



Studio H Architects, PLLC.
306 NE 2nd St.
Meridian, ID 83642

Preliminary Design Consultation Responses to Comments and Recommendations

December 3, 2024

DSRFY2024-0018
Ozzy's Car Company
112 W. 42nd Street
Garden City, ID 83714

Please see below for comments and responses to the Preliminary Design Consultation Comments and Recommendations. Also refer to the updated Grading Plan, Landscape Plan, Site Plan and SD Drawings for more information.

Comment:

1. Parking lot location.
 - a. Proximity to intersection
 - b. Can't back up onto Stockton Street.

Response:

The parking lot location is compliant with 8-4D Parking and Off Street Loading Provisions as noted in the Design Review Report and Decision dated October 21, 2024. The parking lot is designed where no vehicles are required to back up onto Stockton Street.

Comment:

2. Chain link and barbed wire to be removed.
 - a. Compliant fencing on Stockton has height limit of 3.5'.

Response:

A portion of the existing chain link fencing will be removed to accommodate the new parking lot and landscaping for the building. The remainder of the existing chain link fencing will be replaced with new compliant fencing within two years of DR approval per CUPFY2022-0009 extension granted on July 22, 2024. New fencing for a small trash enclosure with alley service will be maximum 6 feet tall to sufficiently screen the carts per section 8-4C-4-F. Additional new fencing perpendicular to Stockton Street will be installed to secure the remainder of the lot.

Comment:

3. Pre-fab buildings are prohibited. This has a long way to go to be compliant.

- a. Street facing inviting pedestrian entry.
- b. Fenestration.
- c. Roof line articulation.
- d. Articulation & relief.
- e. No blank walls.
- f. B key on East and West Elevations not explained.
- g. Glazing in garage doors
- h. Etc.

Response:

In lieu of a pre-engineered metal building, the Owner has elected to redesign the building using traditional wood framing. The main entrance has been relocated to face W. 42nd Street with an awning and additional windows for a more pedestrian friendly approach. A second story has been added to the design in order to comply with section 8-4C-3-A1 (minimum floor area ratio of 1.0 or a minimum of two (2) stories). Additional materials and articulations have been incorporated into each elevation to comply with the objectives outlined in section 8-4C-3: General Provisions for Nonresidential Development. The roof lines support design standards and a portion of the roof will house and screen exterior mechanical equipment. Landscaping throughout the entire site is being installed in compliance with section 8-4I.

Comment:

- 4. FAR is far from compliant.

Response:

See above and updated SD drawings.

Comment:

- 5. Street frontage not compliant.

Response:

Street frontage along W. 42nd Street is compliant with section 8-4C-3-A3 with 64.25% street frontage. Frontage is not required along Stockton Street which is classified as an Alley by ACHD.

Comment:

- 6. Landscaping of full perimeter if this is one lot.
 - a. Street trees on Stockton and 42nd.
 - b. Pedestrian focus on Stockton.
 - c. Terminal view at end of drive aisle.
 - d. 75% vegetative coverage.
 - e. Stockton curb not shown.

Response:

Landscaping has been provided along full perimeter of the lot as required.

Refer to the updated Landscape Plan indicating grassy areas and landscaping along Stockton Street providing a pedestrian focus. A curb is not required on Stockton Street per ACHD approval GC22-0004/CUPFY2022-0009.

Comment:

7. Trash enclosure or other solution.

Response:

A small trash enclosure has been added at Stockton Street compliant with Republic Services' Solid Waste Design Standards for alley service.

Comment:

8. Screening of mechanical units.

Response:

As part of the updated building design, the mechanical units will be on the low roof and screened as required.

Comment:

9. Neighbors landscape concerns are not linked or duplicated in the packet. Just their sign in sheet.

Response:

There have been no attendees at any of the three neighborhood meetings held on June 12, 2024, September 23, 2024 and October 21, 2024. Please clarify.

Please don't hesitate to contact me with any questions.

Thank you,



Julie Miller, CID, NCIDQ – Project Manager

Julie@studioharchitects.com

208.996.0528

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
- 1.1. All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2021 (or most recent published); and City of Garden City, ID codes, standards and state and local regulations.
2. EXISTING CONDITIONS
- 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
- 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
- 2.3. See Engineer's plans for information about existing features.
- 2.3.1. Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
3. GRADING & SITE PREPARATION
- 3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
- 3.2. All gravel overprep to be removed and disposed of off site.
- 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
- 3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
- 3.5. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
- 3.6. No pooling or standing water will be accepted per industry standards.
4. SOILS
- 4.1. Lawn areas shall receive 12" min depth of screened topsoil.
- 4.2. All planter beds shall receive 18" min depth of screened topsoil.
- 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
- 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
- 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
- 4.3.3. Topsoil shall have a ph of 6.5 to 8.0.
- 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
- 4.4. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
- 4.5. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.
- 4.6. Amend all new plantings with 2 parts topsoil, 1 part compost.
5. LAWN AREAS
- 5.1. Sodded lawn to be tall turf-type fescue, or approved other.
- 5.2. Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
- 5.3. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
- 5.4. Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
- 5.5. All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
- 5.6. Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
- 5.6.1. Install 3" chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
- 5.7. Provide tree rings with a minimum 3' diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.
6. PLANTER BED MULCH
- 6.1. All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
7. PLANTS
- 7.1. All plant material shall be installed per industry standards.
- 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
- 7.3. All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail.
- 7.4. Trees and shrubs over 30" shall not be planted within clear vision triangles.
- 7.5. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
8. IRRIGATION
- 8.1. Irrigation system shall be built to the following specifications:
- 8.2. Adhere to city codes when connecting to city water.
- 8.3. All irrigation material to be new with manufacturers' warranty fully intact.
- 8.4. Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
- 8.4.1. Controller to have On/Off rain switch or rain shut off device that does not alter program.
- 8.5. All remote control valves (including master control valve) to have flow control device.
- 8.6. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
- 8.7. All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, 22, 11.
- 8.8. Use common trenching where possible.
- 8.9. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
- 8.10. All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
- 8.11. Connect mainline to point of connection in approximate location shown on plan.
- 8.12. Contractor is responsible complying with all codes and paying all permits necessary.
- 8.13. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
- 8.14. All drip irrigation to be buried 2" below finished grade.
- 8.15. Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
- 8.16. Install all irrigation per irrigation drawings. utilize material specified or approved equal.
- 8.17. Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
- 8.18. If any discrepancies are found, then local codes shall prevail.
9. CONTRACTOR RESPONSIBILITIES
- 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
- 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
- 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20" scale are turned in and approved by owner's representative.
10. In the event of a discrepancy, notify the Landscape Architect immediately.

LANDSCAPE REQUIREMENTS

CODE REQUIREMENTS PER GARDEN CITY CODE

PROPERTY: 30,000 SF

BUILDING AREA: 2,880 SF

PROJECT LANDSCAPE: 8,047 SF

VEGETATIVE COVERAGE:

*5% MIN PROJECT SITE TO BE LANDSCAPE

*(1) TREE PER 1000SF & (1) SHRUB PER 150 SF OF REQUIRED LANDSCAPE AREA

*PLANTER BED TO HAVE 75% VEGETATIVE COVERAGE AT MATURITY (SHRUBS)

REQUIRED LANDSCAPE AREA	TREES/SHRUBS REQUIRED	TREES/SHRUBS PROVIDED
1,500 SF / 8,047 SF PROVIDED	2 / 10	18 / 80

PARKING LOT	TREES REQUIRED	TREES PROVIDED
1 FOR EVERY ISLAND	2	2

STREET BUFFER:

*1 CLASS II TREE PER 50LF

STREET NAME	LENGTH (LF)	TREES REQUIRED	TREES PROVIDED
W. 42ND ST.	100'	2	2
STOCKTON ST.	300'	6	6

PERIMETER BUFFER:

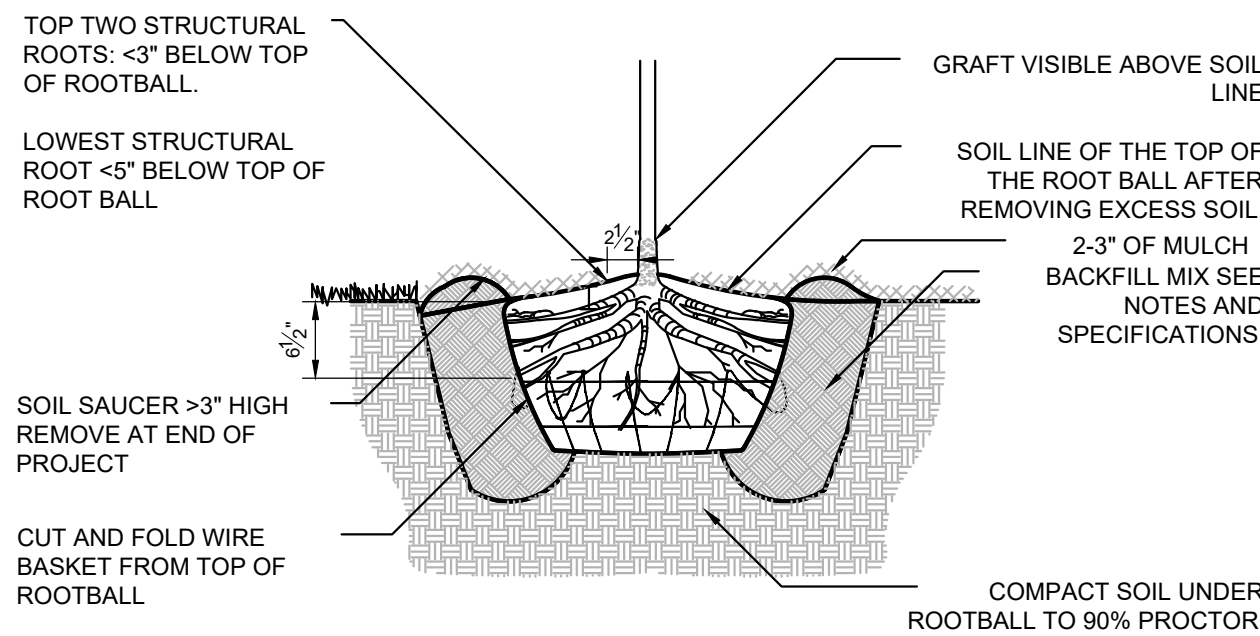
10' W VEGETATIVE BUFFER AT ALL ADJACENT PROPERTIES

MINIMUM PLANT SIZES:

PLANT TYPE	MINIMUM SIZE
*EVERGREEN TREES:	6'-0" HT. MIN.
*ORNAMENTAL TREES:	2" CALIPER MIN.
*SHADE TREES:	2" CALIPER MIN.
*WOODY SHRUBS:	2 GAL. MIN.

NOTES:

- DO NOT DAMAGE OR CUT LEADER.
- DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
- TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTEE PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
- REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP 1/4 OF THE ROOTBALL.
- 5' DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



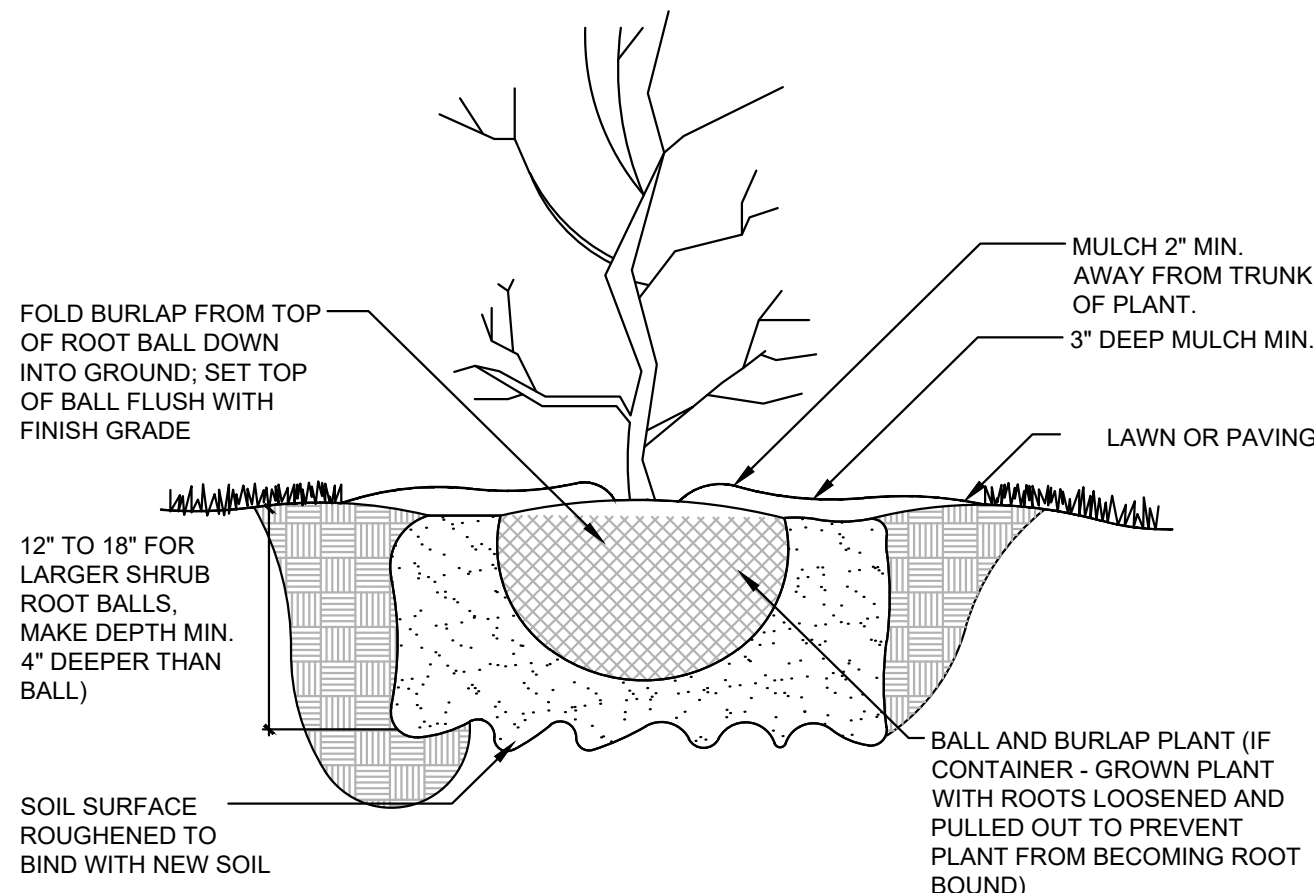
1 BALL & BURLAP TREE PLANTING

3/4" = 1'-0"

3293-01

NOTE:
REMOVE ALL TAGS, TWINE OR
OTHER NON BIODEGRADABLE
MATERIALS ATTACHED TO PLANT OR
ROOT MASS.

BACKFILL SHALL BE 100% TOPSOIL.
WATER SETTLE ALL PLANTINGS TO
ENSURE PLANT ROOTBALL
MAINTAINS 3" HEIGHT ABOVE
EXISTING SOILS WHEN COMPLETE.

