 PM

**To:** Matt Pak <[mpak@achdidaho.org](mailto:mpak@achdidaho.org)>

**Subject:** Re: Impact Fee - Ozzy's Car Co

**Caution:** This is an external email and has a suspicious subject or content. Please take care when clicking links or opening attachments. When in doubt, contact your IT Department

Hi Matt - thanks for the clarification!

I'll reach out to the Impact Fee department.

Have a great day!

**Julie Miller, CID, NCIDQ** Project Manager

O: 208-649-8306

C: 208-996-0528

A: 306 NE 2nd St | Meridian, ID 83642

Studio H Architects

Architecture | Interior Design | Planning



On Wed, Sep 25, 2024 at 1:26 PM Matt Pak <[mpak@achdidaho.org](mailto:mpak@achdidaho.org)> wrote:

Hi Julie,

I was out on lunch when you called; just got your voicemail!

Typically our staff letters/reports include a condition that states that a traffic impact fee may be assessed by ACHD prior to the issuance of a building permit from the City.

However, given the application for Ozzy's Car Company has the same conditions of approval as the last application for this site (back in 2022), we only issued a "Comply With" letter which refers you back to the conditions of approval for the original application.

I just noticed you weren't the original applicant, and that Mr. Alic was the recipient of that letter we issued back in '22. I have attached the original ACHD letter that contains the conditions for approval for your reference, which states an impact fee may be assessed by ACHD. My apologies for this.

You will need to contact ACHD's Impact Fee department to have your fee assessed and collected, if applicable. You can call our main line **(208)387-6100** and ask to speak with the Impact Fee department OR you can email them at [impactfees@achdidaho.org](mailto:impactfees@achdidaho.org) with your current application number and request to have your impact fee assessed and paid for.

Let me know if there is anything else you need from me!

Thank you,

**Matt Pak**

Planner | Planning Review

Ada County Highway District (ACHD)

[1301 N. Orchard Street, Suite 200, Boise, ID 83706](#)

**Phone:** (208)387-6171

[www.achdidaho.org](http://www.achdidaho.org)

Connect with us on social! **@achdidaho**





LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
- 1.1. All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2021 (or most recent published); and City of Garden City, ID codes, standards and state and local regulations.
2. EXISTING CONDITIONS
- 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
- 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
- 2.3. See Engineer's plans for information about existing features.
- 2.3.1. Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
3. GRADING & SITE PREPARATION
- 3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
- 3.2. All gravel overprep to be removed and disposed of off site.
- 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
- 3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
- 3.5. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
- 3.6. No pooling or standing water will be accepted per industry standards.
4. SOILS
- 4.1. Lawn areas shall receive 12" min depth of screened topsoil.
- 4.2. All planter beds shall receive 18" min depth of screened soil.
- 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
- 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
- 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
- 4.3.3. Topsoil shall have a ph of 6.5 to 8.0.
- 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving on-site topsoil per the approval of the project manager.
- 4.4. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
- 4.5. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.
- 4.6. Amend all new plantings with 2 parts topsoil, 1 part compost.
5. LAWN AREAS
- 5.1. Sodded lawn to be tall turf-type fescue, or approved other.
- 5.2. Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
- 5.3. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
- 5.4. Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
- 5.5. All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
- 5.6. Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
- 5.6.1. Install 3" chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
- 5.7. Provide tree rings with a minimum 3' diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.
6. PLANTER BED MULCH
- 6.1. All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
7. PLANTS
- 7.1. All plant material shall be installed per industry standards.
- 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
- 7.3. All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail.
- 7.4. Trees and shrubs over 30" shall not be planted within clear vision triangles.
- 7.5. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
8. IRRIGATION
- 8.1. Irrigation system shall be built to the following specifications:
- 8.2. Adhere to city codes when connecting to city water.
- 8.3. All irrigation material to be new with manufacturers' warranty fully intact.
- 8.4. Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
- 8.4.1. Controller to have On/Off rain switch or rain shut off device that does not alter program.
- 8.5. All remote control valves (including master control valve) to have flow control device.
- 8.6. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
- 8.7. All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, 22, 11.
- 8.8. Use common trenching where possible.
- 8.9. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
- 8.10. All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
- 8.11. Connect mainline to point of connection in approximate location shown on plan.
- 8.12. Contractor is responsible complying with all codes and paying all permits necessary.
- 8.13. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
- 8.14. All drip irrigation to be buried 2" below finished grade.
- 8.15. Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
- 8.16. Install all irrigation per irrigation drawings, utilize material specified or approved equal.
- 8.17. Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
- 8.18. If any discrepancies are found, then local codes shall prevail.
9. CONTRACTOR RESPONSIBILITIES
- 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
- 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
- 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20" scale are turned in and approved by owner's representative.
10. In the event of a discrepancy, notify the Landscape Architect immediately.

LANDSCAPE REQUIREMENTS

CODE REQUIREMENTS PER GARDEN CITY CODE

PROPERTY: 30,000 SF

BUILDING AREA: 2,880 SF  
PROJECT LANDSCAPE: 8,047 SF  
5% REQUIRED LANDSCAPING (EXCLUDING PERIMETER/BUFFER): 1501SF, 1885 SF PROVIDED

VEGETATIVE COVERAGE:

\*5% MIN PROJECT SITE TO BE LANDSCAPE  
\*(1) TREE PER 1000SF & (1) SHRUB PER 150 SF OF REQUIRED LANDSCAPE AREA  
\*PLANTER BED TO HAVE 75% VEGETATIVE COVERAGE AT MATURITY (SHRUBS)

REQUIRED LANDSCAPE AREA	TREES/SHRUBS REQUIRED	TREES/SHRUBS PROVIDED
1,500 SF / 8,047 SF PROVIDED	2 / 54	18 / 80

PARKING LOT	TREES REQUIRED	TREES PROVIDED
1 FOR EVERY ISLAND	2	2

STREET BUFFER:

\*1 CLASS II FRONTAGE TREE PLUS 1 CLASS II TREE PER 50LF

STREET NAME	LENGTH (LF)	TREES REQUIRED	TREES PROVIDED
W. 42ND ST.	100'	3	3
STOCKTON ST.	300'	7	7

PERIMETER BUFFER:

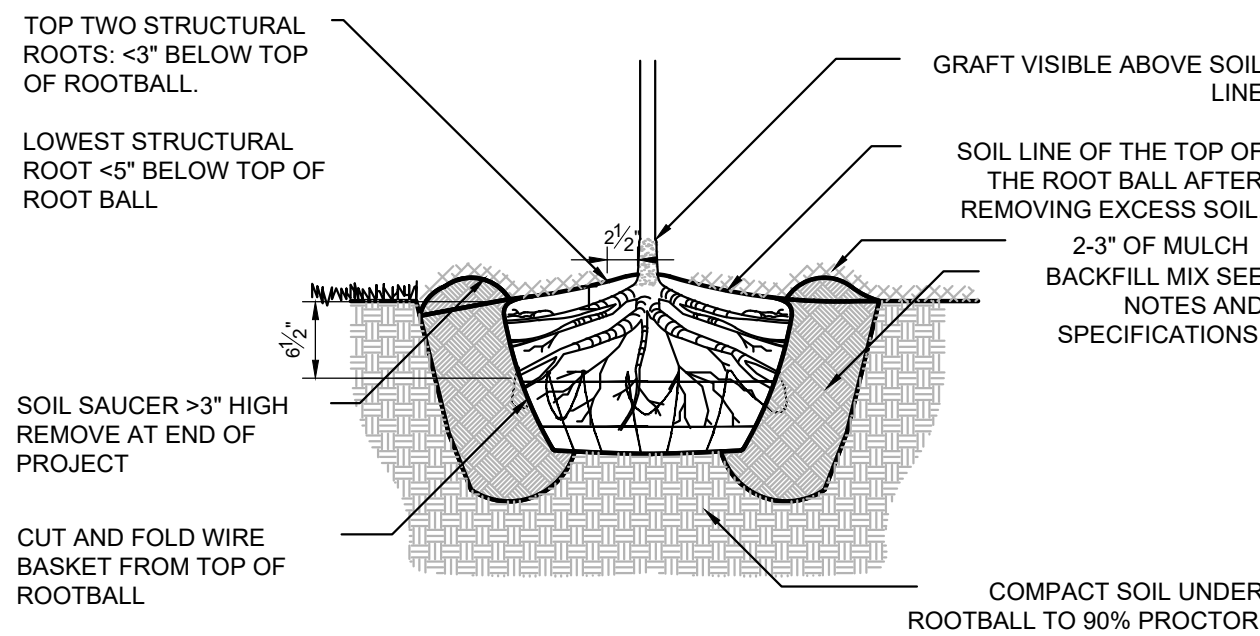
10' W VEGETATIVE BUFFER AT ALL ADJACENT PROPERTIES

MINIMUM PLANT SIZES:

PLANT TYPE:	MINIMUM SIZE
*EVERGREEN TREES:	6'-0" HT. MIN.
*ORNAMENTAL TREES:	2" CALIPER MIN.
*SHADE TREES:	2" CALIPER MIN.
*WOODY SHRUBS:	2 GAL. MIN.

