



Studio H Architects, PLLC.
306 NE 2nd St.
Meridian, ID 83642

Preliminary Design Consultation Responses to Comments and Recommendations

December 3, 2024

DSRFY2024-0018
Ozzy's Car Company
112 W. 42nd Street
Garden City, ID 83714

Please see below for comments and responses to the Preliminary Design Consultation Comments and Recommendations. Also refer to the updated Grading Plan, Landscape Plan, Site Plan and SD Drawings for more information.

Comment:

1. Parking lot location.
 - a. Proximity to intersection
 - b. Can't back up onto Stockton Street.

Response:

The parking lot location is compliant with 8-4D Parking and Off Street Loading Provisions as noted in the Design Review Report and Decision dated October 21, 2024. The parking lot is designed where no vehicles are required to back up onto Stockton Street.

Comment:

2. Chain link and barbed wire to be removed.
 - a. Compliant fencing on Stockton has height limit of 3.5'.

Response:

A portion of the existing chain link fencing will be removed to accommodate the new parking lot and landscaping for the building. The remainder of the existing chain link fencing will be replaced with new compliant fencing within two years of DR approval per CUPFY2022-0009 extension granted on July 22, 2024. New fencing for a small trash enclosure with alley service will be maximum 6 feet tall to sufficiently screen the carts per section 8-4C-4-F. Additional new fencing perpendicular to Stockton Street will be installed to secure the remainder of the lot.

Comment:

3. Pre-fab buildings are prohibited. This has a long way to go to be compliant.

- a. Street facing inviting pedestrian entry.
- b. Fenestration.
- c. Roof line articulation.
- d. Articulation & relief.
- e. No blank walls.
- f. B key on East and West Elevations not explained.
- g. Glazing in garage doors
- h. Etc.

Response:

In lieu of a pre-engineered metal building, the Owner has elected to redesign the building using traditional wood framing. The main entrance has been relocated to face W. 42nd Street with an awning and additional windows for a more pedestrian friendly approach. A second story has been added to the design in order to comply with section 8-4C-3-A1 (minimum floor area ration of 1.0 or a minimum of two (2) stories). Additional materials and articulations have been incorporated into each elevation to comply with the objectives outlined in section 8-4C-3: General Provisions for Nonresidential Development. The roof lines support design standards and a portion of the roof will house and screen exterior mechanical equipment. Landscaping throughout the entire site is being installed in compliance with section 8-4I.

Comment:

- 4. FAR is far from compliant.

Response:

See above and updated SD drawings.

Comment:

- 5. Street frontage not compliant.

Response:

Street frontage along W. 42nd Street is compliant with section 8-4C-3-A3 with 64.25% street frontage. Frontage is not required along Stockton Street which is classified as an Alley by ACHD.

Comment:

- 6. Landscaping of full perimeter if this is one lot.
 - a. Street trees on Stockton and 42nd.
 - b. Pedestrian focus on Stockton.
 - c. Terminal view at end of drive aisle.
 - d. 75% vegetative coverage.
 - e. Stockton curb not shown.

Response:

Landscaping has been provided along full perimeter of the lot as required.

Refer to the updated Landscape Plan indicating grassy areas and landscaping along Stockton Street providing a pedestrian focus. A curb is not required on Stockton Street per ACHD approval GC22-0004/CUPFY2022-0009.

Comment:

7. Trash enclosure or other solution.

Response:

A small trash enclosure has been added at Stockton Street compliant with Republic Services' Solid Waste Design Standards for alley service.

Comment:

8. Screening of mechanical units.

Response:

As part of the updated building design, the mechanical units will be on the low roof and screened as required.

Comment:

9. Neighbors landscape concerns are not linked or duplicated in the packet. Just their sign in sheet.

Response:

There have been no attendees at any of the three neighborhood meetings held on June 12, 2024, September 23, 2024 and October 21, 2024. Please clarify.

Please don't hesitate to contact me with any questions.

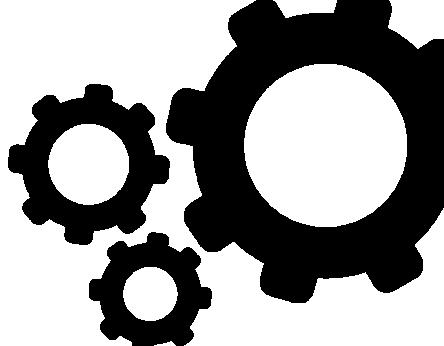
Thank you,



Julie Miller, CID, NCIDQ – Project Manager

Julie@studioharchitects.com

208.996.0528



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STAMP:

SHEET NOTES - FLOOR PLAN

1. ALL DIMENSIONS ARE TO STRUCTURAL GRID, FACE OF MASONRY/CONCRETE, OR FACE OF STUD, UNO
2. REFER TO OCCUPANCY PLANS FOR REQUIRED FIRE RATINGS AND SMOKE PARTITIONS.
3. CONTRACTOR TO VERIFY ALL COLUMN AND ROOF JOIST LOCATIONS IN FIELD.
4. PROVIDE BACKING AND DOOR SUPPORTS AT ALL WALL MOUNTED CABINETS, EQUIPMENT, FIXTURES, ETC.
5. ALL WALLS WITH SOUNDS ABSORPTION SHALL TOP OF WALL AT STRUCTURE AND BOTTOM OF WALL WITH SOUND SEALANT.
6. ALL WALLS THAT EXTEND TO STRUCTURE PROVIDE DEFLECTION TRACK. SEE WALL DETAILS FOR TYPICAL CONDITION.
7. FOR ALL WET CONDITIONS, PROVIDE VAPOR BARRIER AND BACKER BOARD IN LIEU OF GYPSUM BOARD.
8. UNLESS NOTED OTHERWISE, ALL GWB WALLS SHALL HAVE 6" STUD FRAME RETURN AT ALL DOOR JAMBS.
9. PROVIDED BY OWNER AND TO CEILING SHERWIN WILLIAMS SW 7056 RESERVED WHITE, EGGHELL FINISH.

SHEET NOTES - CEILING PLAN

1. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL ITEMS TO BE PROVIDED AT THE CEILING PLANE AND IN THE CEILING.
2. COORDINATE ALL LIGHT FIXTURES AND SPRINKLER HEADS IN THEIR RESPECTIVE CEILING PANEL UNO.
3. ALL SOFT DIMENSIONS SHOWN ARE TO FINISH FINISHES.
4. SUSPENSION SYSTEMS FOR GYPSUM BOARD CEILINGS SHALL BE INSTALLED PER ASTM C754.

FLOOR PLAN LEGEND

	NEW CONSTRUCTION
	DOOR TAG
	WINDOW TAG
	STOREFRONT TAG
	WALL TAG, RE: ASSEMBLIES

CONSULTANT:

REVISIONS	No.	Description	Date

CEILING PLAN LEGEND

	GYP. BD CEILING
	OPEN TO STRUCTURE
	RECESSED LED DOWNLIGHT
	1X4 SUSPENDED LED
	WALL MOUNTED VANITY LIGHT

KEYNOTE LEGEND

NO.	KEYNOTE / REFERENCE NOTE
10.01	INSTALL ADA GRAB BARS, REF. ADA DETAILS ON A0.01 SHEET
10.03	SOAP DISPENSER
10.04	MIRROR
10.05	PAPER TOWEL DISPENSER
10.06	TOILET PAPER DISPENSER
22.01	ROOFTOP EQUIPMENT, COORDINATE WITH MECHANICAL DRAWINGS
22.02	TOILET RE: PLUMBING DWGS.
22.03	UTILITY SINK RE: PLUMBING DWGS.
22.04	MOP SINK RE: PLUMBING DWGS.
22.06	INSULATED PIPE COVER PER CABO-ANSI
23.01	ROOFTOP EQUIPMENT, COORDINATE WITH MECHANICAL DRAWINGS
26.02	VANITY LIGHT FIXTURE CENTERED ABOVE SINK, RE: ELECTRICAL DWGS.

OWNER:

ALIC PROPERTIES, LLC

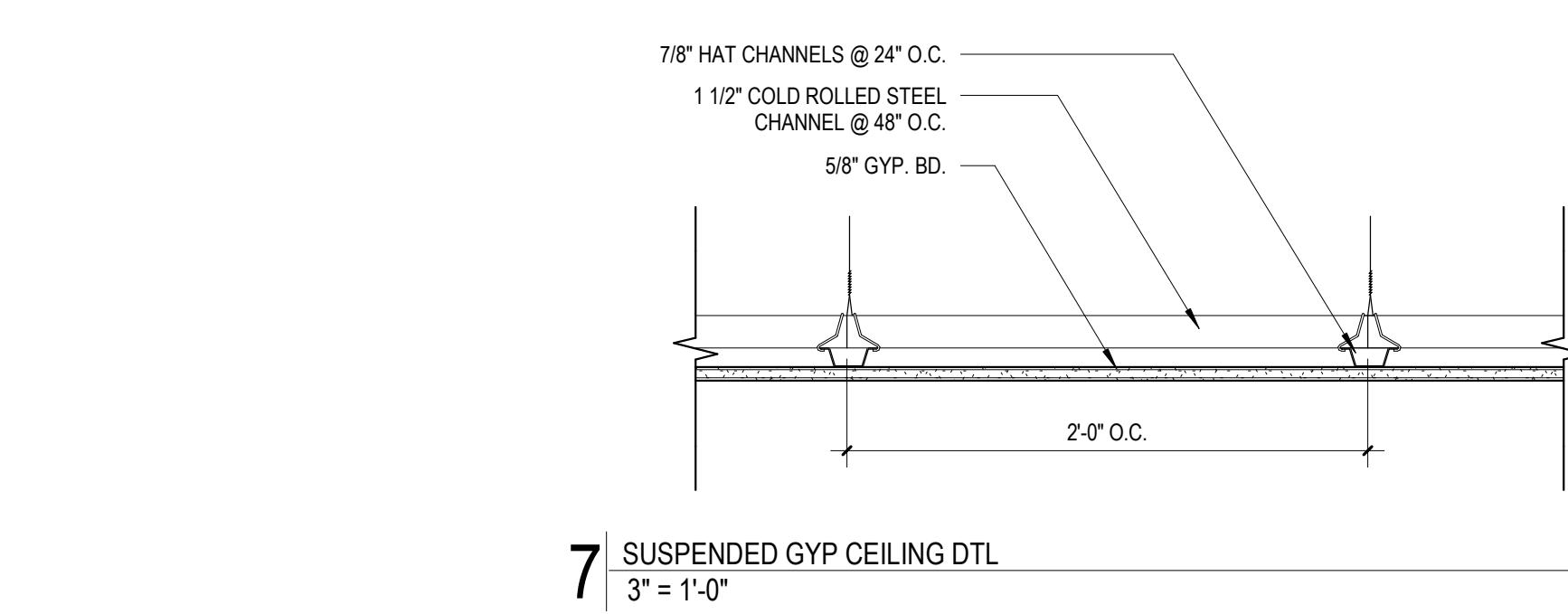
PROJECT ADDRESS:
112 W 42ND STREET
GARDEN CITY, ID 83714