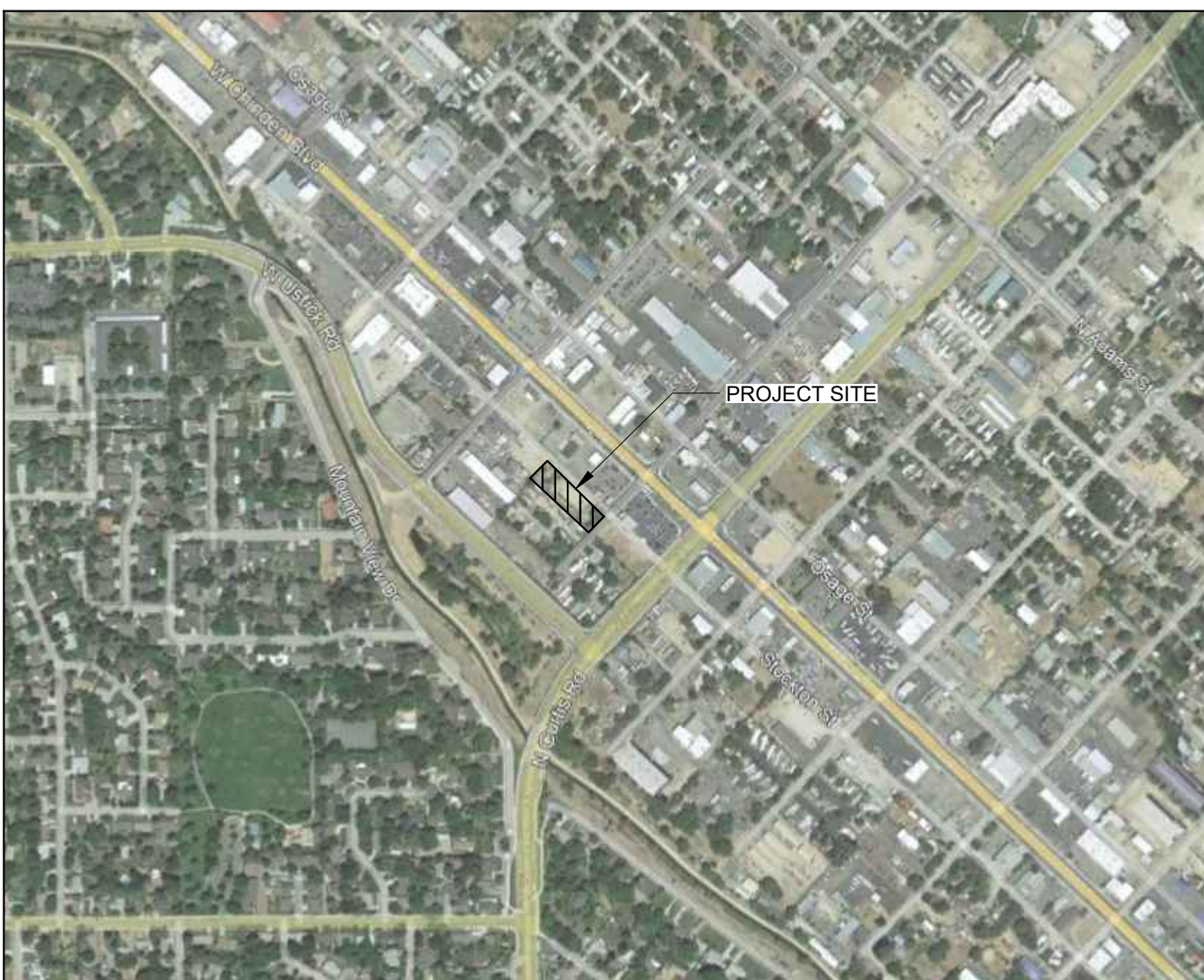


2 SHRUB PLANTING

1" = 1'-0"

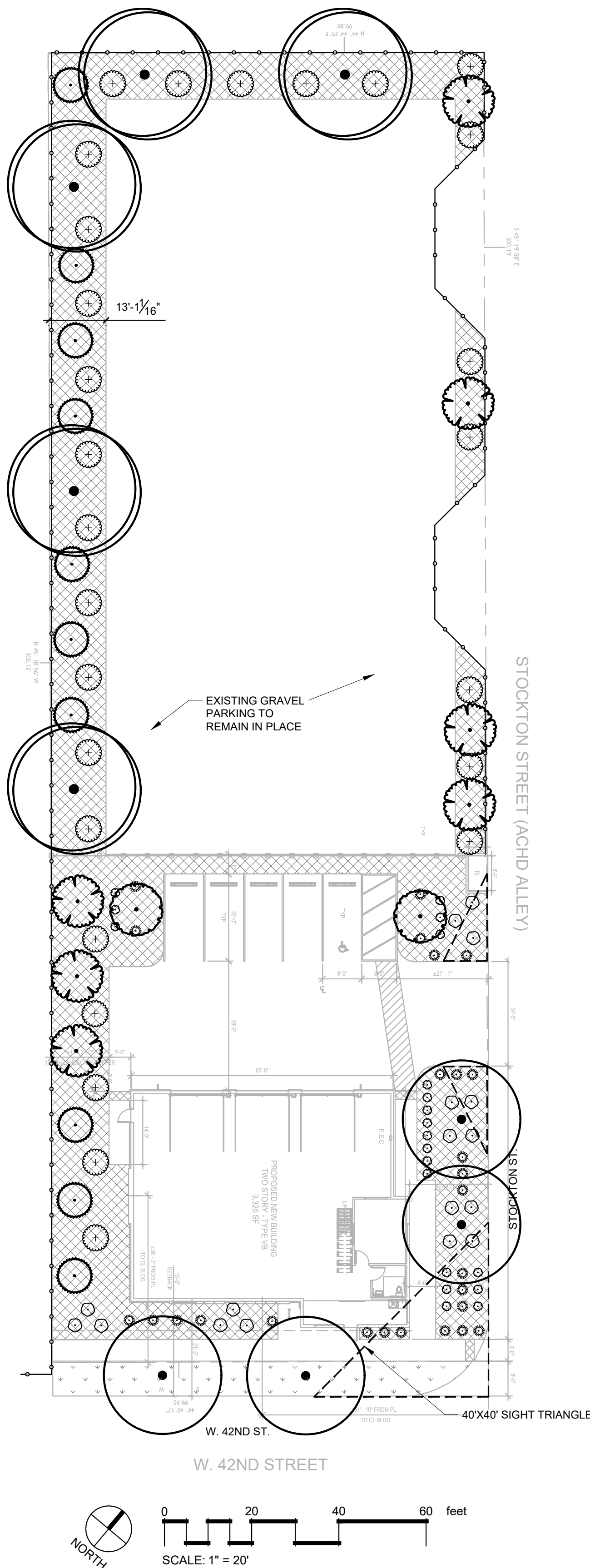
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VICINITY MAP



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES						
	CAR FRA	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam 35' H x 15' W, CLASS II	B&B	3"		7
	GLE SH2	Gleditsia triacanthos inermis 'Skyline' TM / Skyline Honey Locust 45' H x 35' W, CLASS II	B&B	2"		5
	JUN MO9	Juniperus scopulorum 'Moonglow' / Moonglow Juniper 20' HT X 8'W	B&B		6'-8" H	10
	MAL IND	Malus x 'Indian Magic' / Indian Magic Crabapple 15' H x 15' W, CLASS I	B&B	2"		2
	TIL SEN	Tilia americana 'Sentry' / American Linden 45' H x 30' W, CLASS II	B&B	2"		4
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
SHRUBS						
	BER CRI	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Japanese Barberry 2' ht. x 3' w	2 gal			17
	HEL BLU	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass 30"H x 30"W	2 gal			26
	JUN WI2	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper 8"H x 8'W	2 gal			27
	LAV HI2	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender 18"H x 30"W	2 gal			20
		PLANTER BED, SHRUBS & ROCK MULCH SHRUBS TO HAVE 75% VEGETATIVE COVERAGE AT MATURITY, XERIC / NATIVE PLANTINGS				
		TURF GRASS - DROUGHT TOLERANT FESCUE BLEND				



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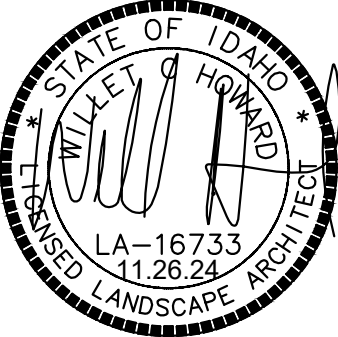
WILLET C HOWARD, PLA
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112 W. 42ND ST. COMMERCIAL

GARDEN CITY, ID

REVISIONS		
MRK	DATE	Description
△	5/13/22	CITY COMMENTS
△	5/24/22	CITY COMMENTS

JOB NO: 22-2326
DATE: 06.14.2024
DRAWN BY: EV
CHECKED BY: WH

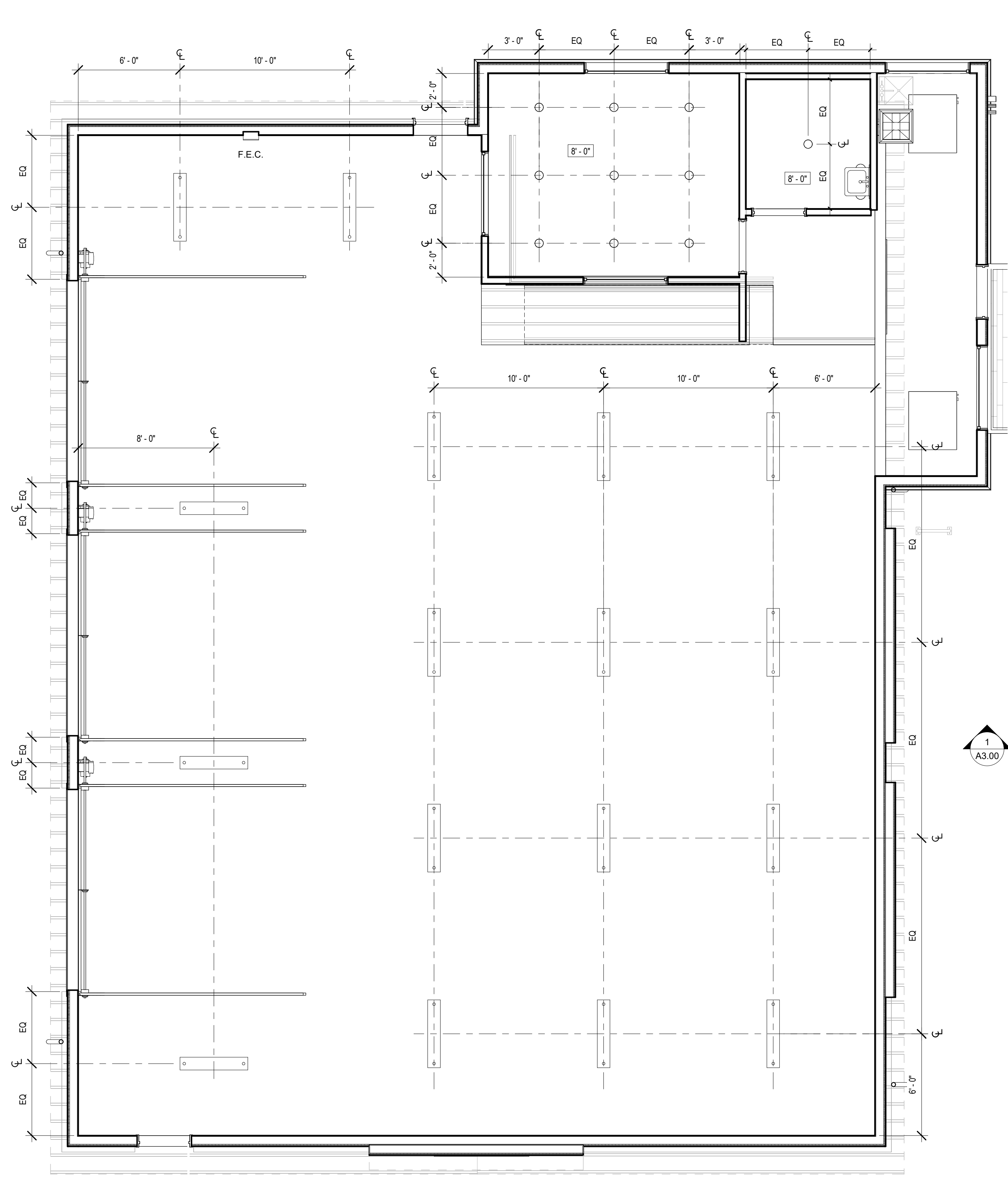
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LANDSCAPE
PLAN

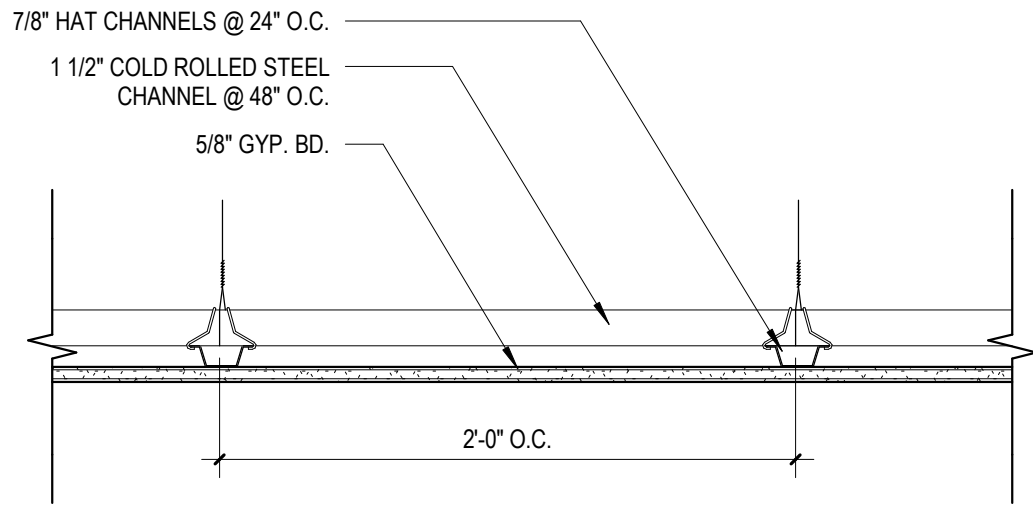
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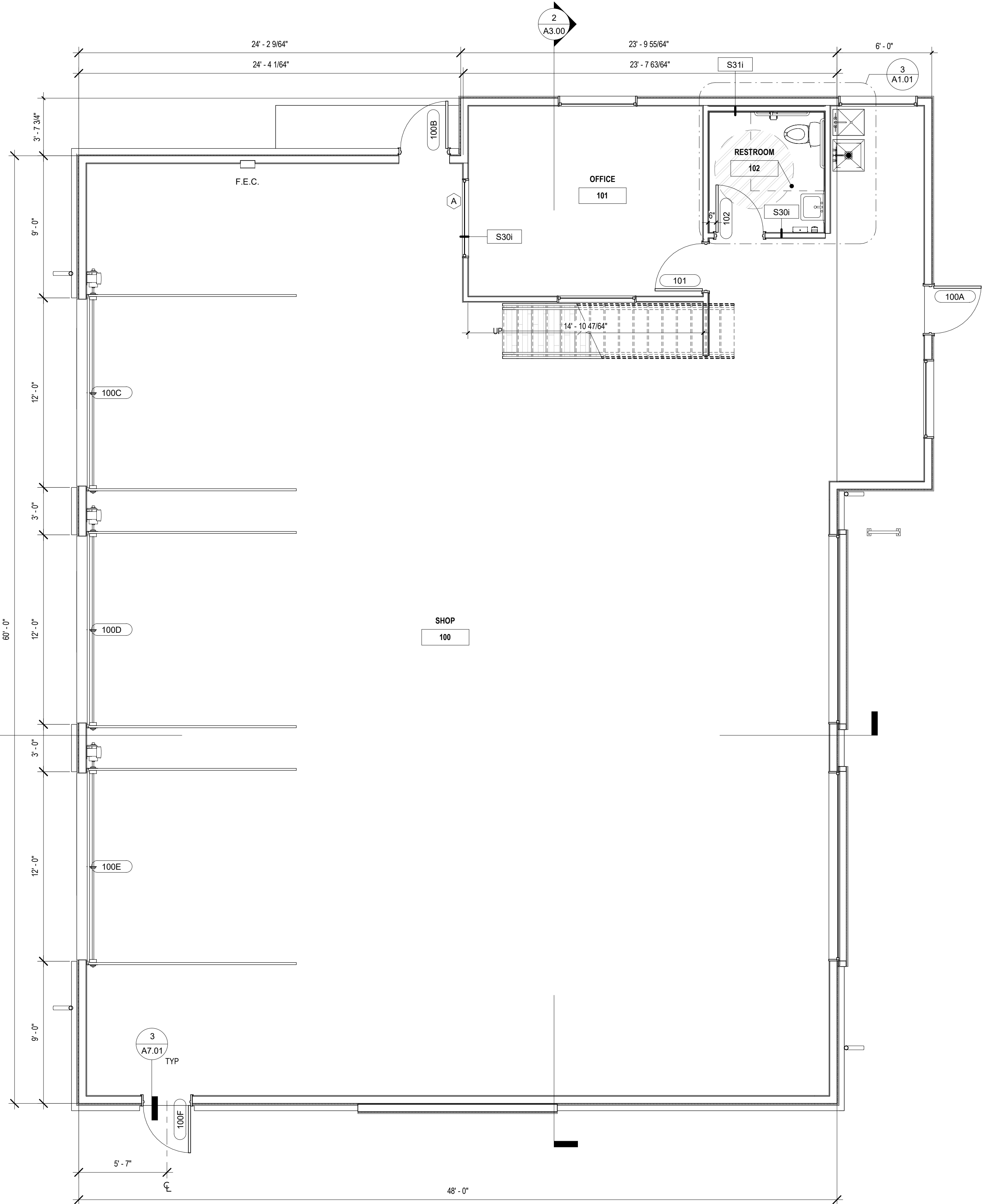
2 REFLECTED CEILING PLAN
1/4" = 1'-0"