NOTES:

- DO NOT DAMAGE OR CUT LEADER.
- DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
- TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
- REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP 1/4 OF THE ROOTBALL.
- 5' DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



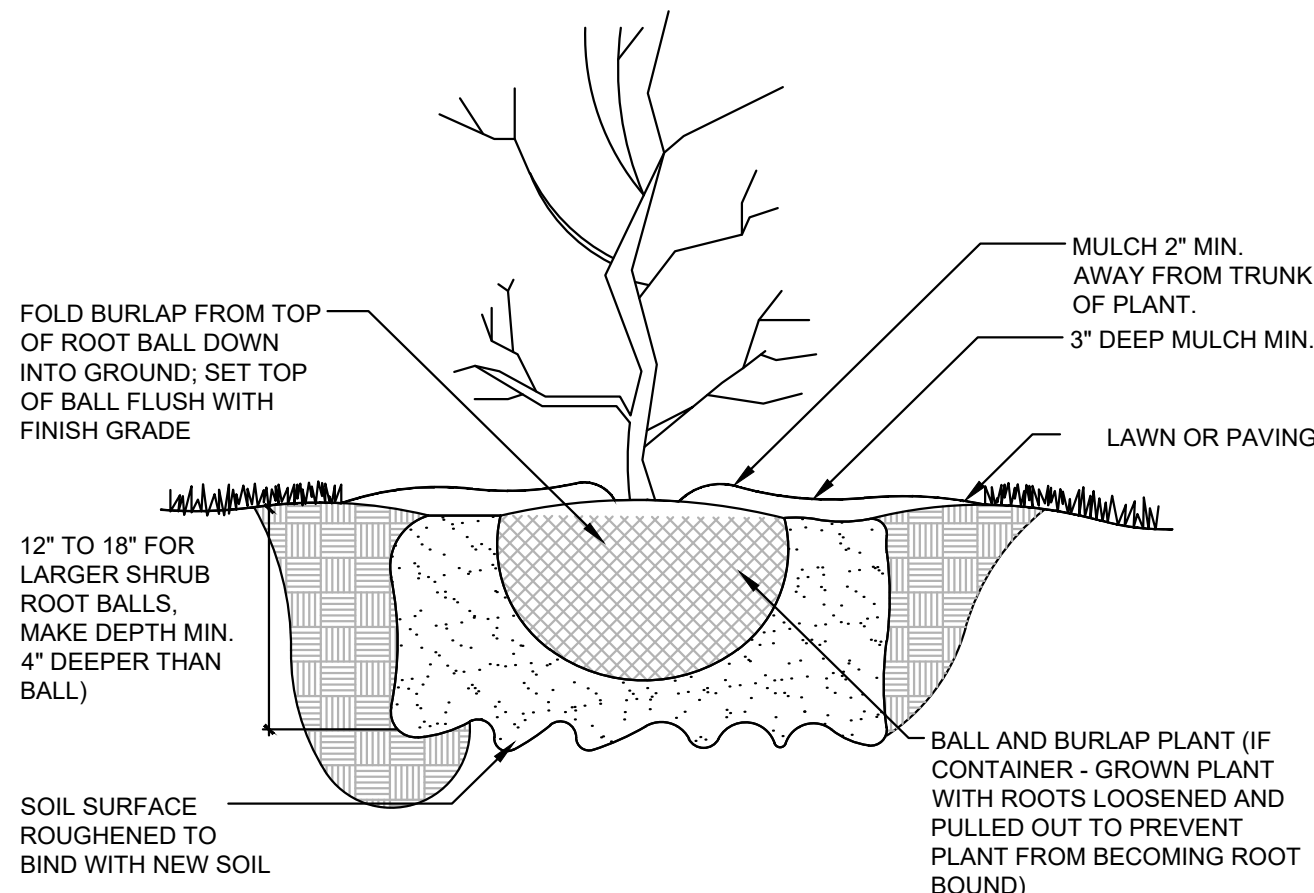
1 BALL & BURLAP TREE PLANTING

3/4" = 1'-0"

3293-01

NOTE:  
REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.

BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS 3" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.

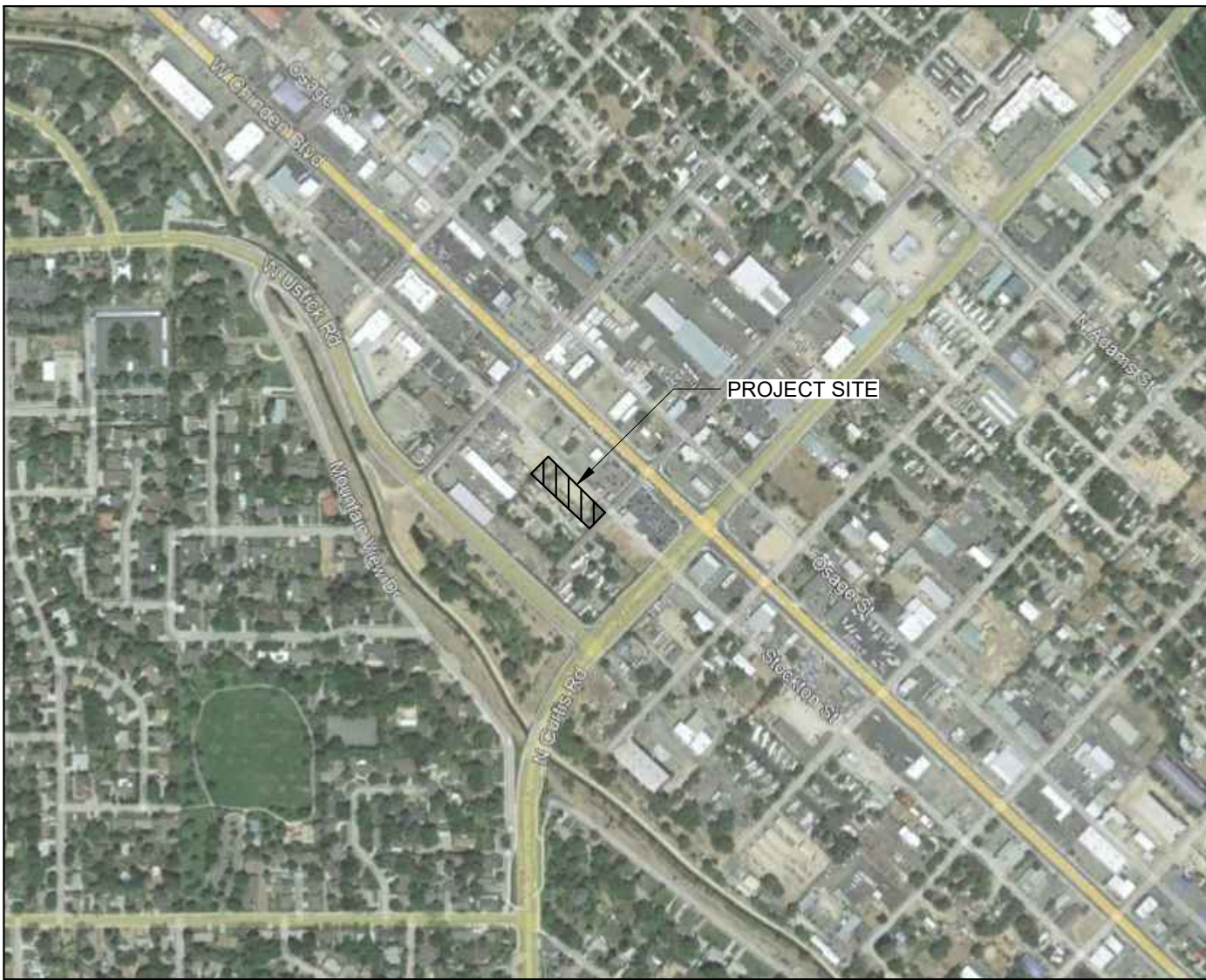


2 SHRUB PLANTING

1" = 1'-0"