PROJECT FLOOR PLAN & RCP

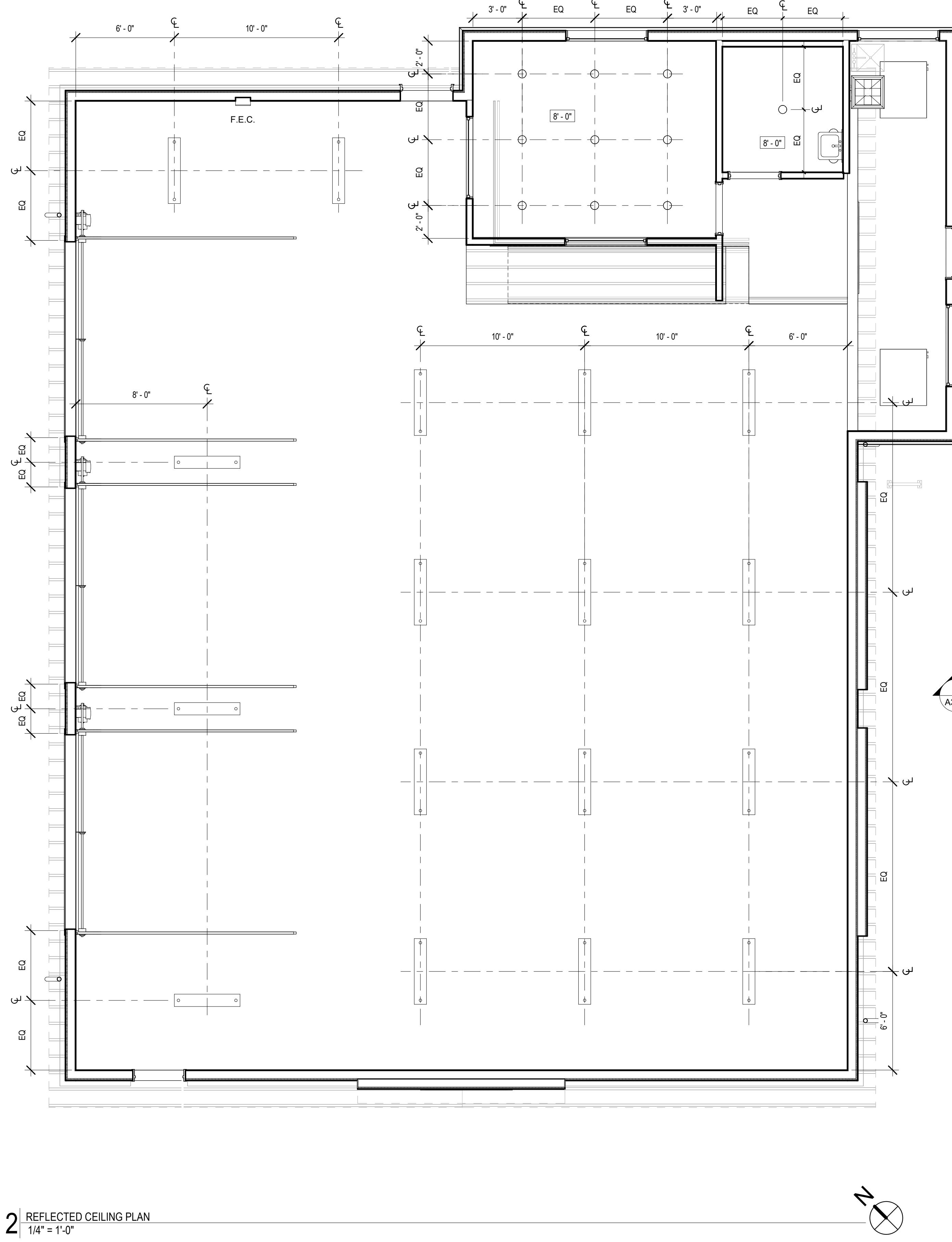
PROJECT NUMBER: 24-34
SHEET ISSUE DATE: 11/21/24
SUBMITTAL: DR REVISIONS

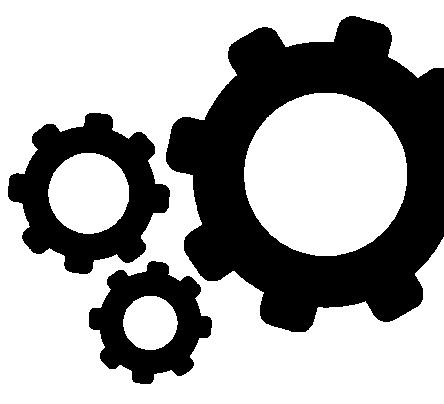
SHEET:

A1.01



7 SUSPENDED GYP CEILING DTL
3'-1'-0"





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CONSULTANT:

ANS

Description

ET NOTES - BOOF PLAN

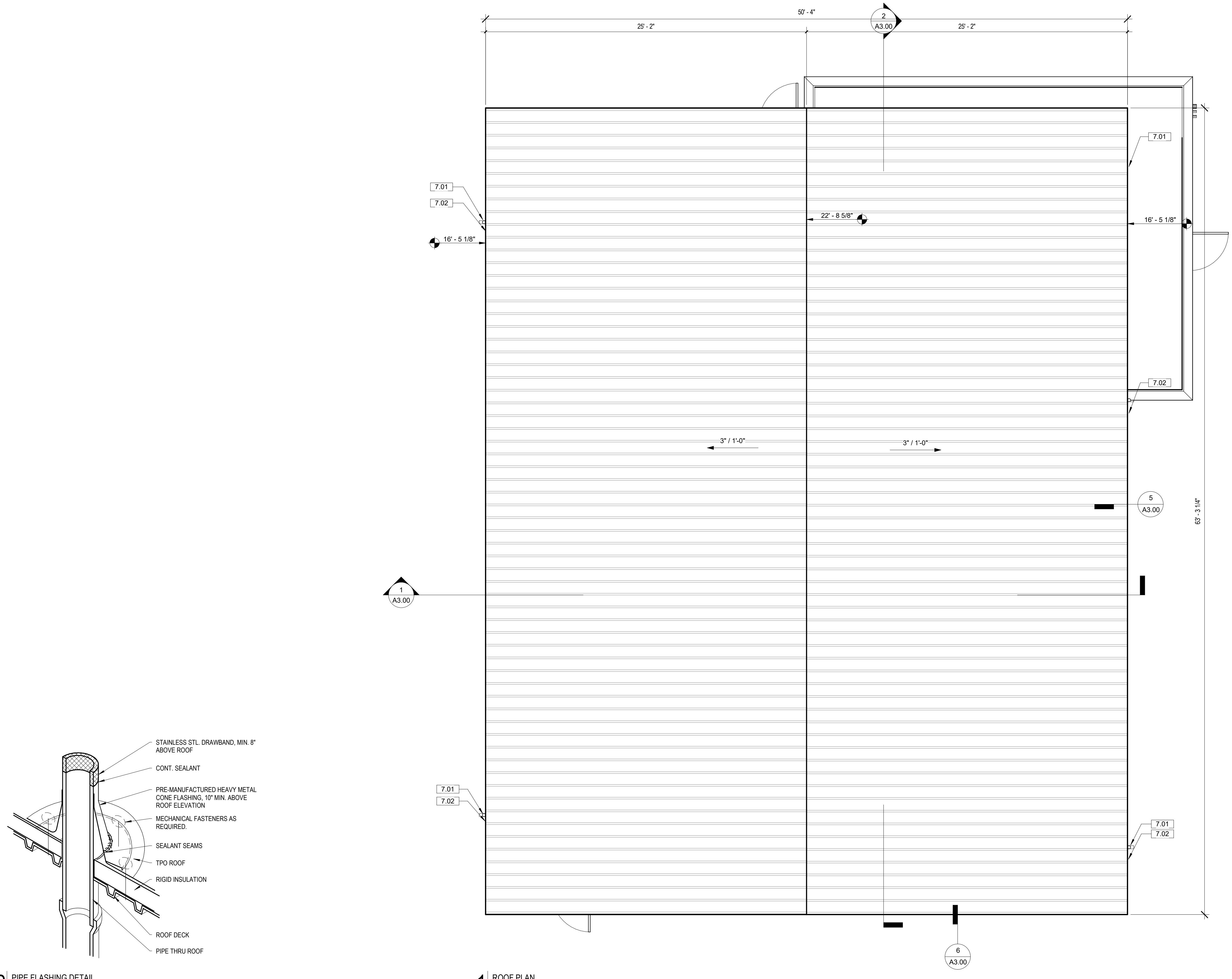
MINIMUM SLOPE AT ALL ROOFS SHALL BE 1/4" PER FOOT
PROVIDE FLASHING PER DETAILS AT ALL CONDUIT AND HVAC LINES PENETRATING THE ROOF
REFER TO MEP DRAWINGS FOR ALL ROOF TOP EQUIPMENT
SEPARATE DISSIMILAR METALS AS THEY OCCUR PER MANUFACTURERS
RECOMMENDATIONS, REVIEW METHODS AND MATERIAL WITH ARCHITECT

KEYNOTE LEGEND

KEYNOTE / REFERENCE NOTE

METAL DOWNSPOUT, COLOR TO MATCH
BUILDING.

REFINISHED METAL GUTTER.