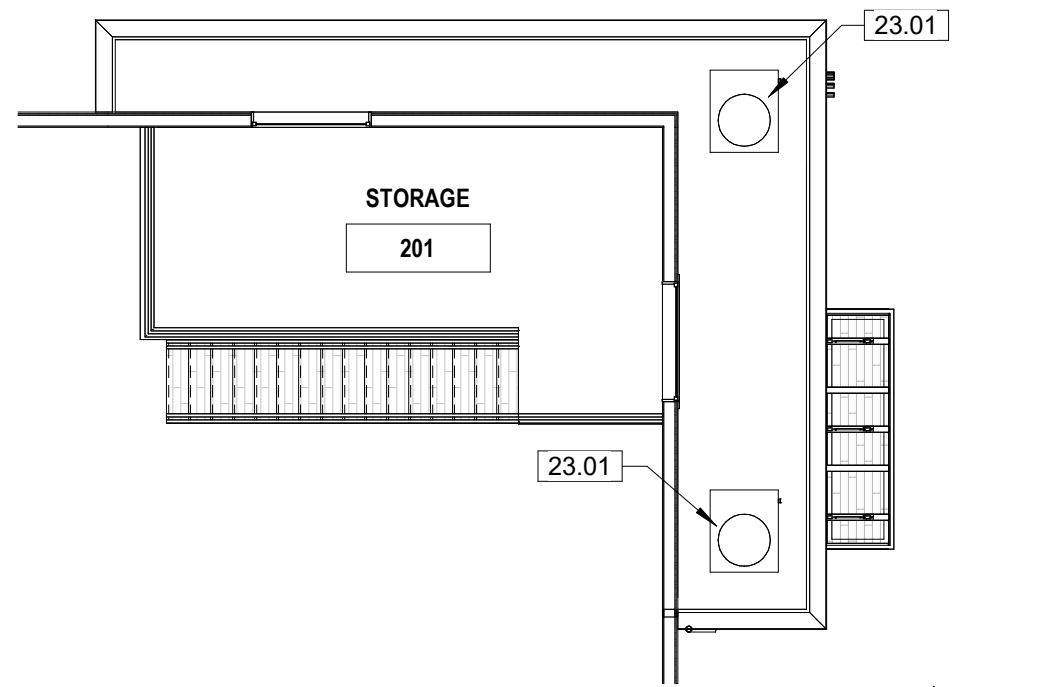
7 SUSPENDED GYP CEILING DTL
3" = 1'-0"



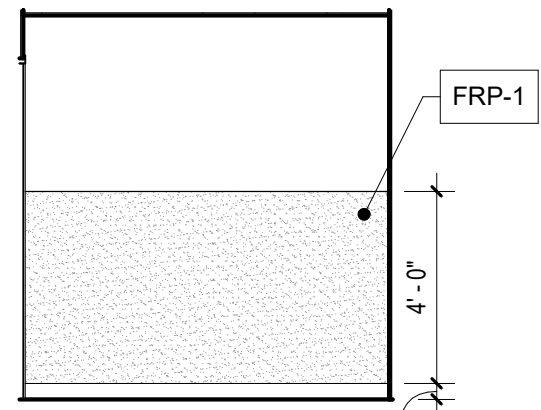
1 FLOOR PLAN
1/4" = 1'-0"



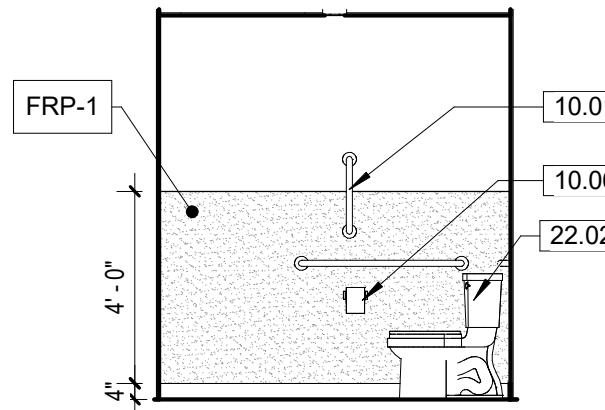
6 SECOND FLOOR
1/8" = 1'-0"



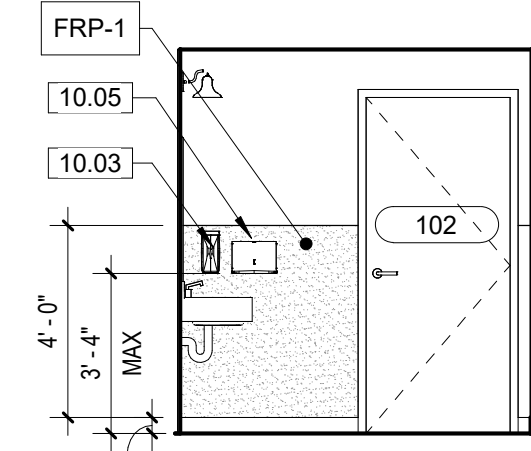
5 RESTROOM WEST ELEVATION
1/4" = 1'-0"



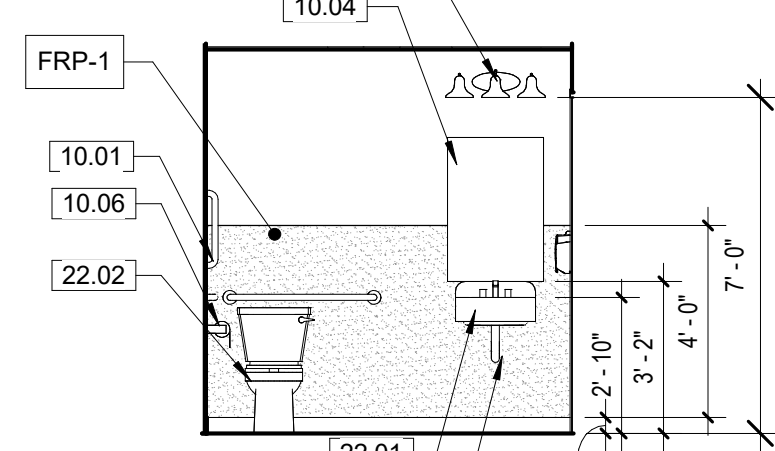
4 RESTROOM NORTH ELEVATION
1/4" = 1'-0"



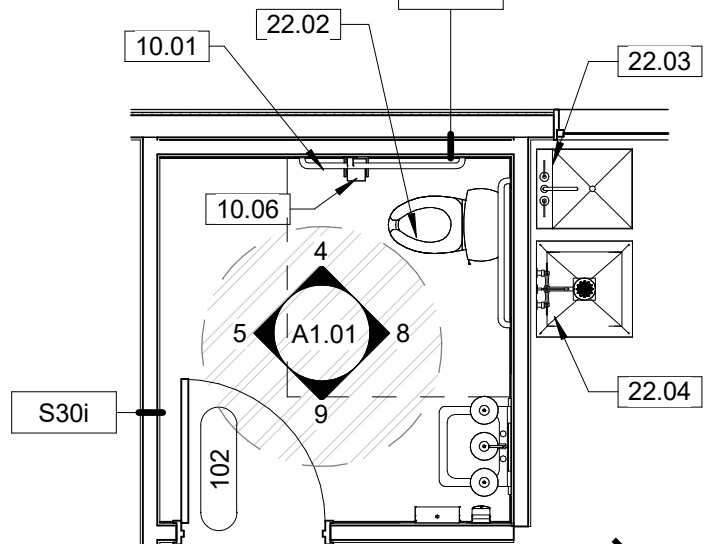
9 RESTROOM SOUTH ELEVATION
1/4" = 1'-0"



8 RESTROOM EAST ELEVATION
1/4" = 1'-0"



3 ENLARGED FLOOR PLAN
1/4" = 1'-0"



- SHEET NOTES - FLOOR PLAN**
- ALL DIMENSIONS ARE TO STRUCTURAL GRID, FACE OF MASONRY/CONCRETE, OR FACE OF STUD UNO
 - RE- CODE AND OCCUPANCY PLANS FOR REQUIRED FIRE RATINGS AND SMOKE PARTITIONS
 - CONTRACTOR TO VERIFY ALL COLUMN AND ROOF DRAIN FURR OUTS IN FIELD PROVIDE BRACKING AND/OR SUPPORTS AT ALL WALL MOUNTED CABINETRY, EQUIPMENT, FIXTURES, ETC.
 - AT ALL WALLS WITH SOUND ATTENUATION, SEAL TOP OF WALL AT STRUCTURE AND BOTTOM OF WALL WITH SOUND SEALANT.
 - AT ALL WALLS THAT EXTEND TO STRUCTURE, PROVIDE DEFLECTION TRACK. SEE WALL DETAILS FOR TYPICAL CONDITION.
 - FOR ALL WET CONDITIONS, PROVIDE WATER RESISTANT BACKER BOARD IN LIEU OF GYPSUM BOARD.
 - UNLESS NOTED OTHERWISE, ALL GWB WALLS SHALL HAVE 6" STUD FRAME RETURN AT ALL DOOR JAMBS.
 - PAIN ALL WALLS AND GYP BD CEILING SHERWIN WILLIAMS SW 7055 RESERVED WHITE, EGGSHELL FINISH.

- SHEET NOTES - CEILING PLAN**
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL ITEMS TO BE PROVIDED AT THE CEILING PLANE AND IN THE WORK.
 - CENTER ALL LIGHT FIXTURES AND SPRINKLER HEADS IN THEIR RESPECTIVE CEILING PANEL UNO.
 - ALL SOFFIT DIMENSIONS SHOWN ARE TO FACE OF FINISH.
 - SUSPENSION SYSTEMS FOR GYPSUM BOARD CEILINGS SHALL BE INSTALLED PER ASTM C754.

- FLOOR PLAN LEGEND**
- NEW CONSTRUCTION
 - DOOR TAG
 - WINDOW TAG
 - STOREFRONT TAG
 - WALL TAG, RE: ASSEMBLIES

- CEILING PLAN LEGEND**
- GYP. BD CEILING
 - OPEN TO STRUCTURE
 - RECESSED LED DOWNLIGHT
 - 1x4 SUSPENDED LED
 - WALL MOUNTED VANITY LIGHT

- KEYNOTE LEGEND**
- | NO. | KEYNOTE / REFERENCE NOTE |
|-------|--|
| 10.01 | INSTALL ADA GRAB BARS, REF. ADA DETAILS ON A0.01 SHEET |
| 10.03 | SOAP DISPENSER |
| 10.04 | MIRROR |
| 10.05 | PAPER TOWEL DISPENSER |
| 10.06 | TOILET PAPER DISPENSER |
| 22.01 | SINK, RE: PLUMBING DWGS. |
| 22.02 | TOILET, RE: PLUMBING DWGS. |
| 22.03 | UTILITY SINK, RE: PLUMBING DWGS. |
| 22.04 | INSULATED PIPE COVER PER CABO-ANSI |
| 23.01 | ROOFTOP EQUIPMENT, COORDINATE WITH MECHANICAL DRAWINGS. |
| 26.02 | VANITY LIGHT FIXTURE CENTERED ABOVE SINK, RE: ELECTRICAL DWGS. |

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STAMP:

CONSULTANT:

REVISIONS

No.	Description	Date

OWNER
ALIC PROPERTIES, LLC

PROJECT
NEW VEHICLE SALES SUPPORT BUILDING

PROJECT ADDRESS
112 W 42ND STREET
GARDEN CITY, ID 83714

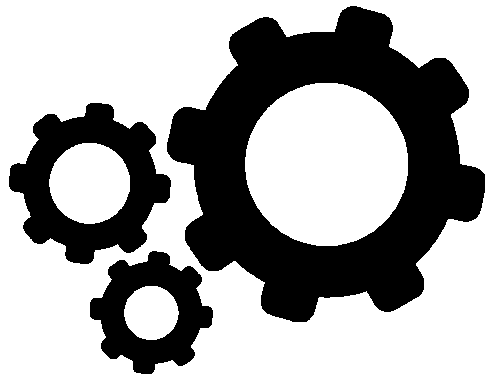
SHEET NAME
FLOOR PLAN & RCP

PROJECT NUMBER
24-34

SHEET ISSUE DATE
11/21/24

SUBMITTAL
DR REVISIONS

SHEET
A1.01



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- SHEET NOTES - ROOF PLAN**
1. MINIMUM SLOPE AT ALL ROOFS SHALL BE 1/4" PER FOOT
 2. PROVIDE FLASHING PER DETAILS AT ALL CONDUIT AND HVAC LINES PENETRATING THE ROOF
 3. REFER TO MEP DRAWINGS FOR ALL ROOF TOP EQUIPMENT
 4. SEPARATE DISSIMILAR METALS AS THEY OCCUR PER MANUFACTURERS RECOMMENDATIONS. REVIEW METHODS AND MATERIAL WITH ARCHITECT

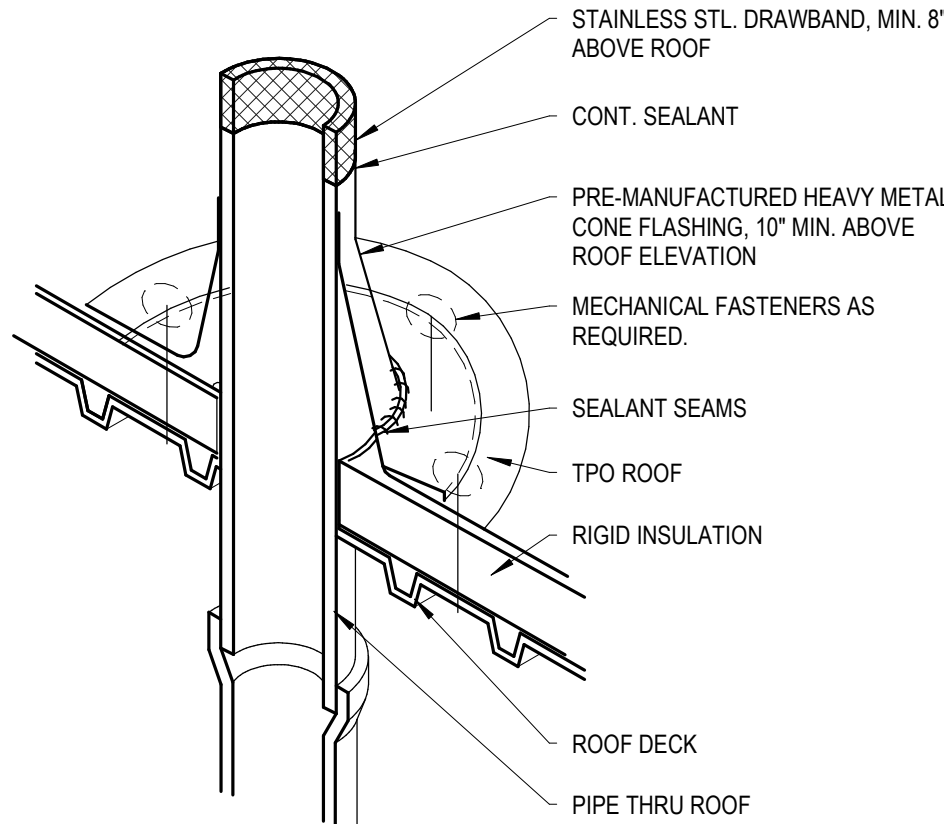
KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
7.01	METAL DOWNSPOUT, COLOR TO MATCH BUILDING.
7.02	PREFINISHED METAL GUTTER.