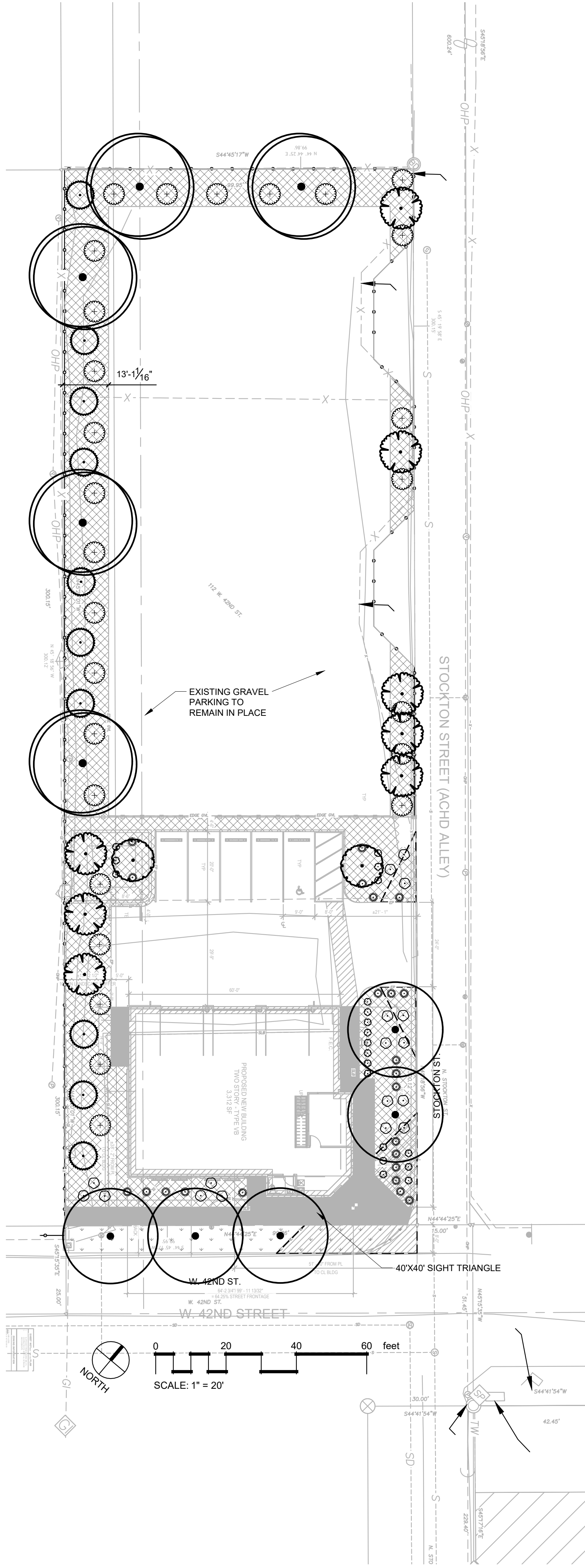
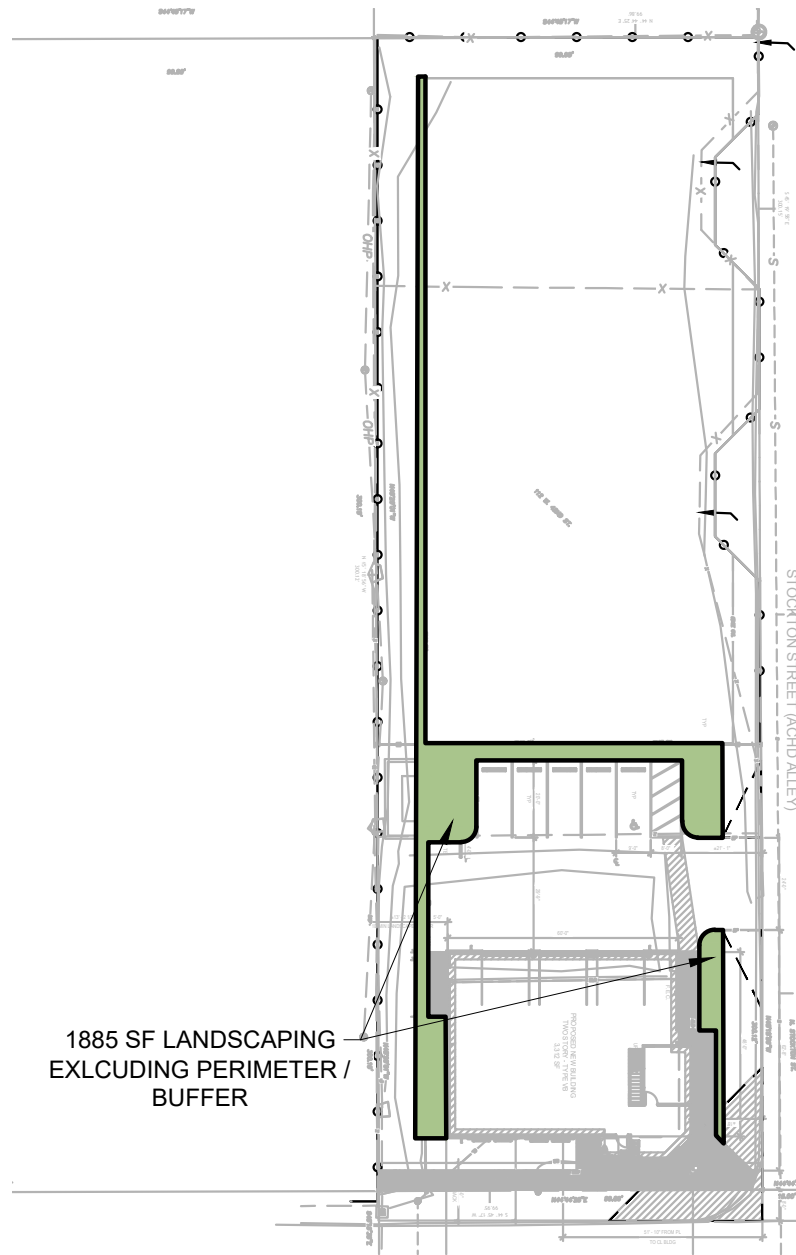
329333-03

VICINITY MAP



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES						
	CAR FRA	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam 35' H x 15' W, CLASS II	B&B	3"		8
	GLE SH2	Gleditsia triacanthos inermis 'Skyline' TM / Skyline Honey Locust 45' H x 35' W, CLASS II	B&B	2"		5
	JUN MO9	Juniperus scopulorum 'Moonglow' / Moonglow Juniper 20' HT X 8'W	B&B		6'-8" H	10
	MAL IND	Malus x 'Indian Magic' / Indian Magic Crabapple 15' H x 15' W, CLASS I	B&B	2"		2
	TIL SEN	Tilia americana 'Sentry' / American Linden 45' H x 30' W, CLASS II	B&B	2"		5
SYMBOL CODE BOTANICAL / COMMON NAME CONT FIELD2 SIZE QTY						
SHRUBS						
	BER CRI	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Japanese Barberry 2' ht. x 3' w	2 gal			17
	HEL BLU	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass 30"H x 30"W	2 gal			23
	JUN WI2	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper 8"H x 8'W	2 gal			27
	LAV HI2	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender 18"H x 30"W	2 gal			20
	PLANTER BED, SHRUBS & ROCK MULCH SHRUBS TO HAVE 75% VEGETATIVE COVERAGE AT MATURITY, XERIC / NATIVE PLANTINGS					
	TURF GRASS - DROUGHT TOLERANT FESCUE BLEND					



(208) 345-0500  
404 S 8th St. #154  
Boise, ID 83702  
StackRockGroup.com

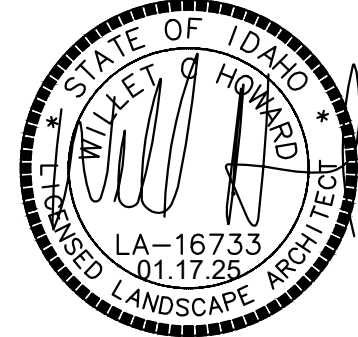
WILLET C HOWARD, PLA  
OFFICE: (208) 345.0500 EMAIL:  
WILL@STACKROCKGROUP.COM  
WWW.STACKROCKGROUP.COM

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NOT FOR CONSTRUCTION

112 W. 42ND ST. COMMERCIAL

GARDEN CITY, ID

REVISIONS

MRK	DATE	Description
△	5/13/22	CITY COMMENTS
△	5/24/22	CITY COMMENTS

JOB NO: 22-2326  
DATE: 06.14.2024  
DRAWN BY: EV  
CHECKED BY: WH

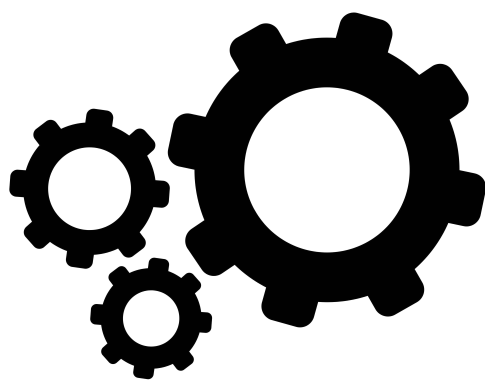
DRAWING TITLE

LANDSCAPE  
PLAN

SHEET NUMBER

L100





Studio H  
ARCHITECTS  
Architecture. Interiors. Planning.