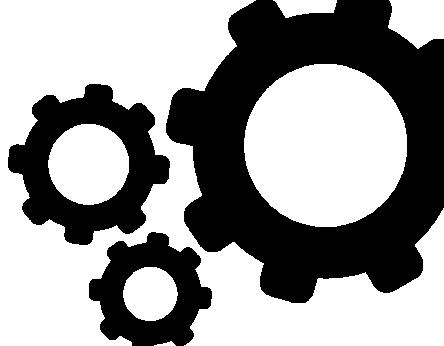


2 PIPE FLASHING DETAIL

1 ROOF PLAN 1/4" = 1'-0"

ALIC PROPERTIES, LLC
PROJECT
NEW VEHICLE SALES SUPPORT BUILDING

21

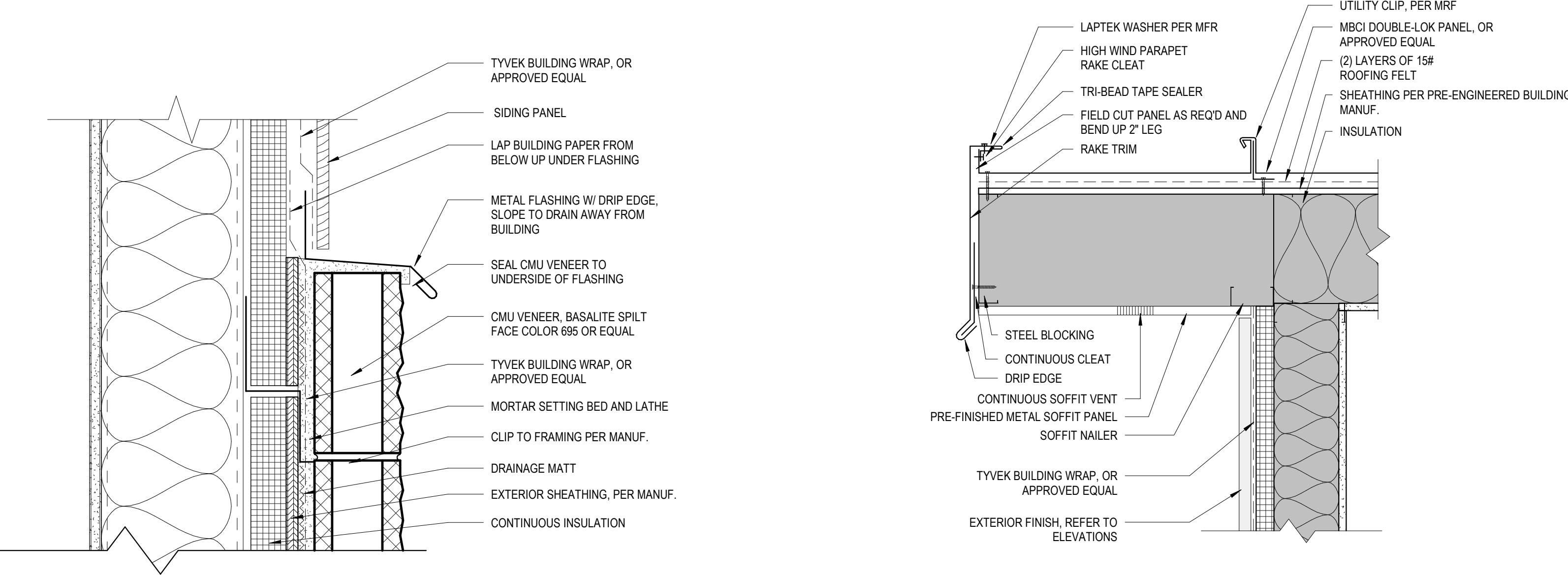


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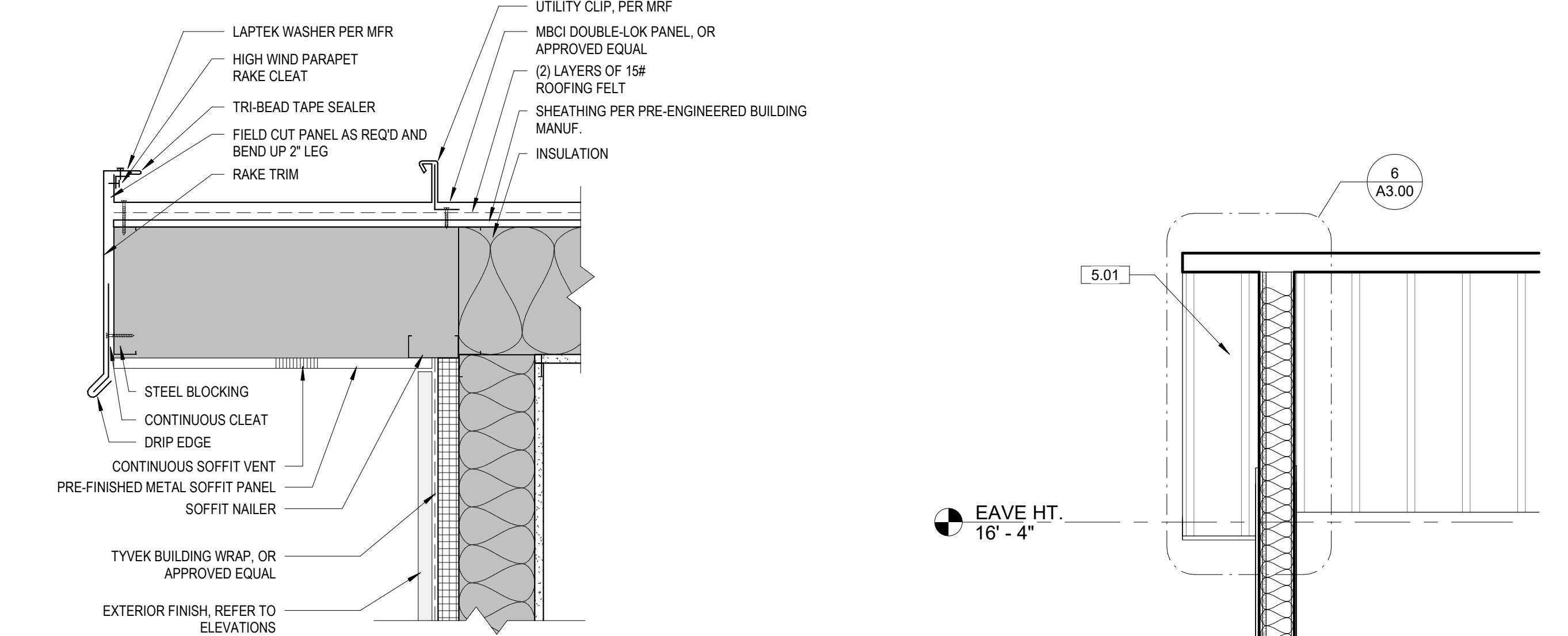
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Meridian, ID 83642
208-649-8306
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STAMP:

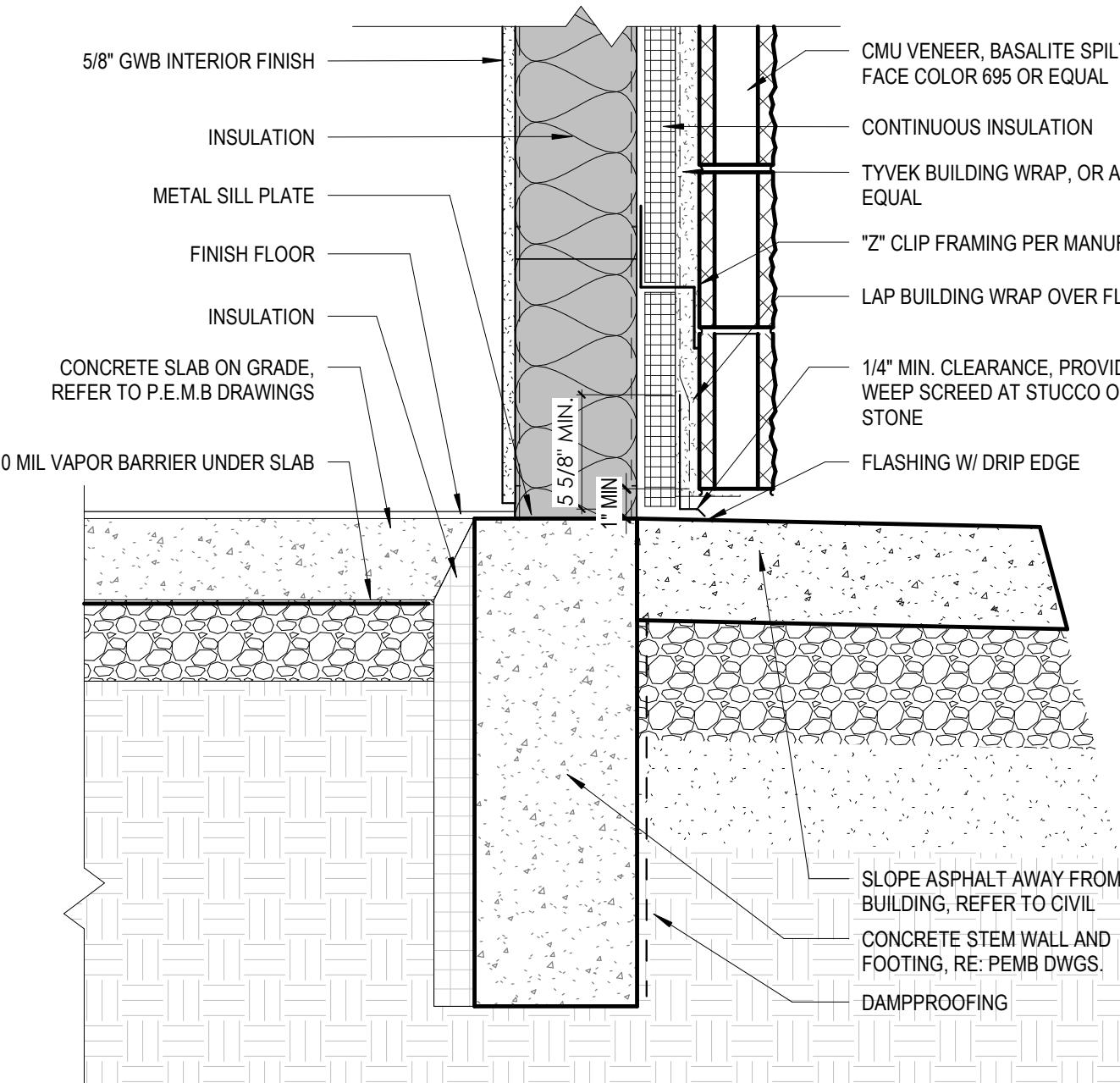
KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
3.05	INTERIOR SLAB ON GRADE, RE: PEMB DWGS.
4.01	CMU VENEER WAINSCOT.
5.01	FLASHING 3541 METAL ROOF, MBC DOUBLE-LOCK TUNDRA OR EQUAL
6.01	2x6 DOUG FIR 2 OR BETTER @ 12 OC. CEILING FRAMING W/ SIMSON STRONG TIE BA20 TOP MOUNT HANGER.
7.01	METAL DOWNSPOUT, COLOR TO MATCH BUILDING.
7.02	PREFINISHED METAL GUTTER.
7.03	RIGID INSULATION, R-13.
7.05	R-46 BATT INSULATION.
7.07	BITUMINOUS DAMPROOFING.
7.09	VAPOR RETARDER.
26.01	LIGHTING, RE: ELECTRICAL DWGS.
32.04	ASPHALT PARKING LOT SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.
32.09	FILLER STRIP.