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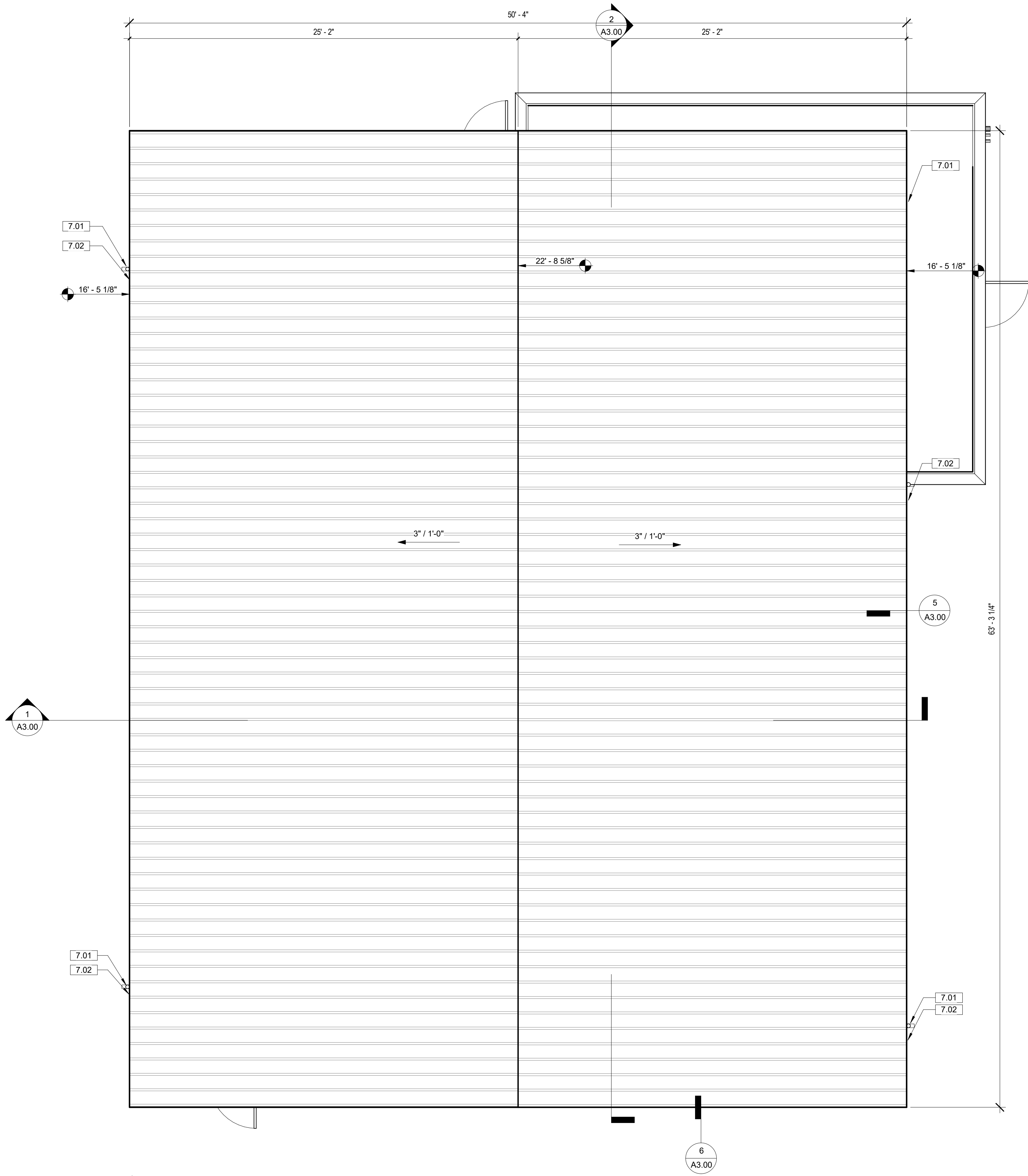
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REVISIONS

No.	Description	Date



2 PIPE FLASHING DETAIL
3" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"

OWNER
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PROJECT
NEW VEHICLE SALES SUPPORT BUILDING

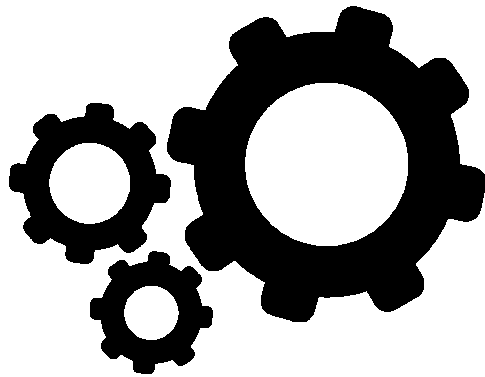
PROJECT ADDRESS
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GARDEN CITY, ID 83714

SHEET NAME
ROOF PLAN

PROJECT NUMBER	24-34
SHEET ISSUE DATE	11/21/24
SUBMITTAL	DR REVISIONS

SHEET

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No.	Description	Date

KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
4.01	CMU VENEER WAINSCOT.
5.01	STANDING SEAM METAL ROOF, MBCI DOUBLE-LOK TUNDRA OR EQUAL.
5.02	PRE-ENGINEERED METAL BUILDING, REF: PEMB DWGS.
5.03	29 GA. CORRUGATED STEEL PANELS, MBCI CORRUGATED METAL SIDING HARBOR BLUE OR EQUAL.
7.01	METAL DOWNSPOUT, COLOR TO MATCH BUILDING.
7.02	PREFINISHED METAL GUTTER.
32.03	BIKE RACK.
32.04	ASPHALT PARKING LOT SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.
32.10	6" HIGH ADDRESS NUMBERS, VERIFY LOCATION IN THE FIELD.



STANDING SEAM METAL ROOF
MBCI DOUBLE-LOK TUNDRA OR EQUAL

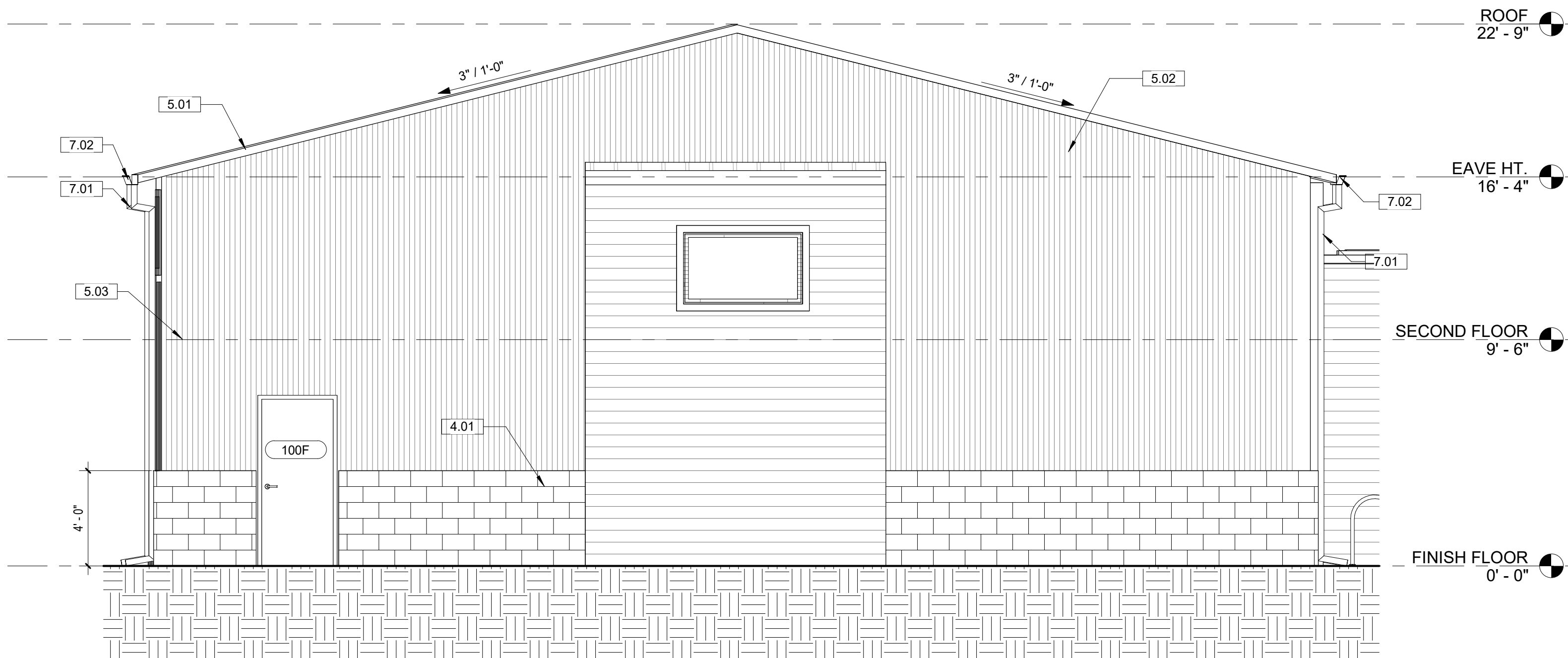


CORRUGATED METAL PANELS
MBCI HARBOR BLUE OR EQUAL



SPLIT FACE CMU WAINSCOT
BASALITE 695 GREY OR EQUAL

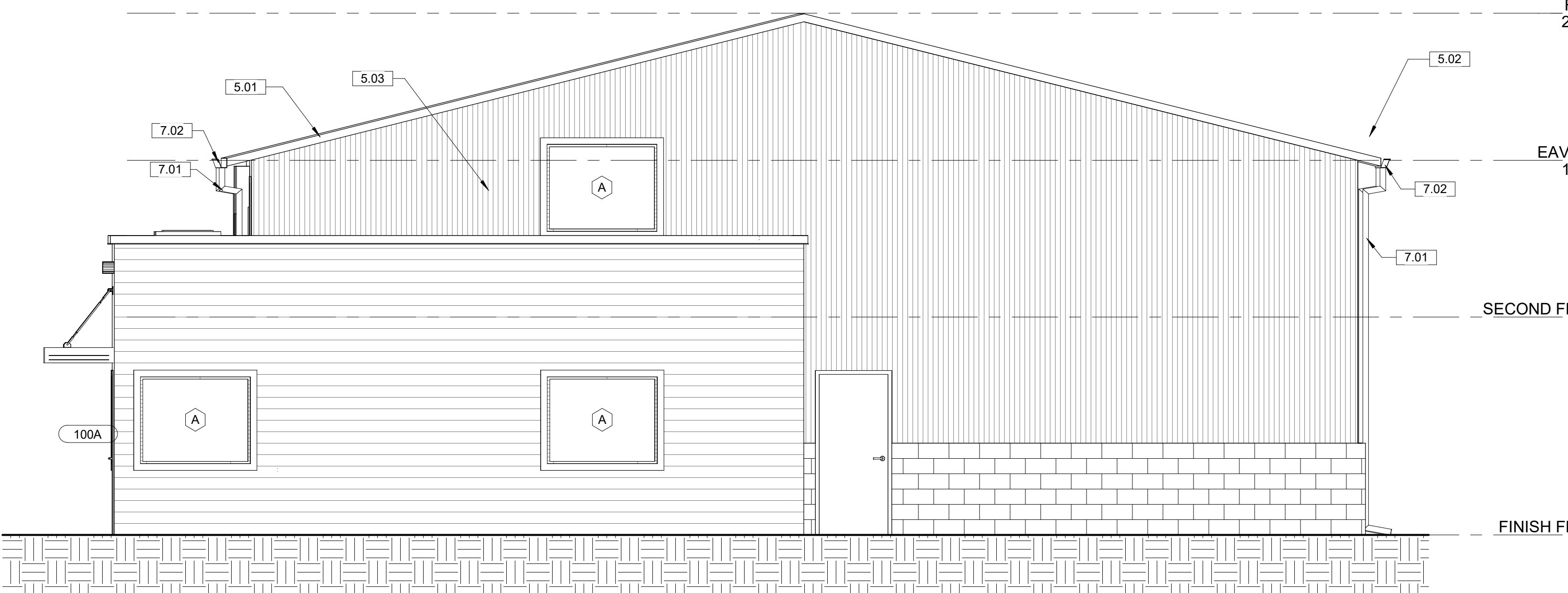
EXTERIOR FINISHES
1/2" = 1'-0"



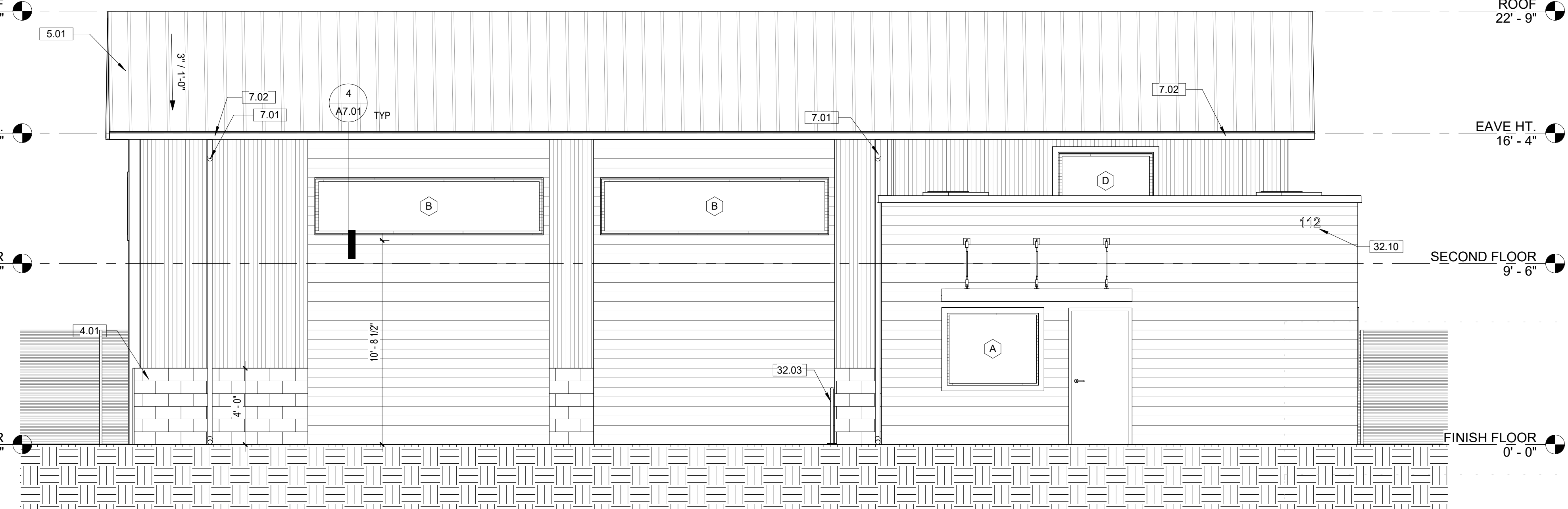
4 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

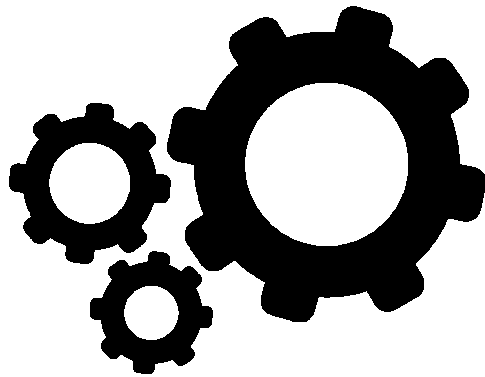
OWNER
ALIC PROPERTIES, LLC
PROJECT
NEW VEHICLE SALES SUPPORT BUILDING
PROJECT ADDRESS
112 W 42ND STREET
GARDEN CITY, ID 83714

SHEET NAME
EXTERIOR ELEVATIONS

PROJECT NUMBER	24-34
SHEET ISSUE DATE	11/21/24
SUBMITTAL	DR REVISIONS

SHEET

A2.01



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208-649-8306
www.studioharchitects.com

STAMP:

CONSULTANT:

REVISIONS		
No.	Description	Date

KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
3.05	INTERIOR SLAB ON GRADE, RE: PEMB DWGS.
4.01	CMU VENEER WANSKOT.
5.01	STANDING SEAM METAL ROOF, MBCI DOUBLE-LOK TUNDRA OR EQUAL.
6.01	2x6 DOUG FIR #2 OR BETTER @ 12" OC CEILING FRAMING W/ SIMPSON STRONG TIE BA28 TOP MOUNT HANGER.
7.01	METAL DOWNSPOUT, COLOR TO MATCH BUILDING.
7.02	PREFINISHED METAL GUTTER.
7.03	RIGID INSULATION, R-13.
7.06	R-46 BATT INSULATION.
7.07	BITUMINOUS DAMPPROOFING.
7.09	VAPOR RETARDER.
26.01	LIGHTING, RE: ELECTRICAL DWGS.
32.04	ASPHALT PARKING LOT SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.
32.09	FILLER STRIP.