306 NE 2nd Street  
Meridian, ID 83642  
208-649-8306  
www.studioharchitects.com

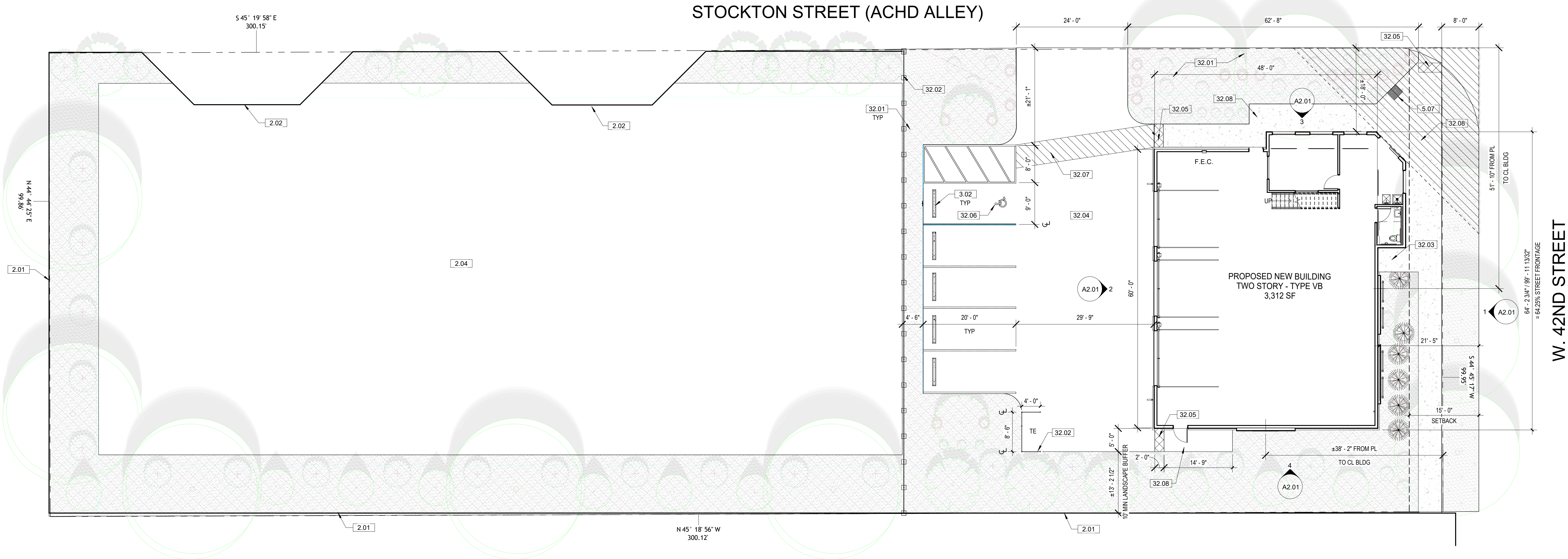
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CONSULTANT:

REVISIONS		
No.	Description	Date

SHEET NOTES - SITE PLAN	
1.	SLOPE AWAY FROM BUILDING MIN. 2%.
2.	CONTRACTOR TO VERIFY ALL SETBACKS AND EASEMENTS.
ZONING INFORMATION	
SITE: 0.689 ACRES PARCEL #: RZ794510330 ZONING: C-2  MAX. HEIGHT: NONE INDICATED SETBACKS: 5' ON ALL SIDES	
PARKING CALCULATIONS	
PARKING: 9'x20' STALLS, 24' DRIVE AISLE  LOW PARKING DEMAND (VEHICLE SALES) 1 SPACE PER EVERY 2,000 GSF  3,312 SF / 2,000 = 1.66 = 2 SPACE REQUIRED  NOTE: 5 PARKING SPACES REQ'D PER CUPFY2022-0009  BICYCLE PARKING:  MEDIUM PARKING DEMAND (VEHICLE SALES) 1 SPACE PER 4,000 SF  3,312 SF / 4,000 = 0.83 = 1 SPACE REQUIRED  PROVIDED:  4 STANDARD SPACES 1 ACCESSIBLE SPACE TOTAL: 5 STALLS  1 BICYCLE SPACE	

KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
2.01	EXISTING FENCE TO REMAIN, REPAIR AS REQUIRED PER NEW CONSTRUCTION. NOTE: CHAIN LINK FENCING TO BE REMOVED AND REPLACED WITH NEW COMPLIANT FENCING WITHIN TWO YEARS OF DR APPROVAL PER CUPFY2022-0009 EXTENSION 2 07/22/2024.
2.02	EXISTING GATE, REPAIR AS REQUIRED PER NEW CONSTRUCTION.
2.04	EXISTING GRAVEL PARKING LOT TO REMAIN.
3.02	EXTERIOR CONCRETE SLAB ON GRADE, RE: CIVIL DWGS.
5.07	CUSTOM AUTOMOTIVE THEMED SCULPTURE.
32.01	LANDSCAPING, RE: LANDSCAPE PLAN.
32.02	NEW 6'H METAL FENCING.
32.03	BIKE RACK.
32.04	ASPHALT PARKING LOT SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.
32.05	DETECTABLE WARNINGS.
32.06	ACCESSIBLE PARKING AND ACCESS AISLE, RE: CIVIL DWGS.
32.07	ACCESSIBLE PATH OF TRAVEL, RE: CIVIL DWGS.
32.08	EXTERIOR SLAB ON GRADE, SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.



1 SITE PLAN  
3/32" = 1'-0"

OWNER  
**ALIC PROPERTIES, LLC**  
PROJECT  
**NEW VEHICLE SALES SUPPORT BUILDING**  
PROJECT ADDRESS  
112 W 42ND STREET  
GARDEN CITY, ID 83714  
SHEET NAME  
**ARCHITECTURAL SITE PLAN**

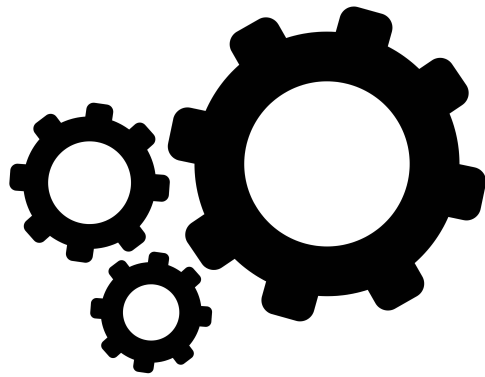
PROJECT NUMBER	24-34
SHEET ISSUE DATE	11/21/24
SUBMITTAL	DR REVISIONS#2

SHEET

A1.00







Studio H  
ARCHITECTS

306 NE 2nd Street  
Meridian, ID 83642  
208-649-8306

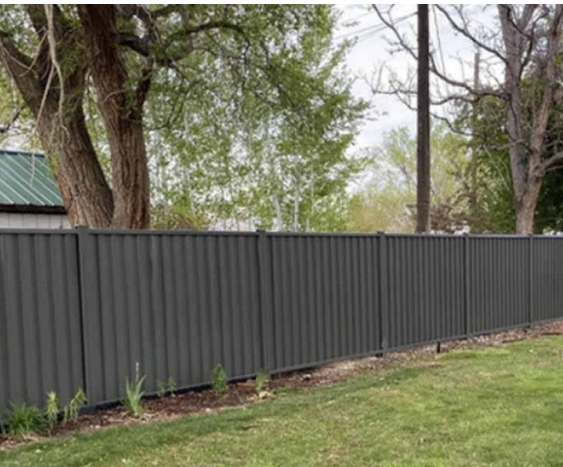
www.studioharchitects.com

STAMP:

CONSULTANT:

REVISIONS		
No.	Description	Date

KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
4.01	CMU VENEER WAINSCOT.
5.01	STANDING SEAM METAL ROOF, MBCI DOUBLE-LOK TUNDRA OR EQUAL.
5.02	MBCI JVP METAL PANEL, HORIZONTAL, SLATE GRAY.
5.03	29 GA CORRUGATED STEEL PANELS, MBCI CORRUGATED METAL SIDING HARBOR BLUE OR EQUAL.
5.04	METAL COPING, SLATE GRAY OR TO MATCH HORIZONTAL SIDING.
5.05	PREFABRICATED METAL CANOPY WITH TIE BACKS, PAINT MATCH HARBOR BLUE COLOR.
5.06	WALL MOUNTED TRELLIS SCREEN WITH 2X2 MESH.
5.07	CUSTOM AUTOMOTIVE THEMED SCULPTURE.
6.02	4X8 D.F. BEAM.
6.03	4X4 D.F. TRELLIS SYSTEM.
7.01	METAL DOWNSPOUT, COLOR TO MATCH BUILDING.
7.02	PREFINISHED METAL GUTTER.
32.03	BIKE RACK.
32.10	6" HIGH ADDRESS NUMBERS, VERIFY LOCATION IN THE FIELD.