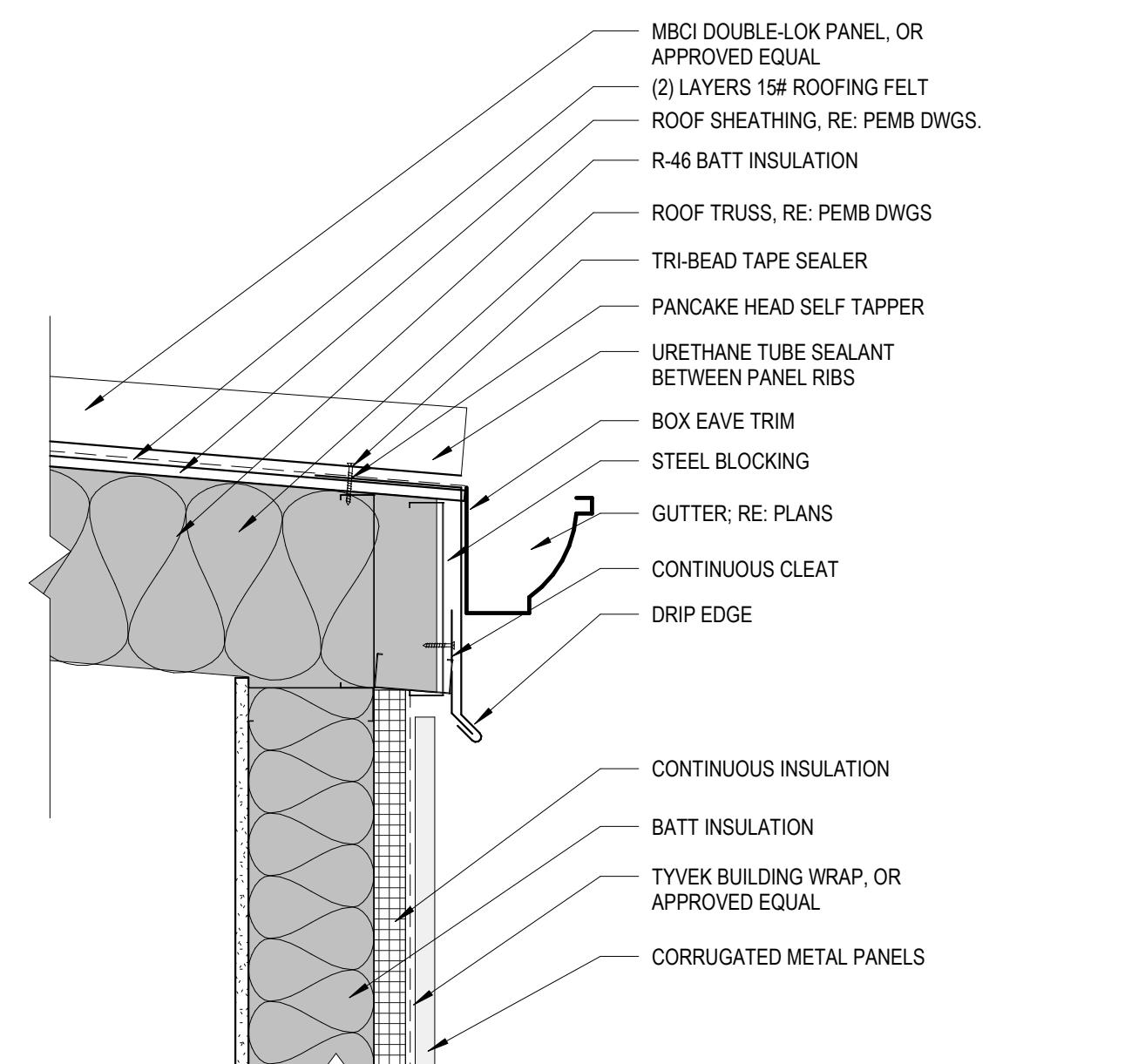
7 STONE VENEER TRANSITION DETAIL
3" = 1'-0"



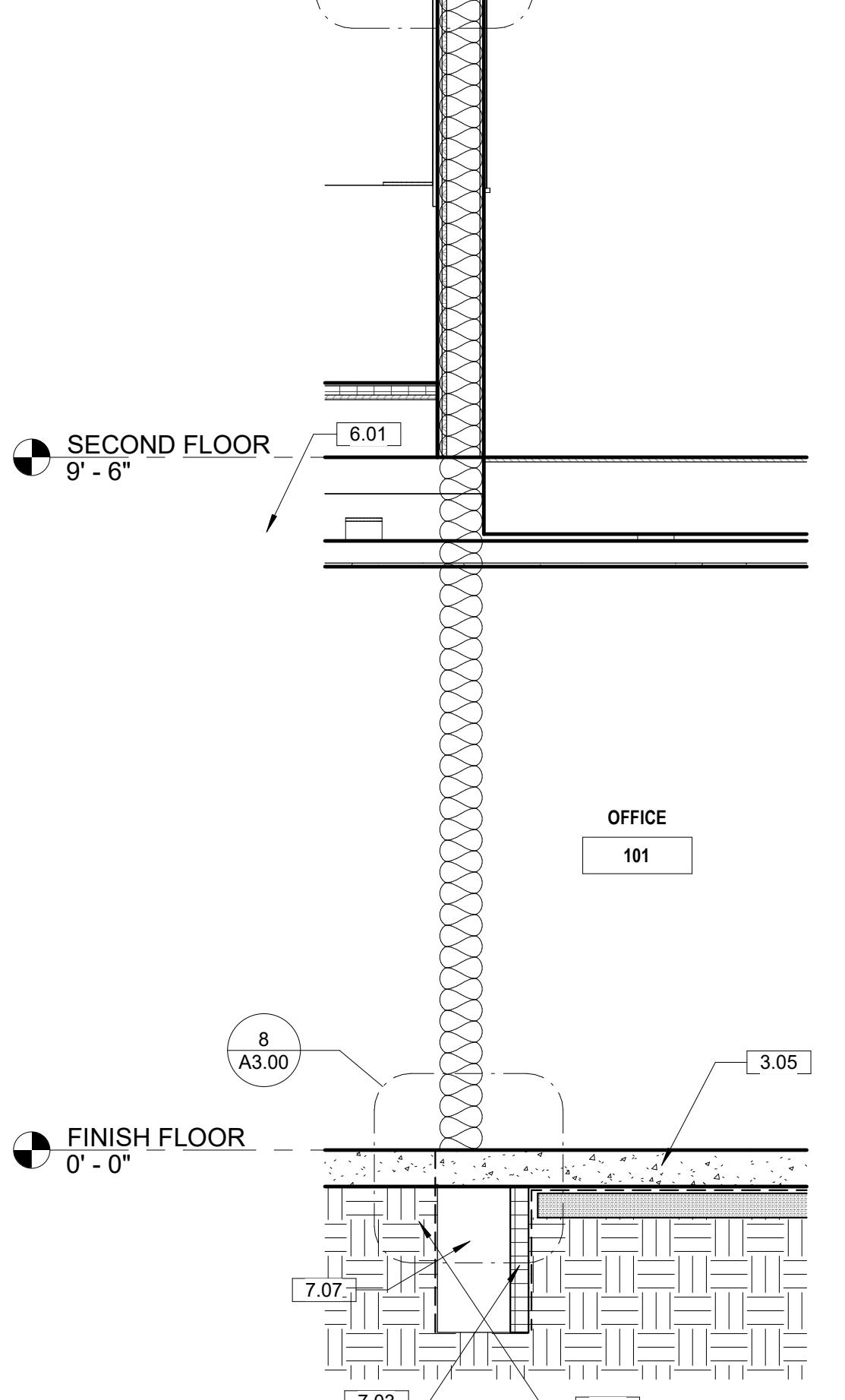
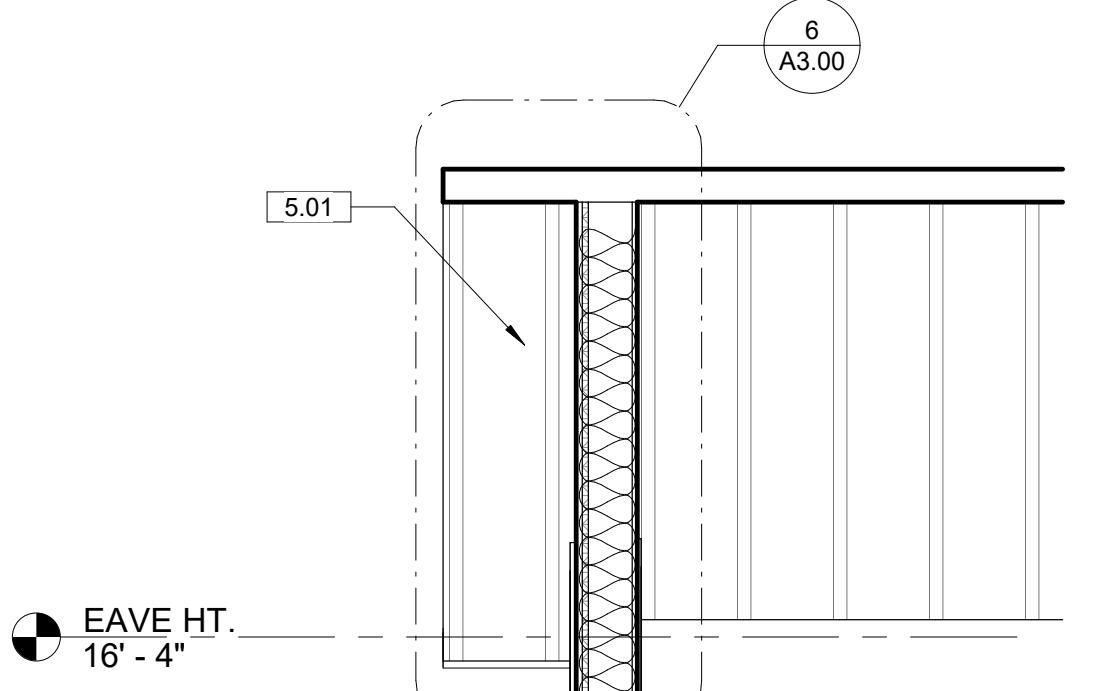
6 STANDING SEAM ROOF @ RAKE
1 1/2" = 1'-0"