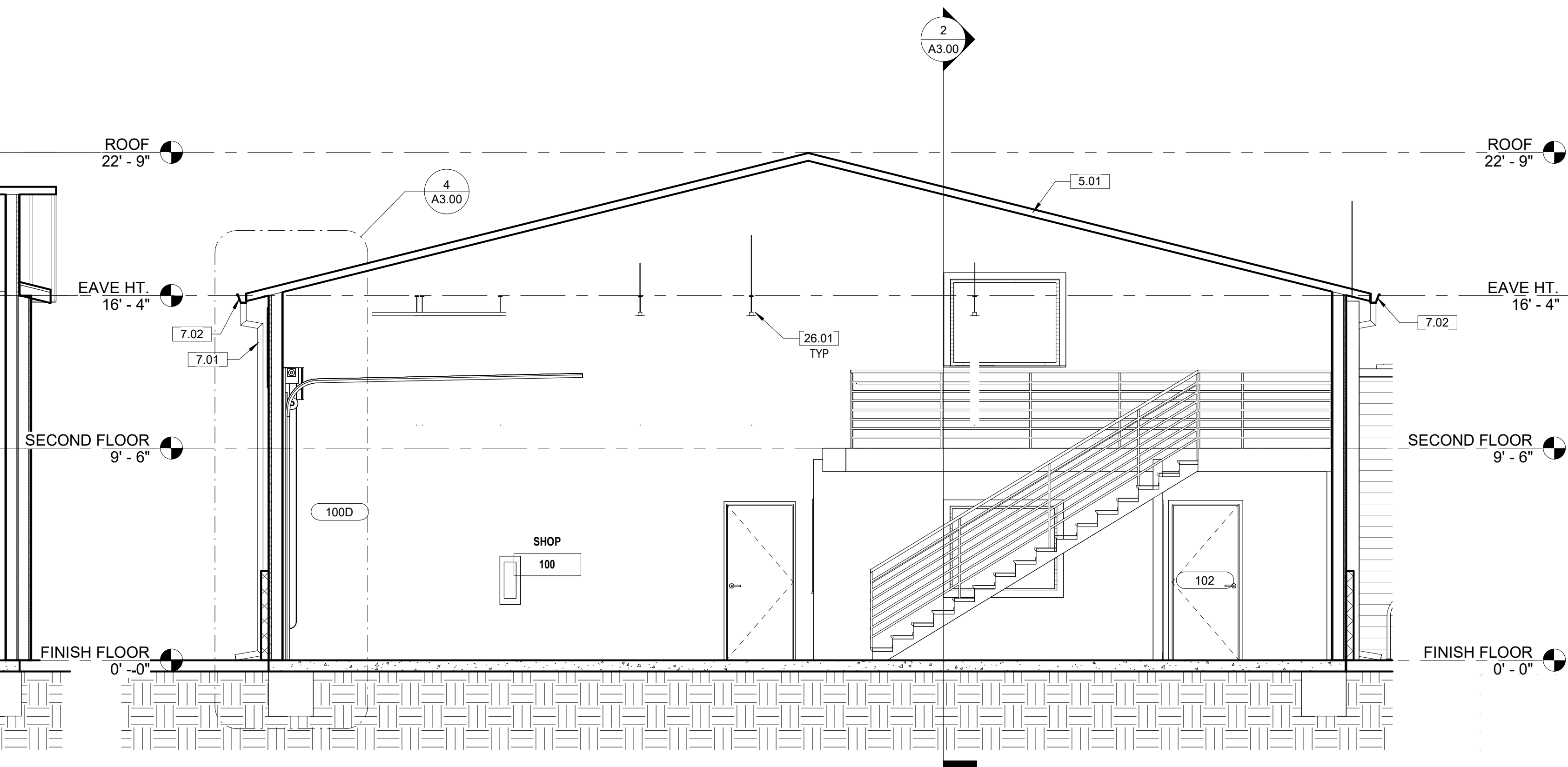
OWNER
ALIC PROPERTIES, LLC
PROJECT
NEW VEHICLE SALES SUPPORT BUILDING
PROJECT ADDRESS
112 W 42ND STREET
GARDEN CITY, ID 83714

SHEET NAME
BUILDING SECTIONS & DETAILS

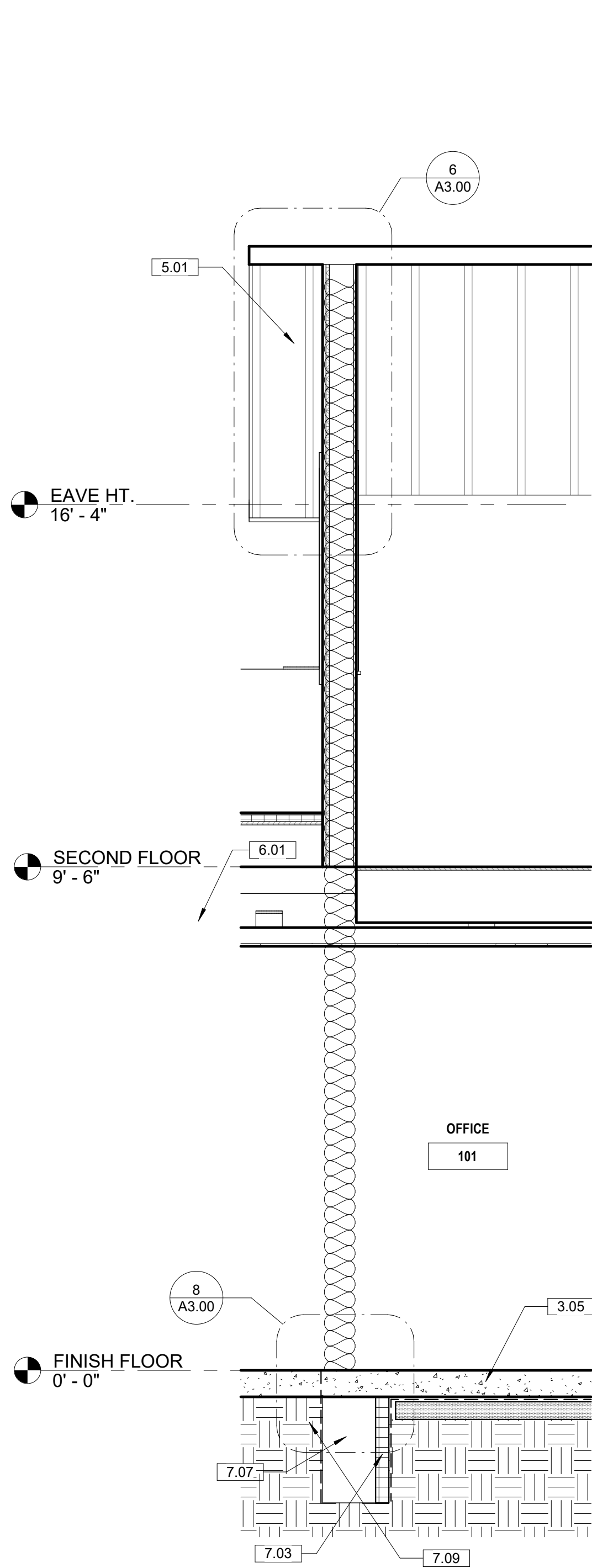
PROJECT NUMBER	24-34
SHEET ISSUE DATE	11/21/24
SUBMITTAL	DR REVISIONS

SHEET

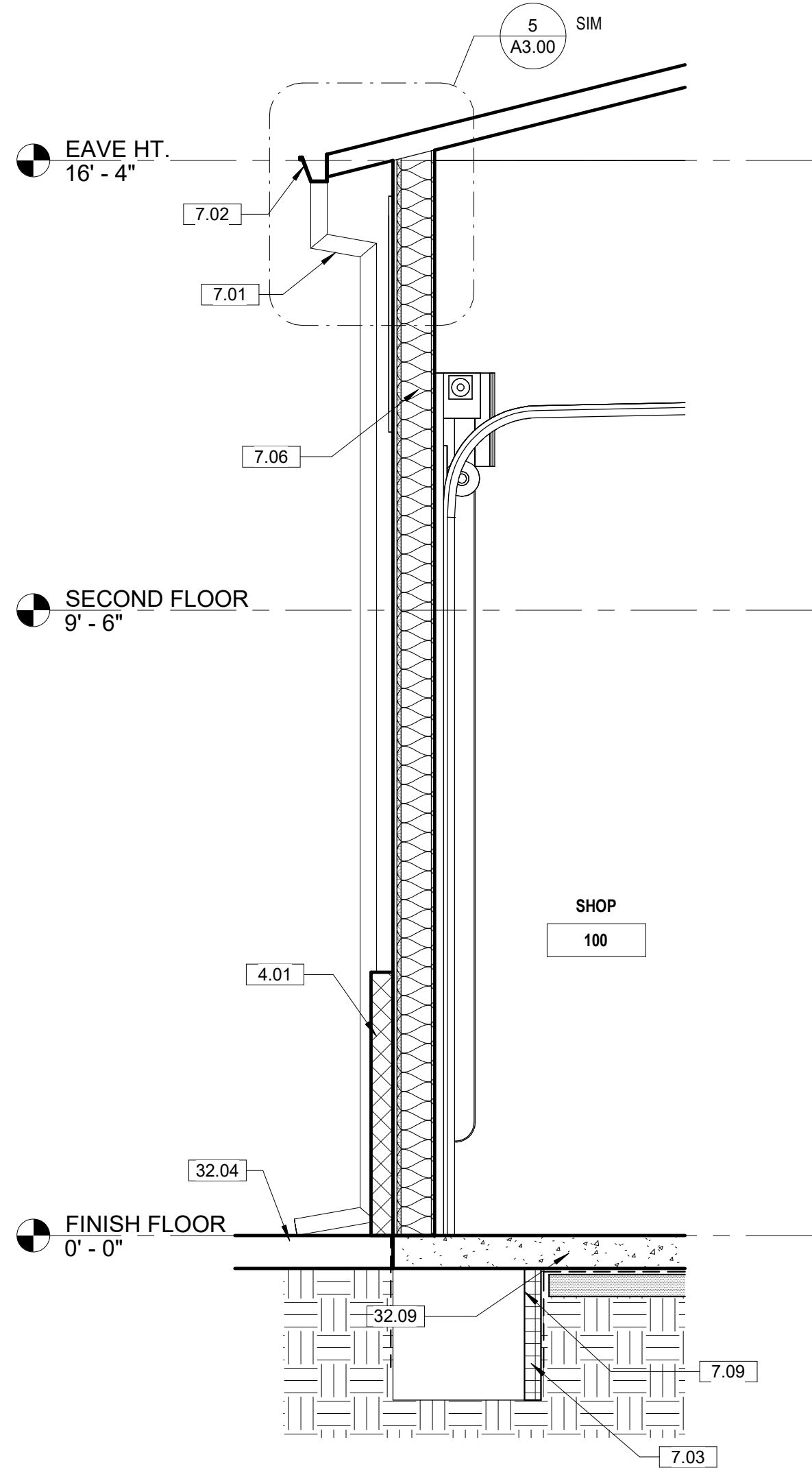
A3.00



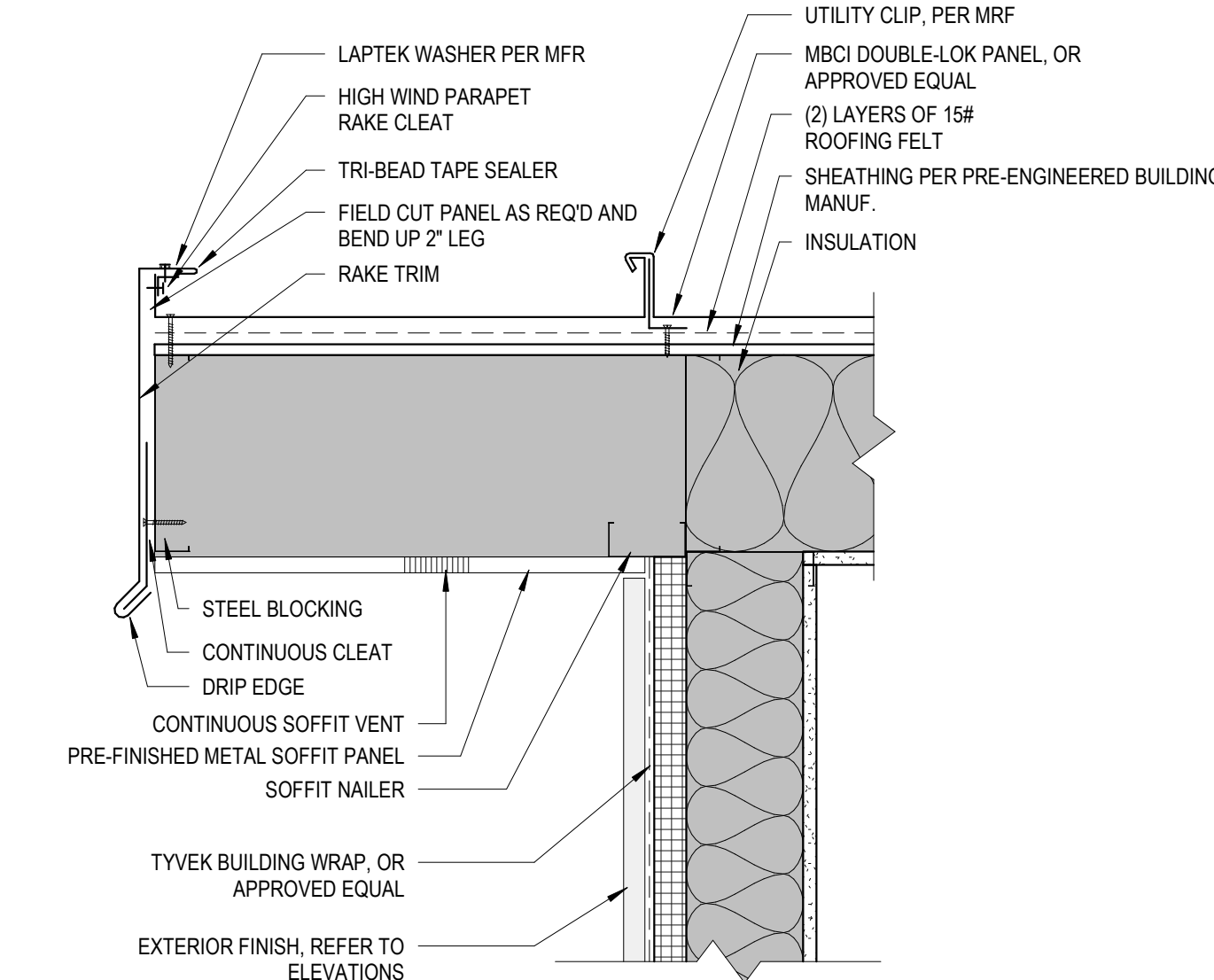
1 Section 4
1/4" = 1'-0"



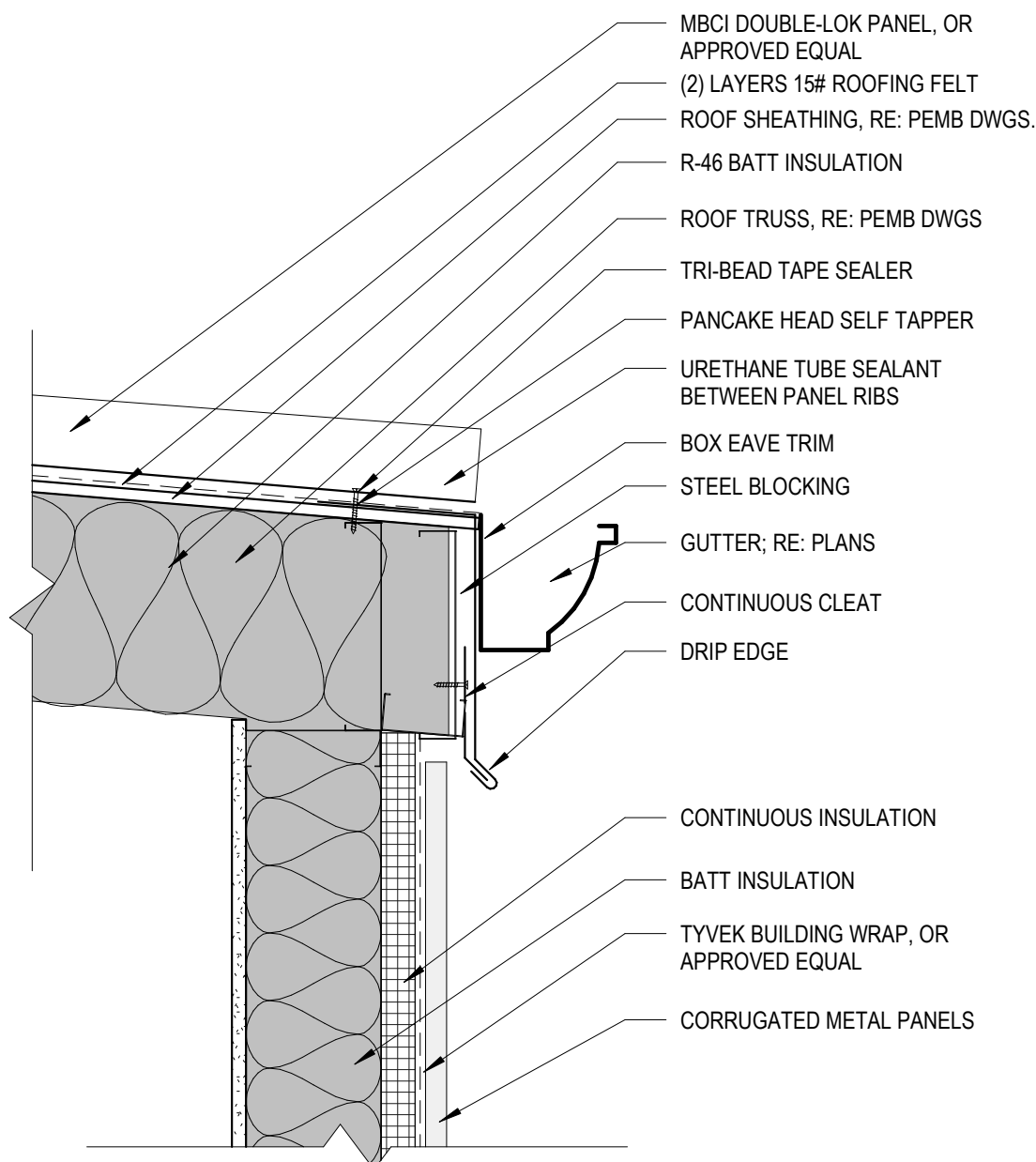
3 EXTERIOR WALL SECTION B
1/2" = 1'-0"