METAL PRIVACY FENCE



CUSTOM AUTOMOTIVE THEMED SCULPTURE INSPIRATION



STANDING SEAM METAL ROOF  
MBCI DOUBLE-LOK TUNDRA OR EQUAL

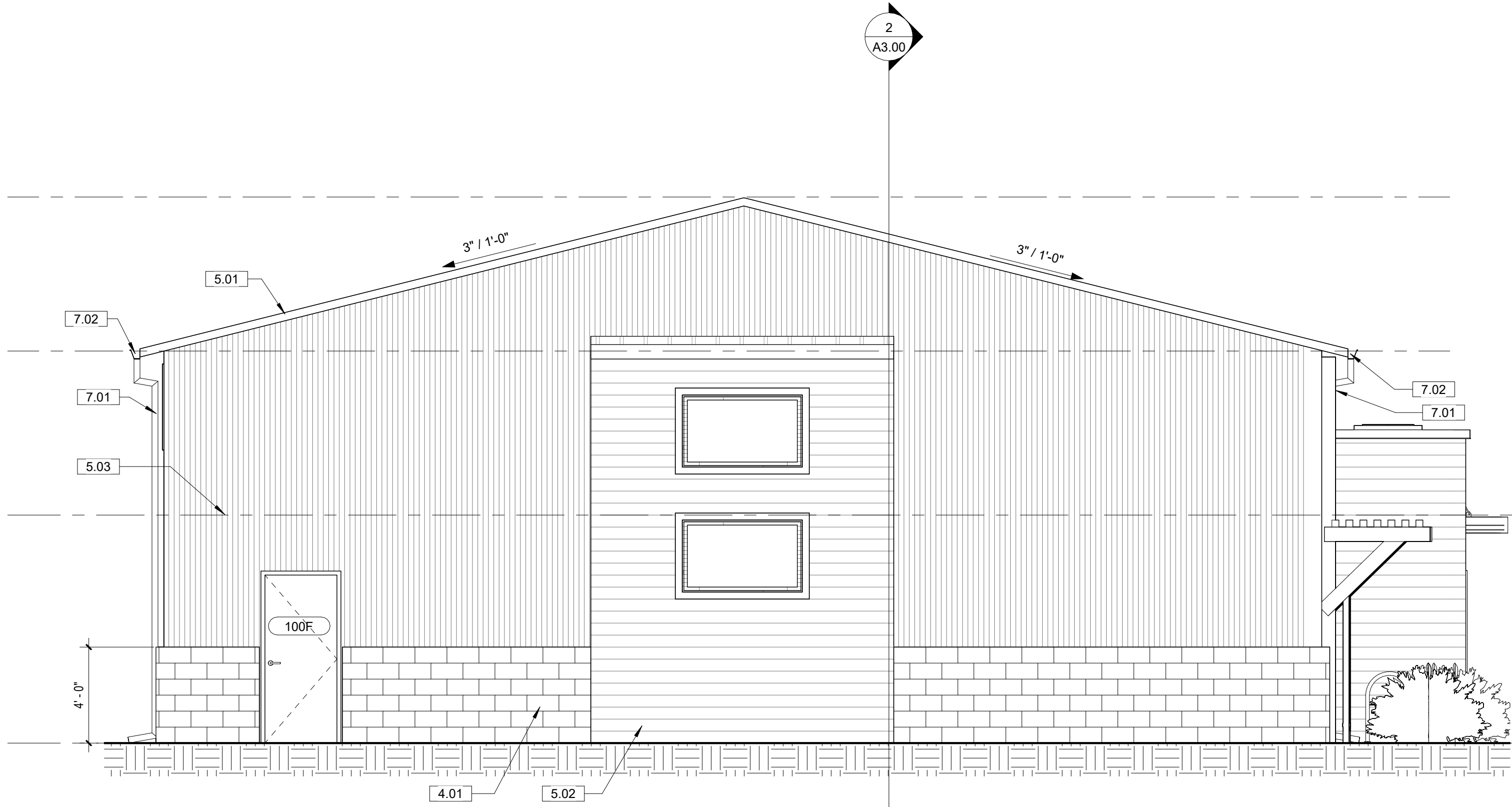


CORRUGATED METAL PANELS  
MBCI HARBOR BLUE OR EQUAL

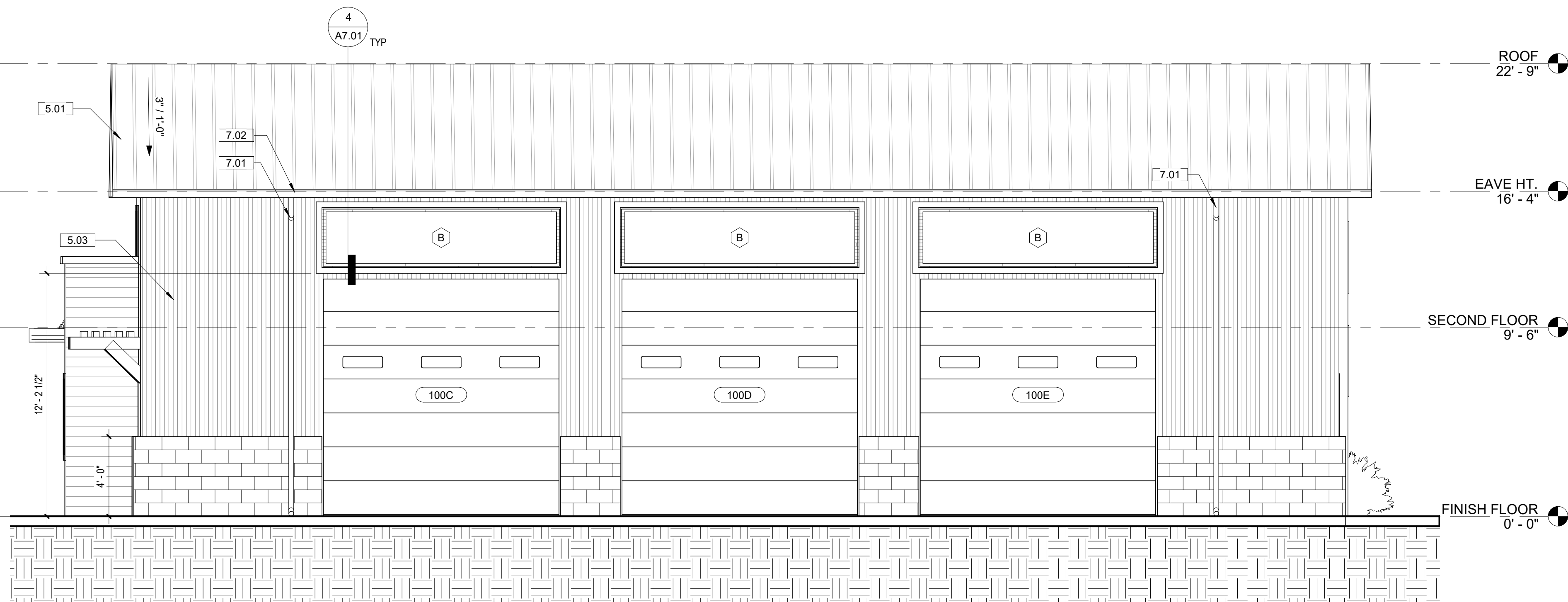


SPLIT FACE CMU WAINSCOT  
BASALITE 695 GREY OR EQUAL

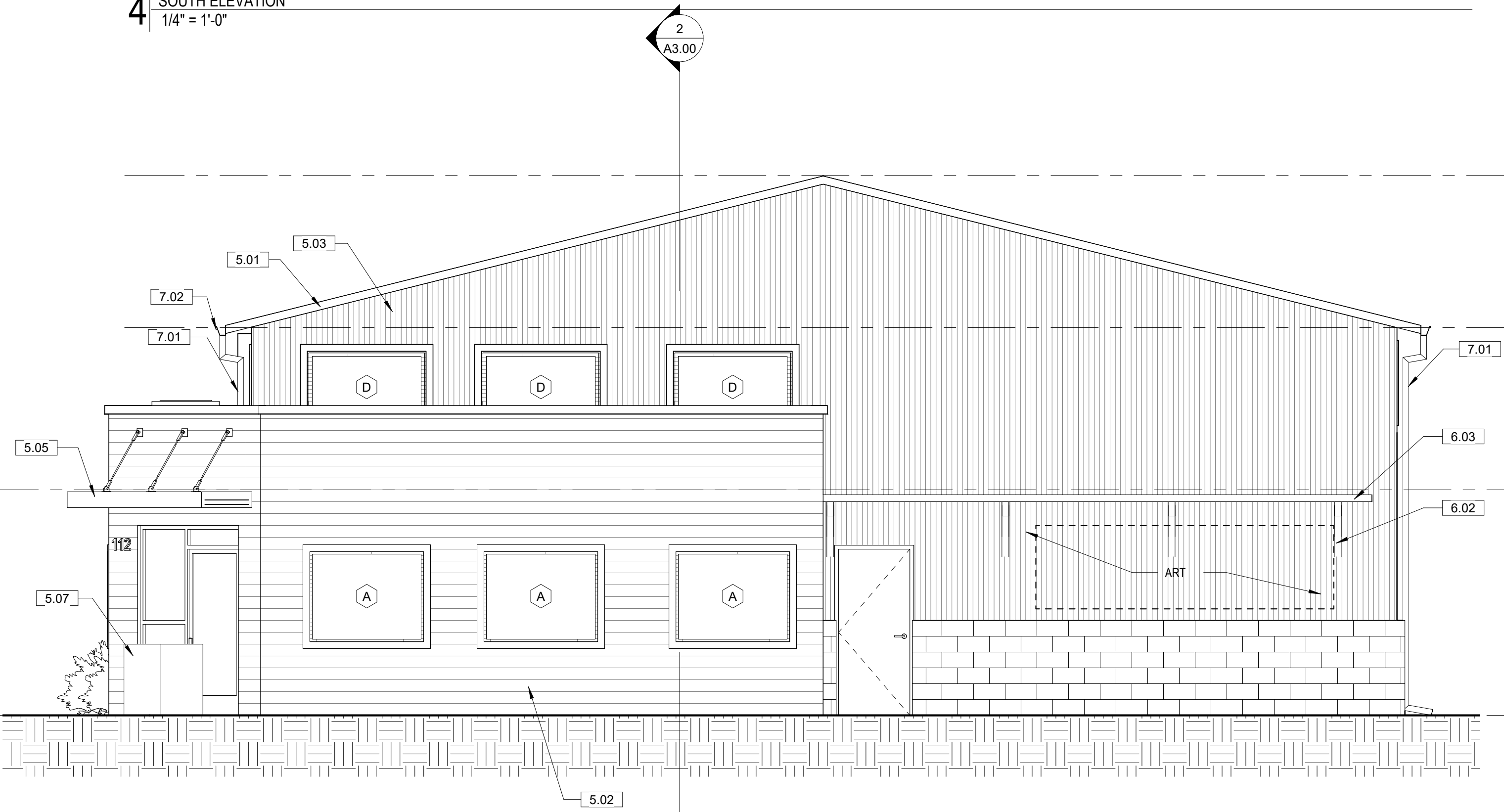
EXTERIOR FINISHES  
NTS



4 SOUTH ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"



3 NORTH ELEVATION  
1/4" = 1'-0"



1 EAST ELEVATION  