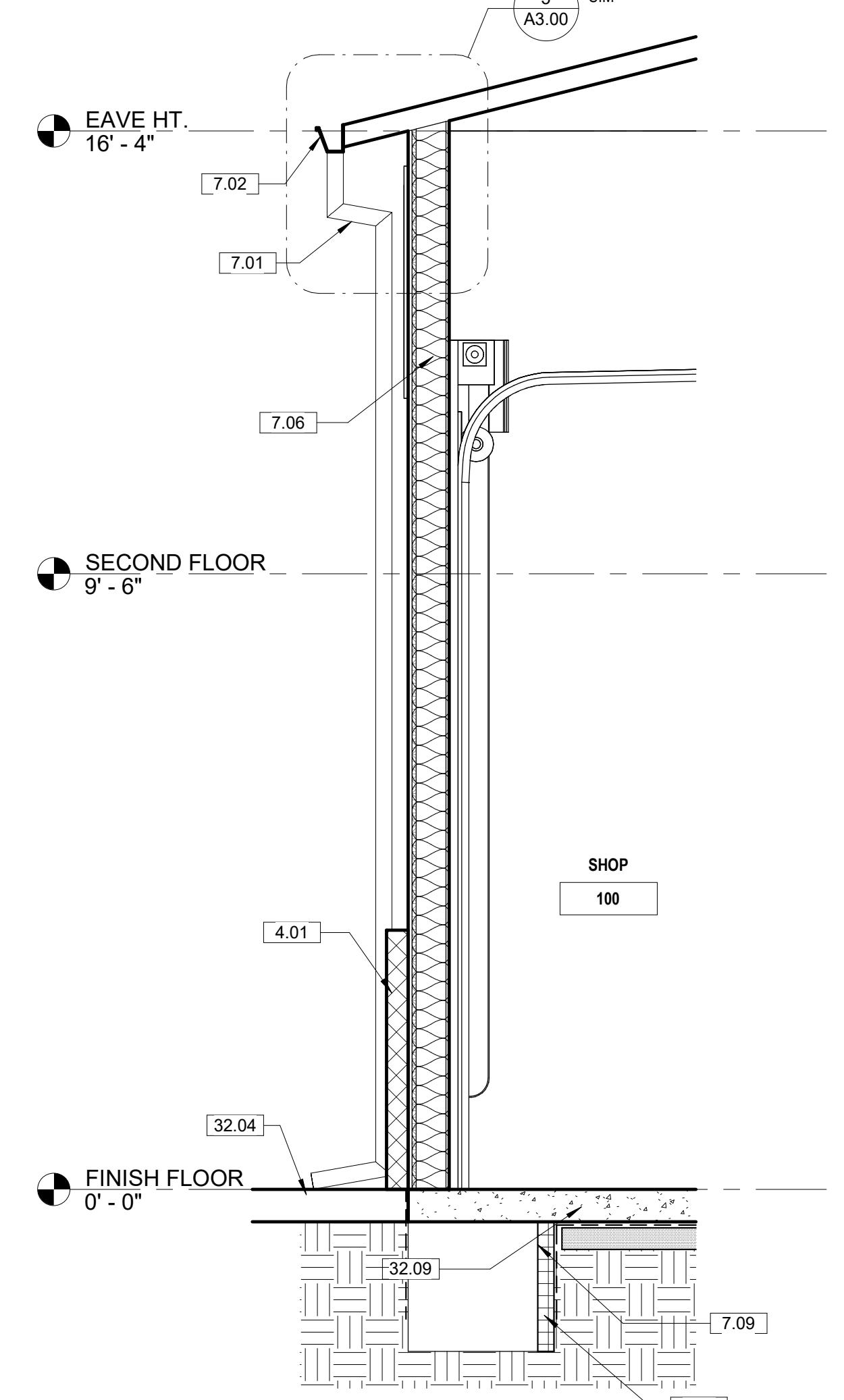
8 TYP. FOUNDATION DETAIL
1 1/2" = 1'-0"



5 STANDING SEAM ROOF @ LOW SIDE
1 1/2" = 1'-0"



3 EXTERIOR WALL SECTION B
1/2" = 1'-0"

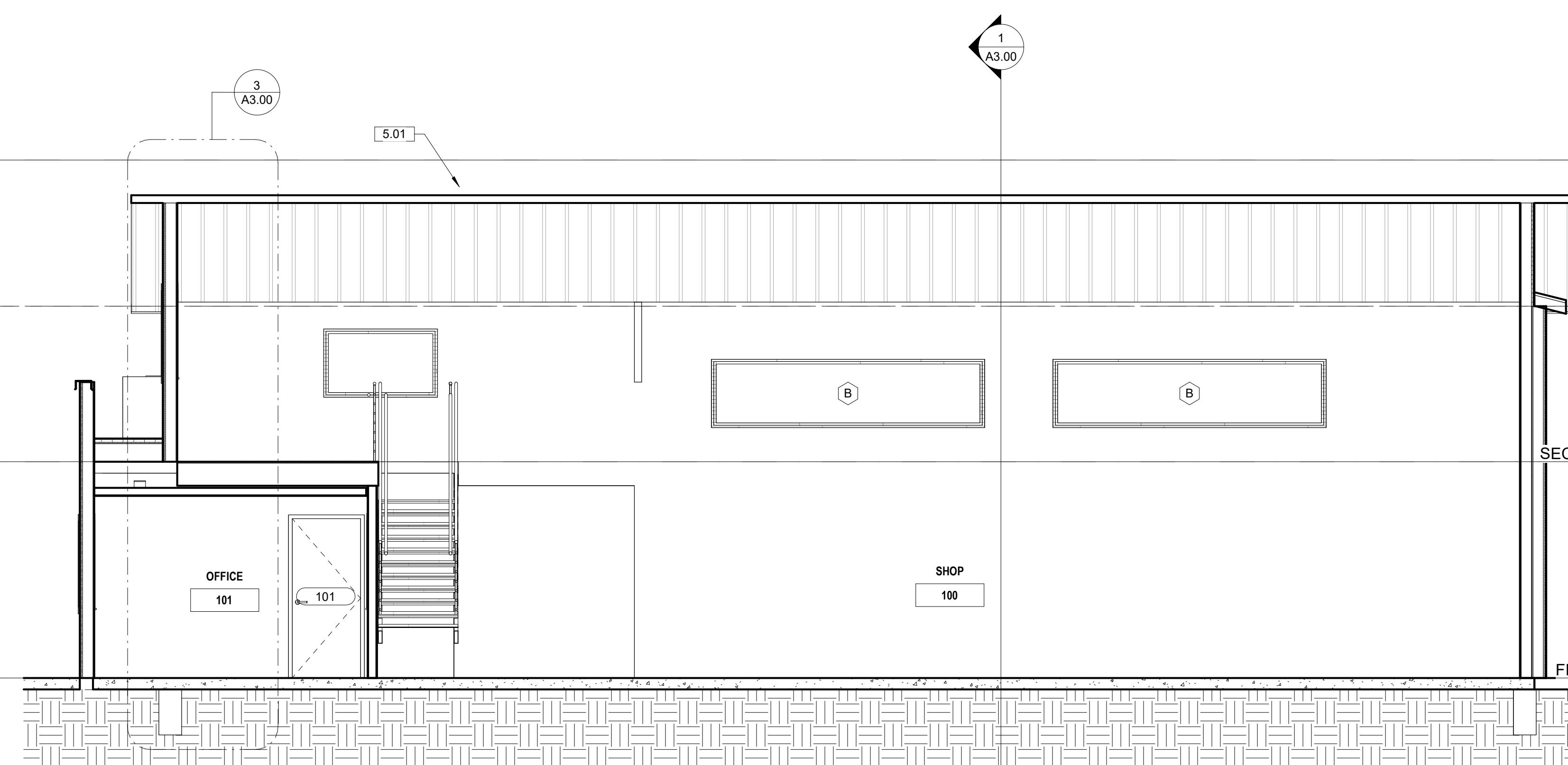


4 EXTERIOR WALL SECTION A
1/2" = 1'-0"

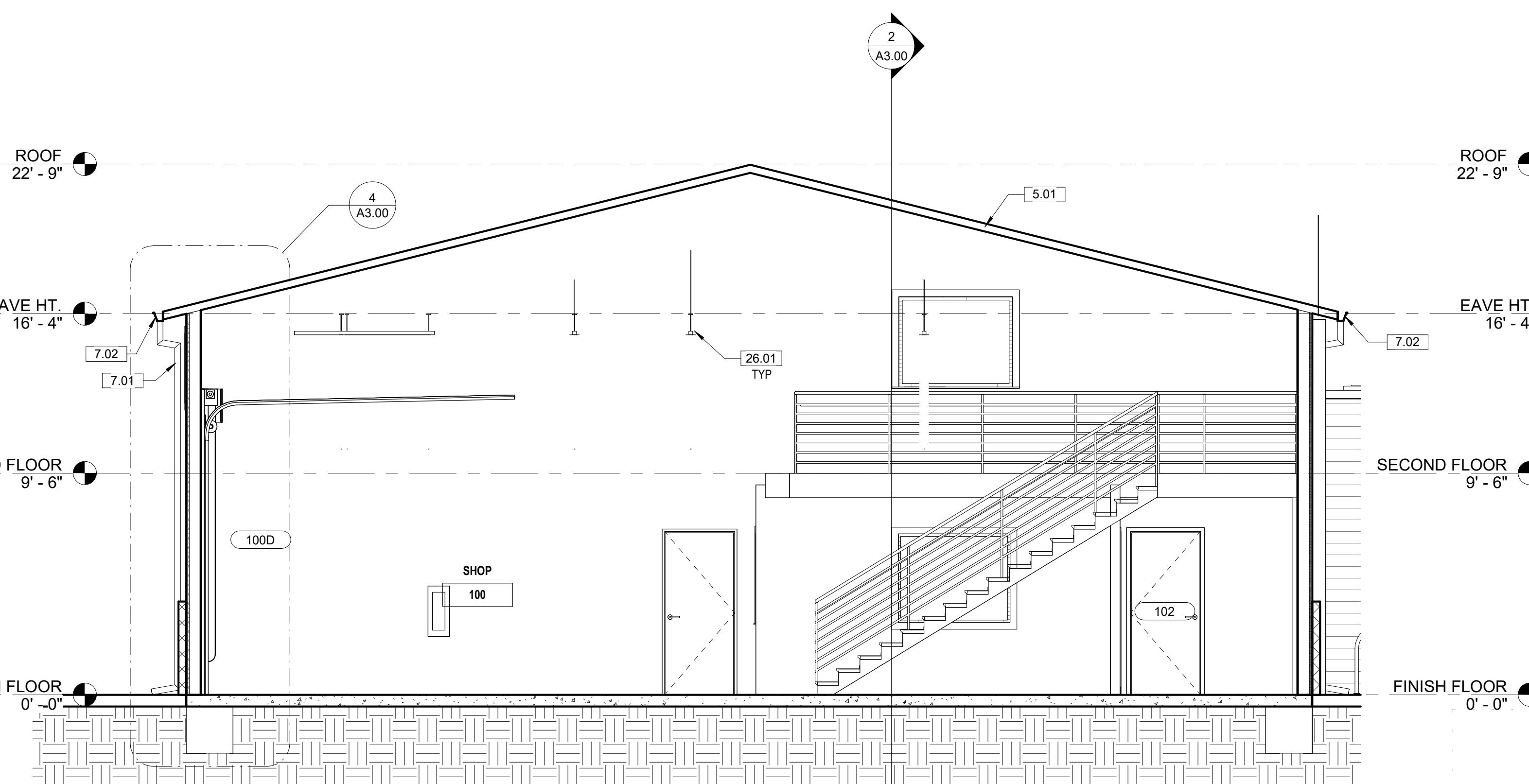
CONSULTANT:

REVISIONS

No.	Description	Date



2 Section 5
1/4" = 1'-0"

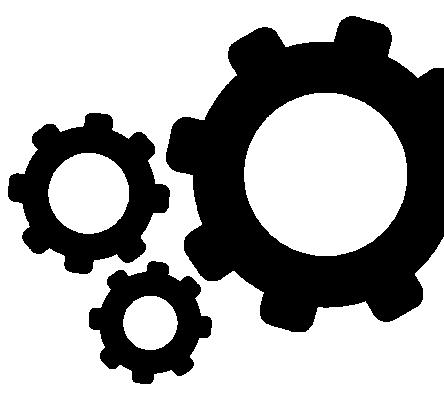


1 Section 4
1/4" = 1'-0"

OWNER
ALIC PROPERTIES, LLC
PROJECT ADDRESS
112 W 42ND STREET
GARDEN CITY, ID 83445

PROJECT NUMBER
24-34
SHEET ISSUE DATE
11/21/24
SUBMITTAL
DR REVISIONS

SHEET
A3.00

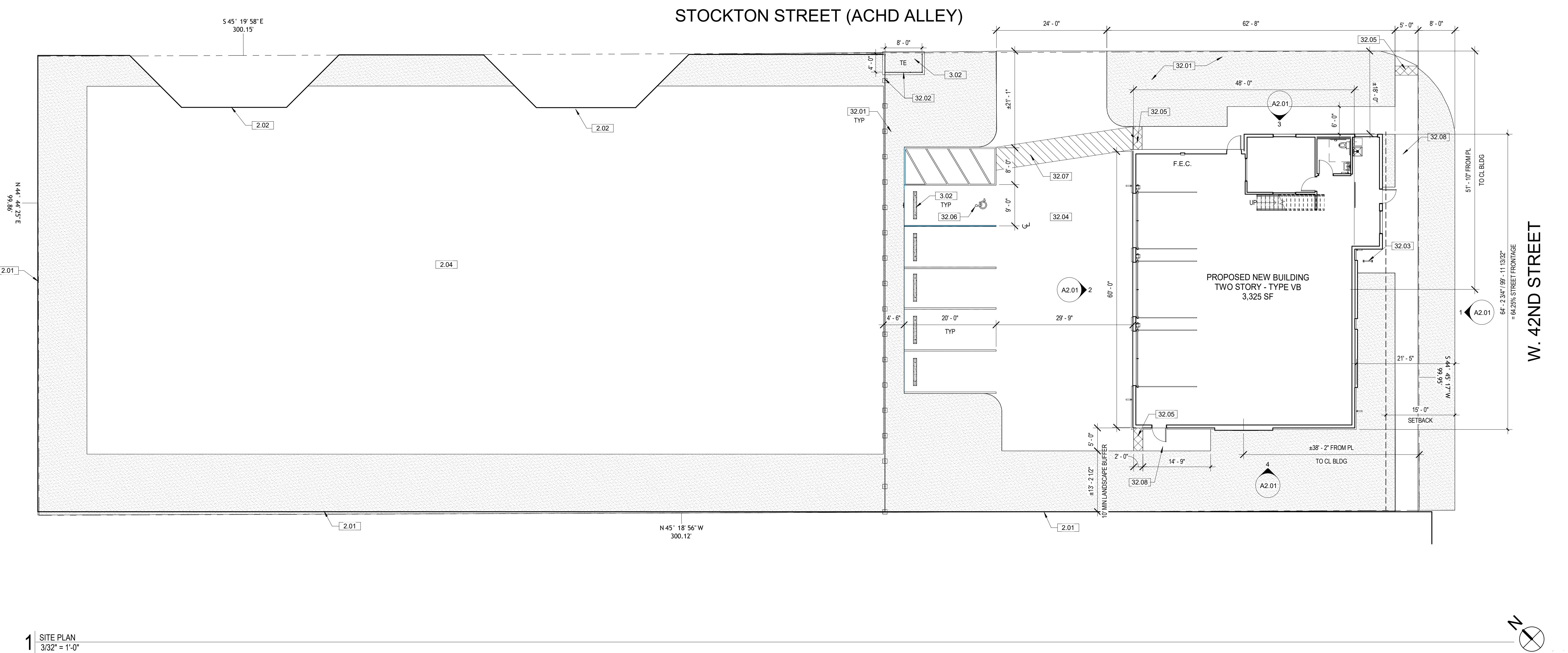


Studio H ARCHITECTS

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SHEET NOTES - SITE PLAN	
SLOPE AWAY FROM BUILDING MIN. 2% CONTRACTOR TO VERIFY ALL SETBACKS AND EASEMENTS.	
ZONING INFORMATION	
<u>SIZE</u> : 0.689 ACRES	<u>PERMIT #</u> : R2734510330
<u>ZONING</u> : C-2	
<u>MAX. HEIGHT</u> : NONE INDICATED	
<u>SETBACKS</u> : 5' ON ALL SIDES	
PARKING CALCULATIONS	
<u>PARKING</u> : 9'x20' STALLS, 24' DRIVE AISLE	
MEDIUM PARKING DEMAND (VEHICLE SALES) 1 SPACE PER EVERY 2,000 GSF	
5 SF / 2,000 = 1.66 = 2 SPACE REQUIRED	
HIGH PARKING DEMAND (VEHICLE SALES) 1 SPACE PER EVERY 4,000 SF	
5 SF / 4,000 = 0.83 - 1 SPACE REQUIRED	
<u>PROVIDED</u> :	
4 STANDARD SPACES	
<u>1 ACCESSIBLE SPACE</u>	
TOTAL: 5 STALLS	
1 BICYCLE SPACE	

KEYNOTE LEGEND	
O.	KEYNOTE / REFERENCE NOTE
	EXISTING FENCE TO REMAIN, REPAIR AS REQUIRED PER NEW CONSTRUCTION. NOTE: CHAIN LINK FENCING TO BE REMOVED AND REPLACED WITH NEW COMPLIANT FENCING WITHIN TWO YEARS OF DR APPROVAL PER CUPFY2022-0009 EXTENSION 2 07222024.
	EXISTING GATE, REPAIR AS REQUIRED PER NEW CONSTRUCTION.
	EXISTING GRAVEL PARKING LOT TO REMAIN.
	EXTERIOR CONCRETE SLAB ON GRADE, RE: CIVIL DWGS.
	LANDSCAPING, RE: LANDSCAPE PLAN.
	NEW 6'H METAL FENCING.
	BIKE RACK.
	ASPHALT PARKING LOT SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.
	DETECTABLE WARNINGS.
	ACCESSIBLE PARKING AND ACCESS AISLE, RE: CIVIL DWGS.
	ACCESSIBLE PATH OF TRAVEL, RE: CIVIL DWGS.
	EXTERIOR SLAB ON GRADE, SLOPE AWAY FROM BUILDING, RE: CIVIL DWGS.



1 SITE PLAN

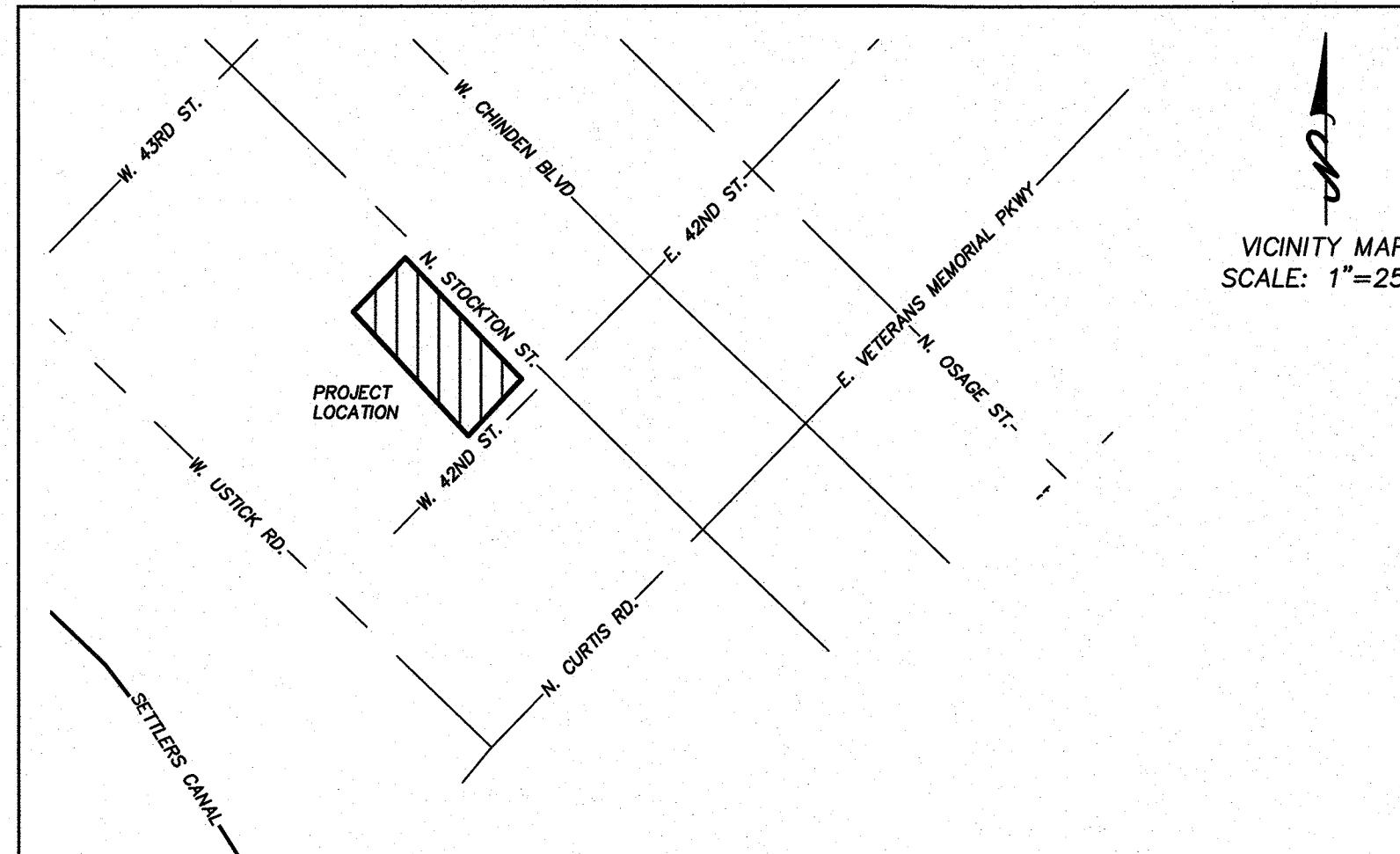
PROJECT NEW VEHICLE SALES SUPPORT BUILDING