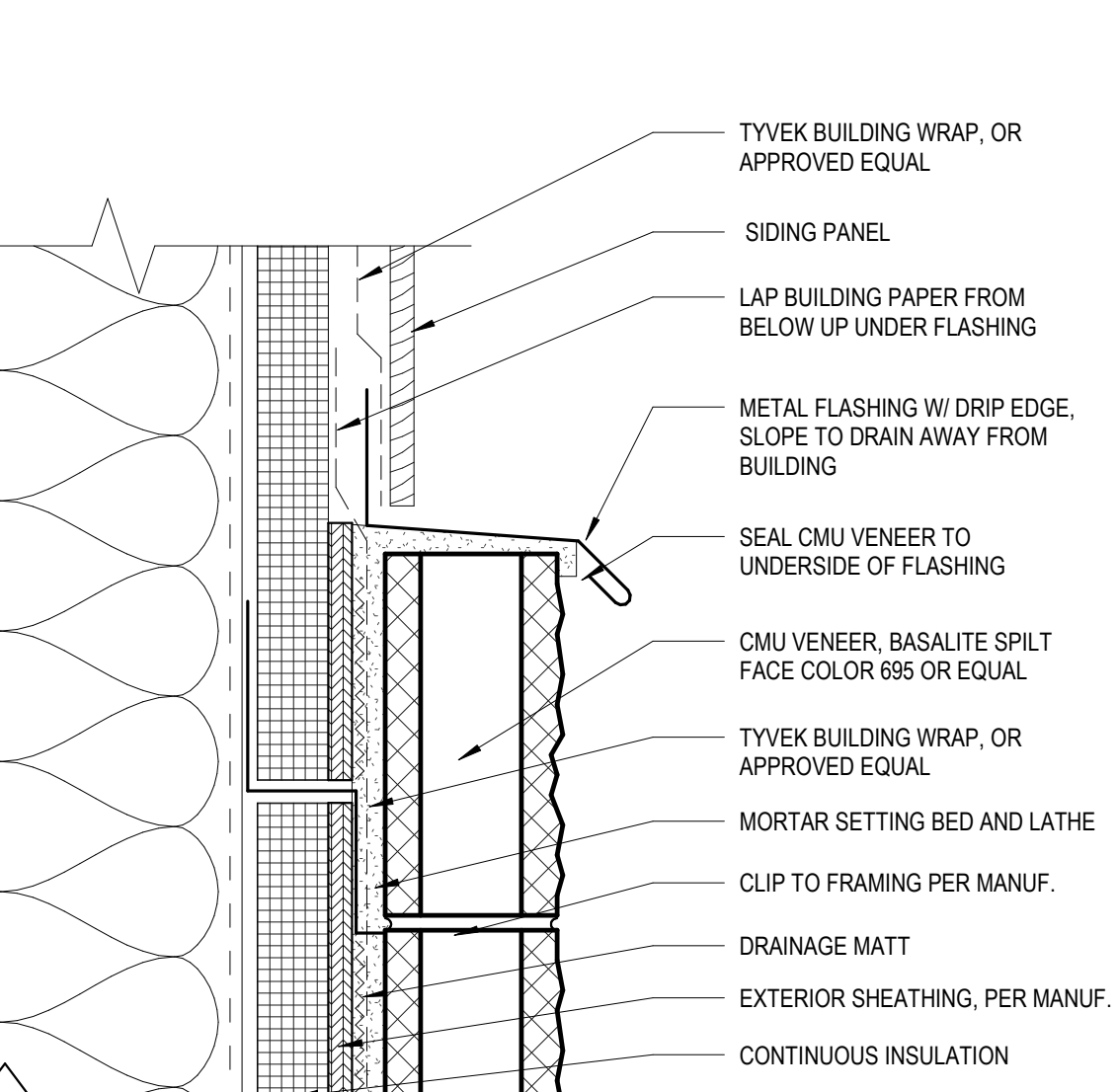
4 EXTERIOR WALL SECTION A
1/2" = 1'-0"



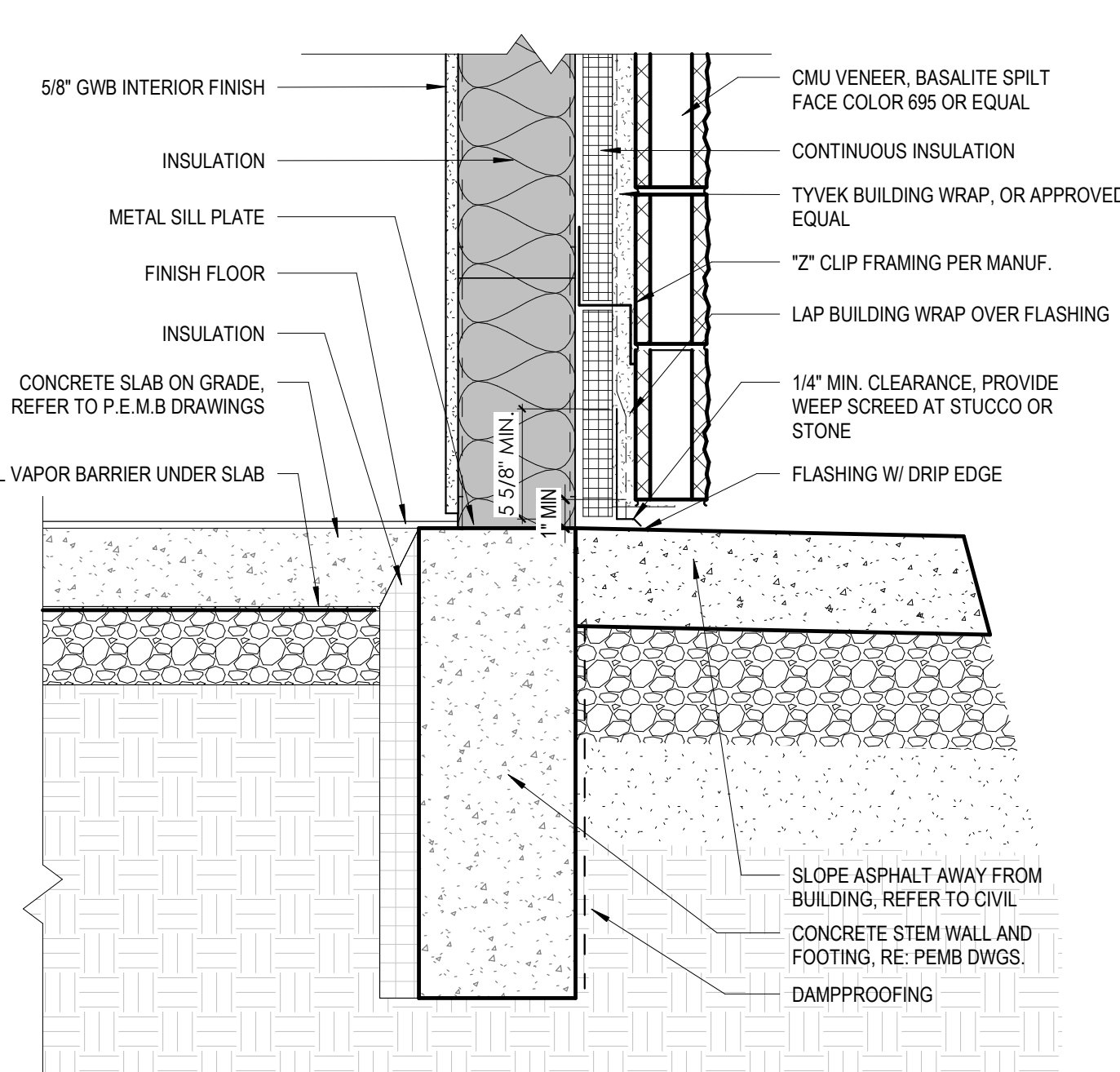
6 STANDING SEAM ROOF @ RAKE
1 1/2" = 1'-0"



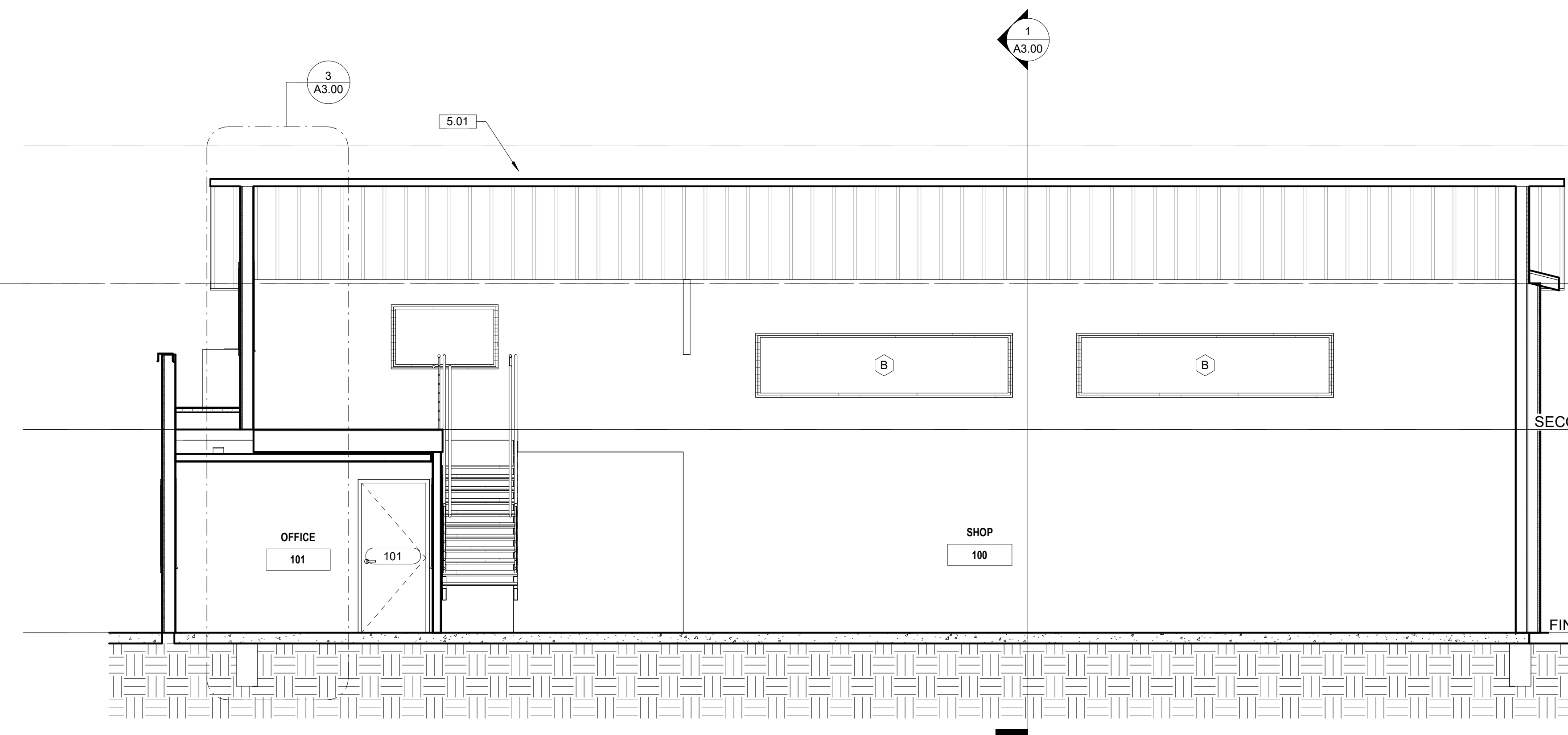
5 STANDING SEAM ROOF @ LOW SIDE
1 1/2" = 1'-0"



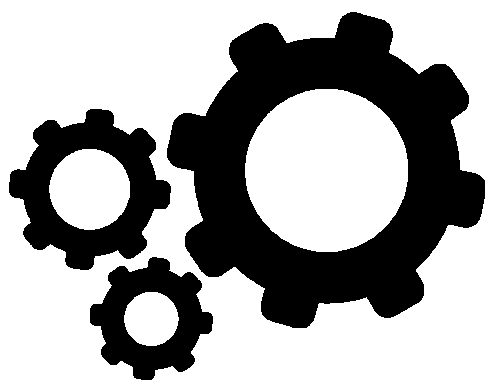
7 STONE VENEER TRANSITION DETAIL
3" = 1'-0"



8 TYP. FOUNDATION DETAIL
1 1/2" = 1'-0"



2 Section 5
1/4" = 1'-0"



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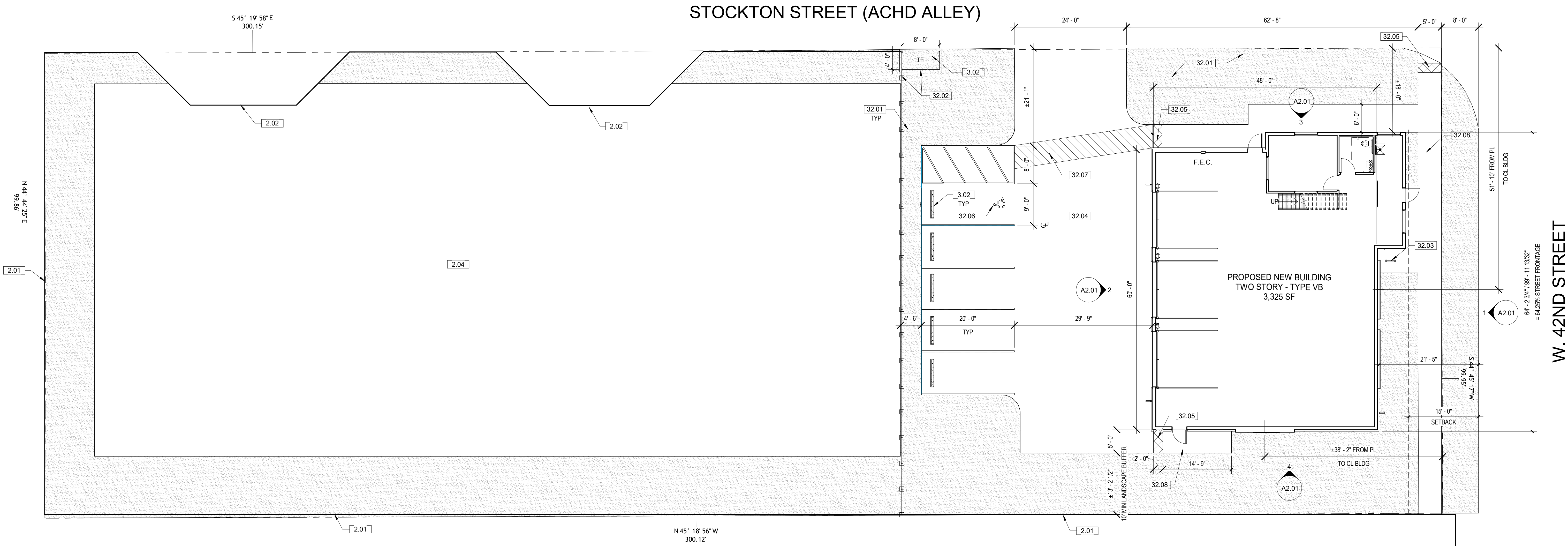
CONSULTANT:

REVISIONS

No.	Description	Date

SHEET NOTES - SITE PLAN
1. SLOPE AWAY FROM BUILDING MIN. 2% 2. CONTRACTOR TO VERIFY ALL SETBACKS AND EASEMENTS.
ZONING INFORMATION
SITE: 0.689 ACRES PARCEL #: RZ734510330 ZONING: C-2 MAX. HEIGHT: NONE INDICATED SETBACKS: 5' ON ALL SIDES
PARKING CALCULATIONS
PARKING: 9'x20' STALLS, 24' DRIVE AISLE LOW PARKING DEMAND (VEHICLE SALES) 1 SPACE PER EVERY 2,000 GSF 3,325 SF / 2,000 = 1.66 = 2 SPACE REQUIRED NOTE: 5 PARKING SPACES REQ'D PER CUPFY2022-0009 BICYCLE PARKING: MEDIUM PARKING DEMAND (VEHICLE SALES) 1 SPACE PER 4,000 SF 3,325 SF / 4,000 = 0.83 = 1 SPACE REQUIRED PROVIDED: 4 STANDARD SPACES 1 ACCESSIBLE SPACE TOTAL: 5 STALLS 1 BICYCLE SPACE

KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
2.01	EXISTING FENCE TO REMAIN. REPAIR AS REQUIRED PER NEW CONSTRUCTION. NOTE: CHAIN LINK FENCING TO BE REMOVED AND REPLACED WITH NEW COMPLIANT FENCING WITHIN TWO YEARS OF DR APPROVAL PER CUPFY2022-0009 EXTENSION 2.07222004
2.02	EXISTING GATE. REPAIR AS REQUIRED PER NEW CONSTRUCTION.
2.04	EXISTING GRAVEL PARKING LOT TO REMAIN.
3.02	EXTERIOR CONCRETE SLAB ON GRADE, RE: CIVIL DWGS.
32.01	LANDSCAPING, RE: LANDSCAPE PLAN.
32.02	NEW 6H METAL FENCING.
32.03	BIKE RACK
32.04	ASPHALT PARKING LOT SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.
32.05	DETECTABLE WARNINGS.
32.06	ACCESSIBLE PARKING AND ACCESS AISLE, RE: CIVIL DWGS.
32.07	ACCESSIBLE PATH OF TRAVEL, RE: CIVIL DWGS.
32.08	EXTERIOR SLAB ON GRADE, SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.