1/4" = 1'-0"

OWNER  
**ALIC PROPERTIES, LLC**  
PROJECT  
**NEW VEHICLE SALES SUPPORT BUILDING**

PROJECT ADDRESS  
112 W 42ND STREET  
GARDEN CITY, ID 83714

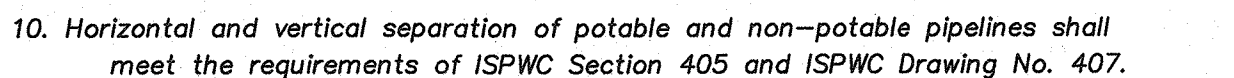
SHEET NAME  
**EXTERIOR ELEVATIONS**

PROJECT NUMBER	24-34
SHEET ISSUE DATE	01/14/25
SUBMITTAL	DR REVISIONS#2

SHEET

A2.01





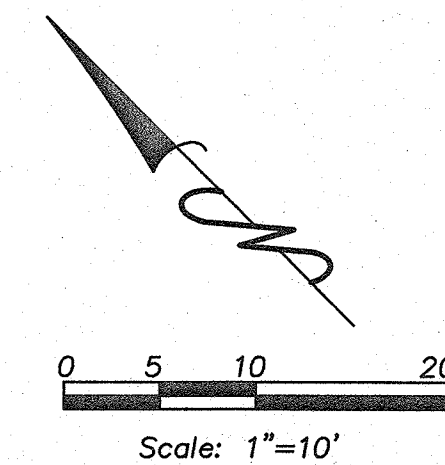
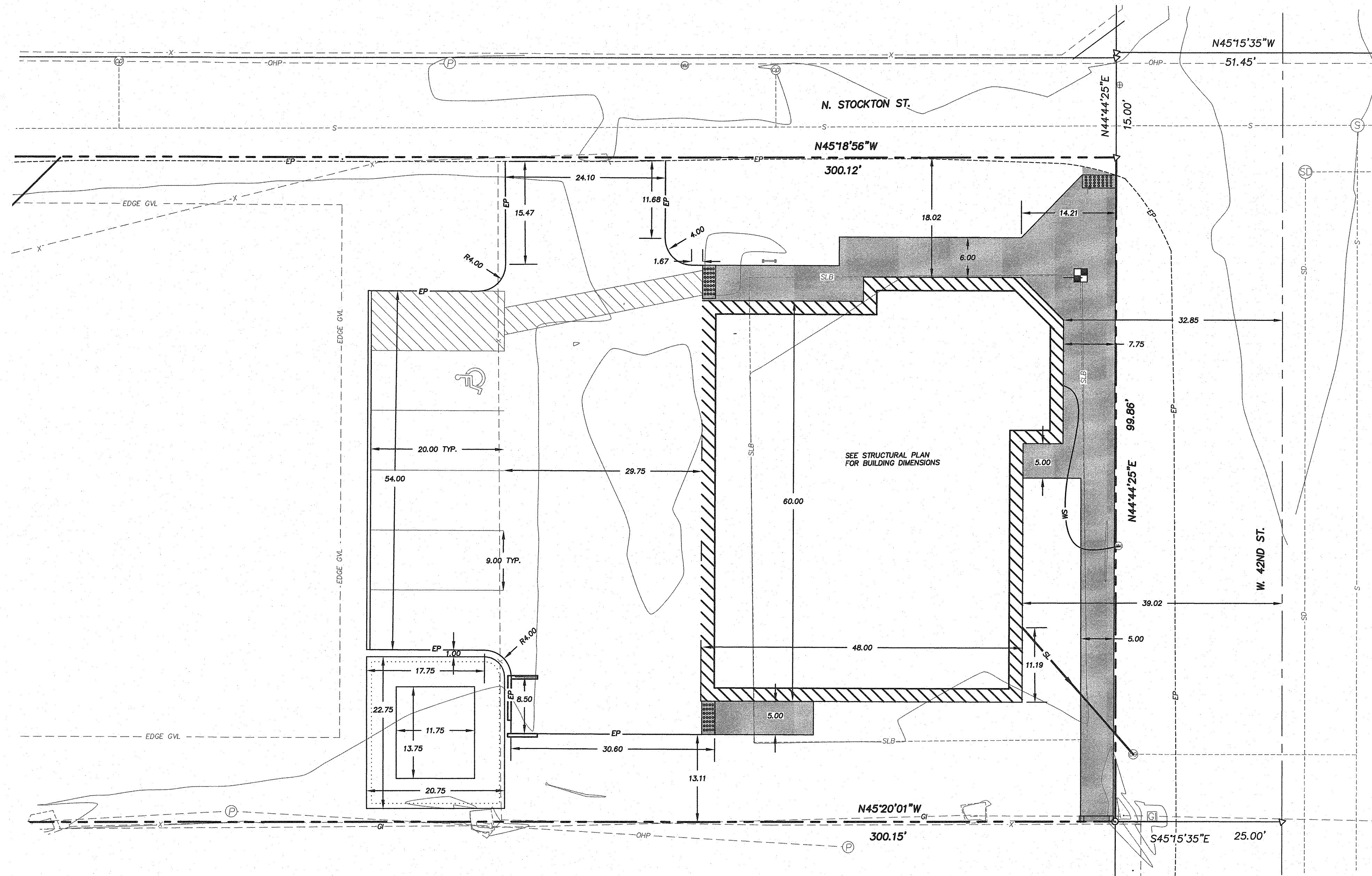
42. All water main lines under and within ten (10) feet of permeable pavers shall be ductile iron pipe.