NEW VILLE SALES CO. LTD. HOLDING
PROJECT ADDRESS: 123 W. 123RD STREET

WANDARCHITECTUREN

JECT NUMBER	24-34
ET ISSUE DATE	11/21/24
MITTAL	DR REVISIONS

A1.00



OZZY'S CAR COMPANY CIVIL IMPROVEMENT DRAWINGS

PART OF THE NW 1/4, NW 1/4, SECTION 5, T. 3N, R. 2E, B.M. LOT
4 BLOCK D OF FAIRVIEW ACRES SUBDIVISION NO. 2
GARDEN CITY, ADA COUNTY, IDAHO
2024

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Sanitary Sewer Notes

11. All sewer pipe and fittings with cover greater than 3 feet, shall be Polyvinyl Chloride (PVC) conforming to the requirements of ASTM D-3034, SDR-35 for sizes 4-inch through 15-inch; ASTM F-679, SDR-35, T-1 wall for sizes 18-inch through 27-inch; or ASTM F-794, T-46 for sizes 18-inch through 36-inch. The minimum cover for all PVC sewer lines shall be 3 feet. Sewer pipe and fittings with cover less than 3 feet shall be Ductile Iron (DI) conforming to ANSI A-21.51 or AWWA C-151, minimum Class 50.
12. Sanitary sewer manholes shall be constructed of reinforced precast concrete per the ISPWC with a maximum of 12 inches of concrete grade rings, a 24-inch diameter cast iron ring and cover and a concrete collar per ISPWC drawings SD-501, SD-505, SD-507, SD-508, SD-509. Manholes shall not have steps. The sewer contractor shall field verify that no more than 12-inches of grade rings are necessary to adjust the manhole to final grade. Grade rings, ring and covers shall be provided by the sewer contractor. Manhole cones shall be eccentric for all manholes 4 feet and deeper. The vertical wall of the cone shall be placed upstream and rotated 45°. Concentric cones shall be used for manholes less than 4 feet deep.
13. Manufactured compression boots shall be used in manholes where pipelines enter and leave the manhole.
14. Sewer service lines shall be ISPWC type "A" or "B" and constructed and marked per ISPWC Drawing SD-511A. Services shall not be deeper than 5 feet at the property line, unless specifically approved by the city. Services shall extend horizontally 10 feet beyond the property line. Service lines shall include an inspection cleanout placed directly adjacent to and inside public street right-of-way or the sewer easement line. The cleanout shall conform to SD-506A & SD-506B (bolt down cover option) with the riser being the same size as the service line.
15. Service line connections to new mainlines shall use a full-service tee. Service line connections to existing mainlines that are concrete or a concrete derivative shall use a tapping saddle. Service connections to existing mainlines that are not concrete or a concrete derivative shall use an Inserta-Tee or a prior approved equal.
16. All sewer mains and services shall be bedded per the requirements of Type I bedding, except that bedding material shall be select $\frac{3}{4}$ -inch maximum crushed gravel chips. All bedding shall be thoroughly shovel-sliced under the pipe.
17. Groundwater levels shall be maintained below the trench bottom at all times during construction. Groundwater shall not be permitted to enter the pipeline system during construction. As soon as possible the contractor shall install a removable watertight plug in the new pipeline at the point of connection to the existing sewer system.
18. Sewers shall be cleaned and tested after all utilities are installed and prior to paving. Material cleaned from the construction shall not be permitted to discharge to the downstream receiving pipeline. All installed sewer pipes shall be tested in accordance with Division 500 of the ISPWC. A representative of the city must be present must observe the testing. Mainline pipeline testing shall include air pressure, deflection and closed-circuit television (CCTV) visual inspection. Service line testing shall include air pressure and closed-circuit television (CCTV). The CCTV report shall be in the form of a VHS videotape or DVD and a written log. Manholes shall be vacuum or hydrostatically tested for leakage. The sewer system shall not accept any flows until the city issues an initial acceptance of the system.
19. The contractor shall guarantee all work for a period of at least a one-year following the city's initial acceptance.

Waterline Notes

20. All water mains shall be Polyvinyl Chloride (PVC) conforming to the requirements of AWWA C-900, Class 235, DR-18. All fittings shall be mechanical joint or flanged ductile iron conforming to the requirements of AWWA C-110. All plastic pipe shall be installed with a #12 direct burial tracer wire placed along the north and east side of the main. The tracer wire will not be extended up in to or along valve boxes, but shall continue along the mainline, uninterrupted. Minimum burial depths for water mains shall be 4 feet from finish grade to the top of the pipe.
21. Individual or dual water service connections 1-inch or smaller shall be Polyethylene pipe conforming to AWWA C-901, Class 200, DR-7.3. Services shall be constructed conforming to the Garden City standard drawing. Service pipelines shall be a minimum 1-inch, unless otherwise noted.
22. Individual water service connections larger than 1-inch shall be Polyethylene pipe conforming to AWWA C-901, Class 200, DR-7.3. Services shall be constructed conforming to the ISPWC SD-402. Service pipelines shall be a minimum 2-inch, unless otherwise noted.
23. Water valves shall be resilient-seat gate valves conforming to AWWA C-509 or AWWA C-515. All water valves shall be installed with a standard 5-1/4 inch diameter, two piece adjustable cast iron valve box, Tyler/Union series 6855, or equal. The cast iron cover shall be marked with the word "Water" as an integral part of the cover.
24. Fire hydrants shall conform to AWWA C-502 and ISPWC Drawing SD-404. The pumper nozzle outlet shall be equipped with a "Storz" adapter.

GARDEN CITY
STANDARD CONSTRUCTION NOTES FOR PROJECTS
THAT CONTAIN PUBLIC WATER, PUBLIC SEWER, NON-ACHD
DRAINAGE, PRIVATE ROADS AND/OR PERMEABLE PAVERS

AUGU

Notes Applicable to All Construction

1. Compliance with the Idaho Department of Environmental Quality (IDEQ) requirements for protection from erosion by storm water is required for this project. A Responsible Party (RP) shall be responsible to comply with the IDEQ requirements. If the owner has not designated a RP, the contractor shall be required to provide a RP. The RP is required to prepare, file and comply with the Storm Water Pollution Prevention Plan (SWPPP) for this project. The RP is responsible to file a Notice of Intent (NOI) to construct with IDEQ. IDEQ must officially accept the NOI prior to beginning any site disturbance activities. The SWPPP is a document/plan that is required to be updated and amended to best fit the site as construction occurs. The RP is responsible to keep the plan current. At completion of all construction activities and after the project site is stabilized for erosion control, the RP is required to prepare and submit a Notice of Termination of the SWPPP with IDEQ.
- or, for sites under one acre—
2. The contractor shall comply with the City of Garden City's approved Erosion and Sediment Control Plan (ESCP) for this project. A Responsible Party (RP) shall be responsible to comply with the ESCP requirements. If the owner has not designated a RP, the contractor shall be required to provide a RP. The RP is required to comply with the City of Garden City's ordinance for control for erosion from this construction site. The ESCP is a document/plan that is required to be updated and amended to best fit the site as construction occurs. The RP is responsible to keep the plan current. At completion of all construction activities and after the project site is stabilized for erosion control, the ESCP is terminated.
3. All construction, materials, appurtenances and testing shall comply with the requirements of the 2020 edition of the Idaho Standards for Public Works Construction (ISPWC), unless specifically modified by these construction documents.
4. The contractor, all applicable sub-contractors, developer/owner, utility company representatives, a Garden City Department of Public Works representative and an Ada County Highway District representative shall attend a pre-construction conference prior to commencement of construction.
5. The contractor shall obtain a construction permit from the Ada County Highway District at least 24 hours prior to commencing construction of any of the improvements shown hereon located within public right-of-way.
6. Construction inspection shall be performed by the project engineer, the Ada County Highway District and/or the Garden City Department of Public Works. Inspection by the Garden City Department of Public Works will be for Department purposes only to spot check work compliance with the city's requirements. It is the project engineer's responsibility to assure compliance with the project plans and specifications.
7. The contractor shall verify site conditions and dimensions prior to beginning work. Any deviations, omissions or errors shall be presented to the project engineer for resolution. Any changes to the plans and specifications shall be submitted to and approved by the Garden City Department of Public Works prior to implementation of the change. Said change may also need to be submitted to the Idaho Department of Environmental Quality for approval.
8. The contractor shall contact Digline (811) and other appropriate utility providers for utility locations at least 72 hours prior to beginning any excavation.
9. Any waters created by dewatering shall not be permitted to directly discharge to any existing surface water facility. Prior to discharging to waters of the state of Idaho, the contractor shall secure a short-term activity exemption from the applicable regional office of the Idaho Department of Environmental Quality.
10. Horizontal and vertical separation of potable and non-potable pipelines shall meet the requirements of ISPWC Section 405 and ISPWC Drawing No. 407.

Drainage Notes

28. All inspections shall require a 24-hour notice prior to the requested inspection time. Call the inspection hot line at 208-472-2920.

29. Prior to any earthwork a 24-hour notice to begin construction is required. Call Inspection hot line at 208-472-2920.

30. Drainage inspections shall be conducted at any given time or upon request, during construction, verifying compliance with the city requirements and construction activities are followed as per the approved plans.