1 SITE PLAN
3/32" = 1'-0"

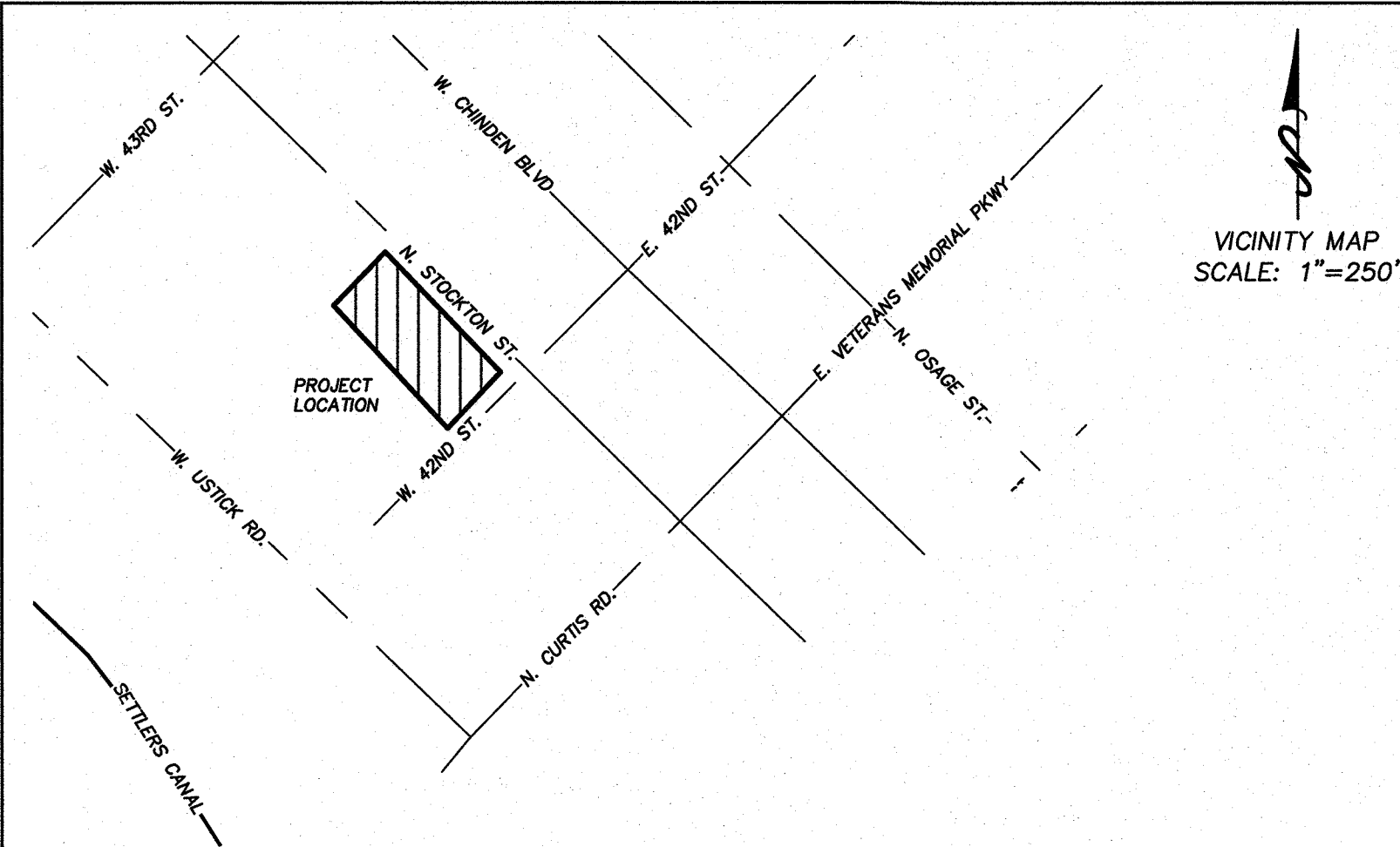
OWNER
ALIC PROPERTIES, LLC
PROJECT
NEW VEHICLE SALES SUPPORT BUILDING
PROJECT ADDRESS
112 W 42ND STREET
GARDEN CITY, ID 83714

SHEET NAME
ARCHITECTURAL SITE PLAN

PROJECT NUMBER	24-34
SHEET ISSUE DATE	11/21/24
SUBMITTAL	DR REVISIONS

SHEET

A1.00



GARDEN CITY
STANDARD CONSTRUCTION NOTES FOR PROJECTS
THAT CONTAIN PUBLIC WATER, PUBLIC SEWER, NON-ACHD
DRAINAGE, PRIVATE ROADS AND/OR PERMEABLE PAVERS

AUGUST 2022

Notes Applicable to All Construction

- Compliance with the Idaho Department of Environmental Quality (IDEQ) requirements for protection from erosion by storm water is required for this project. A Responsible Party (RP) shall be responsible to comply with the IDEQ requirements. If the owner has not designated a RP, the contractor shall be required to provide a RP. The RP is required to prepare, file and comply with the Storm Water Pollution Prevention Plan (SWPPP) for this project. The RP is responsible to file a Notice of Intent (NOI) to construct with IDEQ. IDEQ must officially accept the NOI prior to beginning any site disturbance activities. The SWPPP is a document/plan that is required to be updated and amended to best fit the site as construction occurs. The RP is responsible to keep the plan current. At completion of all construction activities and after the project site is stabilized for erosion control, the RP is required to prepare and submit a Notice of Termination of the SWPPP with IDEQ.
- or, for sites under one acre-
- The contractor shall comply with the City of Garden City's approved Erosion and Sediment Control Plan (ESCP) for this project. A Responsible Party (RP) shall be responsible to comply with the ESCP requirements. If the owner has not designated a RP, the contractor shall be required to provide a RP. The RP is required to comply with the City of Garden City's ordinance for control for erosion from this construction site. The ESCP is a document/plan that is required to be updated and amended to best fit the site as construction occurs. The RP is responsible to keep the plan current. At completion of all construction activities and after the project site is stabilized for erosion control, the ESCP is terminated.
- All construction, materials, appurtenances and testing shall comply with the requirements of the 2020 edition of the Idaho Standards for Public Works Construction (ISPMC), unless specifically modified by these construction documents.
- The contractor, all applicable sub-contractors, developer/owner, utility company representatives, a Garden City Department of Public Works representative and an Ada County Highway District representative shall attend a pre-construction conference prior to commencement of construction.
- The contractor shall obtain a construction permit from the Ada County Highway District at least 24 hours prior to commencing construction of any of the improvements shown hereon located within public right-of-way.
- Construction inspection shall be performed by the project engineer, the Ada County Highway District and/or the Garden City Department of Public Works. Inspection by the Garden City Department of Public Works will be for Department purposes only to spot check work compliance with the city's requirements. It is the project engineer's responsibility to assure compliance with the project plans and specifications.
- The contractor shall verify site conditions and dimensions prior to beginning work. Any deviations, omissions or errors shall be presented to the project engineer for resolution. Any changes to the plans and specifications shall be submitted to and approved by the Garden City Department of Public Works prior to implementation of the change. Said change may also need to be submitted to the Idaho Department of Environmental Quality for approval.
- The contractor shall contact Digline (811) and other appropriate utility providers for utility locations at least 72 hours prior to beginning any excavation.
- Any waters created by dewatering shall not be permitted to directly discharge to any existing surface water facility. Prior to discharging to waters of the state of Idaho, the contractor shall secure a short-term activity exemption from the applicable regional office of the Idaho Department of Environmental Quality.
- Horizontal and vertical separation of potable and non-potable pipelines shall meet the requirements of ISPMC Section 405 and ISPMC Drawing No. 407.

OZZY'S CAR COMPANY
CIVIL IMPROVEMENT DRAWINGS

A PART OF THE NW 1/4, NW 1/4, SECTION 5, T. 3N, R. 2E, B.M. LOT
4 BLOCK D OF FAIRVIEW ACRES SUBDIVISION NO. 2
GARDEN CITY, ADA COUNTY, IDAHO
2024

Sanitary Sewer Notes

- All sewer pipe and fittings with cover greater than 3 feet, shall be Polyvinyl Chloride (PVC) conforming to the requirements of ASTM D-3034, SDR-35 for sizes 4-inch through 15-inch; ASTM F-679, SDR-35, T-1 wall for sizes 18-inch through 27-inch; or ASTM F-794, T-46 for sizes 18-inch through 36-inch. The minimum cover for all PVC sewer lines shall be 3 feet. Sewer pipe and fittings with cover less than 3 feet shall be Ductile Iron (DI) conforming to ANSI A-21.51 or AWWA C-151, minimum Class 50.
- Sanitary sewer manholes shall be constructed of reinforced precast concrete per the ISPMC with a maximum of 12 inches of concrete grade rings, a 24-inch diameter cast iron ring and cover and a concrete collar per ISPMC drawings SD-501, SD-505, SD-507, SD-508, SD-509. Manholes shall not have steps. The sewer contractor shall field verify that no more than 12-inches of grade rings are necessary to adjust the manhole to final grade. Grade rings, ring and covers shall be provided by the sewer contractor. Manhole cones shall be eccentric for all manholes 4 feet and deeper. The vertical wall of the cone shall be placed upstream and rotated 45°. Concentric cones shall be used for manholes less than 4 feet deep.
- Manufactured compression boots shall be used in manholes where pipelines enter and leave the manhole.
- Sewer service lines shall be ISPMC type 'A' or 'B' and constructed and marked per ISPMC Drawing SD-511A. Services shall not be deeper than 5 feet at the property line, unless specifically approved by the city. Services shall extend horizontally 10 feet beyond the property line. Service lines shall include an inspection cleanout placed directly adjacent to and inside public street right-of-way or the sewer easement line. The cleanout shall conform to SD-506A & SD-506B (bolt down cover option) with the riser being the same size as the service line.
- Service line connections to new mainlines shall use a full-service tee. Service line connections to existing mainlines that are concrete or a concrete derivative shall use a tapping saddle. Service connections to existing mainlines that are not concrete or a concrete derivative shall use an Insert-a-Tee or a prior approved equal.
- All sewer mains and services shall be bedded per the requirements of Type I bedding, except that bedding material shall be select ¾-inch maximum crushed gravel chips. All bedding shall be thoroughly shovel-sliced under the pipe.
- Groundwater levels shall be maintained below the trench bottom at all times during construction. Groundwater shall not be permitted to enter the pipeline system during construction. As soon as possible the contractor shall install a removable watertight plug in the new pipeline at the point of connection to the existing sewer system.
- Sewers shall be cleaned and tested after all utilities are installed and prior to paving. Material cleaned from the construction shall not be permitted to discharge to the downstream receiving pipeline. All installed sewer pipes shall be tested in accordance with Division 500 of the ISPMC. A representative of the city must be present must observe the testing. Mainline pipeline testing shall include air pressure, deflection and closed-circuit television (CCTV) visual inspection. Service line testing shall include air pressure and closed-circuit television (CCTV). The CCTV report shall be in the form of a VHS videotape or DVD and a written log. Manholes shall be vacuum or hydrostatically tested for leakage. The sewer system shall not accept any flows until the city issues an initial acceptance of the system.
- The contractor shall guarantee all work for a period of at least a one-year following the city's initial acceptance.
- Waterline Notes
- All water mains shall be Polyvinyl Chloride (PVC) conforming to the requirements of AWWA C-900, Class 235, DR-18. All fittings shall be mechanical joint or flanged ductile iron conforming to the requirements of AWWA C-110. All plastic pipe shall be installed with a #12 direct burial tracer wire placed along the north and east side of the main. The tracer wire will not be extended up in to or along valve boxes, but shall continue along the mainline, uninterrupted. Minimum burial depths for water mains shall be 4 feet from finish grade to the top of the pipe.
- Individual or dual water service connections 1-inch or smaller shall be Polyethylene pipe conforming to AWWA C-901, Class 200, DR-7.3. Services shall be constructed conforming to the Garden City standard drawing. Service pipelines shall be a minimum 1-inch, unless otherwise noted.
- Individual water service connections larger than 1-inch shall be Polyethylene pipe conforming to AWWA C-901, Class 200, DR-7.3. Services shall be constructed conforming to the ISPMC SD-402. Service pipelines shall be a minimum 2-inch, unless otherwise noted.
- Water valves shall be resilient-seat gate valves conforming to AWWA C-509 or AWWA C-515. All water valves shall be installed with a standard 5-1/4 inch diameter, two piece adjustable cast iron valve box, Tyler/Union series 6855, or equal. The cast iron cover shall be marked with the word "Water" as an integral part of the cover.
- Fire hydrants shall conform to AWWA C-502 and ISPMC Drawing SD-404. The pumper nozzle outlet shall be equipped with a "Storz" adapter.

- All water mains and services shall be bedded per the requirements of Type I bedding, except that bedding material shall be select ¾-inch maximum crushed gravel chips for water mains and 3/8-inch maximum crushed gravel chips for service lines. All bedding shall be thoroughly shovel-sliced under the pipe.
 - All installed water lines shall be tested for leakage in accordance with Section 401.3.6 of the ISPMC following installation of all utilities and prior to paving. Each meter setter shall be opened to be sure that the service corporation stop is open and the service is functional prior to paving. A representative of the city must be present must observe the testing. All installed water lines shall be flushed, disinfected and tested for bacteria in accordance with Section 401.3.9 of the ISPMC. The water system shall not be opened to the city system until the city issues an initial acceptance of the system.
 - The contractor shall guarantee all work for a period of at least a one-year following the city's initial acceptance.
- Drainage Notes
- All inspections shall require a 24-hour notice prior to the requested inspection time. Call the inspection hot line at 208-472-2920.
 - Prior to any earthwork a 24-hour notice to begin construction is required. Call inspection hot line at 208-472-2920.
 - Drainage inspections shall be conducted at any given time or upon request, during construction, verifying compliance with the city requirements and construction activities are followed as per the approved plans.
 - All drainage construction observations must be performed by the applicant's design engineer.
 - Submit to the Garden City Environmental Division the following documentation prior signature of the city on a final subdivision plat or prior to the final inspection for a Certificate of Occupancy, whichever occurs first:
 - The design engineer's drainage construction observation reports.
 - A signed, written statement from the design engineer that all drainage structures and appurtenances were constructed in accordance to the approved plans.
 - The drainage system and any filter fabric shall not be covered prior to inspection. Call the inspection hot line at 208-472-2920.
 - The size and location of the drainage system shall correspond with the approved drainage system plan and shall be inspected.
 - Final inspection of the storm drainage system shall be conducted following the paving and final landscaping.
 - All drainage conveyance access points shall be stenciled or marked with identifying statement for the public "Do Not Dump -System Drains to Groundwater" or "River", whichever is relevant to the system disposal design.
 - Traffic rated manhole lids shall be used.
 - All parking lot grades shall be at least 1% for asphaltic-concrete and 0.4% for concrete.