Professional Engineer  
LICENSED  
9212  
STATE OF IDAHO  
WILLIAM J. MASON

January 15, 2025

DRAWING TITLE: <b>OSZY'S CAR COMPANY</b> <b>112 W. 42ND ST.</b> <b>COVER SHEET</b>		JOB NO. JN0224	CLIENT: <b>STUDIO H ARCHITECTS</b>	Professional Engineers, Land Surveyors & Planners  <b>Mason &amp; Associates</b>  601 3rd St. South, Tampa, D 08001 (208) 654-0286		DESIGNED BY: SAP 8/24		NO	BY	DATE	DESCRIPTION
SCALE: Vert: N/A Horz: N/A		DWG NO. JN0224. 01	306 NE 2ND ST. MERIDIAN, ID, 83642 (208) 649-8306 (208) 283-4593			DRAWN BY: SAP 8/24		0			
SHEET NO. C1 OF C3		SHEETS 3	FIELD BOOK NO.			CHECKED BY: WJM 8/24		0			
Rev						APPROVED BY:		0			





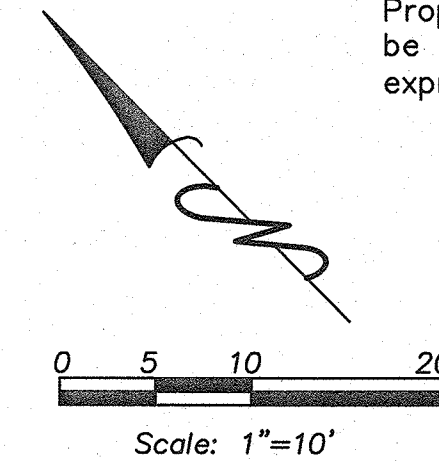
Line Table		
Line #	Direction	Length
L1	S80°13'11"E	20.53

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William J. Mason  
Professional Engineer  
State of Idaho  
License No. 9212  
January 15, 2025

DRAWING TITLE:		CLIENT:		JOB NO.		DWG NO.		SCALE:		FIELD BOOK NO.		SHEET NO. C2 OF C3		SHEETS		Rev		DESCRIPTION	
OZZY'S CAR COMPANY		STUDIO H ARCHITECTS		JN0224		JN0224		N/A		N/A		C2		C3		1		112 W. 42ND ST.	
112 W. 42ND ST.		306 NE 2ND ST.		JN0224		JN0224		N/A		N/A		C2		C3		1		DIMENSION SHEET	
DIMENSION SHEET		MERIDIAN, ID, 83642		JN0224		JN0224		N/A		N/A		C2		C3		1		SHEET NO. C2 OF C3	
SHEET NO. C2 OF C3		(208) 649-8306		JN0224		JN0224		N/A		N/A		C2		C3		1		NO	
NO		(208) 283-4593		JN0224		JN0224		N/A		N/A		C2		C3		1		BY	
BY		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		DATE	
DATE		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		NO	
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BY		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		DATE	
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BY		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		DATE	
DATE		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		NO	
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BY		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		DATE	
DATE		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		NO	
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BY		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		DATE	
DATE		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		NO	
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BY		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		DATE	
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BY		JN0224		JN0224		JN0224		N/A		N/A		C2		C3		1		DATE	
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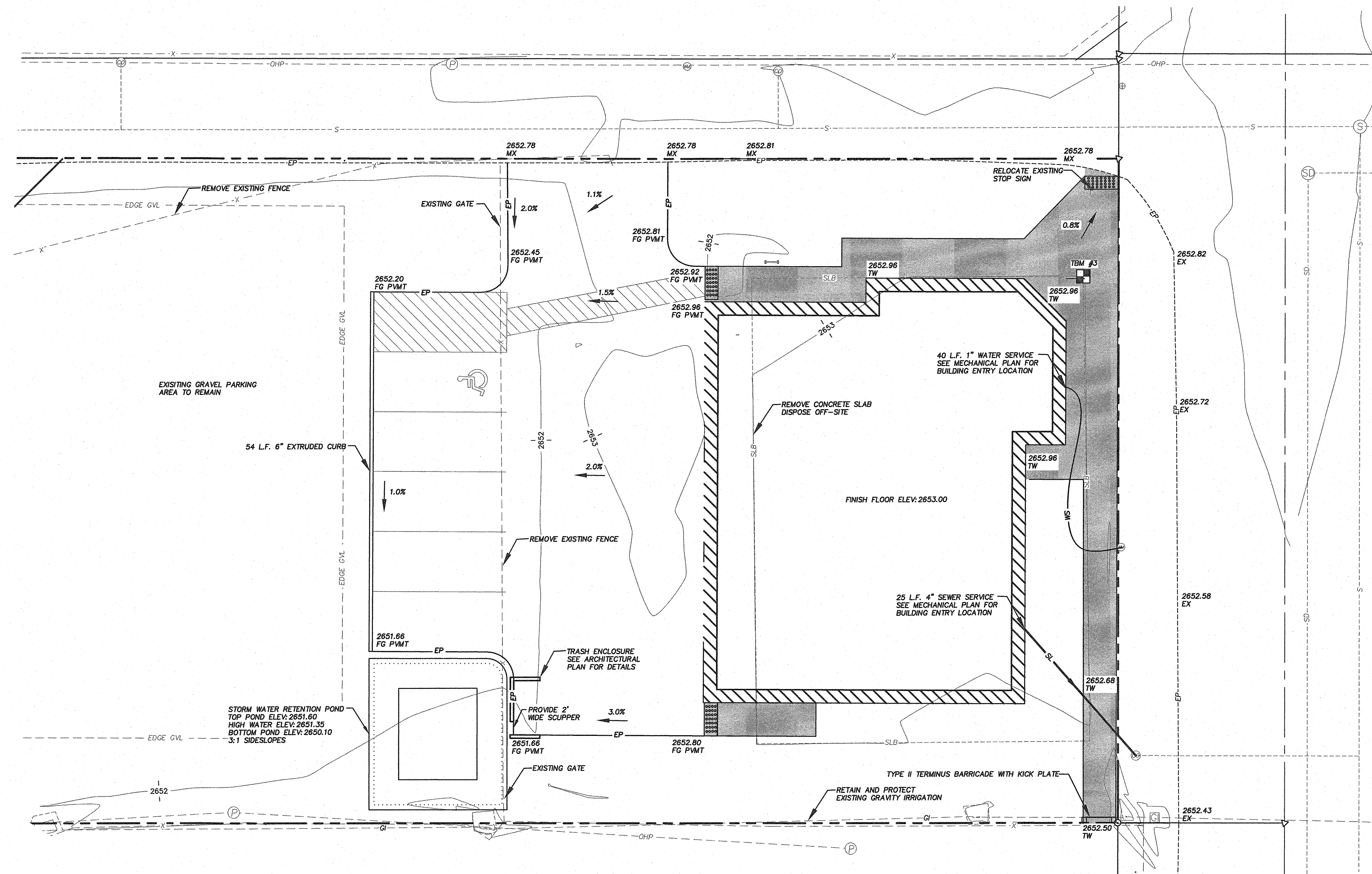
#### LEGEND

	Benchmark (TBM)
	Calculated Point
	Found Aluminum Cap Monument
	Found Brass Cap Monument
	Found 5/8" Iron Pin
	Found 1/2" Iron Pin
	Existing Power Pole
	Existing Sanitary Sewer Manhole
	Existing Sign
	Existing Signal Box
	Existing Cleanout
	Existing Mail Box
	Existing Street Light
	Existing Sign Pole
	Existing Electric Meter
	Found Standpipe
	Existing Faucet
	Existing Catch Basin
	Existing Gate Valve
	Existing Water Meter
	Existing Sprinkler Box
	Existing A/C
	Existing Gas Valve/Meter
	Existing 4" Catch basin
	Guy Anchor
	Existing Gravity Irrigation Box
	Existing Bollard
	Property Boundary Line
	Lot Line
	Centerline
	Natural Ground Contour Line
	Existing Back of Walk
	Existing Concrete
	Existing Edge of Pavement
	Existing Face of Walk
	Existing Fence
	Existing Lip of Gutter
	Existing Overhead Power
	Existing Slab
	Existing Top Back Rolled Curb
	Existing Top Back Vertical Curb
	Existing Top of Wall

#### PROJECT BENCHMARKS

TBM #1  
FOUND 2" ALUMINUM CAP MONUMENT "ACHD R.O.W.  
1131+19.30 62.50' RT. 2001 PLS 5617" 6.6' SOUTH  
OF STOP SIGN FOR CHINDEN BLVD. AND W. 42ND  
ST. AND 7' NORTHWEST OF EXTRUDED CURB FOR  
PARKING LOT OF OZZY'S CAR COMPANY.  
NAVD88 ELEVATION=2653.76

TBM #3  
CHISELED "X" IN THE EAST CORNER OF A  
CONCRETE SLAB 13.6' NORTHWEST OF NORTHWEST  
EDGE OF PAVEMENT FOR 42ND ST. AND 16.5'  
SOUTHWEST OF SOUTHWEST EDGE OF PAVEMENT OF  
STOCKTON ST.  
NAVD88 ELEVATION=2653.03



Professional Engineer  
9212  
WILLIAM J. MASON  
January 15, 2025

DRAWING TITLE:		CLIENT:		JOB NO.		DWG NO.		SCALE:		SHEET NO. C3 OF C3		SHEETS		Rev		FIELD BOOK NO.	
OZZY'S CAR COMPANY		STUDIO H ARCHITECTS		JN0224		JN0224		N/A		1"=10'		1		Rev		1	
112 W. 42ND ST.		306 NE 2ND ST.															
GRADING, DRAINAGE AND UTILITY PLAN		MERIDIAN, ID, 83642															
		(208) 649-8306															
		(208) 283-4593															