31. All drainage construction observations must be performed by the applicant's design engineer.

a) Submit to the Garden City Environmental Division the following documentation prior signature of the city on a final subdivision plat or prior to the final inspection for a Certificate of Occupancy, whichever occurs first:

i) The design engineer's drainage construction observation reports.

ii) A signed, written statement from the design engineer that all drainage structures and appurtenances were constructed in accordance to the approved plans.

32. The drainage system and any filter fabric shall not be covered prior to inspection. Call the inspection hot line at 208-472-2920.

33. The size and location of the drainage system shall correspond with the approved drainage system plan and shall be inspected.

34. Final inspection of the storm drainage system shall be conducted following the paving and final landscaping.

35. All drainage conveyance access points shall be stenciled or marked with identifying statement for the public "Do Not Dump -System Drains to Groundwater" or "River", whichever is relevant to the system disposal design.

36. Traffic rated manhole lids shall be used.

37. All parking lot grades shall be at least 1% for asphaltic-concrete and 0.4% for concrete.

Roadway Construction Notes

38. Manhole grade rings, cast iron rings and covers shall be provided by the sewer contractor. The road contractor shall install the sewer grade rings, cast iron rings, covers and concrete collars to finish grade. Water valve boxes and covers shall be provided by the water contractor. The road contractor shall install the water valve boxes covers and concrete collars to finish grade.

Permeable Paver Notes (when applicable)

39. Garden City will not repair permeable paver surfaces or their base sections when city infrastructure (water mains, water services, sewer mains and sewer manholes) is located beneath them. The city will maintain the water/sewer facilities noted, but will not repair the storm drain facilities above them. Said repair is the responsibility of the private party owning/operating/maintaining the storm drain facilities.

40. Sanitary sewer services from the connection to the mainline to the point of use will be private under permeable pavers. Ownership and repair of said private services will be the responsibility of the private party owning operating and maintaining the storm drain facilities.

41. Permeable paver ownership/maintenance responsibilities shall be stated in an appropriate document (i.e. maintenance agreement, Covenants, Conditions and Restrictions, Final Plat).

42. All water main lines under and within ten (10) feet of permeable pavers shall be ductile iron pipe.

Roadway Construction Notes

38. Manhole grade rings, cast iron rings and covers shall be provided by the sewer contractor. The road contractor shall install the sewer grade rings, cast iron rings, covers and concrete collars to finish grade. Water valve boxes and covers shall be provided by the water contractor. The road contractor shall install the water valve boxes covers and concrete collars to finish grade.

Permeable Paver Notes (when applicable)

39. Garden City will not repair permeable paver surfaces or their base sections when city infrastructure (water mains, water services, sewer mains and sewer manholes) is located beneath them. The city will maintain the water/sewer facilities noted, but will not repair the storm drain facilities above them. Said repair is the responsibility of the private party owning/operating/maintaining the storm drain facilities.
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SHEET INDEX

C1: COVER SHEET
C2: DIMENSION SHEET
C3: GRADING, DRAINAGE UTILITY SHEET

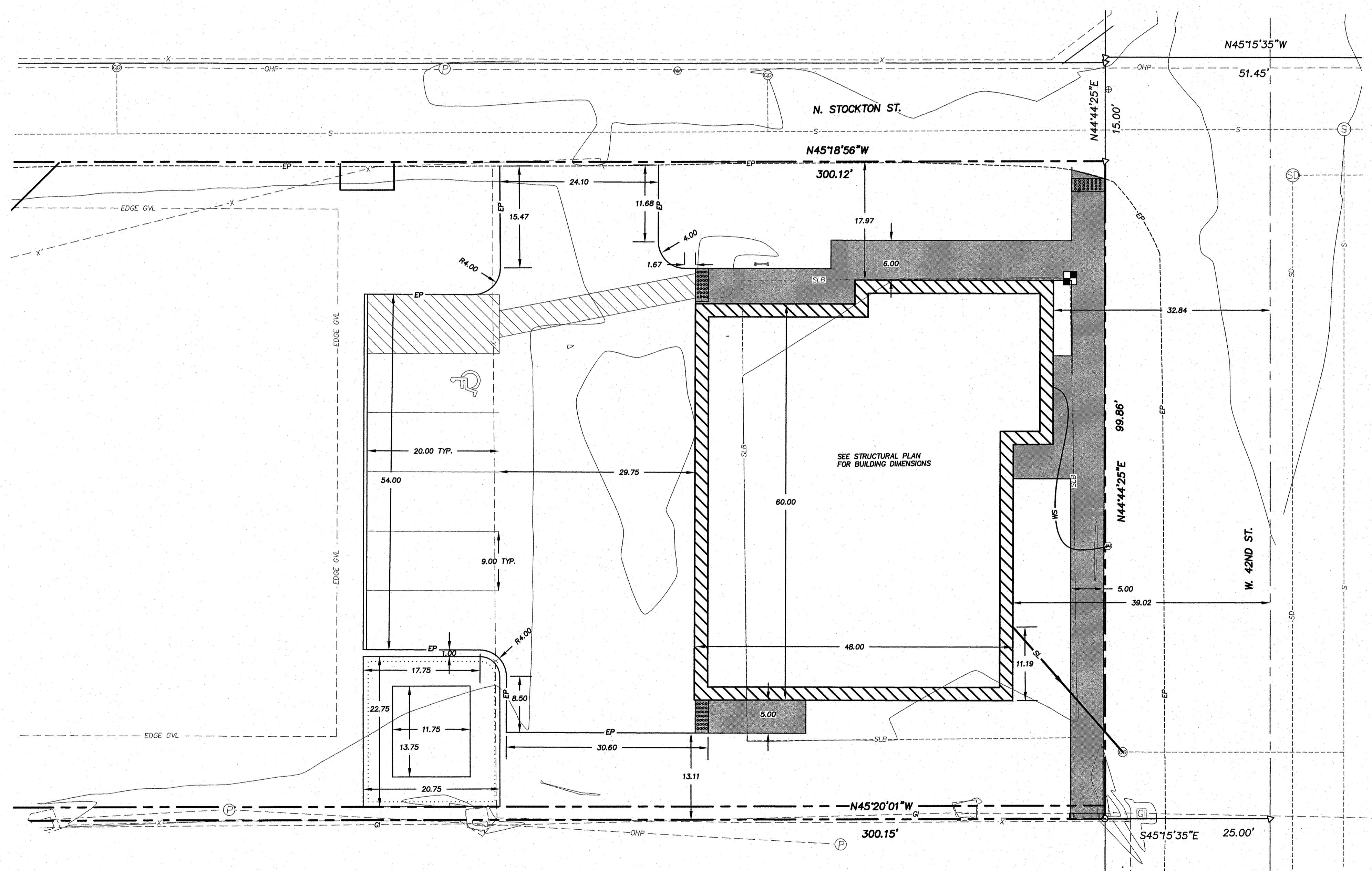
PROFESSIONAL ENGINEER
LICENCIED
9212
STATE OF IDAHO
WILLIAM J. MASON

Willie Mason
November 1, 2024

DESIGNED BY:	SAP	8/24	NO BY	DATE	DESCRIPTION
DRAWN BY:	SAP	8/24	○	○	○
CHECKED BY:	WJM	8/24	○	○	○
APPV'D BY:			○	○	○

DRAWING TITLE: OZZY'S CAR COMPANY 112 W. 42ND ST. COVER SHEET		JOB NO. JN0224 DWG NO. JN0224 01	CLIENT: STUDIO H ARCHITECTS 306 NE 2ND ST. MERIDIAN, ID. 83642
		SCALE: Vert: N/A Horz: N/A	(208) 649-8306 (208) 283-4593
SHEET NO. C1 OF C3	SHEETS	Rev. ()	FIELD BOOK NO. ()

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Line Table		
Line #	Direction	Length
L1	S80°13'11"E	20.53

DRAWING TITLE:	JOB NO.	DWG NO.	CLIENT:	REVISIONS			DESCRIPTION
				DESIGNED BY:	DRAWN BY:	NO. BY DATE	
OZZY'S CAR COMPANY	JN0224	JN0224 02	STUDIO H ARCHITECTS				
112 W. 42ND ST.			Mason & Associates				
DIMENSION SHEET							
SHEET NO. C2 OF C3	Rev. C						



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Scale: 1"=10'

Scale: 1"=10'

LEGEND

Benchmark (TBM)			
Calculated Point			
Found Aluminum Cap Monument			
Found Brass Cap Monument			
Found 5/8" Iron Pin			
Found 1/2" Iron Pin			
Existing Power Pole			
Existing Sanitary Sewer Manhole			
Existing Sign			
Existing Signal Box			
Existing Cleanout			
Existing Mail Box			
Existing Street Light			
Existing Sign Pole			
Existing Electric Meter			
Found Standpipe			
Existing Faucet			
Existing Catch Basin			
Existing Gate Valve			
Existing Water Meter			
Existing Sprinkler Box			
Existing A/C			
Existing Gas Valve/Meter			
Existing 4" Ø Catch basin			
Guy Anchor			
Existing Gravity Irrigation Box			
Existing Bollard			
Property Boundary Line			
Lot Line			
Centerline			
Natural Ground Contour Line			
Existing Back of Walk			
Existing Concrete			
Existing Edge of Pavement			
Existing Face of Walk			
Existing Fence			
Existing Lip of Gutter			
Existing Overhead Power			
Existing Slab			
Existing Top Back Rolled Curb			
Existing Top Back Vertical Curb			
Existing Top of Wall			

PROJECT BENCHMARKS

TBM #1
FOUND 2" ALUMINUM CAP MONUMENT "ACHD R.O.W.
1131+19.30 62.50' RT. 2001 PLS 5617" 6.6' SOUTH
OF STOP SIGN FOR CHINDEN BLVD. AND W. 42ND
ST. AND 7' NORTHWEST OF EXTRUDED CURB FOR
PARKING LOT OF OZZY'S CAR COMPANY.
NAVD88 ELEVATION=2653.76

TBM #3
CHISELED "X" IN THE EAST CORNER OF A
CONCRETE SLAB 13.6' NORTHWEST OF NORTHWEST
EDGE OF PAVEMENT FOR 42ND ST. AND 16.5'
SOUTHWEST OF SOUTHWEST EDGE OF PAVEMENT OF
STOCKTON ST.
NAVD88 ELEVATION=2653.03

A circular stamp with a double-lined border. Inside, the words 'PROFESSIONAL ENGINEER' are curved along the top and bottom edges, and 'LICENSED' is in the center. In the center of the circle is the number '9212'. Handwritten signature 'H. C. Com' is written across the top of the stamp.

WILLIAM J. MASON

DRAWING TITLE:
OSZY'S CAR COMPANY
112 W. 42ND ST.
GRADING, DRAINAGE AND UTIL.