Roadway Construction Notes

- Manhole grade rings, cast iron rings and covers shall be provided by the sewer contractor. The road contractor shall install the sewer grade rings, cast iron rings, covers and concrete collars to finish grade. Water valve boxes and covers shall be provided by the water contractor. The road contractor shall install the water valve boxes covers and concrete collars to finish grade.

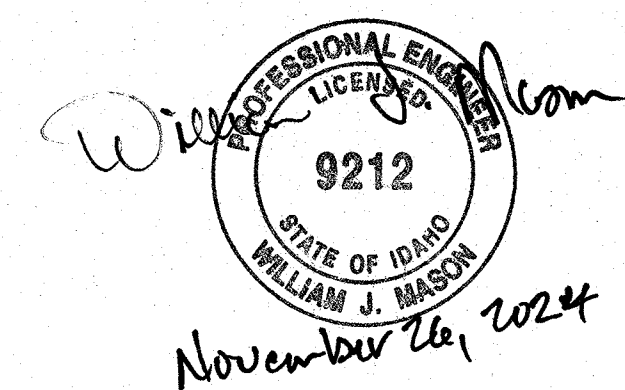
Permeable Paver Notes (when applicable)

- Garden City will not repair permeable paver surfaces or their base sections when city infrastructure (water mains, water services, sewer mains and sewer manholes) is located beneath them. The city will maintain the water/sewer facilities noted, but will not repair the storm drain facilities above them. Said repair is the responsibility of the private party owning/operating/maintaining the storm drain facilities.
- Sanitary sewer services from the connection to the mainline to the point of use will be private under permeable pavers. Ownership and repair of said private services will be the responsibility of the private party owning operating and maintaining the storm drain facilities.
- Permeable paver ownership/maintenance responsibilities shall be stated in an appropriate document (i.e. maintenance agreement, Covenants, Conditions and Restrictions, Final Plat).
- All water main lines under and within ten (10) feet of permeable pavers shall be ductile iron pipe.

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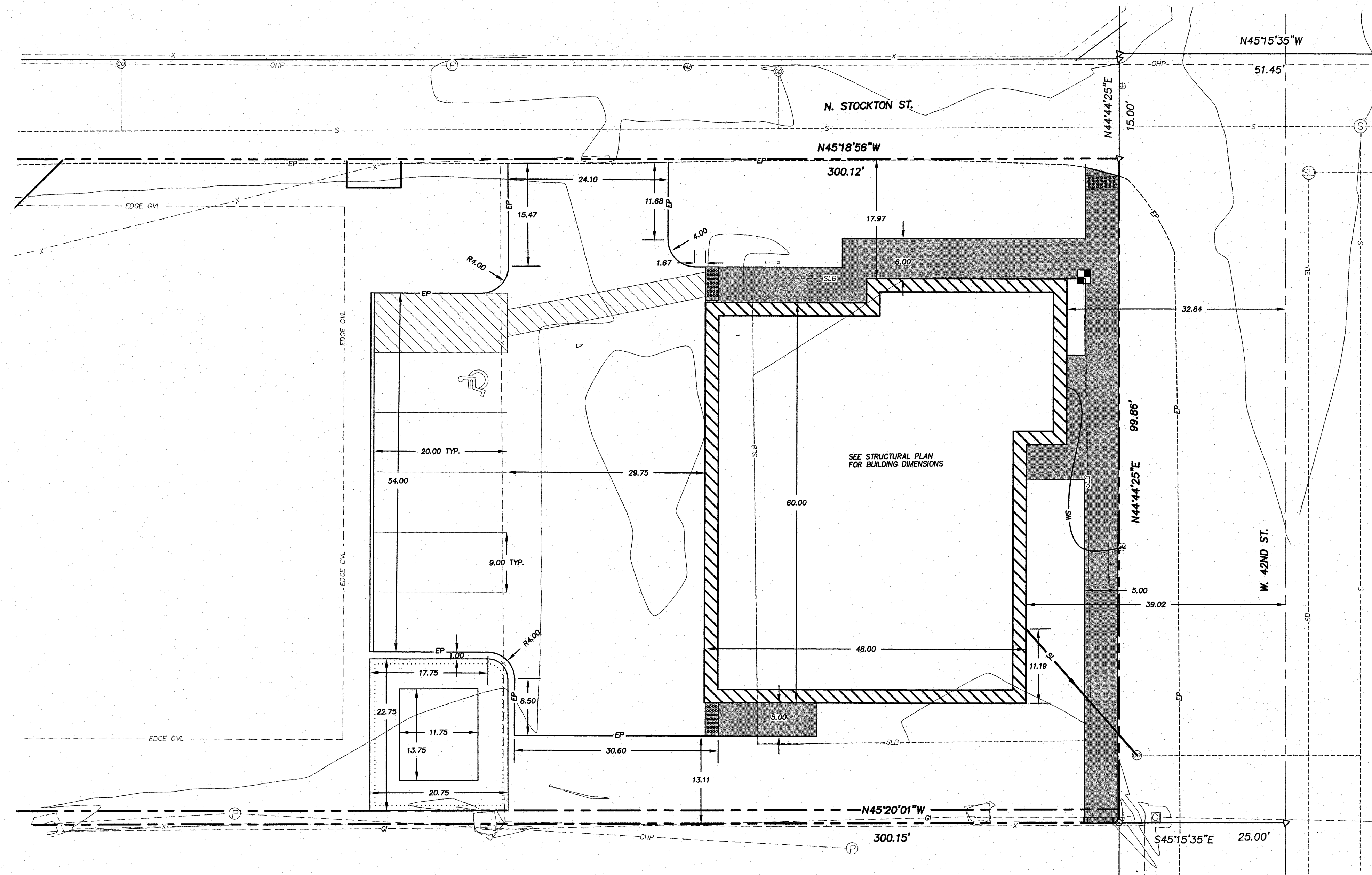
SHEET INDEX

C1: COVER SHEET
C2: DIMENSION SHEET
C3: GRADING, DRAINAGE UTILITY SHEET



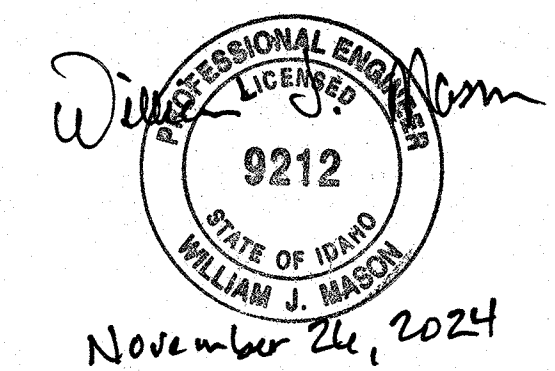
DRAWING TITLE: OZZY'S CAR COMPANY 112 W. 42ND ST. COVER SHEET		JOB NO. JN0224	DWG NO. JN0224 - 01	SCALE: Vert: N/A Hoz: N/A	FIELD BOOK NO. N/A	Rev	SHEETS OF 3	CLIENT: STUDIO H ARCHITECTS 306 NE 2ND ST. MERIDIAN, ID, 83642 (208) 649-8306 (208) 283-4593				<div><div><div>Mason & Associates</div><div>Professional Engineers, Land Surveyors & Planners</div><div>306 2nd St. South Merida, ID 83651 (208) 649-8266</div></div></div>	DESIGNED BY: SAP		NO	BY	DATE	DESCRIPTION
								DRAWN BY: SAP										
								CHECKED BY: WJM										
								APPROVED BY:										
								REVISIONS										

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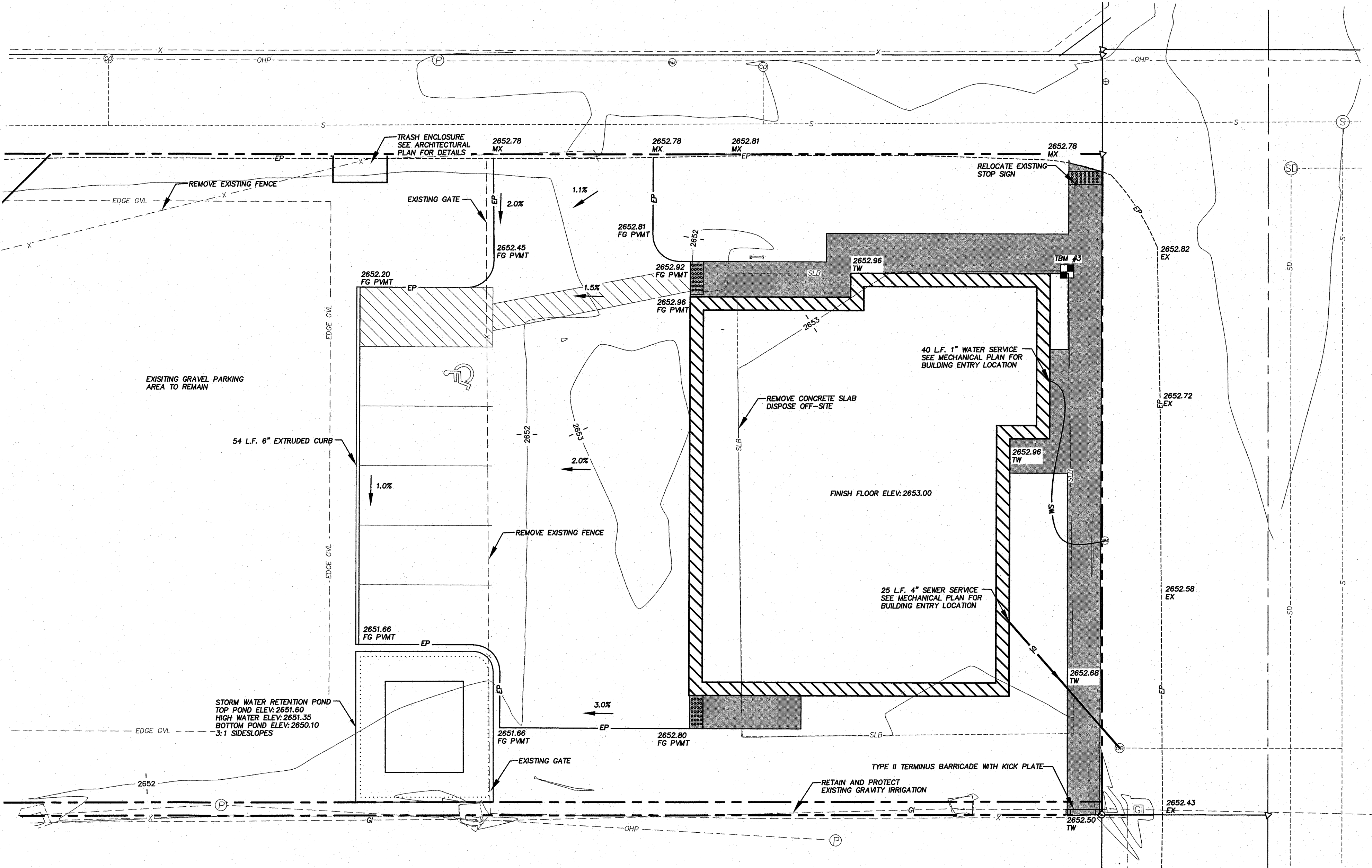
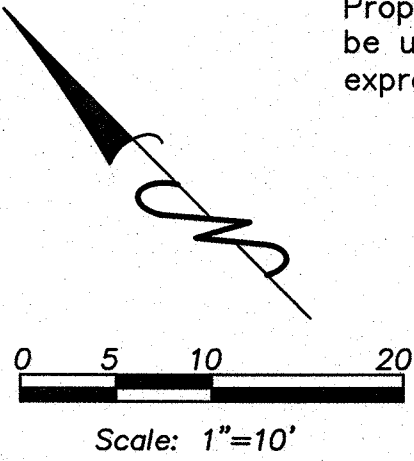


The diagram shows a traverse starting at a point, going up and to the right, then curving to go up and to the left, then curving to go down and to the left, then curving to go down and to the right, then curving to go up and to the right, and finally closing the traverse by going up and to the left to the starting point. Below the traverse is a scale bar with markings at 0, 5, 10, and 20. The scale is labeled "Scale: 1"=10'".

Line Table		
Line #	Direction	Length
L1	S80°13'11"E	20.53

[illegible]

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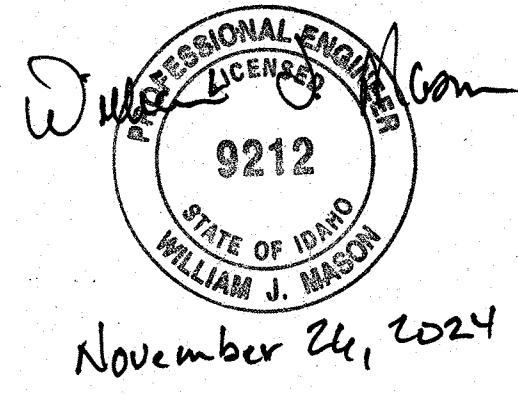


- LEGEND**
- Benchmark (TBM)
 - Calculated Point
 - Found Aluminum Cap Monument
 - Found Brass Cap Monument
 - Found 5/8" Iron Pin
 - Found 1/2" Iron Pin
 - Existing Power Pole
 - Existing Sanitary Sewer Manhole
 - Existing Sign
 - Existing Signal Box
 - Existing Cleanout
 - Existing Mail Box
 - Existing Street Light
 - Existing Sign Pole
 - Existing Electric Meter
 - Found Standpipe
 - Existing Faucet
 - Existing Catch Basin
 - Existing Gate Valve
 - Existing Water Meter
 - Existing Sprinkler Box
 - Existing A/C
 - Existing Gas Valve/Meter
 - Existing 4" ø Catch basin
 - Guy Anchor
 - Existing Gravity Irrigation Box
 - Existing Ballard
 - Property Boundary Line
 - Lot Line
 - Centerline
 - Natural Ground Contour Line
 - Existing Back of Walk
 - Existing Concrete
 - Existing Edge of Pavement
 - Existing Face of Walk
 - Existing Fence
 - Existing Lip of Gutter
 - Existing Overhead Power
 - Existing Slab
 - Existing Top Back Rolled Curb
 - Existing Top Back Vertical Curb
 - Existing Top of Wall

PROJECT BENCHMARKS

TBM #1
FOUND 2" ALUMINUM CAP MONUMENT "ACHD R.O.W.
1131+19.30 62.50' RT. 2001 PLS 5617" 6.6' SOUTH
OF STOP SIGN FOR CHINDEN BLVD. AND W. 42ND
ST. AND 7' NORTHWEST OF EXTRUDED CURB FOR
PARKING LOT OF OZZY'S CAR COMPANY.
NAVD88 ELEVATION=2653.76

TBM #3
CHISELED "X" IN THE EAST CORNER OF A
CONCRETE SLAB 13.6' NORTHWEST OF NORTHWEST
EDGE OF PAVEMENT FOR 42ND ST. AND 16.5'
SOUTHWEST OF SOUTHWEST EDGE OF PAVEMENT OF
STOCKTON ST.
NAVD88 ELEVATION=2653.03



DRAWING TITLE:		OZZY'S CAR COMPANY		JOB NO.		JN0224		CLIENT:		STUDIO H ARCHITECTS	
112 W. 42ND ST.		112 W. 42ND ST.		DWG NO.		JN0224 03		306 NE 2ND ST.		306 NE 2ND ST.	
GRADING, DRAINAGE AND UTILITY PLAN		GRADING, DRAINAGE AND UTILITY PLAN		SCALE:		N/A		MERIDIAN, ID, 83642		MERIDIAN, ID, 83642	
SHEET NO. C3 OF C3		SHEET NO. C3 OF C3		Ver:		1"=10'		(208) 649-8306		(208) 649-8306	
FIELD BOOK NO.		FIELD BOOK NO.		Horz.				(208) 283-4593		(208) 283-4593	
Rev		Rev		Field							

DESIGNED BY: SAP		8/24		NO		BY		DATE		DESCRIPTION	
DRAWN BY: SAP		8/24		O		O		O		O	
CHECKED BY: WJM		8/24		O		O		O		O	
APPROVD BY:				O		O		O		O	
REVISIONS											
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