DESIGNED BY: SAP		DATE		NO		BY		REVISIONS	
8/24		8/24		0000					
DRAWN BY: SAP		8/24							
CHECKED BY: WJM		8/24							
APPROVED BY:									

Professional Engineers,  
Land Surveyors  
& Planners  
Mason & Associates  
824 W. 4th St., Suite 100, Meridian, ID 83642  
(208) 649-8306  
(208) 283-4593

**Storm Drainage Master  
for  
Ozzy's Car Company  
112 W 42nd Street  
Garden City**

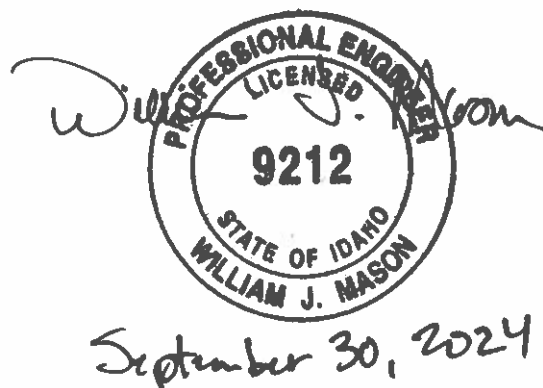
**Client: Studio H Architects  
306 NE 2nd Street  
Meridian, ID 83642**



Professional Engineers, Land Surveyors and Planners  
924 3rd St. So., Suite B, Nampa, ID 83651  
Ph (208) 454-0256

**Job No. JN0224**

**Date: September 30, 2024**





## CALCULATION METHODOLOGY

### FLOW CALCULATIONS

Flow for the basin areas are calculated using the Rational Method. The "C" coefficient used in the calculations is based on weighted values as shown. Conveyance facilities are designed for a 50-year return frequency storm and the worst case condition between 10 minutes and 1 hour. The worst case storm for flow is the 10-minute duration. Design storm volume is percolated and/or discharged at predevelopment flowrate. Time to disappate is calculated using the volume of the worst case design storm minus percolation and discharge during and after the design event.

### HYDRAULIC GRADE CALCULATIONS

These calculations employ the Manning Equation. The hydraulic grade is based on calculated flow.

### EQUATIONS USED IN CALCULATIONS

#### RATIONAL METHOD

$$Q=CiA$$

where: Q = Runoff Rate, cfs  
C = Runoff Coefficient  
i = Storm Intensity, in./hr.  
A = Basin Area(s), acres

#### MANNING EQUATION

$$V=1.49R^{2/3}S^{1/2}/n$$

where: V = Velocity, fps  
R = Hydraulic Radius, ft.  
S = Channel Slope, ft./ft.  
n = Manning Roughness Coefficient

#### PERCOLATION VOLUME (SCS TRIANGULAR UNIT HYDROGRAPH METHOD)

$$V=(\text{Area})(\text{Perc. rate})(t)/(12)(60)$$

where: V = Volume, cu. ft.  
Area = Infiltration bed area, sf  
Perc. rate = percolation rate, in/hr  
t = worst-case duration, min.

#### ORIFICE EQUATION

$$Q=(\text{Coefficient})(3.1416 \times \text{Radius}^2)(64.4 \times \text{Head})^{1/2}$$

where: Head=W.S.E. - Center of Orifice

#### OTHER EQUATIONS USED

$$Q=VA$$

where: Q = Flow, cfs  
V = Velocity, fps  
A = Cross Sectional Area, sq. ft.

**RETENTION BASIN AREA 1**  
**WORST CASE STORM VOLUME, 100-yr**

BASIN AREA	0.14	acres
RUNOFF COEFFICIENT (C)	0.78	weighted "c" factor
PERCOLATION RATE	8.00	in/hr
PERCOLATION AREA	284	sf
VOID VOLUME	0	cf
SWALE VOLUME	355	cf
OFFSITE DISCHARGE	0	cfs

Runoff Coefficient	c	Area (sf)	Area (ac)	weighted Area
Roof=	0.95	1422	0.03	0.03
Concrete/Asphalt=	0.9	3643	0.08	0.08
Landscape=	0.2	1184	0.03	0.01
Total=		0.14		0.11
weighted "c" factor=				0.78

								BASIN		
								STORAGE	SWALE &	
								VOLUME	VOID	ADDITIONAL
								NECESSARY	VOLUME	VOLUME
DURATION	DURATION	100 YR	PEAK	PEAK	FLOW	1.15 X	PERC	LESS PERC	PROVIDED	NECESSARY
(min)	(hrs)	INTENSITY*	FLOW	LESS	VOLUME	FLOW	VOLUME	(cf)	(cf)	(cf)
		(in/hr)	(cfs)	DISCH.	(cf)	(cf)	(cf)			
10	0.17	3.10	0.346	0.346	208	239	32	207	355	0
15	0.25	2.60	0.290	0.290	261	301	47	253	355	0
30	0.50	1.80	0.201	0.201	362	416	95	322	355	0
60	1.00	1.10	0.123	0.123	442	509	189	319	355	0
120	2.00	0.63	0.070	0.070	507	583	379	204	355	0
180	3.00	0.46	0.051	0.051	555	638	568	70	355	0
360	6.00	0.26	0.029	0.029	627	722	1136	0	355	0
720	12.00	0.15	0.017	0.017	724	833	2272	0	355	0
1440	24.00	0.084	0.009	0.009	811	932	4544	0	355	0

\* Intensity based on Exhibit A, Nampa Stormwater Policy

**RETENTION BASIN AREA 1**  
**RETENTION FACILITY SIZING 100 yr STORM EVENT**

TOTAL STORAGE REQ'D=	416	cf (worst case design flow + 15%)
WORST CASE STORM DURATION	30	minutes
PERCOLATION	8.00	in/hr
OFFSITE DISCHARGE	0.00	cfs

**SWALE VOLUME CALCULATION**

SWALE TOP WATER AREA=	407	sf
SWALE BOTTOM AREA=	161	sf
SWALE INFILTRATION AREA AVE.=	284	sf
SWALE DEPTH=	1.25	ft

SWALE STORAGE =	355	cf
SWALE INFILTRATION =	95	cf

**PIPE VOLUME CALCULATION**

PIPE AREA 24" DIA=	3.14	sf
PIPE LENGTH=	15	ft
PIPE BARRELS=	0.00	

PIPE STORAGE =	0	cf
----------------	---	----

**INFILTRATION BED CALCULATION**

INFILTRATION AREA =	0	sf
ROCK BED DEPTH =	0	ft
SAND BED DEPTH =	3	ft
VOID SPACE IN SAND=	0%	
VOID SPACE IN DRAIN ROCK=	40%	
PERCOLATION RATE =	8.00	in/hr

ROCK  
SAND

	W	L
	0	0
	0	0

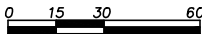
VOLUME IN VOIDS =	0	cf
PERCOLATION VOLUME =	0	cf

INFILTRATION BED STORAGE =	0	cf
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TOTAL STORED VOLUME =	450	cf	
	>	416	cf

THEREFORE STORAGE IS ADEQUATE

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Scale: 1"=30'

LEGEND

- Benchmark (TBM)
- Calculated Point
- Found Aluminum Cap Monument
- Found Brass Cap Monument
- Found 5/8" Iron Pin
- Found 1/2" Iron Pin
- Existing Power Pole
- Existing Sanitary Sewer Manhole
- Existing Sign
- Existing Signal Box
- Existing Cleanout
- Existing Mail Box
- Existing Street Light
- Existing Sign Pole
- Existing Electric Meter
- Found Standpipe
- Existing Faucet
- Existing Catch Basin
- Existing Gate Valve
- Existing Water Meter
- Existing Sprinkler Box
- Existing A/C
- Existing Gas Valve/Meter
- Existing 4" # Catch basin
- Guy Anchor
- Existing Gravity Irrigation Box
- Existing Bollard
- Property Boundary Line
- Lot Line
- Centerline
- Natural Ground Contour Line
- Existing Back of Walk
- Existing Concrete
- Existing Edge of Pavement
- Existing Face of Walk
- Existing Fence
- Existing Lip of Gutter
- Existing Overhead Power
- Existing Slab
- Existing Top Back Rolled Curb
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EDGE OF PAVEMENT FOR 42ND ST. AND 16.5'  
SOUTHWEST OF SOUTHWEST EDGE OF PAVEMENT OF  
STOCKTON ST.  
NAVD88 ELEVATION=2653.03

STORM DRAIN AREA #1  
HARD SURFACE: 3,643 SF  
ROOF AREA: 1,422 SF  
LANDSCAPE AREA: 1,184 SF  
LONGEST RUN: 65'  
AVERAGE SLOPE: 1.5%

TOP POND EL: 2651.60  
HIGH WATER EL: 2651.35  
BOTTOM POND EL: 2650.10  
TOP POND: 470 SF  
HIGH WATER: 407 SF  
BOTTOM POND 247 SF  
SIDE SLOPE 3:1

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